



## **CITY OF ATASCADERO PLANNING COMMISSION AGENDA**

**In accordance with City Council Resolution No. 2022-073 and the requirements of AB 361, the Planning Commission Meeting will not be physically open to the public and Planning Commissioners will be teleconferencing into the meeting.**

### **HOW TO OBSERVE THE MEETING:**

To maximize public safety while still maintaining transparency and public access, the meeting will be available by clicking on the following link:

Planning Commission - 832 5023 8111 (No Passcode Required)

<https://us02web.zoom.us/j/83250238111?pwd=SG9OdGxyNHNTNmxRWEpHTzRQK0VnQT09>

The video recording of the meeting will be available through the City's website and on the City's YouTube channel.

### **HOW TO SUBMIT PUBLIC COMMENT:**

Members of the public are highly encouraged to participate in live public comment through the Zoom platform using the link above or by calling **669-900-6833** (Meeting ID 832 5023 8111) to listen and provide public comment via phone.

If you wish to comment but not via a live platform, please email public comments to: [pc-comments@atascadero.org](mailto:pc-comments@atascadero.org) by 12:00 pm on the day of the meeting. Such email **comments must identify the Agenda Item Number in the subject line of the email.** The comments will be forwarded to the Planning Commission and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as a part of the administrative record of the meeting but will be forwarded to the Planning Commission the next business day. ***Please note, email comments will not be read into the record.***

### **AMERICAN DISABILITY ACT ACCOMMODATIONS:**

Any member of the public who needs accommodations should contact the City Clerk's Office at [cityclerk@atascadero.org](mailto:cityclerk@atascadero.org) or by calling 805-470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Planning Commission agendas and minutes may be viewed on the City's website: [www.atascadero.org](http://www.atascadero.org).

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, [www.atascadero.org](http://www.atascadero.org). Contracts, Resolutions and Ordinances will be allocated a number once they are approved by the Planning Commission. The Minutes of this meeting will reflect these numbers. All documents submitted by the public during Planning Commission meetings that are either read into the record or referred to in their statement will be noted in the Minutes and available for review by contacting the Community Development Department. All documents are available for public inspection during City Hall business hours by appointment.



# **CITY OF ATASCADERO PLANNING COMMISSION AGENDA**

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**REGULAR MEETING**  
**Tuesday, December 6, 2022**  
**6:00 P.M.**

**City Hall Council Chambers**  
**6500 Palma Avenue, 4<sup>th</sup> Floor**  
**Atascadero, California 93422**

## **CALL TO ORDER**

Pledge of Allegiance

**Roll Call:** Chairperson Jeff van den Eikhof  
Vice Chairperson Tori Keen  
Commissioner Jason Anderson  
Commissioner Victoria Carranza  
Commissioner Greg Heath  
Commissioner Randy Hughes  
Commissioner Dennis Schmidt

## **APPROVAL OF AGENDA**

**PUBLIC COMMENT** (This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on this agenda and over which the Commission has jurisdiction. Speakers are limited to three minutes. Please state your name for the record before making your presentation. The Commission may take action to direct the staff to place a matter of business on a future agenda.)

**CONSENT CALENDAR** (All items on the consent calendar are considered to be routine and non-controversial by City staff and will be approved by one motion if no member of the Commission or public wishes to comment or ask questions.)

### **1. APPROVE THE DRAFT MINUTES OF NOVEMBER 15, 2022**

- **Recommendation:** Commission approve the November 15, 2022 Minutes.

**WEBSITE:**



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## **PLANNING COMMISSION BUSINESS**

### **COMMUNITY DEVELOPMENT STAFF REPORTS**

None

### **PUBLIC HEARINGS**

(For each of the following items, the public will be given an opportunity to speak. After a staff report, the Chair will open the public hearing and invite the applicant or applicant's representative to make any comments. Members of the public will be invited to provide testimony to the Commission following the applicant. Speakers should state their name for the record and can address the Commission for three minutes. After all public comments have been received, the public hearing will be closed, and the Commission will discuss the item and take appropriate action(s).

### **DISCLOSURE OF EX PARTE COMMUNICATIONS:**

Prior to a project hearing, Planning Commission Members must disclose any communications they have had on any quasi-judicial agenda items. This includes, but is not limited to, Tentative Subdivision Maps, Parcel Maps, Variances, Conditional Use Permits and Planned Development Permits. This does not disqualify the Planning Commission Member from participating and voting on the matter, but gives the public and applicant an opportunity to comment on the ex parte communication.

## **2. CONDITIONAL USE PERMIT AT 2600 EL CAMINO REAL**

The proposed project is a request to add a new outdoor sales lot and construction of a new 9,376 s.f. building at 2600 El Camino Real on APN 049-201-014 for a new Bobcat Equipment Dealership. The project is exempt from the California Environmental Quality Act (CEQA) under Categorical Exemption §15303; New construction of small structures.

*Recommendation:* Staff's recommendation is for the Planning Commission to review the proposal and approve the project as conditioned. (USE22-0020).

## **COMMISSIONER COMMENTS AND REPORTS**

### **DIRECTOR'S REPORT**

### **ADJOURNMENT**

*The next regular meeting will be held on December 20, 2022, at 6:00 p.m.*

*Please note: Should anyone challenge in court any proposed development entitlement listed on this Agenda, that person may be limited to raising those issues addressed at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, this public hearing.*

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*City of Atascadero***WELCOME TO THE ATASCADERO PLANNING COMMISSION MEETING**

The Planning Commission meets in regular session on the first and third Tuesday of each month at 6:00 p.m. at City Hall, Council Chambers, 6500 Palma Avenue, Atascadero. Matters are considered by the Commission in the order of the printed Agenda.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the office of the Community Development Department and are available for public inspection during City Hall business hours at the Front Counter of City Hall, 6500 Palma Avenue, Atascadero, and on our website, [www.atascadero.org](http://www.atascadero.org). All documents submitted by the public during Commission meetings that are either read into the record or referred to in their statement will be noted in the minutes and available for review in the Community Development Department. Commission meetings are audio recorded, and may be reviewed by the public. Copies of meeting recordings are available for a fee. Contact the City Clerk for more information at (805) 470-3400.

In compliance with the Americans with Disabilities Act, **if you need special assistance to participate in a City meeting or other services offered by this City**, please contact the City Manager's Office or the City Clerk's Office, both at (805) 470-3400. Notification at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

**TO SPEAK ON SUBJECTS NOT LISTED ON THE AGENDA**

Under Agenda item, "PUBLIC COMMENT", the Chairperson will call for anyone from the audience having business with the Commission to approach the lectern and be recognized.

1. Give your name for the record (not required).
2. State the nature of your business.
3. All comments are limited to 3 minutes.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.

This is when items not on the Agenda may be brought to the Commission's attention. A maximum of 30 minutes will be allowed for Public Comment Portion (unless changed by the Commission).

**TO SPEAK ON AGENDA ITEMS (from Title 2, Chapter 1 of the Atascadero Municipal Code)**

Members of the audience may speak on any item on the agenda. The Chairperson will identify the subject, staff will give their report, and the Commission will ask questions of staff. The Chairperson will announce when the public comment period is open and will request anyone interested to address the Commission regarding the matter being considered to step up to the lectern. If you wish to speak for, against or comment in any way:

1. You must approach the lectern and be recognized by the Chairperson.
2. Give your name (not required).
3. Make your statement.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.
6. All comments limited to 3 minutes.

If you wish to use a computer presentation to support your comments, you must notify the Community Development Department at (805) 461-5035 at least 24 hours prior to the meeting. Digital presentations brought to the meeting should be on a USB drive or CD. You are required to submit to the Recording Secretary a printed copy of your presentation for the record. Please check in with the Recording Secretary before the meeting begins to announce your presence and turn in the printed copy.

The Chairperson will announce when the public comment period is closed, and thereafter, no further public comments will be heard by the Commission.

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## CITY OF ATASCADERO PLANNING COMMISSION

# DRAFT MINUTES

Regular Meeting – Tuesday, November 15, 2022 – 6:00 P.M.  
City Hall (Teleconference)  
6500 Palma Avenue, Atascadero, California

### CALL TO ORDER - 6:00 p.m.

Chairperson van den Eikhof called the meeting to order at 6:00 p.m. and Commissioner Carranza led the Pledge of Allegiance.

### ROLL CALL

Present: **By Teleconference** – Commissioners Anderson, Carranza, Heath, Hughes, and Chairperson van den Eikhof

Absent: Commissioner Schmidt (arrived at 6:03 p.m.)  
Vice Chairperson Keen (arrived at 7:08 p.m.)

Vacant: None

Others Present: **By Teleconference** –  
Annette Manier, Recording Secretary

Staff Present: **By Teleconference** –  
Community Development Director, Phil Dunsmore  
Senior Planner, Kelly Gleason  
Associate Planner, Mariah Gasch

*Commissioner Schmidt arrived at 6:03 p.m.*

### APPROVAL OF AGENDA

**MOTION:** **By Commissioner Heath and seconded by  
Commissioner Anderson to approve the Agenda.**

***Motion passed 6:0 by a roll-call vote.  
(Keen absent)***

**PUBLIC COMMENT**

None.

*Chairperson van den Eikhof closed the Public Comment period.*

**CONSENT CALENDAR****1. APPROVE THE DRAFT MINUTES OF NOVEMBER 1, 2022**

- Recommendation: Commission approve the November 1, 2022 Minutes.

**MOTION:** By Commissioner Anderson and seconded by Commissioner Carranza to approve the Consent Calendar.

*Motion passed 6:0 by a roll-call vote.  
(Keen absent)*

**PLANNING COMMISSION BUSINESS**

None.

**COMMUNITY DEVELOPMENT STAFF REPORTS**

None.

**PUBLIC HEARINGS****2. CONDITIONAL USE PERMIT AT 6805 SYCAMORE ROAD**

The proposed project is a request to add an RV Storage Lot to an existing site on APN 028-121-001 for VSM Leasing & Rentals, LLC. The project is exempt from the California Environmental Quality Act (CEQA) under Categorical Exemption §15304; Class 04: Minor Alterations to Land.

Recommendation: Staff's recommendation is to review the proposal and approve the project. (USE21-0107).

**EX PARTE COMMUNICATIONS**

Commissioner Carranza spoke with a couple of stakeholder groups in the riverbed area (SLO Beaver Brigade and the Northern Chumash Tribal Council).

Commissioner Hughes spoke with Michael Woody, Civil Engineer and representative of the Salinan Tribe.

All other Commissioners had no ex parte.

Director Dunsmore announced that many letters and emails were received today. After review of these documents, staff is changing their recommendation and conditions on this project.

Planner Gasch provided the staff report with revised recommendations.

**PUBLIC COMMENT**

The following members of the public spoke: John Neil, Audrey Taub, Ellen Béraud, and Devon Haggie.

John Neil answered questions raised during Commission deliberations.

*Vice Chairperson Keen arrived at 7:08 p.m.*

***Chairperson van den Eikhof closed the Public Comment period.***

The Commission deliberated on the item, and suggested that a Phase 1 Environmental Analysis be completed. The Commission also suggested a 10-year time limit on the storage use could be an option. After the lease expires in 10-years, they will need to apply for a new CUP.

**MOTION: By Vice Chairperson Keen and seconded by Commissioner Hughes to continue the meeting to a date uncertain, with a recommendation to provide an Archeology Study, and a Visibility Study (applicant to stake out the property and Commissioners to visit individually).**

***Motion passed 6:1 by a roll-call vote.  
(Schmidt voted no)***

**COMMISSIONER COMMENTS AND REPORTS**

Commissioner Schmidt stated that he would be absent from the next DRC meeting on December 15th, but here for the December 6<sup>th</sup> Planning Commission meeting.

Commissioner Schmidt asked about handouts on ADU's. Director Dunsmore stated that those would be forthcoming.

**DIRECTOR'S REPORT**

Director Dunsmore stated that invites are going out for the General Plan Update Stakeholder's Group. The Commission will hear the Bobcat/Giffin project at the next meeting.

**ADJOURNMENT – 7:52 p.m.**

The next regular meeting is scheduled for December 6, 2022, at City Hall, 6500 Palma Avenue, Atascadero.

**MINUTES PREPARED BY:**

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Annette Manier, Recording Secretary  
Administrative Assistant



# Atascadero Planning Commission

## Staff Report - Community Development Department

### Giffin Equipment Bobcat Rental and Dealership USE 22-0020 (R Alastair Winn)

#### RECOMMENDATION:

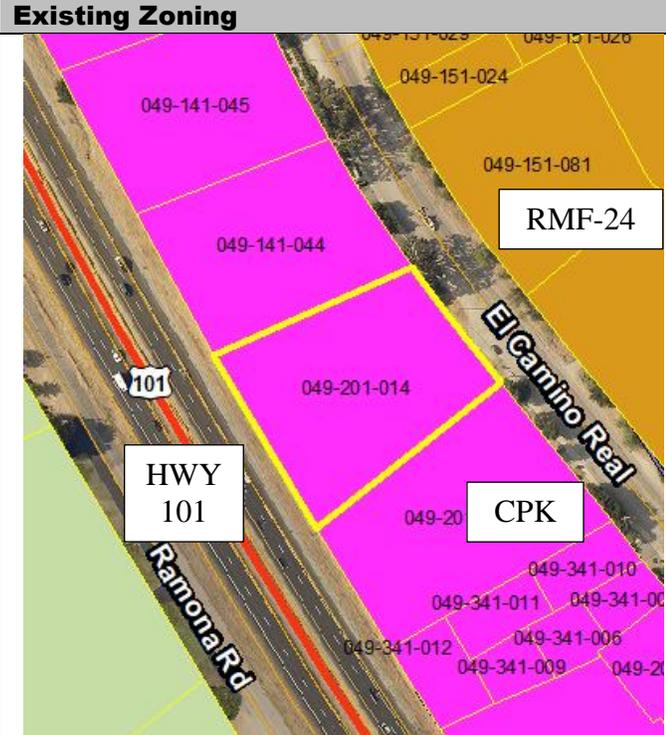
The Planning Commission adopt Draft Resolution approving Conditional Use Permit (CUP) USE22-0020 allowing outdoor sales and rental of Bobcat farm and construction equipment storage in the Commercial Park (CPK) zone.

#### Project Info In-Brief:

<b>PROJECT ADDRESS:</b>	2600 El Camino Real	Atascadero, CA	<b>A P N</b>	049-201-014
<b>PROJECT PLANNER</b>	Mariah Gasch Associate Planner	470-3436	mgasch@atascadero.org	
<b>PROPERTY OWNER</b>	Stanley Avenue Investors LLC			
<b>GENERAL PLAN DESIGNATION:</b>	<b>ZONING DISTRICT:</b>	<b>SITE AREA</b>	<b>EXISTING USE</b>	<b>PROPOSED USE</b>
Commercial Park (CPK)	Commercial Park (CPK) / PD 1	1.63-acre site	Vacant	Outdoor Sales Yard
<b>ENVIRONMENTAL DETERMINATION</b>				
<input type="checkbox"/> Environmental Impact Report SCH: _____ <input type="checkbox"/> Negative / Mitigated Negative Declaration No. _____ <input checked="" type="checkbox"/> Categorical Exemption CEQA – Guidelines Section 15303 <input type="checkbox"/> Statutory Exemption §§ 21000, et seq & _____ <input type="checkbox"/> No Project – Ministerial Project				

**DISCUSSION:**

Existing Surrounding Uses / Parcel Configurations:

Existing Zoning		Existing Aerial / Surrounding	
			
<b>North:</b>	<b>South:</b>	<b>East:</b>	<b>West:</b>
Commercial Park (CPK)	Commercial Park (CPK)	Residential Multi-Family (RMF-24)	Highway 101 (HWY 101)

Background:

The subject site has an existing metal building that will need to be brought up to current California Building Code standards before it can be occupied as a storage building. The rest of the site is vacant and has not been utilized by a permitted use in recent history.

The Design Review Committee (DRC) reviewed the proposed project in September 2022 and made recommendations regarding new and existing fencing and landscaping onsite. The DRC also requested additional information such as proposed lighting, hours of operation and roof details. The applicant revised the plans and provided additional information in accordance with the DRC's recommendations.

Project description:

The proposed project includes use of an existing metal building and a 1.4-acre outdoor equipment rental and sales yard in the Commercial Park zone. The site is proposed to be used as a commercial business for the sale and rental of small construction equipment

such as tractors and mini excavators. Hours of operation are from 7:00 am to 5:00 pm daily with emergency services offered outside of these standard hours. Site improvements include a new trash enclosure adjacent to the existing single-story metal building, which itself will be renovated. The rear of the parcel is adjacent to Highway 101, and will include landscaping and a storm water basin as required by the Municipal Code and stormwater requirements. Landscaping will be implemented around the entire parcel, including the El Camino Real frontage, as well as within the parking lot and around the trash enclosure. Atascadero Municipal Code (AMC) 9-3.330 states that farm equipment and supply sales lots in excess of 10,000 square feet require approval of a Conditional Use Permit. In order to approve the use, the Commission must make a series of use permit findings. If approved, the project is also subject to conditions of approval.

### Analysis

The proposed project includes a new Bobcat equipment rental and dealership which will consist of a new 9,376 square foot single story building including a mezzanine with an office space. The plan also includes new parking and landscaping.

The use is defined as a Sales Lot in Atascadero Municipal Code (AMC) 9-3.500. Sales lots in excess of 10,000 square feet require a Conditional Use Permit in the Commercial Park (CPK) Zone. Sales lots have unique development standards that are outlined in AMC 9-6.139.

The Municipal Code Development standards include the following:

1. Displays to be limited to street frontages only. All other property lines are to be screened by required landscaping.
2. A ten (10) foot wide landscaping strip is to be provided adjacent to all street property lines, consisting of ground covering vegetation, which may be maintained at a height less than three (3) feet, and trees. This is in addition to any landscaping required by Section 9-4.124 (Landscaping).
3. All interior property lines are to be screened with a six (6) foot high solid wall or fence that provides similar screening effect.
4. In the CPK, IP and I zones crushed rock, or other materials maintained in a dust-free condition may be allowed. All vehicle drive areas and customer parking areas are to be paved with concrete, asphalt or crushed rock.
5. The minimum lot size for sales lots for any type of vehicle shall be one (1) acre. Smaller lots may be allowed by the Planning Commission for other outdoor sales lot uses.
6. Fencing along street frontages shall be limited to decorative wrought iron or wood rail fencing not to exceed three (3) feet in height and located three (3) feet behind the sidewalk in the landscape planter. Chain link fencing is not permitted.

The property also contains a Planned Development Overlay Zone No. 1 (PD1). The PD1 development standards include:

1. A minimum front setback of twenty (20) feet shall be provided for buildings along the El Camino Real frontage of all parcels. Rear setbacks shall be a minimum of ten (10) feet.
2. Plans shall make provision to develop an attractive appearance along Highway 101 through the use of landscaping, building and parking orientation and other means.
3. The number of driveways along El Camino Real shall be minimized to prevent potential traffic conflicts.
4. All utilities shall be installed underground.
5. Exterior building materials shall be reviewed for acceptability and shall exhibit compatible relationships between buildings on a particular site or parcel.

Proposed Site Plan



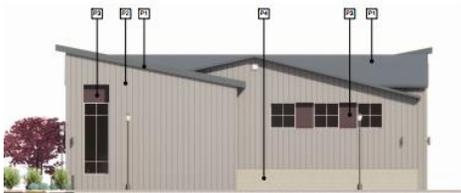
Site Design

The site is designed with two new entrances off El Camino Real that lead to a parking lot along the southern property line. The applicant is proposing paver bricks on all driving surfaces and compacted crushed cement base for the remainder of the site for equipment parking. The proposed building is located toward the rear of the site to allow for a large equipment display area along El Camino Real. The vacant areas to the north and west of the proposed building are to be used for equipment parking. The entire site is surrounded by new landscaping that will screen the sales areas.

Architecture and Design

The site has one existing 1,700 square foot metal building that will be used for storage. The exterior will be improved with the same colors and materials as the new structure. The applicant is proposing a new 9,368 square foot building that includes a 747 square foot mezzanine. This building will be used for servicing equipment, parts sales and an equipment showroom. The mezzanine will be located above the center of the structure and include an office space. Both buildings will be designed with a modern industrial architectural style. Varying roof lines for the new building, including gable and shed styles, enhance the modern design and add architectural interest. The exterior will be finished with gray standing seam sheet metal with gray split face CMU block wall accents. The roof will also be standing seam metal in a neutral blue color with grey trim to match the exterior walls. Orange metal awnings above three of the doors will provide a contrasting color against the industrial building.

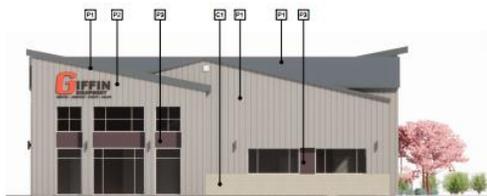
Elevations – New building



PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

Elevations- Existing building remodel



SIDE COLOR ELEVATION FROM 101 FREEWAY



FRONT COLOR ELEVATION FROM 101 FREEWAY



SIDE COLOR ELEVATION FROM EL CAMINO REAL



FRONT COLOR ELEVATION FROM EL CAMINO REAL

Trash Enclosure

AMC 9-4.129 requires trash enclosures for the storage of solid waste within the urban services line for commercial uses. The enclosure shall not be located within 100 feet of the building served and must not be located in the front setback. Garbage containers shall be screened from public streets and adjoining properties by a solid fence or wall. The applicant is proposing one new trash enclosure directly to the west of the existing building to be remodeled. The enclosure will match the industrial design of the two structures with a blue standing seam metal roof, gray six-foot-tall CMU wall with a stucco finish and brown metal gates. The roof of the enclosure will be held up by matching metal columns.

Trash  
 Enclosure  
 Elevations



LEFT SIDE COLOR ELEVATION



REAR COLOR ELEVATION



RIGHT SIDE COLOR ELEVATION



FRONT COLOR ELEVATION

**Landscaping and Fencing**

There is existing six-foot-tall chain link fencing surrounding the property on three sides. Fencing along the southern property lines has green slats throughout and barbed wire along the top. The DRC recommended that the applicant work with the adjacent property owner to remove the Constantine razor wire on the fence between the subject site and Fence Factory. Staff has added a condition that this be removed from the fence prior to the final planning inspection for the proposed building. Chain link fencing along the northern and western property lines does not have slats. An existing CMU building wall is also located at the property line at the northern site boundary. This CMU building on the adjacent site will act as screening for this small section. No additional fence will be built along the property line at the CMU building. AMC 9-4.128 requires chain link fencing to be screened with evergreen vegetation. The applicant is proposing new landscape planters with vegetation along all property lines. No additional barbed wire is proposed at this time. A new six-foot-tall wrought iron fence is proposed along the front of the property. AMC 9-6.139 limits fencing within the front setback on sales lots to three feet high. For security of the property and equipment, staff is recommending approval of a fence height exception to allow up to 6 feet as proposed. This front fence will include two matching gates that will swing open into the site and be open during business hours. The fence at the front is proposed to be a black metal fence similar to wrought iron in appearance.



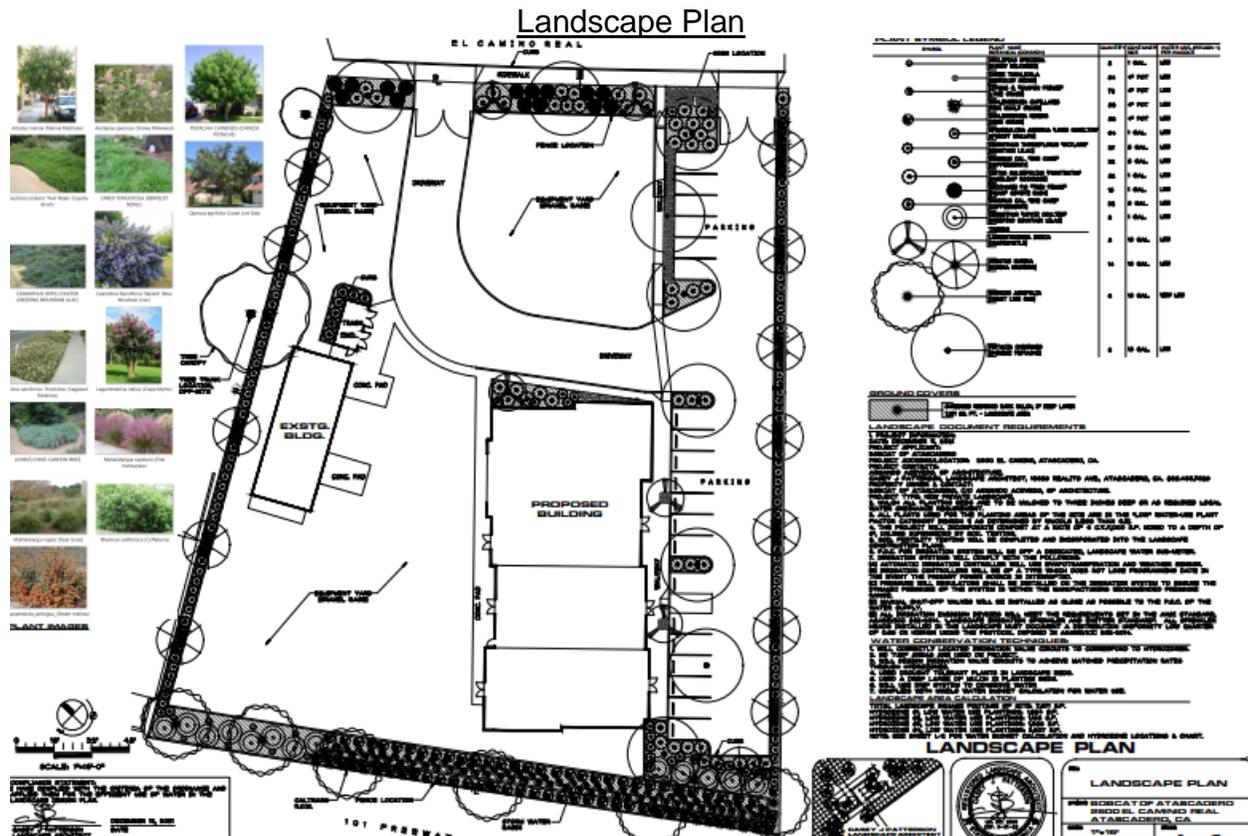
**LP Architecture**

<p>EXISTING PUGH CHAIN LINK FENCE WITH EXISTING GREEN SLATS TO REMAIN.</p>	
<p>1 EXISTING CHAIN LINK FENCE 10/14/22</p>	
<p>EXISTING BUILDING CMU WALL @ PROPERTY LINE TO REMAIN. EXISTING P/W CMU WALL @ PROPERTY LINE TO REMAIN.</p>	
<p>2 EXISTING CMU WALL @ BUILDING 10/14/22</p>	
<p>EXISTING P/W CHAIN LINK FENCE WITH NEW GREEN SLATS TO MATCH EXISTING.</p>	
<p>3 EXISTING CHAIN LINK FENCE 10/14/22</p>	
<p>WROUGHT IRON FENCE HEIGHT EXCEPTION REQUESTED FOR SITE SECURITY GATE</p>	
<p>4 W/I SECURITY FENCE &amp; GATE 10/14/22</p>	

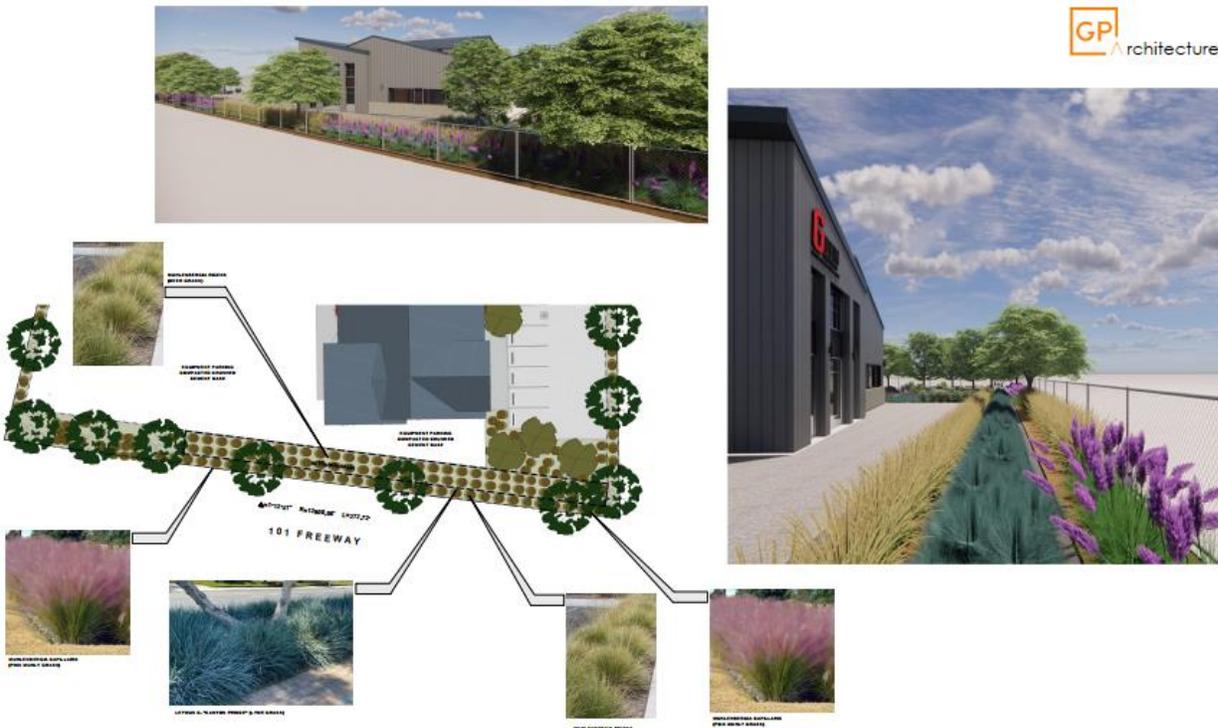
The PD1 overlay requires a minimum rear setback off Highway 101 of 10-feet. The intent of this setback was to allow adequate space for landscaping to screen and buffer light industrial and outdoor land uses from the highway. The applicant's proposed landscape plan includes the following:

- Drought tolerant native species to fill in landscape planters along all four property lines, throughout the parking lot and around the trash enclosure.
- Chinese Pistache trees will be planted along El Camino Real and throughout the parking lot to act as street trees along the road and shade trees for the parking lot.
- Crape Myrtle trees will accent these trees along the frontage and Arbutus Marina will accent the other three property lines.
- Three new Coast Live Oak trees will be planted at the northwest corner of the site. These will assist in screening the site from Highway 101.
- Three Chinese Pistache trees are proposed along the rear fence line.
- Native shrubs will fill in the remainder of the landscape planters.

The applicant is proposing a storm water basin along the backside of the property along the highway. The DRC recommended that the applicant extend their landscaping planter to naturalize the basin and provide space for new trees along the highway. The applicant revised their plan to include landscaping further extended into the southwestern corner of the property with two new 15-gallon “Arbutus Marina” otherwise known as Strawberry trees. There will still be visibility into the site through the middle of the two sets of trees on either property side.



Rear basin plan



### Lighting and Visibility

The DRC discussed the visual impacts that this project would have on the new housing development located across El Camino Real, Emerald Ridge. The DRC requested that the applicant provide additional information to the Planning Commission regarding the proposed lighting onsite and the reflectivity of the roofing materials, since Emerald Ridge sits higher than this site and may be able to see the tops of the buildings. Seven new light poles are proposed throughout the site. New wall mounted lights will be installed on the new building to provide illumination on the parking lot. Staff has added a condition regarding site lighting. This condition states that light poles be no higher than fourteen feet tall with the light source fully screened from adjacent properties. Upon building permit submittal, the applicant will be required to provide a photometric light study that shows all light be retained onsite and not spill onto adjacent properties.

The applicant also provided more detail on the reflectivity of the buildings' roof materials. The proposed roofs on all structures have a Solar Reflectivity (SR) of 0.35 SR. To meet energy efficiency requirements, roof material is required to reflect 0.25 or more. Proposed roof Solar Reflectance (SRI) is 39 SRI when requirements are to have a 29 or higher. Below is an example of the type of standing seam roofing material that will be used on the new and existing structures.



**Signs**

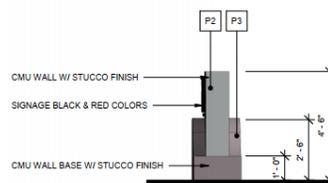
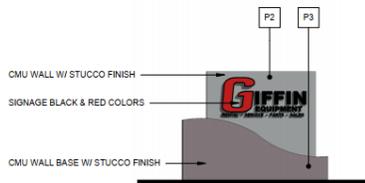
The applicant is proposing two wall signs, each on the northern and eastern walls of the new building. Each wall sign is 10'-6" wide and 4' tall for a total of 42 square feet each. The northern wall face is approximately 70 linear feet while the eastern wall face is approximately 140 linear feet. AMC 9-15.008 allows wall signs up to one square foot per linear foot of building frontage. The wall signs comply with Municipal Code standards. The applicant is also proposing one 4'-6" tall monument sign along El Camino Real. The base height ranges from one foot to 2'-6". The monument sign will be located in a landscaped area. AMC9-15.008 requires a minimum base height of one foot and a maximum base height of four feet. The base is required to be decorative and located in a landscape planter. The applicant's sign meets required code standards.



**SIGN #2 @ NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SIGN #1 @ EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



### Outdoor Sales Lot Conditions

The Commercial Park (CPK) zone is the appropriate location for moderately intensive uses such as an outdoor sales lot. However, such land uses can be detrimental to the City if not properly designed and adequately maintained. If approved, the use permit to allow a sales lot will run with the land, regardless of the business owner/operator. Conditions of approval are very important to ensure the property continues use as it is proposed with this project. Staff has added a series of conditions about site operation to ensure that the sales lot does not deteriorate or be substantially altered over time. The conditions include:

1. All vehicular parking must occur in parking areas designated on the site plan.
2. All equipment parking must occur in parking areas designated on the site plan.
3. Equipment stored onsite shall be limited to small construction equipment. This does not include cranes, bulldozers, dump trucks, and similar sized equipment.
4. All construction equipment stored onsite shall remain in good condition, assembled and in functional condition.
5. Any outdoor storage of construction materials such as pipe or bulk materials shall be prohibited from being stored onsite. If future storage of construction materials is proposed onsite, the applicant will be required to amend this conditional use permit before the Planning Commission.

### **ALTERNATIVES**

1. The Planning Commission may include modifications to the project and/or Conditions of Approval for the project. Any proposed modifications including Conditions of Approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

### **ATTACHMENTS:**

- Attachment 1: Draft Resolution
- Attachment 2: Site Photos
- Attachment 3: AMC 9-6.139
- Attachment 4: Applicant Submittal Package

**DRAFT RESOLUTION**

**RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF ATASCADERO APPROVING A CONDITIONAL USE PERMIT  
TO ESTABLISH AN OUTDOOR EQUIPMENT RENTAL AND SALES  
LOT USE IN EXCESS OF 10,000 SF IN THE COMMERCIAL PARK ZONE  
2600 EL CAMINO REAL**

**BOBCAT EQUIPMENT RENTALS AND SALES  
R ALASTAIR WINN  
(USE22-0020)**

**WHEREAS**, an application has been received from R Alastair Winn (479 Santa Rosa Lane, Santa Barbara, CA 93108) Applicant, and Stanley Avenue Investors, LLC (479 Santa Rosa Lane, Santa Barbara, CA 93108), Owner, to consider Planning Application USE22-0020, for a Conditional Use Permit for an outdoor equipment rental and sales use at 2600 El Camino Real, Atascadero, CA 93422 (APN 049-201-014); and

**WHEREAS**, the site's current General Plan Land Use Designation is Commercial Park (CPK); and

**WHEREAS**, the site's current Zoning District is Commercial Park (CPK); and

**WHEREAS**, an equipment rental and sales lot use in the Commercial Park (CPK) zoning district; and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed public hearing was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said conditional use permit; and

**NOW, THEREFORE BE IT RESOLVED** by the Planning Commission of the City of Atascadero:

**SECTION 1. Recitals**: The above recitals are true and correct.

**SECTION 2. Public Hearing**. The Planning Commission held a duly noticed public hearing to consider the project on December 6, 2022 and considered testimony and reports from staff, the applicants, and the public.

**SECTION 3. Findings**. The Planning Commission makes the following findings, determinations and approvals

**1. Findings for Approval of a Conditional Use Permit**

**FINDING:** The proposed project or use is consistent with the General Plan

**FACT:** The use is consistent with the General Plan. Specifically, it relates to intended uses in the Commercial Park zone. The General Plan states that one of the intended uses of this zone is for light industrial uses such as this one. General Plan Goal 3 of the Land Use, Open Space and Conservation Element sets a goal of transforming El Camino Real into an attractive and efficient commercial, office and industrial park area. Goal number 13 focused on providing a sound economic base to sustain the City's unique character. Goal number 14 promotes attracting new businesses to improve the availability of goods and services. Both goals are being met with the proposed project as it will be providing new jobs in the city as well as services for residents and the current construction jobs sector. The municipal code allows outdoor equipment sales lot operations with a conditional use permit.

**FINDING:** The proposed project or use satisfies all applicable provisions of the Zoning Ordinance

**FACT:** The proposed outdoor equipment sales and rental lot can be permitted through the Conditional Use Permit process as identified in the Municipal Code. The proposed site plan is consistent with the applicable provisions of the Atascadero Municipal Code as conditioned.

**FINDING:** The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use

**FACT:** The proposed outdoor equipment sales and rental lot will not be detrimental to the general public or working person's health, safety, or welfare.

**FINDING:** The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development

**FACT:** The proposed project is on a property that is zoned Commercial Park with an adjacent contract construction yard and light industrial commercial park on either side.

**FINDING:** The proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the land use element

FACT: The proposed project and use is consistent with the traffic projections and road improvements anticipated within the General Plan. The project site is an existing site on El Camino Real.

FINDING: The proposed project is in compliance with any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.

FACT: The project is consistent with the General Plan and municipal code, as conditioned.

**2. Findings for Approval of Fence Height Exception**

FACT: Characteristics of the site or site vicinity would make required fencing or screening unnecessary or ineffective.

FINDING: A three-foot-tall fence within the front setback will not provide the level of security required for this type of use. By requiring that the 6-foot-tall fence to be located outside the front setback, this will eliminate the entire usable space in the front. The fence proposed is attractive and will match the aesthetics of the surrounding area.

**SECTION 4. CEQA.** The project is exempt from the California Environmental Quality Act (CEQA), under Categorical Exemption § 15303, Class 3; New construction of small structures. This includes commercial structures under 10,000 SF when located in commercial zoning districts.

**SECTION 5. Approval.** The Planning Commission of the City of Atascadero, in a regular session assembled on December 6, 2022, resolved to approve a Conditional Use Permit to allow for an outdoor equipment rental and sales lot (USE22-0020) subject to the following:

1. EXHIBIT A: Conditions of Approval
2. EXHIBIT B: Site Plan
3. EXHIBIT C: Preliminary Grading and Drainage Plan
4. EXHIBIT D: Landscape Plan
5. EXHIBIT E: Elevations
6. EXHIBIT F: Colors and Materials
7. EXHIBIT G: Signs
8. EXHIBIT H: Fencing Plan

On motion by Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ( )  
NOES: ( )  
ABSTAIN: ( )

ABSENT: ( )

ADOPTED:

CITY OF ATASCADERO, CA

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Jeff van den Eikhof  
Planning Commission Chairperson

Attest:

---

Phil Dunsmore  
Planning Commission Secretary

<b>EXHIBIT A:      Conditions of Approval</b> <b>USE22-0020</b>
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<b>Conditions of Approval</b>	<b>Timing</b>	<b>Responsibility /Monitoring</b>
<b>Conditional Use Permit</b> <b>Outdoor Equipment Rental and Sales Lot</b> <b>2600 El Camino Real</b>	BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
1. This Conditional Use Permit shall be for an outdoor equipment rental and sales lot as described in attached Exhibits, located at 2600 El Camino Real (APN 049-201-014), regardless of owner.	<b>Ongoing</b>	<b>PS</b>
2. The approval of this use permit shall become final and effective the date of the hearing. Issuance of building permits may not occur prior to the appeal period of fourteen (14) days following the Planning Commission approval.	<b>Ongoing</b>	<b>PS</b>
3. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, (2) result in a superior site design or appearance, and/or (3) address a construction design issue that is not substantive to the Conditional Use Permit.	<b>Ongoing</b>	<b>PS, CE</b>
4. Approval of this Conditional Use Permit shall be valid for twenty-four (24) months after its effective date. At the end of this time period, the approval shall expire and become null and void unless the project has received a building permit or a time extension.	<b>BP</b>	<b>PS</b>
5. The owner and applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this conditional use permit.	<b>Ongoing</b>	<b>CA</b>
<b>Planning Services</b>		
6. The Conditional Use Permit shall allow an outdoor equipment rental and sales lot as shown in Exhibit B.	<b>Ongoing</b>	<b>PS</b>
1. The owner shall provide a landscape and irrigation plan, completed by a design professional, to the Community Development Department for review. <ul style="list-style-type: none"> <li>• Landscaping and irrigation shall be installed as shown on the approved landscape plan prior to requesting a final planning inspection.</li> <li>• All landscaping shall be consistent with State and local ordinances related to water efficiency.</li> <li>• All trees shall be maintained by the property owner in a manner which allows the tree to grow to its natural canopy height and width.                             <ul style="list-style-type: none"> <li>i. Low lying branches shall be removed consistent with fire department standards for clear access.</li> <li>ii. Parking lot shade trees, both those in planter fingers/islands and along the perimeter of parking areas, shall be maintained in a</li> </ul> </li> </ul>	<b>BP / Ongoing</b>	

<p>manner which allows the tree to achieve a minimum of 10% coverage of the parking lot.</p> <p>iii. Irrigation shall be monitored and maintained and deep root watering methods shall be utilized.</p> <ul style="list-style-type: none"> <li>Should a tree require replacement, approval of the replacement tree species and location shall be obtained from the City's Planning Division prior to removal. Any removed tree shall be replaced in accordance with City standards and any approved entitlement conditions.</li> </ul>		
7. The landscape plan shall be consistent with what is shown in Exhibit D.	<b>BP</b>	
8. All elevations must be consistent with Exhibit E. Maximum building heights shall not exceed 28-feet, 6- inches in height measured from finished grade.	<b>BP</b>	
9. Color and materials shall be consistent with Exhibit F. Any color deviations or additional colors must be approved by the Community Development director or their designee prior to the issuance of building permits.	<b>BP / Ongoing</b>	
10. All landscaping, fencing and site improvements shall be maintained in good order. Any dead or non-performing landscape items shall be replaced within 30 days. Any damaged fencing, lighting, or site improvements shall be replaced immediately.	<b>Ongoing</b>	<b>PS</b>
11. No changes to fencing, landscaping, or site improvements may be installed without prior approval by the City.	<b>Ongoing</b>	<b>PS</b>
12. No storage of vehicles in any location other than in the designated on-site parking areas as identified in the site plan approved by Planning Commission may be stored on any portion of the site.	<b>Ongoing</b>	<b>PS</b>
13. Fencing shall be consistent with what is shown in Exhibit F. Constantine razor wire shall be removed from the fence adjacent to the property to the south prior to calling for a final planning inspection. Barbed wire and Constantine wire shall not be installed anywhere on this site at any time.	<b>FI / Ongoing</b>	<b>PS</b>
14. Light poles be no higher than fourteen feet tall with the light source fully screened from adjacent properties.	<b>BP / Ongoing</b>	<b>PS</b>
At the time of building permit submittal of the proposed project, applicant must submit a photometric plan showing locations of proposed on-site lighting. Prior to final occupancy, City staff and the applicant shall meet on-site and review lights at dusk condition to ensure off-site light spillage and glare.		
15. All lighting shall be designed to eliminate any off-site glare. All exterior site lights shall utilize full cut-off, "hooded" lighting fixtures to prevent offsite light spillage and glare. No light shall be permitted to spill off-site. Fixtures shall be shield cut-off type.	<b>BP / Ongoing</b>	
16. Sign sizes and locations shall be consistent with what is shown in Exhibit G. If any deviation is requested, signs shall meet the standards of the municipal code.	<b>BP</b>	
17. All vehicular parking must occur in parking areas designated on the site plan.	<b>Ongoing</b>	<b>PS</b>
18. All equipment parking must occur in parking areas designated on the site plan.	<b>Ongoing</b>	<b>PS / BS</b>
19. Equipment stored onsite shall be limited to small construction equipment. This does not include cranes, bulldozers, dump trucks, and similar sized equipment.	<b>BP/ FI</b>	<b>PS</b>
20. All construction equipment stored onsite shall remain in good condition, assembled and in functional condition.	<b>FI</b>	<b>PS</b>
21. Any outdoor storage of construction materials such as pipe or bulk materials shall be prohibited from being stored onsite. If future storage of construction materials	<b>FI</b>	<b>PS</b>

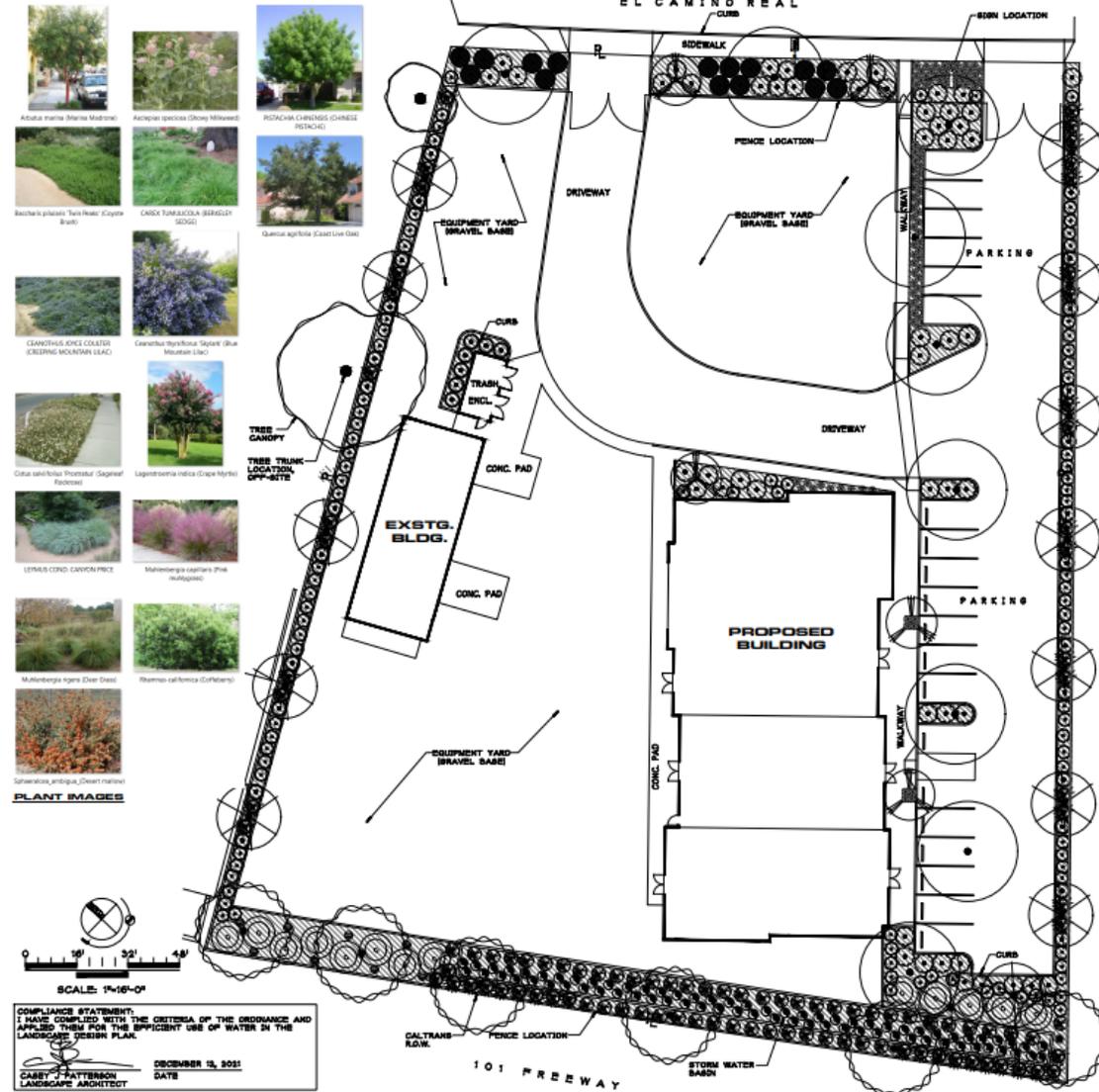
is proposed onsite, the applicant will be required to amend this conditional use permit before the Planning Commission.		
<b>Public Works Conditions</b>		
22. At building permit application, provide Stormwater Control Plan (SWCP) with supplemental Drainage report to show how the project will meet Post Construction requirements and City of Atascadero Flood Management standards found in Section 5 of the City Specifications and Standards. Additional areas may be required for stormwater management.	<b>BP</b>	<b>PW</b>
23. Separate Public Improvement Plans will be required from the building permit, submitted to the Public Works Department. An encroachment permit is required for any work in the right of way. Curb, gutter and sidewalk must meet adjacent properties curbs elevations and meet City Urban Road Design standards requirement for cross slope.	<b>BP/ Ongoing</b>	<b>PW</b>
24. At building permit submittal, note on plans that the existing structure's septic tank and system need to be abandoned per City of Atascadero	<b>BP</b>	<b>PW</b>

**EXHIBIT B: Site Plan  
 USE22-0020**





**EXHIBIT D: Landscape Plan  
 USE22-0020**



SYMBOL	PLANT NAME (SCIENTIFIC/COMMON)	QUANTITY	CONTAINER SIZE	WATER USE (REGION 1) PER WEEK
●	ACELIPHA SPECIOSA (SHINY SILVERDOGS)	8	1 GAL.	LOW
●	CAREX TAMBULLA (REEDLY SEDGE)	84	4" POT	LOW
●	TRIFOLIUM C. CAVENY FENCE (LIME GRASS)	72	4" POT	LOW
●	ERLANGERIA GAYLARDI (PINK BUSHY GRASS)	80	4" POT	LOW
●	ERLANGERIA BORDA (TEAR GRASS)	80	4" POT	LOW
●	SPHARALICIA ANDRADA LOEWS HAZELTOW (SHEEP MALLOW)	64	1 GAL.	LOW
●	CLANOSTHUS THYRSIFLORUS 'MONTANA' (MONTANA LEAG)	37	8 GAL.	LOW
●	TRIFOLIUM CAL. 'TIE CAMP' (CLOVERSCISSOR)	32	8 GAL.	LOW
●	CESTRIS SALICIFOLIA 'PREDATOR' (BURLAPY BROOMRAE)	82	1 GAL.	LOW
●	ERLANGERIA P.J. 'TIE CAMP' (SWAMP COTONE BUSH)	10	1 GAL.	LOW
●	ERLANGERIA CAL. 'TIE CAMP' (CLOVERSCISSOR)	22	8 GAL.	LOW
●	CLANOSTHUS LUNATA (CLOVER)	8	1 GAL.	LOW
●	TRIFOLIUM (LAWNTONIA BORDA)	8	18 GAL.	LOW
●	ERLANGERIA BORDA (TEAR GRASS)	16	18 GAL.	LOW
●	ERLANGERIA BORDA (TEAR GRASS)	6	18 GAL.	VERY LOW
●	PERITACA CHERRY (CHERRY PERITACA)	8	18 GAL.	LOW

**GROUND COVERS**

BRICKED REDWOOD BARK BELLA, 2" DEEP LAYER  
 1/2" EL. PT. - LANDSCAPE AREA

**LANDSCAPE DOCUMENT REQUIREMENTS**

- PROJECT INFORMATION DATE: DECEMBER 12, 2021
- PROJECT APPLICANT: BOBCAT OF ATASCADERO
- PROJECT ADDRESS/LOCATION: 2600 EL CAMINO, ATASCADERO, CA
- PROJECT CONTACT: ARMANDO ACEVEDO, OF ARCHITECTURE
- PROPERTY OWNER & CONTACT: BOBCAT OF ATASCADERO, C/O ARMANDO ACEVEDO, OF ARCHITECTURE
- PROJECT TYPE: NEW PRIVATE LANDSCAPE
- NEIGH ALL PLANTING BEDS ARE TO BE MULCHED TO THREE INCHES DEEP OR AS REQUIRED LOCAL WATER ORDINANCE REQUIREMENT.
- ALL PLANTS USED FOR THE PLANTING AREAS OF THE SITE ARE IN THE LOW WATER-USE PLANT FACTOR CATEGORY (REGION 1) AS DETERMINED BY "WUOLS" LESS THAN 0.3.
- THE PROJECT WILL INCORPORATE COMPOST AT A RATE OF 4 CUBIC/1000 S.F. MIXED TO A DEPTH OF 4" UNLESS SUPERSEDED BY SOIL TESTING.
- SOIL FERTILITY TESTING WILL BE COMPLETED AND INCORPORATED INTO THE LANDSCAPE CONSTRUCTION PLANS.
- P.O.D. FOR IRRIGATION SYSTEM WILL BE OFF A DEDICATED, LANDSCAPE WATER SUB-METER.
- IRRIGATION SYSTEMS WILL COMPLY WITH THE FOLLOWING:
  - AUTOMATIC IRRIGATION CONTROLLER WILL USE EVAPOTRANSPIRATION AND WEATHER SENSOR.
  - IRRIGATION CONTROLLER WILL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATE IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
  - PRESSURE WELL REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
  - MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE P.O.D. OF THE WATER SUPPLY.
  - ALL IRRIGATION EMERGENCY DEVICES WILL MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABR600-2014. LANDSCAPE IRRIGATION SPRINKLER AND BATTERY STANDARD. ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.85 OR HIGHER USING THE PROTOCOL, DEFINED IN ASABR/ICC 600-2014.
- WATER CONSERVATION TECHNIQUES:
  - WELL CORRECTLY LOCATED IRRIGATION VALVE CIRCUITS TO CORRESPOND TO HYDROZONES.
  - NO TYP AREAS ARE USED ON PROJECT.
  - WILL DESIGN IRRIGATION VALVE CIRCUITS TO ACHIEVE MATCHED PRECIPITATION RATES THROUGH HYDROZONES.
  - USED DROUGHT TOLERANT PLANTS IN LANDSCAPE BEDS.
  - USED A DEEP LAYER OF MULCH IN PLANTING BEDS.
  - WILL USE Drip SYSTEM TO CONSERVE WATER.
  - COMPLY WITH MILDRED WATER BUREAU CALCULATION FOR WATER USE.

**LANDSCAPE AREA CALCULATION**

TOTAL LANDSCAPE SQUARE FOOTAGE OF SITE: 7201 S.F.

HYDROZONE #1 LOW WATER USE PLANTING: 1024 S.F.

HYDROZONE #2 LOW WATER USE PLANTING: 1024 S.F.

HYDROZONE #3 LOW WATER USE PLANTING: 1024 S.F.

HYDROZONE #4 LOW WATER USE PLANTING: 1024 S.F.

NOTE: SEE SHEET L-1 FOR WATER BUREAU CALCULATION AND HYDROZONE LOCATIONS & CHART.

**LANDSCAPE PLAN**

LANDSCAPE PLAN

BOBCAT OF ATASCADERO  
 2600 EL CAMINO REAL  
 ATASCADERO, CA

DATE: 12/12/21

SCALE: 1"=16'

1-1

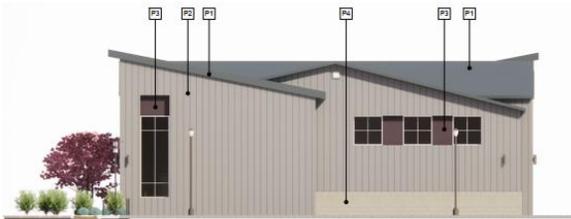
**COMPLIANCE STATEMENT:**  
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

CAREY J. PATTERSON  
 LANDSCAPE ARCHITECT

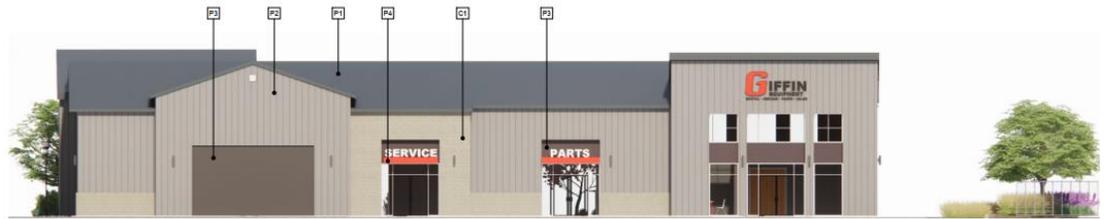
DECEMBER 12, 2021  
 DATE

**EXHIBIT E: Elevations  
USE22-0020**

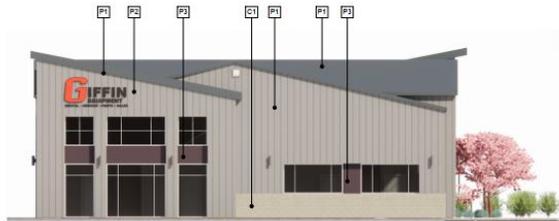
Proposed Building



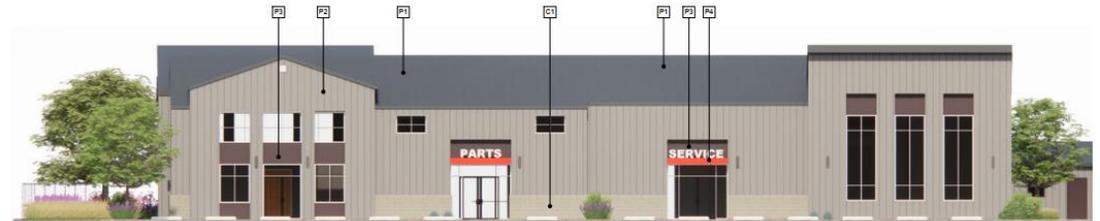
PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

**Existing building with modifications**



**SIDE COLOR ELEVATION FROM 101 FREEWAY**



**FRONT COLOR ELEVATION FROM 101 FREEWAY**



**SIDE COLOR ELEVATION FROM EL CAMINO REAL**



**FRONT COLOR ELEVATION FROM EL CAMINO REAL**

**Proposed Trash Enclosure**



**LEFT SIDE COLOR ELEVATION**



**REAR COLOR ELEVATION**



**RIGHT SIDE COLOR ELEVATION**



**FRONT COLOR ELEVATION**

**EXHIBIT F: Colors and Materials**  
**USE22-0020**

**P1 - ROOF**  
 STANDING SEAM SHEET METAL ROOF  
 PAINT PER SPEC BELOW OR SIMILAR MANF.  
 COLOR SPECIFICATION  
 PAINT MANF: BEHR  
 COLOR: NORWEGIAN BLUE



**P3 - TRIM 1 COLOR**  
 SOLID SHEET METAL WALL PANEL  
 PAINT PER SPEC BELOW OR SIMILAR  
 MANF. COLOR SPECIFICATION  
 PAINT MANF: BEHR  
 COLOR: GOTHIC PURPLE



**C1 - CMU BLOCK WALL**  
 MANF: ANGELUS BLOCK CO.  
 COLOR: MOSS SPLIT FACE



**P2 - MAIN BODY COLOR**  
 STANDING SEAM SHEET METAL WALL PANEL  
 PAINT PER SPEC BELOW OR SIMILAR MANF.  
 COLOR SPECIFICATION  
 PAINT MANF: BEHR  
 COLOR: TIM FOIL



**P4 - METAL AWNING COLOR**  
 PAINT MANF: BEHR  
 COLOR: TART ORANGE



Solar Reflectivity (R) & Solar Reflectance Index (SRI) by Color

Solar reflectivity or reflectance is the ability of a material to reflect solar energy from its surface back into the atmosphere. The SR value is a number from 0 to 1.0. A value of 0 indicates that the material absorbs all solar energy and a value of 1.0 indicates total reflectance. *Energy Star requires an initial SR value of 0.25 or higher for steep slope (>2:12) roofs and 0.15 or greater after three years. Low slope roofs require an initial SR value of 0.65 or higher and 0.50 or greater after three year. (0.35 R)*

The Solar Reflectance Index is used for compliance with LEED requirements and is calculated according to ASTM E 1980 using values for reflectance and emissivity. Emissivity is a material's ability to release absorbed energy. *To meet LEED requirements a roofing material must have a SRI of 29 or higher for steep slope (>2:12) roofing and a SRI value of 78 or higher for low slope roofing. (0.37 SRI)*

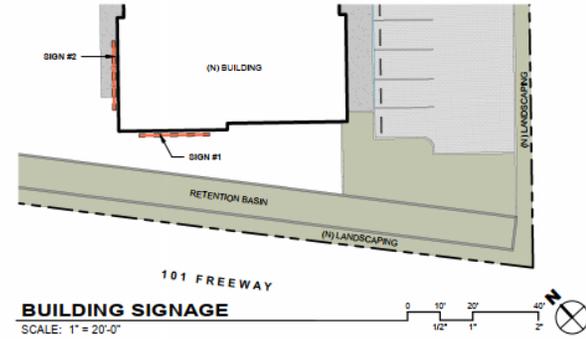
**EXHIBIT G: Signs**  
**USE22-0020**



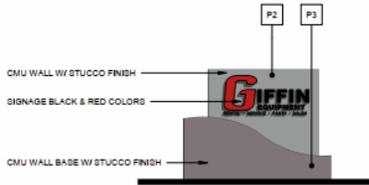
**SIGN #2 @ NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



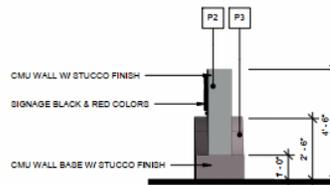
**SIGN #1 @ EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



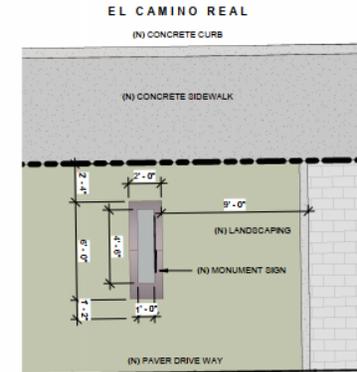
**BUILDING SIGNAGE**  
 SCALE: 1" = 20'-0"



**MONUMENT SIGN FRONT ELEV.**  
 SCALE: 3/8" = 1'-0"



**MONUMENT SIGN SIDE**  
 SCALE: 3/8" = 1'-0"



**MONUMENT SIGN**  
 SCALE: 1/4" = 1'-0"

**EXHIBIT H: Fencing Plan  
USE22-0020**



EXISTING 6' HIGH CHAIN LINK FENCE WITH EXISTING GREEN SLATS TO REMAIN. EXISTING RAZOR WIRE ABOVE FENCE IS NOT ALLOWED PER MUNICIPAL CODE STANDARDS. THE RAZOR WIRE NEEDS TO BE REMOVED PRIOR TO FINAL OCCUPANCY.

**4 EXISTING CHAIN LINK FENCE**  
A12 107' x 142'

EXISTING BUILDING CMU WALL @ PROPERTY LINE TO REMAIN.  
EXISTING 6' HIGH CMU WALL @ PROPERTY LINE TO REMAIN.

**3 EXISTING CMU WALL @ BUILDING**  
A12 107' x 142'

EXISTING 6' HIGH CHAIN LINK FENCE TO REMAIN. NO BRIBBLE OR ANY KIND ALLOWED TO BE MOUNTED ON FENCE ALONG THE FREEWAY.

**2 EXISTING CHAIN LINK FENCE**  
A12 107' x 142'

WROUGHT IRON FENCE  
6'-0"  
HEIGHT EXCEPTION REQUESTED FOR SITE SECURITY

6'  
GATE

**1 W.I. SECURITY FENCE & GATE**  
A12 287' x 112'

**El Camino Real**



**Highway 101**



**Attachment 3: AMC 9-6.139  
USE 22-0020**

**9-6.139 Sales lots and swap meets.**

Outdoor sales lots and swap meets are subject to the provisions of this section. Wrecking yards are subject to Section 9-6.131 (Recycling and scrap).

(a) Sales Lots. May be conducted as a principal use (as in the case of a recreational vehicle lot), or as an accessory use (such as a sales yard in conjunction with a building materials store), subject to the following:

(1) Site Design Standards.

(i) Displays. To be limited to street frontages only. All other property lines are to be screened as set forth in subsection (a)(1)(iii) of this section.

(ii) Landscaping. A ten (10) foot wide landscaping strip is to be provided adjacent to all street property lines, consisting of ground covering vegetation, which may be maintained at a height less than three (3) feet, and trees. This is in addition to any landscaping required by Section 9-4.124 (Landscaping).

(iii) Screening. All interior property lines are to be screened with a six (6) foot high solid wall or fence that provides similar screening effect.

(iv) Office Facilities. When no buildings exist or are proposed on a sales yard site, one (1) commercial coach may be utilized for an office, provided that such vehicle is equipped with skirting and landscaping, and installed pursuant to the permit requirements of Title 8 of this Code (the building and construction ordinance).

(v) Site Surfacing. A sales lot is to be surfaced with concrete or A.C. paving in the CS zone. In the CPK, IP and I zones crushed rock, or other materials maintained in a dust-free condition may be allowed. All vehicle drive areas and customer parking areas are to be paved with concrete, asphalt or crushed rock.

(vi) Minimum Lot Size. The minimum lot size for sales lots for any type of vehicle shall be one (1) acre. Smaller lots may be allowed by the Planning Commission for other outdoor sales lot uses.

(vii) Street Frontage Fencing. Fencing along street frontages shall be limited to decorative wrought iron or wood rail fencing not to exceed three (3) feet in height and located three (3) feet behind the sidewalk in the landscape planter. Chain link fencing not permitted.

(b) Swap Meets. May be conducted only as a temporary use on the site of another use established pursuant to this title provided that such site is also in conformity with the standards of this section. Swap meets are distinguished from temporary or seasonal sales since they occur on a regular and periodic basis, generally at least one time a month or more frequently.

(1) Location. On an arterial, or on a collector which extends between two (2) other collectors or arterials, provided that a swap meet is not to be located on a site that abuts a residential zone.

(2) Limitation on Use. The sale of vehicles is not permitted. Any sales of food items are subject to Health Department approval.

(3) Site Design Standards.

(i) Parking Requirement. As determined by the Planning Commission.

(ii) Restrooms. Public restrooms are to be provided at a swap meet as required by the Health Department.

(iii) Site Surfacing. Portions of a swap meet site used for sales activities, or pedestrian circulation are to be surfaced with concrete, asphalt, or planted with maintained lawn. Vehicle access and parking areas are to be surfaced in accordance with Section 9-4.114. All site areas not otherwise used for buildings or vehicle circulation are to be landscaped.

(4) Operation. Swap meets are to be held during the daylight hours, on no more than two (2) days out of every seven (7) days. This standard may be modified by the Planning Commission through conditional use permit approval where it is found that the proposed site will be provided with adequate permanent parking and restroom facilities and that the surrounding area can sustain traffic volumes generated by a swap meet without adverse effects in the area. (Ord. 364 § 2, Exh. C, 1999; Ord. 68 § 9-6.139, 1983)



**GIFFIN EQUIPMENT OF ATASCADERO**

2600 EL CAMINO REAL, ATASCADERO, CA 93422

PLANNING SUBMITTAL DELTA 2



**COVER SHEET | A1**

DATE: 10/10/2022  
JN: 2117



**COLOR SITE PLAN**  
SCALE: 1" = 20'-0"



**PERSPECTIVE VIEW FROM EL CAMINO REAL**



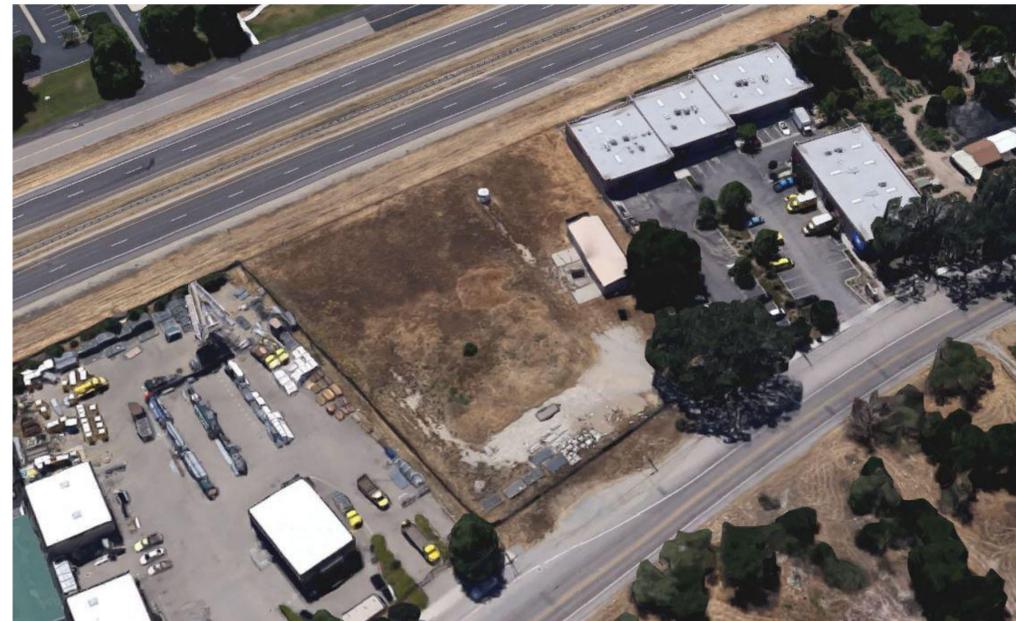
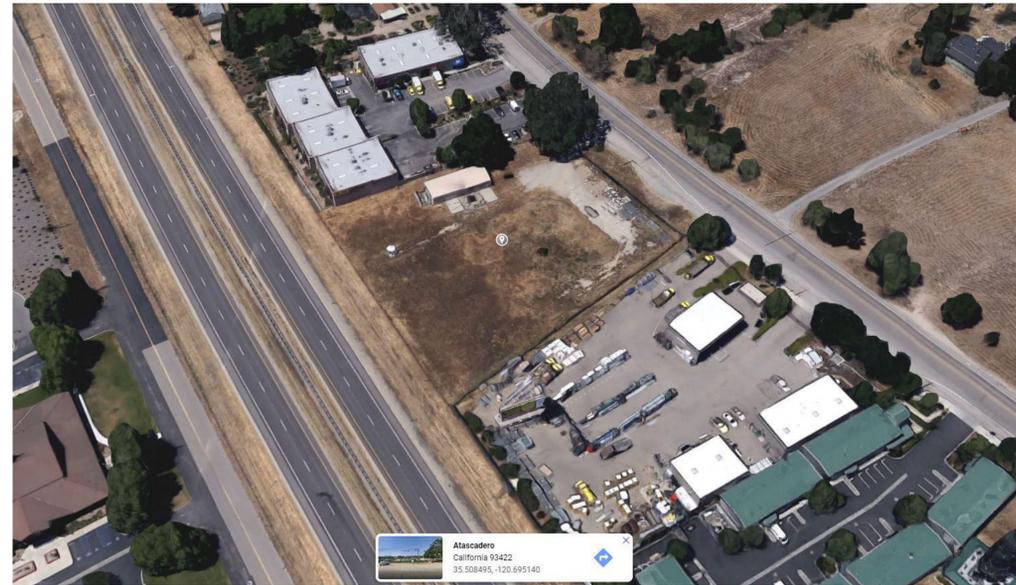
**PERSPECTIVE VIEW FROM 101 FREEWAY**

**GIFFIN EQUIPMENT OF ATASCADERO**

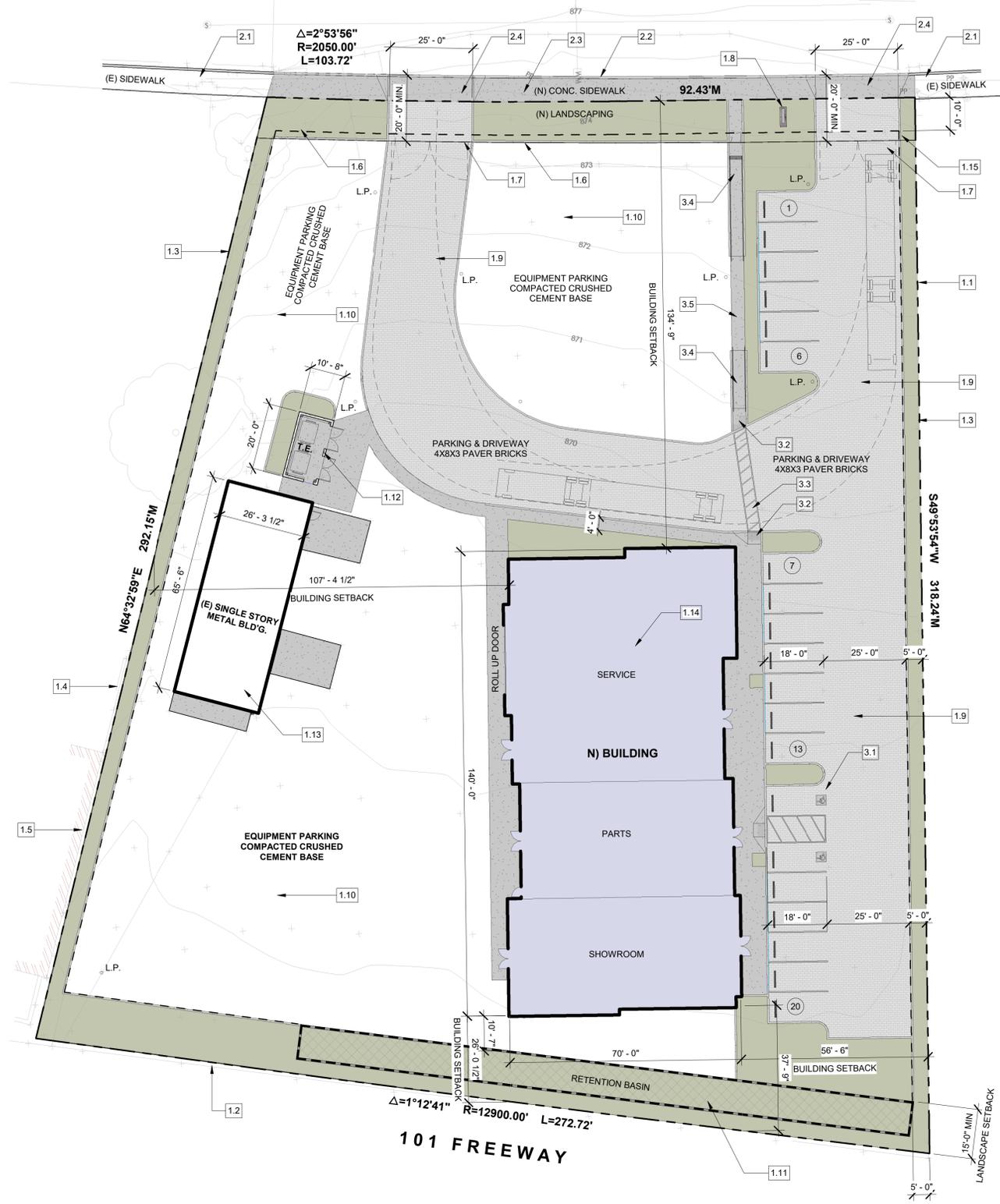
2600 EL CAMINO REAL, ATASCADERO, CA 93422

PLANNING SUBMITTAL DELTA 2

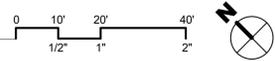




**EL CAMINO REAL**



**PROPOSED SITE PLAN**  
SCALE: 1" = 20'-0"



**KEYNOTES**

- | #    | KEYNOTE SYMBOL  |
|------|---|
| 1.   | <b>GENERAL</b>  |
| 1.1  | (E) PROPERTY LINE   |
| 1.2  | (E) CHAIN LINK FENCE AT FREEWAY TO REMAIN.                |
| 1.3  | (E) CHAIN LINK FENCE AT ADJACENT PROPERTY TO REMAIN, TYP. |
| 1.4  | (E) CMU WALL TO REMAIN.                                   |
| 1.5  | (E) ADJACENT BUILDING WALL.                               |
| 1.6  | (N) 6'-0" HIGH WROUGHT IRON FENCE                         |
| 1.7  | (N) 6'-0" HIGH ACCESS GATE.                               |
| 1.8  | (N) MONUMENT SIGN   |
| 1.9  | (N) PARKING & DRIVEWAY (4X8X3 PAVER BRICKS)               |
| 1.10 | (N) COMPACTED CRUSHED BASE TYP.                           |
| 1.11 | (N) RETENSION BASIN PER CIVIL GRADING PLANS               |
| 1.12 | (N) TRASH ENCLOSURE                                       |
| 1.13 | (E) METAL BUILDING TO BE RENOVATED                        |
| 1.14 | (N) METAL BUILDING  |
| 1.15 | KNOX BOX ACCESS KEY REQUIRED FOR GATE AND BUILDING        |
| 2.   | <b>STREET IMPROVEMENTS</b>                                |
| 2.1  | (E) SIDE WALK TO REMAIN.                                  |
| 2.2  | (N) CURB & GUTTER PER CITY STANDARDS.                     |
| 2.3  | (N) SIDE WALK PER CITY STANDARD.                          |
| 2.4  | (N) 25'-0" WIDE DRIVEWAY                                  |
| 3.   | <b>SITE ACCESSIBILITY</b>                                 |
| 3.1  | (N) ACCESSIBLE PARKING STALLS                             |
| 3.2  | (N) BLENDED TRANSITION                                    |
| 3.3  | (N) STRIPPING AT VEHICULAR PATH WAY                       |
| 3.4  | (N) ACCESSIBLE RAMP W/ HANDRAILS                          |
| 3.5  | (N) ACCESSIBLE WALKWAY FROM PUBLIC WAY                    |

**SCOPE OF WORK**

NEW EQUIPMENT RENTAL & DEALERSHIP CONSISTING OF A NEW SINGLE STORY BUILDING WITH A MEZZANINE, NEW PARKING AND LANDSCAPE AREA.

- NEW METAL BUILDING (9,368 SF. 140' x 70')
- NEW TRASH ENCLOSURE
- EXISTING SINGLE STORY METAL BUILDING TO BE RENOVATED (1,723 SF.)

BUILDING DEPT. NOTE - TENANT IMPROVEMENT FOR EXISTING BUILDING UNDER SEPARATE PERMIT  
FIRE DEPT. NOTE - FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT

**ZONING**

**PROPERTY CHARACTERISTICS**  
ASSESSORS PARCEL No.: 049-201-014  
ADDRESS: 2600 CAMINO REAL  
CITY : STATE  
COUNTY : ATASCADERO, CALIFORNIA 93422  
COUNTY OF SAN LUIS OBISPO

PARCEL AREA: 1.65 AC.

ZONING: CPK (COMMERCIAL PARK)  
USE: AUTO AND VEHICLE DEALERSHIP  
AUTO REPAIR AND SERVICE AREA

NEW BUILDING AREA	9,368 SF.
MEZZANINE	747 SF.
EXISTING METAL BUILDING	1,723 SF.
EXISTING METAL BUILDING USE	S-1 (STORAGE)
MAX HEIGHT	45'
FRONT SETBACK	NONE REQ'D (134'-9" PROPOSED)
SIDE SETBACK	NONE REQ'D (56'-6" PROPOSED)
REAR SETBACK	NONE REQ'D (26'-0" PROPOSED)
FREEWAY LANDSCAPE SETBACK	15'-0" REQ'D (15'-0" PROPOSED)
FRONT LANDSCAPE APRON	10'-0" REQ'D (10'-0" PROPOSED)

**CODE ANALYSIS**

PROJECT WILL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED CITY OF ATASCADERO AMENDMENTS

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEEES)

<b>BUILDING CODE:</b>	III-B
TYP OF CONSTRUCTION	YES
FULLY SPRINKLED	ONE STORY WITH A MEZZANINE
BUILDING HEIGHT	
<b>OCCUPANCY GROUP</b>	B (MOTOR VEHICLE SHOWROOM) S-1 (MOTOR VEHICLE REPAIR GARAGE & PARTS) B (OFFICE)
<b>USE</b>	AUTO AND VEHICLE DEALERSHIP AUTO REPAIR AND SERVICE AREA
<b>NEW BUILDING AREA</b>	1,181 SF. OFFICE 1,194 SF. SHOWROOM 2,310 SF. PARTS 4,683 SF. SERVICE <b>9,368 SF. TOTAL BUILDING AREA</b>
<b>MEZZANINE</b>	747 SF. (770 MAX MEZZANINE) (2,310 SF. ROOM BELOW SERVING MEZZANINE 1/3 = 770 SF. MAX)

**PARKING ANALYSIS**

USE	SQ. / #	RATIO	PARKING REQ'D.	PARKING PROVIDED
SHOWROOM	1,194 SF.	1/400	3	
SERVICE BAYS	4 BAYS	2/BAY	8	
OUTDOOR USE AREA	25,096 SF.	1/3,000	8.3	
<b>TOTAL</b>			<b>19.3(20)</b>	<b>20</b>

**PARKING REQUIREMENTS FOR RETAIL TRADE USES PER TABLE 4.14**  
1 PER 400 SF. OF SHOWROOM  
2 PER SERVICE BAY  
1 PER 3,000 SF. OF OUTDOOR USE AREA

**SHEET INDEX P**

NO.	SHEET NAME	ISSUE DATE	REVISION DATE	REVISION DESCRIPTION
<b>1 - GENERAL SITE INFO</b>				
A1	COVER SHEET	02/04/22		
A2	COLOR SITE PLAN	02/04/22		
A3	SITE PHOTOS	02/04/22		
A4	SITE PLAN / PROJECT DATA	02/04/22		
C1.0	TOPOGRAPHIC MAP	02/25/22		
C1.1	GRADING PLAN	02/04/22		
L-1	LANDSCAPE PLAN	02/04/22		
L-2	IRRIGATION PLAN	02/04/22		
<b>2 - ARCHITECTURAL</b>				
A5	FLOOR PLANS	02/04/22		
A6	BUILDING ELEVATIONS	02/04/22		
A7	COLOR ELEVATIONS	02/04/22		
A8	RENDERINGS	02/04/22		
A9	EXISTING BUILDING MODIFICATIONS	02/23/22		
A10	TRASH ENCLOSURE	02/04/22		
A11	SIGNAGE SPECIFICATIONS	02/04/22		
A12	FENCE SPECIFICATIONS	05/16/22	5.16.22	PC REVISIONS
A13	RETENSION BASIN SPECIFICATIONS	07/13/22		

**PROJECT TEAM**

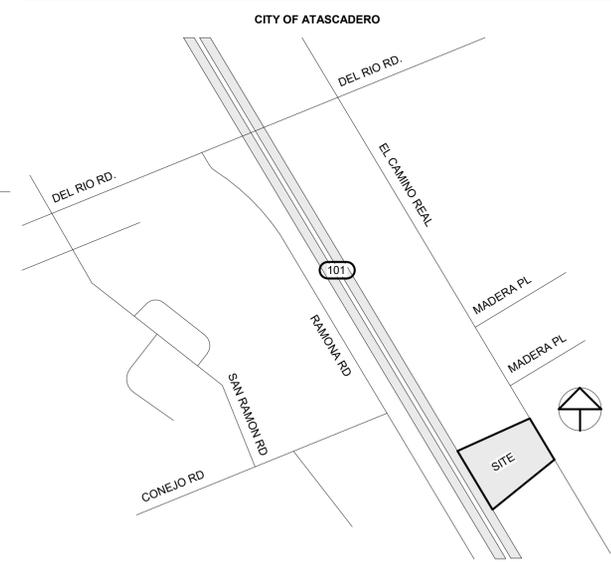
**OWNER:**  
TRAVIS TWINING  
ALASTAIR WINN  
2600 EL CAMINO REAL  
ATASCADERO, CA 93422  
T 805 . 252 . 8888

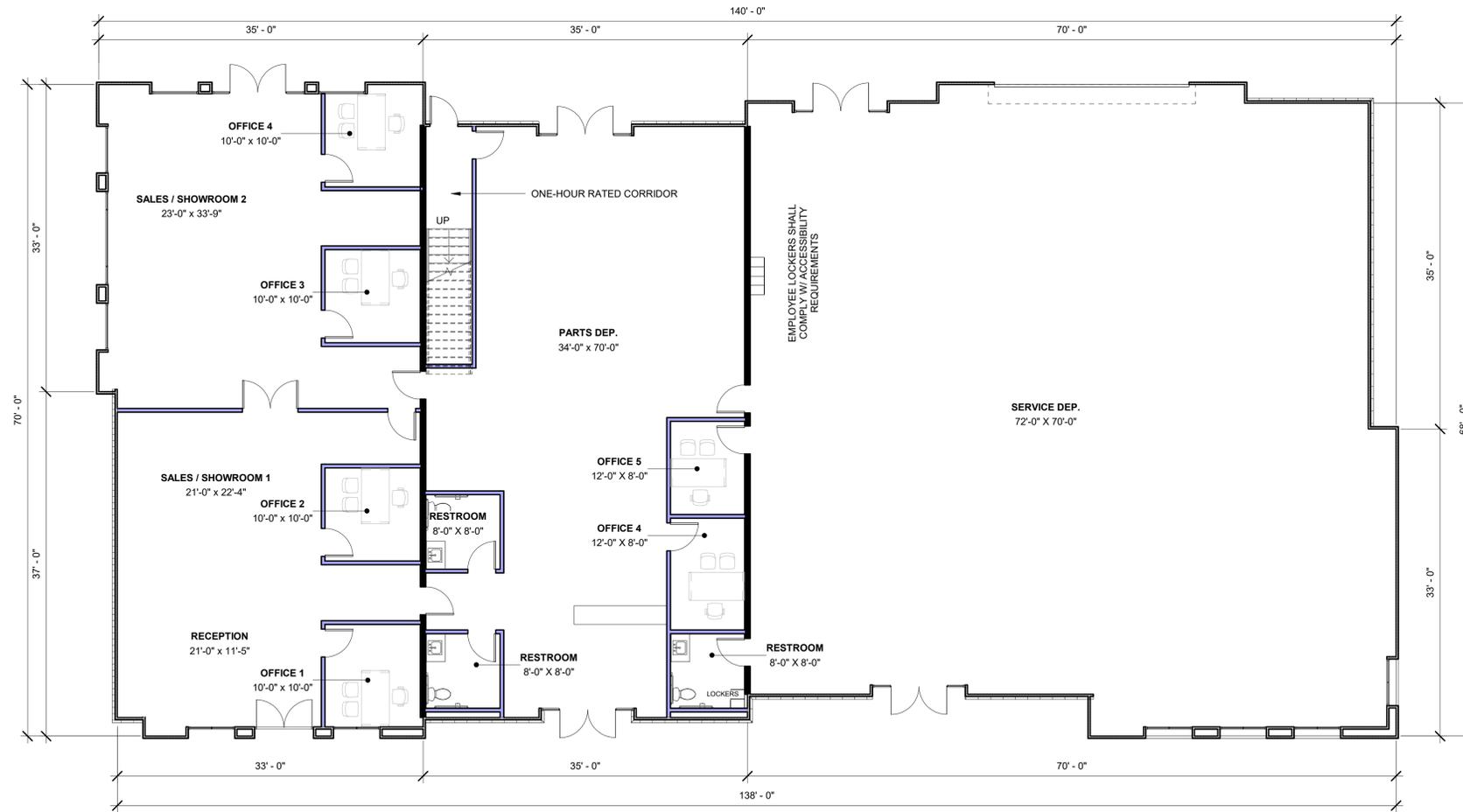
**CIVIL ENGINEER :**  
ABOVE GRADE ENGINEERING  
245 HIGUERA ST.  
SAN LUIS OBISPO, CA 93401  
T 805 . 540 . 5115

**ARCHITECT:**  
GP ARCHITECTURE INC.  
5301 N. COMMERCE AVE., SUITE D  
MOORPARK, CA 93021  
T 805 . 552 . 9474

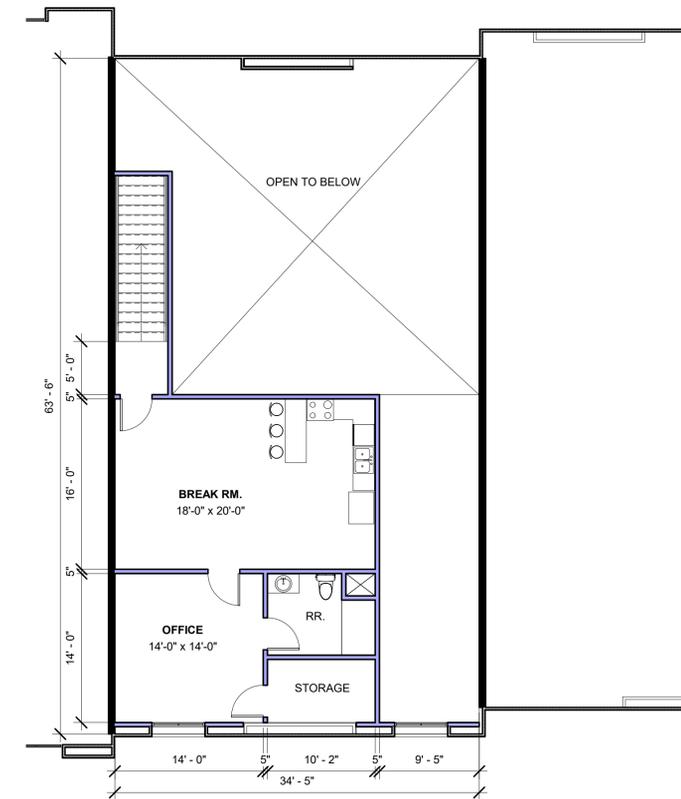
**LANDSCAPE ARCHITECT:**  
CASEY J. PATTERSON LANDSCAPE ARCHITECT  
T 805 . 466 . 7629

**VICINITY MAP**



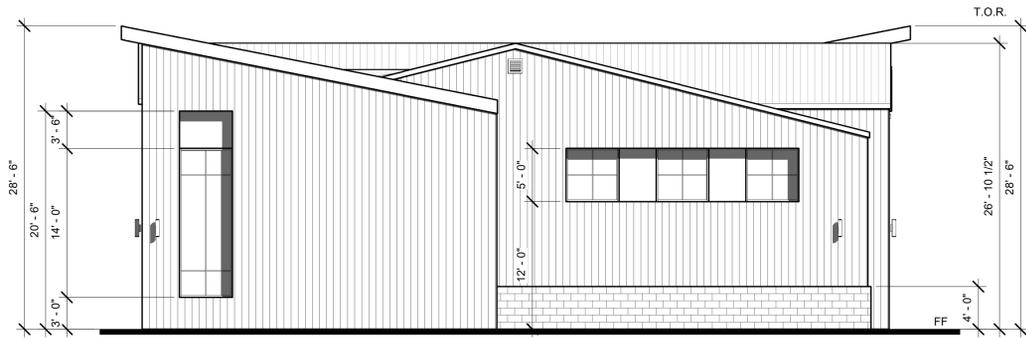


**PROPOSED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**PROPOSED MEZZANINE PLAN**  
SCALE: 1/8" = 1'-0"





**PROPOSED RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



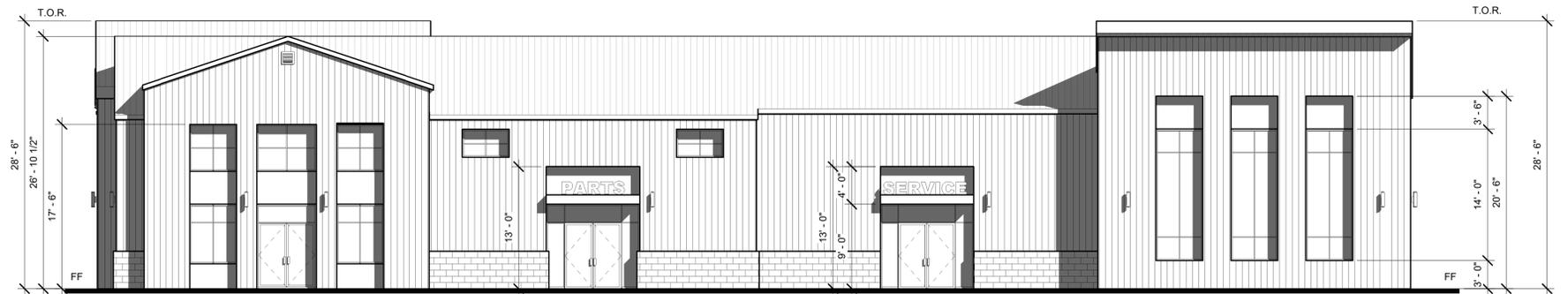
**PROPOSED REAR ELEVATION**

SCALE: 1/8" = 1'-0"



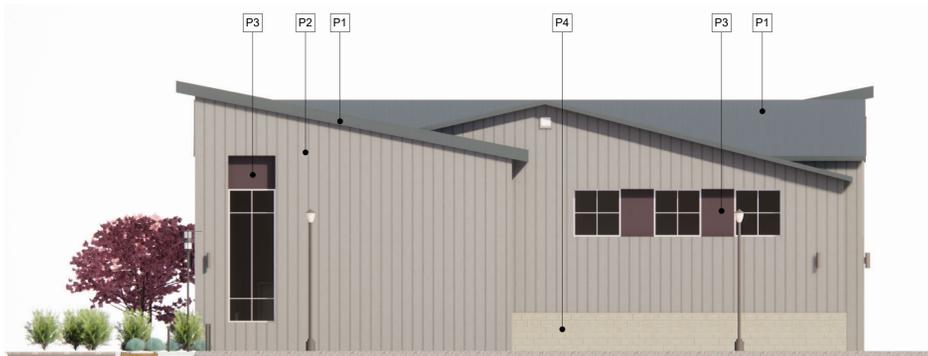
**PROPOSED LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**PROPOSED FRONT ELEVATION**

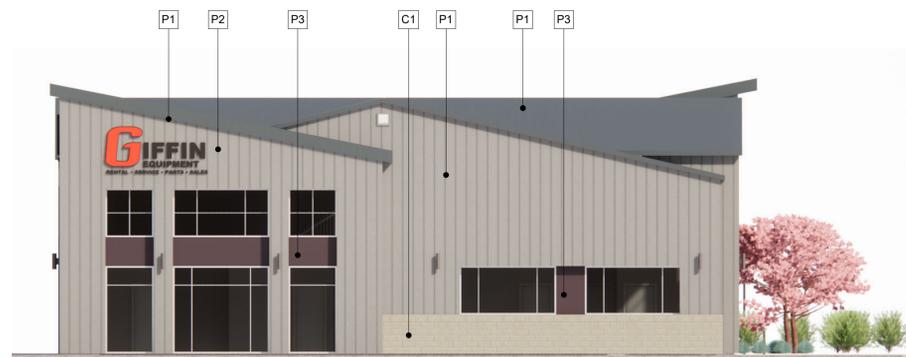
SCALE: 1/8" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION



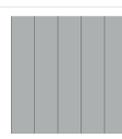
PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

<p><b>P1 - ROOF</b> STANDING SEAM SHEET METAL ROOF PAINT PER SPEC BELOW OR SIMILAR MANF. COLOR SPECIFICATION</p> <p>PAINT MANF: BEHR COLOR: NORWEGIAN BLUE</p> 	<p><b>P3 - TRIM 1 COLOR</b> SOLID SHEET METAL WALL PANEL PAINT PER SPEC BELOW OR SIMILAR MANF. COLOR SPECIFICATION</p> <p>PAINT MANF: BEHR COLOR: GOTHIC PURPLE</p> 	<p><b>C1 - CMU BLOCK WALL</b> MANF: ANGELUS BLOCK CO. COLOR: MOSS SPLIT FACE</p> 
<p><b>P2 - MAIN BODY COLOR</b> STANDING SEAM SHEET METAL WALL PANEL PAINT PER SPEC BELOW OR SIMILAR MANF. COLOR SPECIFICATION</p> <p>PAINT MANF: BEHR COLOR: TIM FOIL</p> 	<p><b>P4 - METAL AWNING COLOR</b> PAINT MANF: BEHR COLOR: TART ORANGE</p> 	

Solar Reflectivity (R) & Solar Reflectance Index (SRI) by Color

Solar reflectivity or reflectance is the ability of a material to reflect solar energy from its surface back into the atmosphere. The SR value is a number from 0 to 1.0. A value of 0 indicates that the material absorbs all solar energy and a value of 1.0 indicates total reflectance. *Energy Star* requires an initial SR value of 0.25 or higher for steep slope (>2:12) roofs and 0.15 or greater after three years. Low slope roofs require an initial SR value of 0.65 or higher and 0.50 or greater after three year. (0.35 R)

The Solar Reflectance Index is used for compliance with LEED requirements and is calculated according to ASTM E 1990 using values for reflectance and emissivity. Emissivity is a material's ability to release absorbed energy. *To meet LEED requirements a roofing material must have a SRI of 23 or higher for steep slope (>2:12) roofing and a SRI value of 78 or higher for low slope roofing. (0.37 SRI)*



**GIFFIN EQUIPMENT OF ATASCADERO**

2600 EL CAMINO REAL, ATASCADERO, CA 93422

PLANNING SUBMITTAL DELTA 2



RENDERINGS | **A8**

DATE: 10/10/2022  
JN: 2117



**EXISTING BUILDING FROM 101 FREEWAY**



**EXISTING BUILDING FROM 101 FREEWAY**



**SIDE COLOR ELEVATION FROM 101 FREEWAY**



**FRONT COLOR ELEVATION FROM 101 FREEWAY**



**SIDE COLOR ELEVATION FROM EL CAMINO REAL**



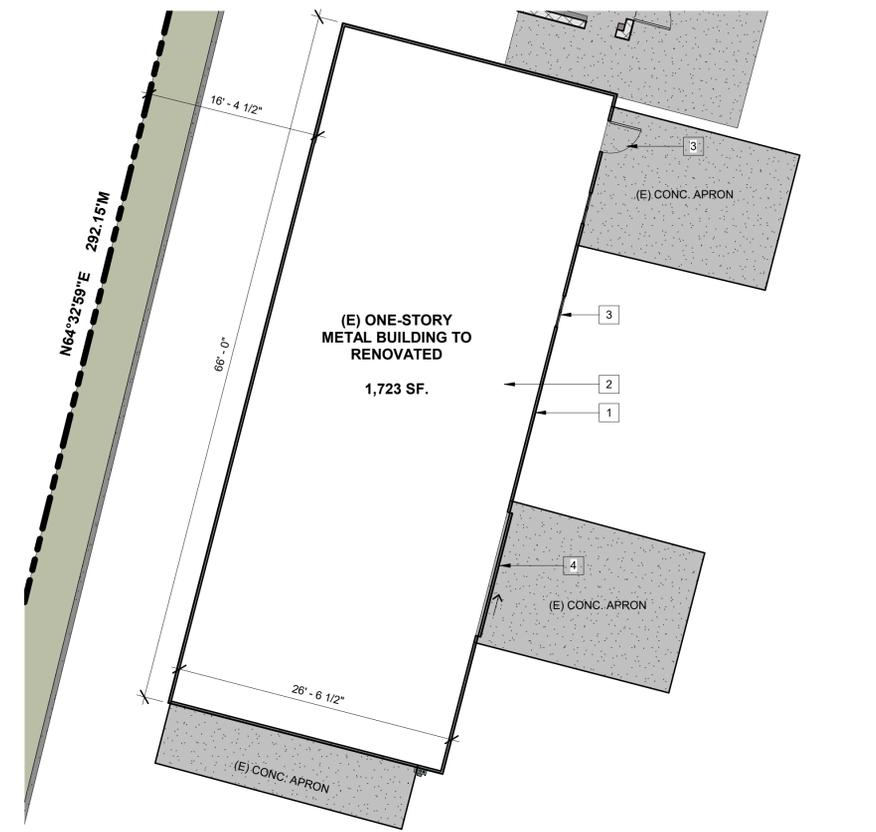
**FRONT COLOR ELEVATION FROM EL CAMINO REAL**

**KEYNOTES**

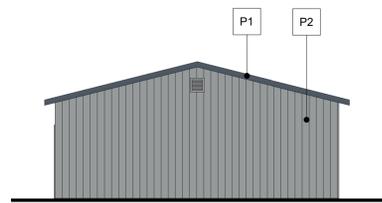
- # KEYNOTE SYMBOL
- 1 REMOVE ALL OF THE EXISTING METAL SIDING PANELS AND REPLACE WITH NEW PANELS TO MATCH NEW BUILDING.
- 2 REMOVE THE EXISTING METAL ROOF AND REPLACE WITH NEW ROOF PANELS TO MATCH NEW BUILDING.
- 3 REMOVE EXISTING DOOR & WINDOWS AND REPLACE WITH NEW DOOR & WINDOWS. PAINT TO MATCH NEW BUILDING COLOR SCHEME.
- 4 REPLACE EXISTING SLIDING DOOR WITH NEW DOOR TO MATCH NEW BUILDING COLOR SCHEME.

**MATERIAL LEGEND**

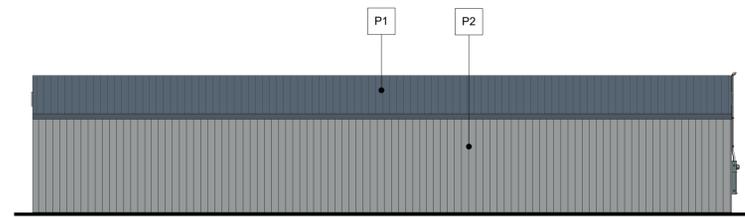
<p><b>P1 - ROOF</b>                  TYPE: STANDING SEAM METAL ROOF                  PAINT MANF: BEHR                  COLOR: NORWEGIAN BLUE</p>	
<p><b>P2 - MAIN BODY COLOR</b>                  PAINT MANF: BEHR                  COLOR: TIN FOIL</p>	
<p><b>P3 - TRIM 1 COLOR</b>                  PAINT MANF: BEHR                  COLOR: GOTHIC PURPLE</p>	



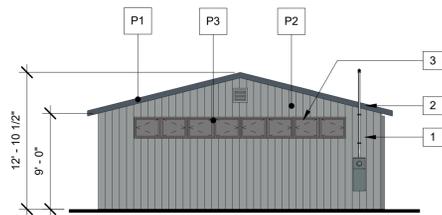
**EXISTING METAL BUILDING**  
 SCALE: 1/8" = 1'-0"



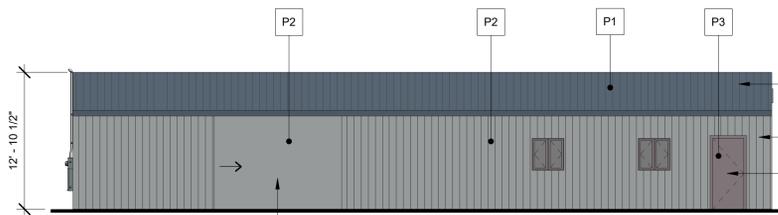
**EXISTING BUILDING RIGHT SIDE ELEV.**  
 SCALE: 1/8" = 1'-0"



**EXISTING BUILDING REAR ELEV.**  
 SCALE: 1/8" = 1'-0"



**EXISTING BUILDING LEFT SIDE ELEV.**  
 SCALE: 1/8" = 1'-0"



**EXISTING BUILDING FRONT ELEV.**  
 SCALE: 1/8" = 1'-0"



**LEFT SIDE COLOR ELEVATION**



**REAR COLOR ELEVATION**



**RIGHT SIDE COLOR ELEVATION**



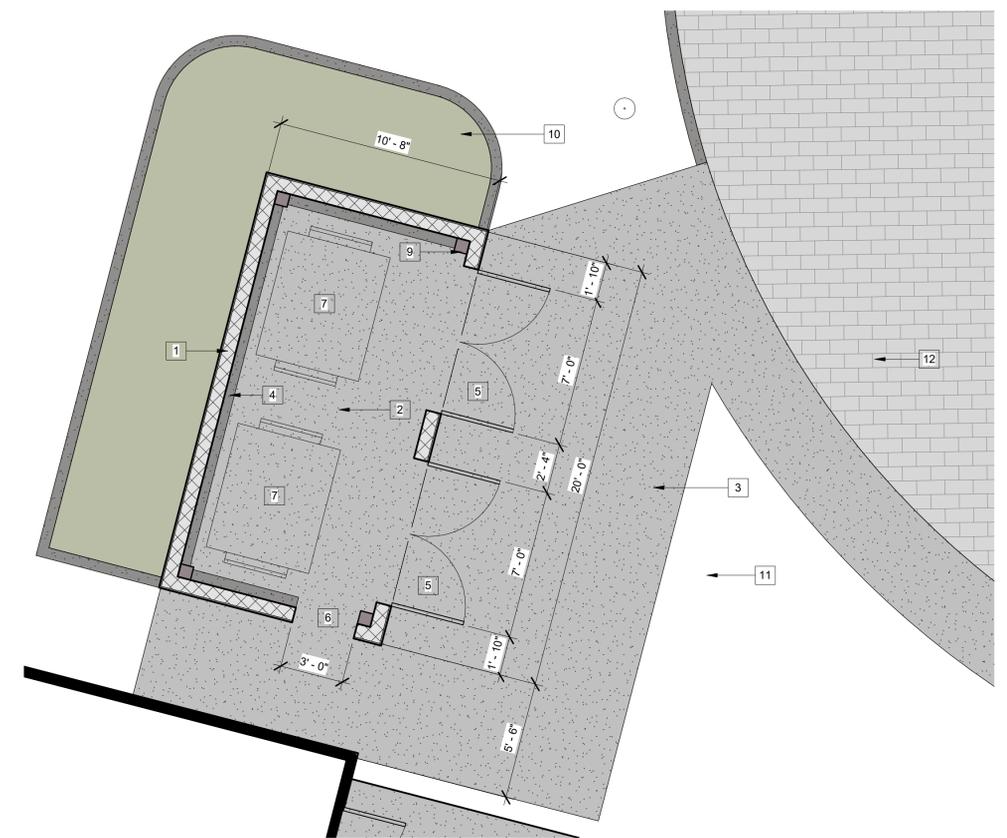
**FRONT COLOR ELEVATION**

**KEYNOTES**

- # KEYNOTE SYMBOL
- 1 6" HIGH MIN. CMU WALL W/ STUCCO FINISH
- 2 CONCRETE SLAB WITH LEVEL SURFACE WHERE ROLLOUT BINS ARE USED
- 3 CONCRETE APRON IN FRONT OF TRASH ENCLOSURE
- 4 6" CURB TO PREVENT DAMAGE TO THE INTERIOR OF THE ENCLOSURE
- 5 TRASH ENCLOSURE METAL GATES
- 6 36" MIN ACCESSIBLE OPENING
- 7 TRASH BIND PER CITY OF ATASCADERO STANDARDS
- 8 METAL ROOF
- 9 METAL COLUMNS
- 10 LANDSCAPING
- 11 GRAVEL BASE
- 12 PAVER ROAD

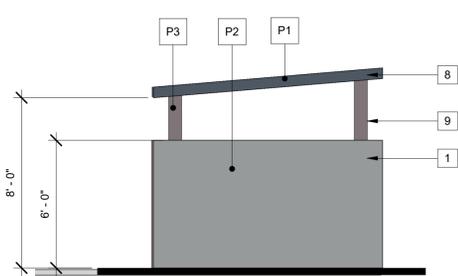
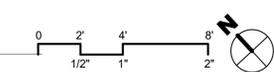
**MATERIAL LEGEND**

<b>P1 - ROOF</b> TYPE: STANDING SEAM METAL ROOF PAINT MANF: BEHR COLOR: NORWEGIAN BLUE	
<b>P2 - MAIN BODY COLOR</b> PAINT MANF: BEHR COLOR: TIN FOIL	
<b>P3 - TRIM 1 COLOR</b> PAINT MANF: BEHR COLOR: GOTHIC PURPLE	



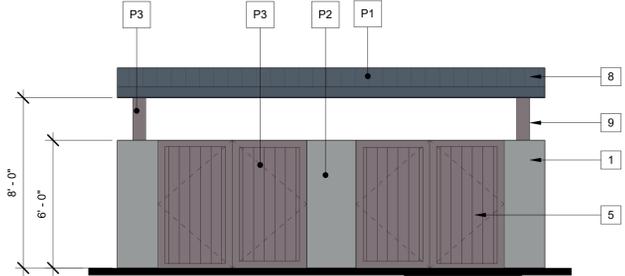
**TRASH ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"



**TRASH E. RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



**TRASH E. FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**MATERIAL LEGEND**

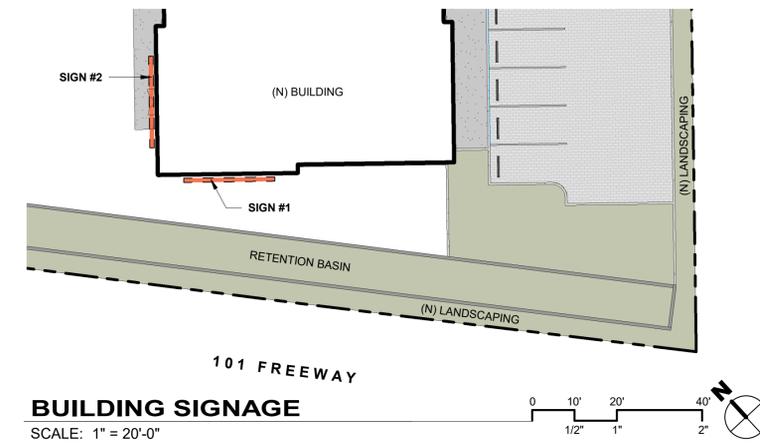
<p><b>P1 - ROOF</b>                  TYPE: STANDING SEAM METAL ROOF                  PAINT MANF: BEHR                  COLOR: NORWEGIAN BLUE</p>	
<p><b>P2 - MAIN BODY COLOR</b>                  PAINT MANF: BEHR                  COLOR: TIN FOIL</p>	
<p><b>P3 - TRIM 1 COLOR</b>                  PAINT MANF: BEHR                  COLOR: GOTHIC PURPLE</p>	



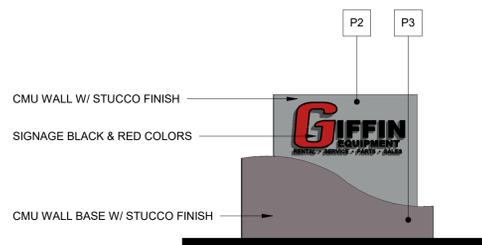
**SIGN #2 @ NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



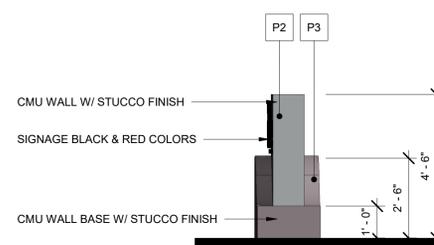
**SIGN #1 @ EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



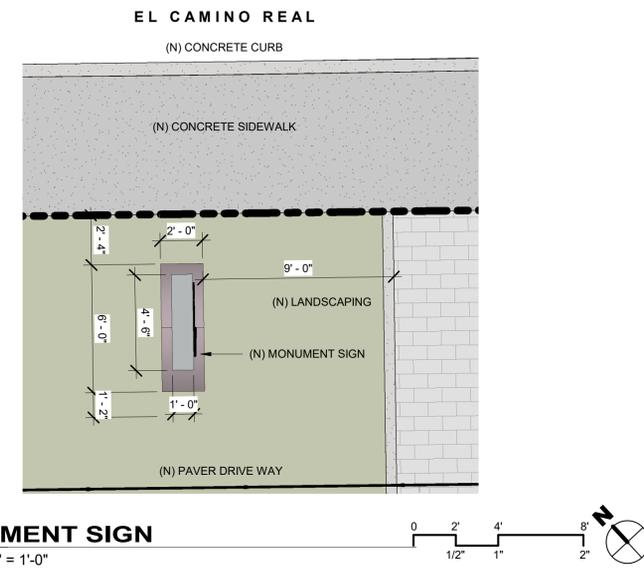
**BUILDING SIGNAGE**  
 SCALE: 1" = 20'-0"



**MONUMENT SIGN FRONT ELEV.**  
 SCALE: 3/8" = 1'-0"

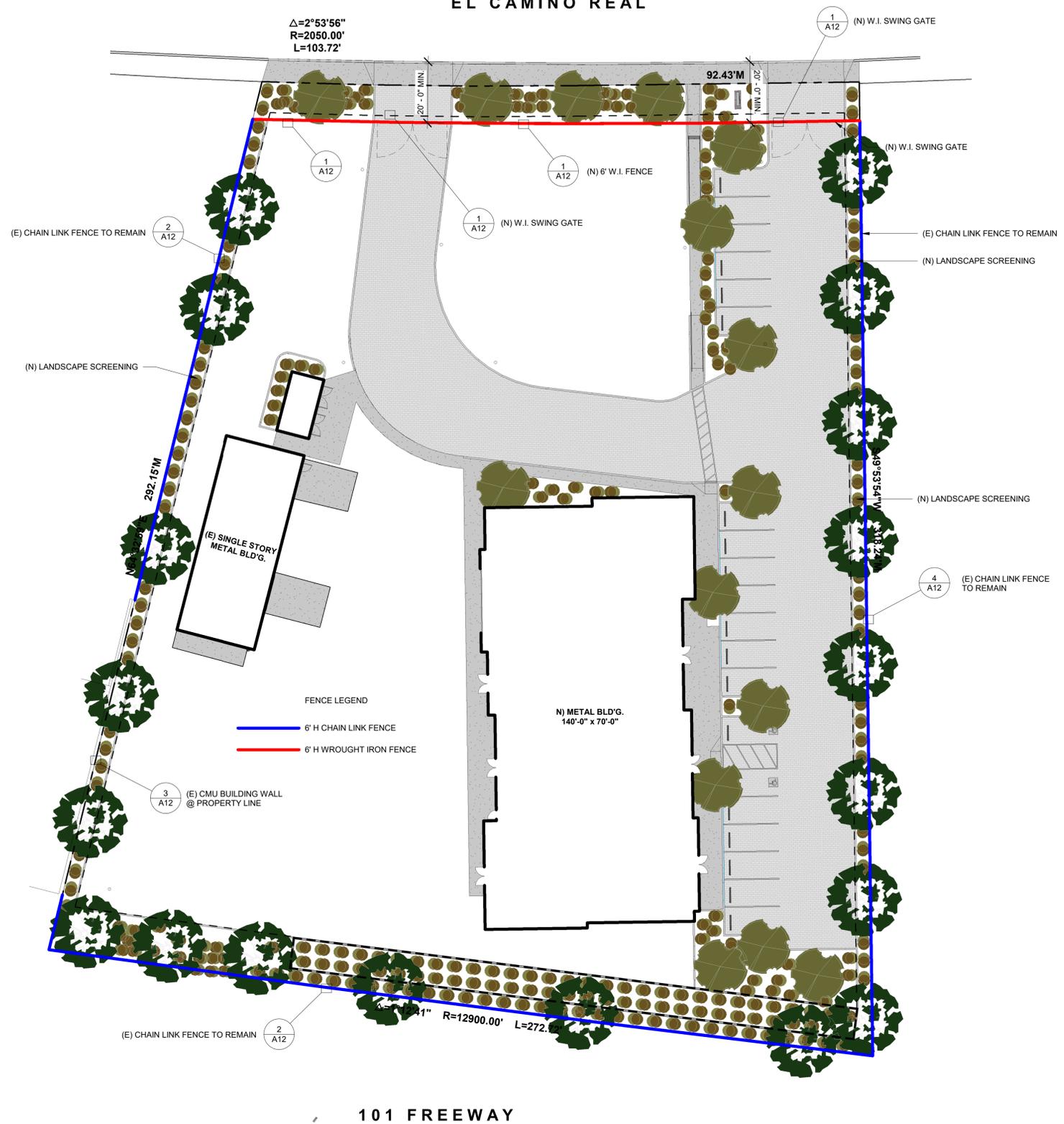


**MONUMENT SIGN SIDE**  
 SCALE: 3/8" = 1'-0"

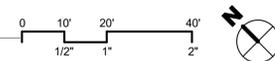


**MONUMENT SIGN**  
 SCALE: 1/4" = 1'-0"

EL CAMINO REAL



**PROPOSED FENCING PLAN**  
SCALE: 1" = 20'-0"



EXISTING 6' HIGH CHAIN LINK FENCE WITH EXISTING GREEN SLATS TO REMAIN.

**EXISTING RAZOR WIRE ABOVE FENCE IS NOT ALLOWED PER MUNICIPAL CODE STANDARDS. THE RAZOR WIRE NEEDS TO BE REMOVED PRIOR TO FINAL OCCUPANCY.**

**4 EXISTING CHAIN LINK FENCE**  
A12 1/2" = 1'-0"

EXISTING BUILDING CMU WALL @ PROPERTY LINE TO REMAIN.

EXISTING 6' HIGH CMU WALL @ PROPERTY LINE TO REMAIN.

**3 EXISTING CMU WALL @ BUILDING**  
A12 1/2" = 1'-0"

EXISTING 6' HIGH CHAIN LINK FENCE TO REMAIN

**NO SIGNAGE OF ANY KIND ALLOWED TO BE MOUNTED ON FENCE ALONG THE FREEWAY**

**2 EXISTING CHAIN LINK FENCE**  
A12 1/2" = 1'-0"

WROUGHT IRON FENCE

6'-0"

HEIGHT EXCEPTION REQUESTED FOR SITE SECURITY

6'

GATE

**1 W.I. SECURITY FENCE & GATE**  
A12 3/8" = 1'-0"

