



CITY OF ATASCADERO

In accordance with City Council Resolution No. 2022-044 and the requirements of AB 361, the Design Review Committee Meeting will not be physically open to the public and Committee Members will be teleconferencing into the meeting.

INTERESTED INDIVIDUALS are invited to participate through the Zoom platform using the link below and will be given an opportunity to speak in favor or opposition to the project or may call 669-900-6833 to listen and provide public comment via phone.

HOW TO SUBMIT PUBLIC COMMENT:

To provide written public comment, please email comments to: drc-comments@atascadero.org by 5:00 p.m. the day before the meeting. Email comments must identify the Agenda Item Number in the subject line of the email. Comments will be forwarded to the Design Review Committee and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as part of the record of the meeting. Please note, email comments will not be read into the record. All comments received may become part of the public record and are subject to the Public Records Act.

To join the virtual meeting:

Zoom Link

<https://us02web.zoom.us/j/81712225756>

Meeting ID: 817 1222 5756

AMERICAN DISABILITY ACT ACCOMMODATIONS:

Any member of the public who needs accommodations should contact the City Clerk's Office at cityclerk@atascadero.org or by calling 805-470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Design Review Committee agendas and minutes may be viewed on the City's website: www.atascadero.org.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, www.atascadero.org. All documents submitted by the public during Design Review Committee meetings that are either read into the record or referred to in their statement will be noted in the Minutes and available for review by contacting the Community Development Department. All documents will be available for public inspection by appointment during City Hall business hours.



CITY OF ATASCADERO DESIGN REVIEW COMMITTEE AGENDA

**Committee Meeting
Thursday, July 28, 2022
2:00 P.M.**

**City Hall
6500 Palma Avenue
Atascadero, California**

CALL TO ORDER

Roll Call: Chairperson Heather Newsom
Vice Chairperson Susan Funk
Committee Member Emily Baranek
Committee Member Dennis Schmidt
Committee Member Jeff van den Eikhof

APPROVAL OF AGENDA

PUBLIC COMMENT

CONSENT CALENDAR

- 1. APPROVAL OF THE JUNE 16, 2022 DRAFT MINUTES.**



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DEVELOPMENT PROJECT REVIEW

2. DESIGN AND NEIGHBORHOOD COMPATIBILITY REVIEW OF A NEW MULTI-FAMILY PROJECT AT 6855 ATASCADERO AVE.

The proposed project includes a request to construct a new 8-unit multi-family building and associated improvements on a lot with an existing single-family residence on APN 030-282-015.

Recommendation: Staff requests the DRC review and make design recommendations for the proposed project. (PRE22-0056)

3. DESIGN AND NEIGHBORHOOD COMPATIBILITY REVIEW OF AN RV STORAGE LOT AT 6805 SYCAMORE ROAD.

The proposed project includes a request to add an RV Storage Lot to an existing site for VSM Leasing & Rentals, LLC on APN 028-121-001.

Recommendation: Staff requests the DRC review plans for a new business that includes outdoor Recreational Vehicle (RV) storage and direct the applicant to make any modifications to the site as necessary prior to proceeding to the Planning Commission for a review of a Conditional Use Permit. (USE21-0107)

COMMITTEE MEMBER COMMENTS AND REPORTS

DIRECTOR'S REPORT

ADJOURNMENT

The next DRC meeting is tentatively scheduled for Thursday, August 11, 2022, at 2:00 p.m.

Agendas, Minutes and Staff Reports are available online at www.atascadero.org under City Officials & Commissions, Design Review Committee.



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

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view DRC Website





CITY OF ATASCADERO DESIGN REVIEW COMMITTEE

DRAFT MINUTES

Regular Meeting – Thursday, June 16, 2022 – 2:00 P.M.
City Hall (Teleconference)
6500 Palma Avenue, Atascadero, CA 93422

CALL TO ORDER – 2:00 p.m.

Chairperson Newsom called the meeting to order at 2:06 p.m.

ROLL CALL

Present: **By Teleconference**
Committee Member Emily Baranek
Committee Member Dennis Schmidt
Chairperson Newsom

Absent: Committee Member van den Eikhof (excused absence)
Vice Chairperson Susan Funk (excused absence)

Others Present: **By Teleconference** - Recording Secretary, Annette Manier

Staff Present: **By Teleconference**
Senior Planner, Kelly Gleason
Assistant Planner, Bailey Sullivan

Staff Absent: Community Development Director, Phil Dunsmore

Others Present: **By Teleconference**
Shayne and Joanna Wemple

APPROVAL OF AGENDA

MOTION: **By Committee Member Baranek and seconded by Committee Member Schmidt to approve the Agenda.**

***Motion passed 3:0 by a roll call vote.
(van den Eikhof, Funk absent)***

PUBLIC COMMENT

None

Chairperson Newsom closed the Public Comment period.

CONSENT CALENDAR**1. APPROVAL OF THE APRIL 28, 2022 DRAFT MINUTES**

MOTION: By Committee Member Schmidt and seconded by Committee Member Baranek to approve the Consent Calendar.

*Motion passed by 3:0 by a roll call vote.
(van den Eikhof, Funk absent)*

DEVELOPMENT PROJECT REVIEW**2. DESIGN AND NEIGHBORHOOD COMPATIBILITY REVIEW OF A SHADE STRUCTURE AT 6040 EL CAMINO REAL**

The proposed project includes a request to build an exterior shade structure for Colony Market on APN 031-191-001.

Recommendation: Staff requests the DRC approve the request. (PRE22-0052).

Planner Sullivan presented the staff report, and answered questions from the Committee.

PUBLIC COMMENT

The following members of the public spoke during public comment: Joanna and Shayne Wemple, who answered questions from the Committee.

Chairperson Newsom closed the Public Comment period.

MOTION: By Committee Member Schmidt and seconded by Committee Member Baranek to approve the request for a 338-square foot exterior shade structure (pergola) at Colony Market and Deli at 6040 El Camino Real.

*Motion passed by 3:0 by a roll call vote.
(van den Eikhof, Newsom absent)*

COMMITTEE MEMBER COMMENTS AND REPORTS

Committee Member Schmidt apologized for being late to the meeting.

DIRECTOR'S REPORT

Planner Gleason stated that soon the DRC will be hearing a new project, (a Sonic drive-through at the old KFC site on San Palo), and gave an update on the Del Rio Marketplace.

ADJOURNMENT– 2:25 p.m.

The next regular meeting of the DRC is scheduled for Thursday, July 14, 2022.

MINUTES PREPARED BY:

Annette Manier, Recording Secretary
Administrative Assistant

Adopted



Atascadero Design Review Committee

Staff Report – Community Development Department

Residential Apartment Development

| MEETING DATE | PROJECT PLANNER | APPLICANT CONTACT | | PLN NO. |
|--|---|--|--|--------------------------|
| 07/28/2022 | Kelly Gleason | Michael Hawkins | | PRE22-0056 |
| PROJECT ADDRESS | GENERAL PLAN DESIGNATION | ZONING DISTRICT | ASSESSOR PARCEL NUMBER(S) | SITE AREA |
| 6855 Atascadero Ave | High Density Residential (HDR) | RMF-24 | 030-282-015 | Approximately 0.44 acres |
| RECOMMENDATION | | | | |
| <p><i>Staff Requests the Design Review Committee:</i></p> <ol style="list-style-type: none"> Review the proposed design for a high-density multi-family residential project on a property with one existing residence. | | | | |
| PROJECT DESCRIPTION | | | | |
| <p>The applicant proposes the construction of a new, 2-story, 8-unit, multi-family building behind an existing single-family residence on a 0.44-acre site at 6855 Atascadero Ave. Multi-family dwelling units will be for rent, and parking is accommodated via surface parking. The applicant is requesting a density bonus of 11% to be granted in exchange for dedicating 1 dwelling unit for low-income households. The project is requesting a number of concessions and waivers based on State Density Bonus Law.</p> | | | | |
| ENVIRONMENTAL DETERMINATION | | | | |
| <p><i>The City of Atascadero’s environmental review process incorporates the requirements in implementing the California Environmental Quality Act. Persons, agencies, or organizations interested in obtaining more information regarding the environmental should contact the Community Development Department.</i></p> | | | | |
| <input type="checkbox"/> EIR / MND / ND / Statutory Exemption to be circulated | <input type="checkbox"/> Prior CEQA Review: | <input checked="" type="checkbox"/> Categorical Exemption Class 32, In-Fill Development Projects | <input checked="" type="checkbox"/> No Project - § 15268 Ministerial Project | |

ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO
 COMMUNITY DEVELOPMENT DEPARTMENT AT
<http://www.atascadero.org>
 6500 PALMA AVENUE | ATASCADERO, CA 93422 | (805) 461-5000

Aerial Map



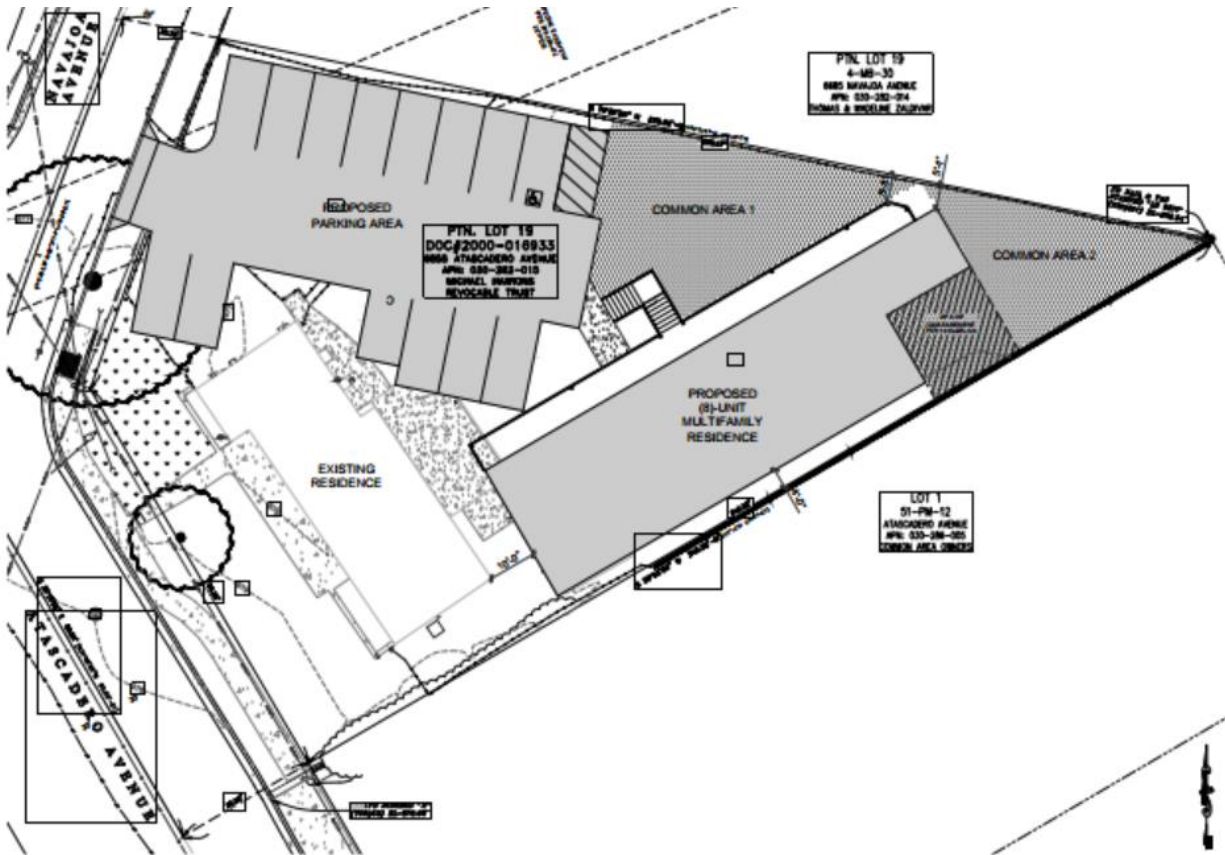
DISCUSSION:

Project Description / Summary

The subject site is approximately 0.44 acres in size, located at the corner of Atascadero Ave and Navajoa Ave. The applicant proposes a new, 2-story, multi-family building behind an existing single-family residence fronting Atascadero Ave. The minimum site density is 9 units with a maximum base density of 11 units. The project is proposing a total of 9 units (8 new units + 1 existing residence). The new multi-family dwelling units will be for rent and surface parking is to be provided accessed off Navajoa Ave. A density bonus of 11% is proposed to be granted in exchange for dedicating 11% (1 unit) for low-income households. In addition to prescribe maximum parking standards, Government Code Section 65915(d)(2)(B) allows a developer to receive one incentive or concession for including an affordable unit. Per State statute, the applicant can also request waivers of any development standards that preclude development of the site to the densities prescribed by State Law. The applicant is requesting concessions and waivers as discussed below.



Site Plan



Analysis

Site Design

The project site is an irregularly shaped parcel at the intersection of Atascadero Ave and Navajo Ave. There is an existing 1,596 square-foot residence on the site with attached garage facing Atascadero Ave. The building is linear in nature and located along the southern property line to allow access to the parking lot off Navajo Ave. Shared common areas are included at the side and front of the new building. There is an existing 20-foot x 20-foot easement for future gas company use along the southern property line that must remain clear of structures but can allow for open recreation area.

- Parking

The project includes an existing 4-bedroom residence (approximately 1,600 square-feet) and 8 new one-bedroom units. The Atascadero Municipal Code requires a minimum of 14 parking spaces. Because the project is enacting State Density Bonus Law, the maximum number of parking spaces the City can require is 11 spaces.



The project is proposing 14 parking spaces, however; two of the spaces are within the corner street setback off Navajoa Ave and staff is recommending that these spaces be eliminated. With this recommended parking reduction, the project will still provide more than the prescribed parking space ratio provisions under State Law.

It is important to note that the proposed units contain an office area that could be used as a second bedroom. Staff has added conditions to ensure that no closet space is included in these areas.

- Development Standards

The Zoning Ordinance requires specific standards for projects developed in residential multi-family (RMF) zoning districts. Atascadero Municipal Code (AMC) 9-3.262 requires the following

- A minimum front yard setback of 25-feet, a minimum corner street setback of 10-feet, a minimum rear setback of 10-feet, and a minimum side setback of 4-feet: *See discussion below.*
- A maximum height of 35-feet: *Project is 24-feet 7-inches and meets this standard.*
- A maximum lot coverage of 50%: *Project is at 51% but will meet standards with reduced parking.*
- Each dwelling unit shall include 100 cubic feet of enclosed storage: *6 of the units include a linen closet and a storage wall in the dining area in addition to storage in the office area. The 2 smaller units contain storage in the proposed office area.*
- Each unit needs access to at least 300 square feet of outdoor recreational space: *The project includes 316 square-feet per unit within the proposed common areas. (2,852 sf total).*
- Onsite laundry hookups or a shared laundry facility: *The project includes 2 shared laundry rooms, one on the ground floor and one on the second floor.*
- A minimum landscape setback between the property line and parking spaces of 5-feet: *With condition added to reduce parking stall length per AMC, only the accessible space will be less than 3-feet. This is being requested as a waiver.*

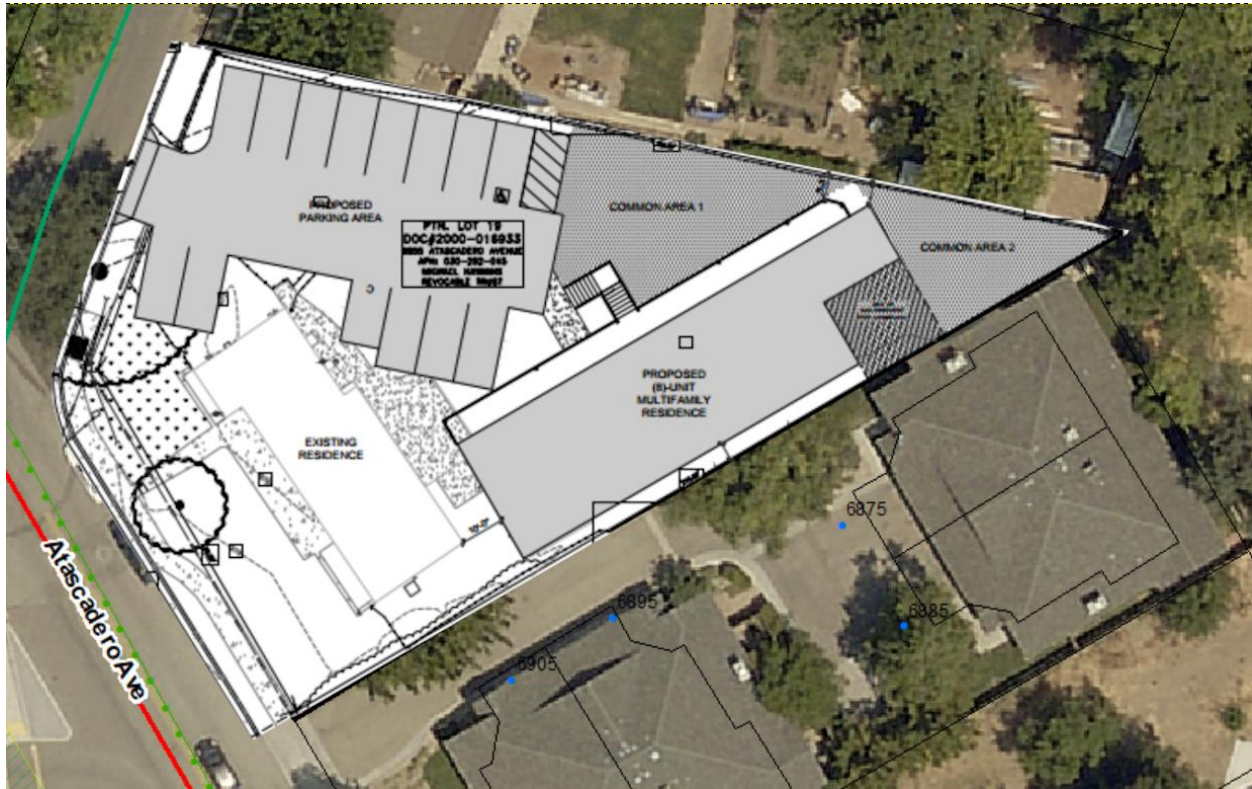
The site is a unique shape resulting in a triangular parcel with frontages on both Atascadero Ave and Navajoa Ave. In this case, one interior setback could be considered the rear and one the side or both could be considered the side. The project is designed with a 5-foot setback from both interior lot lines. If one of these lot lines is considered a rear lot line, this will be a requested waiver.

- Landscaping

No landscape plan has been submitted yet as the applicant wants to confirm the site plan before proceeding. Staff has recommended conditions of approval to



require that landscape be provided throughout the site including street trees and parking lot shade trees. The long side of the building at the southern property line is setback the minimum of 5-feet. The adjacent development is a multi-family project whose driveway borders the property line for a majority with a residential unit located toward the rear of the site in the area adjacent to the gas easement area. Staff has provided a condition of approval to provide landscaping consisting of narrow shrubs along the southern property line to soften the south elevation and a small shade tree in the location of the gas easement to provide additional layering, subject to the approval of the utility company.



The parking area also encroaches into the required 5-foot landscape setback, however, with the condition added to reduce the length of the parking spaces to allow for an overhang into landscape area, the required 5-foot setback will be achieved in all areas except in the location of the accessible parking stall, as required by the California building Code.

The Atascadero Municipal Code requires a minimum landscape coverage of 25% of the total site area. The project provides approximately 50% landscape areas with elimination of the two parking spaces.

Architectural Design

The proposed building includes two main façade materials: stucco on the ground floor and horizontal siding on the upper floor. Two gable features to break up the linear façade



are included on the elevation facing Navajoa Avenue. Gridded windows are proposed for the Navajoa facing and Atascadero Ave facing facades. Exterior stairs are included on the front façade and second floor units are accessed via an external balcony. The balcony also provides visual interest.

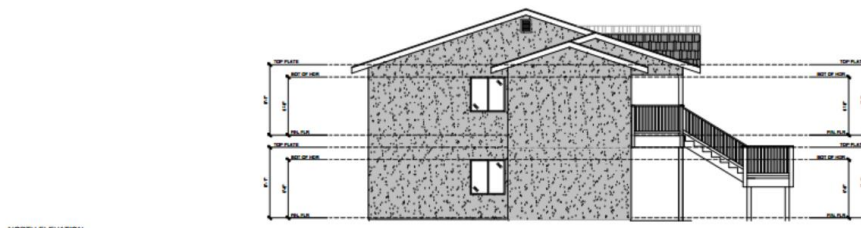
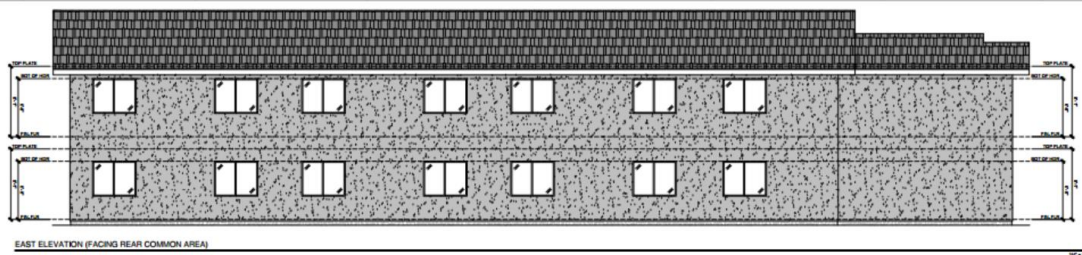
Staff is recommending the following design modifications:

1. Façade materials must wrap all elevations for consistency.
2. Windows shall match on all elevations, including grids. As an alternative, paired hung style windows can be used.
3. The building shall include darker, earth toned colors.
4. Stucco shall be sand finish or hand troweled.
5. Roof elements shall be added to the rear elevation to break up the linear roof form.

Street Facing Elevations



Interior Facing Elevations



The DRC may discuss additional design features including consistent façade materials with texture that provides vertical elements to offset the horizontal nature of the building such as board and batten or vertical siding. Alternative material could be included in the gable ends with this scenario.

It is important to note that conditions that result in the reduction in density or create infeasibility of the project are prohibited by the Housing Accountability Act.

Fencing

Solid fencing is required around the perimeter of the site. A condition has been added that all fencing be high quality and include a top rail.

Trash Enclosure

A shared trash enclosure is included toward the end of the parking lot. A condition is included to ensure that the trash enclosure is designed for consistency with the building architecture and includes space for organic waste.

DRC DISCUSSION ITEMS:

1. Site Design
2. Architectural Design
3. Landscaping

ATTACHMENTS:

1. Project Design Package
2. DRAFT DRC Notice of Action



Attachment 1: Project Design Package
PRE22-0056

See Attached



CODE ANALYSIS

ALL CONSTRUCTION SHALL CONFORM TO THE:
 2019 California Energy Code
 2019 California Residential Code
 2019 California Electrical Code
 2019 California Fire Code
 2019 California Green Building Code
 2019 California Mechanical Code
 2019 California Plumbing Code
 2019 California Building Code
 2019 California Reference Standards Code
 AS WELL AS ALL ATASCADERO BUILDING ORDINANCES AND GREEN BUILDING STANDARDS

DOCUMENTS

THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED UPON INFORMATION SUBMITTED, IN PART, BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PJ DESIGNS IS NOT RESPONSIBLE FOR THEIR ACCURACY, NOR FOR ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DOCUMENTS AS A RESULT

GENERAL NOTE

1. THE OWNER IS ADVISED THAT THESE DRAWINGS AND ASSOCIATED CONSTRUCTION DOCUMENTS ARE THE ONLY MEDIUM AVAILABLE TO EXPRESS THE INTENT OF PJ DESIGNS AND CANNOT BE ASSUMED ALL-INCLUSIVE WITH REGARD TO SUCH.

PROJECT TEAM

CIVIL

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 (805) 548-1172
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DESIGNER

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OWNER

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 (805) 440-2500
 MHAWKNS@ICLOUD.COM

SHEET INDEX

CS COVER SHEET/SITE PLAN
 C-1 PROPOSED IMPROVEMENTS
 A-1.1 LOWER FLOOR PLAN
 A-1.2 UPPER FLOOR PLAN
 A-1.3 UNIT LAYOUTS
 A-2.1 ELEVATIONS
 A-2.2 ELEVATIONS

SHEET SET

NUMBER OF ORIGINALS IN SET 7

DESIGNER NOTE

PLANS PREPARED BY:

PJ DESIGNS
 800 WARD CT.
 TEMPLETON, CA 93465
 PH (805) 550-7436
 PRESTON@PJ-DESIGNS.COM

PJ DESIGNS TAKES NO LIABILITY FOR INFORMATION PROVIDED BY THE OWNER IN THE PREPARATION OF THESE CONSTRUCTION DRAWINGS. THE OWNER HAS APPROVED THIS SET OF PLANS AND AGREED THAT THIS STRUCTURE IS BUILDBLE ON SAID LOT.

THE DRAFTSMAN DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS IN CONNECTION THEREWITH ARE SUITABLE, WHETHER OR NOT MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IN LETTER OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ENGINEER.

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DRAFTSMAN AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DRAFTSMAN.

JOB DESCRIPTION

1. CONSTRUCT 2-STORY MULTIFAMILY RESIDENCE
 - 1.1 (8) 1-BEDROOM UNITS
 - 1.2 (2) LAUNDRY FACILITIES
2. CONSTRUCT ASPHALT PARKING LOT
 - 2.1 (12) STANDARD STALLS
 - 2.2 (1) COMPACT STALL
 - 2.3 (1) ADA STALL

STRUCTURE CALCS

| LOWER | |
|------------|--------------|
| 720 SQ.FT. | UNIT 1 |
| 720 SQ.FT. | UNIT 2 |
| 720 SQ.FT. | UNIT 3 |
| 625 SQ.FT. | UNIT 4 |
| 136 SQ.FT. | LAUNDRY A |
| UPPER | |
| 720 SQ.FT. | UNIT 5 |
| 720 SQ.FT. | UNIT 6 |
| 720 SQ.FT. | UNIT 7 |
| 625 SQ.FT. | UNIT 8 |
| 136 SQ.FT. | LAUNDRY B |
| 648 SQ.FT. | COVERED DECK |

AREA CALCS

| EXISTING SITE | |
|---------------|-----------------------------------|
| 17885 SQ.FT. | LOT SIZE |
| 1594 SQ.FT. | EXISTING RESIDENCE FOOTPRINT |
| PROPOSED | |
| 2920 SQ.FT. | PROPOSED STRUCTURE (IMPERVIOUS) |
| 4525 SQ.FT. | PROPOSED PARKING LOT (IMPERVIOUS) |
| 1532 SQ.FT. | PROPOSED COMMON AREA 1 (PERVIOUS) |
| 1320 SQ.FT. | PROPOSED COMMON AREA 2 (PERVIOUS) |
| 9039 SQ. FT. | TOTAL IMPERVIOUS AREA |
| 51% | LOT COVERAGE |

PROJECT CHARACTERISTICS

THE EXISTING SITE HAS A SINGLE FAMILY RESIDENCE LOCATED ON THE PROPERTY FRONTING ATASCADERO AVE. THE PROPOSED PROJECT IS TO MAINTAIN THE EXISTING FRONT RESIDENCE AND CONSTRUCT A NEW 2-STORY STRUCTURE CONSISTING OF (8)-1 BEDROOM UNITS WITH LAUNDRY FACILITIES ON EACH FLOOR. A **STATE DENSITY BONUS** IS BEING UTILIZED AND ONE OF THE UNITS WILL BE "MODERATE INCOME". **THE PROJECT IS REQUESTING REDUCED SIDE AND REAR SETBACKS.**

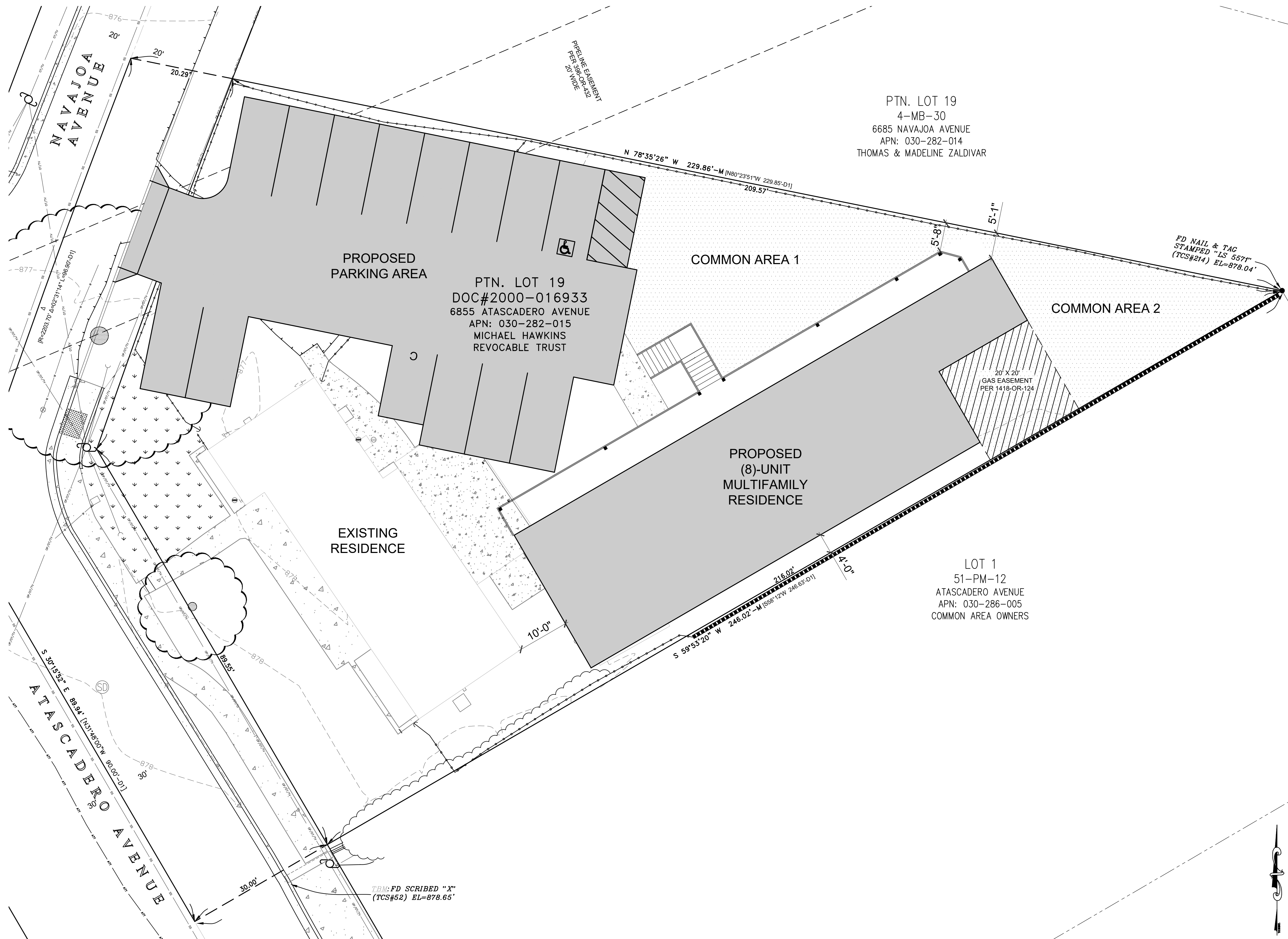
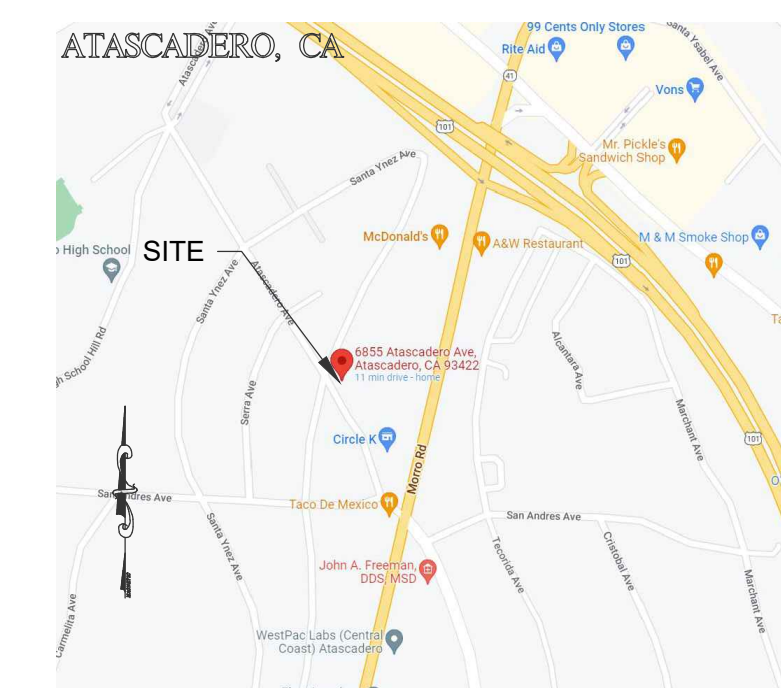
BLDG CODE DATA

OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: VB
 ALLOWABLE AREA: UNLIMITED
 HEIGHT: <24'-3"
 AUTOMATIC FIRE SPRINKLER: YES
 STORIES: 2-STORY

PROJECT DATA

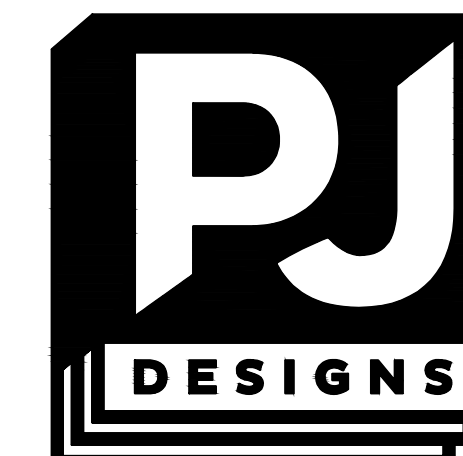
PORTION OF LOT 19, BLOCK W-A, MAP OF ATASCADERO, IN THE CITY OF ATASCADERO, AS FILED IN BOOK 4, PAGE 30, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.
 APN: 030-282-015

VICINITY MAP



SITE PLAN

1" = 10'-0"



Preston Jones

800 Ward Ct.
 Templeton, CA 93465
 805.550.7436
 Preston@PJ-Designs.com
 www.PJ-Designs.com

General Building Designer
 Custom Homes - Remodels - Additions - ADUs - As-Built

Attention: If plan check correction date does not appear in the revision block below, do not build! Build structure from this copy of construction drawings, unless otherwise indicated with "approved" not stamp from local building and planning department, copies without correction date indicated are most likely preliminary documents only.

Project

**HAWKINS
 MULTIFAMILY
 RESIDENCE**

6855 ATASCADERO AVE.
 ATASCADERO, CA 93422

Jurisdiction
 CITY OF ATASCADERO, CA

APN
 030-282-015

Job No.
 22012

Sheet Title

**COVER
 SHEET**

PMTR-0000-0000
 Plan Set

Preliminary 2.24.2022

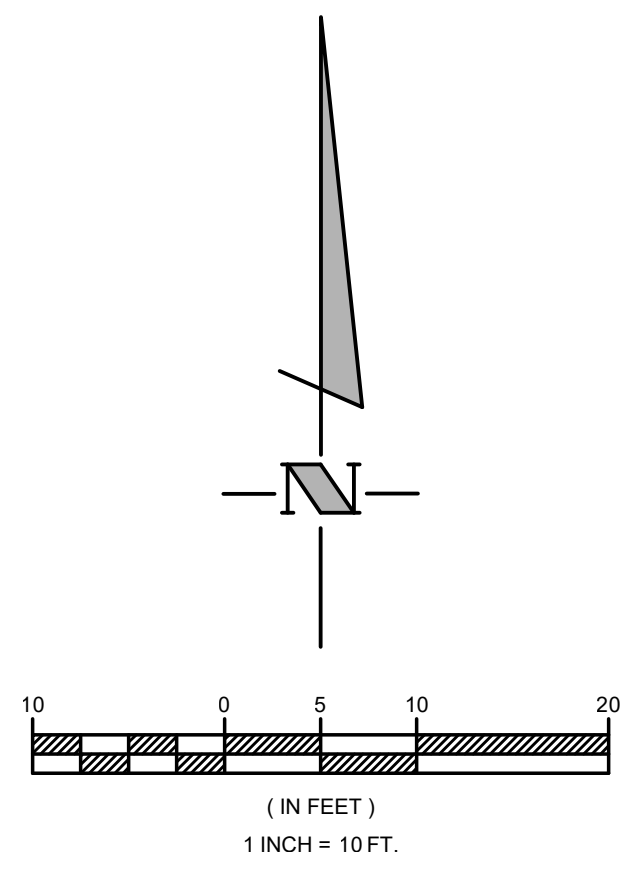
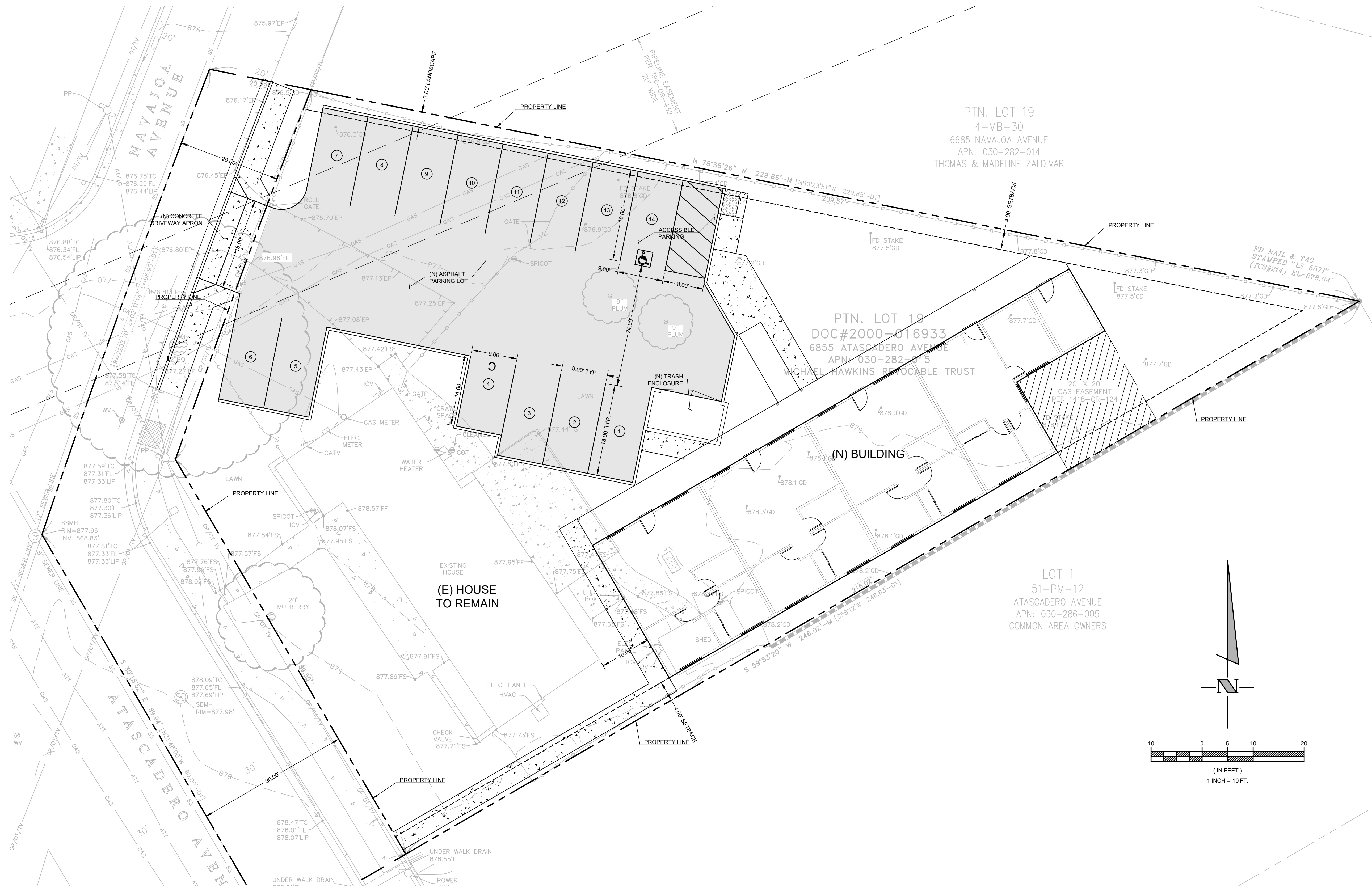
Sheet Number

CS

HAWKINS ADDITION
 6855 ATASCADERO AVE., ATASCADERO, CA 93422
PROPOSED IMPROVEMENTS

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

DESIGNED: SJS
 DRAWN: DLL
 JOB NUMBER: 21188
 SHEET:
C-1
 DATE: APRIL 18, 2022



Drawing name: N:\2021\21188-Hawkins\Civil\Condos\Sheetfiles\ARC021188-C1-1-GD.dwg
 PLOT DATE: Apr 18, 2022 - 11:24am
 PLOT BY: AGE03

NOTES

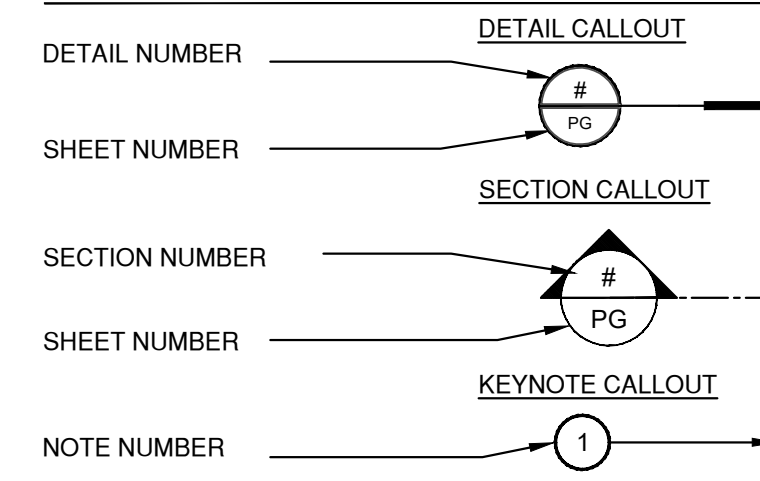
SCHEDULE NOTES: GENERAL:

1. WINDOW AND DOORS ARE APPROXIMATE ONLY. VERIFY ALL SIZES AND TYPES PRIOR TO ORDERING.
2. TEMPERED GLASS SHALL BE PROVIDED WHERE NEW GLASS IS REQUIRED AT ALL HAZARDOUS LOCATIONS INCLUDING INGRESS AND EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, DOORS AND ENCLOSURE FOR BATH TUB & SHOWER AND IF WITHIN 2 FEET OF VERTICAL EDGE OF CLOSED DOORS AND WITHIN 5 FEET OF STANDING SURFACE.
3. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY A RABBETED JOINT TO THE JAMB.
4. ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED, SHALL HAVE NON-REMOVABLE HINGE PINS.
5. THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROTECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2 1/2" IN LENGTH.
6. DEADBOLTS SHALL CONTAIN HARDENED INSERTS.
7. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 3/8".
8. A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".
9. INTERIOR AND EXTERIOR DOORS TO BE 1 3/4" THICK MIN. WITH SOLID CORE CONSTRUCTION, UNLESS NOTED OTHERWISE.
10. GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS.
11. ALL DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DUAL-GLAZED WITH INSULATED GLASS ASSEMBLIES. SAFETY GLAZING WILL BE USED FOR ASSEMBLIES WHERE REQUIRED. ALL NEW GLAZING SHALL BE LOW-E; U-FACTOR 0.75 OR LOWER, AND SHGC .40 OR LOWER, DUAL GLAZED ASSEMBLY.
12. WINDOW AND DOOR LIGHTS WITHIN 40° OF THE LOCKING DEVICE SHALL BE FULLY TEMPERED OR LAMINATED GLASS.
13. ALL GLAZING IN HAZARDOUS LOCATIONS PER C.B.C. SECTION 2406.4 MUST BE TEMPERED AND PERMANENTLY LABELED IN ACCORDANCE WITH APPLICABLE STANDARDS.
14. SAFETY GLAZING TO BE PROVIDED IN ALL DOORS AND ADJACENT PANELS, IN BATH AND SHOWER DOORS AND ENCLOSURES, WITHIN 12" OF A DOOR IN THE CLOSED POSITION, AND IN ALL PANELS IN EXCESS OF 6 S.F. AND WHOSE LOWEST EDGE IS LESS THAN 18" TO THE FINISH FLOOR OR WITHIN 36" OF A WALKING SURFACE.
15. ALL SLIDING GLASS DOOR ASSEMBLIES, SHOWER DOORS AND ENCLOSURES, AND ALL OTHER SAFETY GLAZING SHALL BE A MINIMUM OF 3/8" THICK.
16. EMERGENCY ESCAPES: EMERGENCY EGRESS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE. THESE EMERGENCY ESCAPE WINDOWS OR DOORS MUST PROVIDE A FULL CLEAR OPENING AND SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SPECIAL TOOLS. ALL EMERGENCY ESCAPE WINDOWS SHALL HAVE A MINIMUM NET OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET CLEAR HEIGHT OF 24 INCHES AND WIDTH OF 20 INCHES. THE SILL HEIGHT OF EMERGENCY ESCAPE WINDOWS SHALL NOT BE MORE THAN 3'-8" (44 INCHES) ABOVE THE INTERIOR FLOOR.

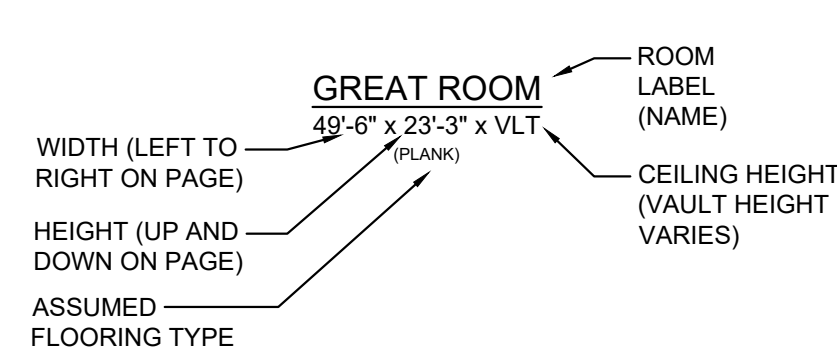
FLOORPLAN NOTES

1. ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 6 x 12 #1 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4 x 8 #2 DF UNLESS NOTED.
2. ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2 x 6 STUDS @ 16" O.C.
3. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 72" ABOVE DRAIN INLET.
5. FIBER-CEMENT, FIBER-MAT REINFORCED CONCRETE, GLASS MAT GYPSUM BACKERS, OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR CERAMIC WALL TILES IN TUB AND SHOWER AREAS AS WELL AS PANELS IN SHOWER AREAS.
6. ALL FIREPLACES SHALL HAVE APPROVED COLLAPSIBLE METAL OR GLASS DOORS AND OUTSIDE COMBUSTION AIR. OUTSIDE COMBUSTION AIR IS NOT REQUIRED ON INTERIOR FIREPLACES INSTALLED OVER CONCRETE SLAB ON GRADE. MANUFACTURER'S INSTALLATION GUIDE TO BE ON-SITE FOR INSPECTION.
7. FLOOR DAMPER TO BE PERMANENTLY BLOCKED OPEN IF A GAS LOG LIGHTER IS PROPOSED. CMC
8. FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1/2".
9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND ROOF WITH TWO 1 1/2" x 1/8" METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST. CBC
10. ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. THE NET FREE AREA OF THE ARRESTOR SHALL NOT BE LESS THAN 4 TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY FLUE IT SERVES. THE ARRESTOR SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 12 GA WIRE, 19 GA GALVANIZED STEEL OR 24 GA STAINLESS STEEL. OPENINGS SHALL NOT PERMIT THE PASSAGE OF SPHERES HAVING A DIA. GREATER THAN 1/2" NOR BLOCK THE PASSAGE OF SPHERES HAVING A DIAMETER LESS THAN 3/4".
11. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR, MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
12. PENETRATION OF FIRE-RETARDANT WALLS, FLOOR-CEILINGS AND ROOF SHALL BE FIELD VERIFIED DURING CONSTRUCTION. ASSEMBLIES SHALL BE PROTECTED PER CBC SECTION 713.3 & 713.4
13. ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 5 INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. (FIELD VERIFY)
14. A MINIMUM VENT AREA OF NOT LESS THAN 1/150 SHALL BE PROVIDED IN ATTIC OR ENCLOSED RAFTER SPACE. THIS MAY BE REDUCED TO 1/300 OF THE ATTIC AREA PROVIDED THAT A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION OR AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENT AREA LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

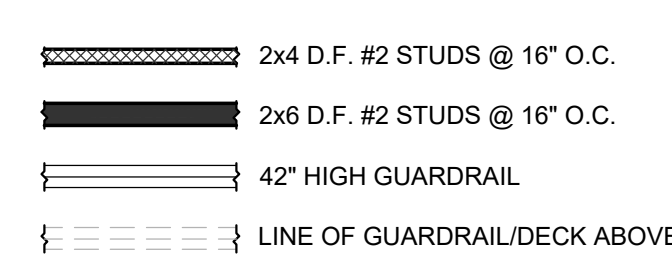
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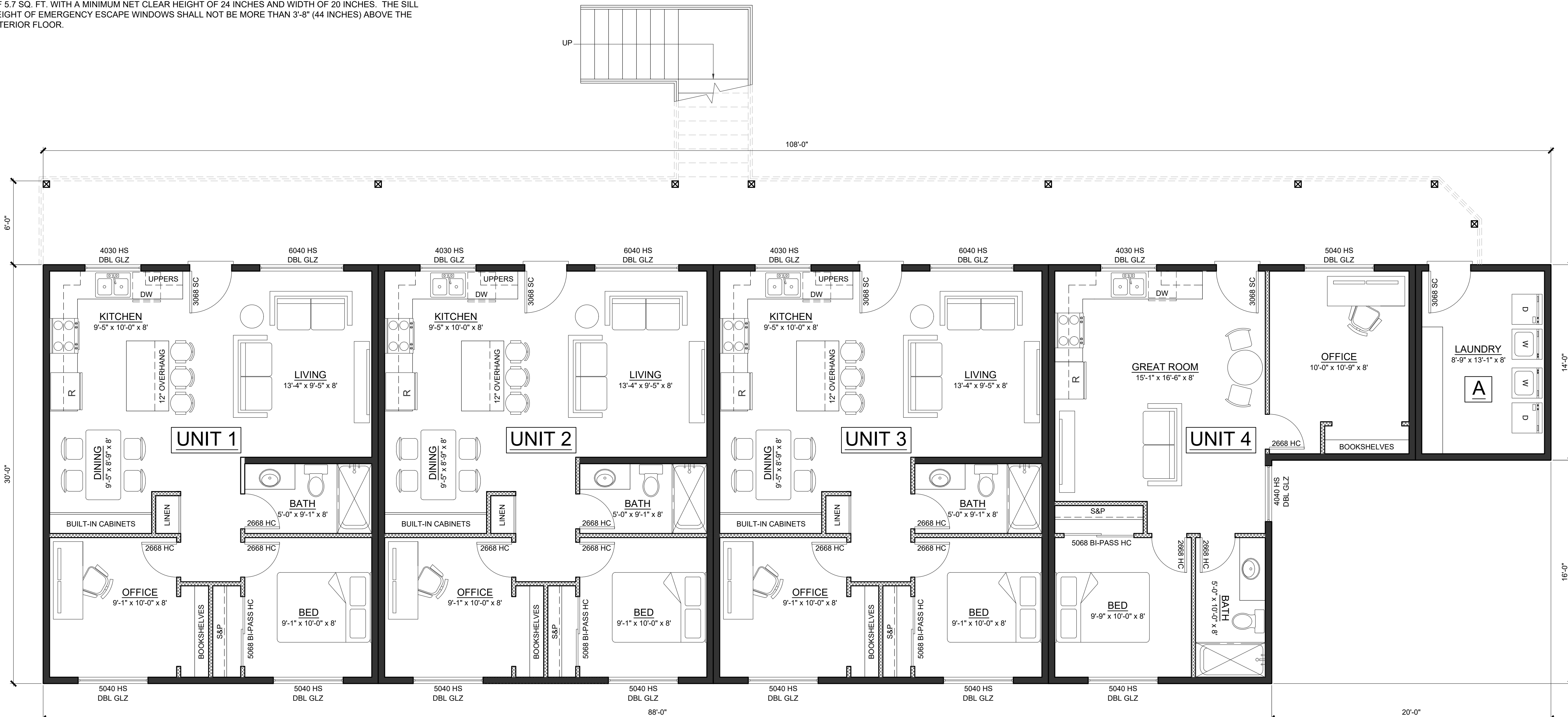
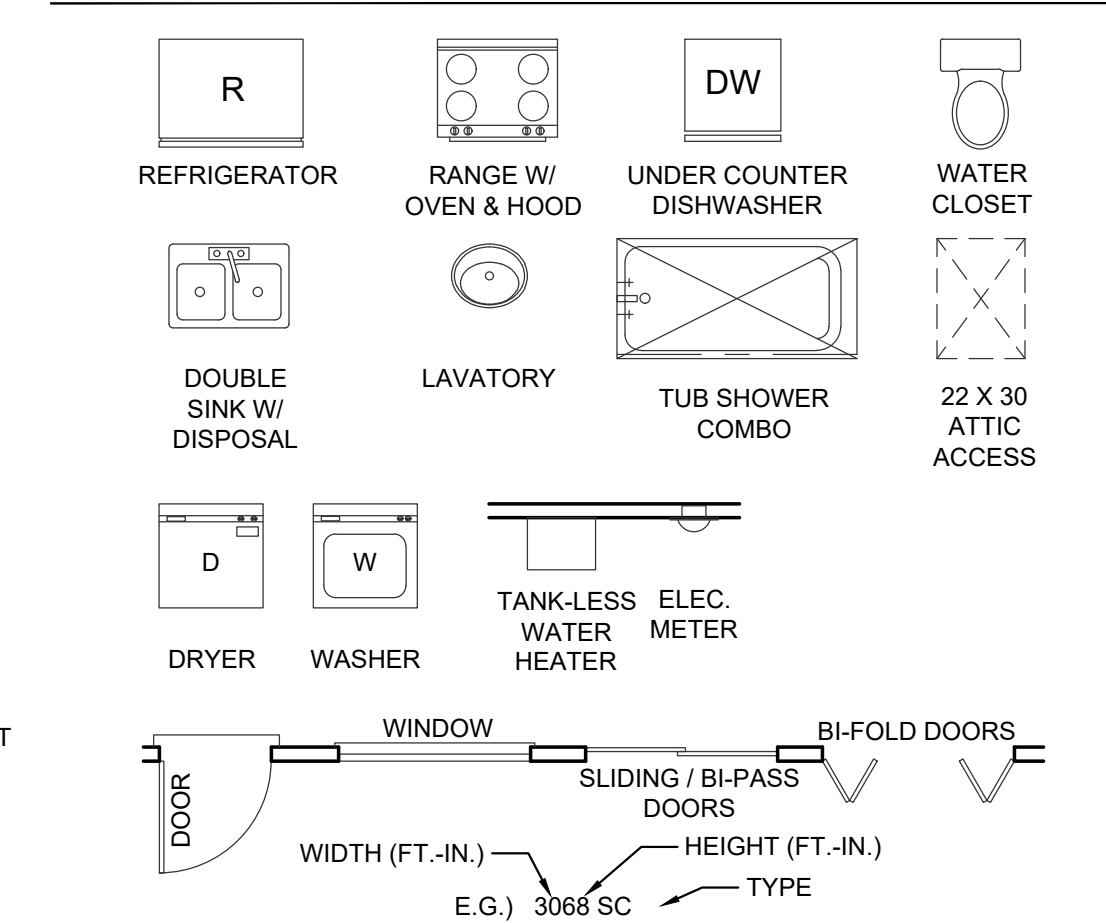
ROOM LEGEND



WALL LEGEND

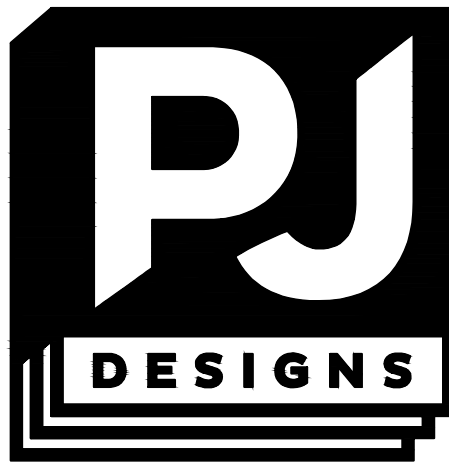


LEGEND



LOWER FLOOR PLAN

1/4" = 1'-0"



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General Building Designer
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Project

HAWKINS
MULTIFAMILY
RESIDENCE

6855 ATASCADERO AVE.
ATASCADERO, CA 93422

Jurisdiction
CITY OF ATASCADERO, CA

APN
030-282-015

Job No.
22012

Sheet Title

LOWER
FLOOR PLAN

PMTR-0000-0000

Plan Set

Preliminary 2.24.2022

Sheet Number

A-1.1



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APN
030-282-015

Job No. 22012

Sheet Title

**UPPER
FLOOR PLAN**

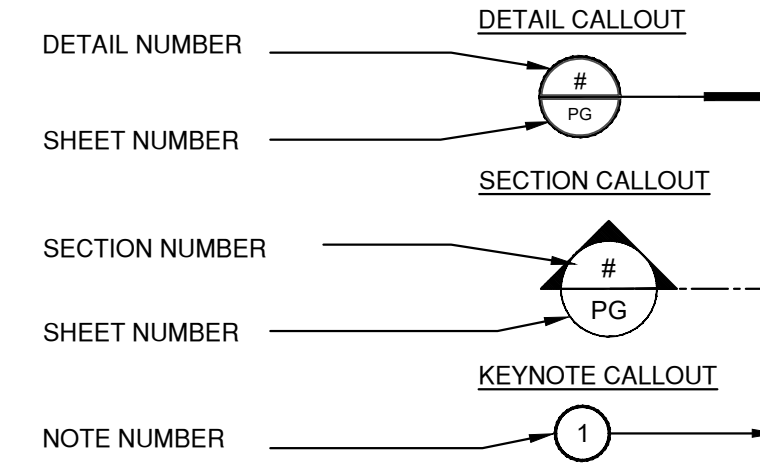
PMTR-0000-0000
Plan Set

Preliminary 2.24.2022

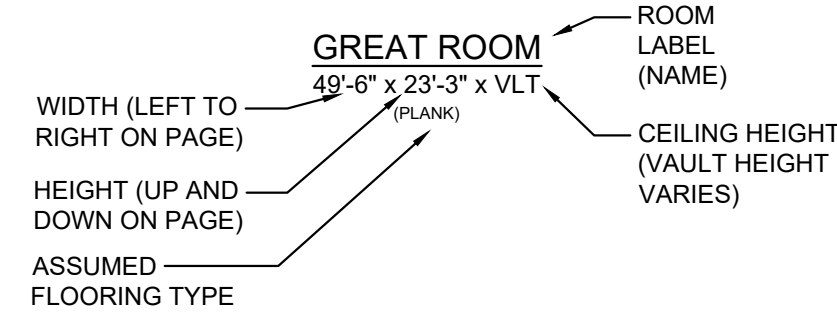
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A-1.2

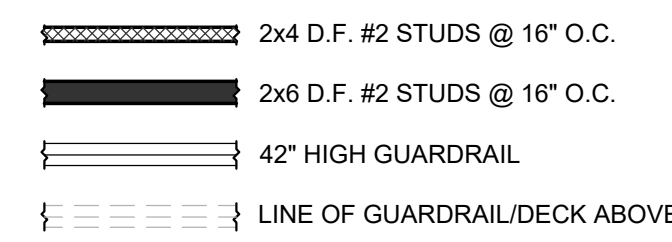
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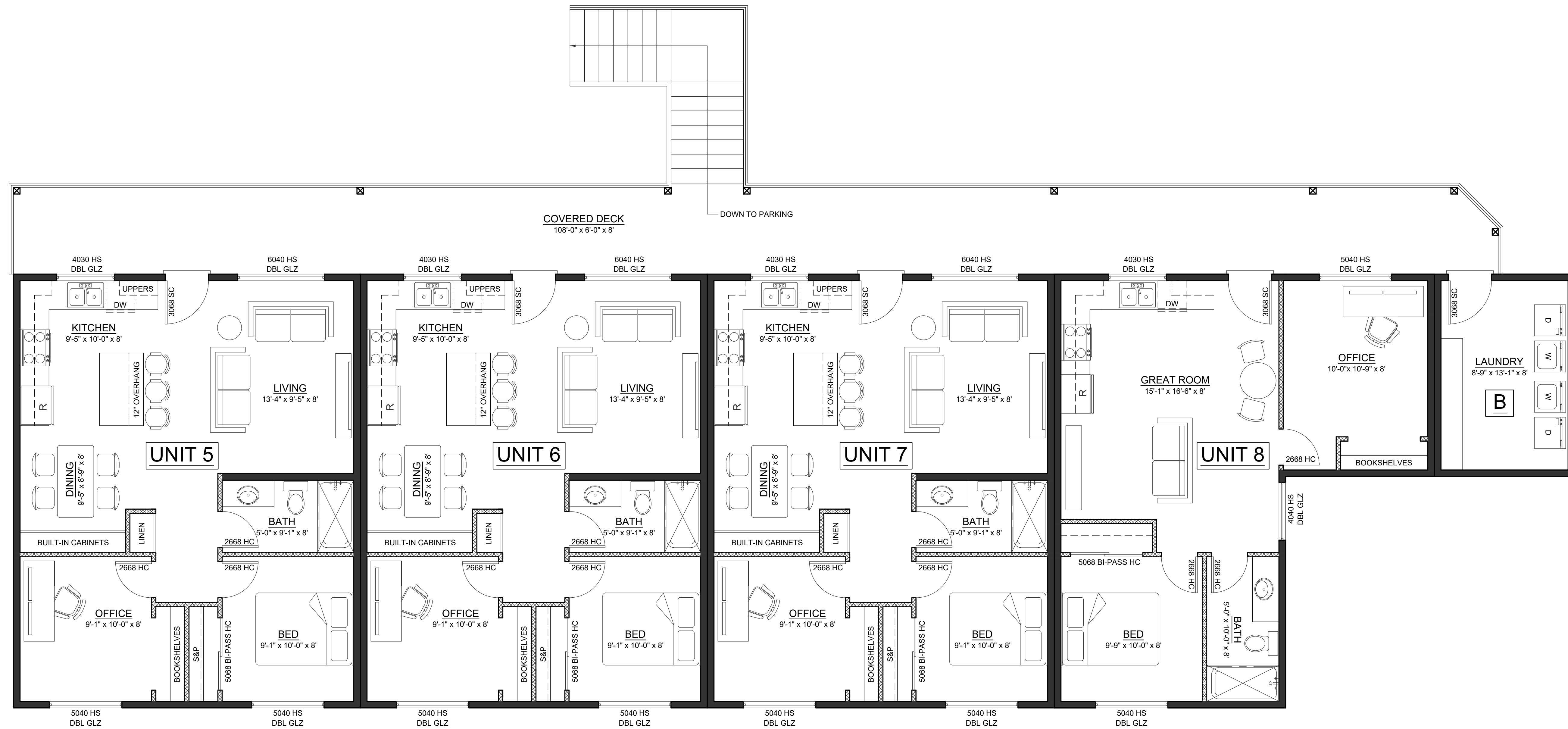
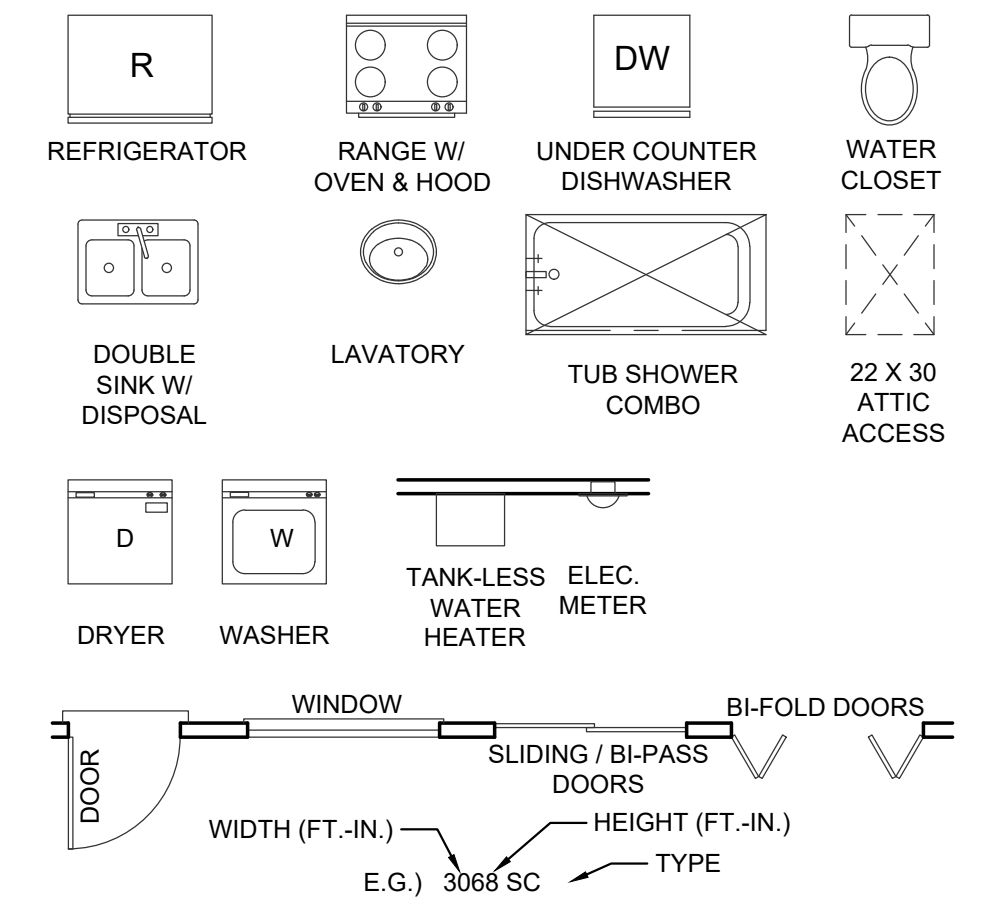
ROOM LEGEND



WALL LEGEND

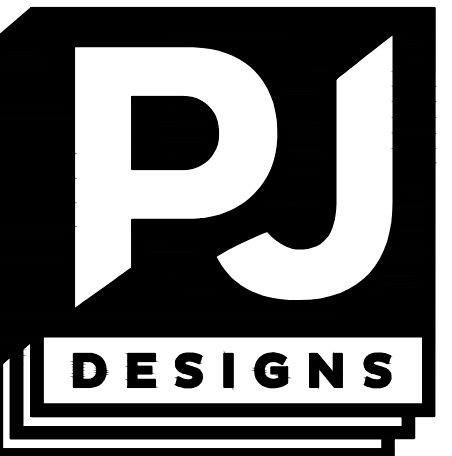


LEGEND



UPPER FLOOR PLAN

1/4" = 1'-0"



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APN
030-282-015

Job No. 22012

Sheet Title

**UNIT
LAYOUTS**

PMTR-0000-0000

Plan Set

Preliminary 2.24.2022

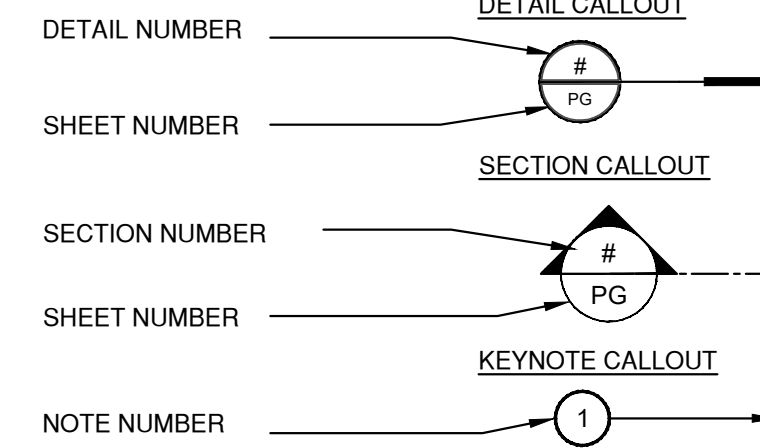
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A-1.3

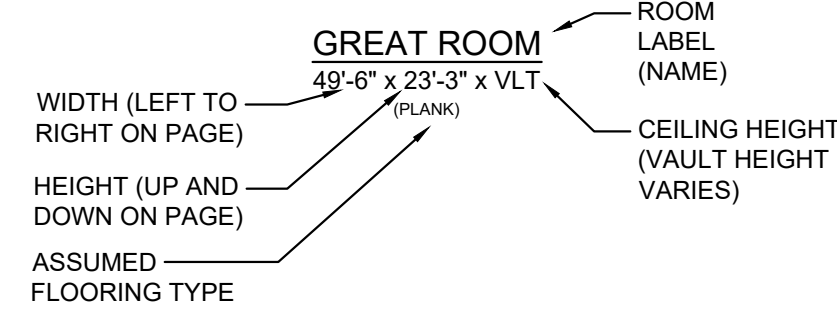
KEYNOTES

1. PLUMBING FIXTURES PER OWNER
2. APPLIANCES PER OWNER
3. BUILT-IN CABINETS PER OWNER
4. VENT DRYER THROUGH WALL ON LOWER LAUNDRY AND THROUGH ROOF ON UPPER LAUNDRY
5. 22" x 30" ATTIC ACCESS

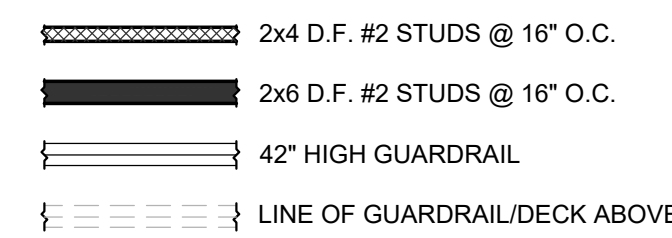
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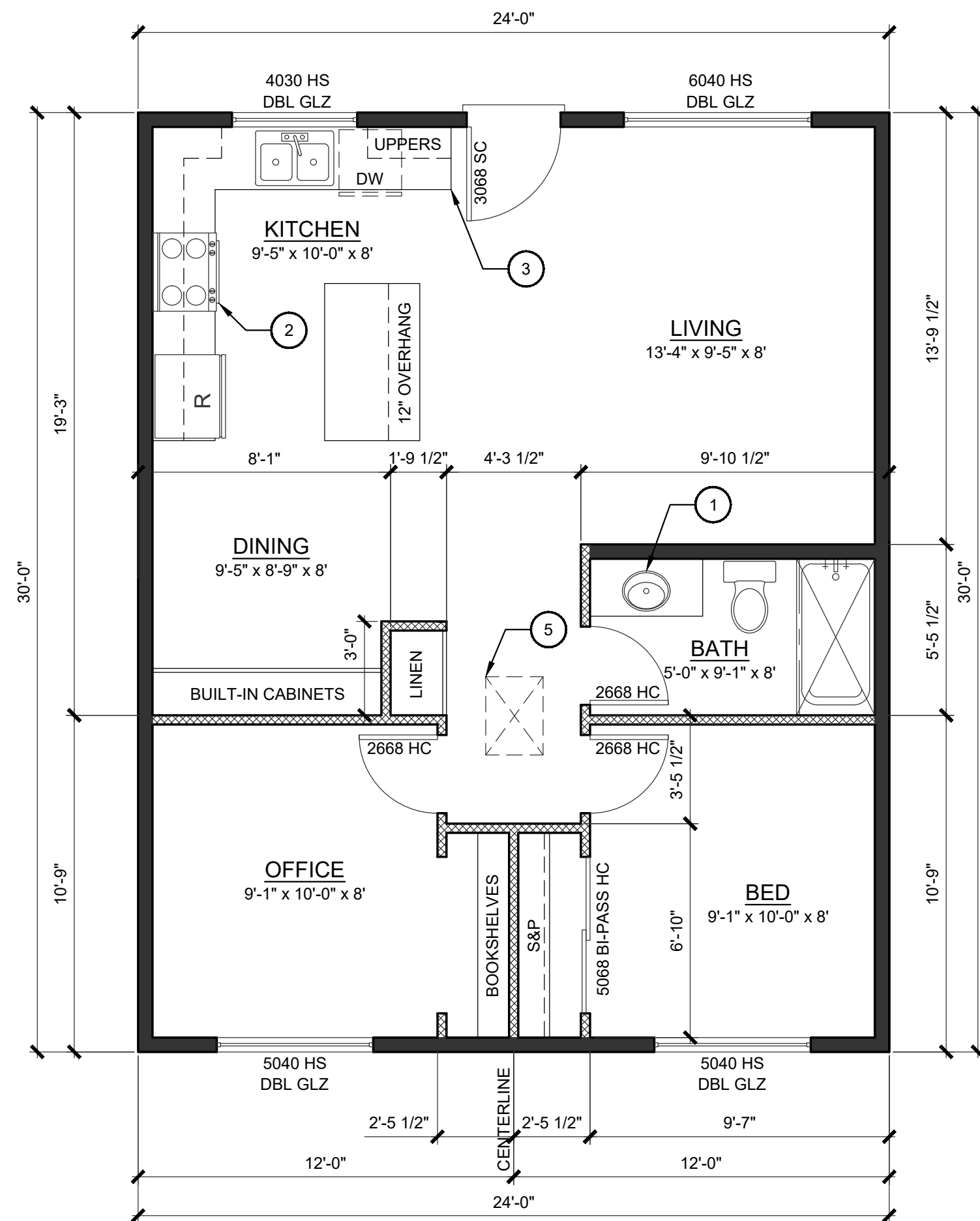
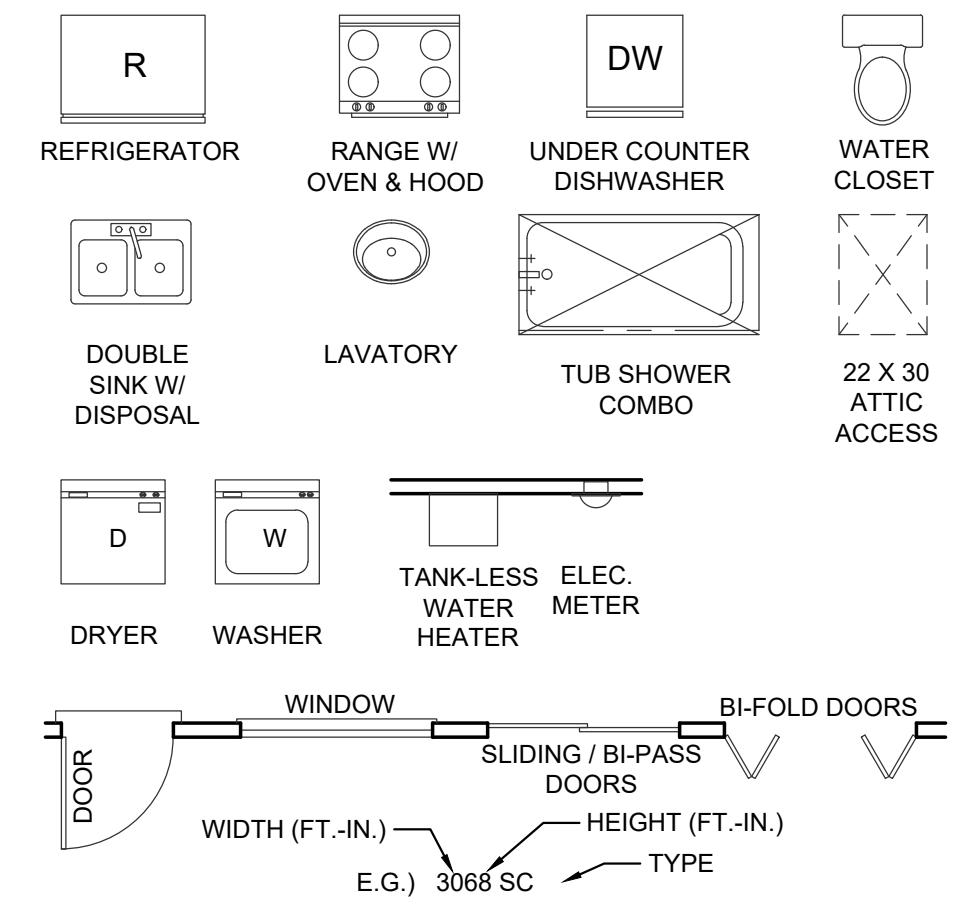
ROOM LEGEND



WALL LEGEND

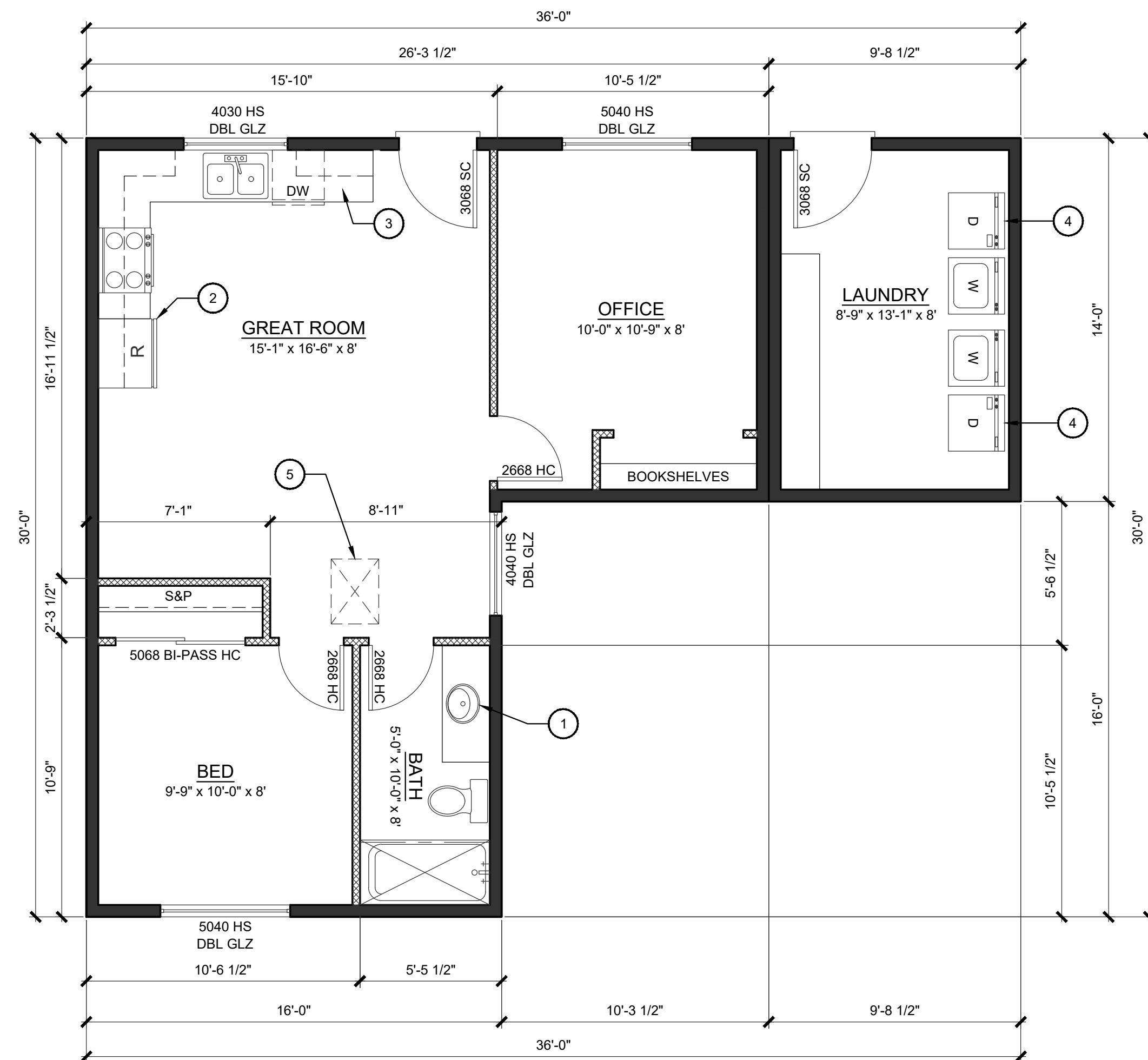


LEGEND



720 SQ. FT. UNITS

1/4" = 1'-0"



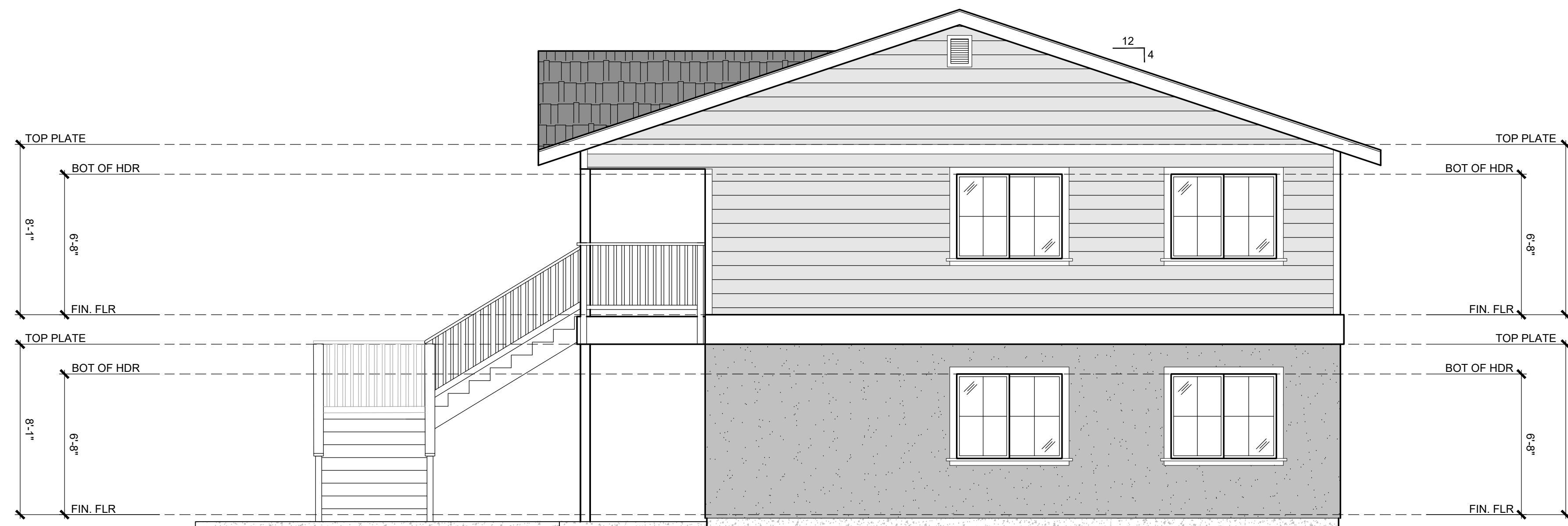
625 SQ. FT. UNITS & LAUNDRY

1/4" = 1'-0"



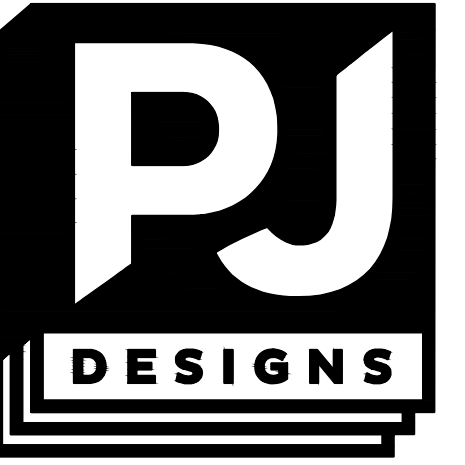
WEST ELEVATION (FACING NAVAJOA AVE & DRIVEWAY/PARKING AREA)

1/4" = 1'-0"



SOUTH ELEVATION (FACING ATASCADERO AVE.)

1/4" = 1'-0"



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ATASCADERO, CA 93422

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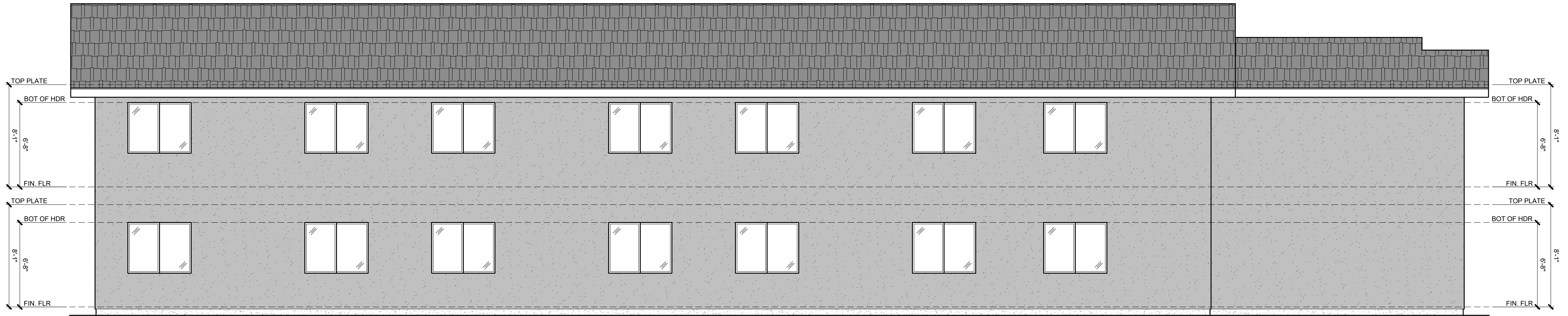
Job No. 22012

Sheet Title

ELEVATIONS

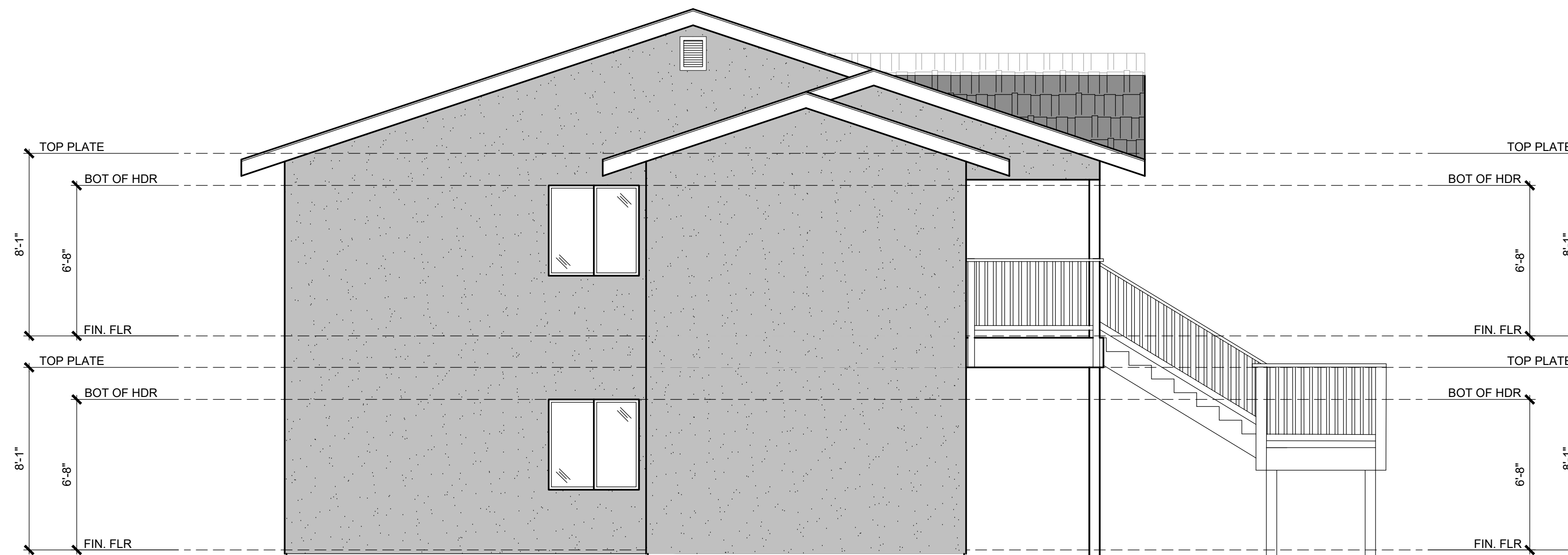
| PMTR-0000-0000 | |
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| Plan Set | |
| Preliminary | 2.24.2022 |
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Sheet Number
A-2.1



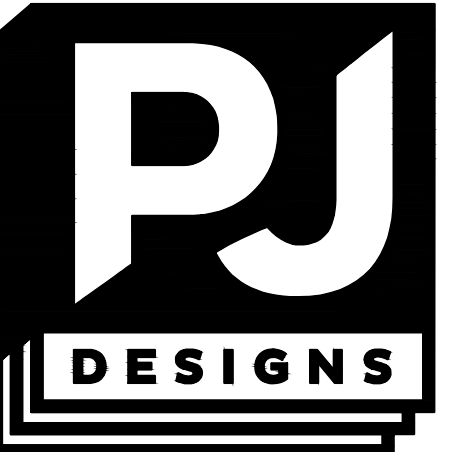
EAST ELEVATION (FACING REAR COMMON AREA)

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



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Project

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6855 ATASCADERO AVE.
ATASCADERO, CA 93422

Jurisdiction
CITY OF ATASCADERO, CA

APN
030-282-015

Job No. 22012

Sheet Title

ELEVATIONS

| PMTR-0000-0000 | |
|----------------|-----------|
| Plan Set | |
| Preliminary | 2.24.2022 |
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Sheet Number

A-2.2



CITY OF ATASCADERO

Community Development Department

6500 Palma Avenue | Atascadero, CA 93422 | Phone: (805) 461-5035 | www.atascadero.org

DRC Action Form

Project #: PRE22-0056
Project Title: Atascadero Ave Multi-Family
Planner/ Project Manager: Kelly Gleason
DRC Review Date(s): 07/28/22

Final Action: DRC PC CC

Conditions & Recommendations:

1. The two parking spaces nearest Navajoa Ave shall be eliminated to provide greater setback between the right-of-way and the parking area.
2. Parking Spaces shall be reduced in length to 15-feet as allowed by the Atascadero Municipal Code. Landscaping within the 3-foot overhang area shall be low growing plant materials.
3. The office rooms shall be modified to eliminate the closet walls.
4. Street trees shall be provided along Atascadero Ave and Navajoa Ave. Existing trees may count toward this requirement.
5. Shade trees shall be located adjacent to parking areas and within open space areas. All landscaping shall be low-water rated and meet all requirements of the State's water efficiency standards.
6. Narrow shrubs shall be installed along the southern property line that extend beyond the top of the fence line when mature.
7. Frontage improvements shall be installed per the requirements of the municipal code.
8. Fencing shall be high quality and include a top rail. No dog eared fencing is permitted.



Atascadero Design Review Committee
Staff Report – Community Development Department

RV Storage, 6805 Sycamore Road

| MEETING DATE | PROJECT PLANNER | APPLICANT CONTACT | PLN NO. |
|--------------|-----------------------------------|------------------------------|--------------------|
| 7/28/22 | Mariah Gasch Associate Planner | VSM Leasing & Rentals LLC | USE 21-0107 |

RECOMMENDATION

Staff Recommends to the DRC:

Review Plans for a new business that includes outdoor Recreational Vehicle (RV) storage and direct the applicant to make any modifications to the site as necessary prior to proceeding to the Planning Commission for a review of a Conditional Use Permit.

| PROJECT ADDRESS | GENERAL PLAN DESIGNATION | ZONING DISTRICT | ASSESOR PARCEL NUMBER(S) | SITE AREA |
|--------------------|------------------------------------|--|--------------------------|--------------------------------------|
| 6805 Sycamore Road | Industrial (I)/ Open Space (OS) | Industrial Park (IP)/ Open Space (OS) /PD 31 | 028-121-001 | 23.24-acre site 6-acre lease area |

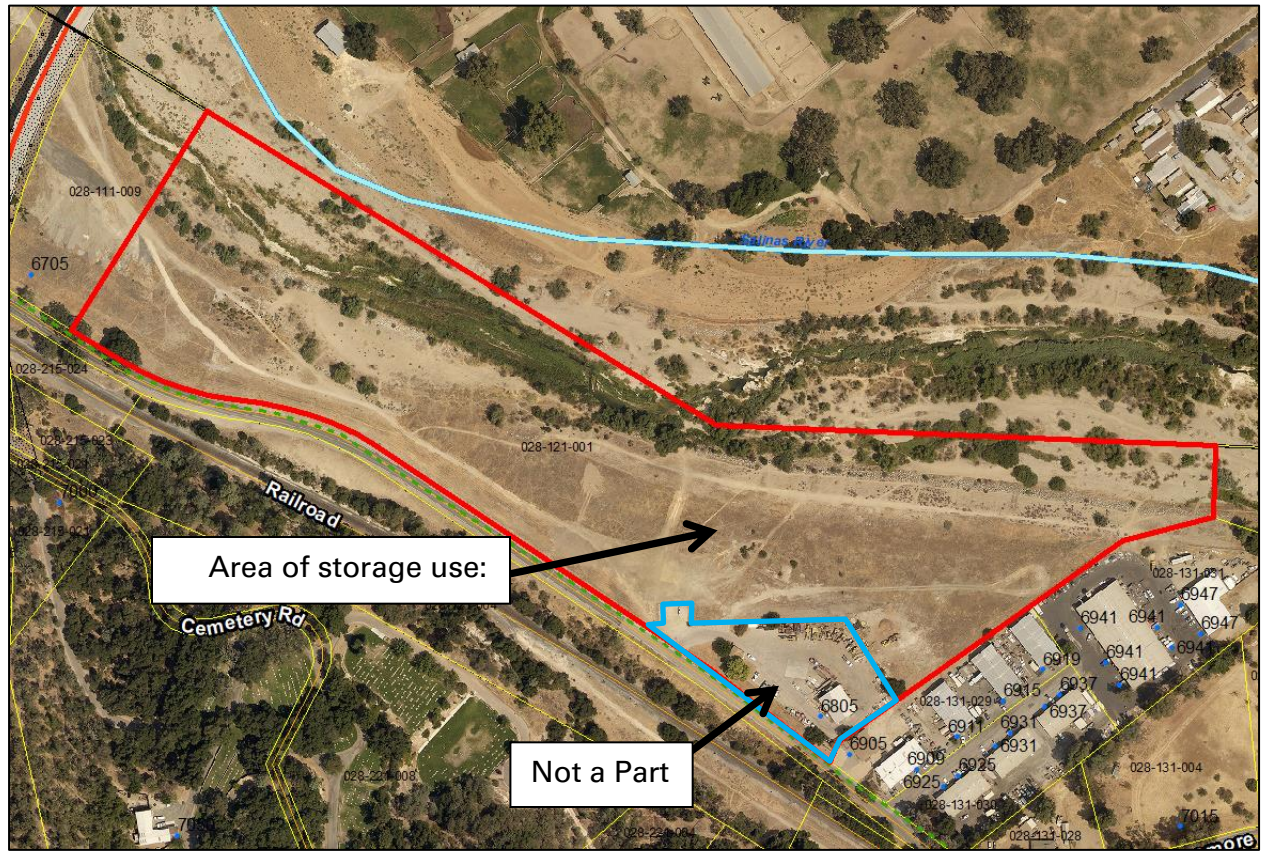
PROJECT DESCRIPTION

The proposed project includes a Conditional Use Permit (CUP) for a 6-acre outdoor recreational vehicle (RV) storage yard in the Industrial zone. The site is proposed to be used for the storage of up to 262 RVs on a portion of the site that is currently owned by Atascadero Mutual Water Company in the Industrial zone.

ENVIRONMENTAL DETERMINATION

The City of Atascadero's environmental review process incorporates the requirements in implementing the California Environmental Quality Act. Persons, agencies, or organizations interested in obtaining more information regarding the environmental should contact the Community Development Department.

Aerial Map



DISCUSSION:

Project Description

The proposed project includes a six-acre outdoor recreational vehicle (RV) storage yard in the Industrial zone. The site is proposed to be used for the storage of up to 262 vehicles outdoors. Outdoor vehicle storage in excess of 10,000 square feet is subject to the review and approval of a Conditional Use Permit by the Planning Commission. In order to approve the use, the Commission must make a series of use permit findings. If approved, the project is also subject to conditions of approval.

Background

The subject site is located on the north side of Sycamore Avenue, adjacent to the Salinas River. The site is owned by Atascadero Mutual Water Company (AMWC) and contains an existing fenced construction yard with storage buildings. In 2007, the City Council adopted a zone text change to establish a new site-specific Planned Development #31 Overlay Zone with a corresponding Master Plan of Development. The intent of the zone text change was to allow for a private bicycle motocross (BMX) facility to locate on the property. The BMX facility was never constructed and aside from the existing construction yard, the site has remained vacant. The planned development states that all other uses listed as allowed or conditionally allowed are subject to the requirements of the Zoning Code.

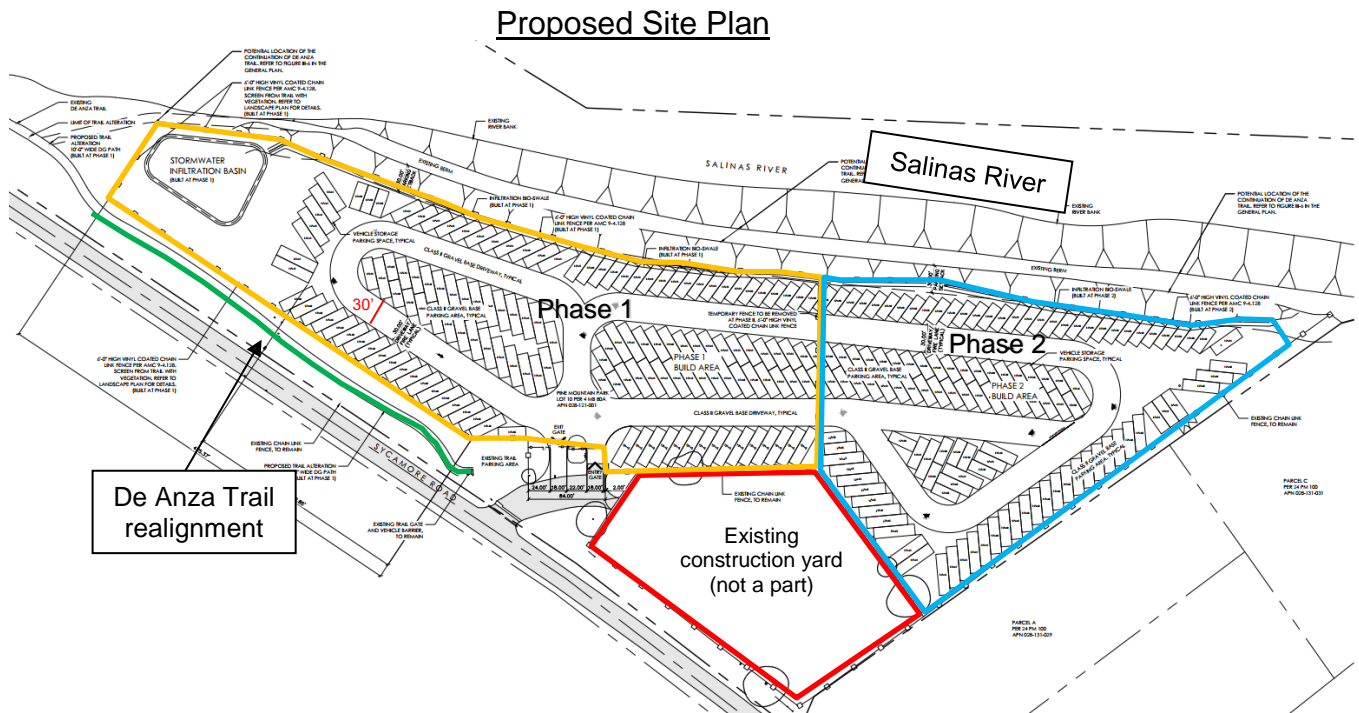


Analysis

The land use proposed, Outdoor Vehicle and Equipment Storage is a conditionally allowed use in the Industrial Zoning district. Section 9-6.140 of the City’s Zoning Regulations provides a set of site design standards for storage yards in addition to the provisions of the use permit (Attachment 4).

The applicant is proposing to complete the project in two phases. The first phase consists of 138 RV spaces, a new perimeter fence along the Phase 1 area, site grading with Class II base finish (in Phase 1 areas only), construction of an entrance gate and completion of the required stormwater basin. Phase 2 includes the addition of 124 parking spaces, removal of the dividing fence between the two phases and extension of the new vinyl coated chain link fence adjacent to the Salinas River.

The De Anza Trail currently traverses through this property and culminates from a small parking lot along Sycamore Road. Due to this development, the trail will need to be realigned along Sycamore Road. Staff is also adding a condition that the realignment of the De Anza Trail, and the improvements to fencing and landscaping, be completed with Phase 1.



Landscaping

The applicant provided a landscape plan proposing new landscaping along the realigned De Anza Trail and Sycamore Road. Staff is recommending a revision to the landscaping plan to focus taller vegetation along the interior fence adjacent to the RV storage lot. This recommendation also includes adding shorter species between the De Anza Trail and Sycamore Road to avoid the trail from becoming a hidden corridor. The applicant's landscape plan did not include landscaping between the existing construction yard onsite and Sycamore Road. Staff is requesting that the landscape plan be extended to include this portion since it is a part of the subject's parcel. This landscaping should be consistent with what is proposed on the opposite side of the driveway. There are six Coast Live Oak trees that will remain onsite and be protected during construction. Minimal landscaping is proposed throughout the RV parking areas. Atascadero Municipal Code (AMC) 9.4-125 requires 5% of the lot in an Industrial zone to be landscaped. The applicant has not provided overall lot coverage of landscaping so this will be verified prior to the Planning Commission hearing. If the proposed landscape plan does not meet the 5% requirement, staff will support an exception due to the industrial nature of the use.

Fencing, lighting and security

There is an existing six-foot-tall chain link fence along the eastern property line and around the current construction yard. This chain link fence extends the length of Sycamore Road. There is also an existing chain link fence along Sycamore Road up to the existing parking area for the trail. Staff is recommending that in order to avoid creating a hidden corridor, the applicant replace the existing chain link fence with a lower split rail fence of either metal or wood. The applicant is proposing new six-foot-tall vinyl coated chain link fencing around the RV storage lot. AMC 9-4.128 requires all new vinyl coated chain link fencing to be screened with evergreen vegetation. The new fence adjacent to the De Anza Trail will be heavily screened with landscaping. However, new fencing around the rear of the site does not have landscape screening. Staff is recommending an exception to this standard due to the industrial nature of the site and its use. The rear property line abuts a tall berm along the Salinas River and the applicant is proposing an infiltration bio swale along the entire fence line. Adding landscaping to this side would extend into proposed RV spaces, potentially creating the need for a site redesign and reducing the number of parking spaces onsite. The applicant is proposing a powered gate that will be keypad controlled. There will be no regular onsite workers. Therefore, the RV storage will be self-service.

The submittal shows several new light poles throughout the site with a maximum height of 20 feet tall. Staff is recommending this maximum height be reduced 16 feet for each light pole. This will reduce the light spilling onto adjacent parcels. The applicant is proposing lights that dim low levels light until motion is detected. This will reduce negative impact on the surrounding area while providing security for the business. They are also proposing the installation of five new security cameras on five of the proposed lights poles. The applicant has a pre-existing contract with a local security company. They plan to continue using them for this site for 24-hour security coverage.



Storage Yard Conditions

The Industrial zone is the appropriate location for intensive uses such as outdoor storage yards. However, such land uses can be detrimental to the City if not properly designed and adequately maintained. If approved, the use permit to allow a storage yard will run with the land, regardless of the business owner/operator. The accumulation of storage containers, illegal businesses, transient camps, inoperable vehicles, feral animals, and the storage of miscellaneous junk and debris are possible negative impacts brought about by this land use. Conditions of approval and an annual site review are very important to prevent this property from falling into a deteriorated site. Staff is considering the following conditions be added for the Planning Commission review of the use permit:

1. All landscaping, fencing and site improvements shall be maintained in good order. Any dead or non-performing landscape items shall be replaced within 30 days. Any damaged fencing, lighting, or site improvements shall be replaced immediately.
2. No changes to fencing, landscaping, or site improvements may be installed without prior approval by the City.
3. No cargo containers, inoperable vehicles, inoperable boats or inoperable RV's shall be stored on-site. Only currently registered, operable vehicles or RV's may be stored on-site.
4. No storage of vehicles in any location other than in the designated on-site parking areas as identified in the site plan approved by Planning Commission may be stored on any portion of the site.
5. No other land use shall be allowed in conjunction with the RV storage unless specifically approved by the City.
6. No washing of vehicles, RV's or Boats or other equipment may occur on-site.
7. No dumping of RV waste or water tanks may occur on site at any time.
8. No storage, paving, stockpiling, grading, or use of the site shall be allowed within 30 feet of the top of the bank of Atascadero Creek.
9. The realignment of the De Anza Trail shall be consistent with what is proposed. The trail shall be completed and fully landscaped to the satisfaction of the Community Development Director prior to building permit final.
10. The existing chain link fence adjacent to Sycamore Road and the realigned De Anza Trail shall be replaced with a split rail fence with a maximum height of 4 feet tall.
11. Taller vegetation shall be focused between the RV storage lot and the realigned De Anza Trail.
12. All new fencing chain link fencing shall be vinyl coated with a dark neutral color. The maximum fence height shall not exceed 6 feet.
13. Maximum height of new light poles shall not be taller than 16 feet for each light pole. The lights shall be set to dim low level light until motion is detected.
14. The Use Permit shall be subject to additional review upon receipt of operational complaints. Additional mitigation may be warranted upon verification of recurring noise or operational disturbances that impact residential properties.



DRC Discussion items:

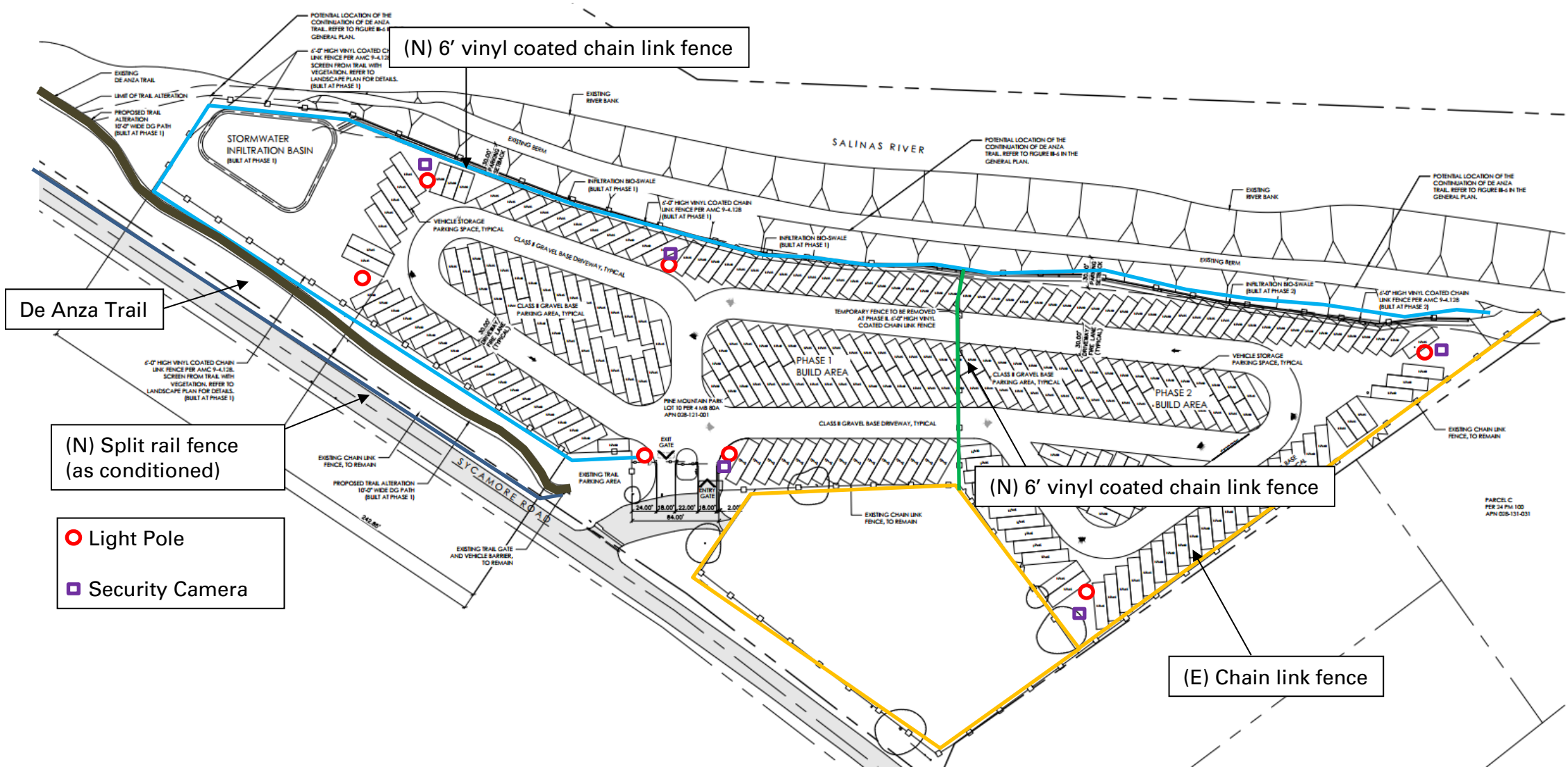
1. Landscaping
2. Fencing, lighting and security
3. Proposed project conditions

ATTACHMENTS:

- Attachment 1: Site Plan
- Attachment 2: Landscape Plan
- Attachment 3: Site Photos
- Attachment 4: AMC 9-6.140
- Attachment 5: DRC Notice of Action

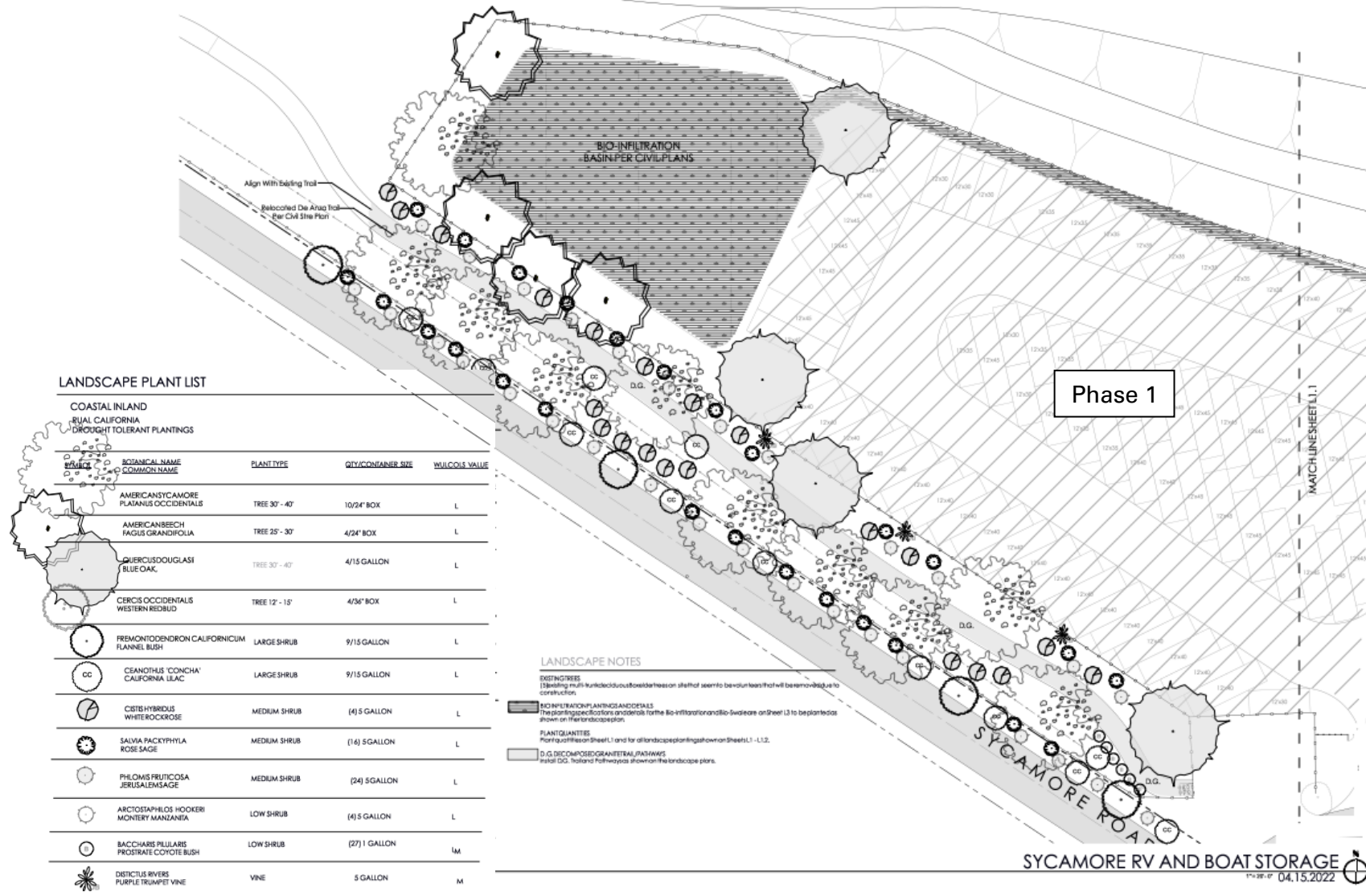


**Attachment 1: Site Plan
USE 21-0107**

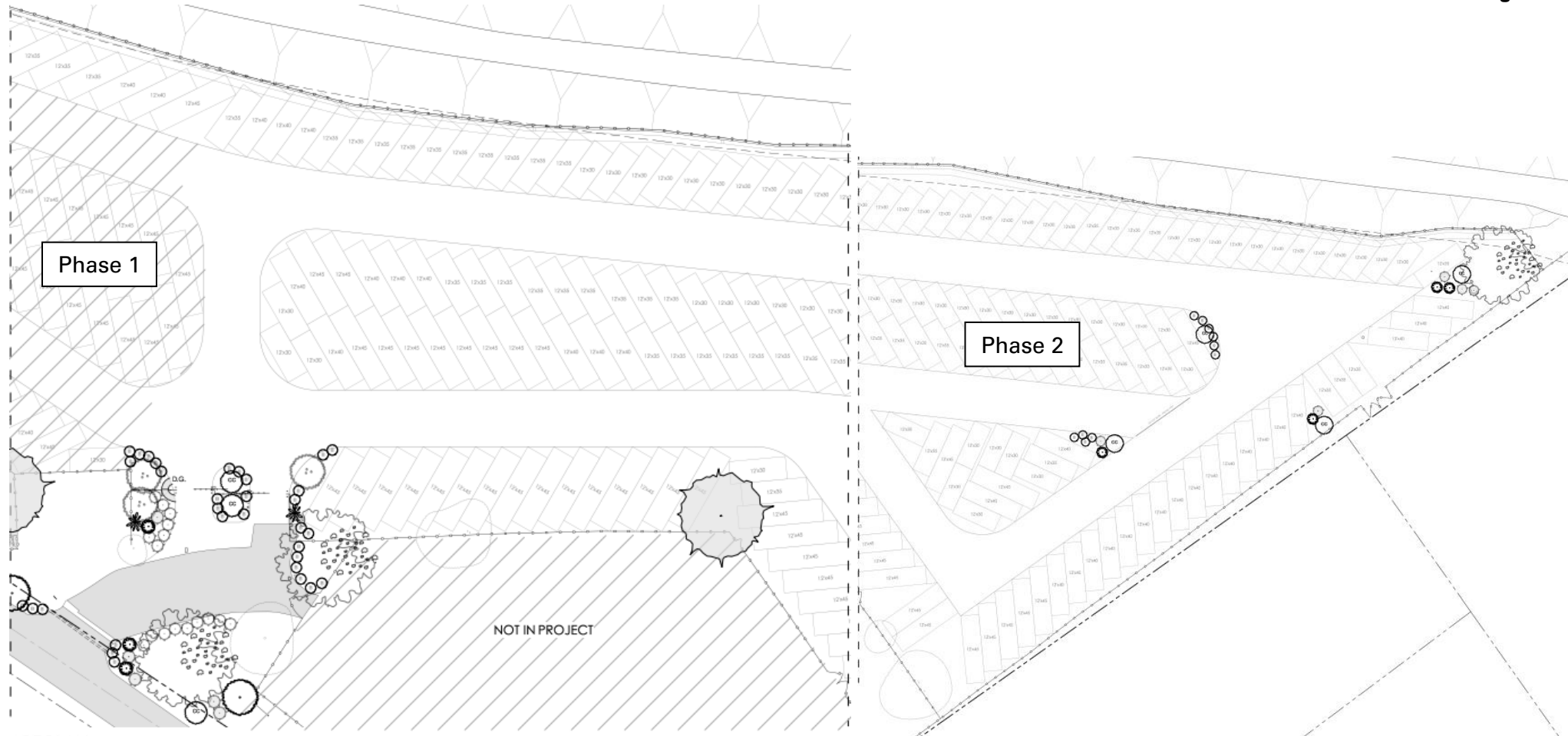


ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO COMMUNITY DEVELOPMENT DEPARTMENT AT <http://www.atascadero.org>

**Attachment 2: Landscape Plan
USE 21-0107**



ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO COMMUNITY DEVELOPMENT DEPARTMENT AT <http://www.atascadero.org>



**Attachment 3: Site Photos
USE 21-0107**

Existing Site (Facing Northwest)



Existing Site (Facing Northeast)



ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO
COMMUNITY DEVELOPMENT DEPARTMENT AT
<http://www.atascadero.org>

View of the site from Sycamore Road



Existing construction yard



De Anza Trail Entrance



Location of new automated gate



ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO
COMMUNITY DEVELOPMENT DEPARTMENT AT
<http://www.atascadero.org>

| |
|---|
| Attachment 4: AMC 9-6.140 USE 21-0107 |
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9-6.140 Storage yards.

Outdoor storage yards, excluding the storage of vehicles in a day use parking lot or garage, are subject to the provisions of this section. The storage of vehicles in a public or commercial parking lot or garage is subject to Section 9-4.114; the storage of wrecked, abandoned or vehicles being dismantled, is subject to Section 9-6.131, in addition to this section.

(a) Site Design Standards.

(1) Access. There shall be only one (1) access point to a storage yard for each three hundred (300) feet of street frontage. Such access point is to be a maximum width of twenty (20) feet and shall be provided with a solid gate or door.

(2) Screening. A storage yard, except a temporary offsite construction yard, is to be screened from public view on all sides by solid wood, painted metal or masonry fencing, with a minimum height of six (6) feet. All required screening shall be continuously maintained in good condition to assure that its intended purpose is accomplished. This requirement may be waived through administrative use permit approval (Section 9-1.112), when:

(i) The side of a storage yard abuts a railroad right-of-way; or

(ii) The surrounding terrain, existing vegetation intended to remain or other conditions would make fencing ineffective or unnecessary for the purpose of screening the storage yard from the view of public roads.

(3) Parking Requirement. None, provided that sufficient usable area is available to accommodate all employee and user parking needs entirely on-site.

(4) Site Surfacing. A storage yard shall be surfaced with concrete, asphalt paving, crushed rock, or oiled earth, and be maintained in a dust-free condition.

(5) Office Facilities. When no buildings exist or are proposed on a storage yard site, one (1) commercial coach may be utilized for an office, provided that such vehicle is equipped with skirting, and installed pursuant to the permit requirements of Title 8 of this Code (the Building and Construction Ordinance).

(b) Operation. Except for vehicles or freestanding equipment, materials within a storage yard are not to be stacked or stored higher than six (6) feet, unless screening requirements have been waived or modified pursuant to subsection (a)(2)(ii) of this section, or unless a higher wall or fence is constructed at the required setback line under an approved building permit. (Ord. 614 § 4, 2017; Ord. 552 § 2, 2010; Ord. 68 § 9-6.140, 1983)



**Attachment 5: DRC Notice of Action
USE 21-0107**



CITY OF ATASCADERO

Community Development Department

6500 Palma Avenue | Atascadero, CA 93422 | Phone: (805) 461-5035 | www.atascadero.org

DRC Action Form

Project #: Use 21-0107
Project Title: RV Storage Lot
Planner/ Project Manager: Mariah Gasch
DRC Review Date(s): 7/28/22

Final Action: DRC

Conditions & Recommendations:

1. All landscaping, fencing and site improvements shall be maintained in good order. Any dead or non-performing landscape items shall be replaced within 30 days. Any damaged fencing, lighting, or site improvements shall be replaced immediately.
2. No changes to fencing, landscaping, or site improvements may be installed without prior approval by the City.
3. No cargo containers, inoperable vehicles, inoperable boats or inoperable RV's shall be stored on-site. Only currently registered, operable vehicles or RV's may be stored on-site.
4. No storage of vehicles in any location other than in the designated on-site parking areas as identified in the site plan approved by Planning Commission may be stored on any portion of the site.
5. No other land use shall be allowed in conjunction with the RV storage unless specifically approved by the City.
6. No washing of vehicles, RV's or Boats or other equipment may occur on-site.
7. No dumping of RV waste or water tanks may occur on site at any time.
8. No storage, paving, stockpiling, grading, or use of the site shall be allowed within 30 feet of the top of the bank of Atascadero Creek.
9. The realignment of the De Anza Trail shall be consistent with what is proposed. The trail shall be completed and fully landscaped to the satisfaction of the Community Development Director prior to building permit final.
10. The existing chain link fence adjacent to Sycamore Road and the realigned De Anza Trail shall be replaced with a split rail fence with a maximum height of 4 feet tall.
11. Taller vegetation shall be focused between the RV storage lot and the realigned De Anza Trail.
12. All new fencing chain link fencing shall be vinyl coated with a dark neutral color. The maximum fence height shall not exceed 6 feet.
13. Maximum height of new light poles shall not be taller than 16 feet for each light pole. The lights shall be set to dim low level light until motion is detected.
14. The Use Permit shall be subject to additional review upon receipt of operational complaints. Additional mitigation may be warranted upon verification of recurring noise or operational disturbances that impact residential properties.

