



# ***Atascadero Planning Commission***

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## ***Staff Report – Community Development Department***

**USE 22-0027**  
**2300 Ramona / Woods Humane Society**

**RECOMMENDATION(S):**

Planning Commission adopt PC Resolution 2022 approving USE22-0027 allowing a dog adoption and care facility in the Public zone, based on findings and subject to Conditions of Approval.

Project Info In-Brief:

<b>PROJECT ADDRESS:</b>	2300 Ramona Rd.	Atascadero, CA	<b>APN</b>	049-141-043
<b>PROJECT PLANNER</b>	Mariah Gasch Associate Planner	(805) 470-3436	mgasch@atascadero.org	
<b>APPLICANT</b>	Woods Humane Society			
<b>PROPERTY OWNER</b>	Woods Humane Society, Inc.			
<b>GENERAL PLAN DESIGNATION:</b>	<b>ZONING DISTRICT:</b>	<b>SITE AREA</b>	<b>EXISTING USE</b>	<b>PROPOSED USE</b>
Public (P)	Public (P)	1.88 Acres	Animal Shelter and Spay/Neuter Facility	Expanded adoption facility with spay/neuter services
<b>ENVIRONMENTAL DETERMINATION</b>				
<input type="checkbox"/> Environmental Impact Report SCH: _____ <input type="checkbox"/> Negative / Mitigated Negative Declaration No. _____ <input checked="" type="checkbox"/> Categorical Exemption CEQA – Guidelines Section 15332 <input type="checkbox"/> Statutory Exemption §§ 21000, et seq & _____ <input type="checkbox"/> No Project – Ministerial Project				

**DISCUSSION:**

Existing Surrounding Uses / Parcel Configurations:

Existing Zoning		Existing Aerial / Surrounding	
<b>North:</b>	<b>South:</b>	<b>East:</b>	<b>West:</b>
Public (P)	Public (P)	Highway 101	Residential Single Family – Y (RSF-Y)

**Project Description / Summary**

The existing site contains a 1,300 square foot animal intake facility, 2,300 square foot spay and neuter clinic, a 2,160 square foot cat shelter, and a 600 square foot storage facility. Additionally, there are at least twenty-four (24) parking spaces on site and the site is served by an on-site septic system. The proposed project will preserve the spay and neuter clinic and add an additional 15,012 square foot facility that will contain indoor animal shelter areas, administrative offices, and a classroom. The proposed development also includes two fenced outdoor dog exercise yards, one adjacent to Ramona Road and another within a courtyard area of the new building. There are also two proposed “meet and greet” areas, one located indoors and one on a patio adjacent to the outdoor exercise courtyard. Existing parking areas are proposed to be relocated to the front of the property facing Ramona Road and along part of the north property line.



## ***Analysis***

### **Background**

In 1997, a Conditional Use Permit (CUP 97-002) was approved to establish an animal shelter as a kennel at 2300 Ramona Road for the North County Humane Society. The CUP was approved for the shelter under the kennel definition, as kennels were a conditionally allowed use at the time in the Residential Suburban (RS) zoning district, which was the previous zoning designation for the site. An amendment to the CUP (CUP 2002-0056) to allow the addition of a 2,160 square-foot modular building was approved in May of 2002. Conditions of approval included in the use permit amendment limited the site to sheltering cats only (no dogs). In June of 2002, the zoning of the property was changed to Public as a part of Zone Change 2002-0026. Although Woods Humane Society is not specifically a Kennel as defined by the Municipal Code, the Zoning Definitions do not include a definition for this unique land use which is somewhere between a Kennel and an Animal Hospital. While a Kennel is typically a private commercial animal boarding facility or a private commercial animal breeding facility with no veterinary services, an Animal Hospital is an animal care facility with some on-site boarding. An animal shelter, however, provides both animal care and adoption services and is not a private boarding facility that accommodates temporary boarding services for a fee. Animal Hospitals are a conditionally allowed use in the Public District.

In 2017, the use permit for Woods was amended to include spay and neuter clinic facilities (considered to be an Animal Hospital use). AMC Section 9-3.430 states that Animal Hospitals are a conditionally allowed use in the Public Zone and defines Animal Hospitals as establishments that are primarily engaged in performing services for animals, including veterinary services. Additional conditions of approval for the 2017 amendment included no overnight sheltering of dogs, the provision of twenty-four (24) parking spaces, landscaping requirements, and additional conditions related to existing structures on site. Conditions of approval for the amendment are included in Attachment 2.

In November 2016, North County Humane Society and Woods Humane Society merged operations and became the Woods Humane Society. The proposed expansion would serve as the Woods Humane Society north county campus and allow for expanded services, including facilities for dogs, additional outdoor areas, and expanded administrative offices, and a community room.

This project was presented to the DRC in September 2020. The discussion at this hearing was primarily focused on the land use designation and whether the proposed project should be considered a “Kennel” versus an “Animal Hospital” for the purposes of determining how the application would be processed. The DRC agreed that the use is more consistent with the Animal Hospital definition and therefore, should be considered as a conditionally allowed use in the Public zone. The applicant was given direction to move forward with their design. The proposed project was redesigned to mitigate noise concerns and negative impacts on the adjacent neighborhood and brought to DRC again in November 2021. During this hearing DRC discussed site design, architecture, and



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landscaping. The DRC agreed with site layout as proposed and recommended that the applicant obtain a noise study to further analyze neighborhood impacts. The DRC also agreed with the design proposed and found that aesthetically it was compatible with the surrounding area.

#### **Parking**

The original use permit required that a minimum of twenty-four (24) parking spaces be provided on a paved surface. The applicant is proposing to relocate and add additional parking areas towards the Ramona Road frontage and along the north side property line for a total of thirty-seven (37) parking spaces. The proposed use is considered an office for parking purposes. The Municipal Code requires one parking space per 500 square feet of use area, totaling thirty-five (35) required spaces for the proposed project. Therefore, with its 37 parking spaces, the proposed project meets parking requirements.

#### **Noise**

Noise impacts from dog barking has been identified as a neighborhood concern for this project. Residents in nearby areas raised concerns at the DRC hearing that potential barking dogs are not compatible with the neighborhood. An 'Environmental Noise Impact Report' was prepared for Woods Humane Society by Soundpost Acoustics in February 2022. The study concluded that the "maximum noise levels ( $L_{max}$ ) at the west property line due to dog barking will reach 60dBA but will remain below the maximum daytime allowable level of 70dBA according to the City of Atascadero Noise Ordinance". Average noise levels will reach 51dBA, which is comparable to the noise from Highway 101. Estimated average noise levels from the highway range between 50-55 dBA at the project site. Noise levels will only reach these heights when multiple dogs are using the outdoor exercise areas, which will not be all of the time. The exercise yard is shielded by the building structure, which will help keep noise from reaching the nearby residences. Additionally, the nearby homes are downslope from the proposed facility, increasing potential noise buffering.

The noise impact report identifies three noise source which will impact environmental noise at the site: A) Dog exercise yard, B) Trash collection and C) Rooftop mechanical equipment. In February 2022, Soundpost Acoustics visited a similar facility to what is being proposed in Loveland, CO to measure noise activity. Using sound level data measured here, the consultants calculated sound level at the western property line due to dog barking noise originating from the dog exercise yard. This calculation considered distance from noise, sloped terrain and shielding from the new building. Based on this calculation, Soundpost Acoustics estimate sound levels of 51 dBA average and 60 dBA maximum from dogs barking in the outdoor exercise yard. These estimated sound levels would only occur during times when multiple dogs are active and barking in the outdoor exercise yard.

The shelter is open to the public from 12-5 p.m. daily. Those hours are unlikely to change according to the applicant. Dogs will only be allowed out in the exterior yards,



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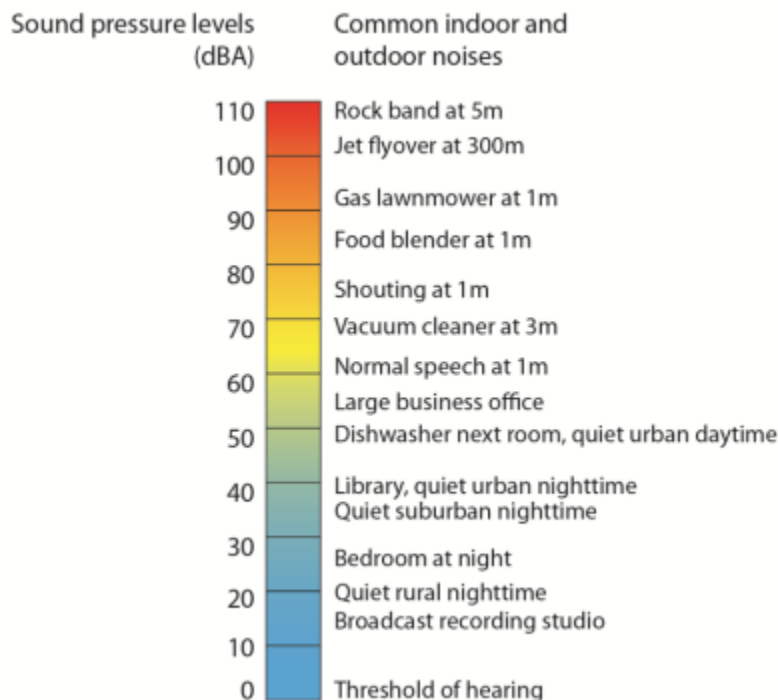
(east facing) generally during the hours of 9 a.m. -12 p.m. and of course for meet and greet visits from potential adopters (12 p.m.-5 pm). Dogs are also occasionally rotated for some exercise for a short time in the afternoon hours. Staff and volunteers are always present and dogs are not left unattended and are never outside after the shelter closes at 5 p.m.

Second, the study specifically analyzes trash collection. At the western property line approximately 85 feet away from the trash facilities, it is estimate that the average noise level will be 65 dBA with a maximum of 80dBA. Soundpost Acoustics recommended Woods Humane Society provide a CMU wall around the dumpster pad to act as a partial noise barrier for trash collection noise. The CMU wall should be no less than 6 feet tall. It is estimated that this will attenuate trash collection noise by 5-8dB. Another option would be to relocated the dumpster pad to a different location. Finally, the noise study analyzed impacts from rooftop mechanical equipment. It is estimated that at the western property line, average sound levels will be 43 dB(A). For reference, staff added a chart bellowing depicting common noise sources and their dBA levels.

#### *Staff recommendation*

Staff has added a condition that limits hours used for exterior yards to 9 to 5 daily and clarifies that staff must be present with dogs outside at all times. No dogs shall be left unattended in outdoor exercise yards. Staff has also added a condition that noise levels must be adhered to per AMC 9-14.05. Lastly, staff added a condition that a six-foot-tall CMU wall be installed around the dumpster pad prior to building permit final.

#### Common noise sources and their dBA levels

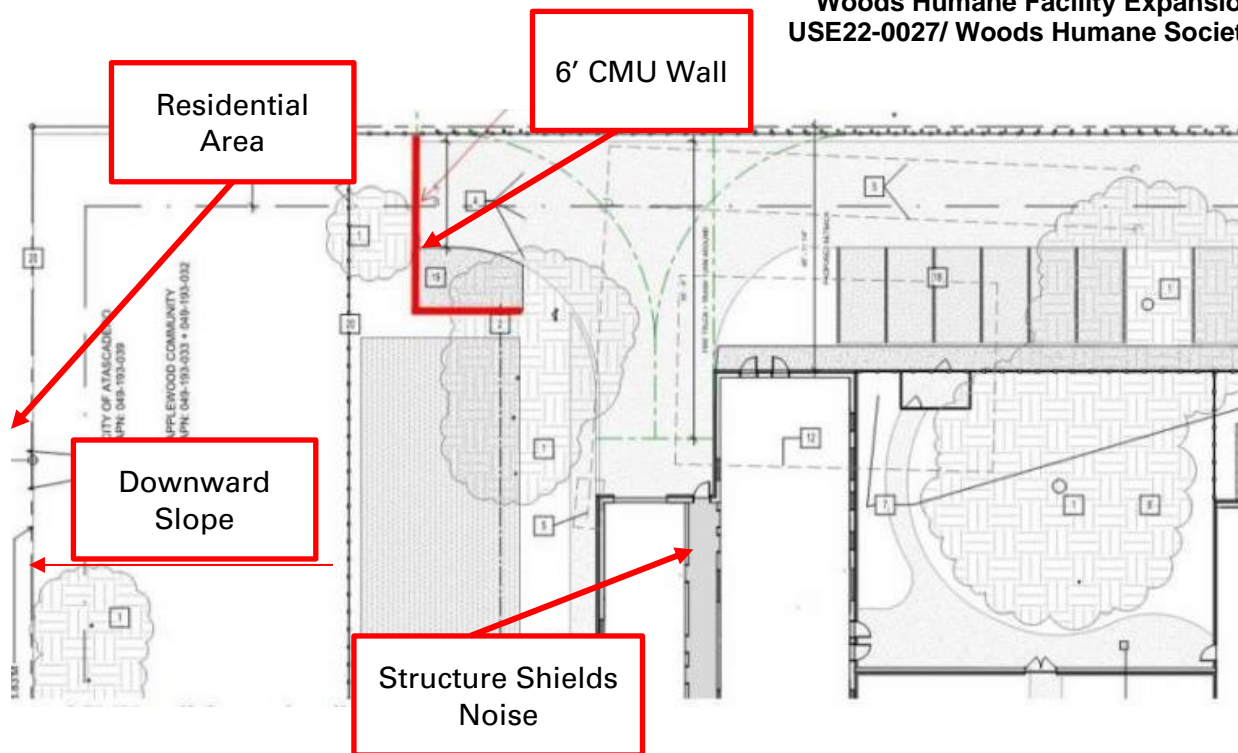


Source: Minnesota Pollution Control Agency (<https://www.pca.state.mn.us/sites/default/files/p-gen6-01.pdf>)



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#### Design & Landscaping

##### *Architectural Design*

The project is designed to be consistent with Woods Humane Society facilities located in San Luis Obispo. The existing facility in San Luis Obispo incorporates native landscaping, high-quality architectural design, and climate appropriate architecture.

The applicant has provided examples of materials that would be used in the project. This list includes vertical metal wall panels as well as stucco columns and wainscot. The entire exterior of the building will have vertical paneling. There will also be a stucco wainscot all along the bottom portion of the building. The proposed color scheme includes neutral shades of grey and beige. Proposed roofing materials include a grey asphalt shingle. The existing spay and neuter facility will remain in place. This façade currently includes grey vertical panels as well. Since the colors and materials will be consistent with one another, the two buildings will be architecturally compatible with each other.

Renderings of the updated design for the building show the u-shape of the proposed building, that opens up to a dog exercise yard. The front façade, facing the parking lot and Ramona Road, has a portico with stucco columns and the Woods Humane Society signage. This creates depth for the front exterior of the building. The roof lines of the parallel sections of the building are also visible, adding further architectural interest to the front façade.

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ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE ATASCADERO  
COMMUNITY DEVELOPMENT DEPARTMENT AT

<http://www.atascadero.org>

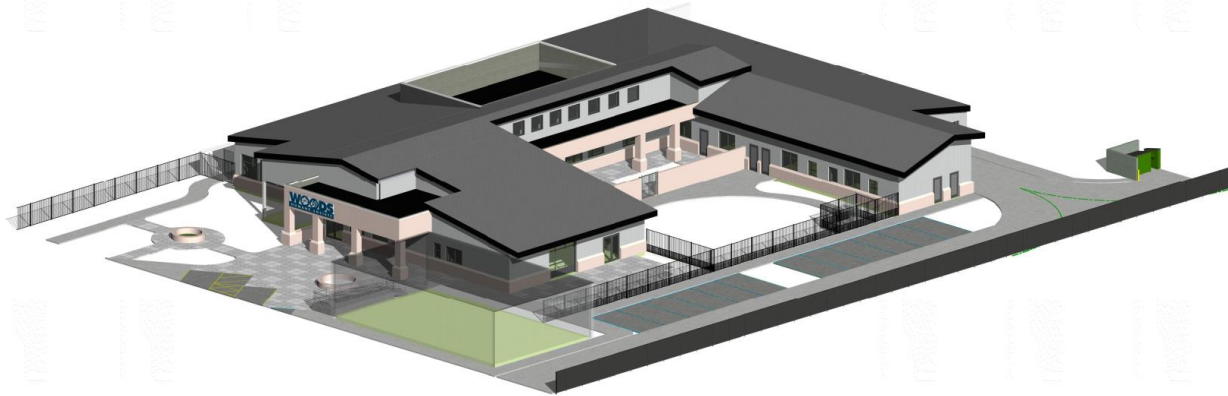
6500 PALMA AVENUE | ATASCADERO, CA 93422 | (805) 461-5000

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The varying rooflines, colors and materials all add significant architectural interest to the building. The neutrality of the color scheme will allow the building to be compatible with the surrounding area; therefore, staff does not have any further recommendations regarding architecture of the building.

#### Conceptual Architectural Design



#### Existing San Luis Obispo Facility



#### Site Design

The site is designed with two driveways, one for entering and one for exiting, off Ramona Road. There are currently twenty-four (24) off-street parking spaces located in the middle of the site. The proposed project will relocate the existing parking towards the Ramona Road frontage and along a section of the north property line to allow for facility expansion within the middle of the property and buffering from adjacent residential uses. A fire access turn-around is designed into the driveway access along the north property line. The 2,139 square foot spay and neuter clinic will remain in its current location. The proposed project would also create a plaza leading up to the front reception area and two



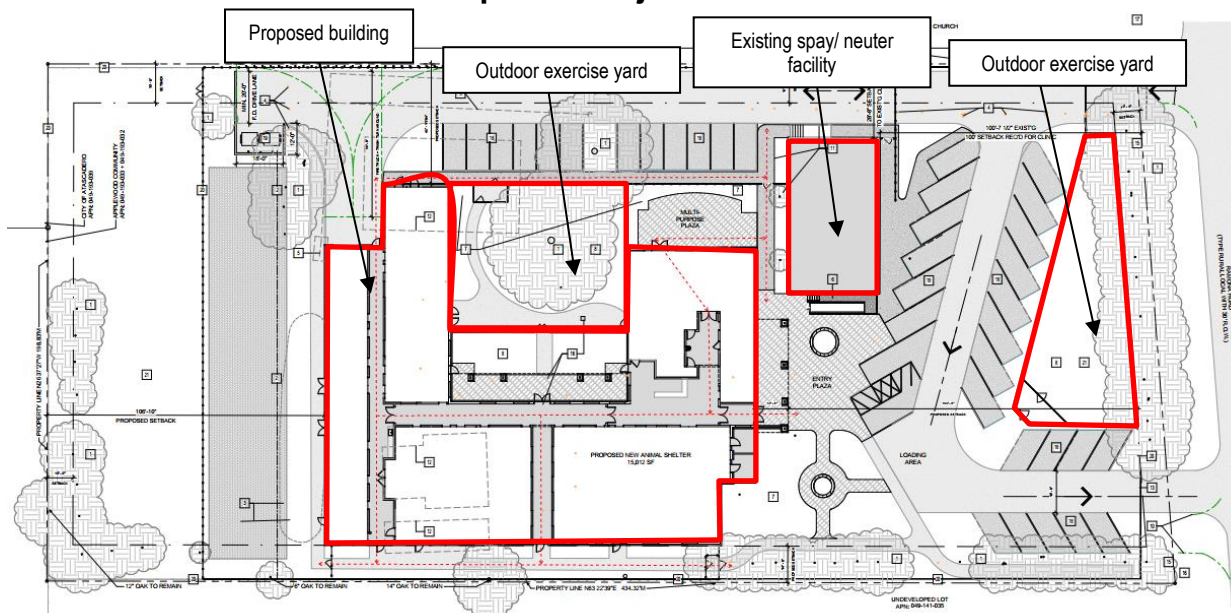
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outdoor exercise yards, one adjacent to Ramona Road and one within a courtyard of the proposed building. There are ample walking paths throughout the design. The main facility will be divided into cat and dog sections, administrative offices, “meet and greet” spaces, and a reception area, among other uses. The rear of the property will remain as open green space.

The proposed dog exercise yards are located away from adjacent residences to reduce any negative noise impacts. The exercise yards are also located in front of and between buildings to utilize the building as a sound barrier between Apple Valley residences.

#### Proposed Project Site Plan



#### Setbacks

The project is located on a publicly-zoned site that does not have specific setback standards. AMC Section 9-6.111 requires a minimum setback for Outside Animal Enclosures that are part of a kennel to be located a minimum of twenty-five feet (25) feet from the property line. Outside animal enclosures that are accessory to animal husbandry facilities need to have a one hundred (100) foot setback from adjacent property for any enclosures used for boarding of large animals and need to have a twenty-five (25) foot setback for any outside areas used for short-term treatment activity.

AMC Section 9-6.110 contains setback requirements and design standards for animal hospitals. Animal hospitals are required to have a one hundred-foot (100) foot setback for animal husbandry facilities that board large animals, and a twenty-five (25) foot setback for any outside animal areas used for short-term activities on property line adjacent to residential uses. As these are conditionally allowed in the Public Zone, staff and the Planning Commission have discretion to apply setback standards with Conditional Use Permit approval or amendment. The buildings on site and proposed in the site plan are





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separated and comply with 5-foot interior setback requirements under AMC Section 9-4.109.

The plan for the new building includes a rear setback that is over 100', a 14' setback to the adjacent vacant commercial property, 40' from the existing church property and approximately 150' from the Ramona Road right-of-way. As there are no Outside Animal Enclosures, these do not pose a conflict.

#### *Landscaping, Screening, and Fencing*

Three native oak trees and one non-native pine tree were identified near construction on the arborist report completed by Whit's-Turn. The three native oaks are to be protected in place while the non-native pine tree is to be removed. The applicant has provided a conceptual landscape plan that includes a proposed plant list as well as proposed fence designs with their locations shown on the plan. The plant list includes deciduous trees, evergreen trees, shrubs, grasses and perennials, and ground cover. In further detail, the plant list includes options for each of these groups. For deciduous trees there are western redbud, honey locust, Chinese pistache, and crepe myrtle. Evergreen trees include magnolia, olive, and coast live oak. Shrubs include variegated abelia, bush anemone, purple rockrose, coffeeberry, pink Indian hawthorn, iceberg roses and laurustinus. Grasses and perennials include feather reed grass, sage, yarrow, lavender, and pink muhly. Lastly, groundcover includes carpet manzanita, dwarf coyote brush, bearberry cotoneaster, creeping rosemary, and Asiatic jasmine. The site has various existing tree groupings along the front and rear property lines that act as existing screening. These are already mature and will assist in screening and meeting landscape standards for screening from adjacent residential neighborhood and street trees along Ramona Road.

AMC Section 9-4.128 requires that fencing and screening within the urban services line be a minimum of six (6) feet in height. Additionally, a solid wall or fencing must be located on side and rear property lines of any non-residential or non-agricultural use abutting a residential use or zone. The proposed project is located adjacent to a vacant parcel that is zoned public to the south and a church (Foursquare Family Church) to the north on a parcel zoned public. The site has an existing 3-foot wooden fence along the frontage, varied fencing (including wooden, wire, and chain link fencing) along the south property lines, and a chain link fence adjacent to but not directly on the rear property line to the west. Under AMC 9-4.128, the proposed project will be required to install screening on the side and rear property lines.

The proposed fence types include a metal rod iron fence, a 6' tall vinyl-coated chain link, and a 6' tall solid vinyl that will be used throughout the project. The conceptual landscape plan details where there currently are fences on the site and where the proposed fences will join them. Plans show a 6' tall decorative metal fence surrounding the front of the property. This will provide security for the facility, but will also be opaque as to not hide the entire site from Ramona Road. A 6' tall vinyl coated chain link fence is proposed along the property line adjacent to the church and vinyl fence is proposed along the top of the hill, behind the proposed building. This will act as an additional sound buffer between the



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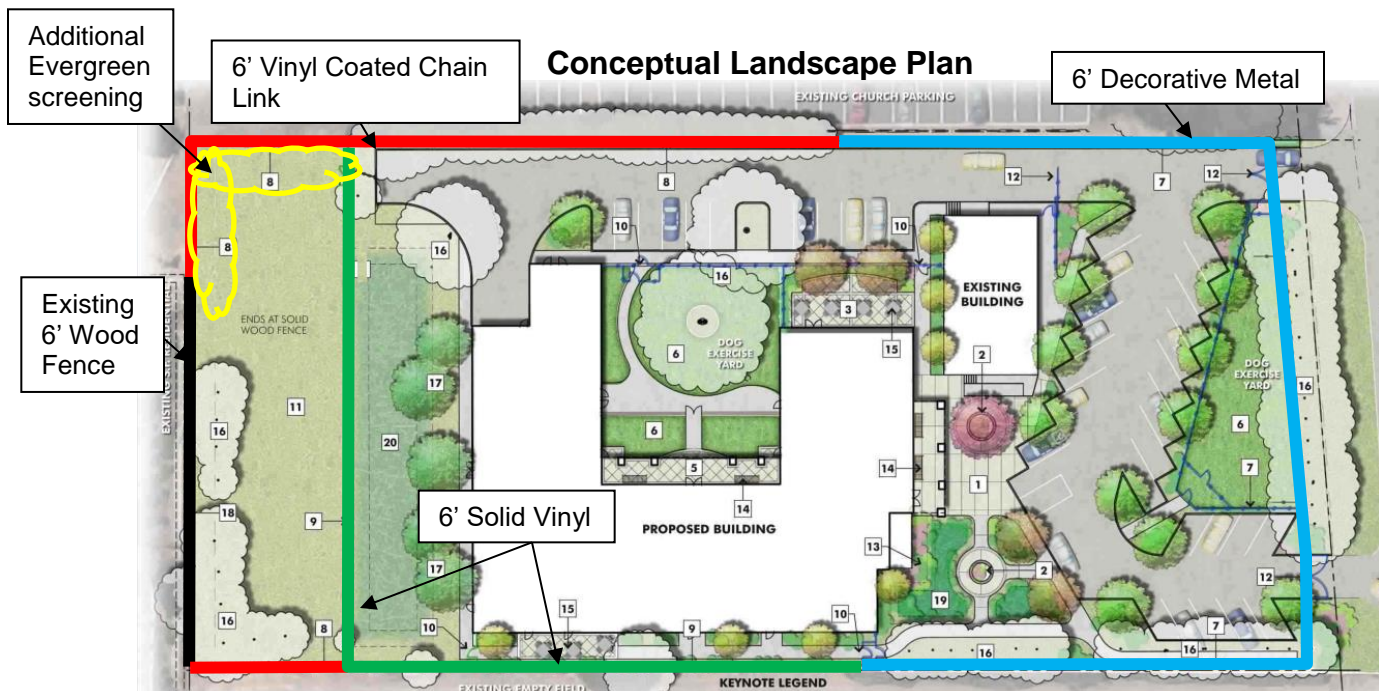
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shelter and adjacent residences. This solid fence also extends down a portion of the southern property lines, adjacent to the vacant lot.

#### PROPOSED FENCE TYPES (FINAL COLORS TO BE DETERMINED)



Staff has included a condition of approval. These include ensuring all vinyl coated chain link fencing is a neutral color and that it is fully screened with evergreen vegetation per AMC standards. This condition also includes that the solid vinyl fencing be a neutral grey or tan color. This will ensure that the fence is not a stark white to help it blend in with the surrounding area.



#### ENVIRONMENTAL DETERMINATION:



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The proposed project is Categorically Exempt (Class 32) from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) CEQA pursuant to CEQA Guidelines Section 15301, because it involves an infill development.

### **FINDINGS:**

To approve USE 22-0027, the Planning Commission must make the following findings. These findings and the facts to support these findings are included in the attached resolution.

#### *Conditional Use Permit (AMC Section 9-2.110(b).(3).(iv))*

1. The proposed project or use is consistent with the General Plan;
2. The proposed project or use satisfies all applicable provisions of this title;
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use;
4. That the proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development; and
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the land use element; and

### **ALTERNATIVES:**

1. The Planning Commission may include modifications to the project and/or conditions of approval for the project. Any proposed modifications, including conditions of approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.



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3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

### **ATTACHMENTS:**

1. Draft Resolution 2022
2. Aerial Photo
3. Site Photos
4. Arborist Report
5. Noise Study



**ATTACHMENT 1: Draft Resolution 2022**  
**USE 22-0027**

**DRAFT PC RESOLUTION 2022**

**RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ATASCADERO, CALIFORNIA, APPROVING A  
CONDITIONAL USE PERMIT (USE22-0027) ALLOWING THE  
EXPANSION OF AN EXISTING ANIMAL SHELTER AND  
SPAY/NEUTER FACILITY  
APN 049-141-043  
(Woods Humane Society)**

**WHEREAS**, an application has been received from Applicant, Woods Humane Society, to consider a Conditional Use Permit (USE 22-0027) to allow the expansion of their animal shelter and spay/neuter clinic in the Public zoning district; and

**WHEREAS**, the site's General Plan Designation is Public (P); and

**WHEREAS**, the site's Zoning is Public (P); and

**WHEREAS**, the proposed project qualifies for a Categorical Exemption consistent with CEQA section 15332: Infill Development Projects; and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed Public Hearing upon the subject Minor Conditional Use Permit application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Conditional Use Permit; and

**WHEREAS**, the Planning Commission of the City of Atascadero, at a duly noticed Public Hearing held on May 3, 2022, studied and considered the Conditional Use Permit USE 22-0027.

**NOW THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Atascadero, California, makes the following findings, determinations and recommendations with respect to the proposed Conditional Use Permit:

**SECTION 1. CEQA**. The Planning Commission finds as follows:

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1. The proposed project has been found Categorically Exempt under Class 1, Section 15332, Infill Development, of the California Environmental Quality Act.

**SECTION 2. Findings.** The Planning Commission finds as follows:

*Conditional Use Permit:*

1. The proposed use is consistent with the General Plan; and

**Fact:** The proposed animal shelter expansion and spay/neuter service use at this location is consistent with the Public Facilities designation of the General Plan and the General Plan Land Use Element Goals LOC Policy 1.3 for enhanced appearance of commercial corridors. The proposed expansion also achieves LOC Policy 13.1 by providing a convenient location of a service needed by local residents. LOC Policy 14.1 is also achieved with the expansion by encouraging existing uses to continue providing necessary services.

2. The proposed project satisfies all applicable provisions of the Title (Zoning Ordinance); and

**Fact:** As conditioned, the project satisfies the provisions of the Atascadero Municipal Code. The project has been designed in a way that meets Municipal Code standards.

3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and

**Fact:** The proposed used is not detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use. The project has a substantial setback from the adjacent residential neighborhood. The noise study has provided data that has guided staff to making appropriate mitigation measure to minimize potential negative impacts.

4. That the proposed project will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development; and

**Fact:** The proposed project is expanding on the current use in the Public zone. The Public Zone is intended for public and quasi-public land uses. An animal shelter fits within this category. Therefore, the use will remain consistent with the character of the neighborhood since it will not be significantly changing with the expansion.

5. That the proposed project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in



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conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

**Fact:** The project is located off of Ramona Road and is an expansion on a current use. The use is consistent with surrounding uses and will not bring excessive traffic to the area.

**SECTION 3. Approval.** The Planning Commission of the City of Atascadero, in a regular session assembled on May 3, 2022, resolved to approve Conditional Use Permit Use 22-0027 subject to the following:

- EXHIBIT A: Conditions of Approval
- EXHIBIT B: Proposed site plan
- EXHIBIT C: Elevations
- EXHIBIT D: Floor plan
- EXHIBIT E: 3D renderings
- EXHIBIT F: Landscape Plan

On motion by Commissioner \_\_\_\_\_, and seconded by Commissioner \_\_\_\_\_, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

- AYES: ( )
- NOES: ( )
- ABSENT: ( )
- ABSTAINED: ( )
- ADOPTED:

CITY OF ATASCADERO, CA

\_\_\_\_\_  
Jeff van den Eikhof  
Planning Commission Chairperson

ATTEST:

\_\_\_\_\_  
Phil Dunsmore  
Planning Commission Secretary



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**Exhibit A: Conditions of Approval**  
**USE 22-0027**

<b>Conditions of Approval / Mitigation Monitoring Program</b>  <b>2300 Ramona Road</b>  <b>Woods Humane Society</b>  <b>USE 22-0027</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<b>Planning Services Conditions</b>		
1. This Conditional Use Permit shall allow for the expansion of an existing Animal Shelter/ Spay and Neuter Facility use at 2300 Ramona Road described on the attached exhibits and located on APN 049-141-043, regardless of owner.	<b>Ongoing</b>	<b>PS</b>
2. Conditions from previous Conditional Use Permit projects not specifically amended remain valid (CUP 97-002, CUP 2002-0056, PLN2016-1621).	<b>Ongoing</b>	<b>PS</b>
3. The approval of this use permit shall become final and effective for the purposes of issuing building permits fourteen (14) days following the Planning Commission approval, unless an appeal to the decision is filed as set forth in Section 9-1.111(b) of the Zoning Ordinance.	<b>Ongoing</b>	<b>PS</b>
4. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, and/or (2) result in a superior site design or appearance.	<b>BL</b>	<b>PS</b>
5. Approval of this Conditional Use Permit shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a building permit. If the use is established and becomes vacant, establishment of a similar use shall be done in accordance with the City's non-conforming use code.	<b>BL</b>	<b>PS</b>
6. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this conditional use permit.	<b>Ongoing</b>	<b>CA</b>
7. Exterior yards shall be used only within hours of 9am to 5pm daily. Staff must be present with dogs outside at all times. No dogs shall be left unattended in outdoor exercise yards. Noise levels must be adhered to per AMC 9-14.05.	<b>Ongoing</b>	<b>PS</b>
8. The applicant shall provide a minimum of 37 parking spaces on a paved surface in good repair.	<b>Ongoing</b>	<b>PS</b>
9. New lighting shall conform to the standards of Atascadero Municipal Code 9-4.137 for exterior lighting. All pole lighting shall be shielded from neighboring properties and buildings.	<b>BP/Ongoing</b>	<b>PS</b>
10. Elevations shall incorporate high quality materials and shall be consistent with the colors and design shown in Exhibit C.	<b>BP</b>	<b>PS</b>





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<b>Conditions of Approval / Mitigation Monitoring Program</b>  <b>2300 Ramona Road</b>  <b>Woods Humane Society</b>  <b>USE 22-0027</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
11. Fencing shall be installed consistent with what is shown in Exhibit F. _ Vinyl coated chain link fencing shall be a neutral color and shall be fully screened with evergreen vegetation per AMC standards. _ Solid vinyl fencing be a neutral grey or tan color.	<b>BP/ Final</b>	<b>PS</b>
12. All mechanical equipment on site shall be screened, including all ground and roof mounted equipment, air conditioners, transformers, etc.	<b>BP/ Final</b>	<b>PS</b>
13. All new utilities on site shall be installed underground.	<b>Final</b>	<b>PS</b>
14. The applicant shall provide water-efficient landscaping and irrigation generally consistent with Exhibit F with building permit submittal. Landscaping shall be installed prior to requesting a final planning inspection. _All landscaping installed as required as part of this approval shall be irrigated and maintained in a matter that allows the landscaping to thrive and grow.	<b>BP/Final</b>	<b>PS</b>
15. Wall signs and directional signs shall conform to the limitations of the Atascadero Sign Ordinance.	<b>Ongoing</b>	<b>PS</b>
16. Trash enclosure must be consistent with what is shown in Exhibit G. A 6-foot tall CMU block wall shall be installed as shown in Exhibit B. The CMU block wall shall be in a color that blends in with the surrounding area, to the Satisfaction of the Community Development Director.	<b>BP/Ongoing</b>	<b>PS</b>
17. Trash facilities shall be consistent with standards of AMC 9-4.129. These facilities shall be installed prior to occupancy.	<b>Final</b>	<b>PS</b>
18. The Use Permit shall be subject to additional review upon receipt of noise or operational complaints. Additional mitigation may be warranted upon verification of recurring noise or operational disturbances that impact residential properties.	<b>Ongoing</b>	<b>PS</b>
<b>Public Works Conditions</b>		
<b>Stormwater</b>		
19. The final Stormwater Control Plan (SWCP) and supporting hydrology report shall be approved by the City Engineer prior to issuance of any building permit, in accordance with the State regulations (Regional Water Quality Control Board Res. No. R3-2013-0032). Indicate in report in greater detail how Performance Requirement #1 was met concerning the minimization of the impervious areas, including the consideration of alternative materials such as pervious pavers or concrete in the proposed walkways and parking areas.		
20. Prior to a final inspection the following City Stormwater documents shall be completed and approved by the City Engineer: <ul style="list-style-type: none"> <li>● ATAS - SWP-1001_Engineer Certification Form</li> <li>● ATAS - SWP-1003_OwnerAgentInfo</li> <li>● ATAS - SWP-1007_Exhibit_B_Instructions_SCM FORM</li> <li>● ATAS - SWP-1008_Stormwater System Plans and Manuals</li> </ul>		



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<b>Conditions of Approval / Mitigation Monitoring Program</b>  <b>2300 Ramona Road</b>  <b>Woods Humane Society</b>  <b>USE 22-0027</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<ul style="list-style-type: none"> <li>● ATAS - SWP-2002 Stormwater O&amp;M Process and Form Instructions</li> <li>● ATAS - SWP-3001_Stormwater System O&amp;M_Agreement</li> <li>● ATAS - SWP-3002_Private Stormwater System Recorded Notice</li> </ul> <p style="text-align: center;"><a href="mailto:publicworks@atascadero.org">Email publicworks@atascadero.org</a> for copies of the above City templates.</p>		
<p>21. If total site disturbance exceeds one acre, a Storm Water Pollution Prevention Plan (SWPPP) is required prior to any ground disturbing activities. The WDID number provided upon acceptance of the SWPPP into the State's SMARTS system registration shall be noted on the Title Sheet of the Plans.</p>		
<p>22. An Erosion Control Plan (with notes and details) is required at Building permit and must reference Best Management Practices (BMPs) as defined by CASQA and/or City of Atascadero standards and specifications. Place a note on the plans stating that erosion control measures shall remain in place and be maintained throughout all ground disturbing operations until vegetation has been re-established over approximately 70% of the disturbed area.</p>		
<p><b>Flood Control Basins</b></p> <p>23. Flood control basins are utilized in the City of Atascadero depending upon site conditions: Retention basins, Detention basins, and Subsurface Infiltration Basins. In all cases, the Project Engineer shall provide evidence that the basin will completely drain within 72 hours, to the satisfaction of the City Engineer.</p> <p>Retention Basin. Any drainage basin which is used as a terminal disposal facility shall be classified as a retention basin.</p> <p>a. Basin Capacity. The basin capacity is to be based on the theoretical runoff from a 50-year storm, 10-hour intensity for 10-hour duration. No reduction in required capacity shall be given for soil percolation rates.</p> <p>b. Percolation Test Required. A minimum of 3 percolation tests per basin shall be submitted to the City Engineer for review and approval prior to approval of the plans. The project engineer shall submit calculations and a report demonstrating the basin will drain within seven-days of a single storm event as noted above. Deep soil borings may be required in areas where there is concern of shallow depth to groundwater or bedrock. Percolation tests shall be performed at depths below the basin bottom.</p> <p style="color: blue;">Overflow Path Required. The design of all drainage basins shall identify the designated route for overflow. The Project Engineer shall design the overflow path so that the flow in a 100- year storm is non-erosive and will not damage downstream improvements, including other basins. Easements may be required for concentrated flows across multiple properties.</p>		
<p><b>Utilities</b></p> <p>24. The project has requested connection to the City's sanitary sewer system in San Ramon Road in Tract 2495 Apple Valley. After preliminary design discussions with the applicant, the City Engineer has confirmed that the connection is feasible, and has requested the sewer be extended to Ramona Road. The applicant shall be responsible for the design and installation of</p>		

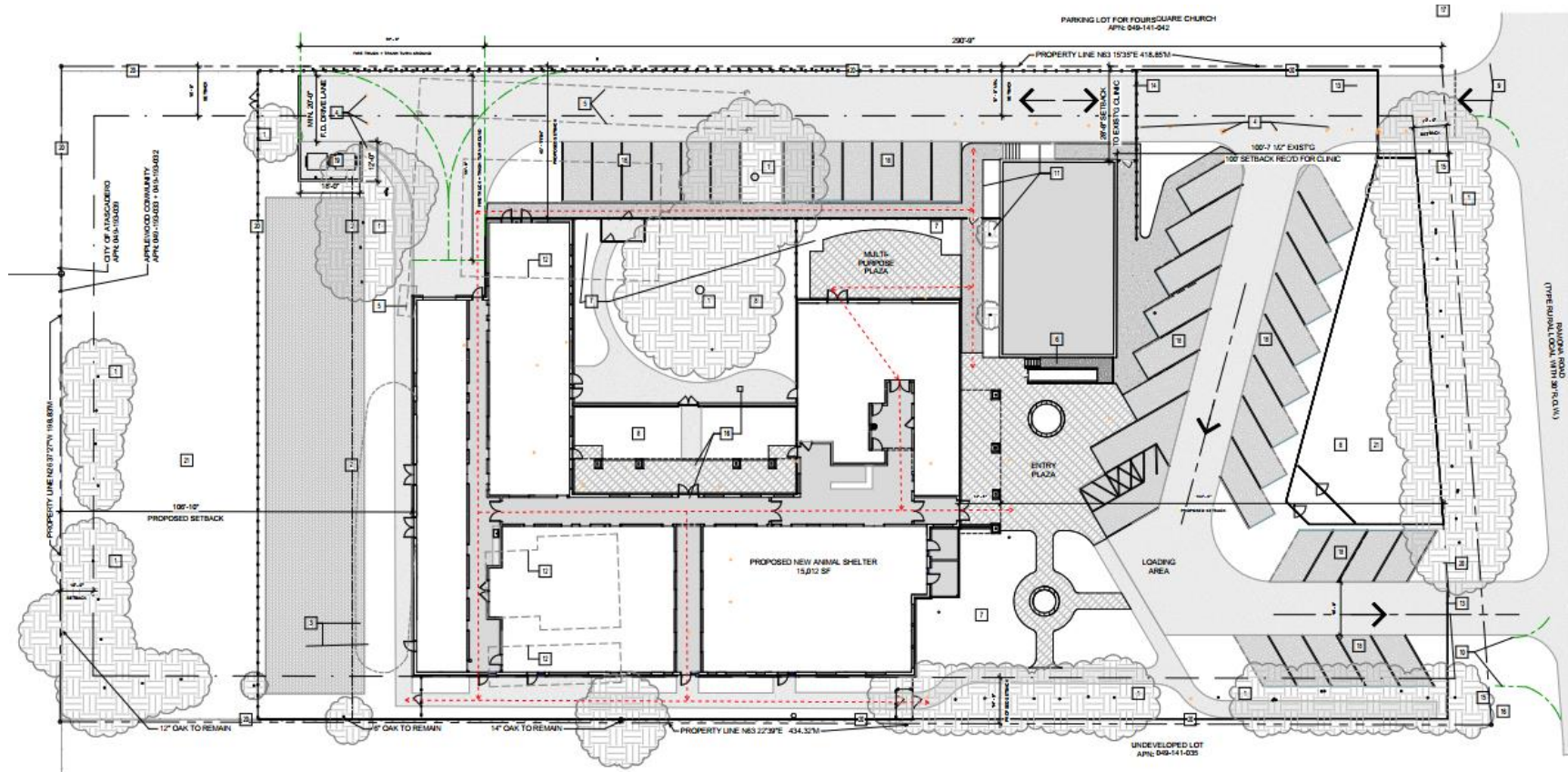


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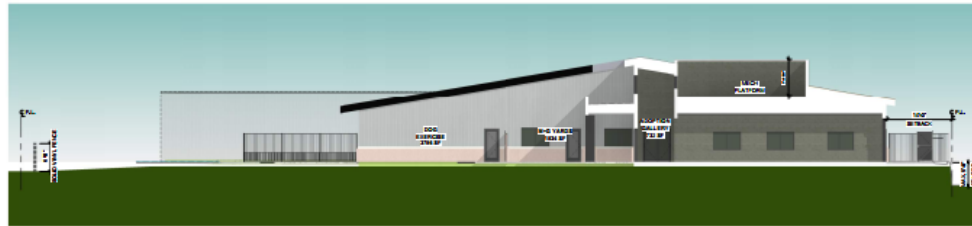
<b>Conditions of Approval / Mitigation Monitoring Program</b>	<b>Timing</b>	<b>Responsibility /Monitoring</b>
<p><b>2300 Ramona Road</b></p> <p><b>Woods Humane Society</b></p> <p><b>USE 22-0027</b></p>	<p>BL: Business License  GP: Grading Permit  BP: Building Permit  FI: Final Inspection  TO: Temporary Occupancy  FO: Final Occupancy</p>	<p>PS: Planning Services  BS: Building Services  FD: Fire Department  PD: Police Department  CE: City Engineer  WW: Wastewater  CA: City Attorney</p>
<p>public sewer from Ramona Road, through the property and to San Ramon Road in accordance to City Standards and Specifications and to the satisfaction of the City Engineer, for acceptance by the City for operation and maintenance after final approval. A separate Public Improvement Plan set for the sanitary sewer project will be required at time of building permit submittal for review and approval by the City Engineer. The City requests sewer extension to Ramona Road at the deepest point feasible, to allow for future connection by neighboring parcels. The alignment shall continue down the proposed driveway adjacent to the site's northern property line, within a 20' Public sanitary sewer easement, across a City-owned lot within Tract 2495, then connecting to the sewer main in San Ramon. Recordation of the 20' Public sanitary sewer easement, prepared by a licensed surveyor, is required prior to final.</p>		
<p>25. Public improvement plans (PIPs) shall be prepared by a licensed civil engineer. PIPs shall be prepared on 24"x36" plan sheets, use the City Standard border and signature block, and shall comply with Section 2 of City Standard Specifications. All plans shall contain the City of Atascadero "Standard Notes for Improvement Plans" on file in the City Engineer's office. The sanitary sewer main shall be a minimum of eight (8) inches in diameter. Sewer Manholes shall be placed at changes in slope and every 400'.</p>		
<p>26. Each building to be served by the wastewater collection system shall pay all sewer fees prior to the issuance of a building permit. Concurrently with construction of City sanitary sewer main, two new sewer laterals are required to serve the buildings on the property, one for the existing building which is to remain, and one for the new building. At time of building permit, provide anticipated wastewater flow and characterization (BOD) information for the buildings for City analysis of the sewer capacity charges. Size and slope of laterals must meet plumbing code requirements.</p>		
<p>27. Abandon existing septic system per City Local Area Management Program (LAMP) requirements.</p>		
<p><b>Frontage Improvements</b></p>		
<p>28. A separate encroachment permit is required for the new driveway approaches and any work within a public Right-of-Way or easement.</p>		
<p>29. The gates proposed at the driveways at the front of the property shall be placed a minimum of 20' back from edge of pavement, preferably 20' setback from City right of way, and should open inward toward the property</p>		
<p>30. Proposed driveways must meet City standard 425 for areas without curb, gutter and sidewalk. Provide min. 4' walkable shoulder (such as Decomposed Granite (DG)) on project frontage.</p>		



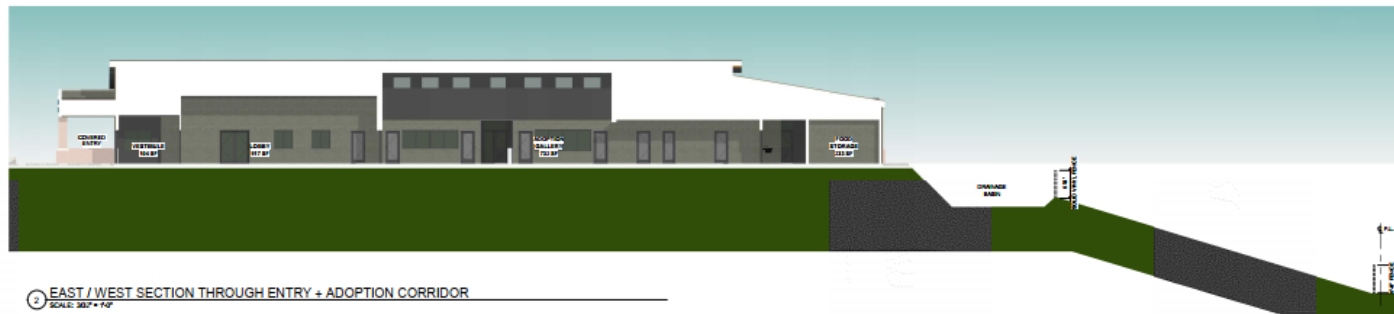
**Exhibit B: Proposed Site Plan  
USE 22-0027**



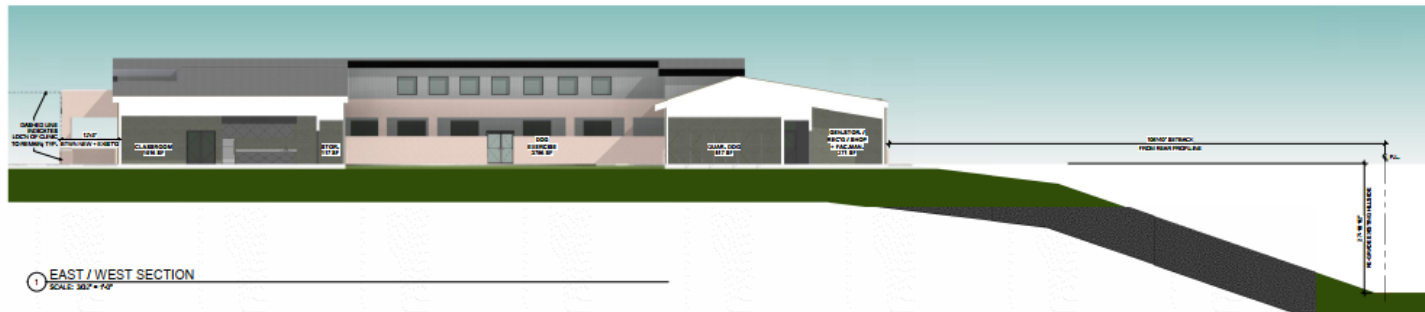
**Exhibit C: Elevations**  
**USE 22-0027**



3 NORTH / SOUTH SECTION LOOKING EAST  
SCALE: 3/8" = 1'-0"



2 EAST / WEST SECTION THROUGH ENTRY + ADOPTION CORRIDOR  
SCALE: 3/8" = 1'-0"



1 EAST / WEST SECTION  
SCALE: 3/8" = 1'-0"

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1 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION  
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

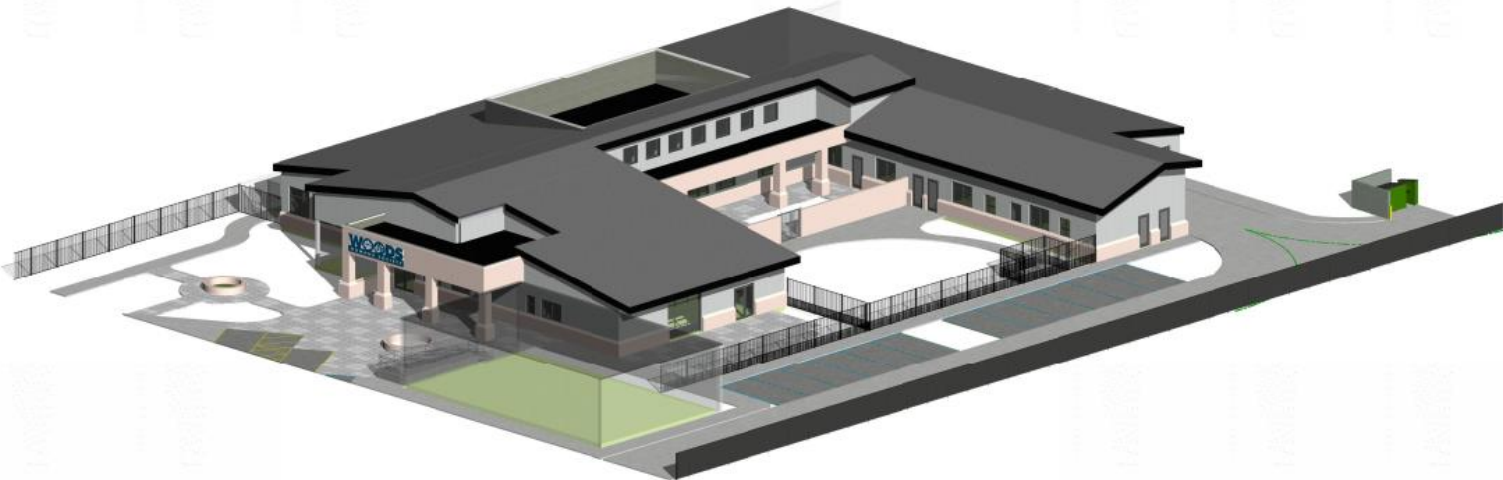


3 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"





**Exhibit E: 3D Renderings**  
**USE 22-0027**

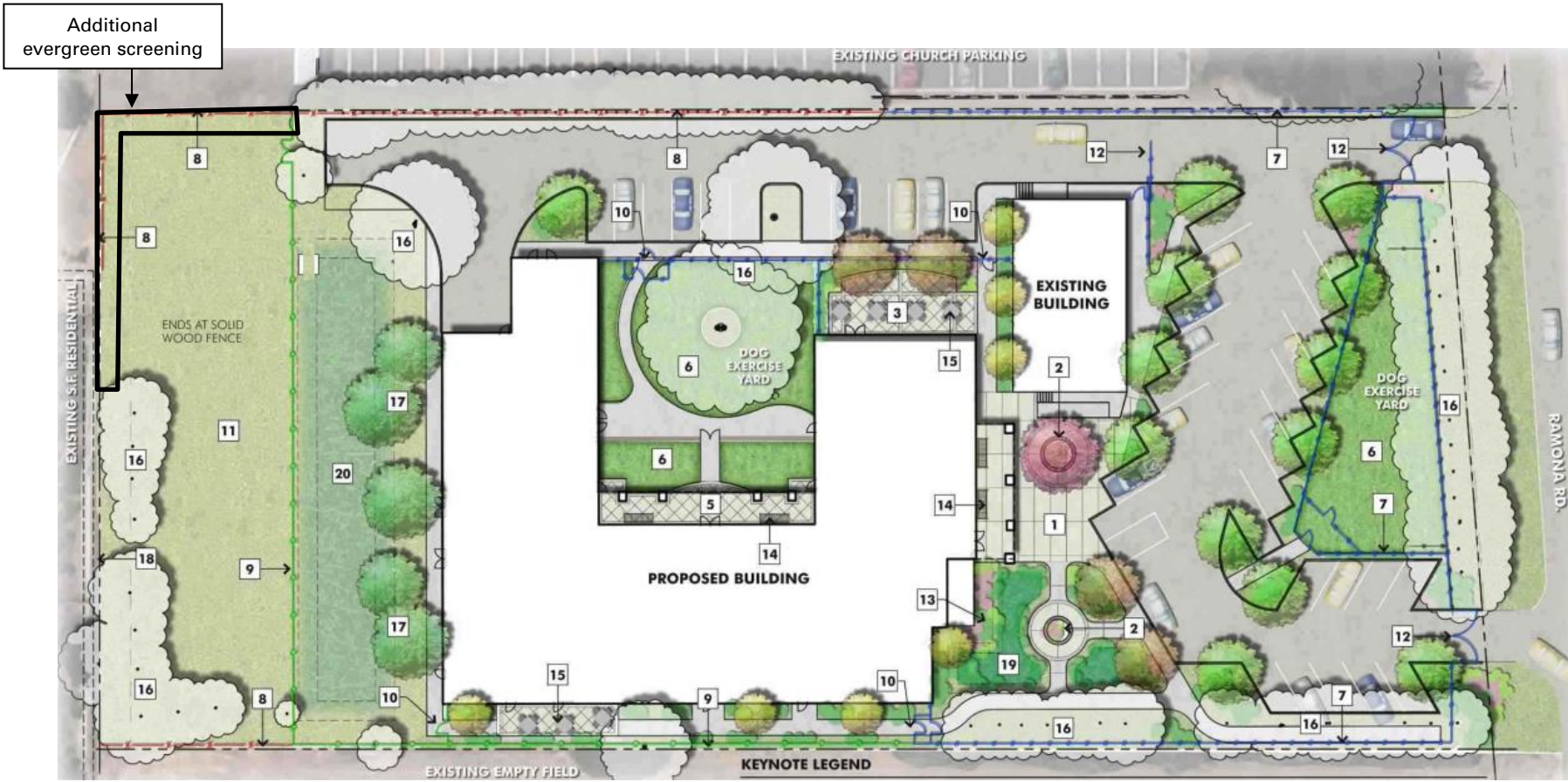




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**Exhibit F: Landscape Plan  
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**KEYNOTE LEGEND**

- |    |   |    |   |
|----|---|----|---|
| 1  | ENTRY PLAZA WITH DECORATIVE PAVING              | 11 | OPEN FIELD TO REMAIN                                    |
| 2  | RAISED PLANTER WITH SPECIMEN TREE (WHERE SHOWN) | 12 | AUTOMATED VEHICULAR GATE                                |
| 3  | PUBLIC-USE PATIO WITH DECORATIVE PAVING         | 13 | BUTTERFLY GARDEN IN FRONT OF CAT PATIOS                 |
| 4  | EMPLOYEE-USE PATIO WITH DECORATIVE PAVING       | 14 | BENCH, TYP.   |
| 5  | ANIMAL MEET 'N GREET PATIO                      | 15 | TABLE, TYP.   |
| 6  | SYNTHETIC TURF                                  | 16 | EXISTING TREE(S) TO REMAIN, TYP.                        |
| 7  | 6' TALL DECORATIVE METAL FENCING                | 17 | EVERGREEN OAK SCREENING TREES                           |
| 8  | 6' TALL VINYL-COATED CHAIN-LINK FENCING         | 18 | EXISTING 6' TALL SOLID WOOD FENCE TO REMAIN             |
| 9  | 6' TALL SOLID VINYL FENCING                     | 19 | BIORETENTION PLANTER WITH BIO PLANTS                    |
| 10 | GATE, TYP. (WITH VESTIBULE, WHERE SHOWN)        | 20 | DETENTION BASIN WITH NON-IRRIGATED NATIVE HYDROSEED MIX |

**PROPOSED PLANT LIST**

	WUCOLS	SIZE	NOTES
<b>DECIDUOUS TREES</b>			
A	CERCIS OCCIDENTALS / WESTERN REDBUD	L 24" BOX	FLOWERING ACCENT
B	GLEDITSIA TRICANTHOS 'SUNBURST' / HONEY LOCUST	L 15 GAL	WIDE CANOPY
C	PISTACIA CHINENSIS / CHINESE PISTACHE	L 15 GAL	FALL COLOR
D	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	L 24" BOX	FLOWERING ACCENT
<b>EVERGREEN TREES</b>			
E	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER' / MAGNOLIA	M 24" BOX	FLOWERING TREE
F	OLEA EUROPAEA 'WILSONII' / OLIVE	L 15 GAL	WIDE CANOPY
G	QUERCUS AGRIFOLIA / COAST LIVE OAK	VL 15 GAL	CA NATIVE
<b>SHRUBS</b>			
H	ABELIA GRAND 'KALEIDOSCOPE' / VARIEGATED ABELIA	M 5 GAL	VARIEGATED FOLIAGE
I	CARPENTERIA CALIFORNICA / BUSH ANEMONIE	L 5 GAL	CA. NATIVE
J	CISTUS X PURPUREUS / PURPLE ROCKROSE	L 5 GAL	MAGENTA FLOWERS
K	RHAMNUS CALIFORNICA 'EVE CASE' / COFFEEBERRY	L 5 GAL	CA. NATIVE
L	RHAPHIOLEPIS INDICA CLTYS / PINK INDIAN HAWTHORN	L 5 GAL	PINK FLOWERS
M	ROSA 'ICEBERG' / ICEBERG ROSES	M 5 GAL	WHITE FLOWERS
N	VIBURNUM TINUS 'SPRING BOUQUET' / LAURUSTINUS	M 5 GAL	WHITE FLOWERS
<b>GRASSES AND PERENNIALS</b>			
O	CALAMAGROSTIS 'KARL FOERSTER' / FEATHER REED GRASS	L 1 GAL	UPRIGHT GROWTH
P	SALVIA SPS. / SAGE	L 1 GAL	FLOWERING
Q	ACHILLEA 'MOONSHINE' / YARROW	L 1 GAL	ORANGE FLOWERS
R	LAVANDULA SP / LAVENDER	L 1 GAL	PURPLE FLOWERS
S	MUHLENBERGIA CAPILLARIS / PINK MUHLY	L 1 GAL	CA. NATIVE
<b>GROUNDCOVER</b>			
T	ARCTOSTAPHYLOS 'EMERALD CARPET' / CARPET MANZANITA	L 1 GAL	SMALL, GLOSSY LEAVES
U	BACCHARIS PIL 'PIGEON POINT' / DWARF COYOTE BRUSH	L 1 GAL	GOOD SLOPE COVER
V	COTONEASTER DAM 'LOWFAST' / BEARBERRY COTONEASTER	L 1 GAL	WHITE, FRAGRANT FLOWERS
W	ROSMARINUS OFF 'PROSTRATUS' / CREEPING ROSEMARY	L 1 GAL	BLUE FLOWERS
X	TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	M 1 GAL	TIGHT, DARK GREEN

\*WUCOLS (WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES) IS A GUIDE TO HELP IDENTIFY IRRIGATION WATER NEEDS OF PLANT SPECIES. DEVELOPED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, 2000.

**PLANT PHOTOS**



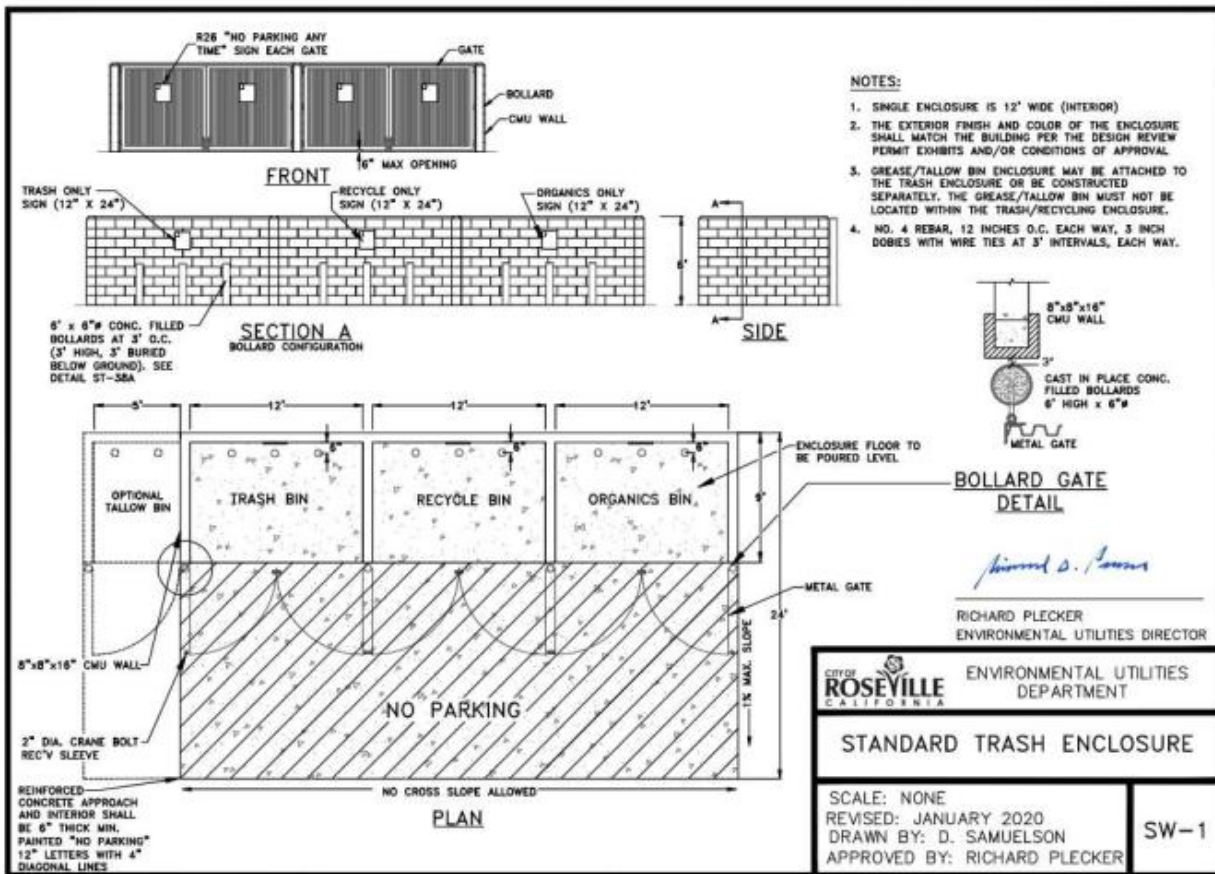
**PROPOSED FENCE TYPES (FINAL COLORS TO BE DETERMINED)**



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**Exhibit G: Trash Enclosure Plan  
USE 22-0027**



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**ATTACHMENT 2: Aerial Photo**  
**USE 22-0027**



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**ATTACHMENT 3: Site Photos  
USE 22-0027**



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**ATTACHMENT 4: Arborist Report**  
**USE 22-0027**





**ATTACHMENT 5: Noise Study**  
**USE 22-0027**