### ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review

The Pre-Designed ADU Program offers six floorplans and four exterior design styles Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

### HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on

- Sheet G0.0. 2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

### **ADDITIONAL NOTES - ATASCADERO**

PLANNING DEPARTMENT

1. All submitted plan sets must be accompanied by a Building Permit Application.

2. All applications must include a site survey.

BUILDING DEPARTMENT

1. All applications must include a Construction Waste Management Plan.

2. The City will accept schematics for gas line revisions

### DEFERRED SUBMITTALS - ATASCADERO

PHOTOVOLTAIC SYSTEM (ALL PROJECTS)

RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED) SEPTIC SYSTEM (WHERE REQUIRED)

### **BUILDING CODES USED - 2022**

1A. Atascadero Municipal Code

1. California Building Code

2. California Residential Code

3. California Electrical Code

5. California Mechanical Code

6. California Fire Code

7. California Green Building Standards Code

### 4. California Plumbing Code 8. California Energy Efficiency Standards Code

### PROJECT INFORMATION PARCEL INFORMATION APN STREET ADDRESS CITY, STATE, ZIP LOT SIZE (in SF) **EXISTING HOME SIZE (in SF)** PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A PARCEL OVER 10% SLOPE GEOTECHNICAL REPORT WITHIN THEIR APPLICATION FOLINDATION YES APPLICABLE SRA FIRE HAZARD PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A, UNFORM CODE REQUIREMENTS DEVELOPED BY THE SEVERITY ZONE (WUI) OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS. PROJECT INFORMATION **NUMBER OF STORIES** ONE (1) OCCUPANCY GROUP - R3 TYPE OF CONSTRUCTION - STANDARD/TYPE VB MAIN RESIDENCE HAS YES FIRE SPRINKLERS PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL SERVED BY SEPTIC SYSTEM **PROPERTY OWNER** NAME

CITY, STATE, ZIP PHONE/EMAIL

DRAWING INDEX CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GO.0 COVER SHEET & PROJECT INFORMATION

G0.1 OWNER PROVIDED SITE PLAN G1.0 GENERAL NOTES

G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS

G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS

ARCHITECTURAL

A1.0 RANCH - FLOORPLAN & ELEVATIONS

A1.1 RANCH - SECTIONS, ROOF PLAN & RCP

A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS

A2.1 CRAFTSMAN - SECTIONS, ROOF PLAN & RCP

A3.0 MODERN - FLOORPLANS & ELEVATIONS

A3.1 MODERN - SECTIONS, ROOF PLAN & RCP A4.0 BUNGALOW - FLOORPLANS & ELEVATIONS

A4.1 BUNGALOW - SECTIONS, ROOF PLAN & RCP

A5.0 EXTERIOR WALL ASSEMBLY DETAILS

A5.1 EXTERIOR WALL ASSEMBLY DETAILS

A5.2 EXTERIOR DETAILS

A5.3 INTERIOR DETAILS & WALL PARTITIONS

A6.0 SCHEDULES - EFFICIENCY STUDIO

STRUCTURAL

SO.0 STRUCTURAL NOTES S0.1 TYPICAL DETAILS

S1.0G GABLE -ROOF/CEILING AND FOUNDATION PLAN

S1.0M MONOSLOPE- ROOF/CEILING AND FOUNDATION PLAN

S2.0 FOUNDATION DETAILS S2.1 ROOF FRAMING DETAILS

S2.2 ROOF FRAMING DETAILS (CONT.)

**ECHANICAL** 

MP0.1 GENERAL NOTES

MP0.2 SCHEDULES & GAS DIAGRAM & PLUMBING

MP2.1E MECHANICAL & PLUMBING PLANS - ELECTRIC

MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID

ERGY COMPLIANCE/TITLE 24 T24.1B TITLE 24 FORMS- ELECTRIC

T24.2B TITLE 24 FORMS- ELECTRIC T24.3B TITLE 24 FORMS - HYBRID

T24.1B TITLE 24 FORMS - HYBRID



### CENTRAL COAST PRE-DESIGNED ADU

### PROJECT DIRECTORY ARCHITECT OF RECORD CONSULTING ARCHITECT RYAN BROCKETT ARCHITECT INC. 189 Walnut Avenue Santa Cruz, CA 95060 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@workbenchbuilt.com info@brockitecture.com MECHANICAL & PLUMBING ENGINEER STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitola Rd, Suite #204 Capitola, CA 95010 99 Pacific St, Suite #375G Monterey, CA 93940

831.641.7739

contact@zalengineering.com

### SCOPE OF WORK

WORKBENCH

831.227.2217

831.854.2484

contact@cmtaylorse.com

CONSTRUCTION OF A NEW, ONE-STORY DETACHED 316 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF A GREAT ROOM/LIVING AREA WITH A KITCHEN AND ONE BATHROOM.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS

	PROJECT CHECKLIST	CLEARLY MARK THE BOX FOR EACH SELECTION
	ARCHITECTURAL STYLE (SELECT ONE)	
1	COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1, S1.0G
	BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2, S1.0G
	CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3, S1.0M
	BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4, S1.0M
	ROOFING MATERIAL (SELECT ONE)	
	ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
	METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
	APPLICANT REVISION	
	PRIMARY SIDING MATERIAL (SELECT ONE)	
]	VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
	BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2

For this option, use the listed sheets and details: HORIZONTAL LAP FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E3 For this option, use the listed sheets and details: SHINGLE FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E4 For this option, use the listed sheets and details: STUCCO Wall Assembly Details: A5.0 or A5.1 - TYPE E5 APPLICANT REVISION

DESIGN OPTIONS (SELECT IF DESIRED) Requires foundation coordination. See detail 4/A5.3 **CURBLESS SHOWER** 

APPLICANT REVISION MECHANICAL SYSTEM (SELECT ONE)

ALL-ELECTRIC SYSTEM

HYBRID (ELECTRIC W/ GAS H20 HEATER)

GAS RANGE

REQUIRED COMPLIANCE (CHECK IF APPLICABLE) PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE

PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; **USE A5.1 "EXTERIOR DETAILS - WUI ZONES"** WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE

EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE

SITE PLAN (REQUIRED) OWNER PROVIDED SITE PLAN COMPLETE

Complete Sheet GO.1, Owner-Provided Site Plan

AREA OF OPENINGS LIMITED TO 25% OF THE WALL

AREA. REFERENCE A5.0 "FIRE RATING NOTES"

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:

Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H

Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E

### CITY REVIEW SET

EA CALCULATIONS - EFFICIENCY STUDIO **DWELLING UNIT - 316 GSF** EXT. COVERED PORCHES - 8 GSF









**BROCKETT** /ARCHITECT

workbench

189 WALNUT AVENUE

SANTA CRUZ, CA 95060

WORKBENCHBUILT.COM

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS

IIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY ESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMAND GEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND TH

**COVER SHEET & PROJECT INFORMATION -**ATASCADERO

LOCATION TO NEAREST FIRE HYDRANT

## ed, yealed site plan containing the alrelow information. This checklist is provided to help guide applicants through the creation of their project sets — total A Site Plan" document published by the Community Development Department for sample site plans and sense.

	ining the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. ment published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.
SITE PLAN INFORMATION	EXPLANATION
NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS.  REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
PARKING SPACES, TRAFFIC FLOW DIRECTION	
PLANTED AREAS AND OUTDOOR USE AREAS	
LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	

SITE PLAN LEGEND Use these symbols to draw and annotate your site plan					
N	NORTH ARROW (INDICATES LOCATION OF NORTH)				
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES				
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)				
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS				
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS				
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED				
	ARROW - USE TO POINT TO DRAWING AS NEEDED				

### **FIRE RATING NOTES**

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12q

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

### BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

### CENTRAL COAST RE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

OWNER PROVIDED SITE PLAN -ATASCADERO

G0.1

SCALE : AS NOTED

### **GENERAL NOTES**

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND **SPECIFICATIONS**
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR **DETAILED OTHERWISE**
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF

- EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD. 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE
- MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- 27. CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- 28. CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES OF CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT
- 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- 33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

### **WUI NOTES**

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

### **VEGETATION MANAGEMENT COMPLIANCE. R3371.5**

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

### **OFF RIDGE AND RIDGE VENTS. R337.6.2.1**

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- 1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
- 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE. 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

### **EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3**

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

### **EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6**

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

### **VENTS. CBC 706A / CRC R337.6**

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH CBC 706A2.1.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5 RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

### ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

### LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
- ALL JAS COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
  - CEILING RECESSED DOWNLIGHT LUMINARIES
  - LED LUMINARIES WITH INTEGRAL SOURCES
  - PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- **GU-24 BASED LED LIGHT SOURCES**
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE **FOLLOWING REQUIREMENTS:** 
  - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
  - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
  - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
  - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
  - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
  - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
  - PHOTOCONTROL AND MOTION SENSOR
  - PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
  - ASTRONOMICAL TIME SWITCH CONTROL
- **ENERGY MANAGEMENT CONTROL SYSTEMS** 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A
  - COLOR TEMPERATURE OF 3000K OR LESS.

### **ELECTRICAL NOTES**

- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.**
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19. PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD
- OR MICROWAVE/HOOD UNIT PROVIDE SEPARATE CIRCUIT FOR DISWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF **ELECTRIC DRYERS PER CEC 220.54.**
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

**ABBREVIATIONS** 

ANCHOR BOLT

AREA DRAIN

**ADJACENT** 

**ALUMINUM** 

**ALTERNATE** 

**AVERAGE** 

**BUILDING** 

**BLOCKING** 

**BOTTOM** 

**BETWEEN** 

**BOTH WAYS** 

**CATCH BASIN** 

CUBIC FEET

**CAULKING** 

**CLEANOUT** 

COLUMN

**CONCRETE** 

CENTER

**DOUBLE** 

**CONTINUOUS** 

**CERAMIC TILE** 

**COLD WATER** 

**DEPARTMENT** 

DIAMETER

DIAGONAL

**DIMENSION** 

**DEAD LOAD** 

DRAWING

**EXISTING** 

DISHWASHER

**EXPANSION BOLT** 

**EXPANSION JOINT** 

**EDGE NAILING** 

**ELECTRICAL PANEL** 

**ENCLOSURE** 

**EQUIPMENT** 

FLOOR DRAIN

FINISH FLOOR

**FLOW LINE** 

FLASHING

**FACE OF CONCRETE** 

FACE OF STUD

**FACE OF WALL** 

FRAMING FOOT

**FOOTING** 

GAUGE

**GALVANIZED** 

HOSE BIB

**HOLDOWN** 

HEADER

HANGER

**HOLLOW METAL** 

**HORIZONTAL** 

**HOT WATER** 

**GENERAL CONTRACTOR** 

GYPSUM WALL BOARD

HEAT/VENTILATION/AIR COND.

FLOOR

FINISH

EXTERIOR

**ELECTRIC/ELECTRICAL** 

**ELEVATOR/ELEVATION** 

DOWN

DOOR

CEILING

**CLEAR** 

**CONTROL JOINT** 

**CLEANOUT TO GRADE** 

**BUILT-UP ROOFING** 

BOARD

**ASPHALT CONCRETE** 

ABOVE FINISH FLOOR

ARCHITECT/ARCHITECTURAL

- 12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
- EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- 15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A]
- 17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR
- PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY. 19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE
- FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN
- 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A
- 22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS

**SCHEDULE** STORM DRAIN SECTION SEE ELECTRICAL DRAWINGS **SQUARE FOOT SPECIFICATION** SEE PLUMBING DRAWINGS SEE STRUCTURAL DRAWINGS SOLID SURFACE STANDARD

STRUCTURAL SUSPENDED **TEMPERED** 

STEEL

**INCH/INCHES** 

**INFORMATION** 

**INSULATION** 

INTERIOR

**KITCHEN** 

LAG BOLT

POUNDS

LINEAR FOOT

LIVE LOAD

LAG SCREW

MAXIMUM

MACHINE BOLT

**MANUFACTURED** 

**MANUFACTURE** 

MISCELLANEOUS

**NOT IN CONTRACT** 

**NOT APPLICABLE** 

NOT TO SCALE

ON CENTER

**OPENING** 

PLYWOOD

PAVEMENT

**RETURN AIR** 

**ROOF DRAIN** 

REFERENCE

REQUIRED

REVISION

REFRIGERATOR

**ROUGH OPENING** 

PAINTED

OVERHEAD/OVERHANG

POUNDS PER LINEAL FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

REFLECTED CEILING PLAN

PRESSURE TREATED

**MECHANICAL** 

**MICROWAVE** 

MINIMUM

MOUNTED

METAL

NEW

OVER

INSUL

MB

MFR

MTL

**REQD** 

**STRUCT** 

UON

TOP OF CURB TYPICAL UNLESS OTHERWISE NOTED

**VENTILATION/VENTILATOR VERTICAL VERIFY IN FIELD** WITH WATER CLOSET WOOD WATER HEATER WINDOW WITHOUT

WATERPROOF

13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF

16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.

SINGLE FAMILY RESIDENTIAL (150.0(s)). 18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-

DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.

SLEEPING ROOM RECEPTACLE OUTLET.

J Ш

GENERAL NOTES

### California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,

workbench

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BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OF

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ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

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ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT

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INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND

RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT

E RESPONSIBLE FOR TRANSLATION ERRORS.

**CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL** 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development OSHPD Low Rise Additions and Alterations **CHAPTER 4** RESIDENTIAL MANDATORY MEASURES **SECTION 4.102 DEFINITIONS** 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) NCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT
 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106 SITE DEVELOPMENT 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: Water collection and disposal systems French drains Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater **Exception**: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

overcurrent protective device.

accordance with the California Electrical Code.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or quest rooms The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all all required EV spaces at a minimum of 40 amperes. e service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. eption: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be by a number equal to the number of EV chargers installed over the five (5) percent required a.Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV EV chargers are installed for use. **2.EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. ception: Areas of parking facilities served by parking lifts. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable

4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

concealed areas and spaces shall be installed at the time of original construction.

installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

1.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or

altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY

**4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy

Commission will continue to adopt mandatory standards. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

gallons per minute at 80 psi. Showerheads shall be certified to the performance waterSense Specification for Showerheads.

**4.303.1.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

**4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons

per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

4.303.1.4.5 Pre-rinse spray valves.

When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (≤ 5.0 ozf) Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial

Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A

CONVENIENCE FOR THE USER. TABLE - MAXIMUM FIXTURE WATER USE FIXTURE TYPE

FLOW RATE SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 LAVATORY FAUCETS (RESIDENTIAL) LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI USE AREAS KITCHEN FAUCETS 1.8 GPM @ 60 PSI METERING FAUCETS 0.2 GAL/CYCLE WATER CLOSET 1.28 GAL/FLUSH URINALS 0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

### DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

1.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

I.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

Exceptions:

Excavated soil and land-clearing debris.

2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

I.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling,

reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).

3. Identify diversion facilities where the construction and demolition waste material collected will be Identify construction methods employed to reduce the amount of construction and demolition waste

Specify that the amount of construction and demolition waste materials diverted shall be calculated weight or volume, but not by both.

.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and tion waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction

I.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates

compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code

(Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section 2. Mixed construction and demolition debris (C & D) processors can be located at the California

Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

Operation and maintenance instructions for the following: Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major

appliances and equipment. b. Roof and yard drainage, including gutters and downspouts

c. Space conditioning systems, including condensers and air filters.

d. Landscape irrigation systems.

 e. Water reuse systems 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.

6. Information about water-conserving landscape and irrigation design and controllers which conserve

7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking,

painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available.

10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.

12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

### DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

CAL GREEN/GREEN

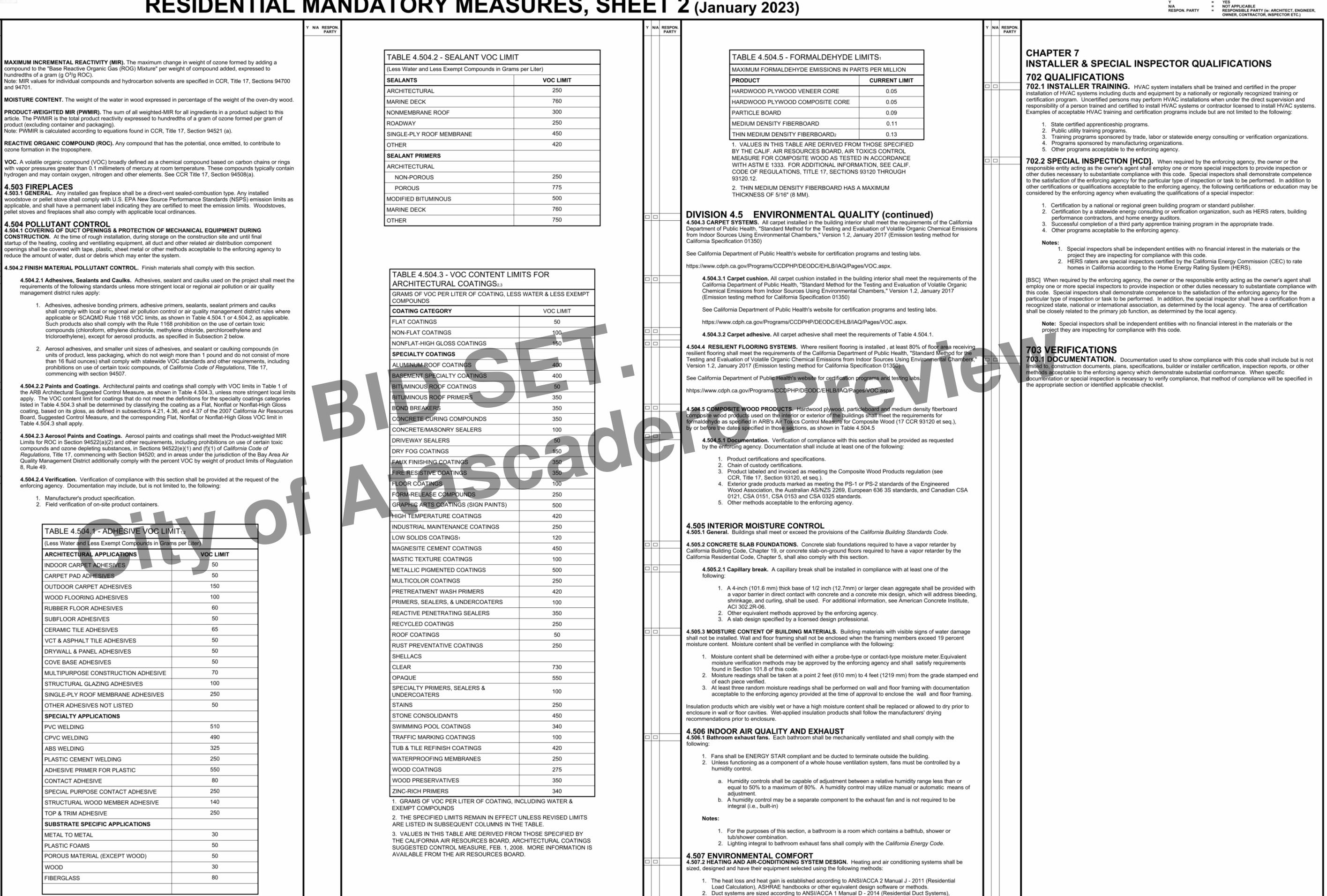
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### California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



workbench

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### **BROCKETT** /ARCHITECT

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1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

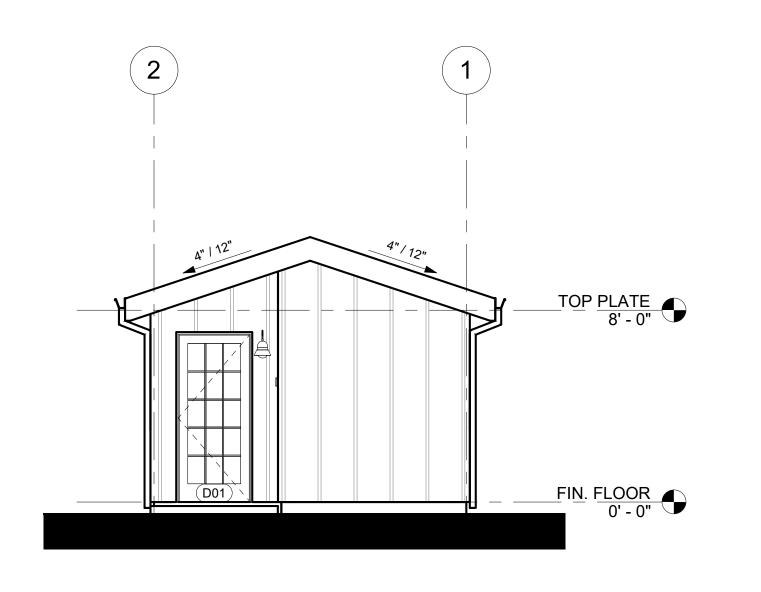
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ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

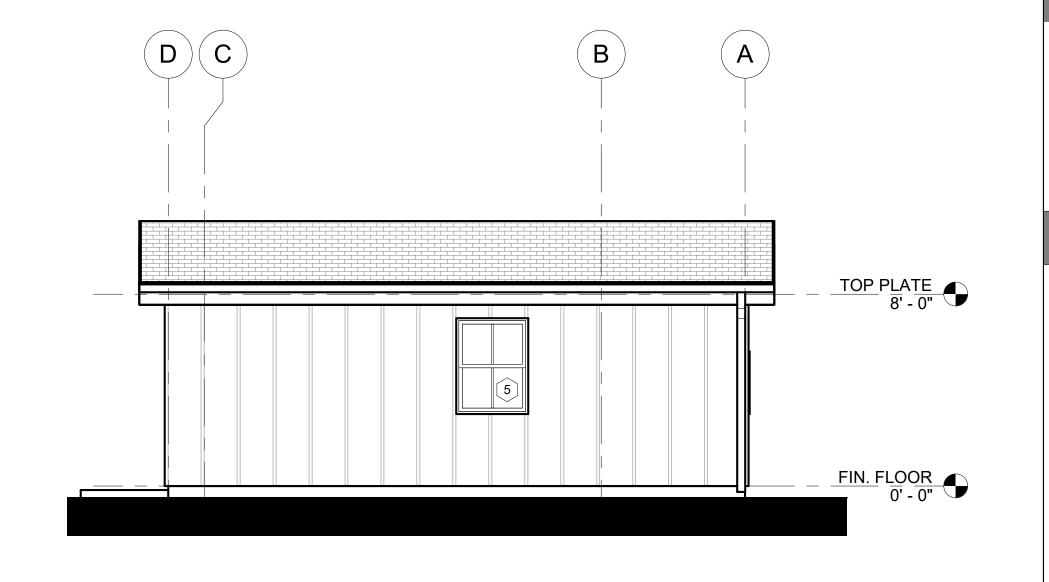
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are



6 RIGHT ELEVATION - COASTAL RANCH 1/4" = 1'-0"

5 LEFT ELEVATION - COASTAL RANCH 1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH 1/4" = 1'-0"

2 FRONT ELEVATION - COASTAL RANCH 1/4" = 1'-0"



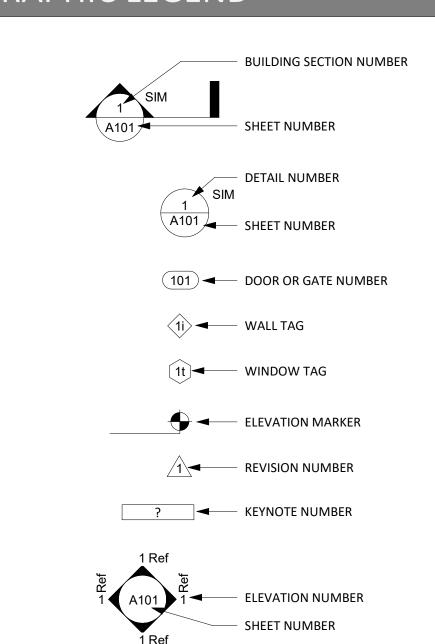
4 FRONT VIEW - EFFICIENCY STUDIO - COASTAL RANCH NO SCALE

(B) OUTDOOR 24' - 0 1/2" **HEAT-PUMP UNIT** 6' - 0" 4' - 6 1/2" IF ELECTRIC WATER HEATER IS SELECTED, REFERENCE THE CEC SECTION 150.0(n) & 4 A5.2 MANUFACTURER'S SPECS. SHEET. 6 A1.0 3 A1.1 **GREAT ROOM** 2 ENTRY STOOP NTE 7 3/4" ABOVE FINISHED GRADE 1 FLOOR PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"

FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**∽**–(N) (N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- 8. Provide structural backing in walls to facilitate future
- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

workbench

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### FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

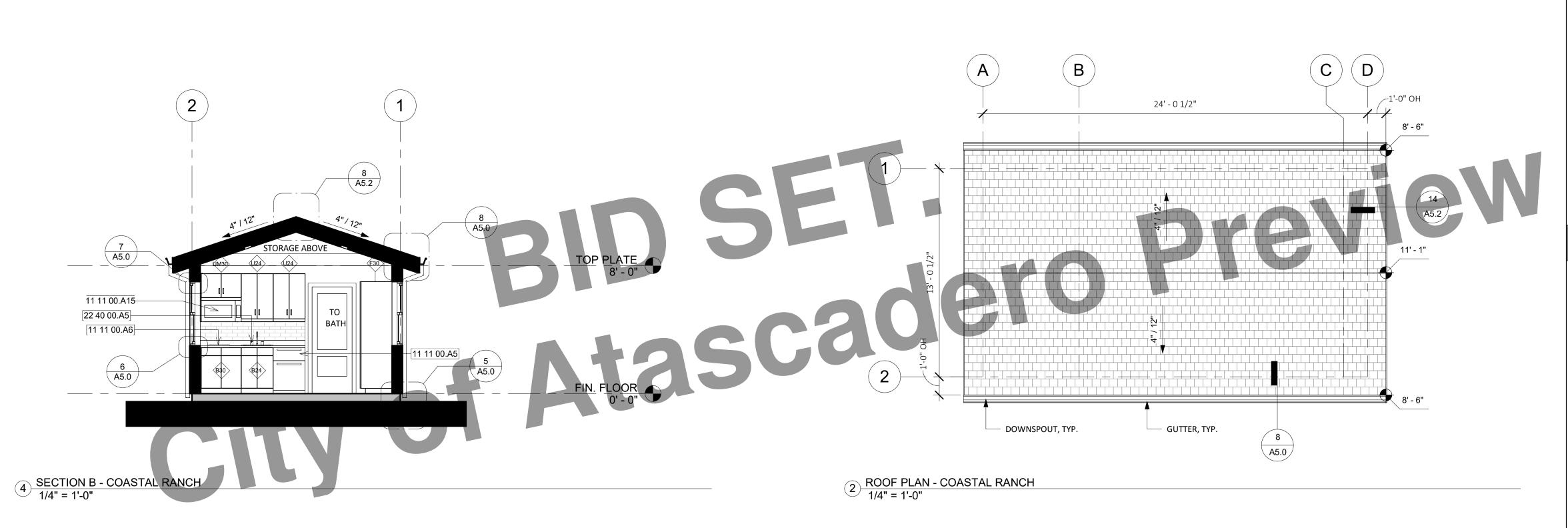
### **ELEVATION NOTES**

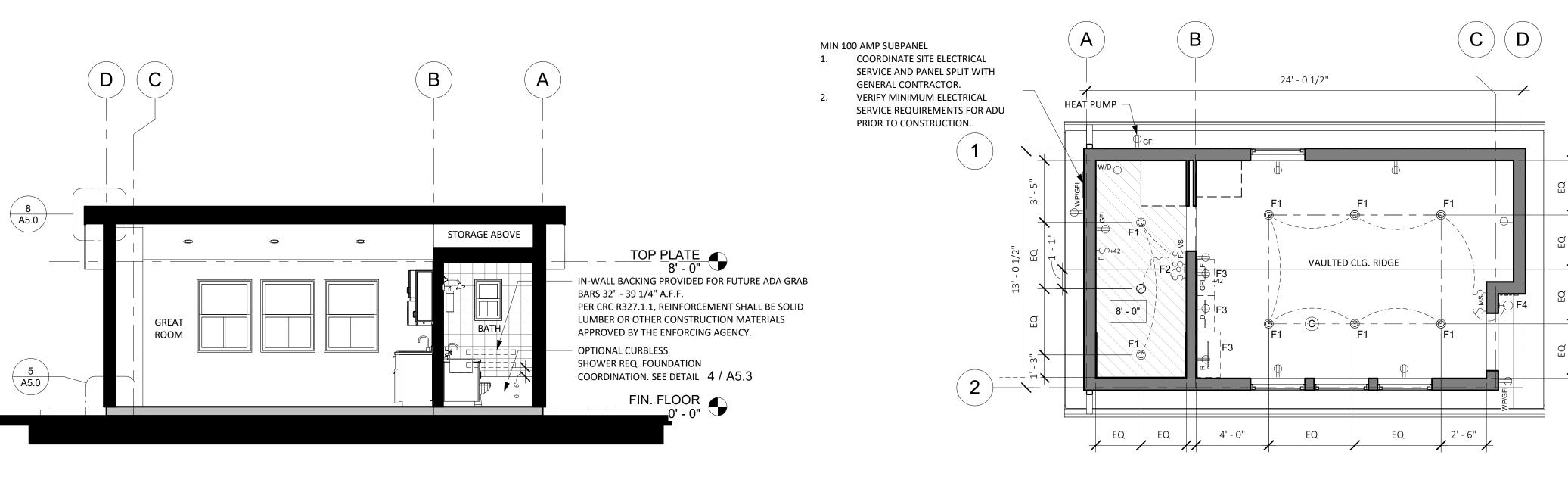
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- details.

RANCH - FLOORPLAN & ELEVATIONS

A1.0

PRINT DATE XX.XX.XXXX





1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"

ROOF PLAN NOTES

- 1. Roof dimensions taken from Roof Edge/Fascia to exterior face of plywood. Refer to referenced details for overhang dimensions.
- All roof areas shall be Class A Rated Composition Tiles or equal.
- Wood shingles shall not be used. Roof gutters shall be provided with means to prevent accumulation of
- leaves and debri in the gutter. 5. Provide 26 Gauge Corrosion Resistant Metal Flashings at roof/wall intersections, gutters, and around roof openings.
- 6. Gang vents whenever possible.
- See Detail 7/A5.2 for roof penetration detail. Roofer and solar installer to coordinate installation for PVs and PV Roof

### ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- **220 VOLT RECEPTACLE OUTLET**
- DEDICATED OUTLET
  - RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH

SVS VACANCY SWITCH

- \$<sub>MS</sub> MOTION-SENSOR SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

### REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

### REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL
- TOTALS TO BE VERIFIED BY CONTRACTOR. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS
- OUTDOOR AIR QUALITY IS VERY POOR. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060

WORKBENCHBUILT.COM

**BROCKETT** 

/ARCHITECT

104 S. MAIN ST UNIT B

TEMPLETON, CA 93465

BROCKITECTURE.COM

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EFFICIENCY ST 316 GSF

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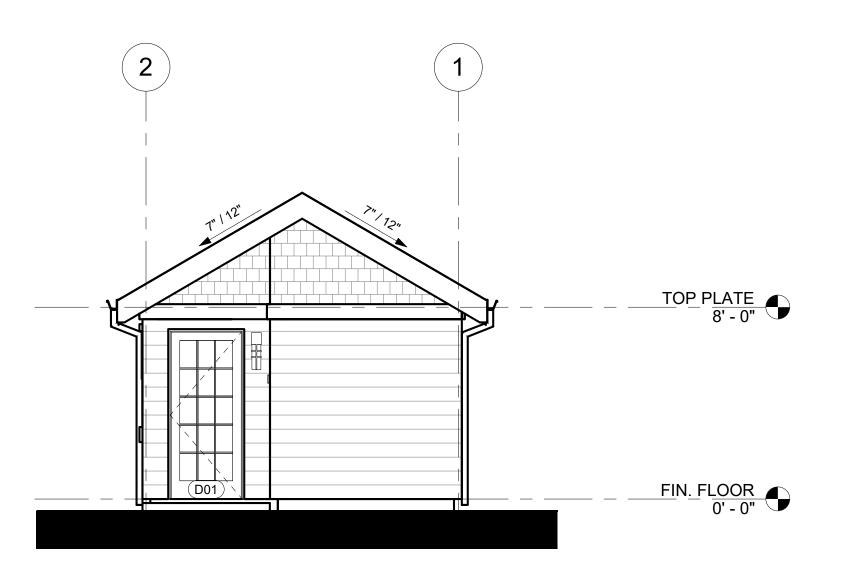
BE RESPONSIBLE FOR TRANSLATION ERRORS.

DISCLAIMER.

PRINT DATE XX.XX.XXXX

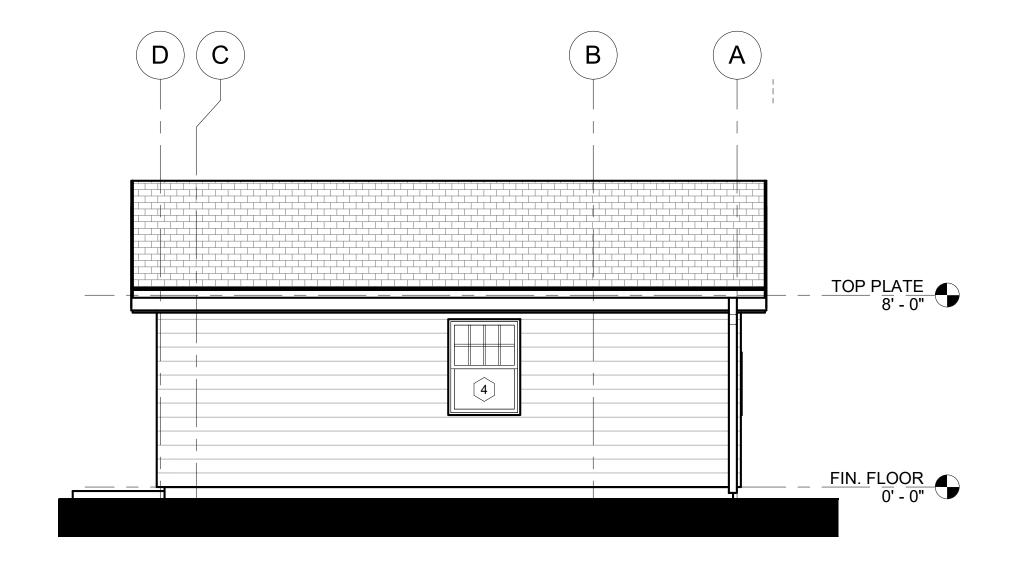
RANCH - SECTIONS, **ROOF PLAN & RCP** 

3 SECTION A - COASTAL RANCH 1/4" = 1'-0"



6 RIGHT ELEVATION - BACKYARD CRAFTSMAN 1/4" = 1'-0"

5 LEFT ELEVATION - BACKYARD CRAFTSMAN 1/4" = 1'-0"

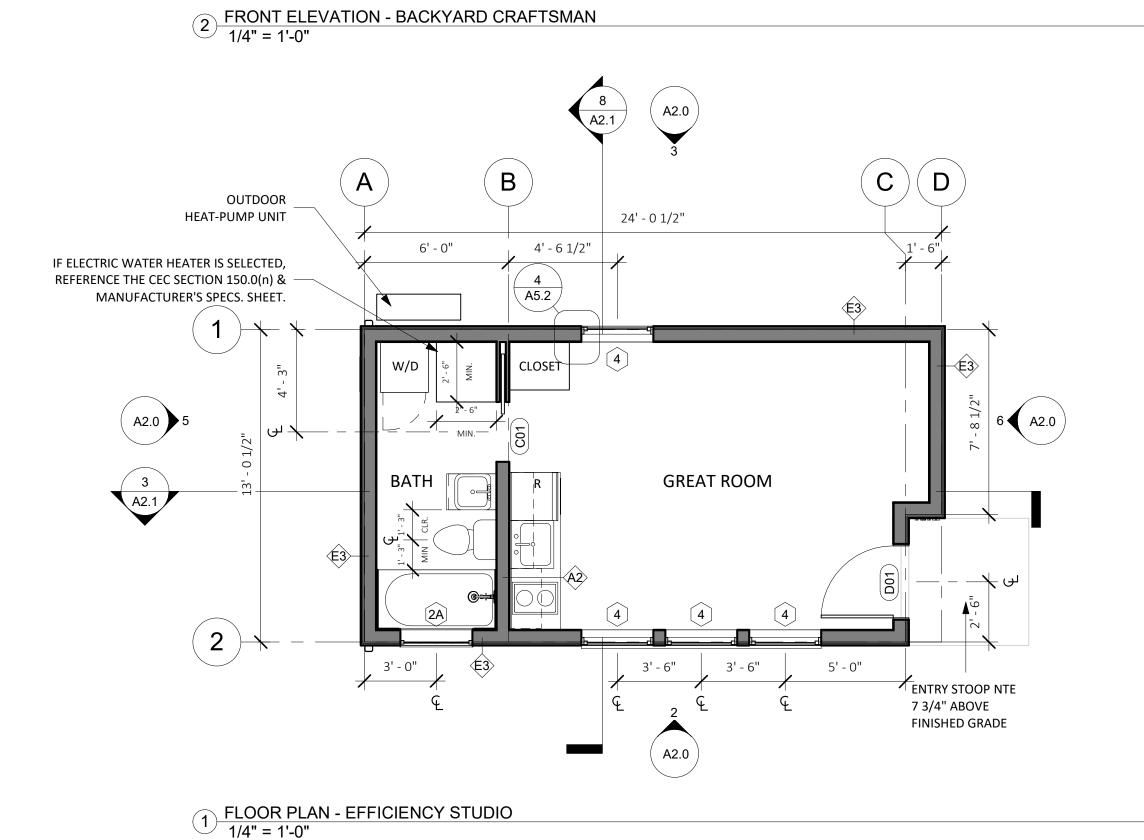


REAR ELEVATION - BACKYARD CRAFTSMAN

1/4" = 1'-0"



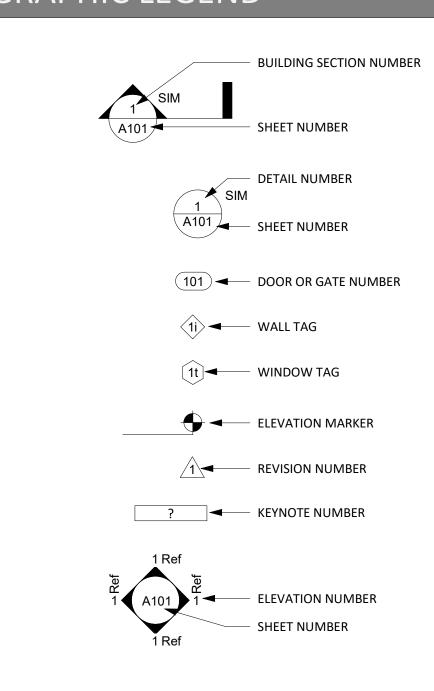
4 FRONT VIEW - EFFICIENCY STUDIO - BACKYARD CRAFTSMAN NO SCALE



### FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**∽**–(N) (N) LIGHT SWITCH

### GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible
- installation of grab bars at toilet and shower.

### **ELEVATION NOTES**

- windows, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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### **BROCKETT** /ARCHITECT

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### FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

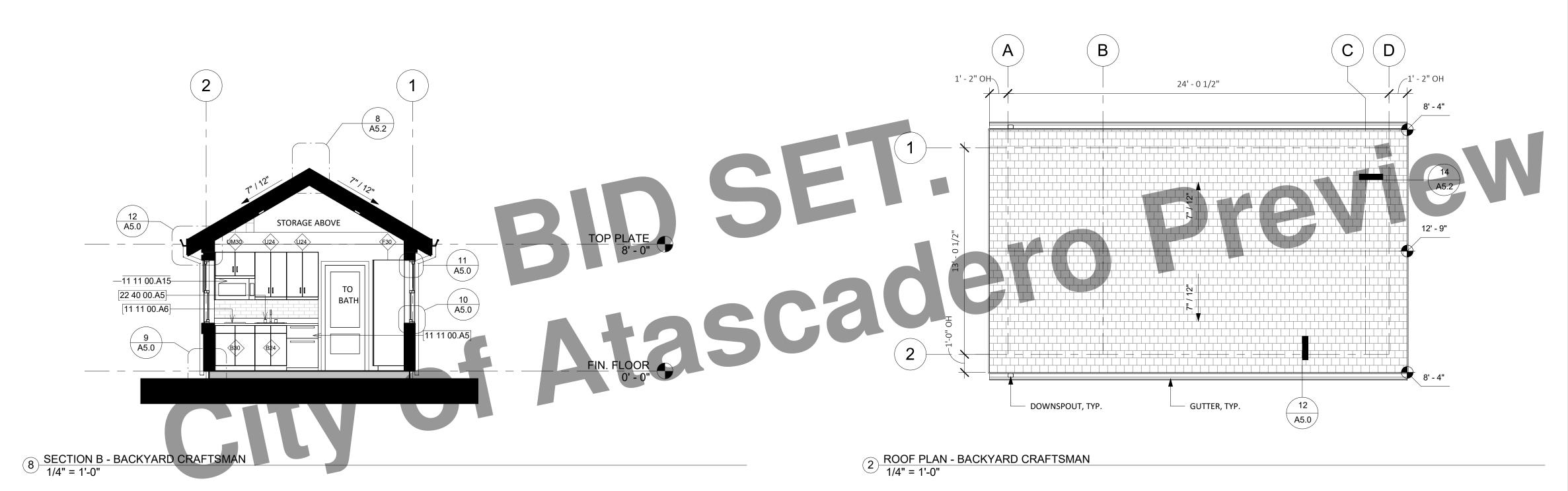
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- details.

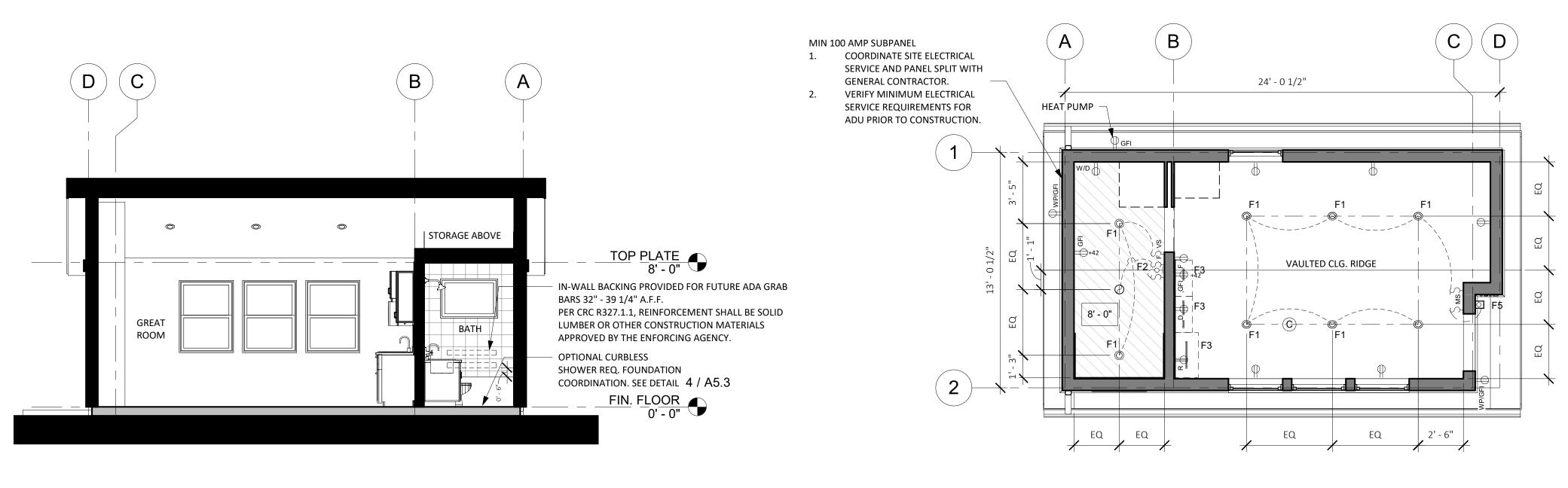
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CRAFTSMAN -FLOORPLANS & **ELEVATIONS** 

A2.0





1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"

### ROOF PLAN NOTES

- 1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

### ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- ☐ GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
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### REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
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workbench

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EFFICIENCY ST 316 GSF

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### REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

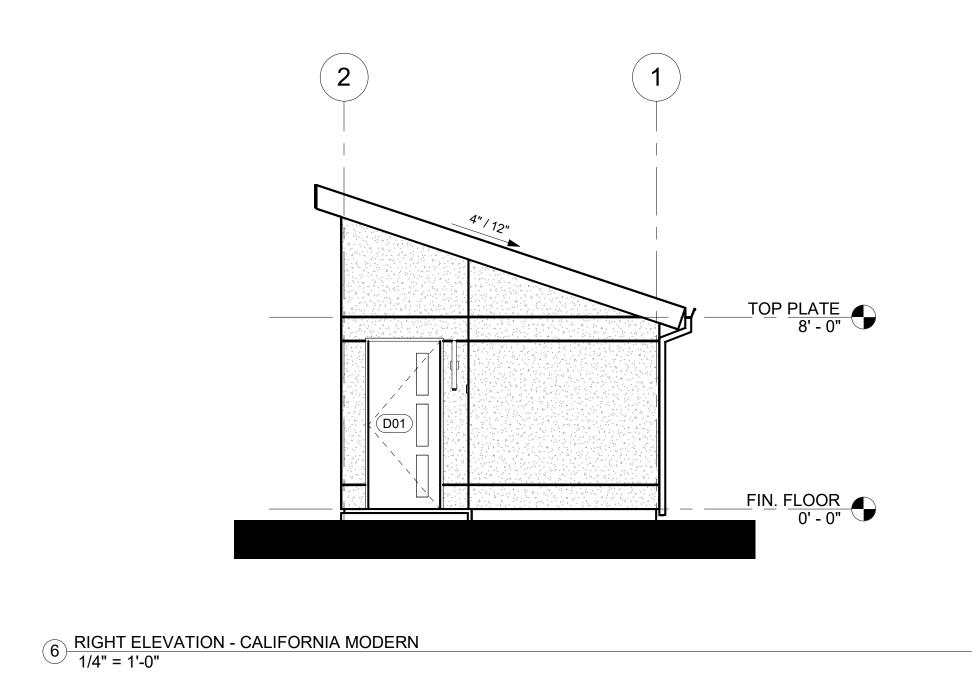
ACCORDANCE WITH THEIR LISTING.

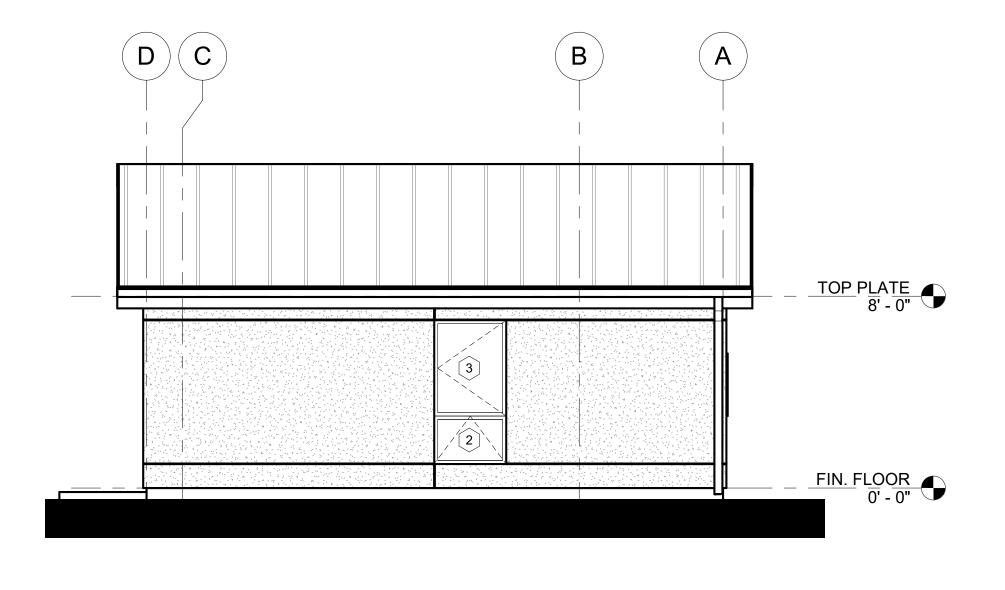
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- OUTDOOR AIR QUALITY IS VERY POOR.
- PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD.
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. FOR PERSONNEL

PRINT DATE XX.XX.XXXX

CRAFTSMAN -SECTIONS, ROOF PLAN & RCP

3 SECTION A - BACKYARD CRAFTSMAN 1/4" = 1'-0"

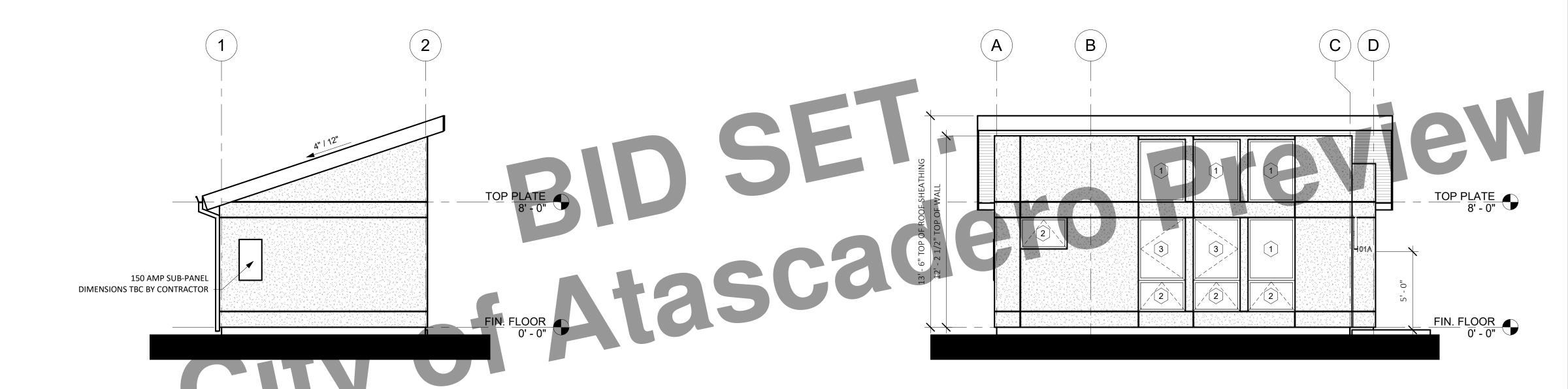




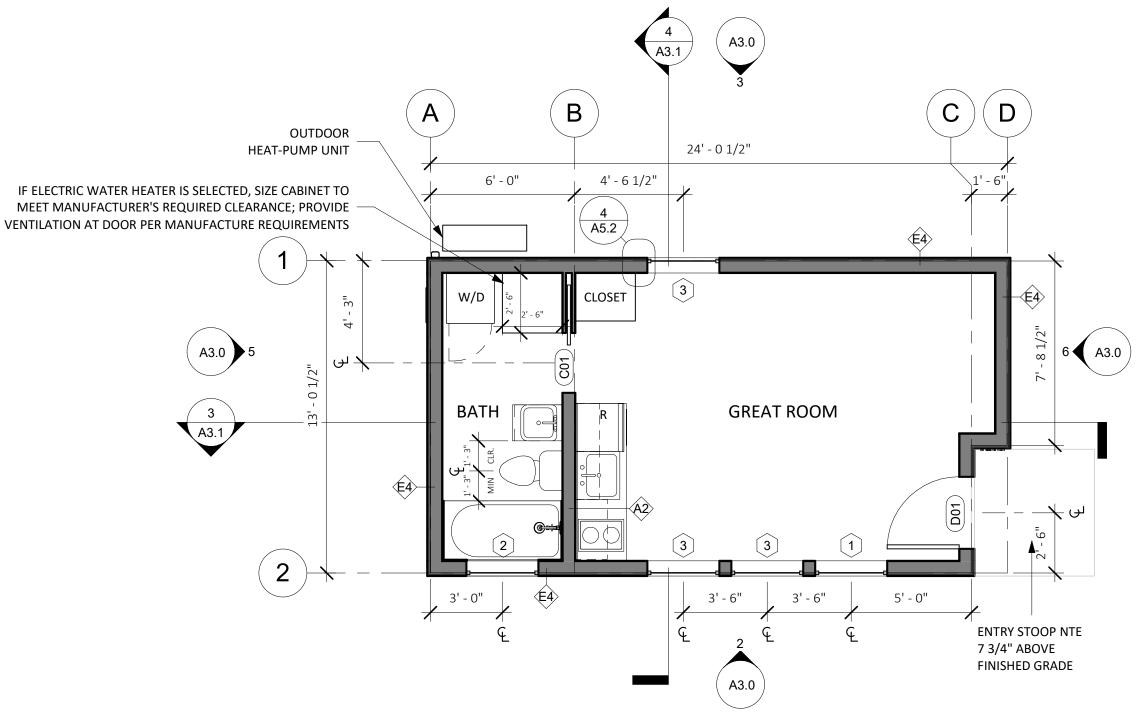
REAR ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"

2 FRONT ELEVATION - CALIFORNIA MODERN 1/4" = 1'-0"

1 FLOOR PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"



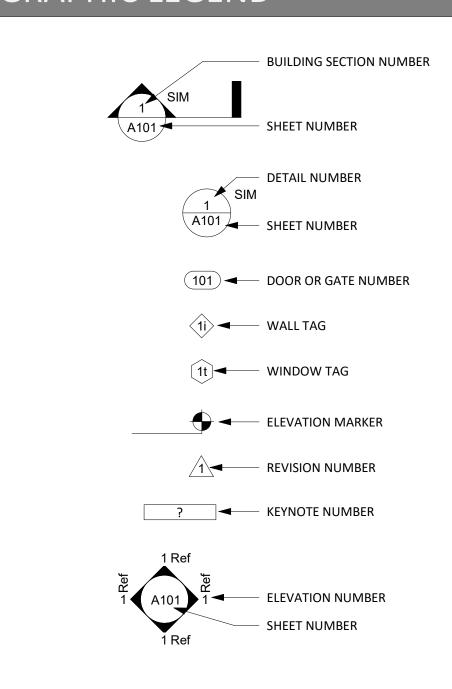




FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**∽**–(N) (N) LIGHT SWITCH

### GRAPHIC LEGEND



- centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Provide hanger rod and shelf at wardrobe closet.
- thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future
- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.



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### FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- See elevations for transom window types and locations.
- Where thresholds are required, provide accessible
- installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

### **ELEVATION NOTES**

- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

PRINT DATE XX.XX.XXXX

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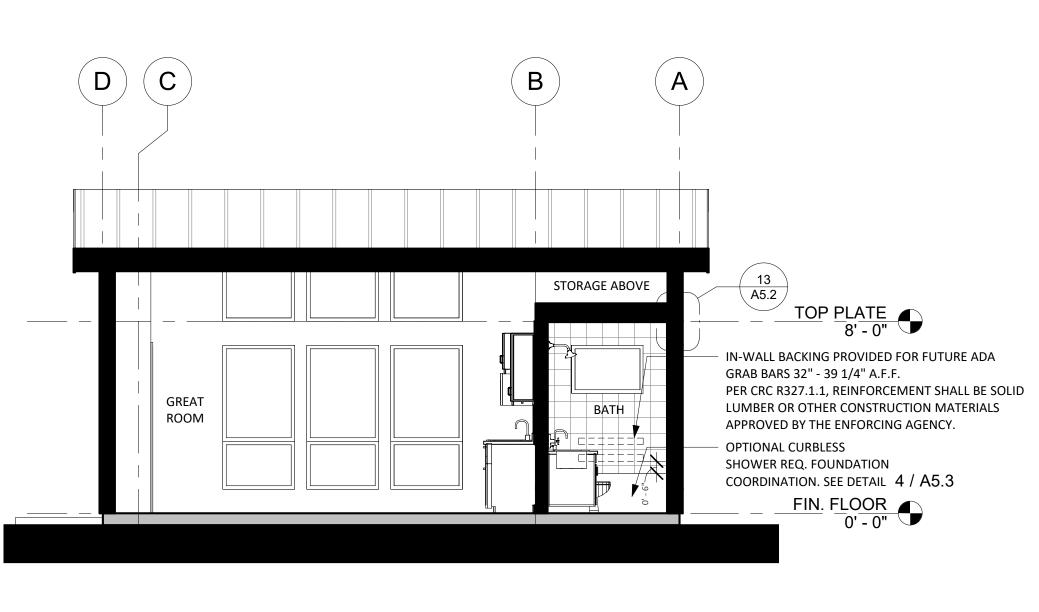
**MODERN** -FLOORPLANS & **ELEVATIONS** 

A3.0

FRONT VIEW - EFFICIENCY STUDIO - CALIFORNIA MODERN NO SCALE

5 LEFT ELEVATION - CALIFORNIA MODERN 1/4" = 1'-0"





(B) 24' - 0 1/2" MIN 100 AMP SUBPANEL COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR. 2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION. VAULTED CLG. EQ EQ EQ 4' - 0"

2 ROOF PLAN - CALIFORNIA MODERN 1/4" = 1'-0"

1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"

### ROOF PLAN NOTES

- 1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
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- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

### ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- \$<sub>MS</sub> MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

8'-0" FRAMED CEILING HEIGHT A.F.F.

SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

### REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT)
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

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### **BROCKETT** /ARCHITECT

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### REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE

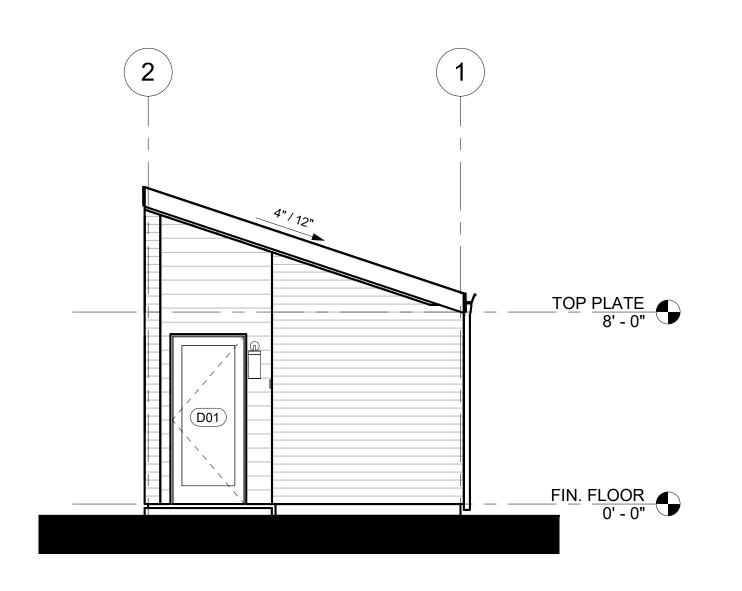
- TOTALS TO BE VERIFIED BY CONTRACTOR.
- OUTDOOR AIR QUALITY IS VERY POOR.
- HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM

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MODERN - SECTIONS, **ROOF PLAN & RCP** 

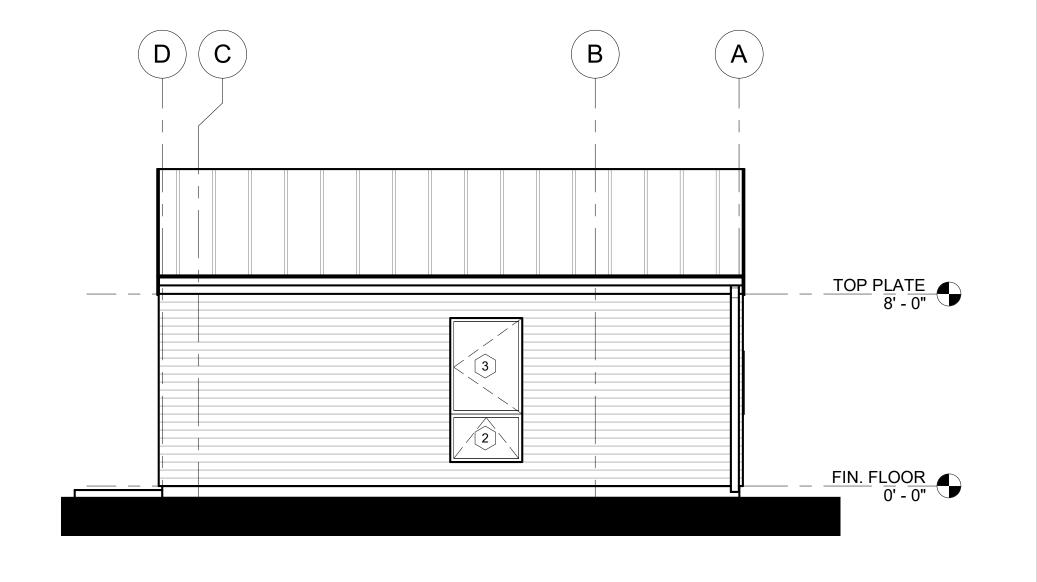
4 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"

3 SECTION A - CALIFORNIA MODERN 1/4" = 1'-0"

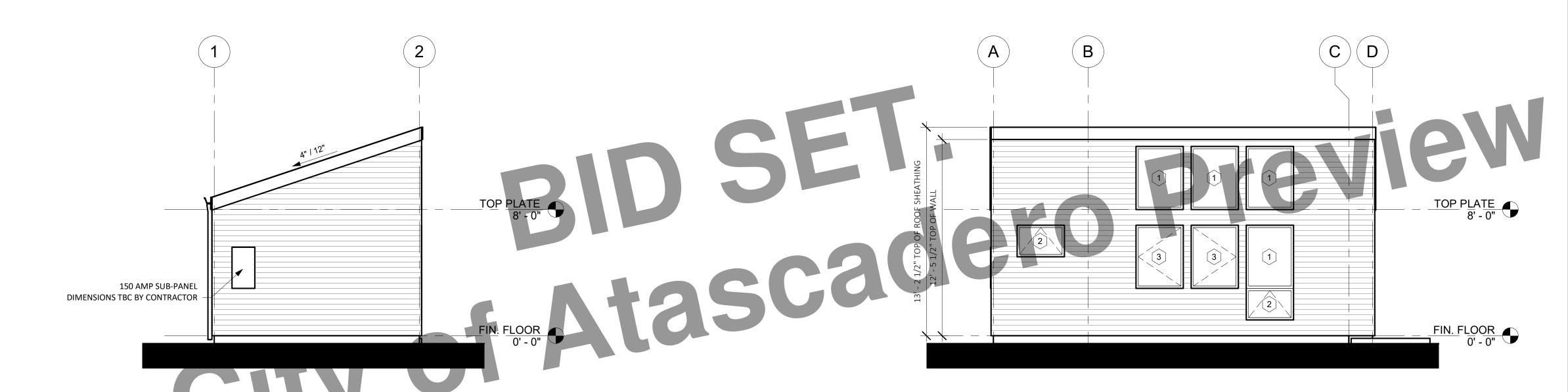


6 RIGHT ELEVATION - BEACH BUNGALOW 1/4" = 1'-0"

5 LEFT ELEVATION - BEACH BUNGALOW 1/4" = 1'-0"

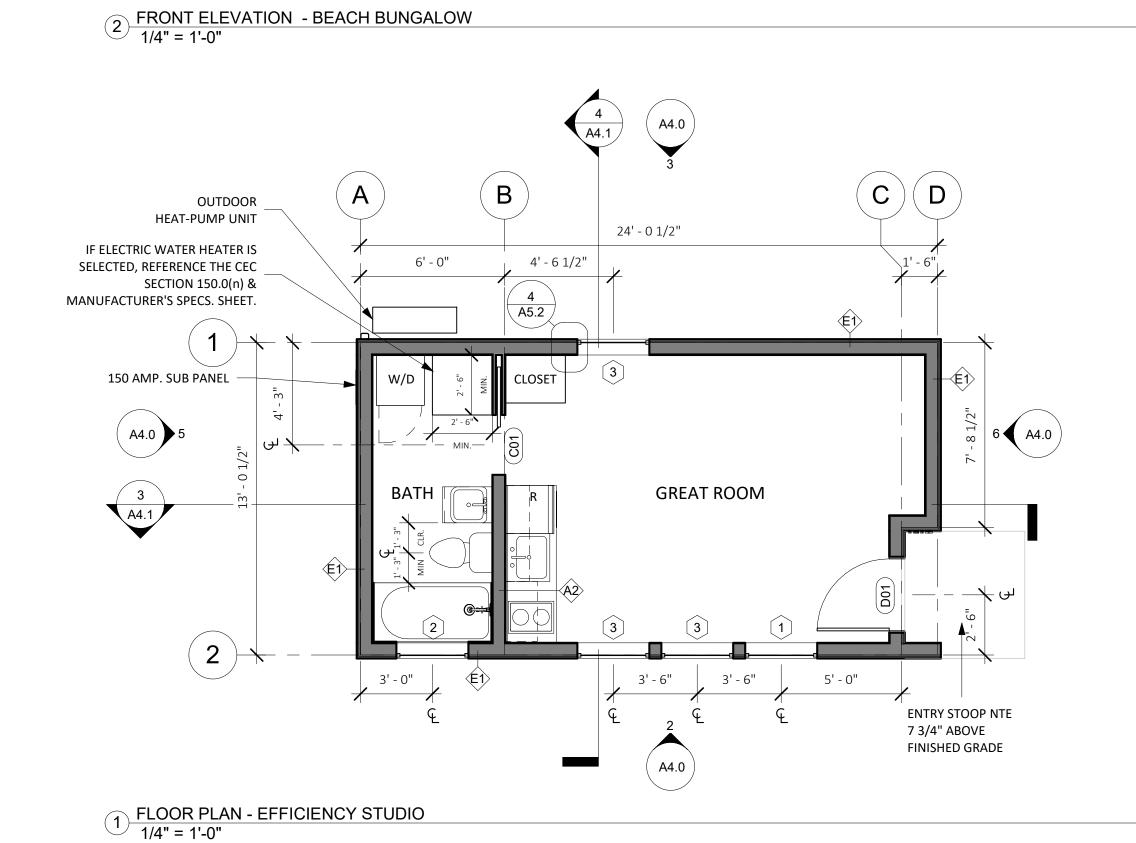


3 REAR ELEVATION - BEACH BUNGALOW 1/4" = 1'-0"





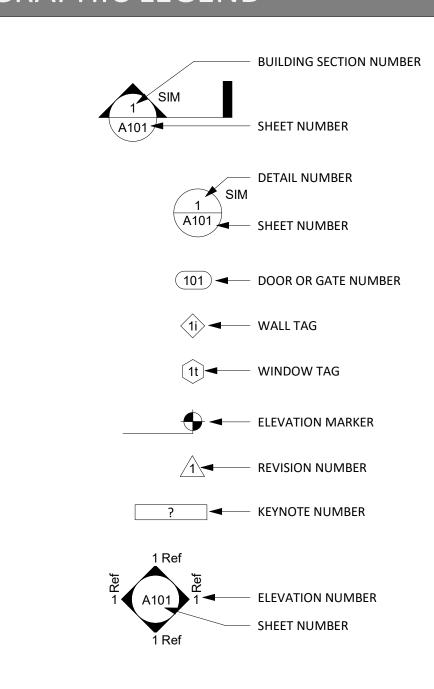
4 FRONT VIEW - EFFICIENCY STUDIO - BEACH BUNGALOW NO SCALE



### FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**∽**–(N) (N) LIGHT SWITCH

### GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.
- windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.



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### FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.

### **ELEVATION NOTES**

- 1. Elevation dimensions are to gridline or centerline of
- centerline of structural elements, unless otherwise noted.
- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

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**BUNGALOW -**FLOORPLANS & **ELEVATIONS** 

A4.0



13 A5.2

BARS 32" - 39 1/4" A.F.F.

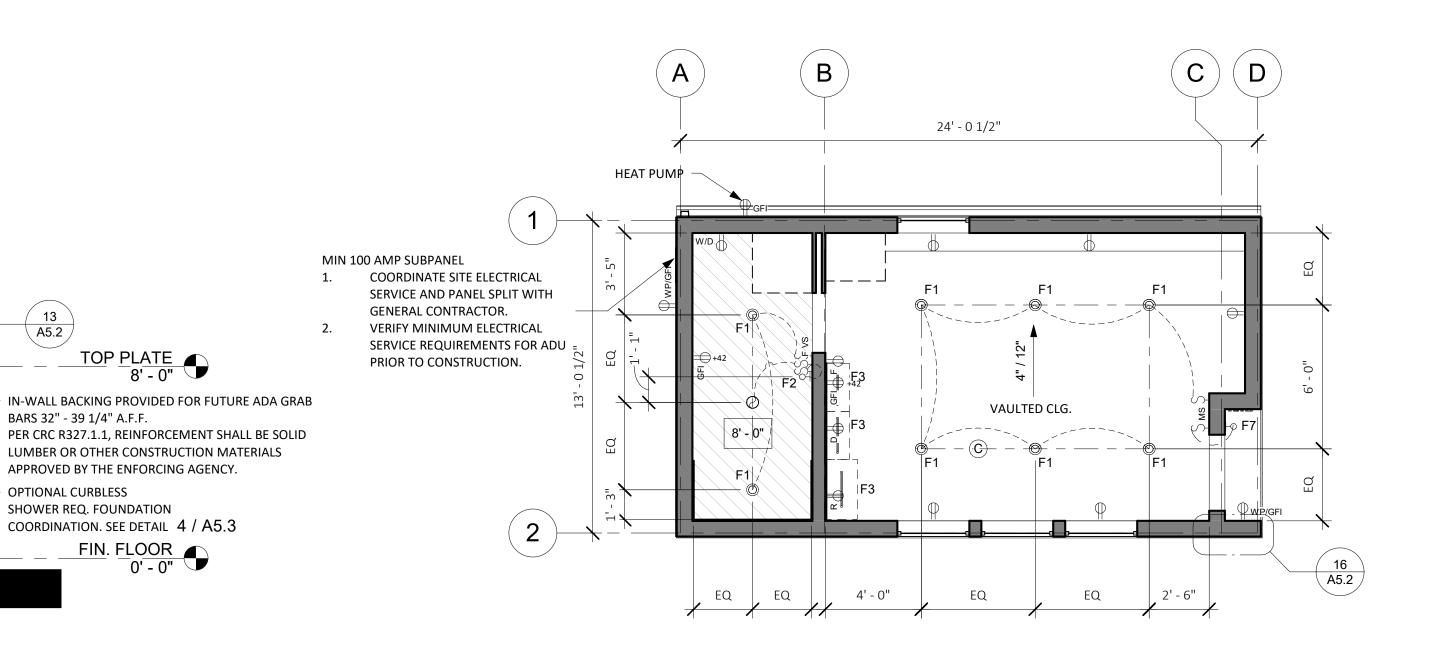
OPTIONAL CURBLESS

SHOWER REQ. FOUNDATION

TOP PLATE 8' - 0"

FIN. FLOOR 0' - 0"

STORAGE ABOVE



1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO 1/4" = 1'-0"

### ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

### ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE

GFCI RECEPTACLE

⇒ 220 VOLT RECEPTACLE OUTLET

DEDICATED OUTLET

RECESSED LED DOWN LIGHT

WALL MOUNT LIGHT

LED STRIP LIGHT

SWITCH

DIMMER SWITCH

3-WAY SWITCH

\$<sub>MS</sub> MOTION-SENSOR SWITCH

∜vs VACANCY SWITCH

⇒F FAN SWITCH/HUMIDITY SENSOR

> SWITCH LEG

WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS** 

8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
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- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

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### REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

### REFLECTED CEILING PLAN NOTES

- OUTDOOR AIR QUALITY IS VERY POOR.
- BATHTUB RIM OR SHOWER STALL THRESHOLD.
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.

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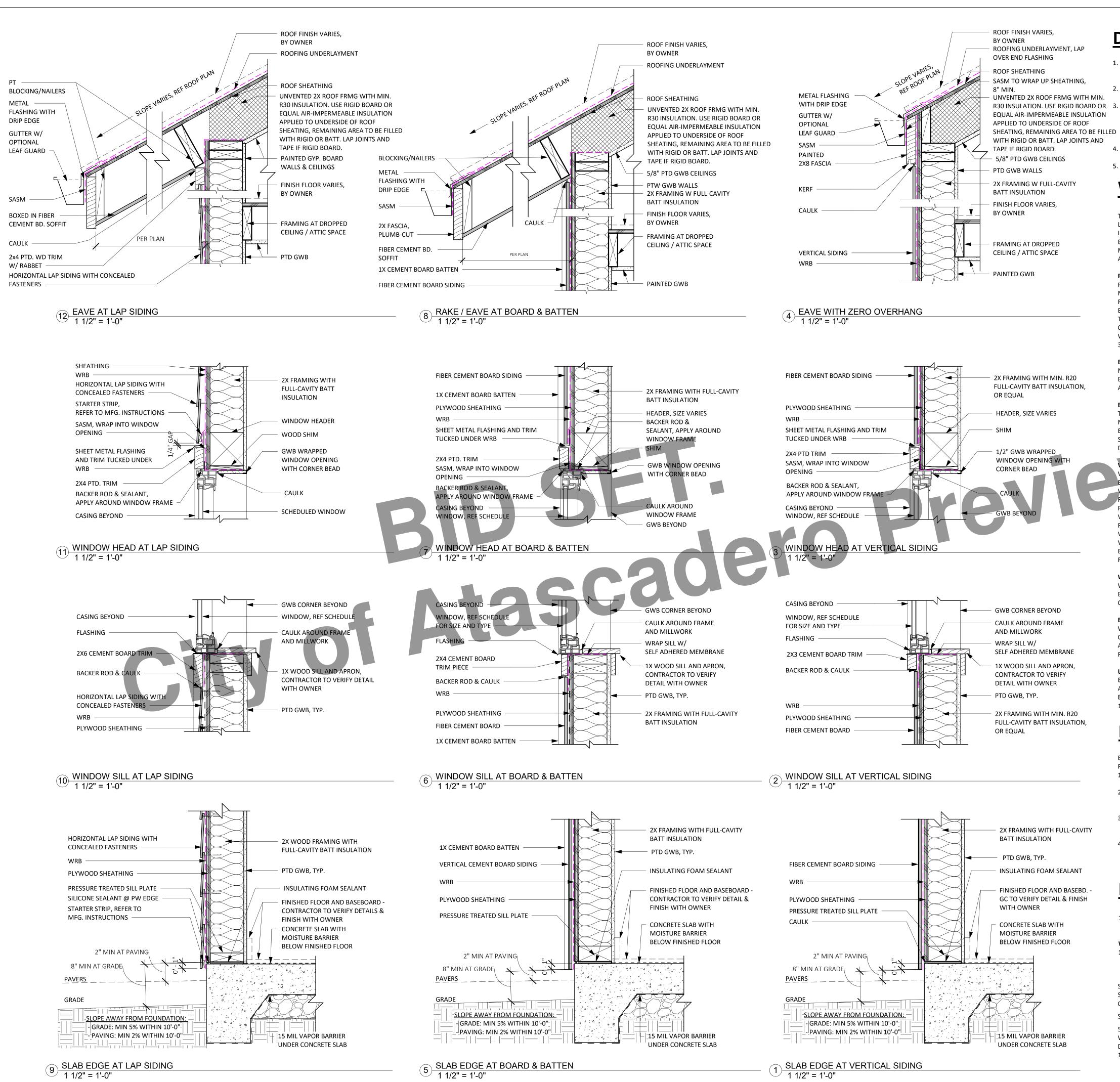
**BUNGALOW -**SECTIONS, ROOF PLAN & RCP

D

3 SECTION A - BEACH BUNGALOW 1/4" = 1'-0"

GREAT

ROOM



<E2>BOARD & BATTEN SIDING

**DETAIL GENERAL NOTES** 

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.

BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]

REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.

REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

### **WUI NOTES**

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

### **PERFORMANCE NOTES**

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

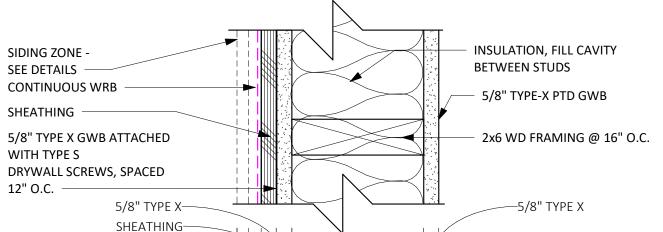
- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

### FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

### WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.129

1 1/2" = 1'-0"



0' - 5 1/2"

0' - 8 3/8"

workbench

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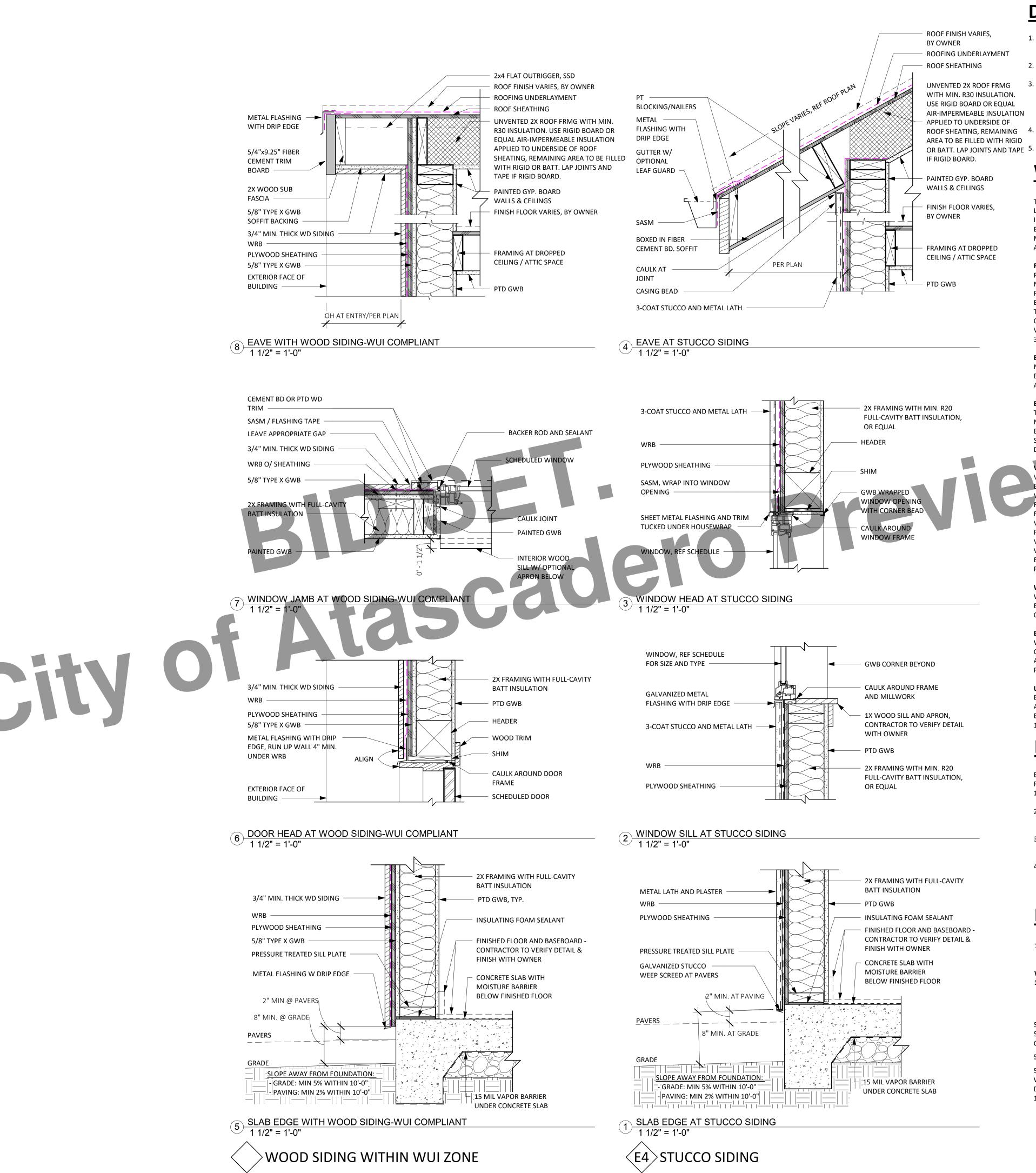
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**ASSEMBLY DETAILS** 

**EXTERIOR WALL** 

<E3>FIBER CEMENT HORIZONTAL LAP SIDING

(E1) FIBER CEMENT VERTICAL SIDING



### **DETAIL GENERAL NOTES**

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.

  PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES
- FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
  REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.

### REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

### **WUI NOTES**

THE WILDLAND—URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY—AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

### VENTS, CBC 706A / CRC R337.

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

### PERFORMANCE NOTES

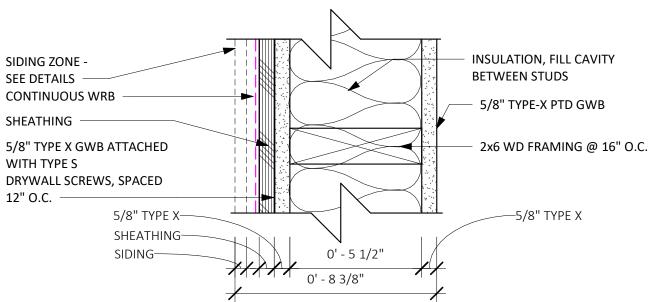
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- 2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

### **FIRE RATING NOTES**

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

### WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12<sup>q</sup>



NOT TO SCALE

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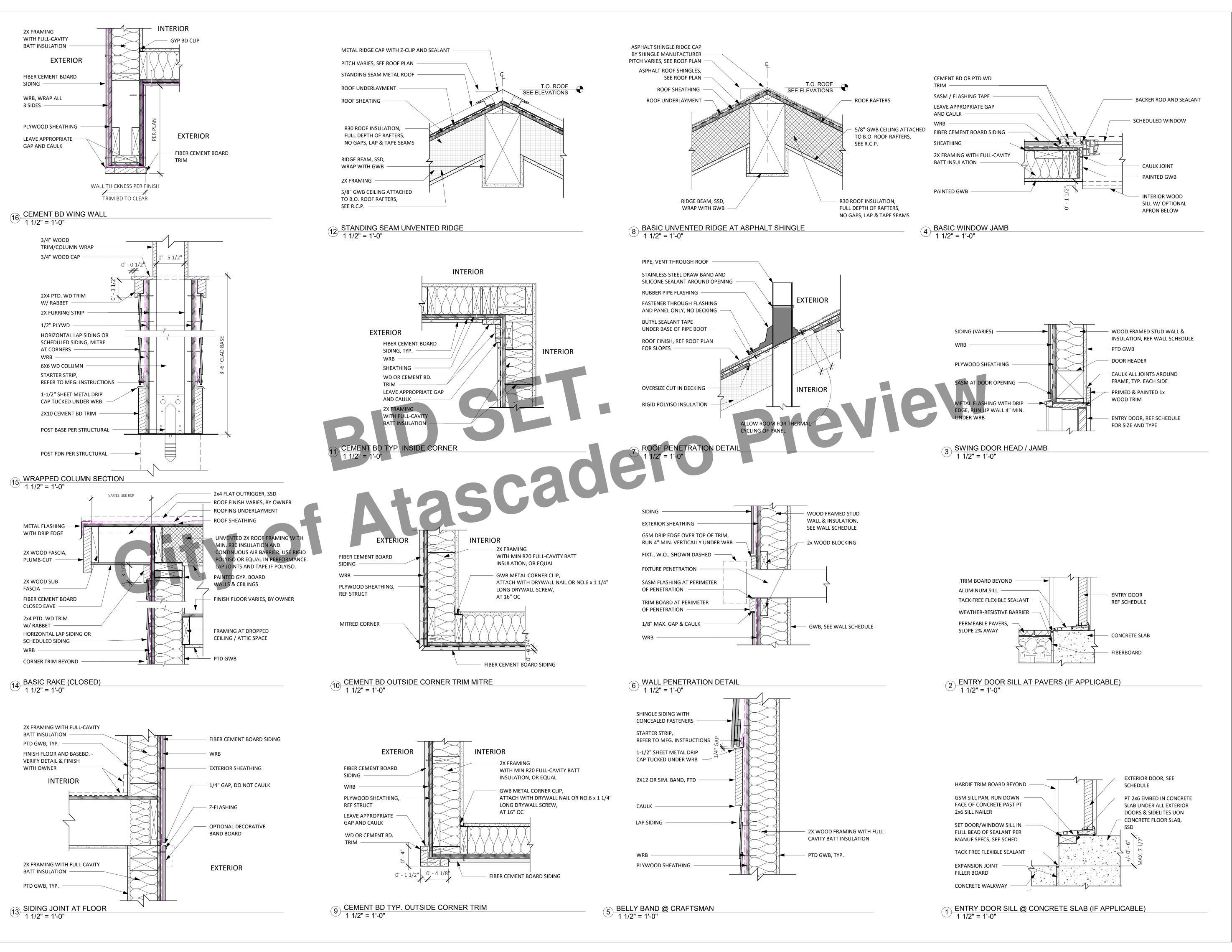
## CENTRAL COAST RE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

: AS NOTED



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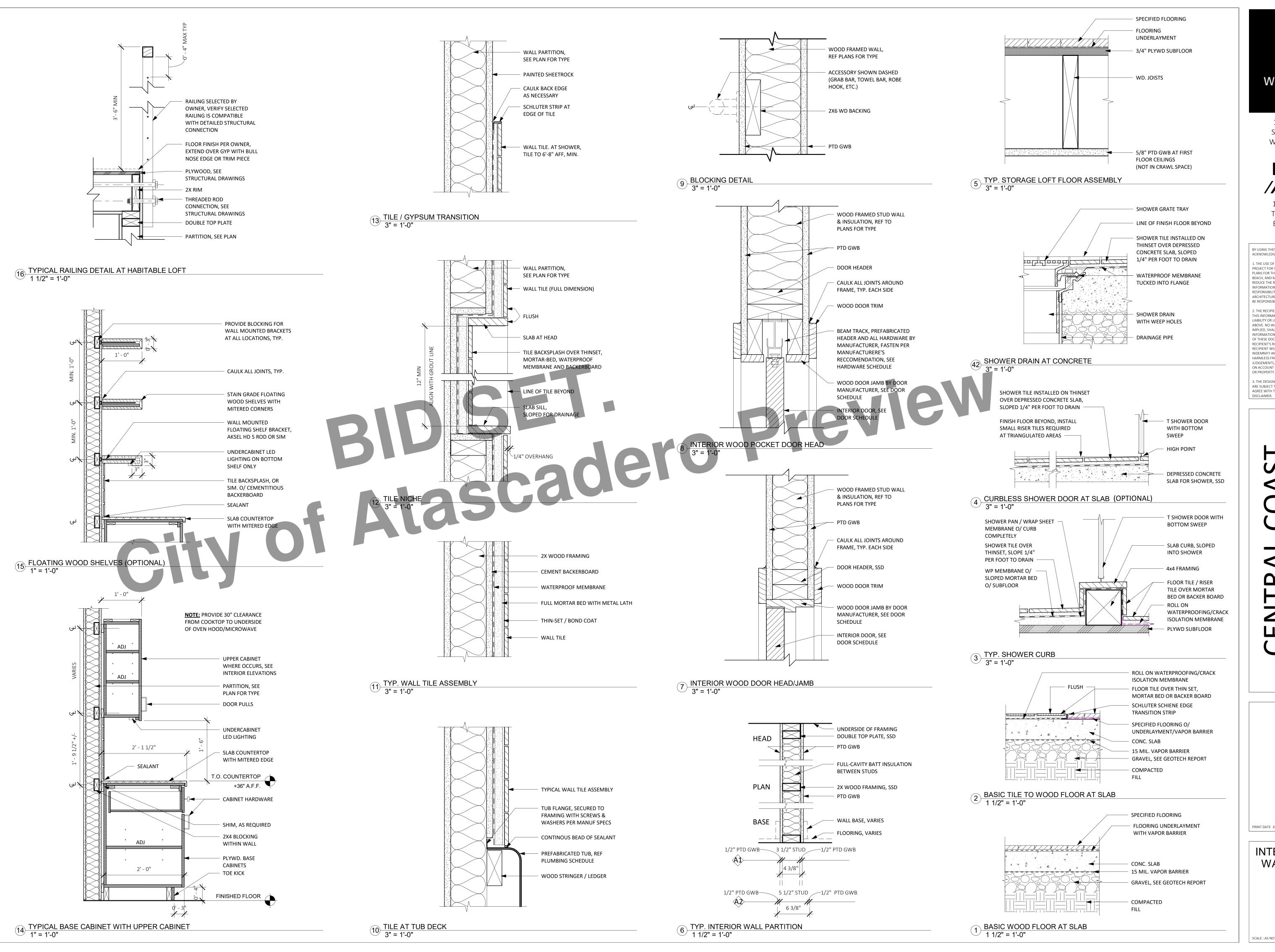
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**EXTERIOR DETAILS** 



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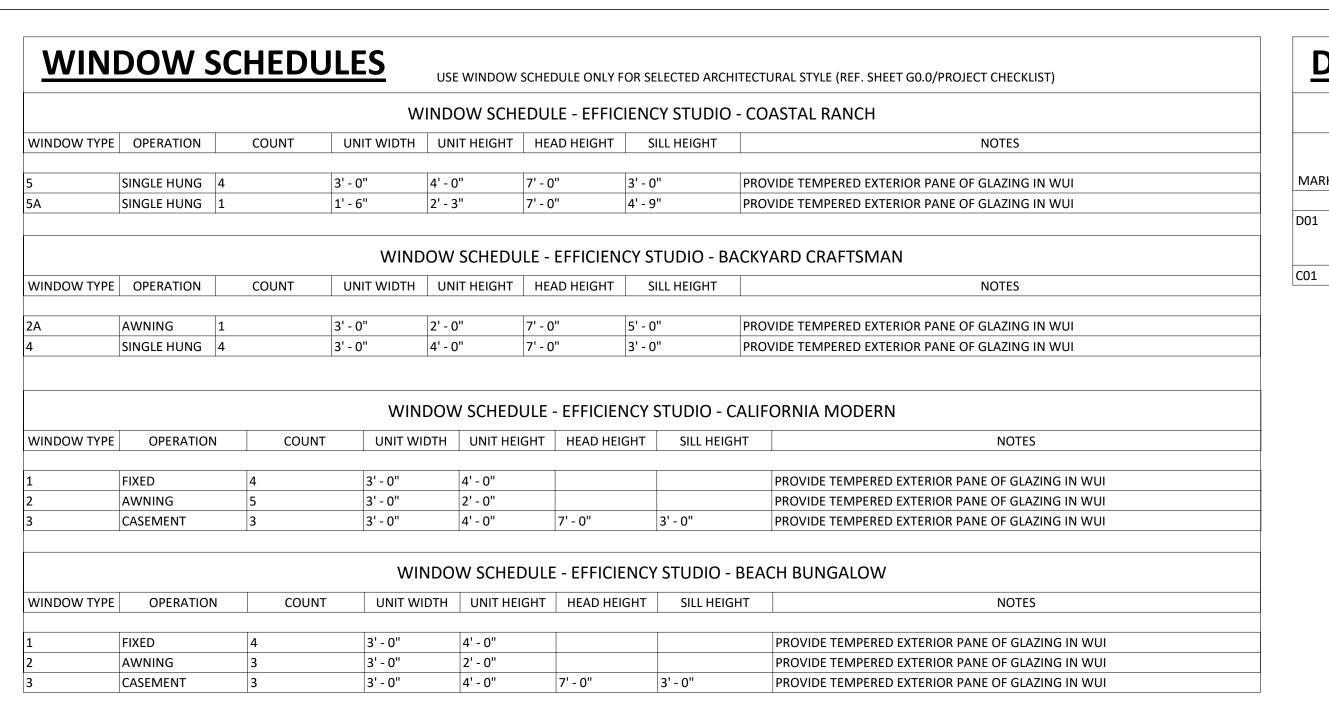
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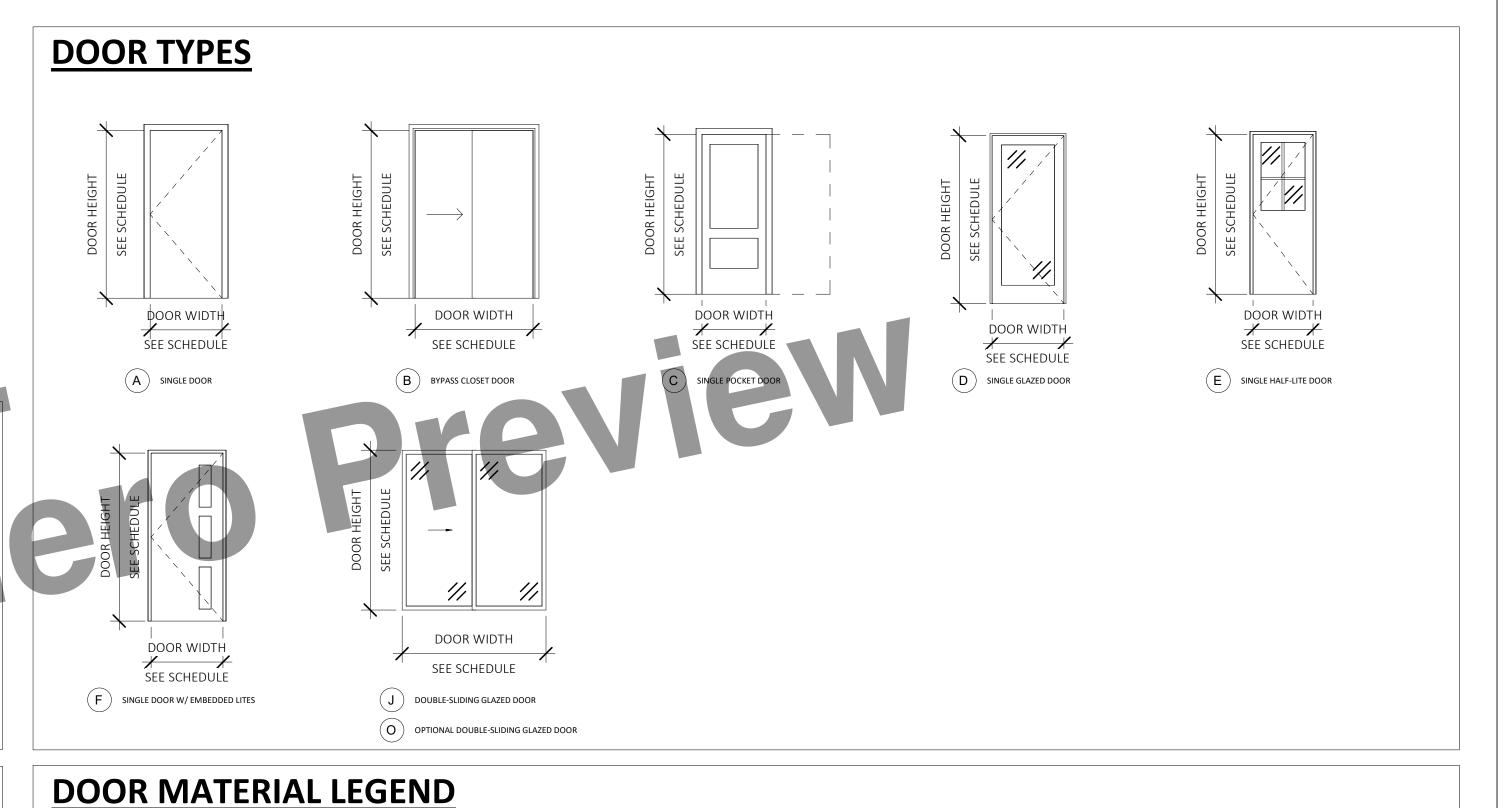
9

PRINT DATE XX.XX.XXXX **INTERIOR DETAILS &** WALL PARTITIONS

A5.3



### **DOOR SCHEDULE** DOOR SCHEDULE - EFFICIENCY STUDIO **DIMENSIONS** MATERIALS DETAILS DOOR DOOR | DOOR | GLAZING | FRAME | FRAME **HARDWARE** DESCRIPTION LOCATION WIDTH UNIT HEIGHT THICKNESS MATERIAL FINISH TYPE MATERIAL FINISH NOTES MARK TYPE HEAD JAMB GROUP D01 A-D-E-F\* EXTERIOR FRONT ENTRY SWING DOOR GREAT ROOM 3/A5.2 OR 3/A5.2 1/A5.2 OR 1 \*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET TEMP 6/A5.1(WUI) 2/A5.2 G0.0. REF. EXT. ELEVATIONS. INTERIOR POCKET DOOR 0' - 1 1/2" SC PTD N/A WD PTD 8/A5.3

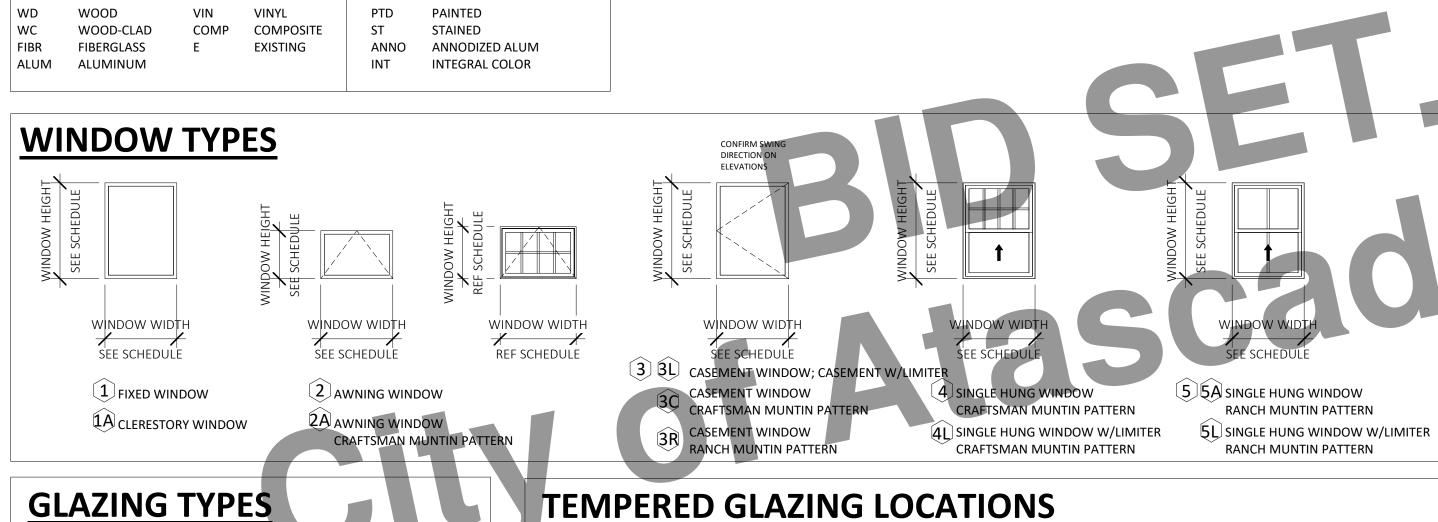


REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC

GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED

GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR



GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:

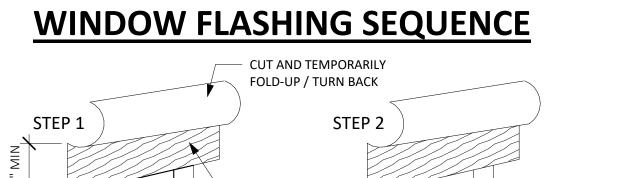
ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE

GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.

THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCES ABOVE THE FLOOR.

THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.

THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.



REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

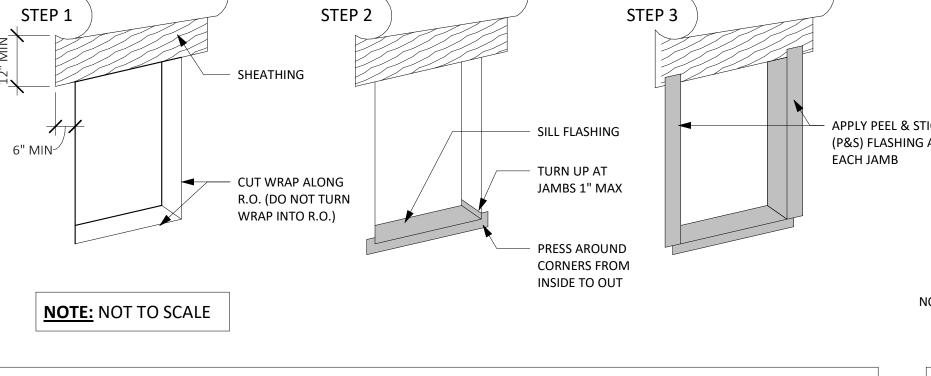
GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU

GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED

WINDOW MATERIAL LEGEND

FRAME FINISH

FRAME MATERIAL



APPLIANCE SCHEDULE - EFFICIENCY STUDIO					
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL		
	STACKING WASHER/DRYER COMBO				
11 11 00.A4	24" DISHWASHER				
11 11 00.A5	24" MINI FRIDGE WITH FREEZER				
11 11 00.A6	12" ELECTRIC COOKTOP RANGE				
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT				

STEP 4  CONTINUOUS CAULKING ALONG HEAD & JAMB  NO CAULK AT SILL	P&S FLASHING OVER NAILING FINS (PRIOR TO HEAD FLASHING INSTALL)	STEP 6  FOLD DOWN WRAP/FELT HEAD FLAP AND TAPE-OFF SEAMS
LIGHTING FIX	TURE SCHEDULE - EFFICIENCY STUDIO	

DOOR MATERIAL

HOLLOW CORE WOOD

SOLID CORE WOOD

**HOLLOW METAL** 

ALUMINUM

**EXISTING** 

DOOR FINISH

ANNO

PAINTED

STAINED

ANNODIZED ALUM

**GLAZING TYPE** 

FACTORS, N.T.E.

LIGHTING FIXTURE SCHEDULE - EFFICIENCY STUDIO					
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT	Comments
					1
-1	LED DOWNLIGHT (LOW PROFILE)			8	EFFICIENCY
=1 =3	LED DOWNLIGHT (LOW PROFILE) UNDERCABINET LED LIGHT			8	EFFICIENCY EFFICIENCY

שטט	UK HAKUW	ARE SCHEDULE	OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENT
GROUP	DESCRIPTION	HARDW	/ARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	

FRAME MATERIAL

ALUM

WOOD

**HOLLOW METAL** 

ALUMINUM

EXISTING

FRAME FINISH

PAINTED

STAINED

ANNODIZED ALUM

PTD

ST

ANNO

PLUMBING FIXTURE SCHEDULE - EFFICIENCY STUDIO						
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH		
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN					
22 40 00.A5						
	TOILET					
	SHOWER OR SHOWER/TUB COMBO					



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### NTRAL COAST DESIGNED ADU

PRINT DATE XX.XX.XXXX

SCHEDULES -EFFICIENCY STUDIO

A6.0

	PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES,	FIELD NAILING	TOP PLATE	MINIMUM FND PLATE	BOTTOM PLATE	ANCH	HOR BOLTS	VABLE R (plf)	
WARK	WATERIAL	COLLECTORS AND TIES (EN)		1 (:()NINI=(:11(			CONNECTION	SIZE	SPACING (O.C.)	ALLOWABLE SHEAR (plf)
$\triangle$	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260	
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380	
$\sqrt{3}$	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490	

### NOTES

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- 4. STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- 6. ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
  7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE
- WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING
- 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.

9.	PLYWOOD MAY BE INSTALLED OVER 5/8'	GYPSUM WALL BOA	ARD WHERE 1-	-HR FIRE RATING IS	REQUIRED. S	EE ARCHITECTURAL
	DWGS FOR FIRE RATING NOTES					

ABBREVIATIONS								
AB Anchor Bolt ABV Above ACI American Concrete Institute ALT Alternate APA American Plywood Association ARCH Architect BD Board BLK(G) Block(ing) BLW Below BM Beam BN Boundary Nailing BP Base Plate BRG Bearing BTWN Between CBC CA Building Code CL Center Line CLG Ceiling CLR Clear, Clearance COL Column CONC Concrete CONC Concrete CONN Connection CONT Continuous CNTR Center CRC CA Residential Code DBL Double DF Douglas Fir DIA  EAA E EA E EN EXT E FA FIR FI FA FI FA FI FA FI	existing each edge Nailing engineer exterior floor foundation face of Concrete face of Stud framing foot or Feet footing falvanized follued Laminated floysum floidown fleader florizontal fleight fle	PLY F PSF F PSI F PTDF F E E E E E E E E E E E E E E E E E E	Plywood Pounds per Square Foot Pounds per Square Inch Preservative Treated Douglas Fir Redwood Reinforcement Required Room Retaining Wall See Architectural Drawings Solid Blocking Square Foot Similar Specifications Square Stainless Steel Standard Steel Skylight Fop and Bottom Fongue and Groove Fop of Concrete Fop of Wall Fhreaded Rod Typical Jnless Noted Otherwise Verify In Field Diameter					

### STRUCTURAL NOTES AND SPECIFICATIONS

### A. DESIGN CRITERIA

- 1. CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (ÇBC)
- 2. FLOOR LIVE LOAD = 40 PSF 3. ROOF LIVE LOAD = 20 PSF

5. SEISMIC DESIGN DATA:

- 4. WIND DESIGN DATA:  $V_{ULT} = 91 \text{ MPH } (V_{ASD} = 71 \text{ MPH}), \text{ EXPOSURE D}$
- SITE CLASS = D (DEFAULT)  $S_S=1.096$ ,  $S_1=0.403$
- SEISMIC DESIGN CATEGORY = D SEISMIC FORCE RESISTING SYSTEM:

### LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5 **B. GENERAL**

- 1. ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING COPE (CBC).  $\chi$
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- 3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- 5. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- 8. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

### C. EARTHWORK

- FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

### D. CONCRET

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

### E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION

### F. WOOD FRAMING

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

### F. WOOD FRAMING (CONTINUED)

- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

CILLO	DTDE NO. 0 OD DETTED
SILLS	
JOISTS, RAFTERS, BEAMS, HEADERS	UP TO 4x - DF NO. 2
	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTE
POSTS AND DOUBLE TOP PLATES	DF NO. 1
GLULAM BEAMS	DF 24F-V4

- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 14. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

TRUCTURAL

NGINEERING

uite 204, Capitola, CA 95010

REVISION SCHEDULE

DATE

7-14-23

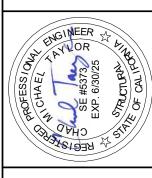


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EVUSING THESE PRE-DESIGNED ADUI PLANS. THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADUI PLANS FOR THE CITIES OF ARRESPONSIBILITY ON THIS PROJECT. WORKBRENCH, BROCKETT ARCHITECTURE, AND ION RESPONSIBILITY ON THIS PROJECT. WORKBRENCH, BROCKETT ARCHITECTURE, AND ION THE JUSTICATOR SHALL NOT BE RESPONSIBLE FOR TRANSLATION.

2. THE RECIPIENT RECOORDIES AND AGKNOWMEDDEST THAT THE USES OF THIS UNBISDICTIONS LISTED ABOVE SHALL WOR LIBEAL FOR PROSESS OF MAPILED, SHALL ATTACH TO THE SUPCONSIBLE. FOR TRANSLATION CHARLAND AND THE OTHER WORKSHALL BE OF THIS RECIPIENT SHOW AND THE INFORMATION CONTAINED. THE RECIPIENT WILL, TO THE FULL LEGAL RESPONSIBILITY, ENTHERINDRE, THE RECIPIENT WILL, TO THE FULL REQUIRENT AND THE DEVINE AND THE RECIPIENT WILL. TO THE FULL REQUIRENT AND THE LOW RESEARCH AND THE RECIPIENT WILL, TO THE FULL REQUIRENT AND THE LOW RESEARCH AND THE CHARLAND AND THE CITIES STATED ABOVE HARMER RESPONSIBILITY, ENRHANDS, JUDGEMENTS, OR COSSTS ARISIS FROM NA COOLUNT OF ANY INJURY, DEATH, DANANGE OR LOSS TO PERSONS OR PROPERTY.



**IRUCTURAL NOTES** 

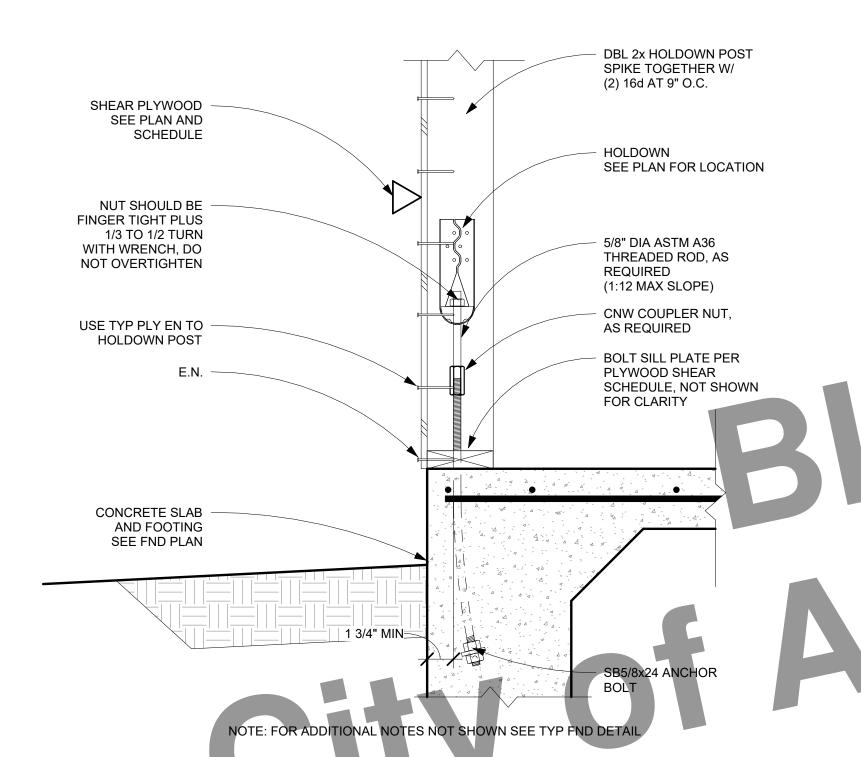
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### NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB



STUD PANEL EDGES

BLOCKING AT OPENING

EN AROUND ALL **OPENINGS** 

WINDOW OPENING

**EN: TYP STAGGER** 

NAILS AROUND

PANEL EDGES

**BLOCKING AT** 

HORIZONTAL

EDGES; TYP

SILL PLATE

2x STUDS TYP

1. INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.

FRAMING

FULL HT EN AT ALL

**HOLDOWNS POSTS** 

HOLDOWN ANCHORS AND POST WHERE OCCURS; SEE

FOUNDATION PLAN SHEET

FINISH FLOOR

2. (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOTCOUNT AS A SILL BOLT.

STUD 1/2" MIN

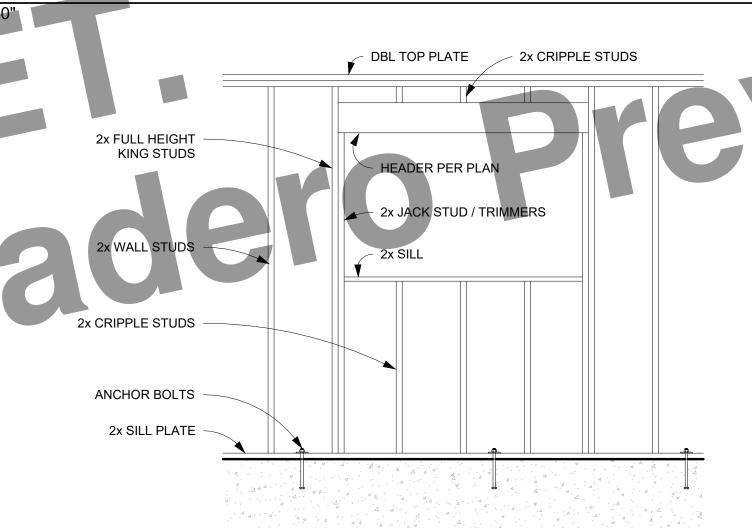
- 3. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL
- 4. SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.

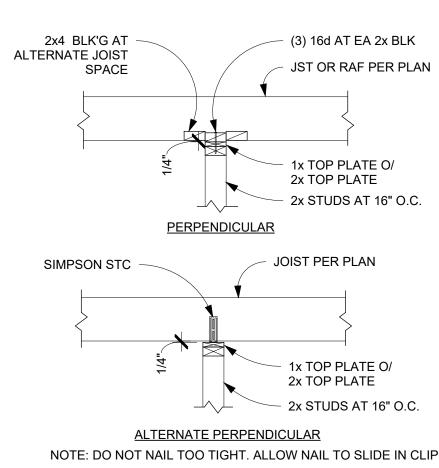
OR NAILING SEE

SHEAR SCHEDULE

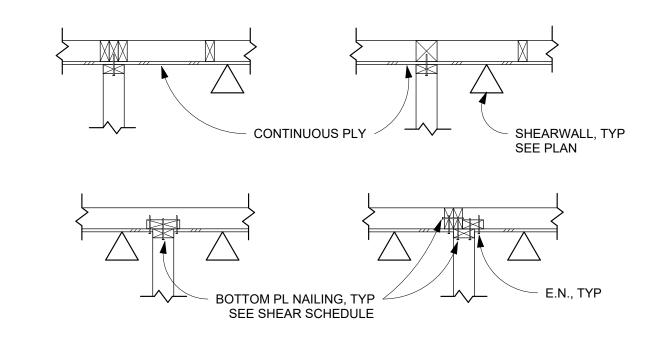
- 5. SEE PLAN FOR SHEARWALL SCHEDULE.
- 6. THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

### TYP SHEAR WALL FRAMING

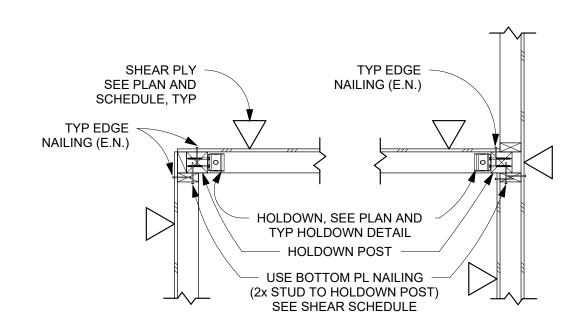




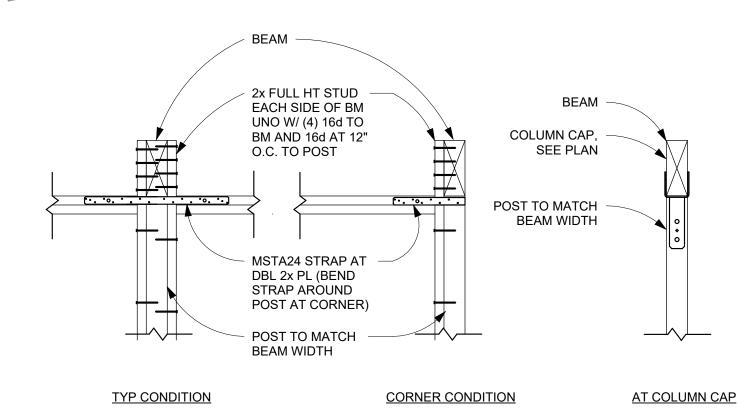
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP



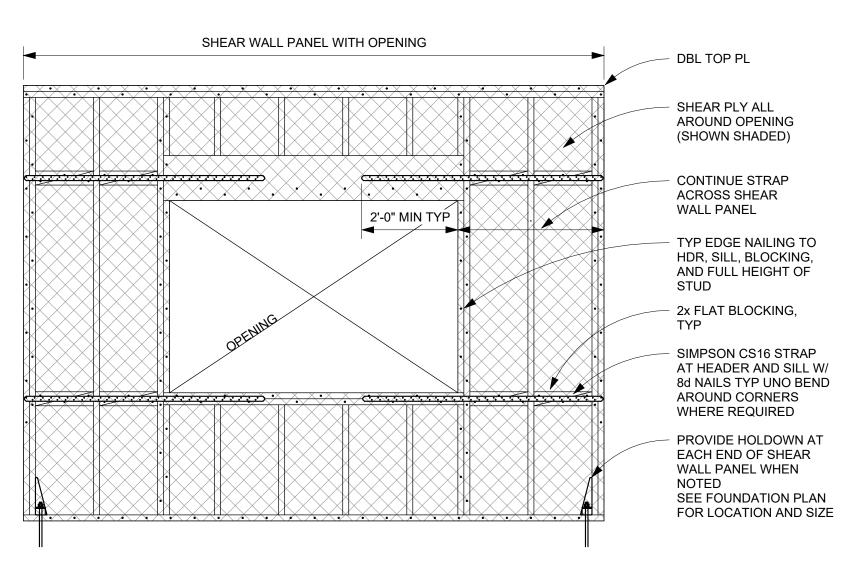
**CONT SHEAR WALL PLAN DETAIL** 



**INTERSECTING SHEAR** WALL AND HOLDOWN POST DETAIL
3/4" = 1'-0"



**TYPICAL POST TO BEAM CONN** 



 PLACE STRAPS OVER PLYWOOD 2. HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

STRAP AROUND OPENING

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SHEAR PLYWOOD SEE PLAN AND SCHEDULE SEE PLAN FOR LOCATION NUT SHOULD BE FINGER TIGHT PLUS 1/3 TO 1/2 TURN 5/8" DIA ASTM A36 WITH WRENCH, DO THREADED ROD, AS NOT OVERTIGHTEN REQUIRED (1:12 MAX SLOPE) USE TYP PLY EN TO AS REQUIRED **HOLDOWN POST** 

TYP HOLDOWN AT PERIM FTG

CNW COUPLER NUT, **BOLT SILL PLATE PER** PLYWOOD SHEAR SCHEDULE, NOT SHOWN FOR CLARITY

DBL 2x HOLDOWN POST SPIKE TOGETHER W/ (2) 16d AT 9" O.C.

SB5/8x24 ANCHOR

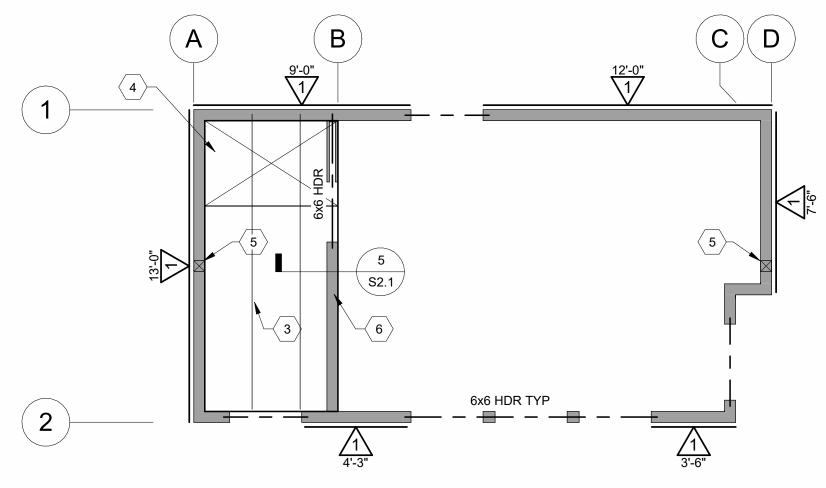
NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE INTERIOR FOUNDATION DTL

TYP HOLDOWN AT INTERIOR FOOTING

S<sub>0.1</sub> 1 1/2" = 1'-0"

TYP WALL FRAMING

S<sub>0.1</sub> 3/4" = 1'-0"



### EFFICIENCY GABLE STUDIO ROOF FRAMING PLAN

NUMBER

ROOF AND CEILING/LOFT FRAMING NOTES

2. ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16

SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END

FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE

6. CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

**EFFICIENCY GABLE** 

ROOF & CEILING FRAMING PLAN KEYNOTES

1. SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.

3. ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER

2x10 RAFTERS AT 24" O.C.

2x8 CEILING JOIST AT 24" O.C.

CEILING PLYWOOD SEE ROOF AND CELING/LOFT FRAMING NOTES

6x6 RIPPED RIDGE POST

### EFFICIENCY GABLE STUDIO CEILING FRAMING PLAN

### KEYNOTE TAG, SEE KEYNOTE TABLES

SHEARWALL TAG

TAG SEE DETAIL 4 / S0.1

### **LEGEND**

SEE HOLDOWN SCHEDULE

PERFORATED SHEARWALL



### **EFFICIENCY GABLE STUDIO FOUNDATION PLAN**

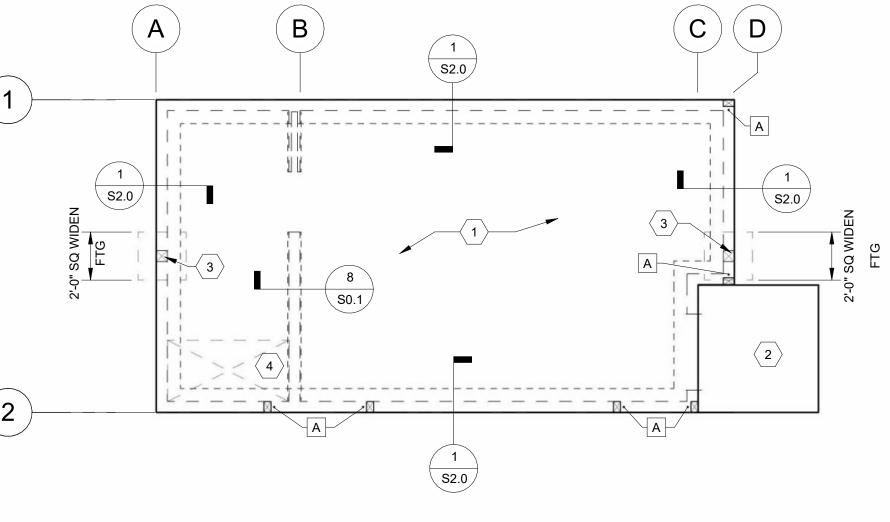
### FOUNDATION PLAN NOTES

- 1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED

### **EFFICIENCY GABLE** FOUNDATION PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

	HOL	.DOWN	N SCHEDULE	
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
Α	HDU2	DBL 2x6	SB5/8x24	9/S0.1
В	HDU4	DBL 2x6	SB5/8x24	9/S0.1
С	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1



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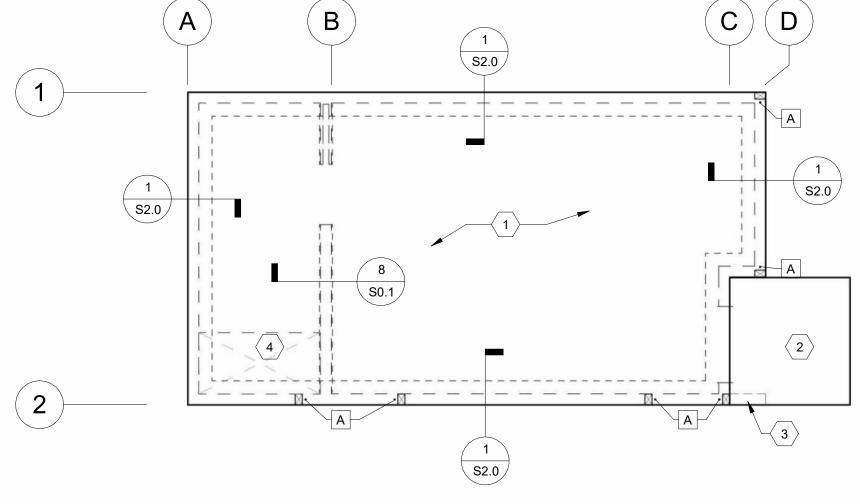
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### **EFFICIENCY MONOSLOPE STUDIO CEILING FRAMING PLAN** EFFICIENCY MONOSLOPE STUDIO ROOF FRAMING PLAN

EFFICIENCY MONOSLOPE

### **EFFICIENCY MONOSLOPE STUDIO FOUNDATION PLAN**

### ROOF AND CEILING/LOFT FRAMING NOTES

- 1. SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- 2. ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END
- 3. ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER

- 6. CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

### KEYNOTE TAG, SEE KEYNOTE TABLES HOLDOWN TAG, SEE HOLDOWN SCHEDULE SHEARWALL TAG PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1

**HOLDOWN POST** 

### **LEGEND**

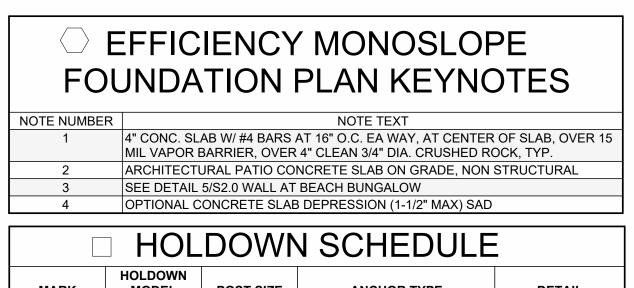
### FOUNDATION PLAN NOTES 1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1

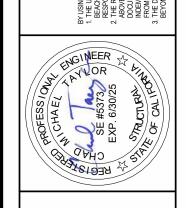
DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S

1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS

	HOL	.DOWN	N SCHEDULE	•
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/\$0.1
В	HDU4	DBL 2x6	SB5/8x24	9/S0.1
С	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/\$0.1

### ROOF & CEILING FRAMING PLAN KEYNOTES CEILING PLYWOOD SEE ROOF AND CELING FRAMING NOTES WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN 6x6 POST 2x TRIMMER WITH DBL 2x KING STUD 2x TRIMMER AND 2x KING STUD HUC66 HANGER





REVISION SCHEDULE

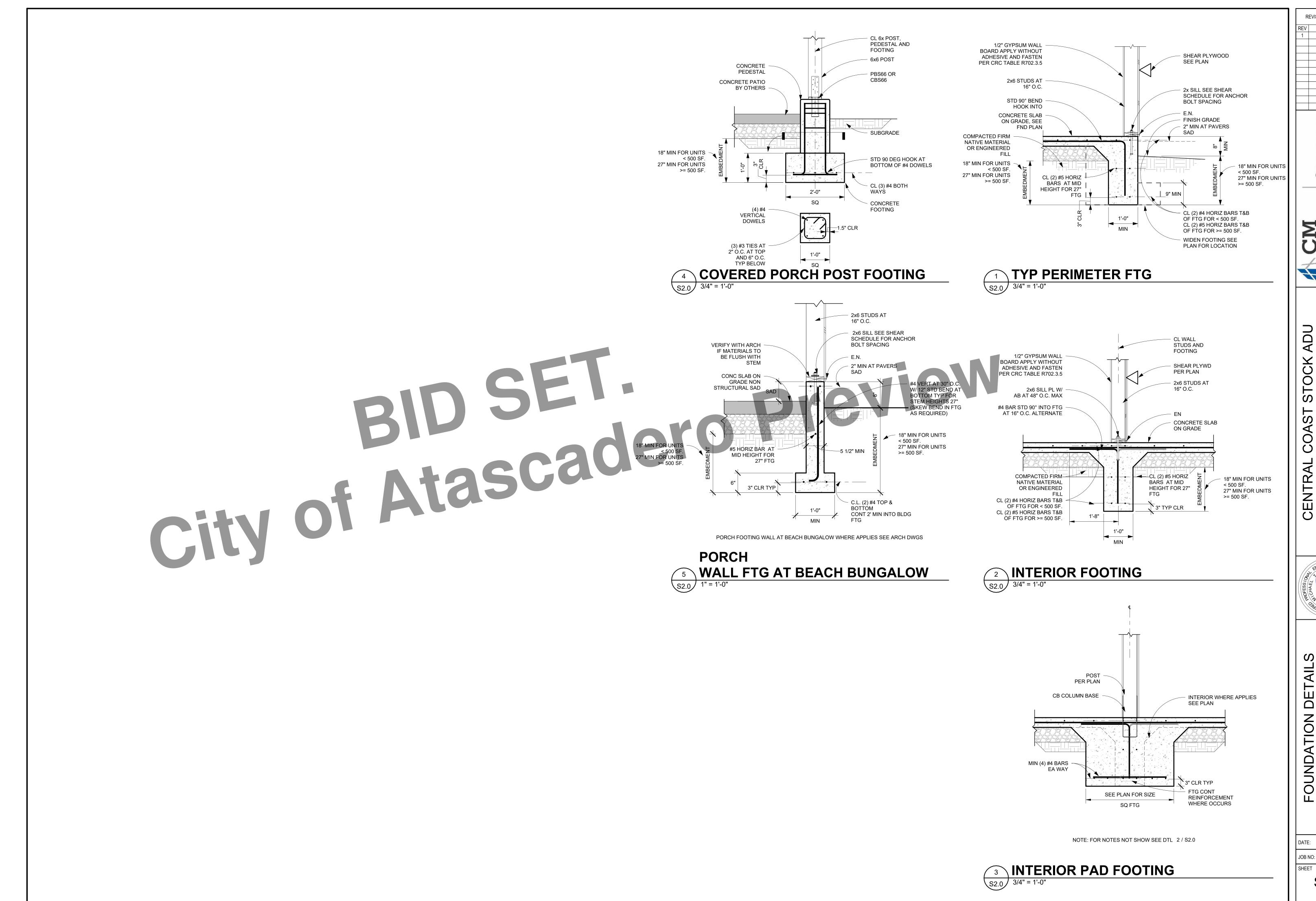
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DATE: 11-18-2022 JOB NO:

SHEET S1.0M



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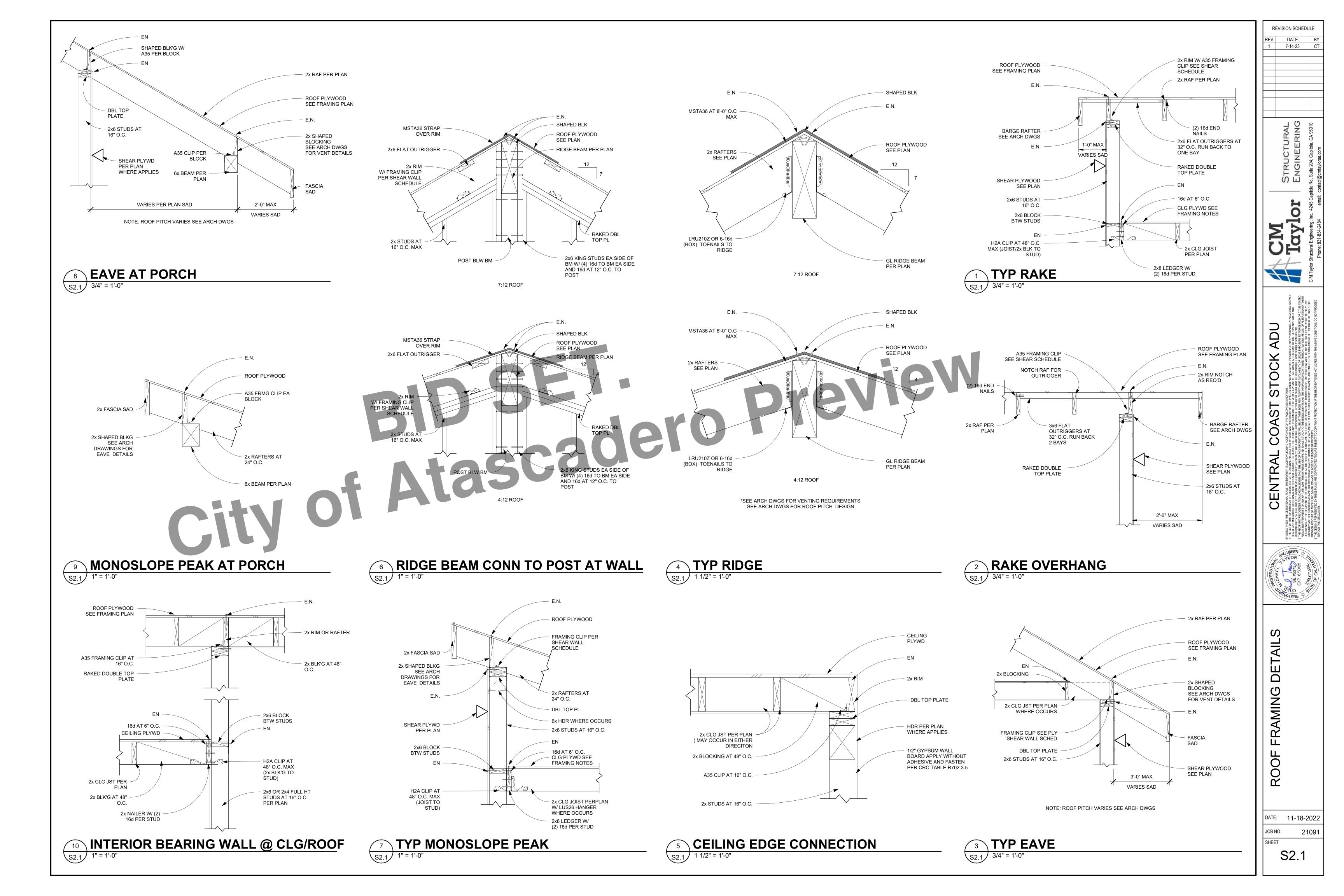
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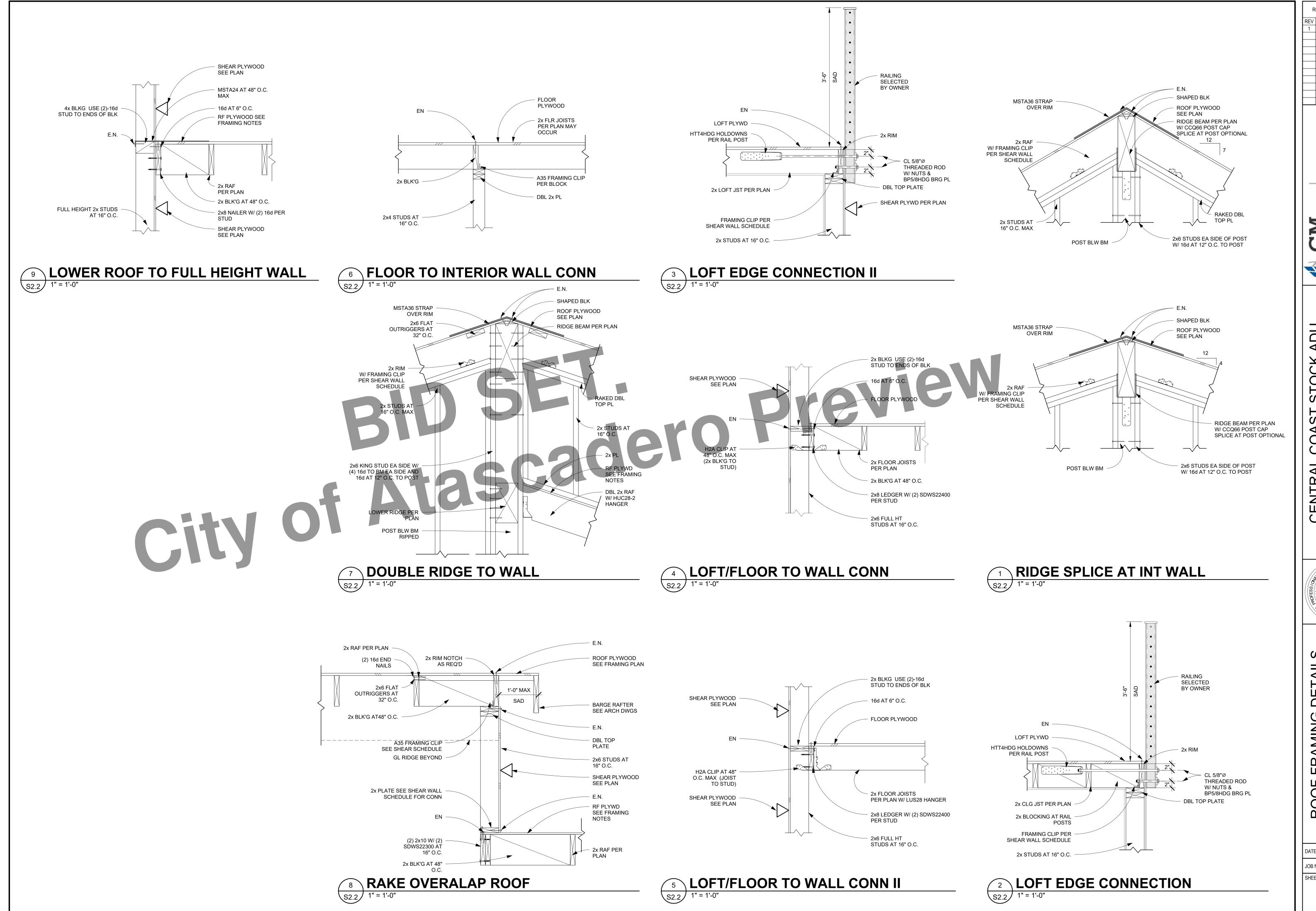
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ATION

DATE: 11-18-2022

S2.0





REVISION SCHEDULE

REV DATE BY
1 7-14-23 CT

STRUCTURAL
ENGINEERING
245 Capitola Rd, Suite 204, Capitola, CA 95010

CM Taylor Structural Engineering, Inc., 4245 Capitola Rd, 8

CENTERAL COASTANT STATE COASTANT STOCK ADD 

RRANTON IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED AND PLANS FOR THE CITIES OF ARROYO GRANDE AT ASCADERO, AY CALFORNIA, THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIEY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND SHE RECOMMENDED AND THE STATE OF THE STATE

PROFESSION CHAEL ON C

F FRAMING DETAILS (CONTINUED)

00)

DATE: 11-18-2022

JOB NO: 21091

SHEET

\$2.2

### SYMBOLS & ABBREVIATIONS (MECHANICAL) ∕ВТ BYPASS TIMER EC ELECTRICAL CONTRACTOR EDB ENTERING DRY BULB CENTER LINE EOD EXTENT OF DEMOLITION ———CD—— CONDENSATE DRAIN ETR EXISTING TO REMAIN EWB ENTERING WET BULB DIAMETER EWT ENTERING WATER TEMPERATURE EXHAUST, RETURN, SUPPLY DEGREES FAHRENHEIT AIR DUCT (EXISTING) FLEXIBLE CONNECTION EXHAUST, RETURN, SUPPLY FD FIRE DAMPER AIR DUCT (NEW) FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER EXTENT OF DEMOLITION FT.HD. FEET HEAD FTR FLUE THRU ROOF UP, DOWN, PENE & DEMO GC GENERAL CONTRACTOR FIRE/SMOKE DAMPER GPM GALLONS PER MINUTE HORSE POWER FIRE DAMPER KW KILOWATTS POINT OF CONNECTION LBS POUNDS LWT LEAVING WATER TEMPERATURE P/T PLUG MBH 1,000 BTU/HR RETURN OR EXHAUST AIR \_\_\_\_\_ MC MECHANICAL CONTRACTOR RETURN DUCT (N) NEW UP, DOWN, PENE & DEMO NIC NOT IN CONTRACT NTS NOT TO SCALE SPEED CONTROL SWITCH OBD OPPOSED BLADE DAMPER SPIN-IN EXTRACTOR/DAMPER OSA OUTSIDE AIR SUPPLY DUCT PC PLUMBING CONTRACTOR UP, DOWN, PENE \$ DEMO PENE PENETRATION SUPPLY OR OUTSIDE AIR PD PRESSURE DROP PH PHASE T THERMOSTAT at + 48" POC POINT OF CONNECTION X X X TO BE REMOVED P/N PART NUMBER \_\_\_\_ TRANSFER AIR PRV PRESSURE REDUCING VALVE PSI POUNDS PER SQUARE INCH $\leftarrow$ TURNING VANES P/T PRESSURE / TEMPERATURE VOLUME DAMPER RA RETURN AIR RAD RETURN AIR DUCT (RL) RELOCATE RPM REVOLUTIONS PER MINUTE SUPPLY AIR ACCESS DOOR SAD SUPPLY AIR DUCT ABOVE FINISH FLOOR SD SUPPLY DIFFUSER ACOUSTICALLY LINED SP STATIC PRESSURE ACCESS PANEL 55 STAINLESS STEEL BD BALANCING DAMPER STD STANDARD BDD BACKDRAFT DAMPER TV TURNING VANES BHP BRAKE HORSE POWER TYP TYPICAL BETWEEN JOIST UCD UNDERCUT DOOR BTU BRITISH THERMAL UNIT UON UNLESS OTHERWISE NOTED CONDUIT VOLT CA COMBUSTION AIR VD VOLUME DAMPER CD CONDENSATE DRAIN VIF VERIFY IN FIELD CFM CUBIC FEET PER MINUTE W/ WITH DEMO DEMOLITION WC WATER COLUMN DOOR LOUVER WEIGHT **EXISTING** (E) W/O WITH OUT EAD EXHAUST AIR DUCT

### GENERAL MECHANICAL NOTES

- I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES. AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- 2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- 3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- 7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE I " ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR
- 8. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES
- 9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- IO. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- II. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- 13. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- 14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO
- 15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO
- SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DN, WELDING AND PAINTING SHALL BE IN ACCORDANC STITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO
- VINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- T BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- 20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA
- 21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118
- 22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- 23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

### CVM/ROLG & ARRDEN/IATIONIC (PLLIM/RINIC)

SYMBO	LS & ABBREVIATI	ONS	(PLUMBING)
SYMBO  SYMBO	BALANCING COCK BALL VALVE CAP CHECK VALVE CLEANOUT DOMESTIC COLD WATER (EXISTING) DOMESTIC COLD WATER (NEW) DOMESTIC HOT WATER (EXISTING) DOMESTIC HOT WATER (NEW) DOMESTIC HOT WATER RETURN (EXISTING) DOMESTIC HOT WATER RETURN (EXISTING) DOMESTIC HOT WATER RETURN (EXISTING) DOMESTIC HOT WATER RETURN (NEW) DIRECTION OF FLOW	AFF AP BV CA CB CD CFH CI CP DCW DHW DHWR DCV DN DS DSP (E) EC EL	ABOVE FINISH FLOOR ACCESS PANEL BALL VALVE COMPRESSED AIR PIPING CATCH BASIN CONDENSATE CUBIC FEET PER HOUR CAST IRON CHROME PLATED DOMESTIC COLD WATER DOMESTIC HOT WATER DOMESTIC HOT WATER RETL DETECTOR CHECK VALVE DOWN DOWN SPOUT DRY STAND PIPE EXISTING ELECTRICAL CONTRACTOR ELEVATION
DSP	DRY STANDPIPE	(F)	FIRE SPRINKLER PIPING
—— FL——	FIRE SPRINKLER PIPING	FC	FLEX CONNECTOR
	FLANGED UNION	FCO FD	FLOOR CLEANOUT FLOOR DRAIN
	FLOOR DRAIN	FL	FIRE LINE
	FLOOR SINK	FM	FORCE MAIN
FM	FORCE MAIN	FS	FLOOR SINK
G	GAS PIPING (EXISTING)	FSC GC	FIRE SPRINKLER CONTRACTO GENERAL CONTRACTOR
_	GAS PIPING (NEW)	GCO	GROUND CLEANOUT
—— G ——	, ,	GPM	GALLONS PER MINUTE
	GAS COCK	HB	HOSE BIBB
	GATE VALVE	HWS IE:	HOT WATER SUPPLY INVERT ELEVATION
	GLOBE VALVE	LAV	LAVATORY
<del></del>	HOSE BIBB (3/4" MIN.)	МС	MECHANICAL CONTRACTOR
	PETES PLUG	NPW	NON POTABLE WATER
	PIPE (ABOVE THE CEILING)	(N) OFD	NEW OVERFLOW DRAIN
$\times$	PIPE HANGER	PC	PLUMBING CONTRACTOR
<u> </u>	PIPE TURNING UP (RISE)	PIV	POST INDICATION VALVE
<u></u>	PIPE TURNING DOWN (DROP)	POC POD	POINT OF CONNECTION POINT OF DEMOLITION
$\overline{}$	PIPE TEE DOWN	PP	PETES PLUG
—DD	PRESSURE REDUCING VALVE	PRV	PRESSURE REDUCING VALVE
<b>^</b> -	T & PRV RELIEF VALVE	PVC	POLYVINYL CHLORIDE PIPE
	POINT OF CONNECTION TO EXISTING	RD RPBFP	ROOF DRAIN BACKFLOW PREVENTOR REDUCED PRESSURE
RWL—	RAIN WATER LEADER (EXISTING)	RWL	RAIN WATER LEADER
	DAINI MATER LEADER	lan	STORM DRAIN

REDUCER

STRAINER

UNDERGROUND (NEW)

WATERHAMMER ARRESTOR

TRAP PRIMER (TP)

UNION

---- VENT PIPING (EXISTING)

---- WASTE PIPING (EXISTING) ---- (N) WASTE PIPING (NEW)

STORM DRAIN (EXISTING)

STORM DRAIN (NEW)

— — — — — SUB-SOIL PIPING

----- VENT PIPING (NEW)

——II——

ROOF DRAIN

STORM DRAIN

TRAP PRIMER

VALVE BOX

VTR VENT THRU ROOF

WASTE

VERIFY IN FIELD

WATER CLOSET

WALL CLEANOUT

WATER HEATER

WATER METER

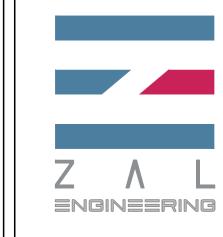
WATER HAMMER ARRESTOR

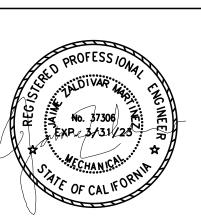
SHUTOFF VALVE

SANITARY SEWER

### GENERAL PLUMBING NOTES

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- 2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- 6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- 7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- IO. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- II. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- 12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS, ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO
- 13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- 14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- 15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
  - CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.





### GENERAL

l			
	NO.	DESCRIPTION	DATE
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	ENGINE	EER BY:	
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HE USE OF THESE PLANS AND SPECIFICATIONS 5 RESTRICTED TO THE ORIGINAL SITE FOR MICH THEY WERE PREPARED, AND UBLICATION THEREOF IS EXPRESSILY LIMITED O SUCH USE, RE-USE, REPRODUCTION OR JBLICATION BY ANY METHOD IN WHOLE OR IN ART IS PROHIBITED. TITLE TO THE PLANS AND PECIFICATIONS REMAINS WITH THE

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
- 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
- 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

OU	ITDOOR	UNIT											
	CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
				SEER					(LBS)	LEVELING		SERVED	
	OU-I	MITSUBISHI	MXZ-2C2ONA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
	OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
	OU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	

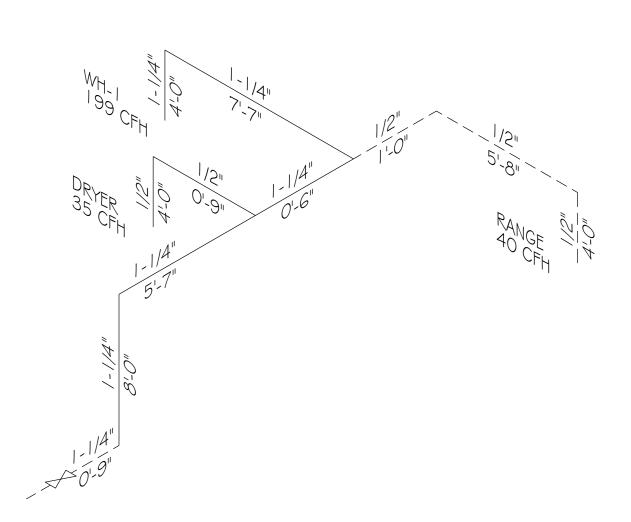
INDOO	R UNIT SCH	IEDULE																		
CODE	MFR	MODEL		SUPPLY FAN	1	E	ELECTRICAL COOLING COIL				HEATING COIL						COMMENTS			
			CFM	ESP (ın)	BHP	V/PH	MCA	MOCP	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-I	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	I	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	I	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1
NOTES:	I. PROVIDE CON	IDENSATE PUMP. RL	JN CD & D	ISCHARGE II	N APPROV	ED LOCATIO	ON.													

ODE	MFR	MODEL	CFM	ESP (ın)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							HP		ISOLATORS	(LBS)			
EF-I	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	115/1	7	9.5	BATHROOMS	0.8	1

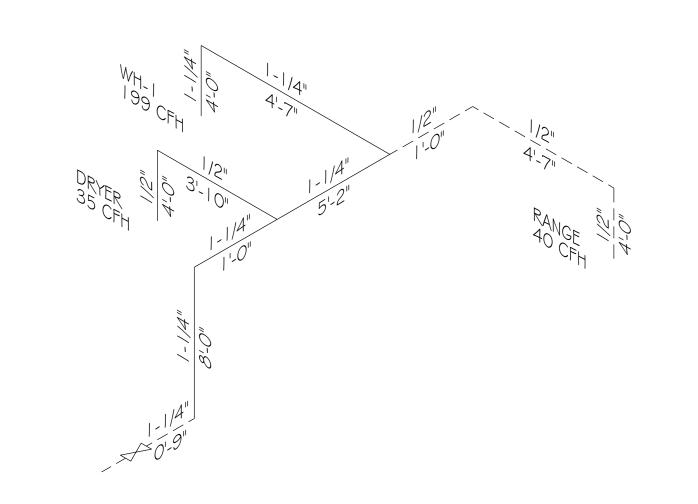
CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE			MIN. ROUGH	-IN CONN (IN)		LOCATION	REMARKS
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW		
L- I	LAVATORY	_	_	_	•	2	11/2	1/2	1/2	BATHROOMS	I.2 GPM
BT-1	BATHTUB	_	•	-	_	2	11/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD
WC-I	WATER CLOSET	_	_	•	_	3	2	1/2	-	BATHROOMS	1.28 GPF
SK-I	KITCHEN SINK	_	_	•	_	2	11/2	1/2	1/2	KITCHENS	I.8 GPM
CWB- I	WASHER	_	_	-	•	2	11/2	1/2	1/2	CLOSETS	W/ WHA
HB-I	HOSE BIB	_	_	_	•		-	1/2		EXTERIOR WALLS	

WATER HE	EATER SCHEDU	LE													
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG	REMARKS	
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.			
WH-I	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	1	64	26.4	RU199e	RINNAI	UEF: 0.93	
EWH-I	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE40T OHS45	RHEEM	DUCT HEAT REJECTION TO OL	JTSIDE
								11							

GAS ISOMETRIC DIAGRAM - ONE \$ TWO BEDROOMS







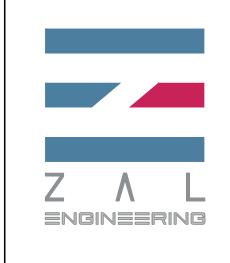
GAS ISOMETRIC DIAGRAM - EFFICIENCY

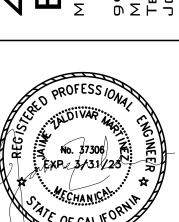
BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

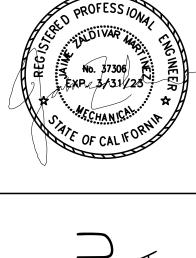
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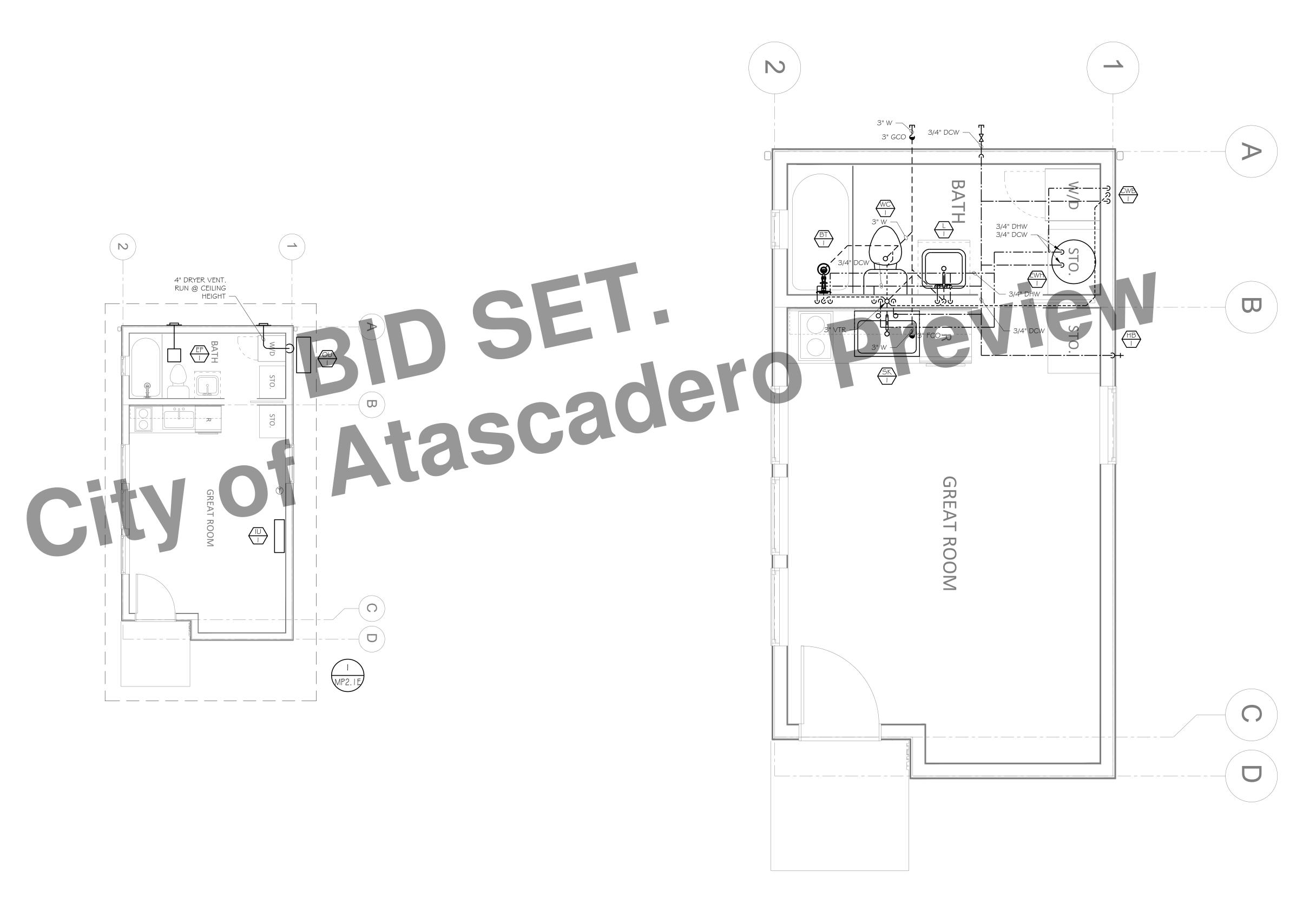


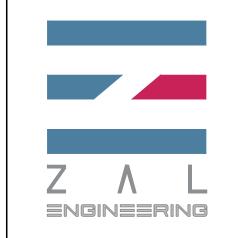
SCHEDULES # GAS DIAGRAMS MECHANICAL & PLIMBING

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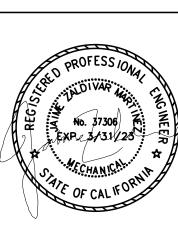
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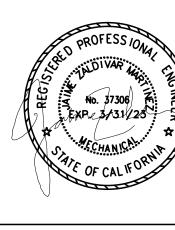
DRAWN BY:





ZAL
ENGINEERING
MECHANIGAL CONSULTANTS
99 PACIFIC ST, STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



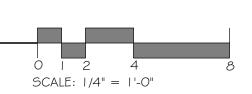


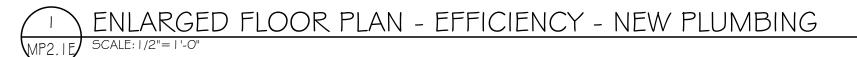
EFFICIENCY MECHANICAL & PLUMBING PLANS - E

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TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE SINGINEER AND VISUAL CONTACT WITH THEM CONSTITUDES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.





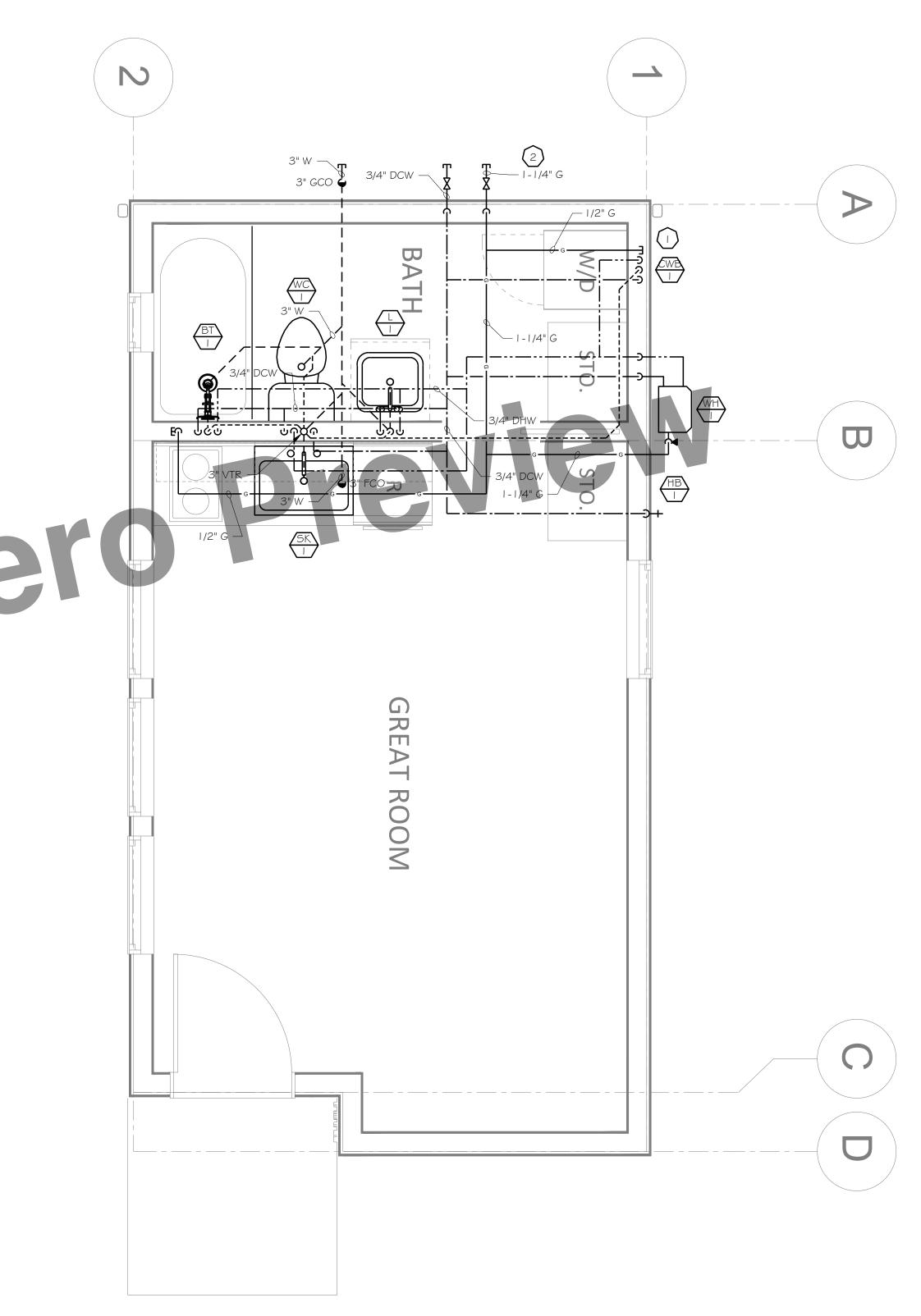


SCALE: 1/2" = 1'-0"



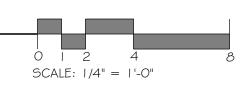
I. STUB OUT FOR FUTURE CONNECTION.

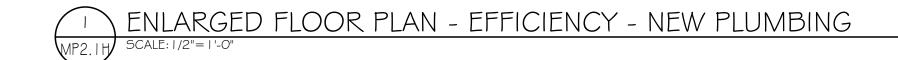
GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

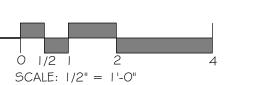


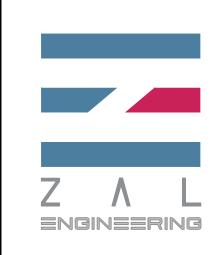
4" DRYER VENT. RUN @ CEILING HEIGHT — 

FLOOR PLAN - EFFICIENCY - NEW MECHANICAL















EFFICIENCY MECHANICAL & PLUMBING PLANS - H

	NO.	DESCRIPTION	DA				
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	DRAWN BY:						
	CHECK	ED BY:					

CF1R-PRF-01-E

Status

New

Tilt (deg)

n/a

n/a

Cool Roof

Exterior Shadin

Bug Screen

CF1R-PRF-01-E

(Page 4 of 12)

(Page 7 of 12)

Jaime Zaldivar, F contact@zalengineering.c 831-641-773 ZAL (zalengineering.co



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SHEET OF THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR UBLICATION BY ANY METHOD IN WHOLE OR IN ART IS PROHIBITED. TITLE TO THE PLANS AND PECIFICATIONS REMAINS WITH THE NGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE CCEPTANCE OF THESE RESTRICTIONS.

CF1R-PRF-01-E CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: 2023-08-25T17:29:49-05:00 (Page 9 of 12) Project Name: Central Coast ADU EF Calculation Date/Time: 2023-08-25T17:29:49-05:00 Input File Name: 1\_EF\_E\_CZ4.ribd22x Calculation Description: Title 24 Analysis Input File Name: 1\_EF\_E\_CZ4.ribd22x FENESTRATION / GLAZING

80 06 Edge Insul. R-value Edge Insul. R-value Carpeted Fraction Heated and Depth and Depth 0 100% No none 100% Lateral 2 Wall 0.27 NFRC NFRC Bug Screen 0.27 NFRC NFRC Bug Screen Window 5 | Window | Lateral 1 Wall 2 | 06 07 05 Interior / Exterior

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

dard Design (kBtu/ft<sup>2</sup> - yr )

44.86

44.86

13.02

. Gross EUI is Energy Use Total (not including PV) / Total Building Area.

2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107153A-000-000-000000-0000

Project Name: Central Coast ADU EF

Calculation Description: Title 24 Analysis

Standard Design

North Facing

East Facing

South Facing

West Facing

Standard Design PV Capacity: 1.54 kWdc

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Source Energy

(EDR1)

31.2

30.6

30.3

Efficiency EDR includes improvements like a better building envelope and more efficient equipment <sup>2</sup>Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries

Proposed PV Capacity Scaling: North (1.54 kWdc) East (1.54 kWdc) South (1.54 kWdc) West (1.54 kWdc)

30.3

Project Name: Central Coast ADU EF

Net EUI<sup>2</sup>

ENERGY USE INTENSITY

Calculation Description: Title 24 Analysis

Assembly Layers

Inside Finish: Gypsum Board

Cavity / Frame: R-24 / 2x6

Exterior Finish: 3 Coat Stucco

Roofing: Light Roof (Asphalt Shingle)

Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Over Ceiling Joists: R-28.9 insul.

Cavity / Frame: R-9.1 / 2x4

Inside Finish: Gypsum Board

CFM50

Report Generated: 2023-08-25 15:30:29

Tilt: (x in

Number of Ventilation

HERS Provider:

Report Generated: 2023-08-25 15:30:29

Cooling Systems

Number of Water

Heating Systems

CalCERTS inc.

CF1R-PRF-01-E

(Page 3 of 12)

CalCERTS inc.

CF1R-PRF-01-E

(Page 6 of 12)

Annual

Roof Deck: Wood

OPAQUE DOORS Side of Building Area (ft<sup>2</sup>) Front Wall

	10		The second second	- 100 L	Company of the Compan	1000	On 600 600		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1				
VERHANGS AND FINS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
			Overhang				Left	Fin			Righ	t Fin	
Window	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Тор Uр	Dist L	Bot Up	Depth	Тор Uр	Dist R	Bot Up
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

Registration Number: 223-P010107153A-000-000-0000000-0000 2023-08-25 17:19:50 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

10.16

42.47

10.63

Registration Date/Time:

**Energy Design Ratings** 

Efficiency<sup>1</sup> EDR

(EDR2efficiency)

42.7

34.8

38.6

35.5

35.8

Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-08-25 17:19:50

Input File Name: 1\_EF\_E\_CZ4.ribd22x

Total<sup>2</sup> EDR

(EDR2total)

33.8

29.4

31.4

29.7

29.9

Proposed Design

RESULT<sup>3</sup>: PASS

Calculation Date/Time: 2023-08-25T17:29:49-05:00

Source Energy

(EDR1)

1.4

0.6

0.9

0.9

Calculation Date/Time: 2023-08-25T17:29:49-05:00

2.86

2.39

2.39

HERS Provider:

Compliance Margins

Efficiency<sup>1</sup> EDR

(EDR2efficiency)

7.9

4.1

7.2

6.9

Report Generated: 2023-08-25 15:30:29

Input File Name: 1\_EF\_E\_CZ4.ribd22x

Proposed Design (kBtu/ft<sup>2</sup> - yr ) Compliance Margin (kBtu/ft<sup>2</sup> - yr )

			Lateral 1 Wal	I		R					
-	04		Lateral 2 Wal	ı	l Efficiency						
U-f	actor		Lateral 1 Wall	2		Efficiency	R				
	).5		Lateral 2 Wall	2		Efficiency	R				
			Back Wall			Efficiency	R				
			Roof			Efficiency	R-38				
12	13	14	Roof 2		Efficiency		R-38				
Righ	t Fin										
Тор Up	Dist R	Bot Up	ATTIC								
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0	0	0	Name	c						onstruction	
0	0	0	Attic Efficienc	y Attic		RoofEfficiency	Vŧ				
		<u> </u>	FENESTRATION /	GLAZIN	IG						
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0	0	0	Name	Туре		Surface	Orientatio				
		•	Window	Wir	ndow	Lateral 1 Wall	Back				
der: nerated: 202	23-08-25 15	CalCERTS inc. 5:30:29	Registration Num	22		07153A-000-000-000 andards - 2022 Re					

CF1R-PRF-01-E

(Page 5 of 12)

6.38

15.28

5.19

5.33

18.36

CalCERTS inc.

CF1R-PRF-01-E

(Page 2 of 12)

Total<sup>2</sup> EDR

(EDR2total)

4.4

2.4

4.1

3.9

CF1R-PRF-01-E

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ration Number: 223-P010107153A-000-000-000000-0000 ding Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Zone Type

Conditioned

Efficiency

03

**HVAC System Name** 

OU-11

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-38 Roof Attic

R-38 Roof Attic

Ventilated

Project Name: Central Coast ADU EF

ZONE INFORMATION

Zone Name

Efficiency

OPAQUE SURFACES

Front Wall

Calculation Description: Title 24 Analysis

Schema Version: rev 20220901

CalCERTS inc. Report Generated: 2023-08-25 15:30:29

SHGC Source

NFRC

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000

Calculation Date/Time: 2023-08-25T17:29:49-05:00

Avg. Ceiling Height

Gross Area (ft<sup>2</sup>)

202.03

59.88

Roof Emittance

0.85

U-factor

0.27

U-factor Source

NFRC

Water Heating System 1

DHW Sys 1

Window and Door

Area (ft2)

n/a

Radiant Barrier

n/a

Input File Name: 1\_EF\_E\_CZ4.ribd22x

Zone Floor Area (ft<sup>2</sup>)

261.91

Right

Front

Back

n/a

n/a

0.65

180

270

e n/a ⊕

Width Height (ft) Mult.

Roof Rise (x in 12) Roof Reflectance

	CERTIFICATE OF COMP	LIANCE - RESIDENTIAL PERFO	RMANCE COMPLIANCE METH	OD			CF1R-PRF-01-E
	Project Name: Central	Coast ADU EF		Calculation Date/Time	: 2023-08-25T17:29:49-05:00		(Page 4 of 12)
	Calculation Description	n: Title 24 Analysis		Input File Name: 1_EF	_E_CZ4.ribd22x		
	ENERGY USE SUMMARY						
	Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
	Space Heating	0.38	1.68	3.71	30.8	-3.33	-29.12
	Space Cooling	2.18	57.76	0.51	24.16	1.67	33.6
V	IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
	Water Heating	7.14	77.34	4.93	57.5	2.21	19.84
	Self Utilization/Flexibility Credit				0		0
	South Facing Efficiency Compliance Total	10.37	143.97	9.82	119.65	0.55	24.32
	Space Heating	0.38	1.68	3.47	28.28	-3.09	-26.6

Space Heating	0.38	1.68	3.71	30.8	-3.33	-29.12
Space Cooling	2.18	57.76	0.51	24.16	1.67	33.6
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.93	57.5	2.21	19.84
Self Utilization/Flexibility Credit				0		0
South Facing Efficiency Compliance Total	10.37	143.97	9.82	119.65	0.55	24.32
Space Heating	0.38	1.68	3.47	28.28	-3.09	-26.6
Space Cooling	2.18	14 57.26 R S		27.89	1.51	29.87
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.92	57.31	2.22	20.03
Self Utilization/Flexibility Credit				0		0
West Facing Efficiency Compliance Total	10.37	143.97	9.73	120.67	0.64	23.3

Registration Number:	Registr
223-P010107153A-000-000-0000000-0000	· ·
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report
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Registration Date	2/ IIme:
	2023-08-25 17:19:50
Report Version:	2022.0.000
Schema Version:	rou 20220001

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 15:30:29

CERTII	FICATE OF COMPLIANCE - RESIDENTIAL P	ERFORMANCE COMPLIANCE METHOD			CF1R-PRF-01-E	
Projec	t Name: Central Coast ADU EF		Calcul	ation Date/Time: 2023-08-25T17:29:49-05:00	(Page 1 of 12)	
Calculation Description: Title 24 Analysis				Input File Name: 1_EF_E_CZ4.ribd22x		
GENER 01	RAL INFORMATION Project Name	Central Coast ADU EF				
02	Run Title	Title 24 Analysis				
03	Project Location	_				
0.4	Cit.	At	O.E.	Standards Version 2022		

GENERAL INFORMATION												
01	Project Name	Central Coast ADU EF										
02	Run Title	Title 24 Analysis										
03	Project Location	_										
04	City	Atascadero	05	Standards Version	2022							
06	Zip code	93423	07	Software Version	EnergyPro 9.0							
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	All orientations							
10	Building Type	Single family	11	Number of Dwelling Units	1							
12	Project Scope	Newly Constructed	13	Number of Bedrooms	1							
14	Addition Cond. Floor Area (ft <sup>2</sup> )	0	15	Number of Stories	1							
16	Existing Cond. Floor Area (ft <sup>2</sup> )	n/a	17	Fenestration Average U-factor	0.27							
18	Total Cond. Floor Area (ft²)	261.91	19	Glazing Percentage (%)	20.00%							
20	ADU Bedroom Count	0/8										
			Profession of									
СОМРІ	LIANCE RESULTS											
	01 Building Complies with Computer	Performance P P P		OVIDER								

COMPLIANCE RE	SULTS
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number:	
	223-P010107153A-000-000-0000000-0000

CalCERTS inc.

Registration Number: 223-P010107153A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider:

Report Generated: 2023-08-25 15:30:29

Registration Date/Time: Report Version: 2022.0.000

HERS Provider: 2023-08-25 17:19:50

ENERGY USE SUMMARY Standard Design Source Standard Design TDV Energy Proposed Design Source Proposed Design TDV Energy Compliance Energy Use Energy (EDR1) (kBtu/ft<sup>2</sup>-yr) (EDR2) (kTDV/ft<sup>2</sup> -yr) Energy (EDR1) (kBtu/ft<sup>2</sup> -yr) (EDR2) (kTDV/ft<sup>2</sup> -yr) Margin (EDR1) Margin (EDR2) Space Heating 3.17 0.38 26.19 -2.79 -24.51 Space Cooling 2.18 57.76 0.57 26.45 1.61 31.31 7.19 0.67 7.19 Water Heating 7.14 77.34 4.92 57.39 2.22 19.95 Self Utilization/Flexibility Credit North Facing 143.97 Efficiency Compliance Space Heating 0.38 1.68 3.55 29.72 -3.17 -28.04 Space Cooling 2.18 57.76 0.9 35.81 1.28 21.95 IAQ Ventilation 0.67 0.67 7.19 7.19 0 0 7.14 77.34 4.91 57.31 2.23 20.03 Water Heating Utilization/Flexibility

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Efficiency

Efficiency

Surface Type

Exterior Walls

Attic Roofs

Ceilings (below

Quality Insulation Installation (QII) High R-value Spray Foam Insulation

Registration Number: 223-P010107153A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03

Standard (14-17%)

04

Array Type

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

03

Area (ft<sup>2</sup>)

202.03

59.88

Construction Type

Wood Framed Wal

Ceiling

Not Required

Perimeter (ft)

18.83

Framing

2x6 @ 16 in. O. C.

2x4 @ 24 in. O. C.

2x4 @ 24 in. O. C.

Building Envelope Air Leakage

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

N HERS PROVIDER

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

Continuous

R-value

None / 0

None / None

Calculation Date/Time: 2023-08-25T17:29:49-05:00

Number of Zones

Calculation Date/Time: 2023-08-25T17:29:49-05:00

2023-08-25 17:19:50

Input File Name: 1\_EF\_E\_CZ4.ribd22x

Input File Name: 1\_EF\_E\_CZ4.ribd22x

CFM50

R-value

R-38

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2022.0.000

Schema Version: rev 20220901

Project Name: Central Coast ADU EF

SLAB FLOORS

Name

Slab-on-Grade

Slab-on-Grade 2

R-21 Wall

Attic RoofEfficiency

R-38 Roof Attic

BUILDING ENVELOPE - HERS VERIFICATION

Project Name: Central Coast ADU EF

REQUIRED PV SYSTEMS

DC System Size

(kWdc)

1.54

REQUIRED SPECIAL FEATURES

Window overhangs and/or fins

Quality insulation installation (QII)

Airflow in habitable rooms (SC3.1.4.1.7)

Verified heat pump rated heating capacity

Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5)

Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

010107153A-000-000-0000000-0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Indoor air quality ventilation

Verified Refrigerant Charge

Pipe Insulation, All Lines

Project Name: Central Coast ADU EF

Calculation Description: Title 24 Analysis

Verified SEER/SEER2

Verified HSPF

Calculation Description: Title 24 Analysis

02

OPAQUE SURFACE CONSTRUCTIONS

Calculation Description: Title 24 Analysis

East Facing Efficiency 10.37 143.97 10.03 0.34 13.94 130.03 Compliance Total

Registration Number: Registration Date/Time: HERS Provider: 223-P010107153A-000-000-0000000-0000 2023-08-25 17:19:50 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 15:30:29 Schema Version: rev 20220901

CalCERTS inc.

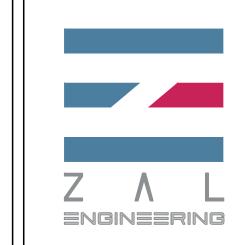
CA Building Energy Efficiency Standards - 2022 Residential Compliance

Schema Version: rev 20220901

CalCERTS inc. Report Generated: 2023-08-25 15:30:29

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



# BID SET. City of Atascadero Preview

Project Name: Central Coast ADU EF	Calculation Date/Time: 2023-08-25T17:29:49-05:00 (Page 12 of 12						
Calculation Description: Title 24 Analysis	Input File Name: 1_EF_E_CZ4.ribd22x						
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT							
I. I certify that this Certificate of Compliance documentation is accurate and complete.							
Documentation Author Name:  Jaime Zaldivar	Documentation Author Signature:						
Company: ZAL Engineering	Signature Date: 2023-08-25 17:19:50						
Address: 99 Pacific St, Ste 375G	CEA/ HERS Certification Identification (If applicable): M37306						
City/State/Zip: Monterey, CA 93940	Phone: 831-641-7739						
RESPONSIBLE PERSON'S DECLARATION STATEMENT	•						
	Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. e are consistent with the information provided on other applicable compliance documents, worksheets,						
Company:	Date Signed: 2023-08-25 17:19:50						
ZAL Engineering	License:						
Address: 99 Pacific St, Ste 375G	M37306						

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Easy to Verify at CalCERTS.com Registration Number: 223-P010107153A-000-000-0000000-0000 Registration Date/Time: HERS Provider: 2023-08-25 17:19:50

Report Version: 2022.0.000

Schema Version: rev 20220901

CalCERTS inc.

Report Generated: 2023-08-25 15:30:29

CERTIFICATE OF CO			NTIAL PER	FORMAN	ICE CO	OMPLIANC	МЕТН		lation	Date/	Time: 2	N 2 3 - N 8 -	.25T17	:29:49-05	·00			CF1R-PRF-01-E
Calculation Descrip			sis							_	1_EF_E_			.25.45 05	.00			(. age 11 0: 11)
HVAC - HEAT PUMPS																		
01	02		03	04		05	06	07	08		09	10		11	1	.2	13	
	:			Cooling														
Name	Name System Type		Number of Units	Efficie Typ		HSPF / HSPF2 / COP	Cap 47	Cap 17		fficiency SEER / Type SEER2	EER EER CEE	/   c	Zonally ontrolled	Compressor Type		HERS	HERS Verification	
Heat Pump System 1	VCHP-ductl	ess	1	HSF	řF	11.8	10900	9400	EERSE	ER	24.6	15.	4 1	Not Zonal	1	igle eed		Pump System ers-htpump
IVAC HEAT PUMPS -	HERS VERIFICA	ATION	A															
01	02		03	3		04		05		06			07		08			09
Name	Verified Air	flow	Airflow	Target	Verif	fied EER/EEF	12	Verified SEER/SEER2	Verified Refrigerant Charge		ant	Verified HSPF/HSPF2		Verified Heating Cap 47		۱ ا	erified Heating Cap 17	
Heat Pump System 1-hers-htpump	Not Requi	red	0			Required		Required			Yes		Ye	s		Yes		Yes
ARIABLE CAPACITY	HEAT PUMP C	OMPLIA	NCE OPTIO	N - HERS V	ERIFIC	ATION								)				
01		6	02	03	5	G 04	5	05	P	06	TP	07	543	08	ı	09		10
Name		Certi Low-S VCHP S		Static Habitable		Ductless Units in Conditioned Space		Wall Mount Thermostat	&am	Air Filter Sizing & Drop Rating		Conditioned		Minimum Airflow per RA3.3 and SC3.3.3.4.1		Certified non-continuous Fan		Indoor Fan not Running Continuously
Heat Pump Sy:	stem 1	Not r	equired	Require	ed	Require	d	Required	No	ot requ	iired	Not req	uired	Not req	uired	Not requ	iired	Not required
NDOOR AIR QUALIT	Y (IAQ) FANS																	
01	02		03	3		04		05	$\top$		06	$\top$	0	7		08		09
Dwelling Unit	Dwelling Unit Airflow (CFM)		Fan Efi (W/C		IA	Q Fan Type		Includes Heat/Energy Recovery?	Ef		Recovery eness - S			s Fault Display?	HERS	Verification	1	Status
SFam IAQVentRpt	23		0.3	15		Exhaust		No			n/a		N	o	Yes			
Registration Number	R	Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901					HERS Provider:  CalCERTS Report Generated: 2023-08-25 15:30:29				CalCERTS inc 5 15:30:29							

-	ntral Coast ADU EF  ption: Title 24 Analy	<i>y</i> sis			-	: 2023-08-25T17:2 _E_CZ4.ribd22x	9:49-05:00	(Page 10 of 12)
WATER HEATING SYS		1	1		1			
01	02	03	04	05	06 Solar Heatir	ng Compa	08	. Water Heater
Name	System Type	Distribution Type	Water Heater Name	Number of Units	System	Distribut	I HERS Varities	tion Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	HERS Verified Pip Insulation credit		1	n/a	None	DHW Sys 1-hers-dhv	
VATER HEATERS - N	EEA HEAT PUMP							
01	02	03	04	4	05	06	07	08
Name # of Unit		Tank Vo	. (gal) NEEA Hea		Heat Pump Model	Tank Location	Duct Inlet Air Source	ce Duct Outlet Air Source
DHW Heater 1	1	40	Rhe	em RheemX	E40T10H22U 0	Outside	Efficiency	Efficiency
VATER HEATING - H	ERS VERIFICATION	1/26	Call			Inc.	•	
01	o.	2	03	04		05	06	07
Name	Pipe Ins	ulation	Parallel Piping	Compact Distribution	1 1	Distribution Frype	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/	1 Requ	ired	Not Required	Not Required	N	lone	Not Required	Not Required
PACE CONDITIONIN	IG SYSTEMS			;				
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Nan	e Heating Equipment Count	Cooling Unit Name	Cooling Equips Count	ment Fan Nar	me Distribution N	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump Syster 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Schema Version: rev 20220901



EFFICIENCY T24 FORMS ELECTRIC

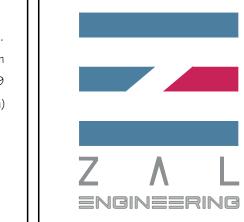
NO.	DESCRIPTION	DATE
I		
2		
3		
4		
ENGINE	EER BY:	
DRAWI	N BY:	

CHECKED BY:

THE USE OF THESE PLANS AND SPECIFICATIONS S RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE SINGINEER AND VISUAL CONTACT WITH THEM CONSTITUDES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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> Jaime Zaldivar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



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ENGINEERING

\_

DESCRIPTION ENGINEER BY: DRAWN BY:

CHECKED BY:

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CERTIFICATE OF	COMPLIANC	CE - RESIDENTI	AL PERFORMA	NCE CO	MPLIAN	NCE ME	THOD							c	F1R-PRF-01-E
Project Name: C	entral Coast	ADU EF						Calcula	ation Date,	/Time: 202	3-08-25T17:42	2:27-05:00			(Page 8 of 12)
Calculation Desc	ription: Title	e 24 Analysis						Input F	ile Name:	1_EF_H_C2	4.ribd22x				
FENESTRATION /	GLAZING														
01	02	03	04	0	5	06	07	08	09	10	11	12	13		14
Name	Туре	Surface	Orientation	Azin	nuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC So	ource Ex	terior Shading
Window 5	Window	Lateral 1 Wall	2	22	25	1.5	3	1	4.5	0.27	NFRC	0.4	NFRO	С	Bug Screen
							L	1							
OPAQUE DOORS															
	01			ı	02					03				04	
	Name			Side of	Building	g				Area (ft <sup>2</sup> )			U-f	factor	
	Door			Fror	nt Wall					21				0.2	
OVERHANCE AND	FINE	,						•				•			
OVERHANGS AND 01	FINS	02	03 04		05	0	<u> </u>	07	08	09	10	11	12	13	14
01		02	Overh		- 03					eft Fin	10	11		ht Fin	14
Windo	v	Depth	ist Up Left Ex	ctent	Right Extent	Flap	Ht.	Depth	Тор Uр	Dist L	Bot Up	Depth	Тор Uр	Dist R	Bot Up
Windo	v	2.5	0.8 5		5	0.7	75	0	0	0		0	0	0	0
Window	2	2.5	0.8 5		5	0.7	75	0	0	0	0	0	0	0	0
Window	3	2.5	0.8 5		5	0.7	75	0	0	0	0	0	0	0	0
Window	4	2.5	0.8 5		5	0.7		0	0	0	0	0	0	0	0
Window		2.5	0.8 5	+	5	0.7	-+	0	0	0	0	0	0	0	0
SLAB FLOORS			•							•					_
01		02	03		Τ	04			05	$\Box$	06		07	Т	08
Name		Zone	Area (ft	t <sup>2</sup> }	Pe	erimeter	r (ft)	-	Insul. R-val	_	Insul. R-value	Carpet	ed Fraction	+	Heated
Slab-on-Grade	:	Efficiency	202.03	3	$\vdash$	0.1		a	none		0		100%	1	No
Registration Num		107159A-000-000-	0000000-0000				Registra	ation Date		8-25 17:28:18		HERS Pro	ovider:	1	CalCERTS inc
CA Building Energ				pliance					2022.0.000 : rev 202209			Report (	Generated: 20	23-08-25	
CERTIFICATE OF	COMPLIANC	CE - RESIDENTI	AL PERFORMA	NCE CO	MPLIAN	NCE ME	THOD							c	F1R-PRF-01-E
Project Name: C	entral Coast	ADU EF				_		Calcula	ation Date,	/Time: 202	3-08-25T17:42	2:27-05:00			(Page 5 of 12)

Calculation Description: Title 24 Analysis

South Facing

fficiency Complian

Total

Space Heating

Space Cooling

Water Heating

Utilization/Flexibilit

Credit

West Facing Efficiency

Compliance Total

Energy (EDR1) (kBtu/ft<sup>2</sup>

0.81

27.18

Registration Number: 223-P010107159A-000-000-0000000-0000

Project Name: Central Coast ADU EF

GENERAL INFORMATION

Calculation Description: Title 24 Analysis

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Location \_

Climate Zone 4

Existing Cond. Floor Area (ft2) n/a

Total Cond. Floor Area (ft<sup>2</sup>) 261.91

03 This building incorporates one or more Special Features shown below

Project Name | Central Coast ADU EF

Run Title Title 24 Analysis

City Atascadero

Zip code 93423

Building Type | Single family

Project Scope Newly Constructed

01 Building Complies with Computer Performance

)						CF	1R-PRF-01-E	CERTIF	ICATE OF COMPLIANCE - RE	SIDENTIAL PERFORMANCE COMPLI	ANCE METHOD		CF1R-PRF-01
Calculat	ion Date	e/Time: 2023	3-08-25T	17:42:27-05:0	00	(1	Page 6 of 12)	Projec	t Name: Central Coast ADU	EF	Calculation Date	/Time: 2023-08-25T17:42:27-05:00	(Page 5 of 1
Input Fi	le Name	: 1_EF_H_CZ	4.ribd22	х				Calcula					
								ENERG	USE INTENSITY				
05	06	07	08	09	10	11	12			Standard Design (kBtu/ft <sup>2</sup> - yr )	Proposed Design (kBtu/ft <sup>2</sup> - yr )	Compliance Margin (kBtu/ft <sup>2</sup> - yr )	Margin Percentage
Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)	North	Facing				
one	true	150-270	n/a	n/a	<=7:12	96	98		Gross EUI <sup>1</sup>	65.98	62.58	3.4	5.15
one	uue	130-270	11/4	11/4	7.12	1 30	38	M	Net EUI <sup>2</sup>	33.82	30.42	3.4	10.05
-	5							East F	acing				
pertormance	for this c	computer ana	ysis.	-					Gross EUI <sup>1</sup>	65.98	62.3	3.68	5.58
									Net EUI <sup>2</sup>	33.82	30.13	3.69	10.91
as a conditio	n for ma	ating the mad	alad apar	gy performano	o for this com	putar apalysis	Additional	South	Facing				
ompleted in			eleu ellei	By periormanic	e ioi tins com	puter analysis	Additional		Gross EUI <sup>1</sup>	65.98	62.44)	3.54	5.37
									Net EUI <sup>2</sup>	33.82	30.28	3.54	10.47
								West	acing		NO TRUT	IUEK	
				1			-		Gross EUI <sup>1</sup>	65.98	62.65	3.33	5.05
04		05			06		07		Net EUI <sup>2</sup>	33.82	30.48	3.34	9.88
mber of Bedr	ooms	Number of	Zones		of Ventilation g Systems		r of Water g Systems	Notes		I			
1		1			0		1		ross EUI is Energy Use Total (no et EUI is Energy Use Total (inclu	ot including PV) / Total Building Area. uding PV) / Total Building Area.			
									<u> </u>	- · · · · · · · · · · · · · · · · · · ·			

Registration Number: 223-P010107159A-000-000-000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider:	3 inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25 15:42:50	

ERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												
Project Name: Central Coast ADU EF			Calculation Date/Tim	27-05:00	(Page 2 of 12)							
Calculation Description: Title 24 Analysis Input File Name: 1_EF_H_CZ4.ribd22x												
ENERGY DESIGN RATINGS												
		Energy Design Ratings		Compliance Margins								
	Source Energy	Efficiency <sup>1</sup> EDR	Total <sup>2</sup> EDR	Source Energy	Efficiency <sup>1</sup> EDR	Total <sup>2</sup> EDR						

Energy Design Ratings Compliance Margins												
Source Energy (EDR1) (EDR2efficiency) (EDR2total) (EDR1) (EDR2efficiency) (EDR2total) (EDR2efficiency) (EDR2total) (EDR2efficiency) (EDR2total)												
Standard Design         55.1         55.1         40.4												
Proposed Design												
North Facing 52.1 52.9 39.2 3 2.2 1.2												
East Facing	51.7	50.3	37.8	3.4	4.8	2.6						
South Facing	3.3	4.4	2.3									
West Facing 52.1 52.7 39.2 3 2.4 1.2												
7		RESULT	3: PASS									

Efficiency EDR includes improvements like a better building envelope and more efficient equipment  Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries	
Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded	
Standard Design PV Capacity: 1.56 kWdc Proposed PV Capacity Scaling: North (1.56 kWdc) East (1.56 kWdc) South (1.56 kWdc) West (1.56 kWdc)	
	_

HERS Provider: CalCERTS Inc.	Registration Number: 223-P010107159A-0
Report Generated: 2023-08-25 15:42:50	CA Building Energy Efficiency Standards

CF1R-PRF-01-E

(Page 9 of 12)

08

Heated

Inside Finish: Gypsum Board

Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood

> Siding/sheathing/decking Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

> > CFM50

Name (#)

DHW Heater 1 (1

Status

New

Report Generated: 2023-08-25 15:42:50

-0.29

2.85

-0.2

0.28

2.93

2.85

-0.01

CalCERTS inc.

CF1R-PRF-01-E

(Page 3 of 12)

-2.31

-2.17

11.48

-1.53

5.7

0

11.48

15.65

CalCERTS inc

HERS Verification

1-hers-dhw

Report Generated: 2023-08-25 15:42:50

Calculation Date/Time: 2023-08-25T17:42:27-05:00

06

and Depth

0

Continuous R-value

None / None

06 | 07 |

CFM50

Compact

Distribution

Carpeted Fraction

100%

Edge Insul. R-value

Input File Name: 1\_EF\_H\_CZ4.ribd22x

Edge Insul. R-value

and Depth

none

Total Cavity

R-30

System

Registration Date/Time: 2023-08-25 17:28:18

Report Version: 2022.0.000

Schema Version: rev 20220901

R-value

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Efficiency

Exterior Walls

Cathedral Ceilings

Quality Insulation Installation (QII) High R-value Spray Foam Insulation

Water (DHW)

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Number: 223-P010107159A-000-000-000000-0000

Project Name: Central Coast ADU EF

REQUIRED PV SYSTEMS

DC System Size

(kWdc)

1.56

REQUIRED SPECIAL FEATURES

Window overhangs and/or fins

Quality insulation installation (QII) Indoor air quality ventilation

Pipe Insulation, All Lines

**BUILDING - FEATURES INFORMATION** 

Project Name: Central Coast ADU EF

ENERGY USE SUMMARY

Energy Use

Space Heating

Space Cooling

Water Heating

Self

Utilization/Flexibility

Credit

North Facing

**Efficiency Compliance** 

Space Heating

Space Cooling

IAQ Ventilation

Water Heating

Utilization/Flexibility

East Facing Efficiency

Compliance Total

Calculation Description: Title 24 Analysis

01

Project Name

Central Coast ADU EF

Verified heat pump rated heating capacity

Calculation Description: Title 24 Analysis

HERS Verified Pipe

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard (14-17%)

Conditioned Floor Area (ft<sup>2</sup>)

P010107159A-000-000-0000000-0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Energy (EDR1) (kBtu/ft<sup>2</sup>-yr)

1.95

27.18

0.81

1.95

0.67

27.18

Registration Number: 223-P010107159A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Standard Design Source Standard Design TDV Energy

(EDR2) (kTDV/ft<sup>2</sup> -yr)

53.11

7.19

113.98

180.39

6.11

53.11

7.19

113.98

180.39

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Insulation credit

Area (ft<sup>2</sup>)

59.88

Construction Typ

Wood Framed Wal

Perimeter (ft)

0.1

2x6 @ 24 in. Q. C.

2x12 @ 16 in. O. C.

Distribution Type | Water Heater Name | Number of Units

DHW Heater 1

04

Array Type

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

The following is a summary of the features that must be field verified by a certified HERS Rater as a condition for meeting the modeled energy performs.

**Number of Dwelling** 

Units

02 03 04 05 06

Zone Type HVAC System Name Zone Floor Area (ft²) Avg. Ceiling Height Water Heating System 1

Registration Date/Time:

Report Version: 2022.0.000

Energy (EDR1) (kBtu/ft<sup>2</sup> -yr)

1.1

1.96

0.67

24.33

1.01

1.67

0.67

24.33

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-08-25 17:28:18

2023-08-25 17:28:18

Input File Name: 1\_EF\_H\_CZ4.ribd22x

Calculation Date/Time: 2023-08-25T17:42:27-05:00

Proposed Design Source Proposed Design TDV Energy

(EDR2) (kTDV/ft<sup>2</sup> -yr)

8.42

55.28

7.19

102.5

7.64

47.41

7.19

102.5

261.91

Building Envelope Air Leakage

Project Name: Central Coast ADU EF

SLAB FLOORS

Slab-on-Grade 2

Construction Name

R-21 Wall

R-38 Roof No Attic

WATER HEATING SYSTEMS

DHW Sys 1

BUILDING ENVELOPE - HERS VERIFICATION

OPAQUE SURFACE CONSTRUCTIONS

Calculation Description: Title 24 Analysis

Registration	Number:
	223-P010107159A-000-000-0000000-0000
CA Building	Energy Efficiency Standards - 2022 Residential Compliance

tration Date/Time: 2023-08-25 17:28:18	HERS Provider:	CalCERTS inc.
rt Version: 2022.0.000 ma Version: rev 20220901	Report Generated: 2023-08-25	15:42:50

Registration Number: 223-P010107159A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

Input File Name: 1\_EF\_H\_CZ4.ribd22x

27.66

24.33

Registration Date/Time: 2023-08-25 17:28:18

Calculation Date/Time: 2023-08-25T17:42:27-05:00

Input File Name: 1\_EF\_H\_CZ4.ribd22x

Report Version: 2022.0.000 Schema Version: rev 20220901

07

09

17

02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

6.11

113.98

180.39

Proposed Design TDV Energy Compliance

Margin (EDR1)

-0.01

0.11

0

2.85

2.95

-0.02

-0.16

2.85

2.67

Report Generated: 2023-08-25 15:42:50

HERS Provider:

Margin (EDR2)

-0.06

2.87

11.48

14.29

-0.23

-3.54

11.48

7.71

CalCERTS inc.

CF1R-PRF-01-E

(Page 1 of 12)

(EDR2) (kTDV/ft<sup>2</sup>-yr)

50.24

7.19

102.5

172.68

Standards Version 2022

Front Orientation (deg/ Cardinal) All orientations Number of Dwelling Units

Number of Bedrooms

Fenestration Average U-factor 0.27

Number of Stories

Glazing Percentage (%) 20.00%

Software Version EnergyPro 9.0

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 15:42:50

Facing				
Gross EUI <sup>1</sup>	65.98	62.44	3.54	5.37
Net EUI <sup>2</sup>	33.82	30.28	3.54	10.47
acing				
Gross EUI <sup>1</sup>	65.98	62.65	3.33	5.05
Net EUI <sup>2</sup>	33.82	30.48	3.34	9.88
	not including PV) / Total Building Area. cluding PV) / Total Building Area.			

ration Number: 223-P010107159A-000-000-000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider:	CalCER
ilding Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25	15:42:50

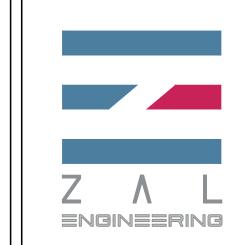
oject Name: Central Coast ADU EF culation Description: Title 24 Analysis			Calculation Date/Tim Input File Name: 1_E	(Page 2 of 12)				
ERGY DESIGN RATINGS						1		
		Energy Design Ratings			Compliance Margins			
	Source Energy Efficiency <sup>1</sup> EDR (EDR1) (EDR2efficiency)		Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)		
Standard Design	55.1	55.1	40.4					
Proposed Design								
North Facing	52.1	52.9	39.2	3	2.2	1.2		
Walter Walter	A		27.0		4.0			

The state of the s		Time .				1
		RESULT	3: PASS			
Efficiency EDR includes improvements like a be Total EDR includes efficiency and demand resp	onse measures such as p	hotovoltaic (PV) system a	ind batteries			
Building complies when source energy, efficier	icy and total compliance	margins are greater than	or equal to zero and unm	net load hour limits are n	ot exceeded	
Standard Design PV Capacity: 1.56 kWdc						

Registration Number: 223-P010107159A-000-000-0000000-0000	

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengıneering.com)



# BID SET. City of Atascadero Preview

Project Name: Central Coast ADU EF	Calculation Date/Time: 2023-08-25T17:42:27-05:00 (Page 12 o					
Calculation Description: Title 24 Analysis	Input File Name: 1_EF_H_CZ4.ribd22x					
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT						
I certify that this Certificate of Compliance documentation is accurate and complete.						
Documentation Author Name:	Documentation Author Signature:					
Jaime Zaldivar						
Company:	Signature Date:					
ZAL Engineering	2023-08-25 17:28:18					
Address:	CEA/ HERS Certification Identification (If applicable):					
99 Pacific St, Ste 375G	M37306					
City/State/Zip:	Phone:					
Monterey, CA 93940	831-641-7739					
RESPONSIBLE PERSON'S DECLARATION STATEMENT						
	Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. te are consistent with the information provided on other applicable compliance documents, worksheets,					
	nesponsible Designer Signature.					
Jaime Zaldivar						
	Date Signed: 2023-08-25 17:28:18					
Jaime Zaldivar Company:						

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18 Registration Number: 223-P010107159A-000-000-0000000-0000 HERS Provider:

Report Version: 2022.0.000

Schema Version: rev 20220901

Easy to Verify at CalCERTS.com

Report Generated: 2023-08-25 15:42:50

CalCERTS inc.

CERTIFICATE OF CO	MPLIANCE - RESIDE	ENTIAL PERF	ORMANO	CE COMPLIAN	СЕ МЕТ	HOD							CF1R-PRF-01-
Project Name: Cen	tral Coast ADU EF					Calc	ulatio	on Date,	/Time: 202	3-08-251	Г17:42:27-05	:00	(Page 11 of 12
Calculation Descrip	otion: Title 24 Analy	sis				Inpu	ıt File	e Name:	1_EF_H_C	Z4.ribd2	2x		
HVAC - HEAT PUMPS	i												
01	02	03	04	05	06	07		08	09	10	11	12	13
				Heati	ng	Cooling							
Name	System Type	Number of Units	Efficien Type	ficiency Type HSPF2 / Cal COP		n 47   Can 17		Efficiency SI Type Si		EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	HSPF 11.8 1		00 9400 EE		RSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump
HVAC HEAT PUMPS -	HERS VERIFICATION	A											
01	02	03		04		05			06	Т	07	08	09
Name	Verified Airflow	Airflow Ta	arget	rget Verified EER/EER2		Verified SEER/SEER2		Verified Refrigerant Charge		Verified HSPF/HSPF2		Verified Heati Cap 47	ng Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Not Required		Not Required		C	No No		No	Yes	Yes
INDOOR AIR QUALIT	V (IAO) EANS	1/2											
01	02	03		H 64 F	15	05			06		07	08	09
01	02	03		04					00		07	00	09
Dwelling Unit	Airflow (CFM)	Fan Effic (W/CFI		IAQ Fan Typ	e	Includes Heat/Energ Recovery?			Recovery reness - SRE		udes Fault tor Display?	HERS Verificat	ion Status
SFam IAQVentRpt	23	0.35		Exhaust		No			n/a		No	Yes	

Registration Number: 223-P010107159A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-08-25 15:42:50 Report Version: 2022.0.000 Schema Version: rev 20220901

	O2 Heating Element Type Gas	03  Tank Type  Consumer Instantaneo us  FICATION  02	# of Units	05 Tank Vol. (gal)	06 Heatin Efficien Type	07	Rate T	08 d Input ype	09 Input Ratin or Pilot	g In:	10 Tank sulation t-value nt/Ext)	11 Standby Loss or Recovery Eff	12 1st Hr. Ratir or Flow Rat	·	
Name  DHW Heater 1  /ATER HEATING - 01  Name	O2 Heating Element Type  Gas	Consumer Instantaneo us	# of Units	Tank Vol. (gal)	Heatin Efficien Type	g cy Efficiency	Rate T	d Input ype	Input Ratin or Pilot	Ĭ   F	Tank sulation R-value nt/Ext)	Standby Loss or Recovery Eff	1st Hr. Ratin	g Tank	
DHW Heater 1  /ATER HEATING - 01  Name	Element Type Gas	Consumer Instantaneo us FICATION		(gal) 0	Efficien Type	cy Efficiency	Т	ype	or Pilot	Ĭ   F	sulation R-value nt/Ext)	or Recovery Eff		·	
VATER HEATING - 01	- HERS VERIF	Instantaneo us FICATION 02	1		UEF	0.93	Bt	:u/Hr	200000		0	,			
01 Name		02	Å			÷						n/a	n/a		
Name															
				03		04		05				06		07	
DHW Sys 1 - :	Name Pip		tion	Parallel Pipir	ng	Compact Distribut	tion	on Compact Distrib		tion Recircula		lation Control		ower Drain Water Heat Recovery	
	- 1/1	Required No.		Not Require	d	Not Required	None		None			Not Required		Not Required	
PACE CONDITION	NING SYSTEN	vis /				SEM					0				
01		02	03		04	05	0	06		R	07	08		09	
Name	Syste	em Type H	Heating Unit Nar		Equipment ount	Cooling Unit Nar	ne C	ooling Eq Cou	uipment nt	Fan	Name			Required ermostat Type	
OU-11		nt pump H	Heat Pump Syste 1	m	1	Heat Pump Syste	m 1		n/a		n/a		Setback		

Report Version: 2022.0.000

Schema Version: rev 20220901

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Generated: 2023-08-25 15:42:50



EFFICIENCY T24 FORMS HYBRID

	NO.	DESCRIPTION	DA						
	-								
	2								
	3								
	4								
	ENGINEER BY:								
	DRAWN BY:								
	CHECKED BY:								

TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THE MECONSTITUDES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.