



## ADMINISTRATIVE USE PERMIT HEARING

**In accordance with City Council Resolution No. 2022-038 and the requirements of AB 361, the Administrative Use Permit Meeting will not be physically open to the public and Staff will be teleconferencing into the meeting.**

### **HOW TO OBSERVE THE MEETING:**

To maximize public safety while still maintaining transparency and public access, you may join the Zoom webinar from your computer, tablet, or smartphone by visiting:

To join the virtual hearing: (No passcode required)

<https://us02web.zoom.us/j/84567568854?pwd=UytsbTU1OVb3N2JYQVVJQmlMT1FaZz09>

Webinar ID: 845 6756 8854

### **HOW TO SUBMIT PUBLIC COMMENT:**

Members of the public are highly encouraged to participate in live public comment through the Zoom platform using the link above or by calling the number below to listen and provide public comment via phone.

US: +1 (669) 900-6833 (and use \*9 to raise your hand to speak)

If you wish to provide written public comment, please email your comments to [aup-comments@atascadero.org](mailto:aup-comments@atascadero.org) by 5:00 pm the day before the meeting. Such email **comments must identify the Agenda Item Number in the subject line of the email**. The comments will be forwarded to the Zoning Administrator and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as a part of the administrative record of the meeting but will be forwarded to the Zoning Administrator the next business day. ***Please note, email comments will not be read into the record.***

### **AMERICAN DISABILITY ACT ACCOMMODATIONS:**

Any member of the public who needs accommodations should contact the City Clerk's Office at [cityclerk@atascadero.org](mailto:cityclerk@atascadero.org) or by calling (805) 470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Administrative Use Permit agendas and staff reports may be viewed on the City's website: [www.atascadero.org](http://www.atascadero.org). Final Action Reports will be available after the meeting, and upon request from the Community Development Department.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, [www.atascadero.org](http://www.atascadero.org). All documents submitted by the public during AUP meetings that are either read into the record or referred to in their statement will be noted in the audio recording and available for review by contacting the Community Development Department. All documents will be available for public inspection during City Hall business hours by appointment request.



# CITY OF ATASCADERO

## COMMUNITY DEVELOPMENT DEPARTMENT

### Administrative Use Permit Hearing **A G E N D A**

**\*MEETING WILL BE HELD VIRTUALLY\***

The City of Atascadero's Zoning Hearing Officer will hold a VIRTUAL public hearing at **10:00 a.m.** on **Wednesday, June 15, 2022** at City Hall to consider the following project:

1. **8120 EL CAMINO REAL (USE22-0051)**

The application is to allow for an Amendment to the Master Sign Program on APN 056-031-063 for Belnano Coffee. Staff recommendation is to approve the Amendment with conditions.  
*(Bailey Sullivan, Assistant Planner)*

PLEASE NOTE: Any court challenge to the actions taken at the public hearing may be limited to considering only those issues raised at the public hearing described in this notice or in written correspondence to the City of Atascadero at, or prior to, the public hearing.

Any decision of the Hearing Officer is final unless appealed to the Planning Commission within 14 days of the action. Any person aggrieved by the decision may file an appeal. Appeal forms are available in the Community Development Department or on the City's website ([www.atascadero.org](http://www.atascadero.org)). The fee for filing an appeal is \$806 and must accompany the appeal documentation.



# CITY OF ATASCADERO

## COMMUNITY DEVELOPMENT

### Administrative Hearing Agenda Report

ITEM # 1

**FROM:** Bailey Sullivan, Assistant Planner

**MEETING DATE:** 6/15/2022

**FILE NUMBER:** USE22-0051

**PROJECT ADDRESS:** 8120 El Camino Real

The applicant, Carmen Garriazo, is proposing two new electrical channel letter wall signs in the Downtown Commercial (DC) zoning district. The signs are for the business Belnano Coffee at 8120 El Camino Real. The storefront proposed sign is three-hundred and six inches long and twenty-six inches tall (26" x 306"). The logo is 46 inches long by 46 inches tall. The total square footage for both the logo and lettering of the sign is 72 square feet. The sign is centered horizontally between the two units being leased together. The size of the storefront wall is 50 feet by 7 feet, causing the maximum width of the lineal leased frontage to be 55%. The sign on the northside of the building is planned to be one hundred and thirty-two inches long by twenty-six inches tall (26" x 132"). A Master Sign Program was approved for this Center in 1999. This sign program varies from Atascadero Municipal Code requirements.

The Master Sign Program for the center requires the following be met:

- 24-inch maximum letter height with a maximum sign square footage of 40 sf.
- Signs are not allowed on the north side of the building
- Maximum width shall be equal to 75% of the lineal leased frontage and centered horizontally.

Since the proposed letter height for the sign for Belnano Coffee is 2 inches above the allowed maximum letter height in the Master Sign Program for this location, the applicant is requesting the exception in order to maximize underutilized wall space alongside the building. This wall has no current existing signs, as Belnano Coffee is a new business. The applicant is also requesting an exception to the Master Sign Program to allow for a second sign on the north side of the building.

#### **EVALUATION:**

The total aggregate signage area for the business is proposed to be 72 square feet for the storefront sign and 24 feet for the north side sign. The LED wall sign would help identify and promote this business and would be consistent with existing signage for the building. In addition, this building is part of a planned center and is set back a considerable distance from the adjacent rights-of-way. Larger signage will increase visibility from the public way as well as from the adjacent parking lots. The proposed sign design is also proportionate to the existing building wall.

#### **RECOMMENDATION:**

Staff recommends the Administrative Hearing Officer approve USE22-0051 to allow the signage as proposed.

| ENVIRONMENTAL DETERMINATION   |
|---|
| <input checked="" type="checkbox"/> Categorical Exemption CEQA – Guidelines Section 15311 |
| <input type="checkbox"/> Statutory Exemption §§ 21000, et seq & _____                     |
| <input type="checkbox"/> No Project – Ministerial Project                                 |

**Findings**

AMC 9-15.011 requires the Hearing Officer to make the following 4 findings:

1. *The sign is consistent with the purposes set forth in Section 9-15.002;*

The proposed sign helps meet needs that are based in the following purposes outlined in section 9-15.002 of the AMC. Section 9-15.002(a) intends to “Maintain and improve the aesthetic environment and overall community appearance to foster the City’s ability to attract sources of economic development and growth.” Section 9-15.002(c) intends to “implement quality sign design standards that are consistent with the City’s General Plan, Zoning Ordinance and Appearance Review Guidelines;” Section 9-15.002(e) intends to “minimize possible adverse impacts of signs on private and public property in order to maintain property values and to maintain a positive City image;” Section 9-15.002(g) intends to “generally limit commercial signage to on-site locations in order to protect the aesthetic environment from the visual clutter associated with the unrestricted proliferation of signs, while providing channels of communication to the public.” Finally, Section 9-15.002(h) intends to “limit the size and number of signs to levels that reasonably allow for the identification of a residential, public or commercial location and the nature of any such commercial business.”

2. *The opportunity to combine signs for more than one (1) use on a single sign structure has been considered;*

The proposed sign is centered above the existing leased storefronts and is large enough to be visible to advertise the individual tenant’s services.

3. *For freeway-oriented signs, the sign area and height are the minimum needed to achieve adequate visibility along the freeway due to highway ramp locations and grade differences; and*

The proposed sign is not freeway-oriented.

4. *Conformance with all other applicable codes and ordinances of the City, including, but not limited to, the Zoning Ordinance, General Plan and its several elements, and the appearance review guidelines. (Ord. 604 § 2, 2016)*

The sign conforms with applicable codes and ordinances of the City, including Framework Principles of the General Plan that call for improving the appearance and character of Atascadero through signage. General Plan Policy 1.3 states: “Enhance the rural character and appearance of the City, including commercial corridors, gateways and public facilities.” The proposed sign helps promote the downtown commercial corridor. General Plan Goal LOC 4 states: “Provide for a strong and distinctive Downtown Area.” This sign

will help enhance and promote a commercial node in the downtown area, and allow for a unique and distinctive sign design that will help frame street-facing businesses in the downtown commercial zone. Additionally, the proposed sign complies with the City's appearance review manual guidelines related to signs. Specifically, the sign is in scale and proportion in its visual relationship to the building and surrounding structures, and can be considered harmonious with the building.

**Conditions**

1. The design and location of the sign shall be consistent with Attachment 2.
2. The sign shall stay within the maximum proposed, which is 26 inches in letter height.
3. The sign must remain horizontal and centered on the building wall.

**Code Requirements**

1. AMC 9-15 (Sign Ordinance)
2. AMC 9-1.112 Administrative Use Permit

**Attachments**

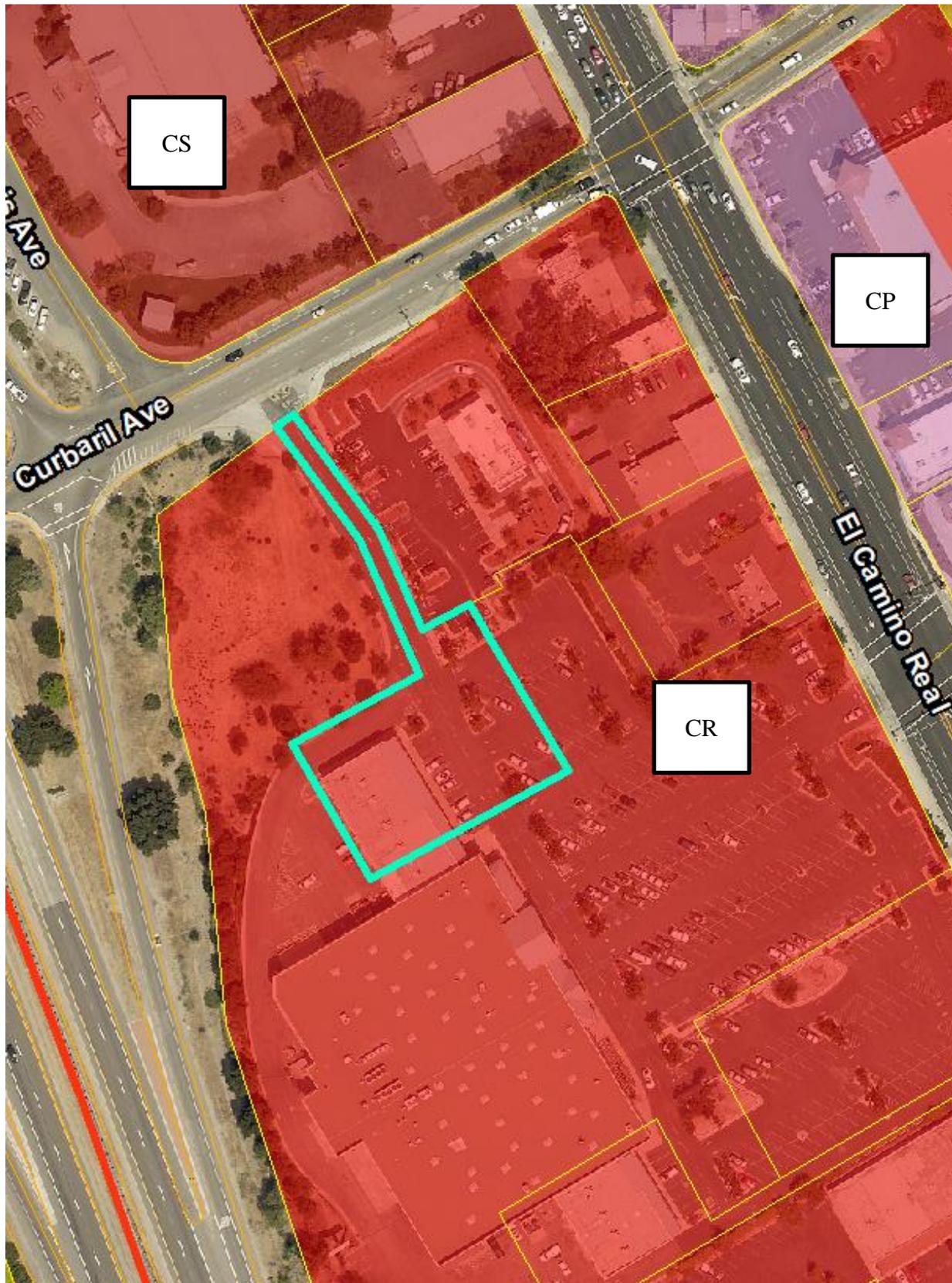
Attachment 1 - Location Map  
Attachment 2 - Proposed Elevation

**Action:**

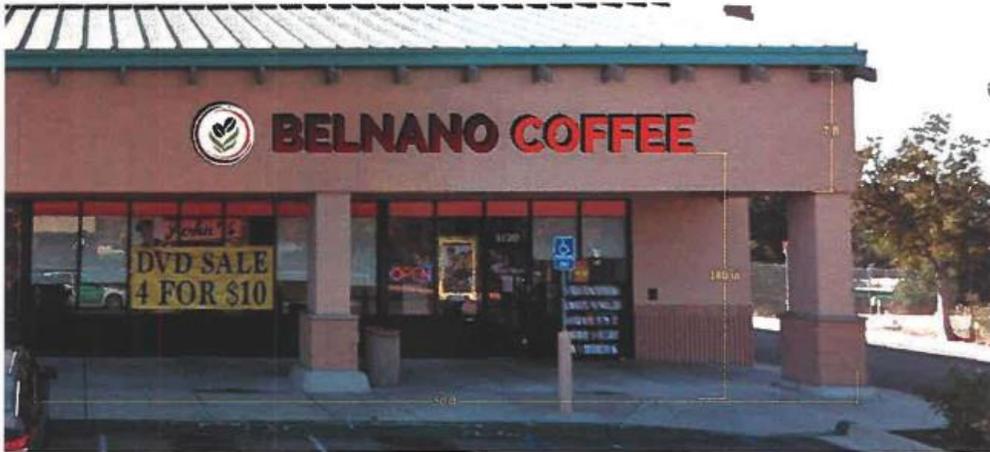
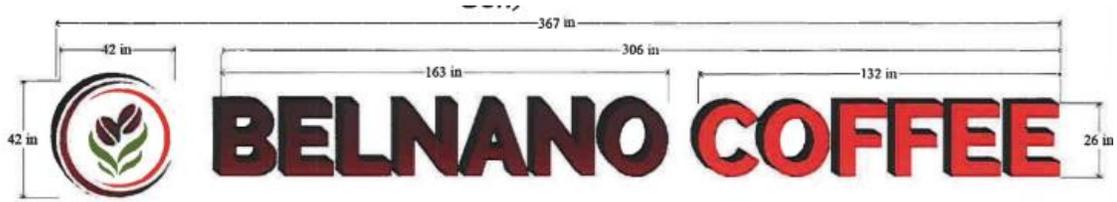
- Approve
- Approve as modified
- Deny
- Continue to: \_\_\_\_\_ to allow \_\_\_\_\_  
\_\_\_\_\_
- Continue indefinitely to allow: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Phil Dunsmore, Hearing Officer

**Attachment 1: Location Map and Zoning  
USE22-0051**



Attachment 2: Proposed Elevations and Sign  
USE22-0051



Positioning

- Sign to be centered vertically & Horizontally as shown above.





**CITY OF ATASCADERO**  
**Administrative Hearing Officer Resolution 99-01**

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APPROVED JUNE 23, 1999

**Exhibit 1: Conditions of Approval**

1. All building and free-standing signs shall receive a sign approval and building permit from the City of Atascadero prior to installation.
2. All signs shall comply with the requirements of this Administrative Use Permit and the City of Atascadero Sign Ordinance.
3. The size, design and color of all proposed signs shall be consistent with the exhibits attached to this resolution.
4. All major anchor walls signs shall be consistent with Exhibit 2 with the following changes:
  - A. The freeway oriented wall sign shall be limited to 60 square feet.
5. All tenant building signs shall comply with standards set forth in Exhibit 3 with the following revisions:
  - A. III.A. Replace entire paragraph with the following:

All signs shall consist of individual, three dimensional letters and logos flush mounted to the wall face. All internally illuminated signs shall have remote transformers, exposed raceways shall not be permitted.
  - B. III.B.1. Maximum sign area per tenant shall be limited to 40 square feet per street facing wall and the width of the sign shall not exceed 75% of the lineal leased frontage of the space, and be centered horizontal. Contrasting paint schemes and symbols surrounding the lettering shall be considered as part of the sign area.

Tenants occupying the end store location will be allowed an additional 40-square feet of wall sign on the side wall facing Curbaril Avenue.

Freeway oriented signs shall be permitted only for tenants exceeding 10,000 square feet consistent with section 9-15.005.(a).6.c. of the Sign Ordinance.
  - C. IV.L. Awning Signs

Awnings structures or forms with signage shall not be permitted.
  - D. Typical Shop Elevation Diagram  
Revise graphic and Exhibit 4 to eliminate exterior raceway and note 40 square of signage maximum.



**CITY OF ATASCADERO**  
**Administrative Hearing Officer Resolution 99-01**

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APPROVED JUNE 23, 1999

6. All signs for the "Pad E" building shall be consistent with the requirements for the inline tenant signs.
7. A maximum of one (1) freestanding monument sign shall be permitted on the Curbaril Avenue frontage. The freestanding pad signage may be incorporated into the center monument sign.
8. The canopy signs for the fuel service facility shall be consistent with Exhibit 5 with the following changes:
  - A. The maximum sign area per elevations shall be 40-square feet.
  - B. All signs and logos shall be constructed of individual closed channelized letters and logos flush mounted to the wall surface.
  - C. No signs or advertising shall be affixed to the cashier building.

# Exhibit 3: In-Line Tenant Sign Criteria (page 1 of 2)

## ALBERTSON'S CENTER SHOP BUILDINGS SEC OF EL CAMINO REAL AND CURBARIL AVENUE ATASCADERO, CALIFORNIA

1/98

### I. INTRODUCTION:

The intent of this sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at Albertson's Center Shop Buildings located at the SEC of El Camino Real and Curbaril Avenue, Atascadero, California. Tenant will be required to design signs for its Premises in accordance herewith to provide maximum identity and aesthetic quality for both the Tenant and the shopping center.

Performance of this sign criteria shall be rigorously enforced and any nonconforming signs shall be removed by the Tenant or the sign contractor at their expense, upon demand by owner.

Exceptions to these standards must be approved by the Landlord and the City of Atascadero.

### II. GENERAL OWNER/TENANT REQUIREMENTS:

A. Tenant shall submit to the Landlord three (3) copies of the detailed shop drawings of the proposed sign, indicating the location, size, layout, design and color, including all lettering or graphics in conformance with the sign criteria herein outlined.

B. After approval by the Landlord, the Tenant shall submit the sign drawing to the Atascadero Planning and Building Departments for approval prior to the start of any sign construction.

C. The Tenant shall pay for all signs, their installation (including final connecting transformers and all other labor and materials) and maintenance.

D. The Tenant shall obtain all necessary permits, and shall comply with all local building codes.

E. The Tenant shall be responsible for fulfillment of all requirements of this sign criteria.

F. The Landlord shall provide electrical service termination at the center of the allowed signage area in the interior of the wall or canopy. It will be connected to the house canopy light panel.

It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service prior to fabrication.

G. All cabinets, conductors, transformers, and other equipment shall be concealed, except as provided herein.

H. The location of all signs shall be per the accompanying design criteria (Section III) and attached drawing.

I. One sign space shall be allowed for each tenant (except as otherwise approved in writing). Tenant shall verify this sign location and size with the Landlord prior to fabrication.

J. Tenants located with storefront on two sides may provide one sign at each storefront, subject to City approval. Tenant will provide any required electrical to the second location.

K. Special signs which vary from this sign criteria must first be approved by the Landlord and the City of Atascadero.

L. The maximum allocated sign area per tenant is for the aggregate of all permanent signs (except exempt and convenience signs as noted herein).

M. Signs to be used at this center are individual closed channelized letters only, except those approved under "N" above.

N. Tenant shall erect signage on the storefront fascia not later than the date Tenant opens for business.

O. The Landlord shall have the right to remove, at the Tenant's expense upon five (5) days written notice, any signs installed contrary to these provisions.

P. All signs are to be in English only.

### III. GENERAL SIGN DESIGN SPECIFICATIONS:

A. Exposed, closed, metal raceways painted to match the adjacent exposed building surface will be used to mount the individual letters. No other exposed material shall be permitted. The raceways will be installed on the existing building canopy fascia so that the front edge is parallel with the storefront. Raceways are to be no taller than 8", without Landlord's prior written approval. The center of the letters will be attached to the center of the raceway. The raceway will be centered vertically and horizontally on the fascia.

B. "Net Sign Area" will be centered on the fascia vertically and horizontally as shown on the attached drawing. No letters will protrude outside of the maximum allowed sign area. Each Tenant Net Sign Area is measured by drawing an imaginary line around the outermost perimeter of letters (inclusive of the logo if applicable) as well as all required negative space between letters and words, both horizontally and vertically. That resulting area is measured to determine the sign square footage. All lettering shall be restricted to the Net Sign Area as follows:

### Exterior Storefront Signage

ADD TEXT

1. Maximum sign area width shall be equal to 75% of the lineal leased frontage of the space, and be centered horizontally.

2. Letter height shall be 24" maximum height and 12" minimum height, (10" minimum if 2 rows per III B 4).

3. The sign shall not extend within two feet of each demising wall.

4. The sign format shall be centered left and right equally between the demising walls and/or vertical features of the building as approved by Landlord.

5. A minimum 4' clearance shall be maintained between adjacent store signage.

C. No projections above or below the Net Sign Area will be permitted (except as otherwise approved in writing).

D. All signs and their installation must comply with all local building and electrical codes.

E. For purposes of store identifications, Tenant will be permitted to place upon each entrance to its demised premises not more than 144 square inches of white Helvetica medium decal application lettering not to exceed two inches (2") in height, indicating hours of business, emergency telephone, etc.

F. Each tenant space shall include address identification consisting of white Helvetica medium decal application lettering of 6" in height, or per code.

G. Each Tenant who has a non-customer door not in the storefront for receiving merchandise may apply the name of their business and address on said door with black Helvetica medium decal application.

### H. Typical Internally Illuminated Individual Letter Sign Specifications:

1. Store signs shall be attached in designated areas only and may not exceed sign area permitted by law.

2. The face of the individual letters and logos shall be constructed of acrylic plastic (3/16" thick minimum), and fastened to the channelized metal can in an approved manner. Trim cap retainers shall be gold. Metal side returns shall be matte or matte bronze/dark brown finish, except as specifically approved by the Landlord and the City of Atascadero. (No Channelune or Channel Classic fabrication methods will be accepted.)

3. Individual logos may be located anywhere within the Net Sign Area, but only if specifically approved by the Landlord and the City of Atascadero. Logos will not exceed 10% of the total sign area.

4. No more than two rows of letters are permitted, and provided their maximum total height does not exceed the maximum net sign area height of 24" specified in Section III B.

5. Tenants shall display only their established trade name or their basic product name, e.g., "Bills Balloons", or a combination thereof.

6. Internal illumination to be 60 milli-amp neon, installed and labeled in accordance with National Board of Fire Underwriters Specifications, National Electric Code and approved laboratory testing (i.e. U.L.).

7. The letter depth shall not be less than four (4) inches, nor more than six (6) inches. The sides of the letter are to be a Dark Brown, Bronze color.

I. Signage colors shall be approved by the Landlord and the City of Atascadero.

### IV. PROHIBITED SIGNS:

#### A. Signs Constituting a Traffic Hazard:

No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size or color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER" or any other words, phrases, symbols, or characters in such a manner to interfere with, mislead or confuse traffic.

#### B. Immoral or Unlawful Advertising:

No person shall exhibit, post, or display, cause to be exhibited, posted or displayed upon any sign, anything obscene, indecent or immoral nature or unlawful activity.

#### C. Signs on Doors, Windows or Fire Escapes:

No sign shall be installed, relocated or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall

DELETE AND REPLACE

# In-Line Tenant Sign Criteria (page 2 of 2)

ALBERTSON'S CENTER SHOP BUILDINGS  
 SEC OF EL CAMINO REAL AND CURBAUL AVENUE  
 ATASCADERO, CALIFORNIA

be attached to a stand pipe except those signs as required by code or ordinance.

**D. Animated, Audible, or Moving Signs:**

Signs, consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light is prohibited as are audible signs.

**E. Off-Premise Signs:**

Any sign other than directional signs, installed for the purpose of advertising a project, event, person or subject not related to the Premises upon which said sign is located is prohibited.

**F. Vehicle Signs:**

Signs on or affixed to trucks, automobiles, trailers or other vehicles, which advertise, identify, or provide direction to a use or activity not related to its lawful making of delivery of sales material or merchandise or rendering of service from such vehicles, are prohibited.

**G. Window Signs:**

Paper, cloth, painted, neon or decal signage shall not be permitted on any door or window except as allowed herein or by Landlord's discretionary approval.

**H. Light Bulb Strings and Exposed Tubing:**

External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs, and open exposed neon or gaseous light tubing, are prohibited. An exception herein may be granted by the Landlord when the display is an integral part of the design character of the activity to which it relates.

**I. Banners, Flags, Pennants, and Balloons Used for Advertising Purpose:**

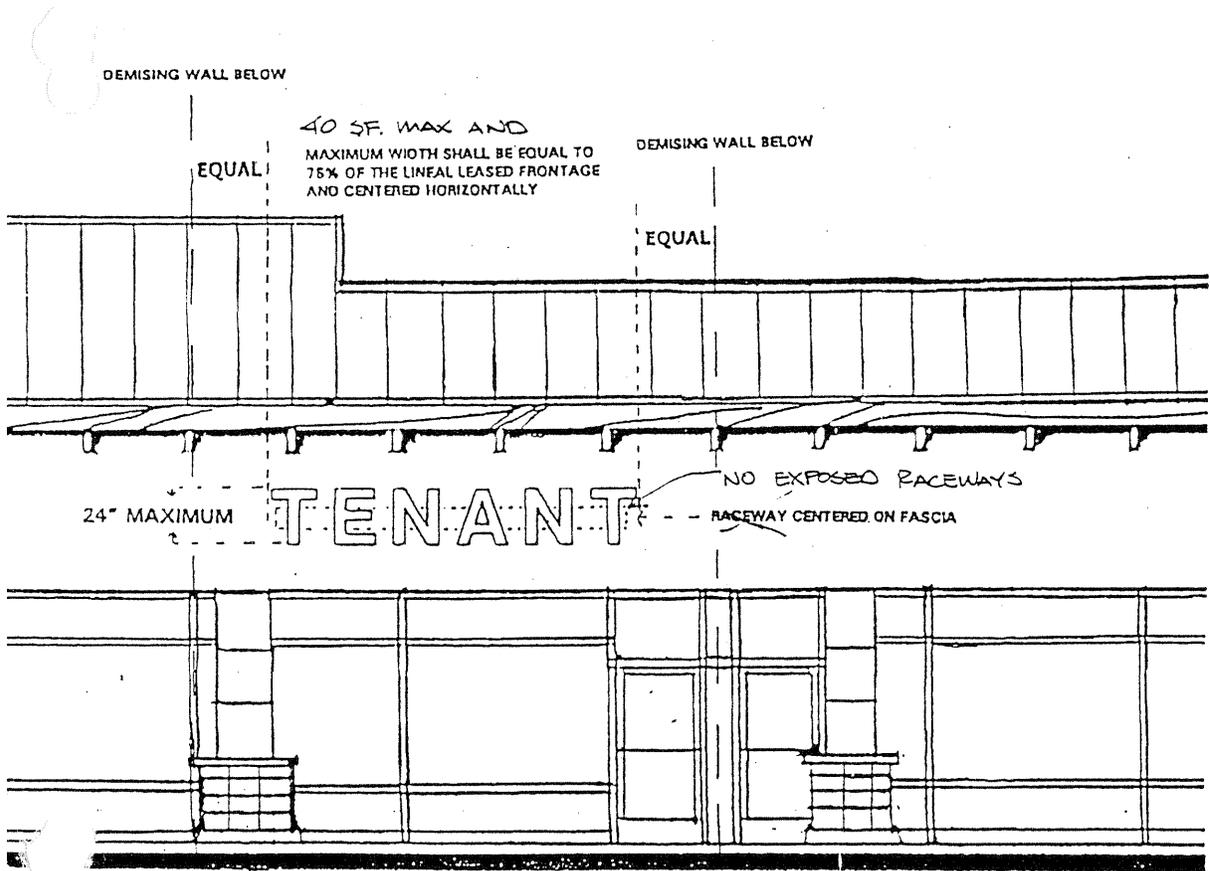
Flags, banners, pennants, balloons, or a combination of same, are specifically prohibited. One "Grand Opening" banner and/or temporary sales banner is permitted with Landlord's prior written approval not to exceed 30 days, and may not be installed more than two times during any 12-month period.

**J. Signs in Proximity to Utility Lines:**

Signs which have less horizontal or vertical clearance from authorized communications or energized electrical power lines than that prescribed by the laws of the State of California are prohibited.

ADD  
 K. Painted lettering will not be permitted.  
 L. Awning signs  
 V. CONSTRUCTION REQUIREMENTS:

- A. All exterior signs, bolts, fasteners, and clips shall be of enameled iron with porcelain enamel finish (to match adjacent building surface if exposed), stainless steel, aluminum, brass or bronze. No black iron materials of any type will be permitted.
- B. All letters shall be fabricated using full welded construction with minimum 1/4" drain holes in each letter.
- C. Locations of all openings for conduit and sleeves in sign installation shall be neatly sealed in a watertight condition.
- D. No labels will be permitted on the exposed surface of signs except those required by local ordinances, which shall be applied in inconspicuous locations.
- E. Tenant shall cause Tenant's sign contractor to repair any damage to any work caused by his work within two (2) days after such damage is caused.
- F. Tenant shall be fully responsible for the operations of the Tenant's sign contractor.

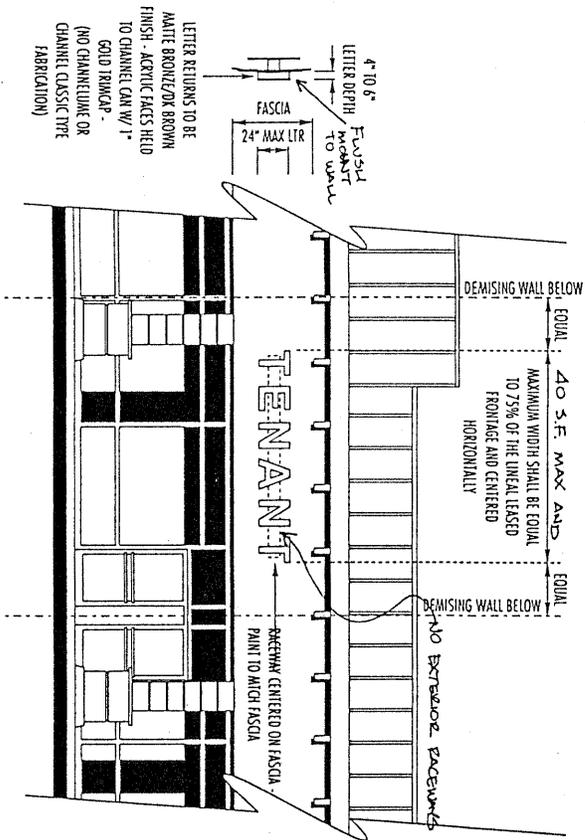
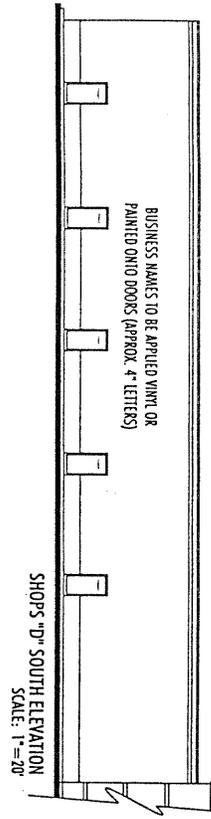
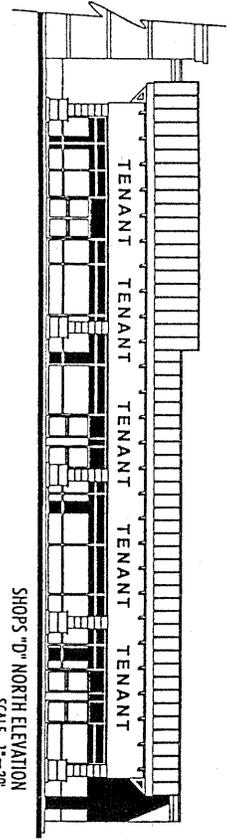
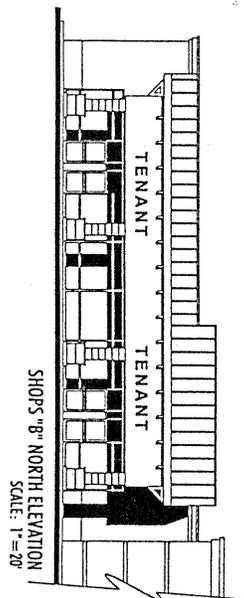
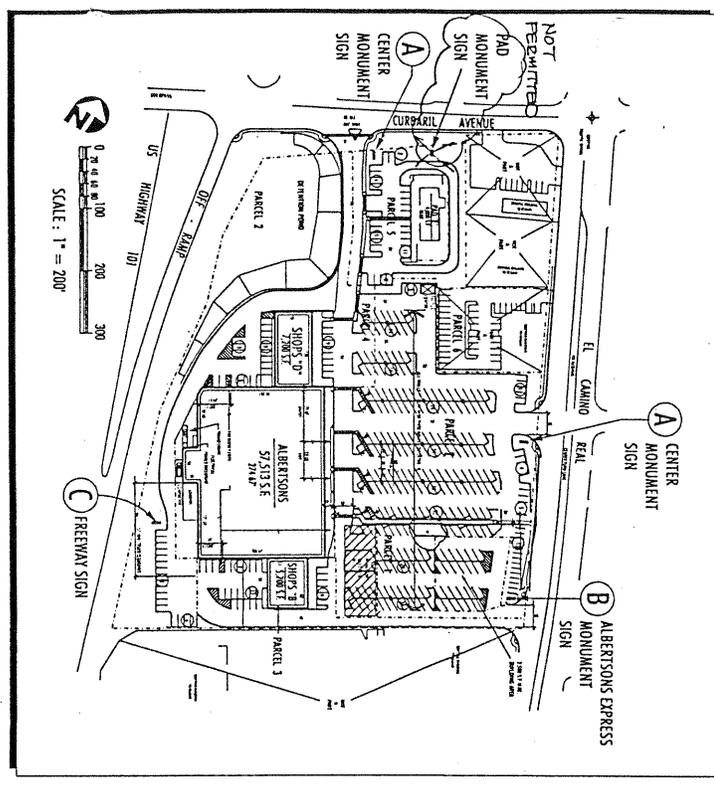


**TYPICAL SHOP ELEVATION SIGNAGE**

This drawing is for general illustration purposes, only, and does not necessarily represent the exact frontage of Tenant's storefront. All design, construction and installation are to be per the provisions of this Sign Criteria



**IMAGE NATIONAL, INC.**  
 444 East Armitay Road Boise, Idaho 83716  
 Phone: (208) 345-4020 - (800) 592-8058 - Fax: (208) 336-9886



**TYPICAL SHOP ELEVATION SIGNAGE**  
 SCALE: 1/8" = 1'-0"  
 ACRYLIC FACE CHANNEL LETTERS WITH INTERNAL NEON ILLUMINATION MOUNTED TO METAL RACKWAY - SEE ATTACHED SIGN CRITERIA SPECIFICATIONS FOR ADDITIONAL INFORMATION

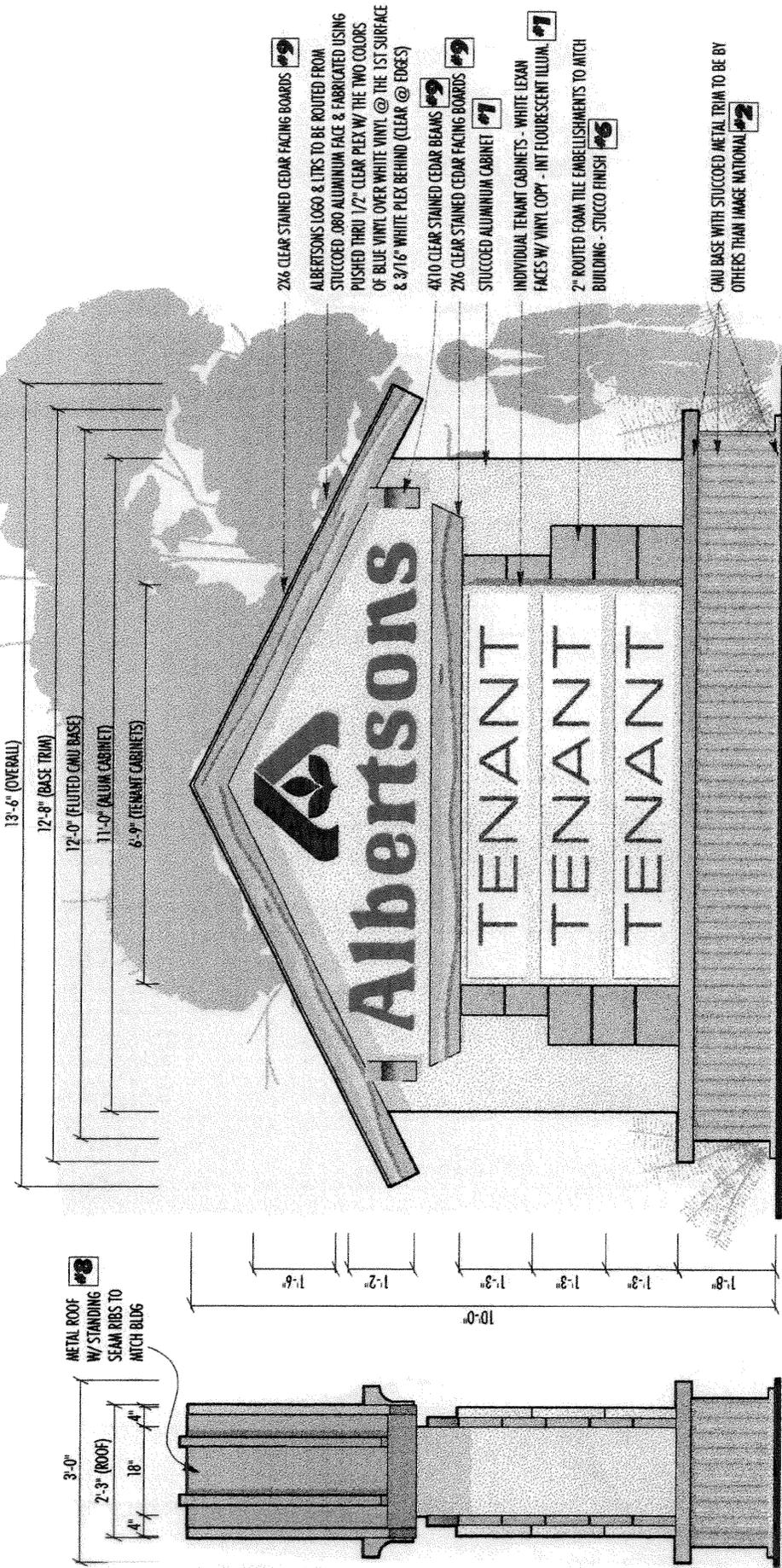
|         |              |                        |                |                |               |   |  |          |  |      |  |
|---------|--------------|------------------------|----------------|----------------|---------------|---|--|----------|--|------|--|
| TITLE   |              | ALBERTSONS STORE #1690 |                | LOCATION       |               | SVC CURRARI & EL CAMINO REAL, ALASCADERO, CA. |  | DRAWN BY |  | SIVL |  |
| DATE    | ACCOUNT EXEC | CLIENT APPROVAL        | Sales Approval | PROD. APPROVAL | EST. APPROVAL |   |  |          |  |      |  |
| 4/21/98 | DN COBB      |                        |                |                |               |   |  |          |  |      |  |
| REV     | BY           | DATE                   | SHEET NO       | DISIGN NO      | WORK ORDER    |   |  |          |  |      |  |
| 1       |              |                        | 2 of 4         | ALB1690        |               |   |  |          |  |      |  |

Exhibit 4: In-Line Tenant Sign Diagram

000022



# Exhibit 10: Free Standing Joint Tenant Sign Colors



## Albertsons Proposed Joint Tenant Shopping Center Monument Display

Scale: 3/8" = 1'-0"

- #1 PAINT TO MATCH  
LA HABRA STUCCO - X-34 SAN SIMEON  
OR  
#CW034W COCONUT MILK (FRAZEE)  
WITH STUCCO FINISH - MAIN CAB
- #2 8X8X16 4-Score SPLIT FACE CMU  
W/ TRIM @ TOP - PAINT TO MATCH  
8263M DEERFIELD (FRAZEE)  
MFR & INSTALL TO BE BY OTHERS  
THAN IMAGE NATIONAL
- #6 PAINT TO MATCH  
PRECAST TILES BY CDI @ BLDG  
COLOR: G 040 OLD PEWTER - OR  
8703-M ROCKBRIDGE (FRAZEE)  
FOAM TILES @ CAB SIDES
- #8 PAINT TO MATCH  
BHP METAL ROOFING  
COLOR: #15 MARINE GREEN  
PPG # 45523 -  
STANDING SEAM - 24" SPAN
- #9 STAIN EXPOSED WOOD  
OLYMPIC SOLID COLOR STAIN  
"TAUPE"

- #9 2X6 CLEAR STAINED CEDAR FACING BOARDS
- ALBERTSONS LOGO & LTRs TO BE ROUTED FROM  
STUCCOED .080 ALUMINUM FACE & FABRICATED USING  
PUSHED THRU 1/2" CLEAR PLEX W/ THE TWO COLORS  
OF BLUE VINYL OVER WHITE VINYL @ THE 1ST SURFACE  
& 3/16" WHITE PLEX BEHIND (CLEAR @ EDGES)
- #9 4X10 CLEAR STAINED CEDAR BEAMS
- #9 2X6 CLEAR STAINED CEDAR FACING BOARDS
- #7 STUCCOED ALUMINUM CABINET
- INDIVIDUAL TENANT CABINETS - WHITE LEXAN  
FACES W/ VINYL COPY - INT FLOURESCENT ILLUM.
- #6 2" ROUTED FOAM TILE EMBELLISHMENTS TO MATCH  
BUILDING - STUCCO FINISH
- #2 CMU BASE WITH STUCCOED METAL TRIM TO BE BY  
OTHERS THAN IMAGE NATIONAL

|            |  |
|------------|--|
| TITLE      | ALBERTSONS STORE # 1690 - SWC CURBARIL & EL CAHINO REAL - ATASCADERO, CA |
| LOCATION   |  |
| DATE       | 4/23/98  |
| DESIGN NO. | DON COBB   |
| SALES NO.  | ALB1690P   |

**IMAGE NATIONAL INCORPORATED**  
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