

## ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

## HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

### HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT

- Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.
- Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

## ADDITIONAL NOTES - ATASCADERO

### PLANNING DEPARTMENT

- All submitted plan sets must be accompanied by a Building Permit Application.
- All applications must include a site survey.

### BUILDING DEPARTMENT

- All applications must include a Construction Waste Management Plan.
- The City will accept schematics for gas line revisions

## DEFERRED SUBMITTALS - ATASCADERO

- ☐ PHOTOVOLTAIC SYSTEM (ALL PROJECTS)  
☐ RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)  
☐ SEPTIC SYSTEM (WHERE REQUIRED)

## BUILDING CODES USED - 2022

### 1A. Atascadero Municipal Code

- |                                |  |
|--------------------------------|--|
| 1. California Building Code    | 5. California Mechanical Code                  |
| 2. California Residential Code | 6. California Fire Code                        |
| 3. California Electrical Code  | 7. California Green Building Standards Code    |
| 4. California Plumbing Code    | 8. California Energy Efficiency Standards Code |

## PROJECT INFORMATION

OWNER/APPLICANT:  
ENTER INFORMATION IN THE PROVIDED SPACE

### PARCEL INFORMATION

APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE ( in SF)	
EXISTING HOME SIZE (in SF)	
PARCEL OVER 10% SLOPE	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.</small>
SRA FIRE HAZARD SEVERITY ZONE (WUI)	<input type="checkbox"/> APPLICABLE <input type="checkbox"/> NOT APPLICABLE <small>PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A, UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.</small>

### PROJECT INFORMATION

NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO
SERVED BY SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMENT TO DETERMINE SPECIFIC REQUIREMENTS. SUMMER PROJECT.</small>

### PROPERTY OWNER

NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

## DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

### GENERAL SHEETS

- |      |                                       |
|------|---------------------------------------|
| G0.0 | COVER SHEET & PROJECT INFORMATION     |
| G0.1 | OWNER PROVIDED SITE PLAN              |
| G1.0 | GENERAL NOTES                         |
| G2.0 | CAL GREEN/GREEN BUILDING REQUIREMENTS |
| G2.1 | CAL GREEN/GREEN BUILDING REQUIREMENTS |

### ARCHITECTURAL

- |                               |                                       |
|-------------------------------|---------------------------------------|
| <input type="checkbox"/> A1.0 | RANCH - FLOORPLAN & ELEVATIONS        |
| <input type="checkbox"/> A1.1 | RANCH - SECTIONS, ROOF PLAN & RCP     |
| <input type="checkbox"/> A2.0 | CRAFTSMAN - FLOORPLANS & ELEVATIONS   |
| <input type="checkbox"/> A2.1 | CRAFTSMAN - SECTIONS, ROOF PLAN & RCP |
| <input type="checkbox"/> A3.0 | MODERN - FLOORPLANS & ELEVATIONS      |
| <input type="checkbox"/> A3.1 | MODERN - SECTIONS, ROOF PLAN & RCP    |
| <input type="checkbox"/> A4.0 | BUNGALOW - FLOORPLANS & ELEVATIONS    |
| <input type="checkbox"/> A4.1 | BUNGALOW - SECTIONS, ROOF PLAN & RCP  |
| A5.0                          | EXTERIOR WALL ASSEMBLY DETAILS        |
| A5.1                          | EXTERIOR WALL ASSEMBLY DETAILS        |
| A5.2                          | EXTERIOR DETAILS                      |
| A5.3                          | INTERIOR DETAILS & WALL PARTITIONS    |
| A6.0                          | SCHEDULES - EFFICIENCY STUDIO         |

### STRUCTURAL

- |                                |  |
|--------------------------------|--|
| S0.0                           | STRUCTURAL NOTES                             |
| S0.1                           | TYPICAL DETAILS                              |
| <input type="checkbox"/> S1.0G | GABLE - ROOF/CEILING AND FOUNDATION PLAN     |
| <input type="checkbox"/> S1.0M | MONOSLOPE - ROOF/CEILING AND FOUNDATION PLAN |
| S2.0                           | FOUNDATION DETAILS                           |
| S2.1                           | ROOF FRAMING DETAILS                         |
| S2.2                           | ROOF FRAMING DETAILS (CONT.)                 |

### MECHANICAL

- |                                 |  |
|---------------------------------|--|
| MP0.1                           | GENERAL NOTES                          |
| MP0.2                           | SCHEDULES & GAS DIAGRAM & PLUMBING     |
| <input type="checkbox"/> MP2.1E | MECHANICAL & PLUMBING PLANS - ELECTRIC |
| <input type="checkbox"/> MP2.1H | MECHANICAL & PLUMBING PLANS - HYBRID   |

### ENERGY COMPLIANCE/TITLE 24

- |                                 |                          |
|---------------------------------|--------------------------|
| <input type="checkbox"/> T24.1B | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> T24.2B | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> T24.3B | TITLE 24 FORMS - HYBRID  |
| <input type="checkbox"/> T24.1B | TITLE 24 FORMS - HYBRID  |



# CENTRAL COAST PRE-DESIGNED ADU

## CITY REVIEW SET

## PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
CM TAYLOR STRUCTURAL ENGINEERING, INC. 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

## SCOPE OF WORK

CONSTRUCTION OF A NEW, ONE-STORY DETACHED 316 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF A GREAT ROOM/LIVING AREA WITH A KITCHEN AND ONE BATHROOM.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

## PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/> COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1, S1.0G
<input type="checkbox"/> BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2, S1.0G
<input type="checkbox"/> CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3, S1.0M
<input type="checkbox"/> BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4, S1.0M
ROOFING MATERIAL (SELECT ONE)	
<input type="checkbox"/> ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> APPLICANT REVISION	
PRIMARY SIDING MATERIAL (SELECT ONE)	
<input type="checkbox"/> VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
<input type="checkbox"/> BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
<input type="checkbox"/> HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
<input type="checkbox"/> SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
<input type="checkbox"/> STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
<input type="checkbox"/> APPLICANT REVISION	
DESIGN OPTIONS (SELECT IF DESIRED)	
<input type="checkbox"/> CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.3
<input type="checkbox"/> APPLICANT REVISION	
MECHANICAL SYSTEM (SELECT ONE)	
<input type="checkbox"/> ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
<input type="checkbox"/> HYBRID (ELECTRIC W/ GAS H2O HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H
<input type="checkbox"/> GAS RANGE	
REQUIRED COMPLIANCE (CHECK IF APPLICABLE)	
<input type="checkbox"/> PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
<input type="checkbox"/> EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"
SITE PLAN (REQUIRED)	
<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan



workbench

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST  
PRE-DESIGNED ADU  
EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET &  
PROJECT  
INFORMATION -  
ATASCADERO

G0.0

SCALE: AS NOTED



HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
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CENTRAL COAST  
PRE-DESIGNED ADU  
EFFICIENCY STUDIO  
315 GSF

PRINT DATE: XX.XX.XXXX

OWNER PROVIDED  
SITE PLAN -  
ATASCADERO

G0.1

SCALE: - AS NOTED

SITE PLAN CHECKLIST

The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12<sup>3</sup>

GENERAL NOTES

1.
- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
2.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
3.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
4.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
5.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
6.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
7.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
8.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
9.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
10.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
11.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
12.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
13.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
14.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
15.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
16.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
17.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
18.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
19.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
20.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
21.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
22.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
23.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
24.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
25.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
26.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
27.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
28.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

29.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
30.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
31.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
32.
- PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
33.
- PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

**VEGETATION MANAGEMENT COMPLIANCE. R3371.5**  
PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

**ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5**  
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

**OFF RIDGE AND RIDGE VENTS. R337.6.2.1**  
VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

1.

VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

2.

THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.

3.

THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

**EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3**  
WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

**EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6**  
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

**VENTS. CBC 706A / CRC R337.6**  
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

**WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8**  
WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

**EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9**  
WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

**UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8**  
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

**ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A**  
GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

1.
- ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
2.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
3.
- ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
- A.
- CEILING RECESSED DOWNLIGHT LUMINARIES
- B.
- LED LUMINARIES WITH INTEGRAL SOURCES
- C.
- PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- D.
- GU-24 BASED LED LIGHT SOURCES
4.
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. CEC 150.0(K)8.
5.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
6.
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
7.
- ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
- A.
- BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
- B.
- HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
- C.
- BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
- D.
- FOR LUMINARIES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
- E.
- SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
- F.
- SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
9.
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- A.
- PHOTOCONTROL AND MOTION SENSOR
- B.
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- C.
- ASTRONOMICAL TIME SWITCH CONTROL
- D.
- ENERGY MANAGEMENT CONTROL SYSTEMS
10.
- ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
11.
- ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

1.
- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
2.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
3.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
4.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
5.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
6.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
7.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
8.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
9.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
10.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.

ABBREVIATIONS

AB	ANCHOR BOLT	IN	INFO	INCH/INCHES
AC	ASPHALT CONCRETE	INSUL	INSUL	INSULATION
AD	AREA DRAIN	INT	INT	INTERIOR
ADJ	ADJACENT			
AFF	ABOVE FINISH FLOOR	JT		JOINT
AL	ALIGN			
ALUM	ALUMINUM	KIT		KITCHEN
ALT	ALTERNATE			
ARCH	ARCHITECT/ARCHITECTURAL	LB		LAG BOLT
AVG	AVERAGE	LBS		POUNDS
BD	BOARD	LF		LINEAR FOOT
BLDG	BUILDING	LL		LIVE LOAD
BLKG	BLOCKING	LS		LAG SCREW
BTM	BOTTOM			
BTWN	BETWEEN	MAX		MAXIMUM
BUR	BUILT-UP ROOFING	MB		MACHINE BOLT
BW	BOTH WAYS	MECH		MECHANICAL
		MFD		MANUFACTURED
		MFR		MANUFACTURER
CB	CATCH BASIN	MICRO		MICROWAVE
CF	CUBIC FEET	MIN		MINIMUM
CJ	CONTROL JOINT	MISC		MISCELLANEOUS
CLKG	CAULKING	MTD		MOUNTED
CLG	CEILING	MTL		METAL
CLR	CLEAR			
CO	CLEANOUT			
COTTG	CLEANOUT TO GRADE	(N)		NEW
COL	COLUMN	NIC		NOT IN CONTRACT
CONC	CONCRETE	NA		NOT APPLICABLE
CONT	CONTINUOUS	NTS		NOT TO SCALE
CT	CERAMIC TILE			
CTR	CENTER	O/		OVER
CW	COLD WATER	OC		ON CENTER
		OH		OVERHEAD/OVERHANG
		OPNG		OPENING
DBL	DOUBLE	PL		PLATE
DEPT	DEPARTMENT	PLF		POUNDS PER LINEAL FOOT
DIA	DIAMETER	PLYVD		PLYWOOD
DIAG	DIAGONAL	PTD		PAINTED
DIM	DIMENSION	PSF		POUNDS PER SQUARE FOOT
DL	DEAD LOAD	PSI		POUNDS PER SQUARE INCH
DN	DOWN	PT		PRESSURE TREATED
DR	DOOR	PVMT		PAVEMENT
DWG	DRAWING			
DW	DISHWASHER			
(E)	EXISTING	RA		RETURN AIR
EA	EACH	RCP		REFLECTED CEILING PLAN
EB	EXPANSION BOLT	RD		ROOF DRAIN
EJ	EXPANSION JOINT	REF		REFERENCE
ELEC	ELECTRIC/ELECTRICAL	REFR		REFRIGERATOR
ELEV	ELEVATOR/ELEVATION	REQD		REQUIRED
EN	EDGE NAILING	REV		REVISION
ENCL	ENCLOSURE	RM		ROOM
EP	ELECTRICAL PANEL	RO		ROUGH OPENING
EQUIP	EQUIPMENT			
EXT	EXTERIOR	SCHED		SCHEDULE
		SD		STORM DRAIN
		SEC		SECTION
		SED		SEE ELECTRICAL DRAWINGS
		SF		SQUARE FOOT
		SPEC		SPECIFICATION
		SPD		SEE PLUMBING DRAWINGS
		SSD		SEE STRUCTURAL DRAWINGS
		SS		SOLID SURFACE
		STD		STANDARD
		STL		STEEL
		STRUCT		STRUCTURAL
		SUSP		SUSPENDED
		SYS		SYSTEM
		T		TEMPERED
		TOC		TOP OF CURB
		UON		TYPICAL
				UNLESS OTHERWISE NOTED
		ENT		VENTILATION/VENTILATOR
		VERT		VERTICAL
		VIF		VERIFY IN FIELD
		W/		WITH
		WC		WATER CLOSET
		WD		WOOD
		WH		WATER HEATER
		WDW		WINDOW
		W/O		WITHOUT
		WP		WATERPROOF
		WT		WEIGHT

11.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
12.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
13.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
14.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
15.
- ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A]
16.
- GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
17.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).
18.
- PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.
19.
- PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
20.
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
21.
- PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
22.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI's FOR PROTECTION FOR PERSONNEL.



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CENTRAL COAST  
PRE-DESIGNED ADU  
EFFICIENCY STUDIO  
316 GSF

GENERAL NOTES

G1.0

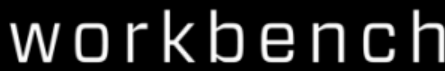
SCALE : AS NOTED





**(January 2023)**

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# CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO  
316 GSE

PRINT DATE XX.XX.XXXX

# CAL GREEN/GREEN BUILDING REQUIREMENTS

# G2.0

SCALE : AS NOTED





# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y  
N/A  
RESPON- PARTY  
PARTY

YES  
NOT APPLICABLE  
RESPONSIBLE PARTY (w/ ARCHITECT, ENGINEER,  
OWNER, CONTRACTOR, INSPECTOR ETC.)

<div><div>Y</div><div>N/A</div><div>RESPON- PARTY</div><div>PARTY</div></div> <p><b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O<sub>3</sub>/g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.</p> <p><b>MOISTURE CONTENT.</b> The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.</p> <p><b>PRODUCT-WEIGHTED MIR (PWMIR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).</p> <p><b>REACTIVE ORGANIC COMPOUND (ROC).</b> Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p><b>VOC.</b> A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).</p> <p><b>4.503 FIREPLACES</b> <b>4.503.1 GENERAL.</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.</p> <p><b>4.504 POLLUTANT CONTROL</b> <b>4.504.1 COVERING OF DUCT OPENINGS &amp; PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.</b> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.</p> <p><b>4.504.2 FINISH MATERIAL POLLUTANT CONTROL.</b> Finish materials shall comply with this section.</p> <p><b>4.504.2.1 Adhesives, Sealants and Caulks.</b> Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none"><li>Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.</li><li>Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i>, Title 17, commencing with section 94507.</li></ol> <p><b>4.504.2.2 Paints and Coatings.</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p> <p><b>4.504.2.3 Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROG in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of <i>California Code of Regulations</i>, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</p> <p><b>4.504.2.4 Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:</p> <ol style="list-style-type: none"><li>Manufacturer's product specification.</li><li>Field verification of on-site product containers.</li></ol> <div><div>Y</div><div>N/A</div><div>RESPON- PARTY</div><div>PARTY</div><table><caption>TABLE 4.504.1 - ADHESIVE VOC LIMITS<sub>1</sub></caption><caption>(Less Water and Less Exempt Compounds in Grams per Liter)</caption><thead><tr><th>ARCHITECTURAL APPLICATIONS</th><th>VOC LIMIT</th></tr></thead><tbody><tr><td>INDOOR CARPET ADHESIVES</td><td>50</td></tr><tr><td>CARPET PAD ADHESIVES</td><td>50</td></tr><tr><td>OUTDOOR CARPET ADHESIVES</td><td>150</td></tr><tr><td>WOOD FLOORING ADHESIVES</td><td>100</td></tr><tr><td>RUBBER FLOOR ADHESIVES</td><td>60</td></tr><tr><td>SUBFLOOR ADHESIVES</td><td>50</td></tr><tr><td>CERAMIC TILE ADHESIVES</td><td>65</td></tr><tr><td>VCT &amp; ASPHALT TILE ADHESIVES</td><td>50</td></tr><tr><td>DRYWALL &amp; PANEL ADHESIVES</td><td>50</td></tr><tr><td>COVE BASE ADHESIVES</td><td>50</td></tr><tr><td>MULTIPURPOSE CONSTRUCTION ADHESIVE</td><td>70</td></tr><tr><td>STRUCTURAL GLAZING ADHESIVES</td><td>100</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE ADHESIVES</td><td>250</td></tr><tr><td>OTHER ADHESIVES NOT LISTED</td><td>50</td></tr><tr><td><b>SPECIALTY APPLICATIONS</b></td><td></td></tr><tr><td>PVC WELDING</td><td>510</td></tr><tr><td>CPVC WELDING</td><td>490</td></tr><tr><td>ABS WELDING</td><td>325</td></tr><tr><td>PLASTIC CEMENT WELDING</td><td>250</td></tr><tr><td>ADHESIVE PRIMER FOR PLASTIC</td><td>550</td></tr><tr><td>CONTACT ADHESIVE</td><td>80</td></tr><tr><td>SPECIAL PURPOSE CONTACT ADHESIVE</td><td>250</td></tr><tr><td>STRUCTURAL WOOD MEMBER ADHESIVE</td><td>140</td></tr><tr><td>TOP &amp; TRIM ADHESIVE</td><td>250</td></tr><tr><td><b>SUBSTRATE SPECIFIC APPLICATIONS</b></td><td></td></tr><tr><td>METAL TO METAL</td><td>30</td></tr><tr><td>PLASTIC FOAMS</td><td>50</td></tr><tr><td>POROUS MATERIAL (EXCEPT WOOD)</td><td>50</td></tr><tr><td>WOOD</td><td>30</td></tr><tr><td>FIBERGLASS</td><td>80</td></tr></tbody></table><p>1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.</p><p>2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.</p></div>	ARCHITECTURAL APPLICATIONS	VOC LIMIT	INDOOR CARPET ADHESIVES	50	CARPET PAD ADHESIVES	50	OUTDOOR CARPET ADHESIVES	150	WOOD FLOORING ADHESIVES	100	RUBBER FLOOR ADHESIVES	60	SUBFLOOR ADHESIVES	50	CERAMIC TILE ADHESIVES	65	VCT & ASPHALT TILE ADHESIVES	50	DRYWALL & PANEL ADHESIVES	50	COVE BASE ADHESIVES	50	MULTIPURPOSE CONSTRUCTION ADHESIVE	70	STRUCTURAL GLAZING ADHESIVES	100	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	OTHER ADHESIVES NOT LISTED	50	<b>SPECIALTY APPLICATIONS</b>		PVC WELDING	510	CPVC WELDING	490	ABS WELDING	325	PLASTIC CEMENT WELDING	250	ADHESIVE PRIMER FOR PLASTIC	550	CONTACT ADHESIVE	80	SPECIAL PURPOSE CONTACT ADHESIVE	250	STRUCTURAL WOOD MEMBER ADHESIVE	140	TOP & TRIM ADHESIVE	250	<b>SUBSTRATE SPECIFIC APPLICATIONS</b>		METAL TO METAL	30	PLASTIC FOAMS	50	POROUS MATERIAL (EXCEPT WOOD)	50	WOOD	30	FIBERGLASS	80	<div><div>Y</div><div>N/A</div><div>RESPON- PARTY</div><div>PARTY</div><table><caption>TABLE 4.504.2 - SEALANT VOC LIMIT</caption><caption>(Less Water and Less Exempt Compounds in Grams per Liter)</caption><thead><tr><th>SEALANTS</th><th>VOC LIMIT</th></tr></thead><tbody><tr><td>ARCHITECTURAL</td><td>250</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>NONMEMBRANE ROOF</td><td>300</td></tr><tr><td>ROADWAY</td><td>250</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE</td><td>450</td></tr><tr><td>OTHER</td><td>420</td></tr><tr><td><b>SEALANT PRIMERS</b></td><td></td></tr><tr><td>ARCHITECTURAL</td><td></td></tr><tr><td>NON-POROUS</td><td>250</td></tr><tr><td>POROUS</td><td>775</td></tr><tr><td>MODIFIED BITUMINOUS</td><td>500</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>OTHER</td><td>750</td></tr></tbody></table><p><b>TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS<sub>2,3</sub></b></p><table><thead><tr><th>GRAMS OF VOC PER LITER OF COATING, LESS WATER &amp; LESS EXEMPT COMPOUNDS</th><th>VOC LIMIT</th></tr></thead><tbody><tr><td><b>COATING CATEGORY</b></td><td></td></tr><tr><td>FLAT COATINGS</td><td>50</td></tr><tr><td>NON-FLAT COATINGS</td><td>100</td></tr><tr><td>NONFLAT-HIGH GLOSS COATINGS</td><td>150</td></tr><tr><td><b>SPECIALTY COATINGS</b></td><td></td></tr><tr><td>ALUMINUM ROOF COATINGS</td><td>400</td></tr><tr><td>BASEMENT SPECIALTY COATINGS</td><td>400</td></tr><tr><td>BITUMINOUS ROOF COATINGS</td><td>50</td></tr><tr><td>BITUMINOUS ROOF PRIMERS</td><td>350</td></tr><tr><td>BOND BREAKERS</td><td>350</td></tr><tr><td>CONCRETE CURING COMPOUNDS</td><td>350</td></tr><tr><td>CONCRETE/MASONRY SEALERS</td><td>100</td></tr><tr><td>DRIVEWAY SEALERS</td><td>50</td></tr><tr><td>DRY FOG COATINGS</td><td>150</td></tr><tr><td>EAUX FINISHING COATINGS</td><td>350</td></tr><tr><td>FIRE-RESISTIVE COATINGS</td><td>350</td></tr><tr><td>FLOOR COATINGS</td><td>100</td></tr><tr><td>FORM-RELEASE COMPOUNDS</td><td>250</td></tr><tr><td>GRAPHIC ARTS COATINGS (SIGN PAINTS)</td><td>500</td></tr><tr><td>HIGH TEMPERATURE COATINGS</td><td>420</td></tr><tr><td>INDUSTRIAL MAINTENANCE COATINGS</td><td>250</td></tr><tr><td>LOW SOLIDS COATINGS<sub>1</sub></td><td>120</td></tr><tr><td>MAGNESITE CEMENT COATINGS</td><td>450</td></tr><tr><td>MASTIC TEXTURE COATINGS</td><td>100</td></tr><tr><td>METALLIC PIGMENTED COATINGS</td><td>500</td></tr><tr><td>MULTICOLOR COATINGS</td><td>250</td></tr><tr><td>PRETREATMENT WASH PRIMERS</td><td>420</td></tr><tr><td>PRIMERS, SEALERS, &amp; UNDERCOATERS</td><td>100</td></tr><tr><td>REACTIVE PENETRATING SEALERS</td><td>350</td></tr><tr><td>RECYCLED COATINGS</td><td>250</td></tr><tr><td>ROOF COATINGS</td><td>50</td></tr><tr><td>RUST PREVENTATIVE COATINGS</td><td>250</td></tr><tr><td>SHELLACS</td><td></td></tr><tr><td>CLEAR</td><td>730</td></tr><tr><td>OPAQUE</td><td>550</td></tr><tr><td>SPECIALTY PRIMERS, SEALERS &amp; UNDERCOATERS</td><td>100</td></tr><tr><td>STAINS</td><td>250</td></tr><tr><td>STONE CONSOLIDANTS</td><td>450</td></tr><tr><td>SWIMMING POOL COATINGS</td><td>340</td></tr><tr><td>TRAFFIC MARKING COATINGS</td><td>100</td></tr><tr><td>TUB &amp; TILE REFINISH COATINGS</td><td>420</td></tr><tr><td>WATERPROOFING MEMBRANES</td><td>250</td></tr><tr><td>WOOD COATINGS</td><td>275</td></tr><tr><td>WOOD PRESERVATIVES</td><td>350</td></tr><tr><td>ZINC-RICH PRIMERS</td><td>340</td></tr></tbody></table><p>1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &amp; EXEMPT COMPOUNDS</p><p>2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.</p><p>3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.</p></div>	SEALANTS	VOC LIMIT	ARCHITECTURAL	250	MARINE DECK	760	NONMEMBRANE ROOF	300	ROADWAY	250	SINGLE-PLY ROOF MEMBRANE	450	OTHER	420	<b>SEALANT PRIMERS</b>		ARCHITECTURAL		NON-POROUS	250	POROUS	775	MODIFIED BITUMINOUS	500	MARINE DECK	760	OTHER	750	GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	VOC LIMIT	<b>COATING CATEGORY</b>		FLAT COATINGS	50	NON-FLAT COATINGS	100	NONFLAT-HIGH GLOSS COATINGS	150	<b>SPECIALTY COATINGS</b>		ALUMINUM ROOF COATINGS	400	BASEMENT SPECIALTY COATINGS	400	BITUMINOUS ROOF COATINGS	50	BITUMINOUS ROOF PRIMERS	350	BOND BREAKERS	350	CONCRETE CURING COMPOUNDS	350	CONCRETE/MASONRY SEALERS	100	DRIVEWAY SEALERS	50	DRY FOG COATINGS	150	EAUX FINISHING COATINGS	350	FIRE-RESISTIVE COATINGS	350	FLOOR COATINGS	100	FORM-RELEASE COMPOUNDS	250	GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	HIGH TEMPERATURE COATINGS	420	INDUSTRIAL MAINTENANCE COATINGS	250	LOW SOLIDS COATINGS <sub>1</sub>	120	MAGNESITE CEMENT COATINGS	450	MASTIC TEXTURE COATINGS	100	METALLIC PIGMENTED COATINGS	500	MULTICOLOR COATINGS	250	PRETREATMENT WASH PRIMERS	420	PRIMERS, SEALERS, & UNDERCOATERS	100	REACTIVE PENETRATING SEALERS	350	RECYCLED COATINGS	250	ROOF COATINGS	50	RUST PREVENTATIVE COATINGS	250	SHELLACS		CLEAR	730	OPAQUE	550	SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	STAINS	250	STONE CONSOLIDANTS	450	SWIMMING POOL COATINGS	340	TRAFFIC MARKING COATINGS	100	TUB & TILE REFINISH COATINGS	420	WATERPROOFING MEMBRANES	250	WOOD COATINGS	275	WOOD PRESERVATIVES	350	ZINC-RICH PRIMERS	340	<div><div>Y</div><div>N/A</div><div>RESPON- PARTY</div><div>PARTY</div><table><caption>TABLE 4.504.5 - FORMALDEHYDE LIMITS:</caption><thead><tr><th>PRODUCT</th><th>CURRENT LIMIT</th></tr></thead><tbody><tr><td>MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION</td><td></td></tr><tr><td>HARDWOOD PLYWOOD VENEER CORE</td><td>0.05</td></tr><tr><td>HARDWOOD PLYWOOD COMPOSITE CORE</td><td>0.05</td></tr><tr><td>PARTICLE BOARD</td><td>0.09</td></tr><tr><td>MEDIUM DENSITY FIBERBOARD</td><td>0.11</td></tr><tr><td>THIN MEDIUM DENSITY FIBERBOARD<sub>2</sub></td><td>0.13</td></tr></tbody></table><p>1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.</p><p>2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).</p></div> <p><b>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)</b> <b>4.504.3 CARPET SYSTEMS.</b> All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.3.1 Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.3.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1.</p> <p><b>4.504.4 RESILIENT FLOORING SYSTEMS.</b> Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CDC/PHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.5 COMPOSITE WOOD PRODUCTS.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measures for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5</p> <p><b>4.504.5.1 Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:</p> <ol style="list-style-type: none"><li>Product certifications and specifications.</li><li>Chain of custody certifications.</li><li>Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).</li><li>Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European EN 335 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.</li><li>Other methods acceptable to the enforcing agency.</li></ol> <p><b>4.505 INTERIOR MOISTURE CONTROL</b> <b>4.505.1 General.</b> Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i>.</p> <p><b>4.505.2 CONCRETE SLAB FOUNDATIONS.</b> Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.</p> <p><b>4.505.2.1 Capillary break.</b> A capillary break shall be installed in compliance with at least one of the following:</p> <ol style="list-style-type: none"><li>A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.</li><li>Other equivalent methods approved by the enforcing agency.</li><li>A slab design specified by a licensed design professional.</li></ol> <p><b>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.</b> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:</p> <ol style="list-style-type: none"><li>Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.</li><li>Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.</li><li>At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.</li></ol> <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.</p> <p><b>4.506 INDOOR AIR QUALITY AND EXHAUST</b> <b>4.506.1 Bathroom exhaust fans.</b> Each bathroom shall be mechanically ventilated and shall comply with the following:</p> <ol style="list-style-type: none"><li>Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.</li><li>Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.</li><li>Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.</li><li>A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).</li></ol> <p><b>Notes:</b></p> <ol style="list-style-type: none"><li>For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.</li><li>Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>.</li></ol> <p><b>4.507 ENVIRONMENTAL COMFORT</b> <b>4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.</b> Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:</p> <ol style="list-style-type: none"><li>The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.</li><li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.</li><li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.</li></ol> <p><b>Exception:</b> Use of alternate design temperatures necessary to ensure the system functions are acceptable.</p>	PRODUCT	CURRENT LIMIT	MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		HARDWOOD PLYWOOD VENEER CORE	0.05	HARDWOOD PLYWOOD COMPOSITE CORE	0.05	PARTICLE BOARD	0.09	MEDIUM DENSITY FIBERBOARD	0.11	THIN MEDIUM DENSITY FIBERBOARD <sub>2</sub>	0.13
ARCHITECTURAL APPLICATIONS	VOC LIMIT																																																																																																																																																																																																					
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SUBFLOOR ADHESIVES	50																																																																																																																																																																																																					
CERAMIC TILE ADHESIVES	65																																																																																																																																																																																																					
VCT & ASPHALT TILE ADHESIVES	50																																																																																																																																																																																																					
DRYWALL & PANEL ADHESIVES	50																																																																																																																																																																																																					
COVE BASE ADHESIVES	50																																																																																																																																																																																																					
MULTIPURPOSE CONSTRUCTION ADHESIVE	70																																																																																																																																																																																																					
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BROCKETT  
/ARCHITECT

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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST  
PRE-DESIGNED ADU  
EFFICIENCY STUDIO  
316 GSF

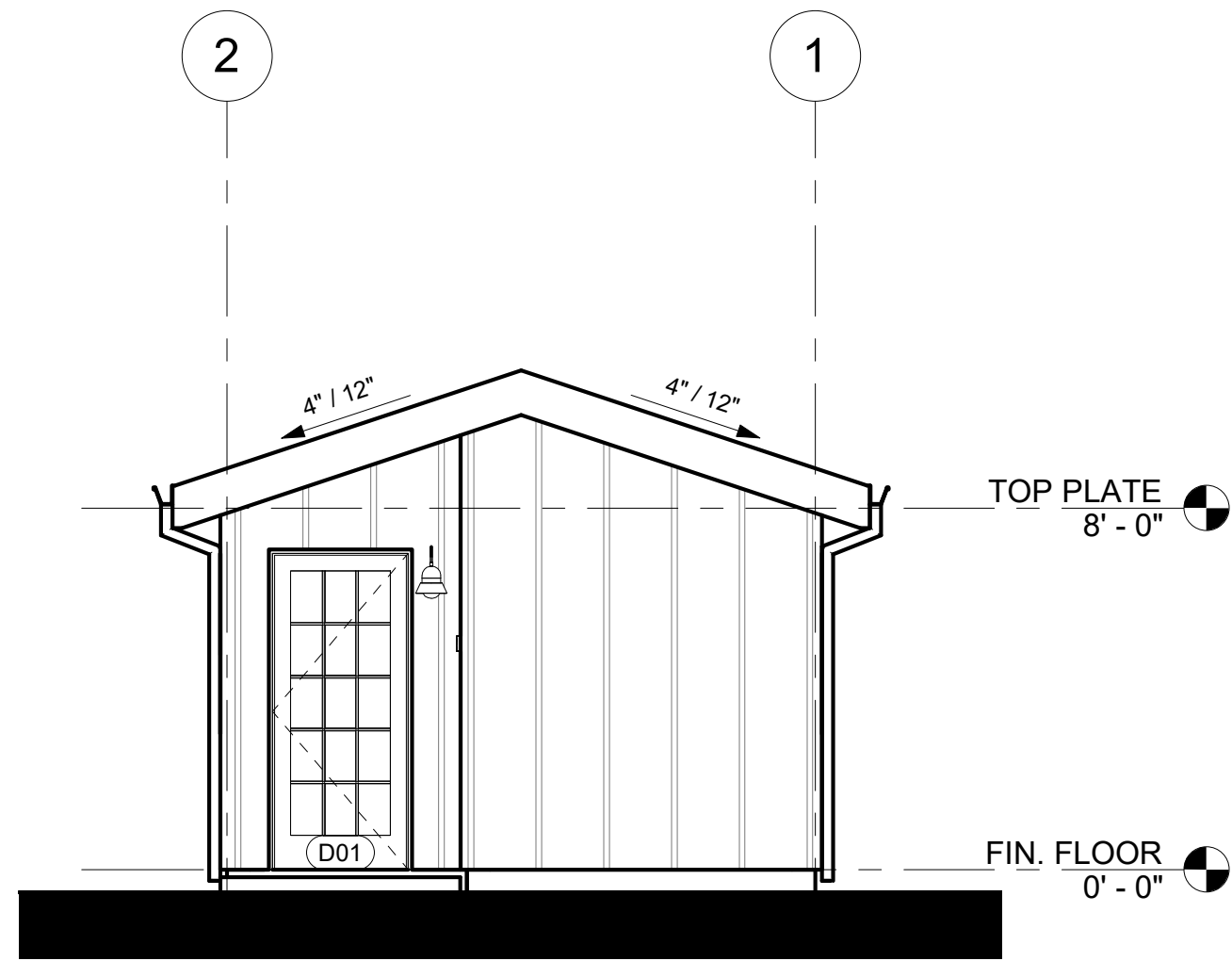
PRINT DATE: 2023.01.10

CAL GREEN/GREEN  
BUILDING  
REQUIREMENTS

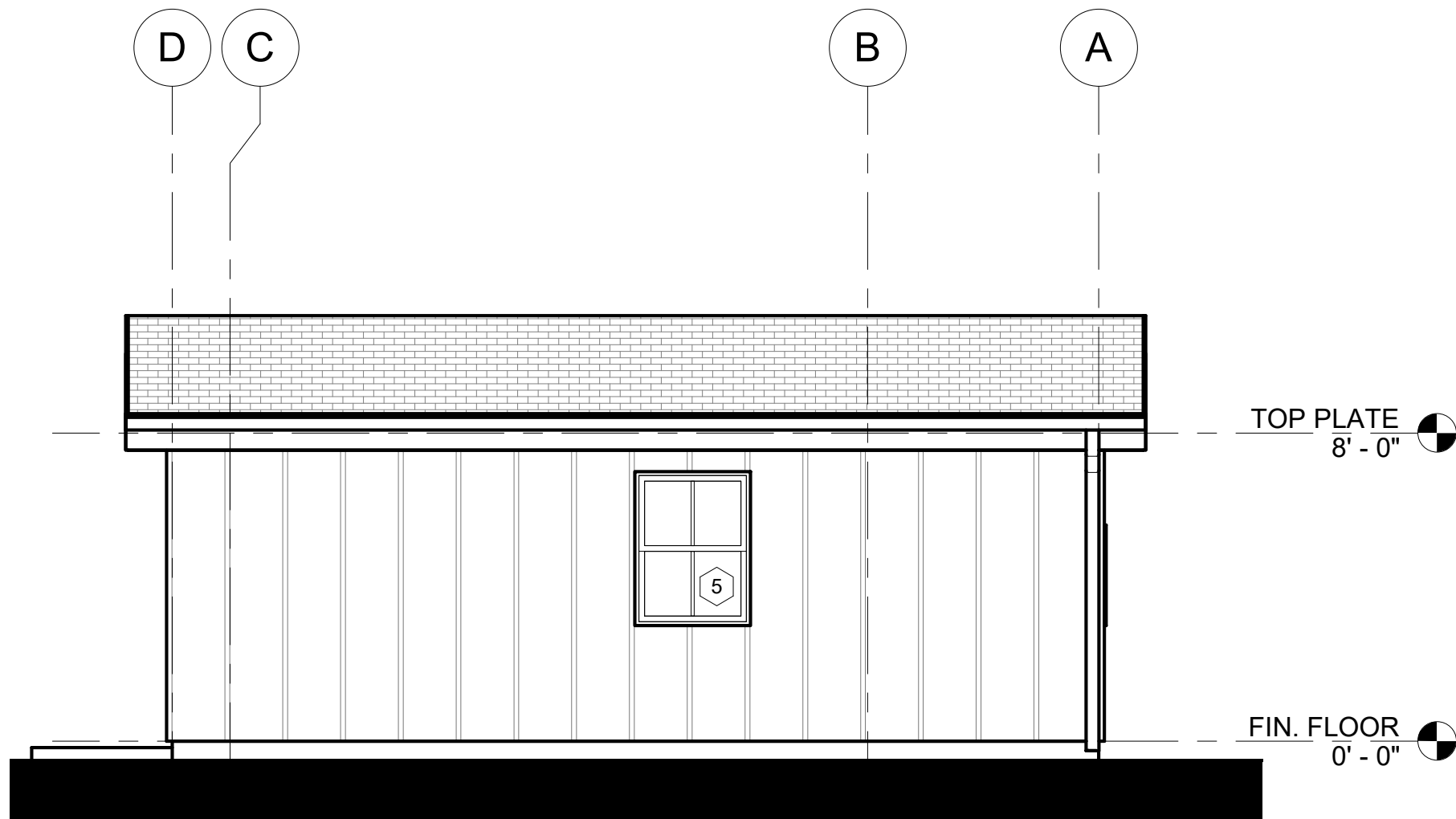
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SCALE: AS NOTED

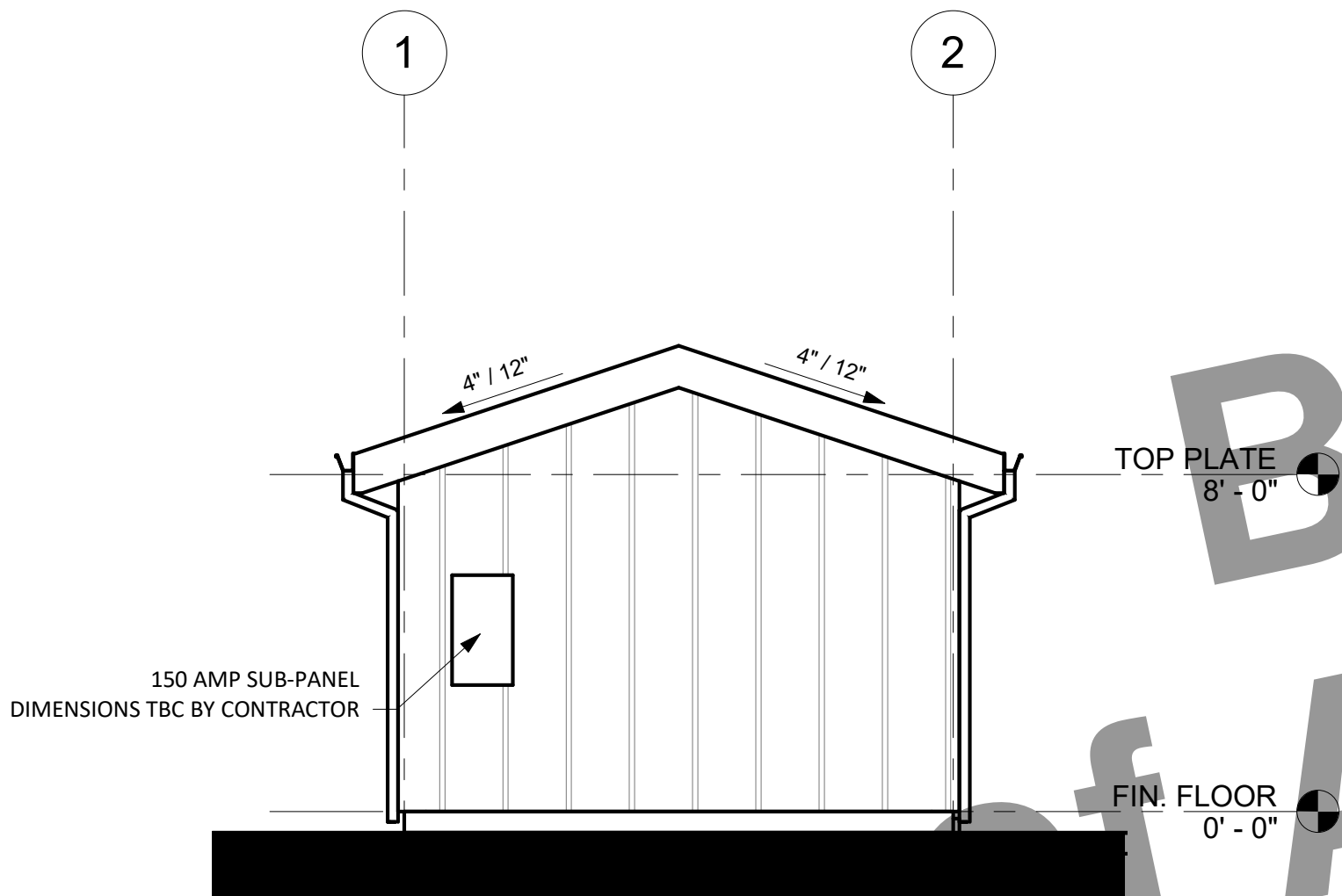




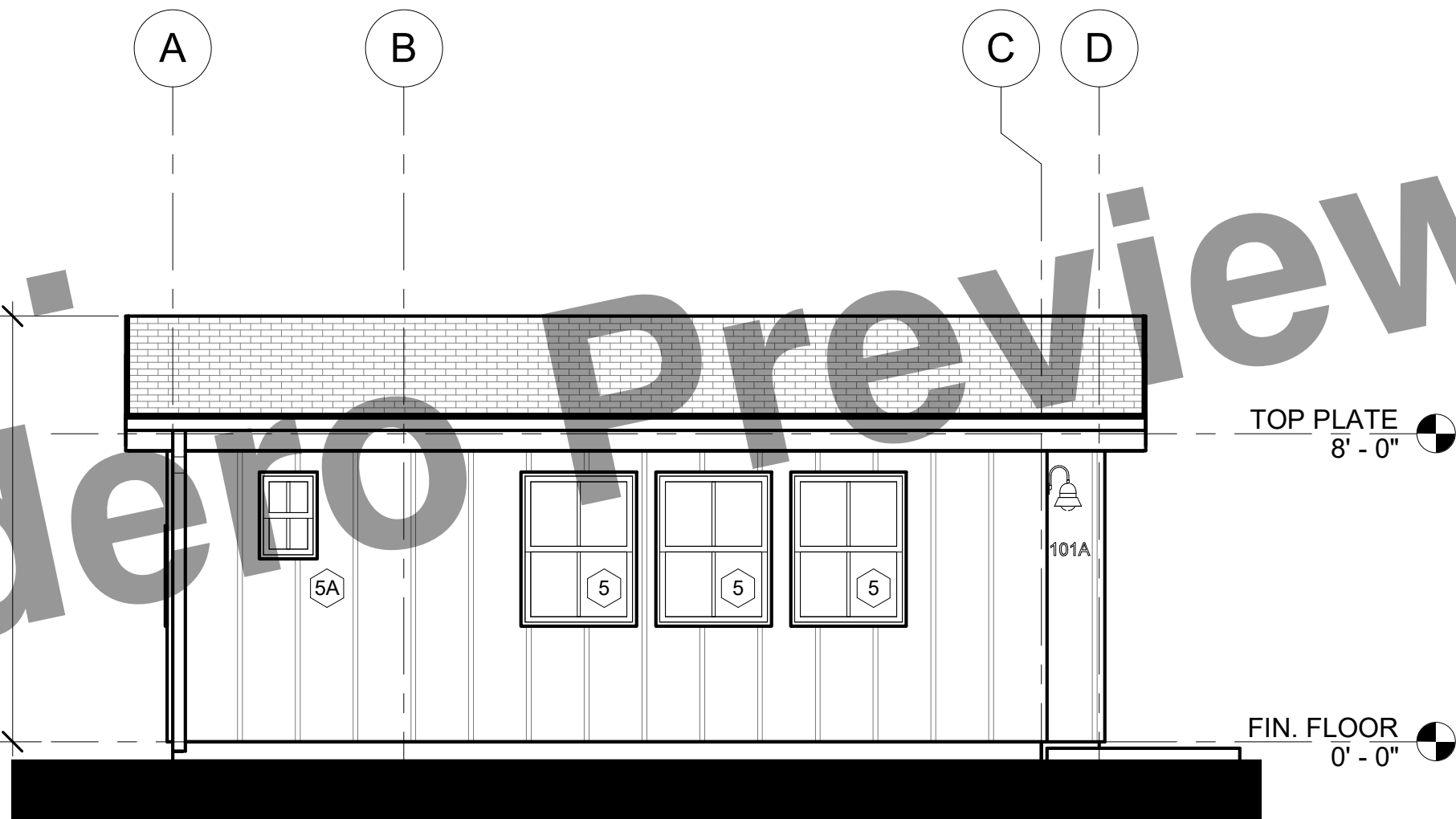
6 RIGHT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



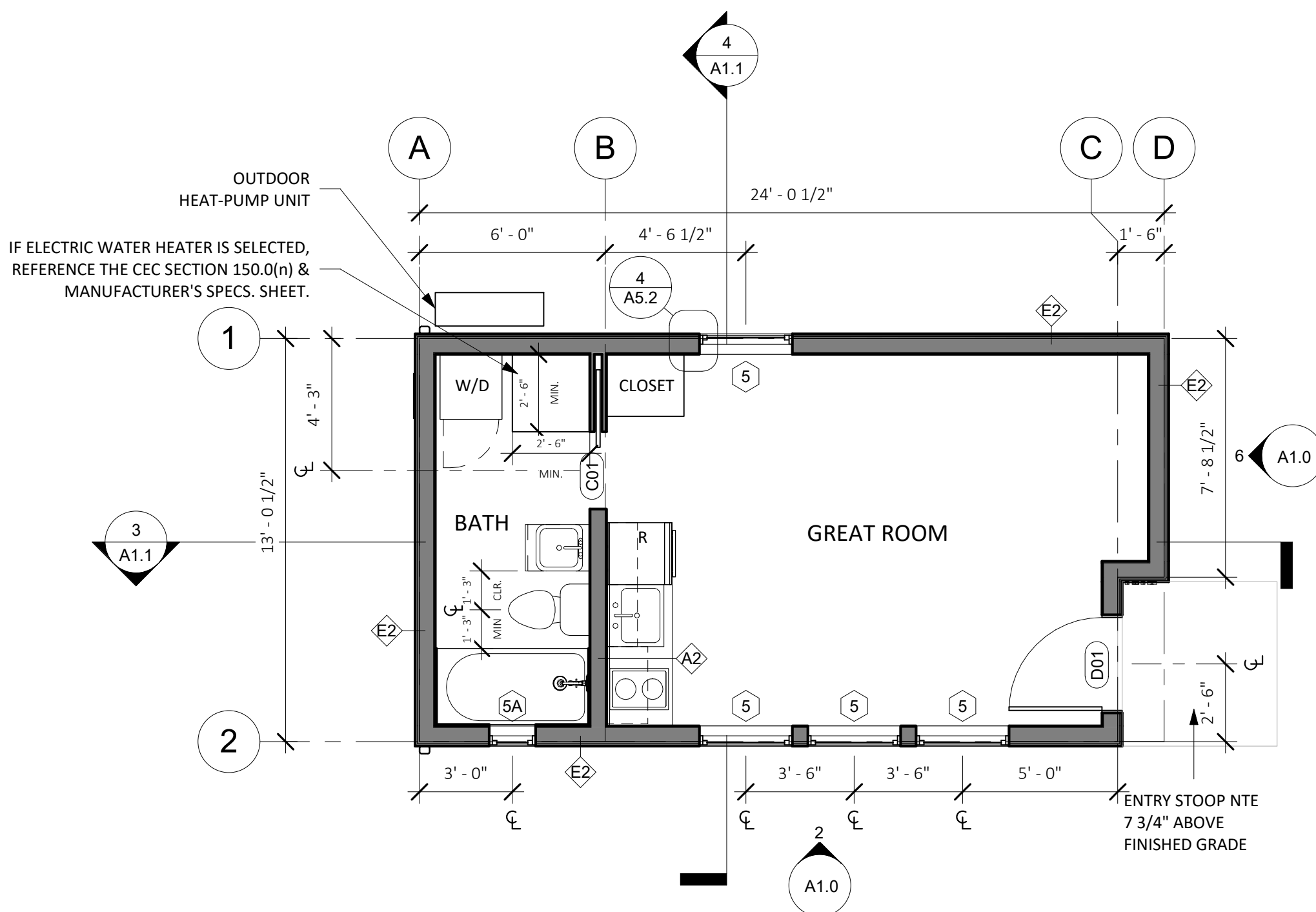
5 LEFT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - COASTAL RANCH  
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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/ARCHITECT**

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**CENTRAL COAST  
PRE-DESIGNED ADU**

EFFICIENCY STUDIO  
316 GSF

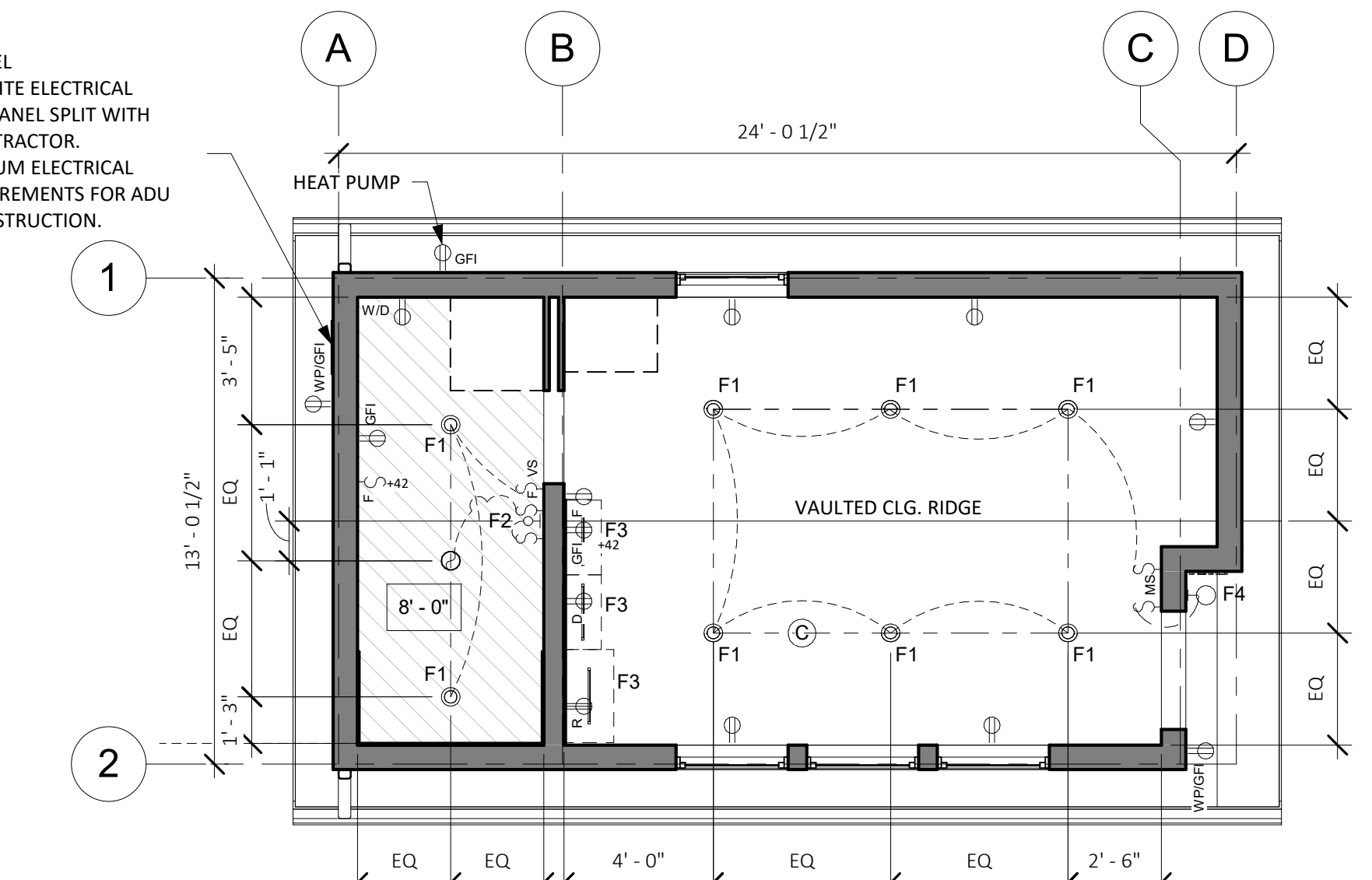
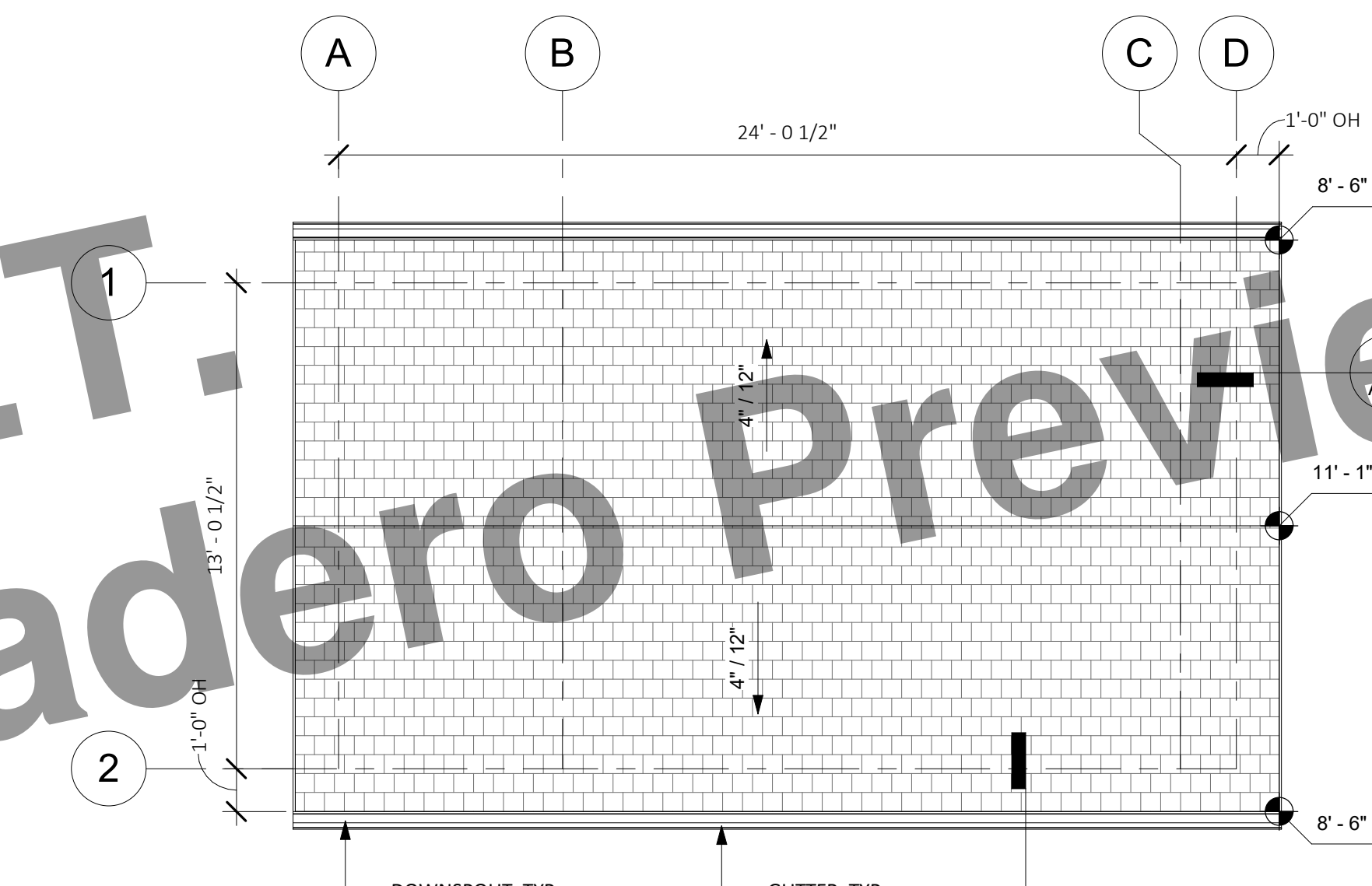
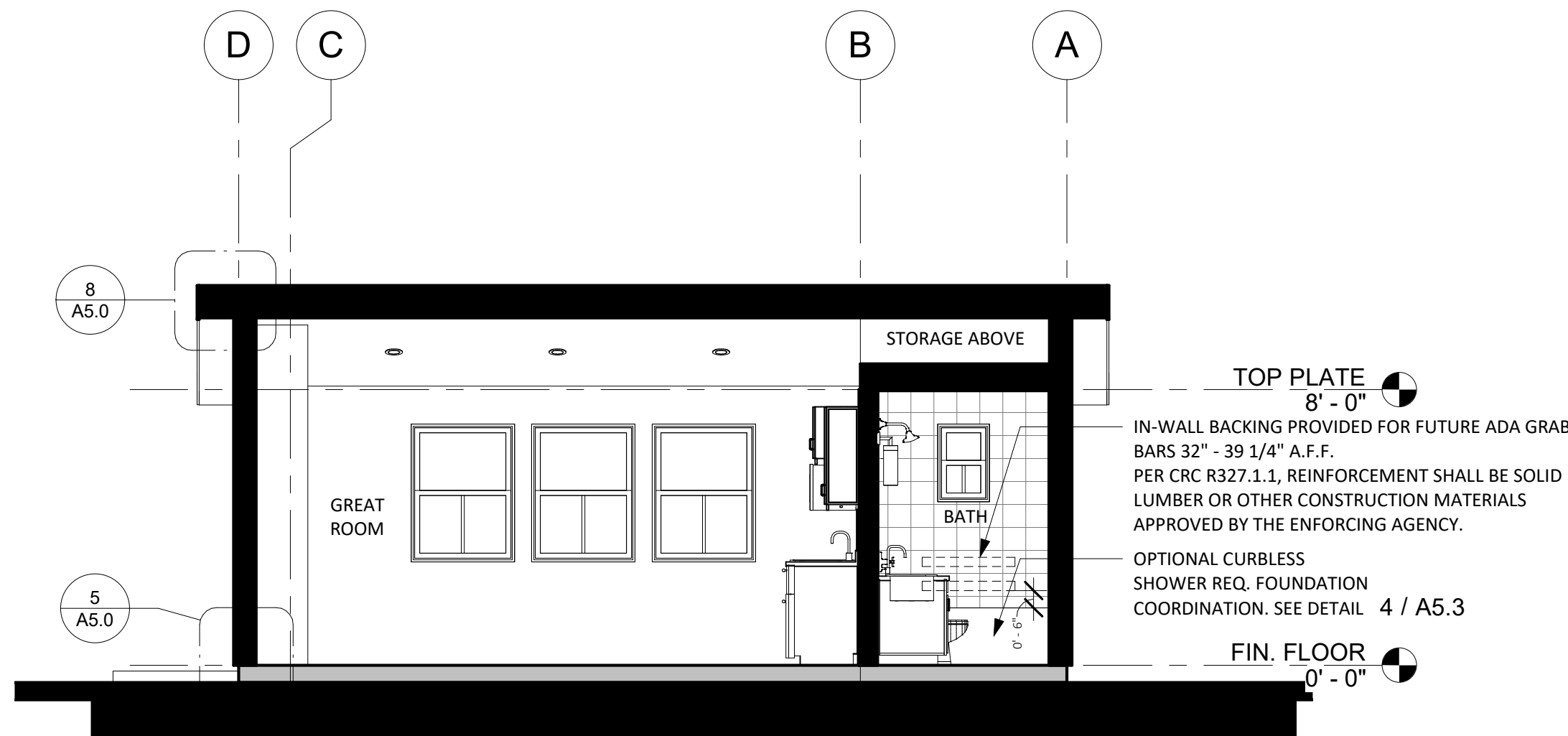
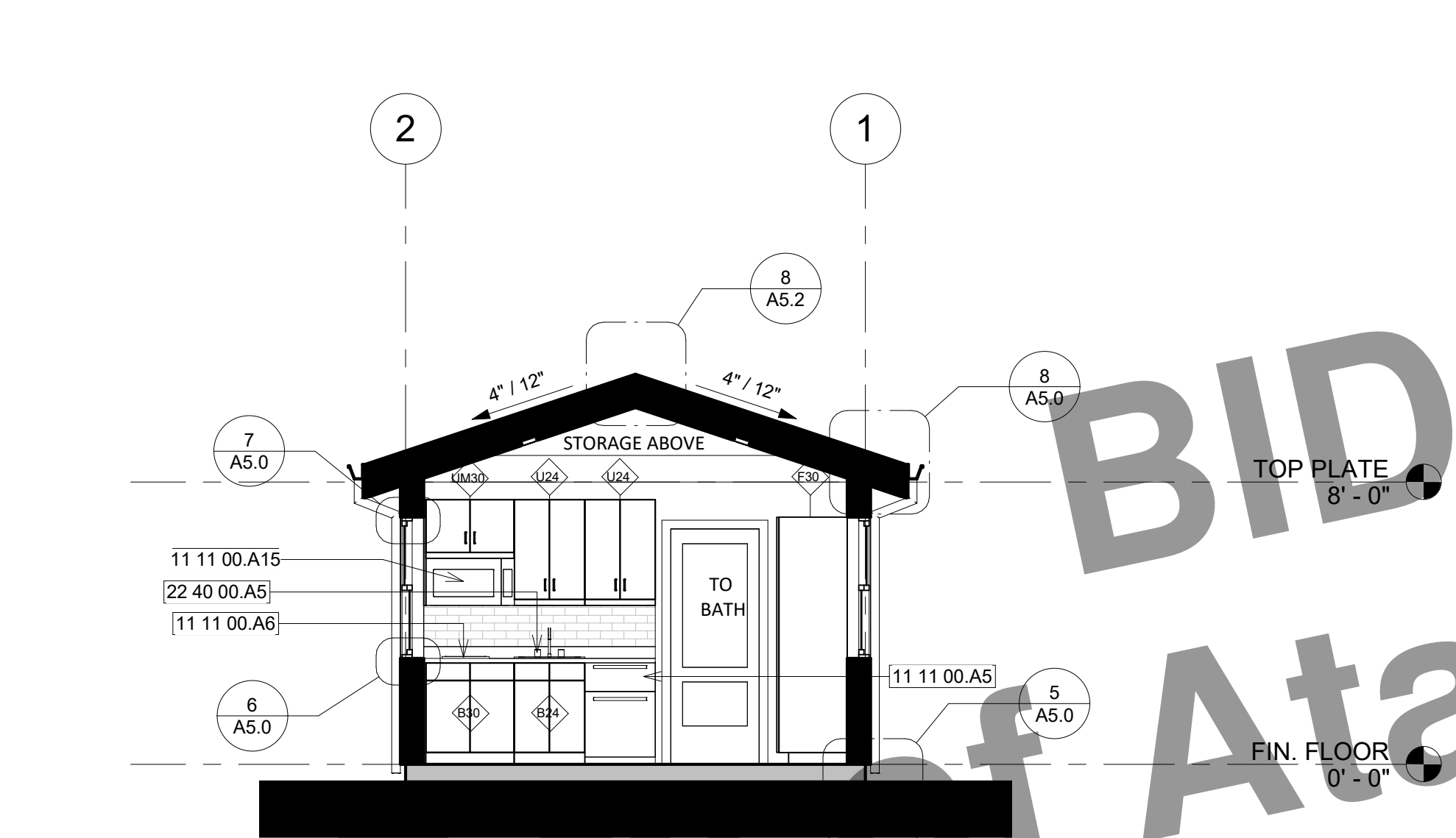
PRINT DATE: XX.XX.XXXX

**RANCH - FLOORPLAN  
& ELEVATIONS**

**A1.0**

SCALE: AS NOTED





## ROOF PLAN NOTES

- Roof dimensions taken from Roof Edge/Fascia to exterior face of plywood. Refer to referenced details for overhang dimensions.
- All roof areas shall be Class A Rated Composition Tiles or equal.
- Wood shingles shall not be used.
- Roof gutters shall be provided with means to prevent accumulation of leaves and debris in the gutter.
- Provide 26 Gauge Corrosion Resistant Metal Flashings at roof/wall intersections, gutters, and around roof openings.
- Gang vents whenever possible.
- See Detail 7/A5.2 for roof penetration detail.
- Roofers and solar installer to coordinate installation for PVs and PV Roof Clips.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

## REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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## BROCKETT /ARCHITECT

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BROCKITECTURE.COM

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# CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO  
316 GSF

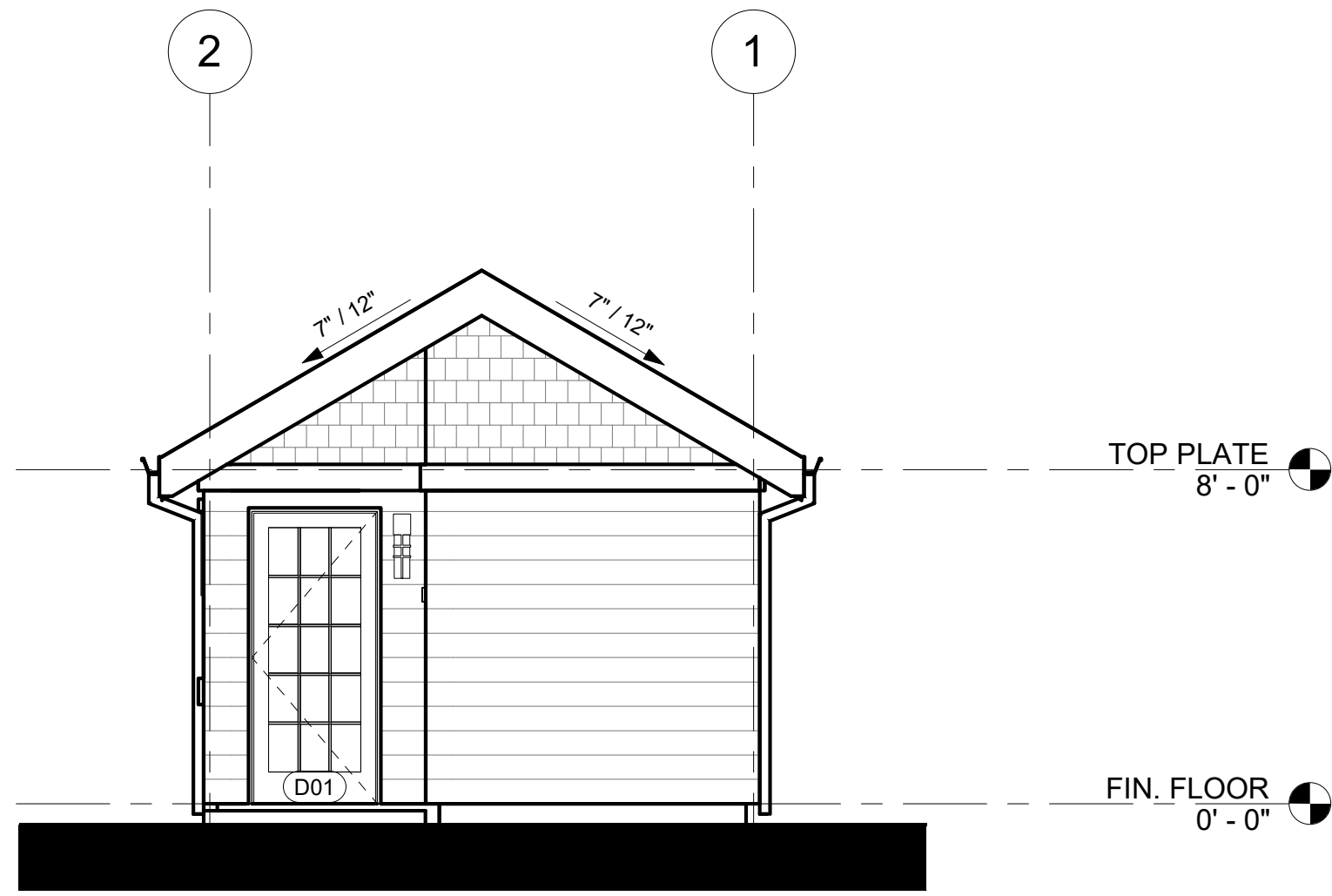
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RANCH - SECTIONS,  
ROOF PLAN & RCP

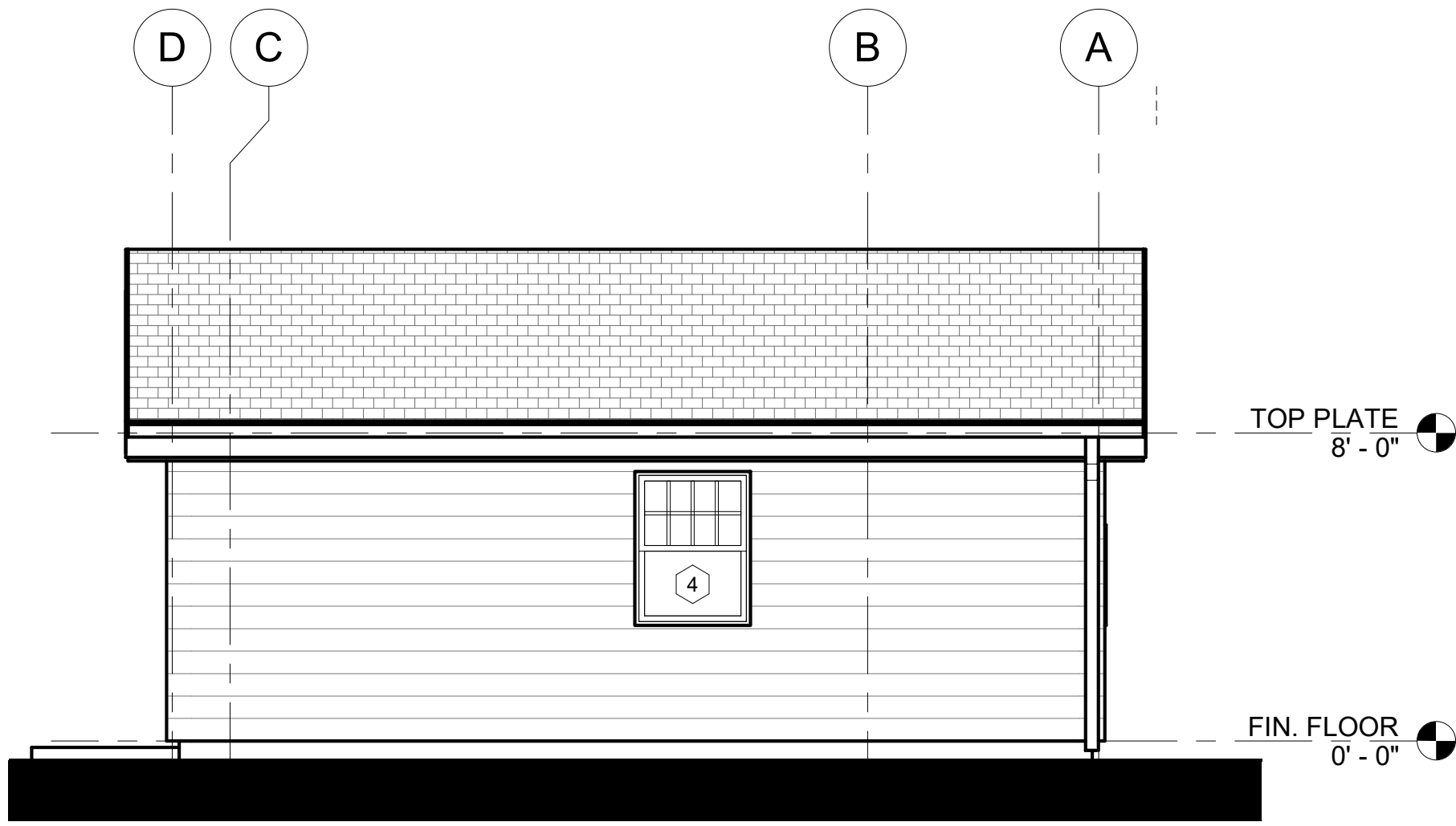
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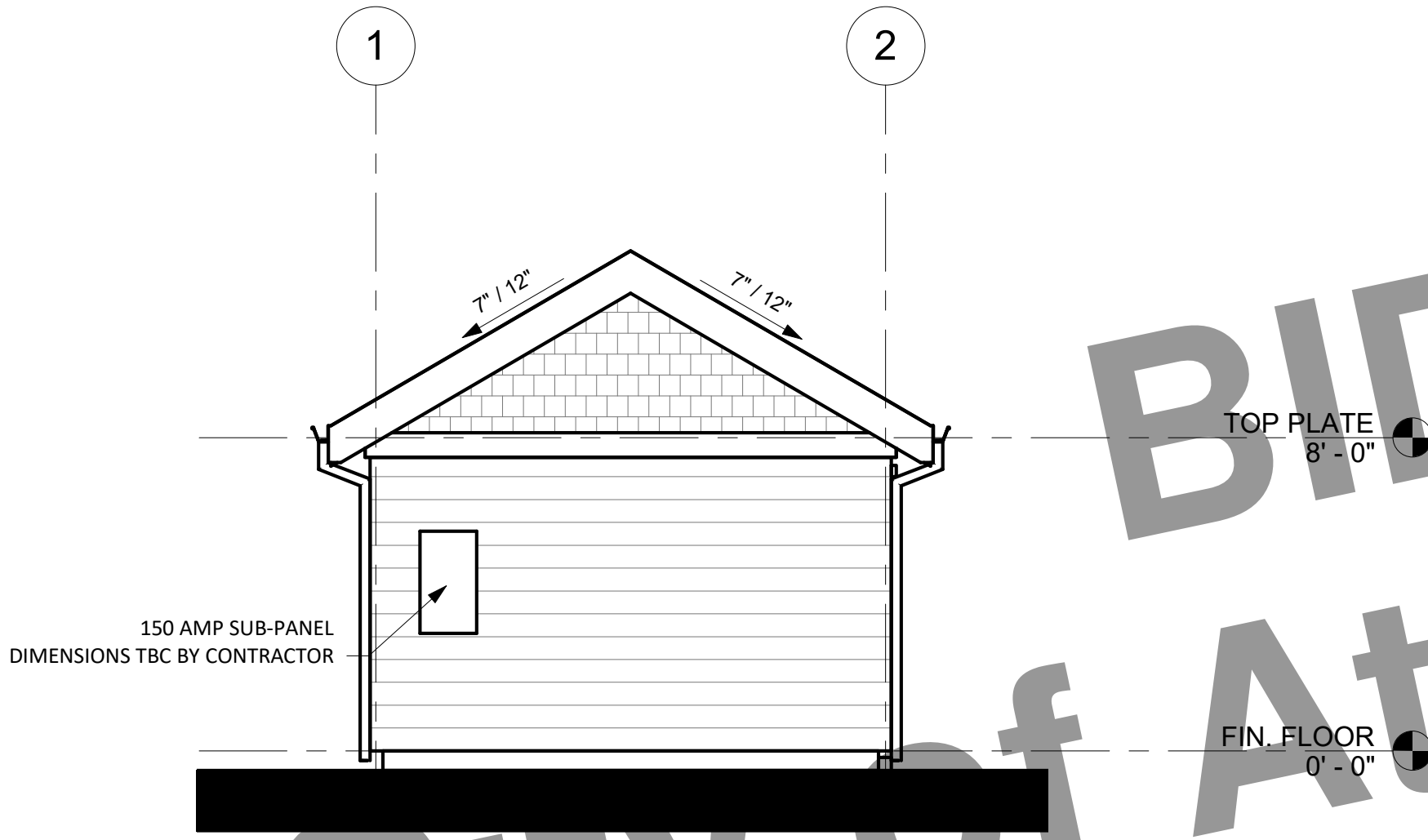




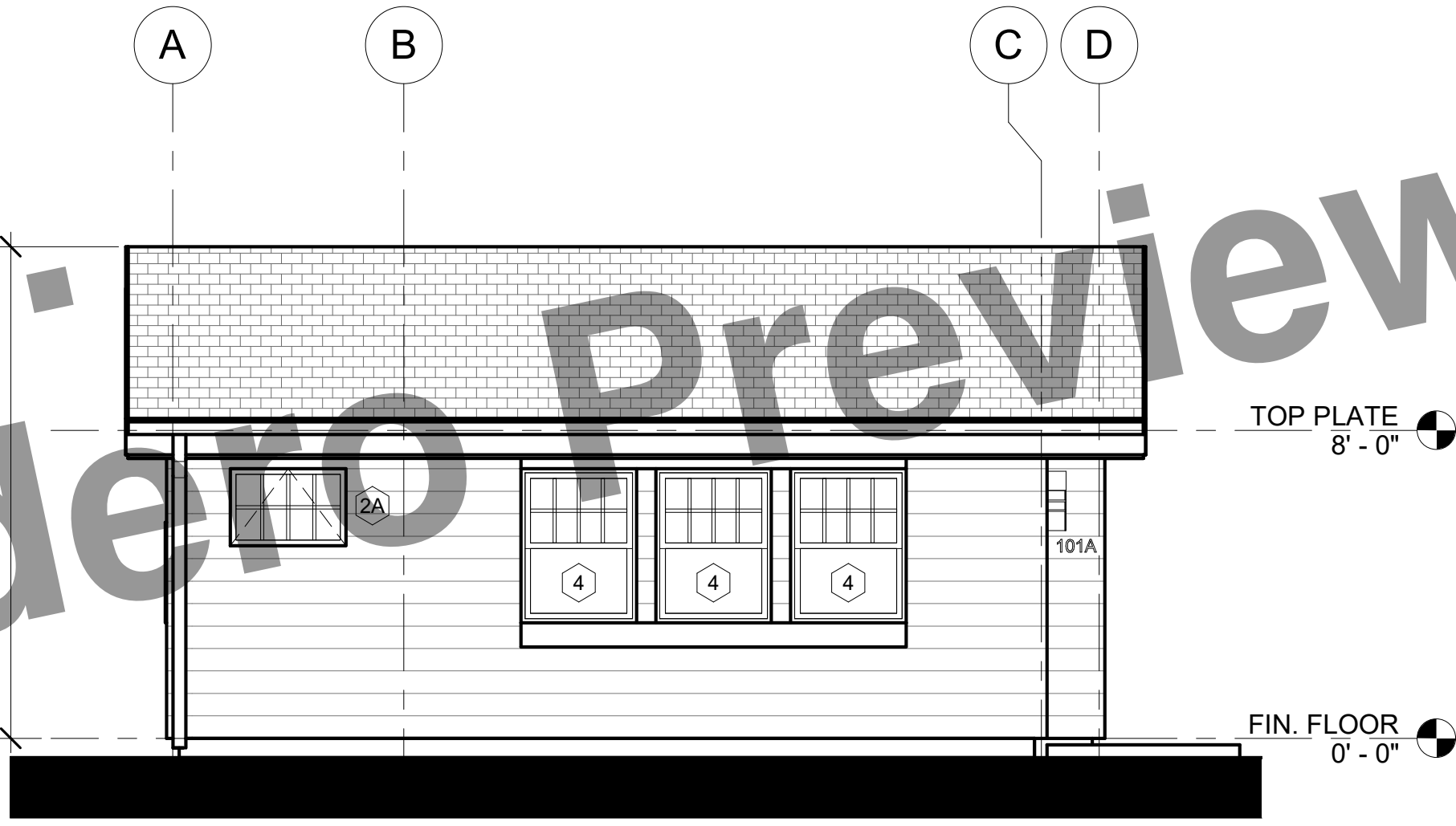
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1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



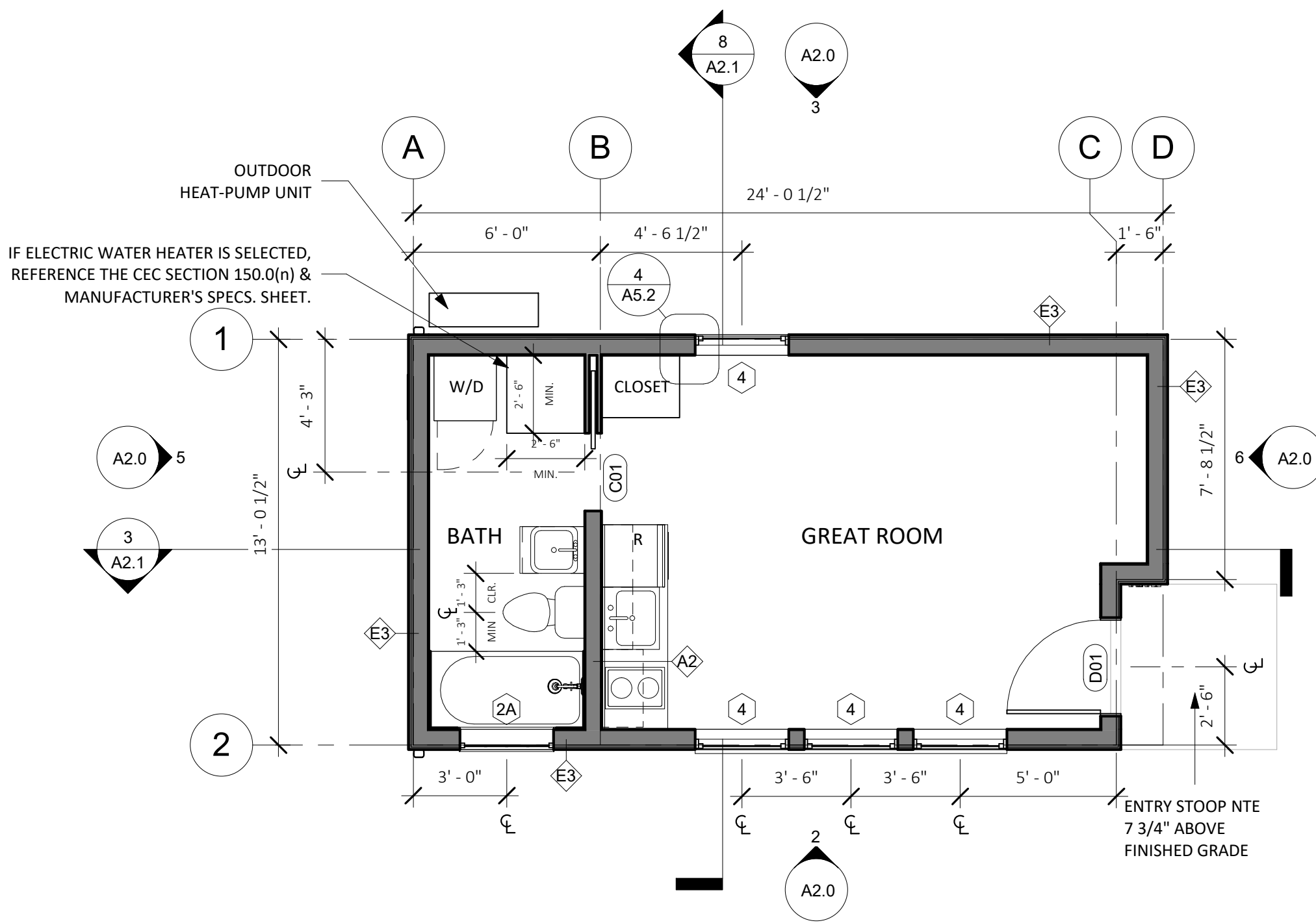
5 LEFT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



2 FRONT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - BACKYARD CRAFTSMAN  
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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**BROCKETT  
/ARCHITECT**

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**CENTRAL COAST  
PRE-DESIGNED ADU**

**EFFICIENCY STUDIO  
316 GSF**

PRINT DATE: XX.XX.XXXX

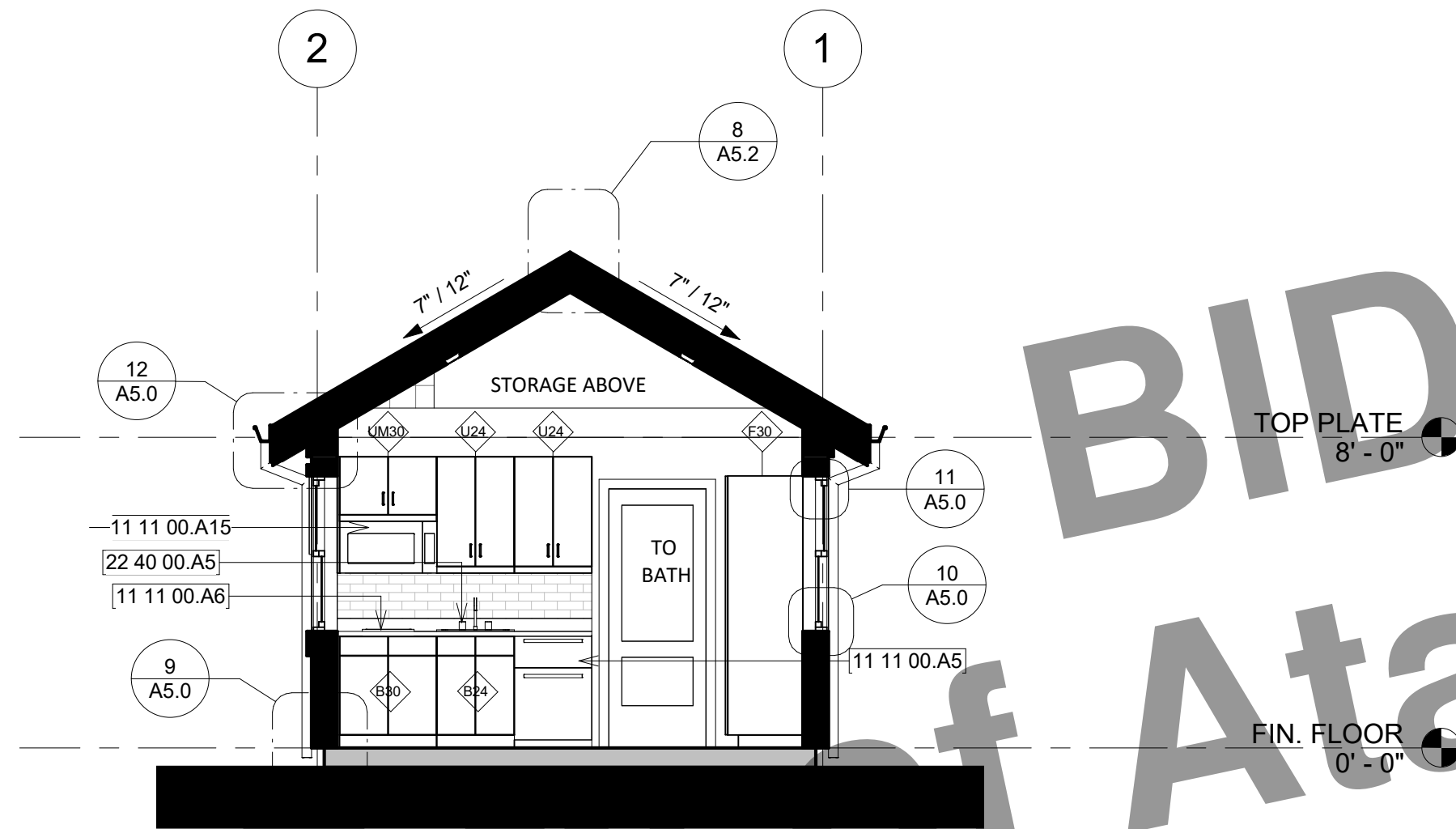
**CRAFTSMAN -  
FLOORPLANS &  
ELEVATIONS**

**A2.0**

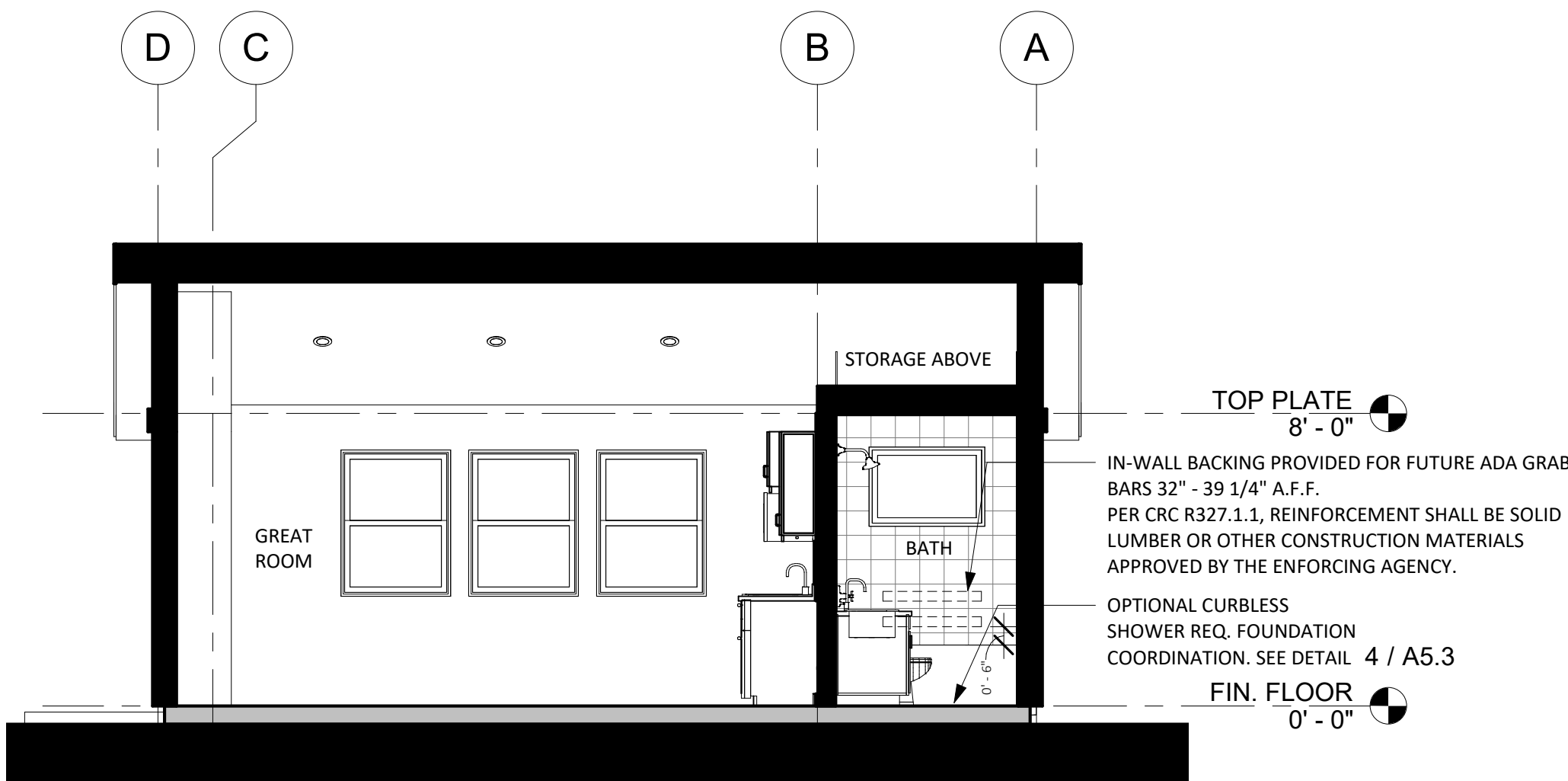
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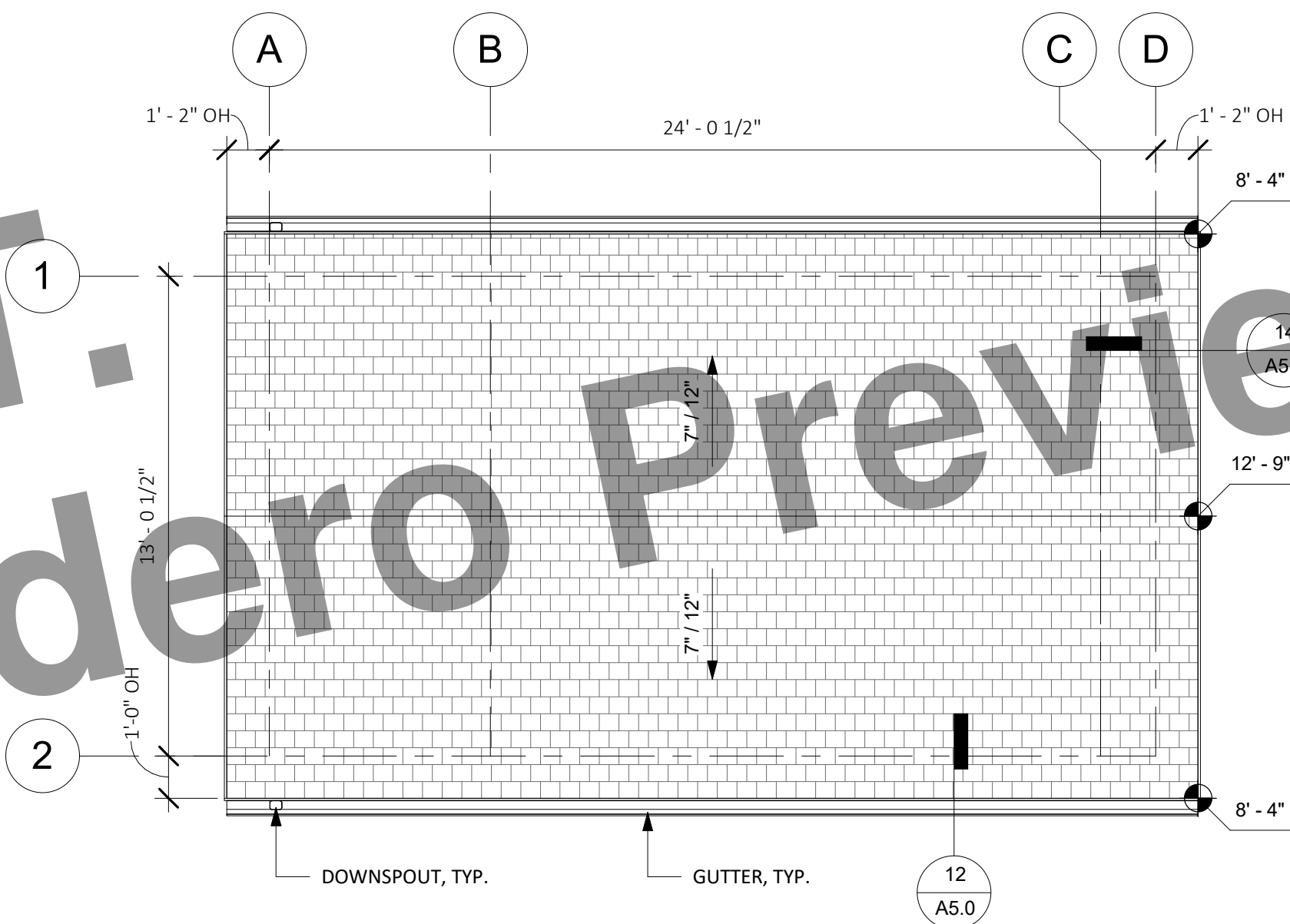
8 SECTION B - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



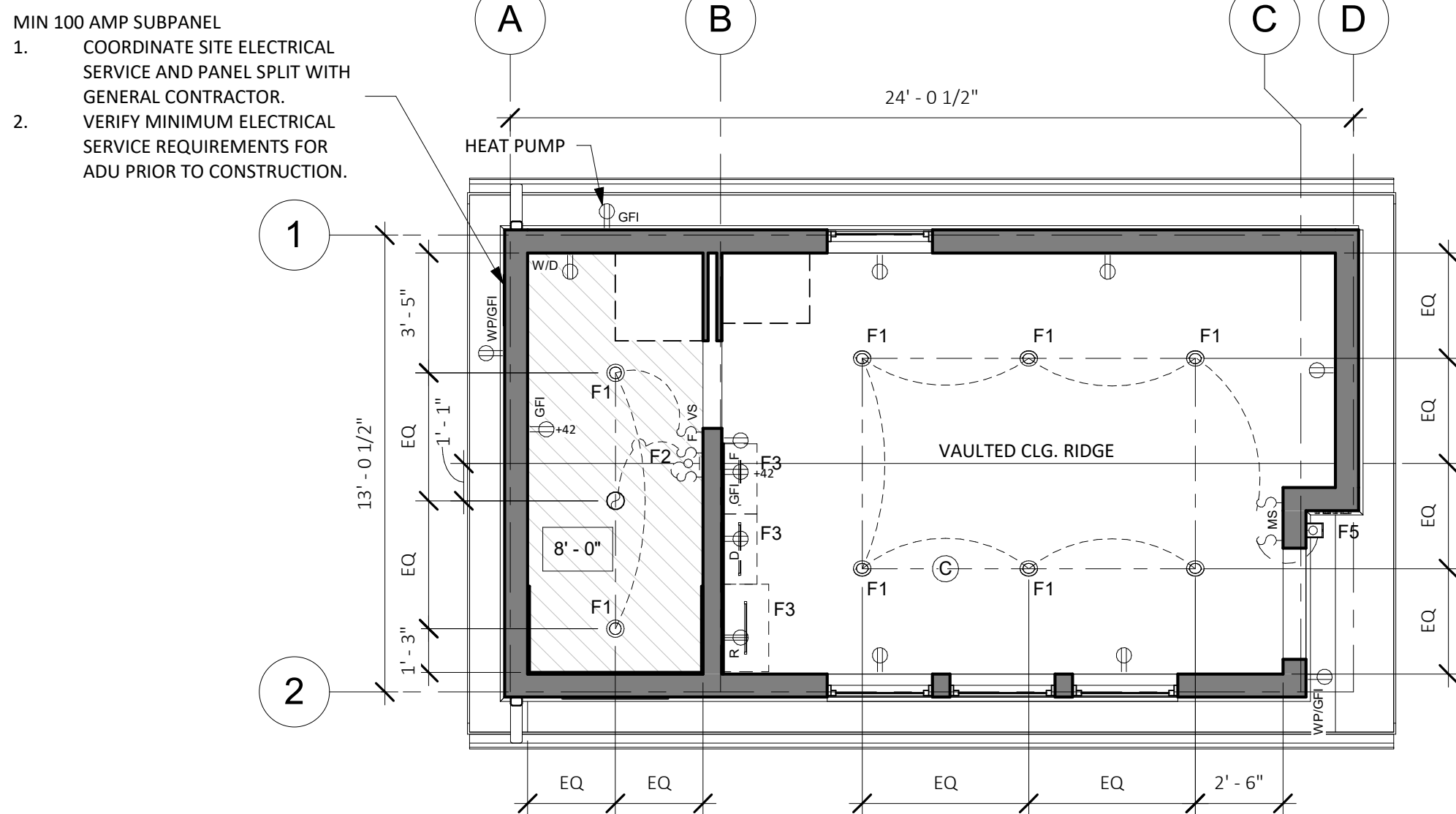
3 SECTION A - BACKYARD CRAFTSMAN  
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2 ROOF PLAN - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"



## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
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- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
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- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

## REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
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3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
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7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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## CENTRAL COAST PRE-DESIGNED ADU EFFICIENCY STUDIO 316 GSF

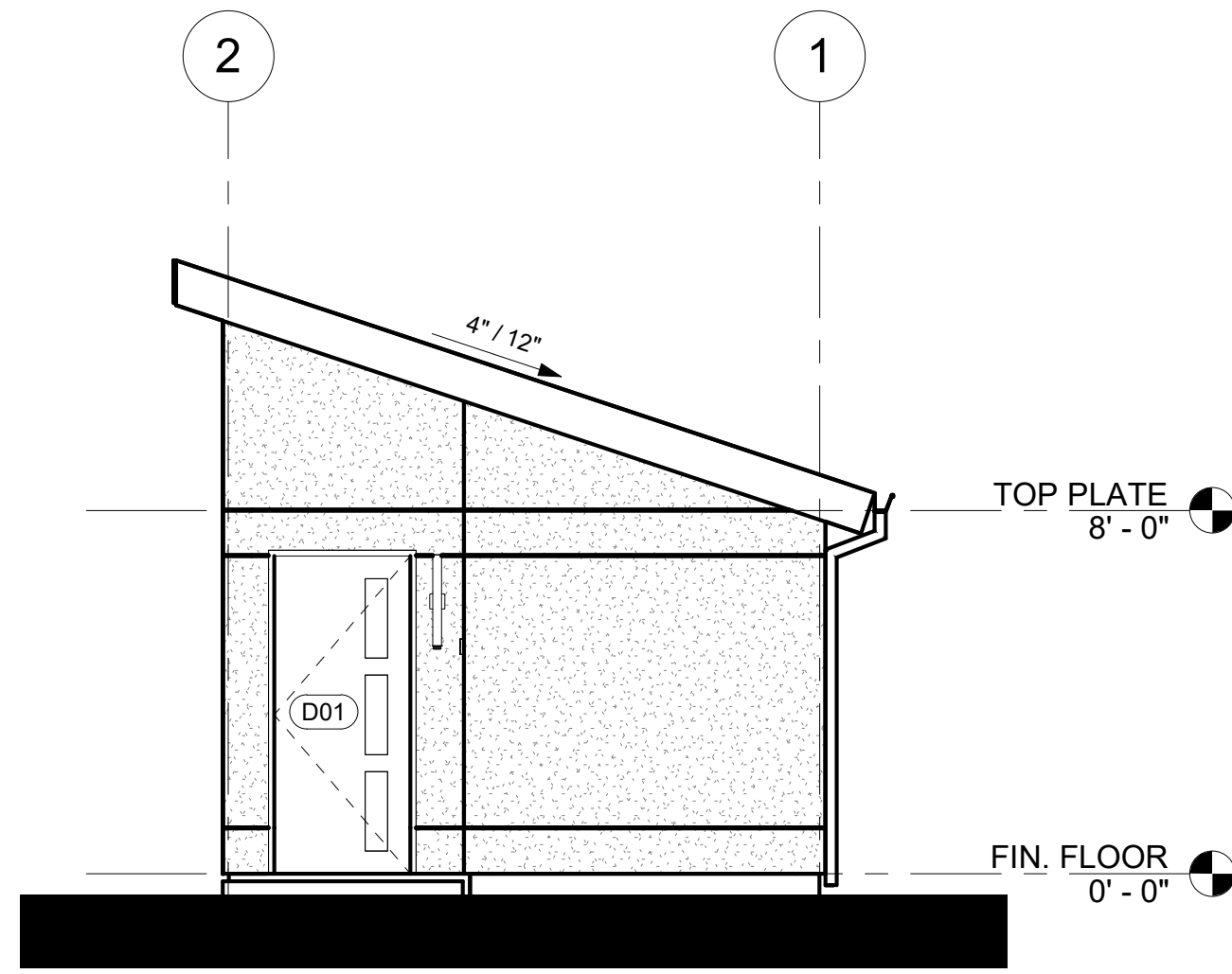
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CRAFTSMAN -  
SECTIONS, ROOF  
PLAN & RCP

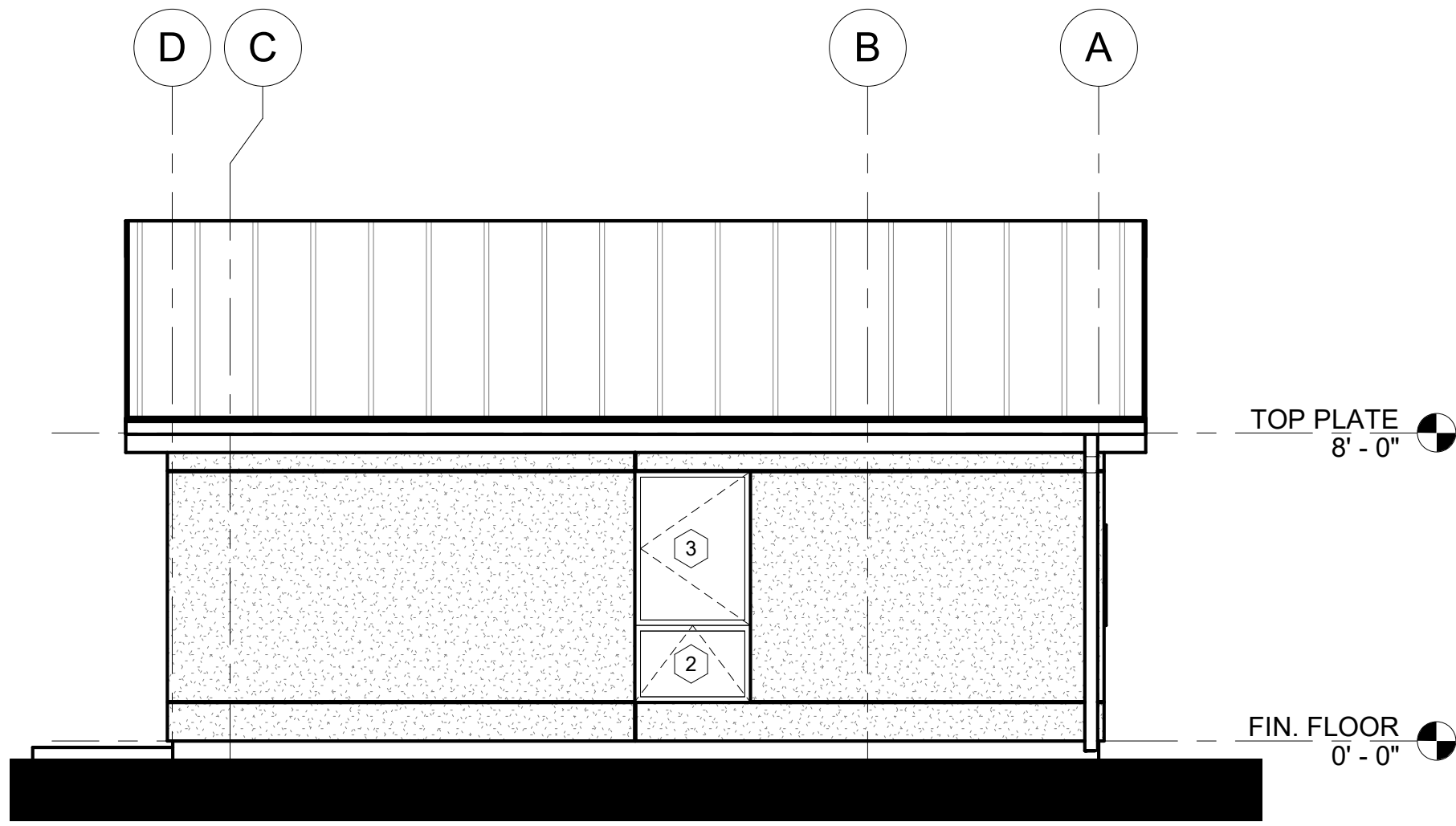
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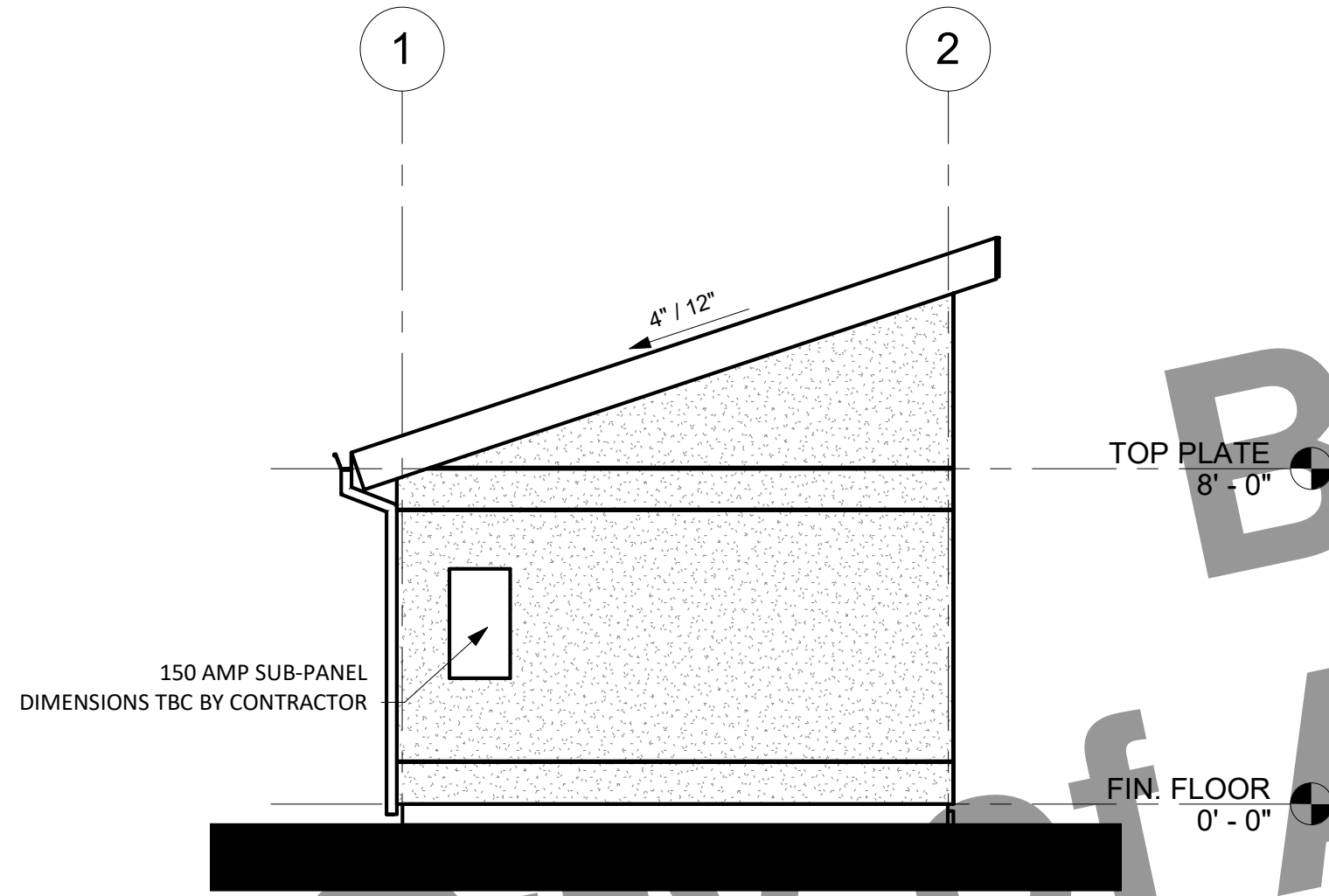




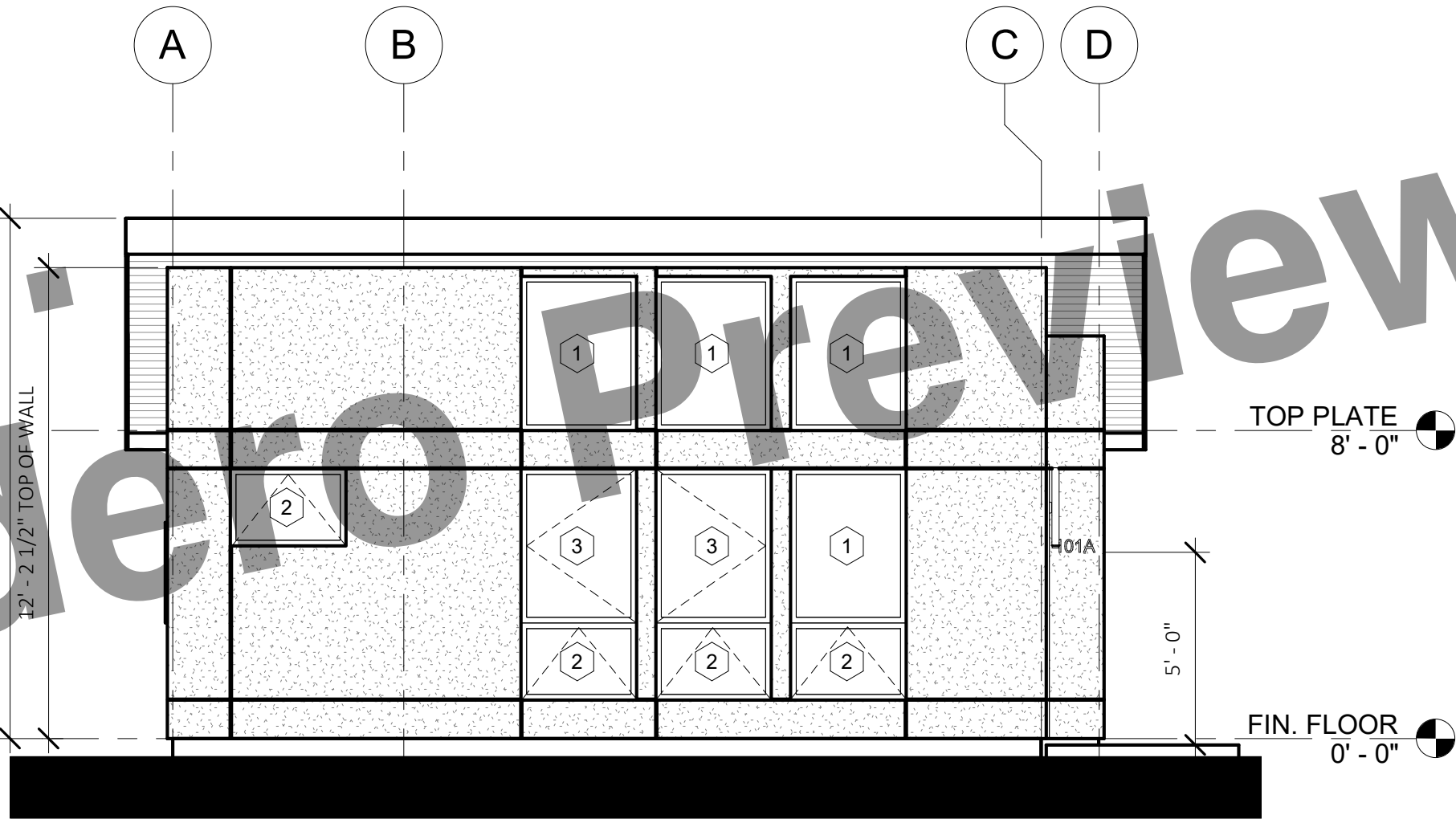
6 RIGHT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



3 REAR ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



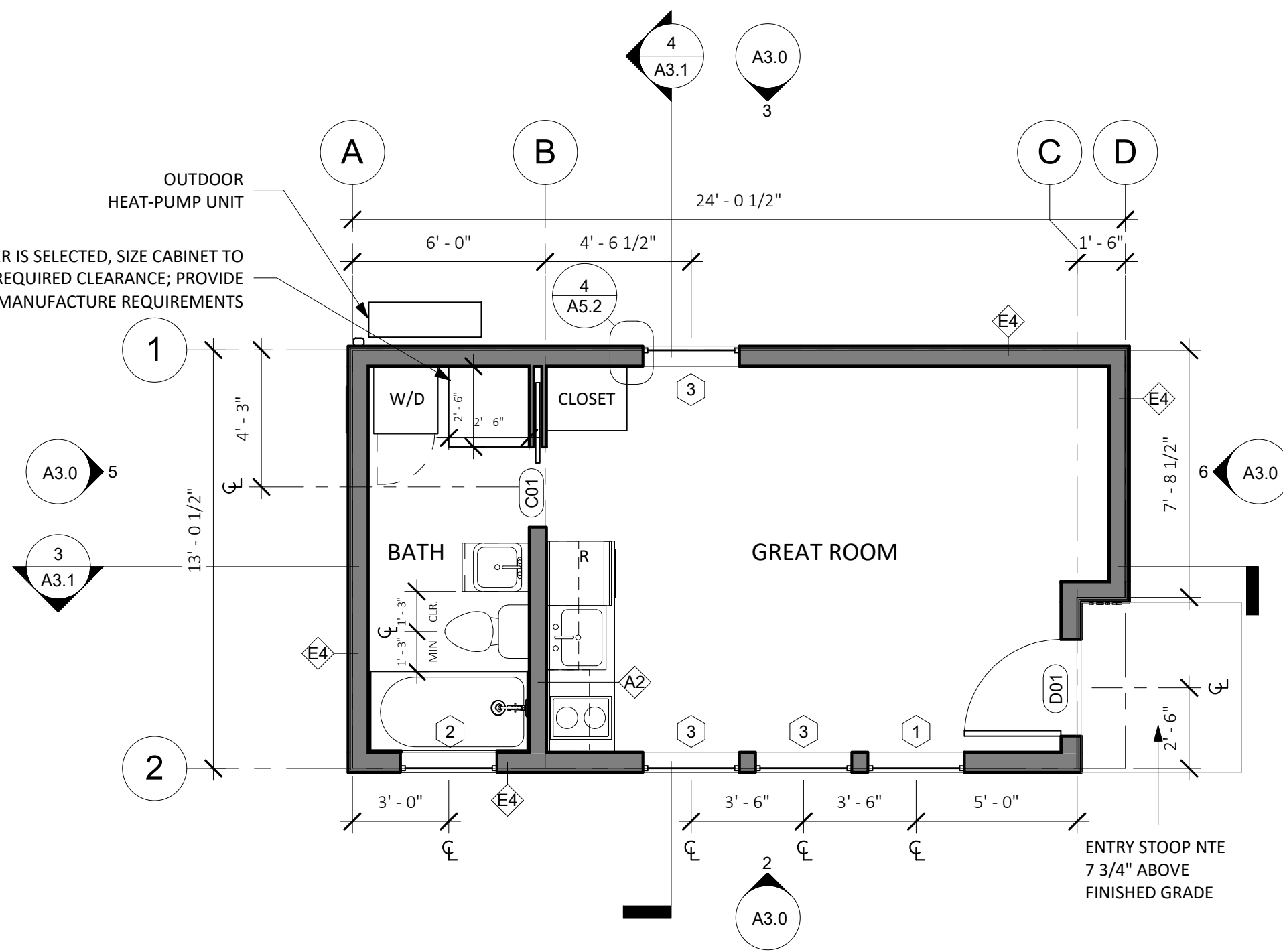
5 LEFT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - CALIFORNIA MODERN  
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

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workbench

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316 GSF**

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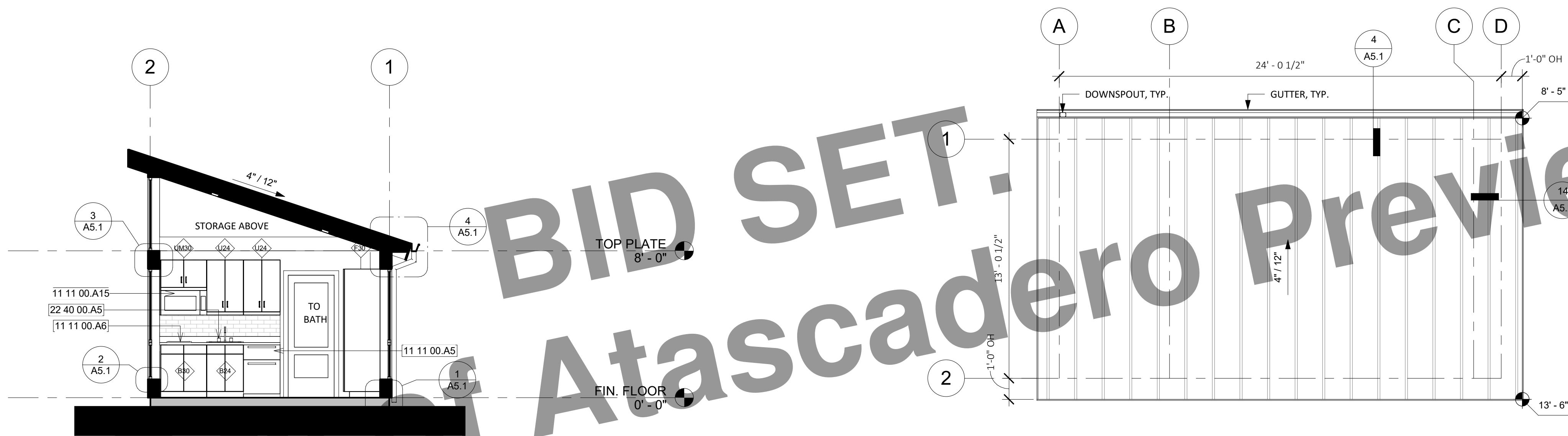
**MODERN -  
FLOORPLANS &  
ELEVATIONS**

**A3.0**

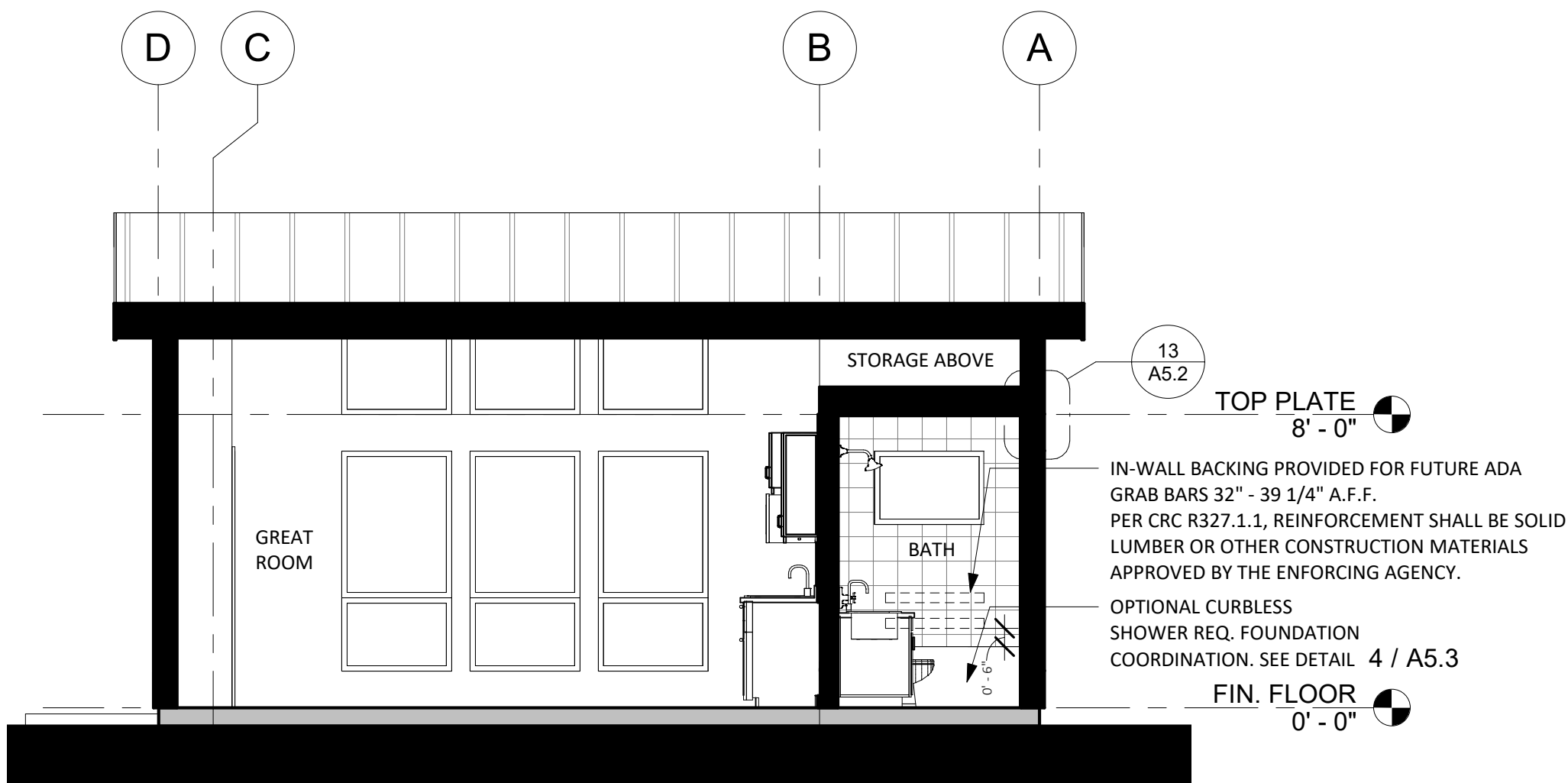
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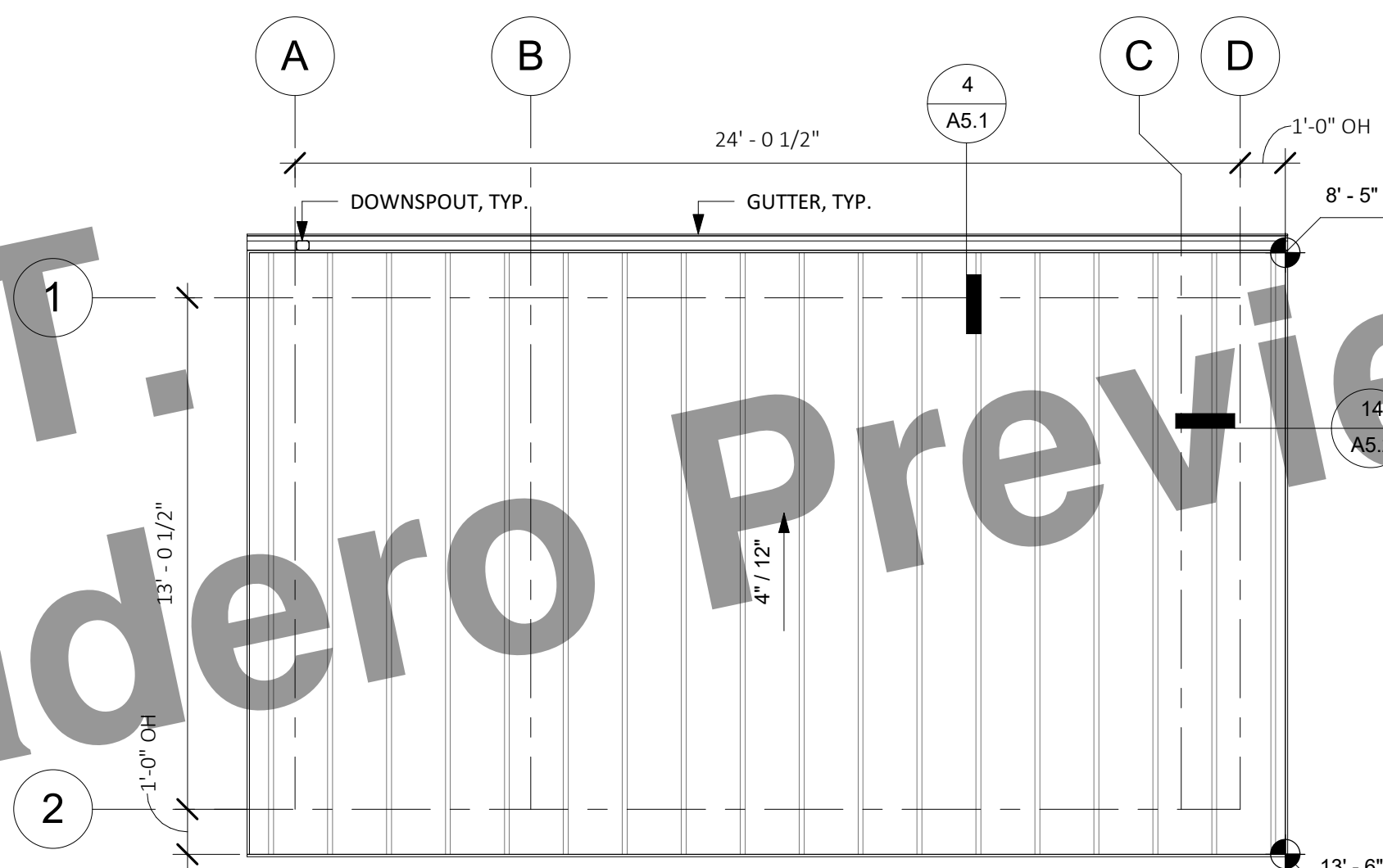
4 SECTION B - CALIFORNIA MODERN  
1/4" = 1'-0"



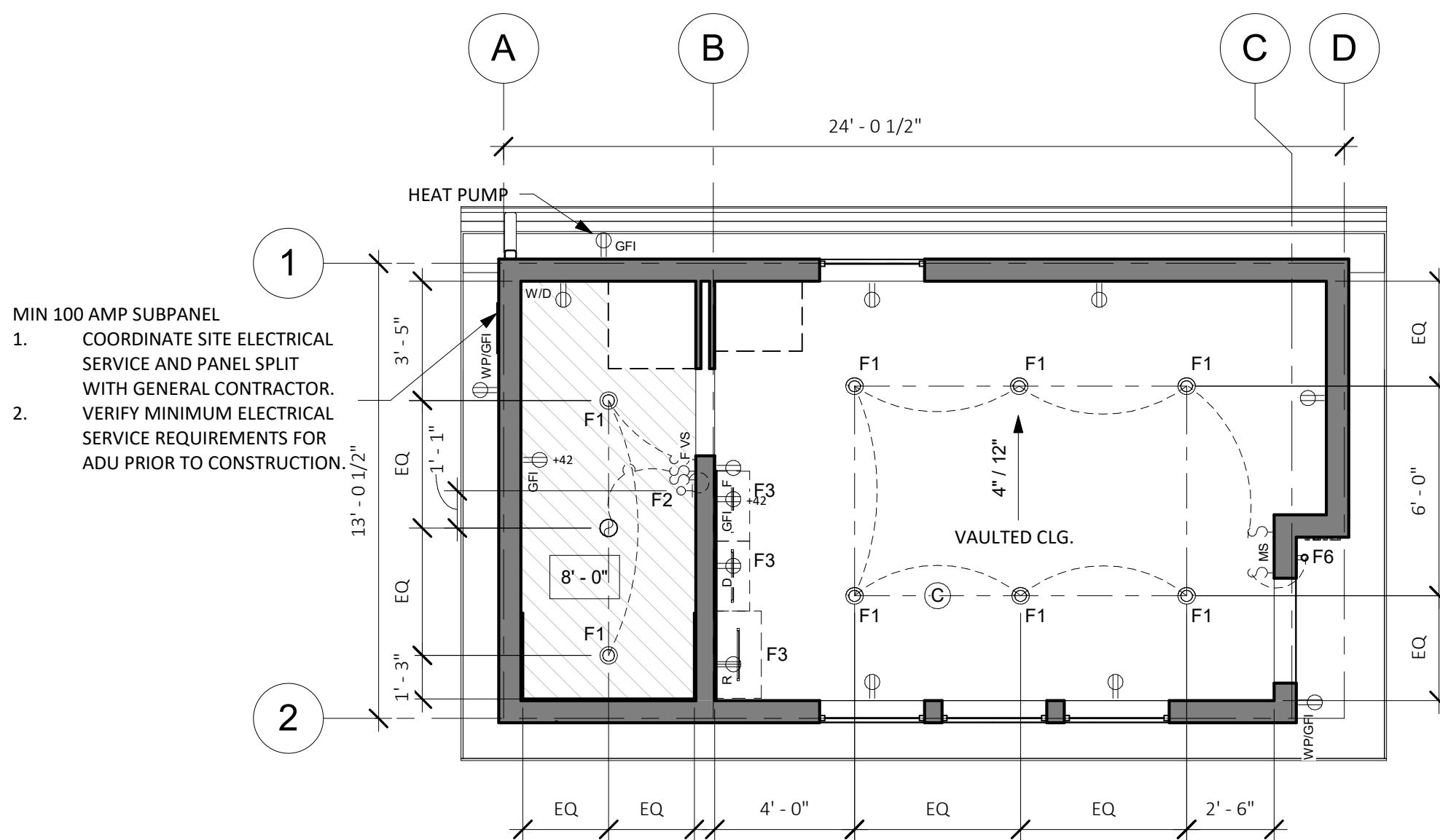
3 SECTION A - CALIFORNIA MODERN  
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2 ROOF PLAN - CALIFORNIA MODERN  
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1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"



## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
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5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
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4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI's FOR PROTECTION FOR PERSONNEL



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**CENTRAL COAST  
PRE-DESIGNED ADU**

EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

MODERN - SECTIONS,  
ROOF PLAN & RCP

**A3.1**

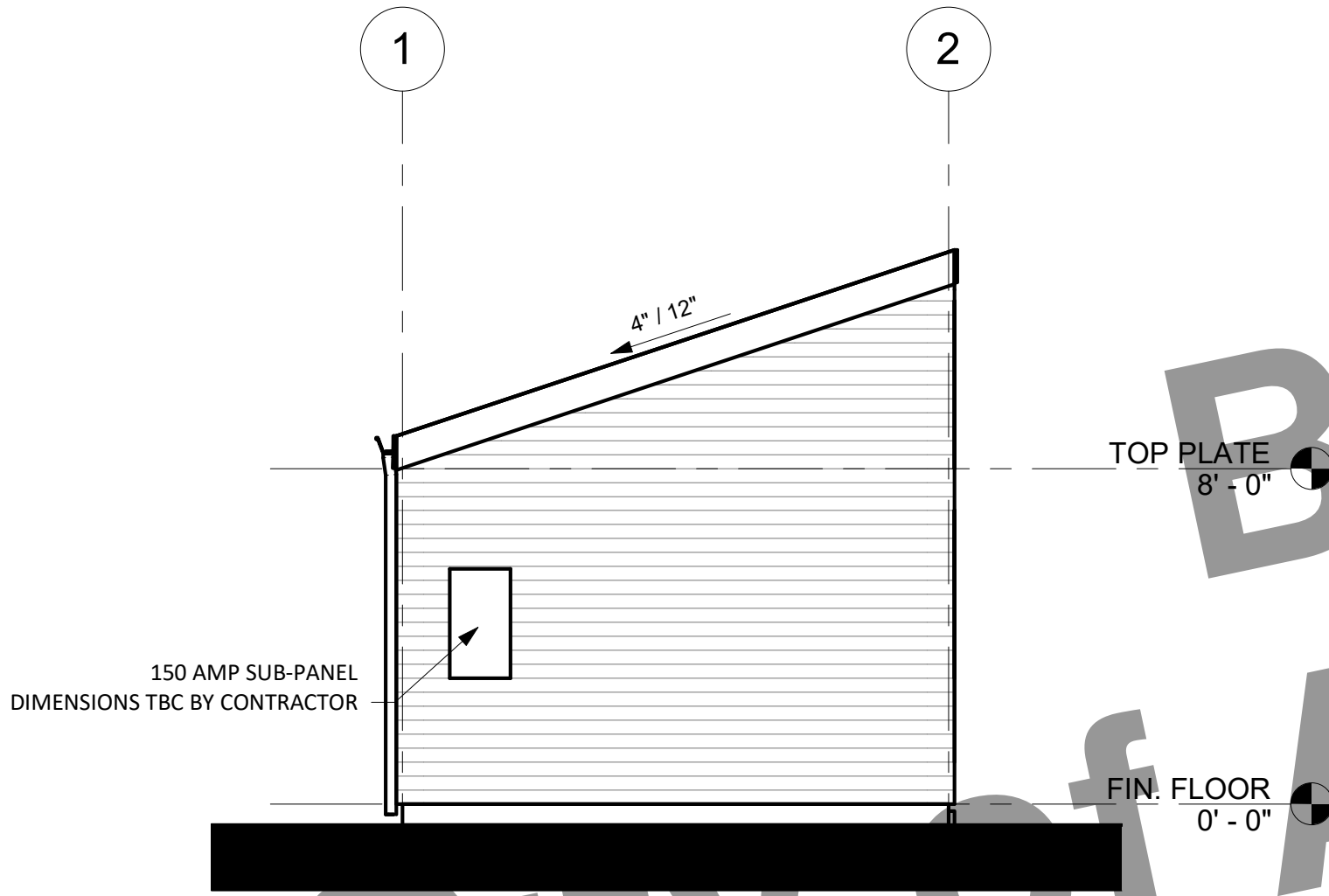
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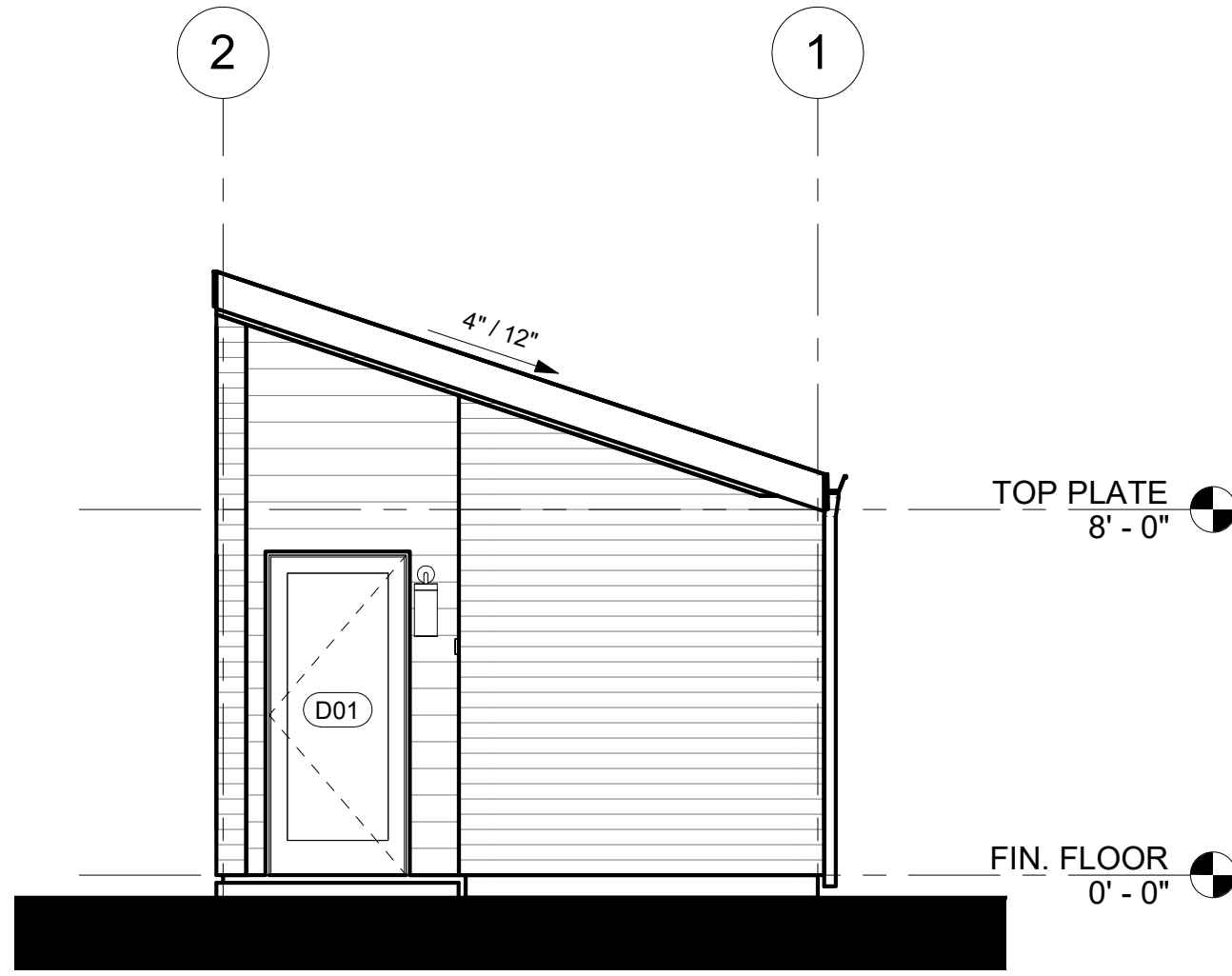


4 FRONT VIEW - EFFICIENCY STUDIO - BEACH BUNGALOW  
NO SCALE

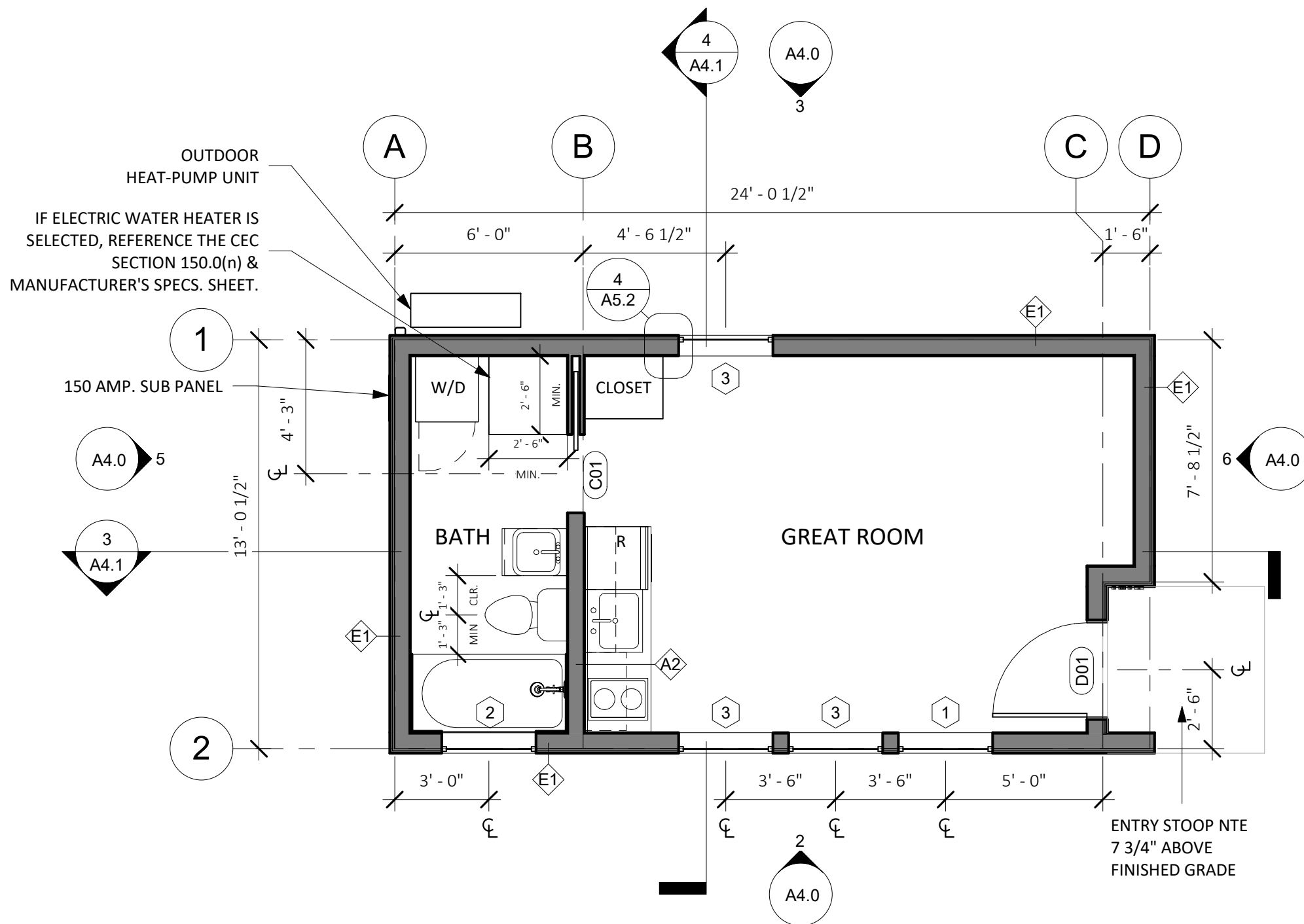
5 LEFT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



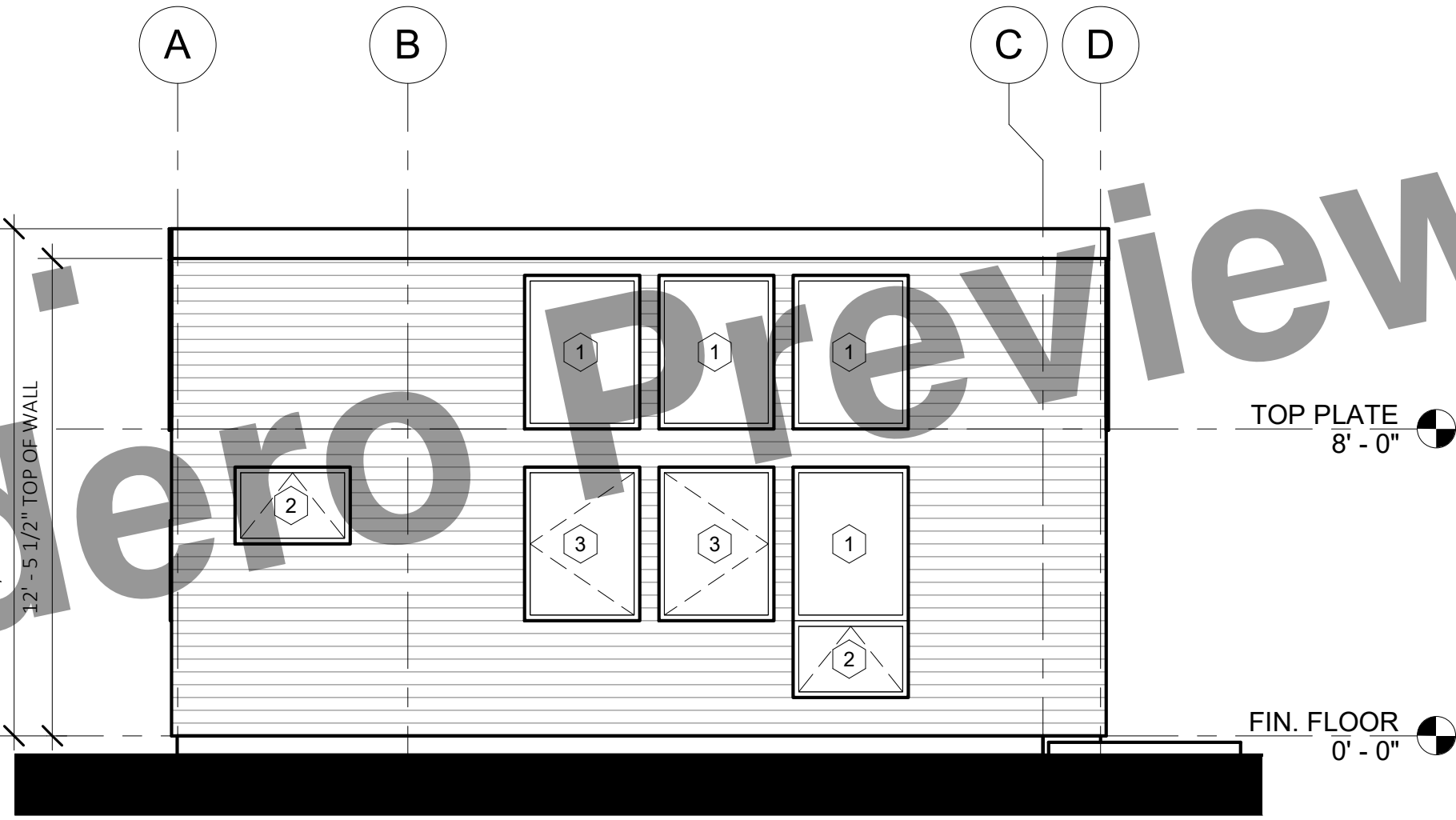
6 RIGHT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



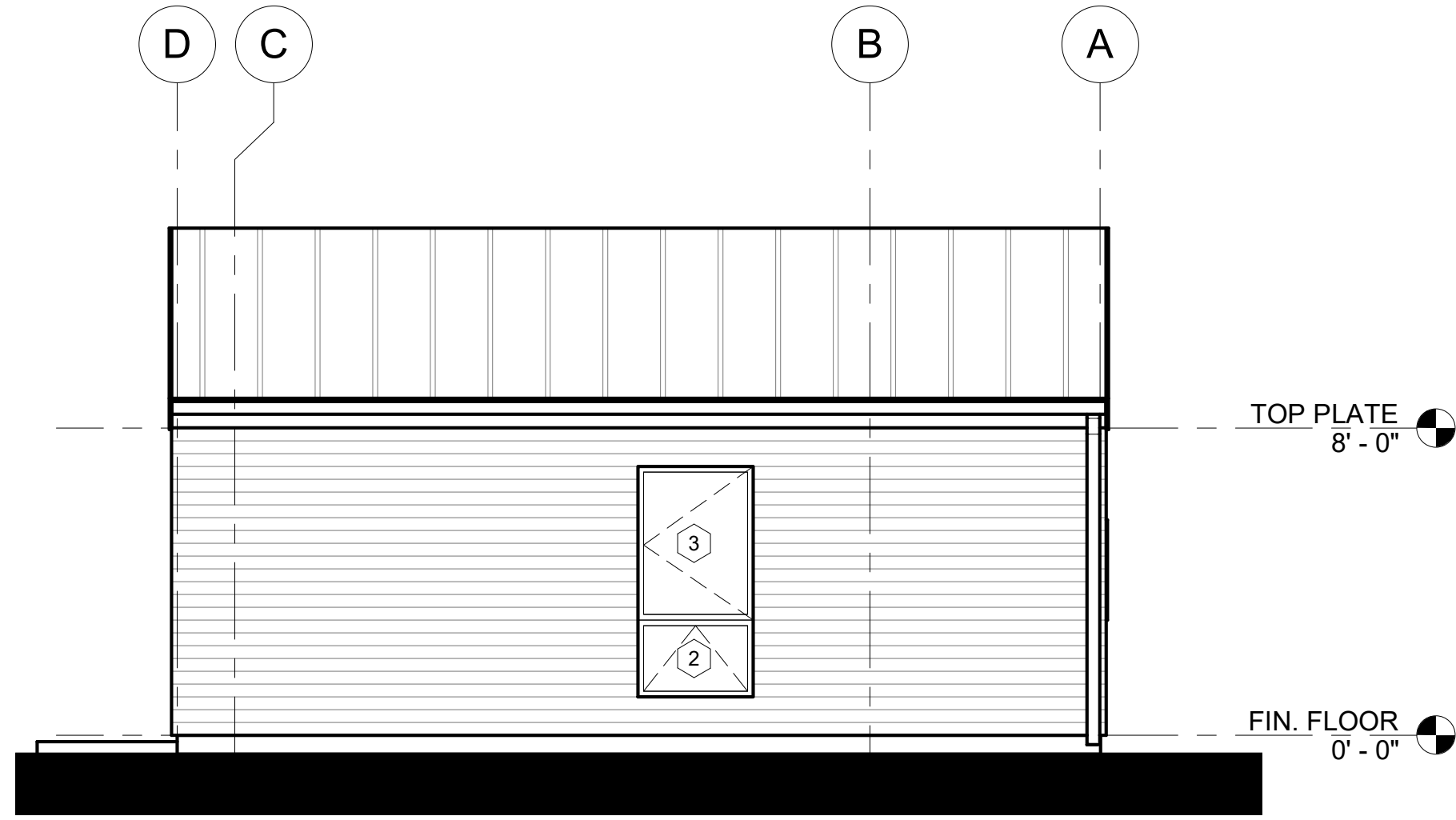
1 FLOOR PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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PRE-DESIGNED ADU**

EFFICIENCY STUDIO  
316 GSF

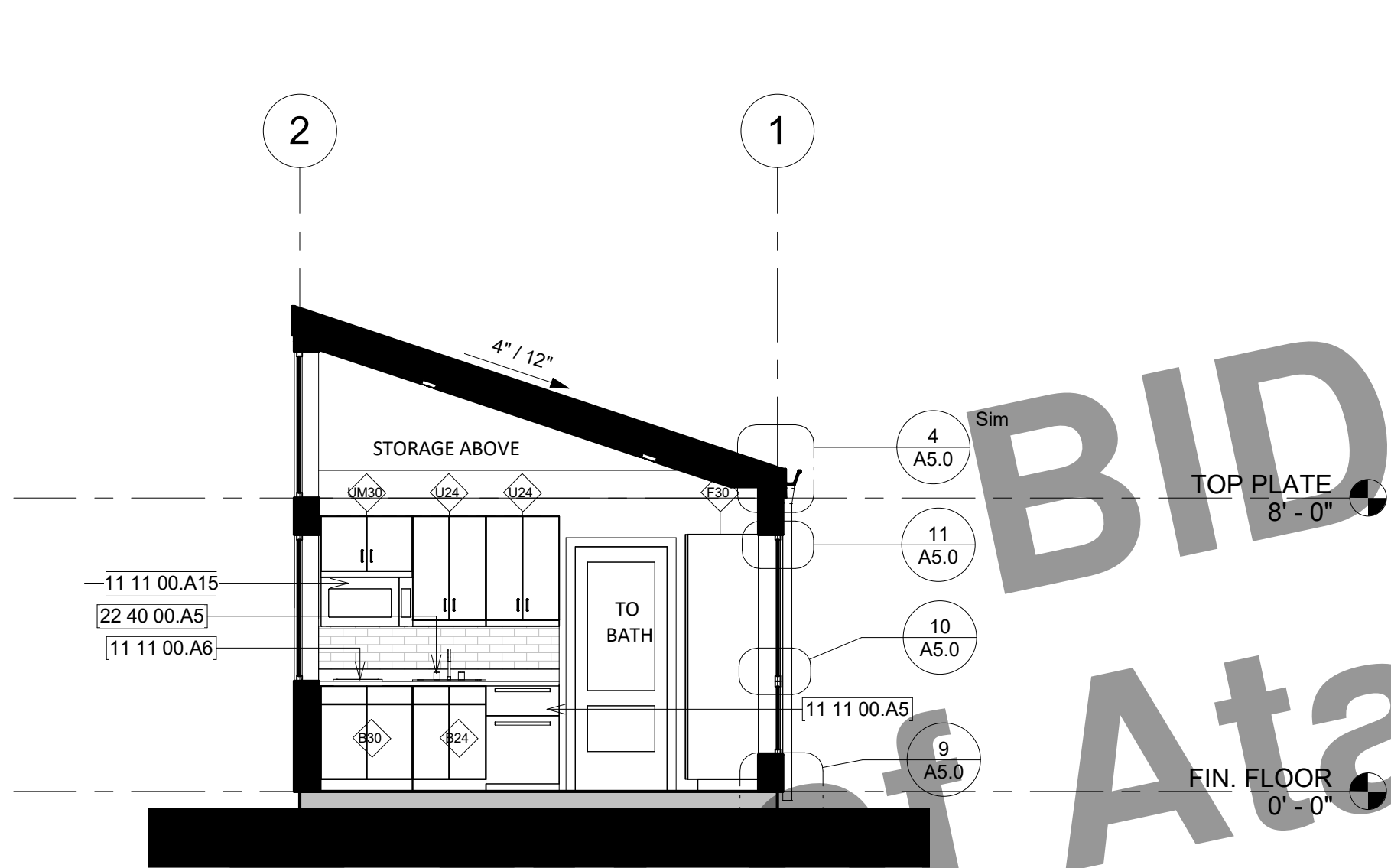
**BUNGALOW -  
FLOORPLANS &  
ELEVATIONS**

**A4.0**

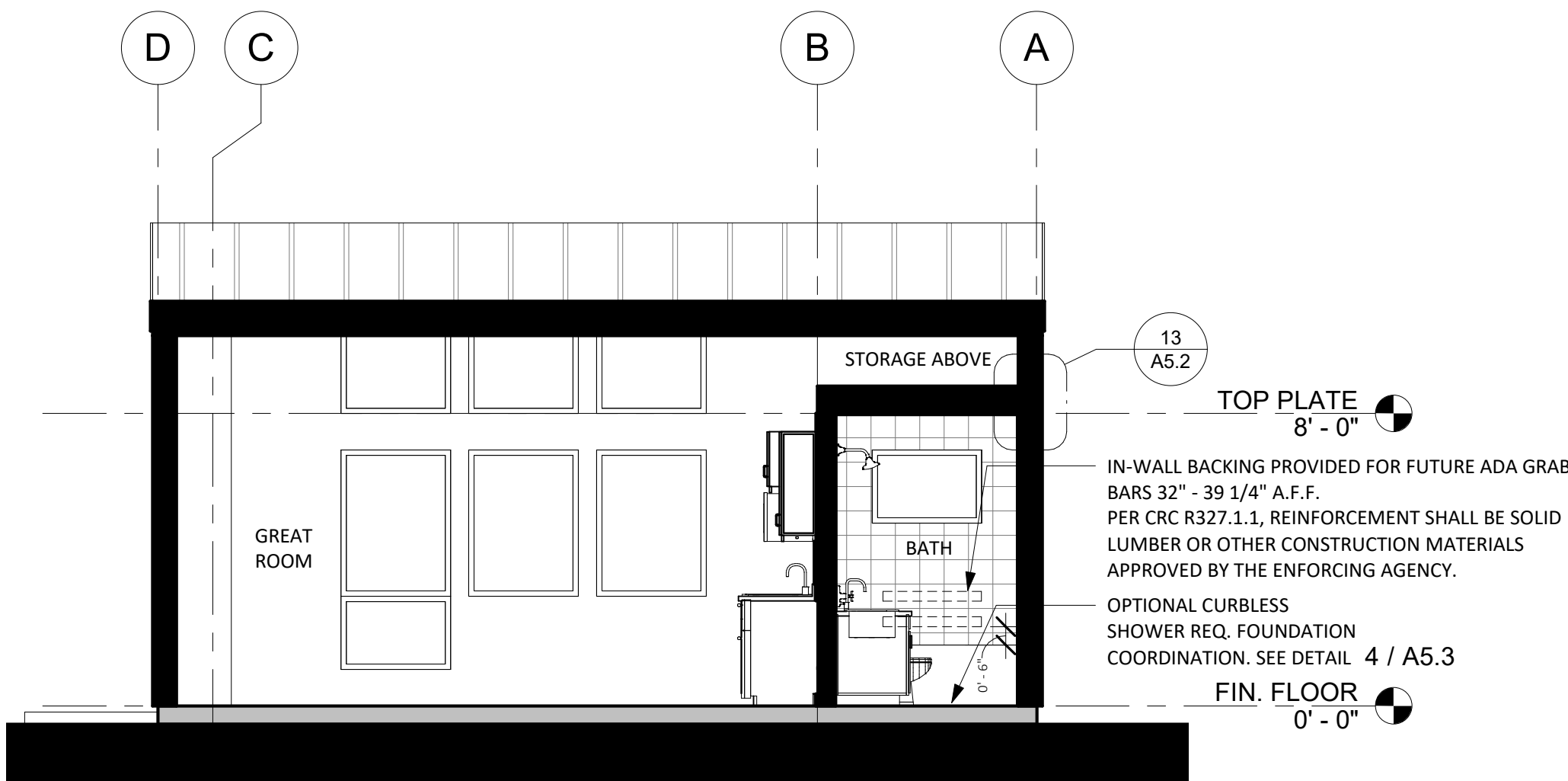
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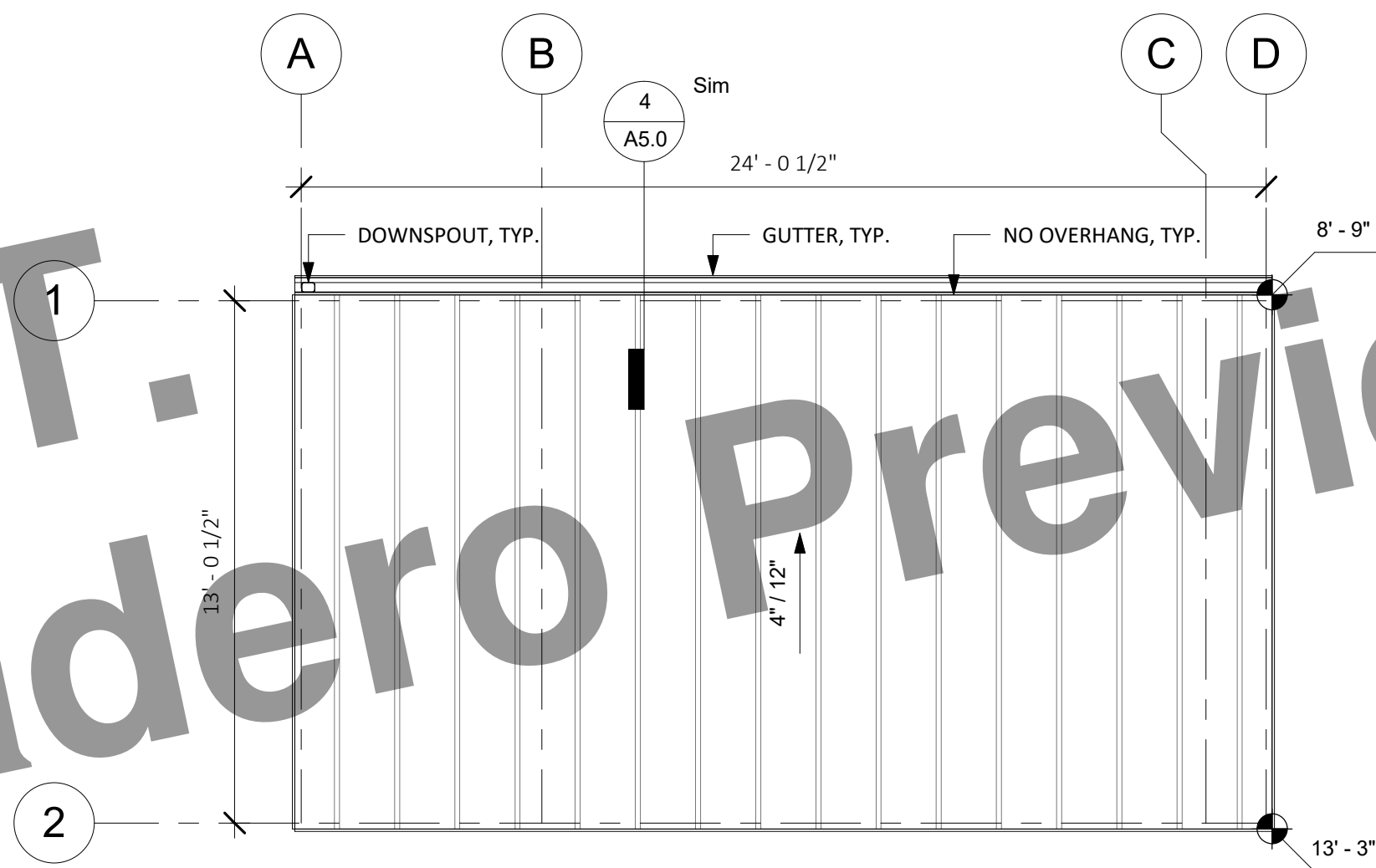
4 SECTION B - BEACH BUNGALOW  
1/4" = 1'-0"



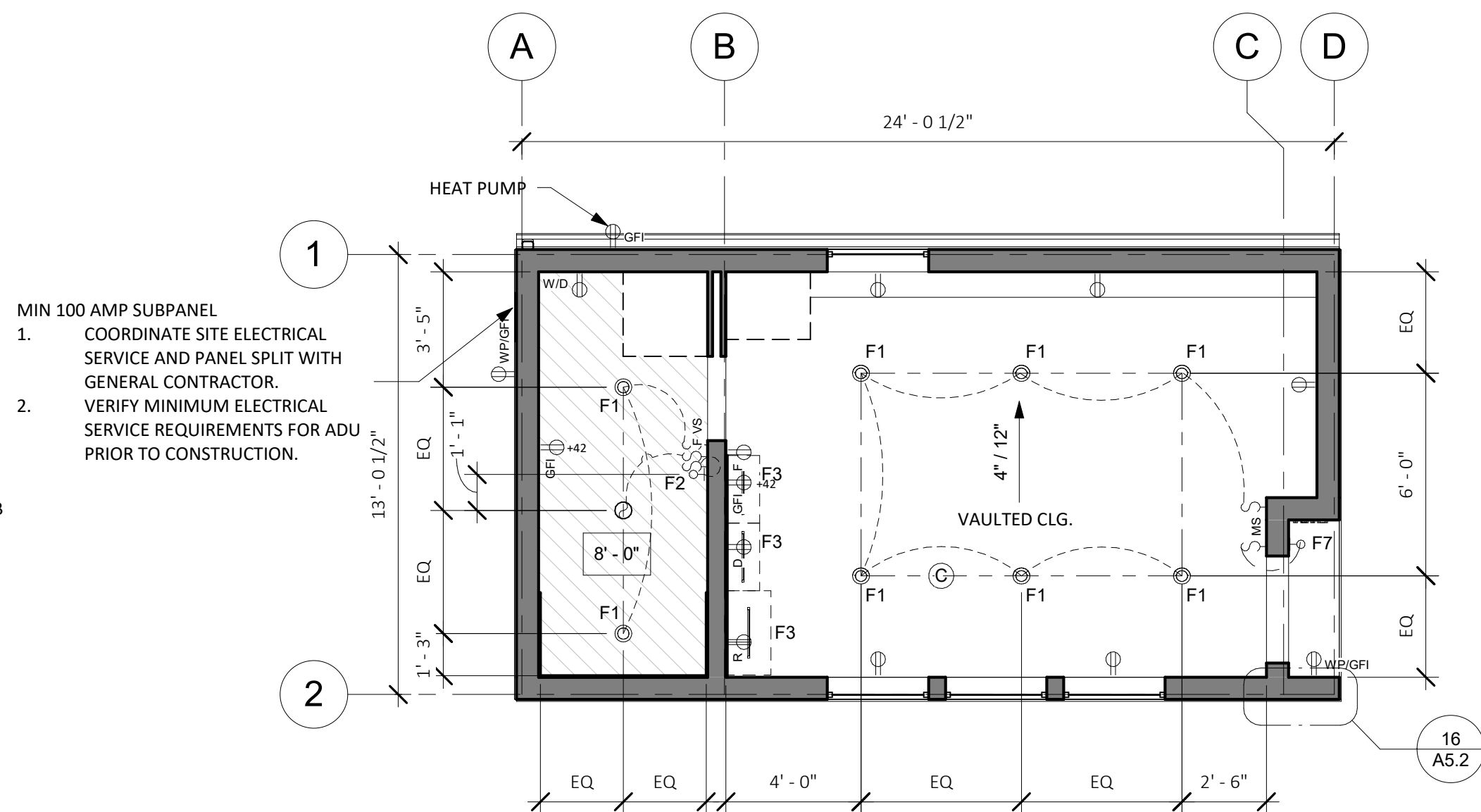
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1/4" = 1'-0"



2 ROOF PLAN - BEACH BUNGALOW  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO  
1/4" = 1'-0"



## ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

## REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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EFFICIENCY STUDIO  
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**BUNGALOW -  
SECTIONS, ROOF  
PLAN & RCP**

**A4.1**

SCALE: AS NOTED





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# CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

## EXTERIOR WALL ASSEMBLY DETAILS

# A5.0

SCALE: AS NOTED

## DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

## WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

### VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

## PERFORMANCE NOTES

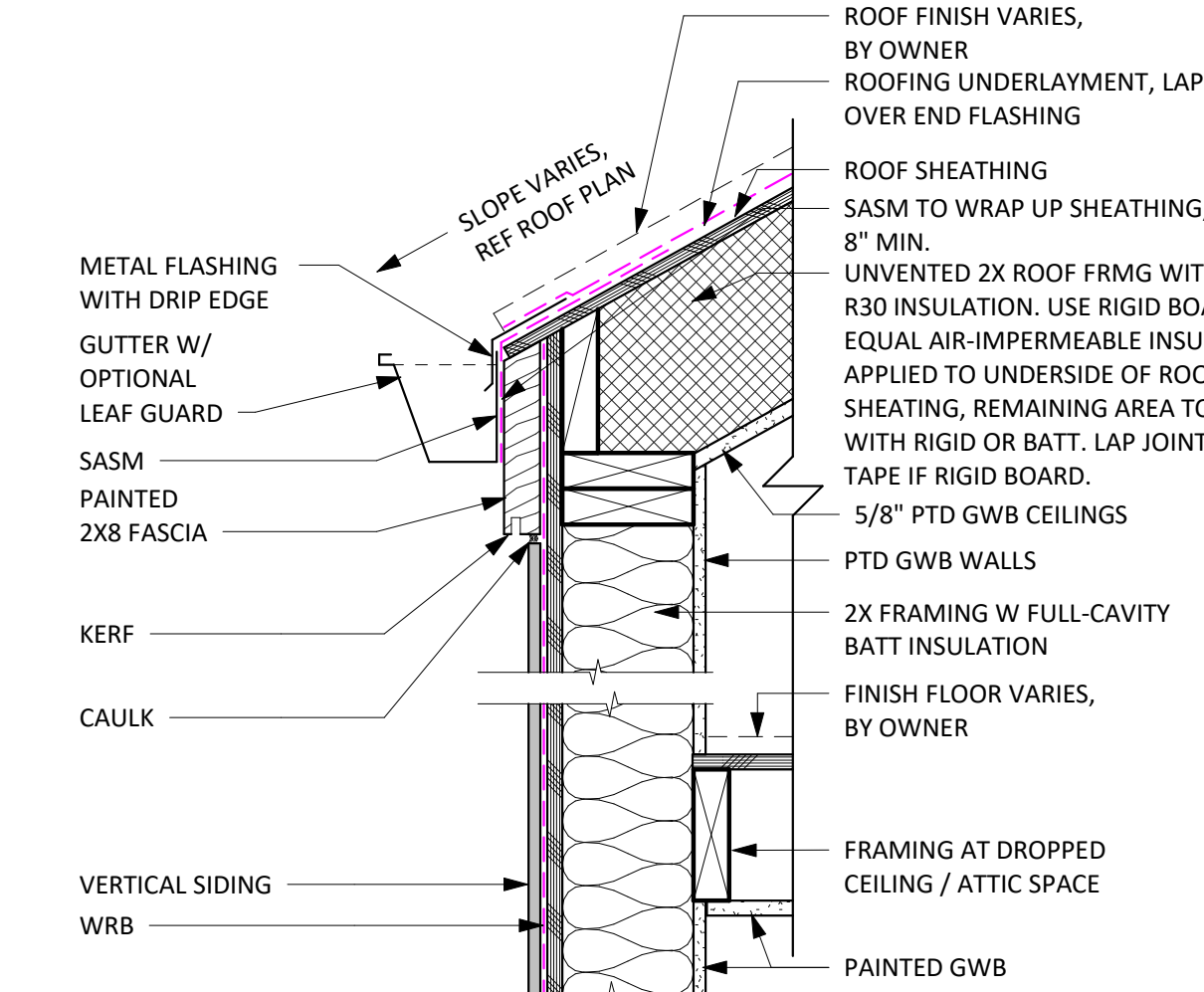
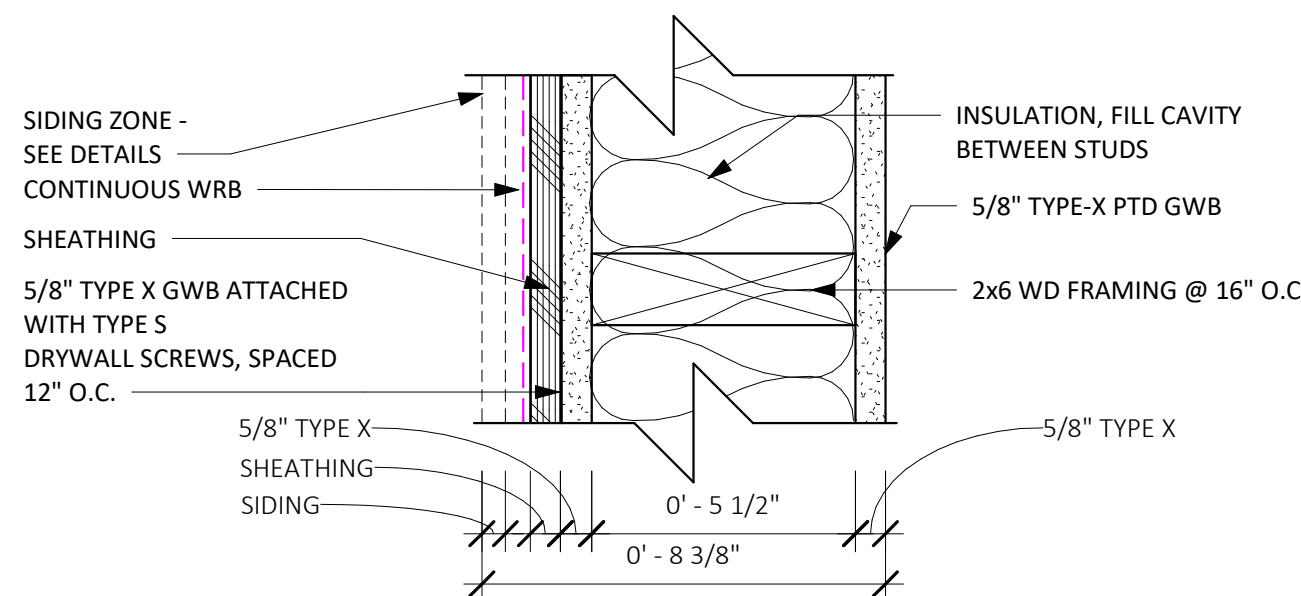
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATINGS OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

## FIRE RATING NOTES

- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:  
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12\*







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# CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

## EXTERIOR WALL ASSEMBLY DETAILS

# A5.1

SCALE: AS NOTED

## DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.
- 
- 

## WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 GAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

### VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

## PERFORMANCE NOTES

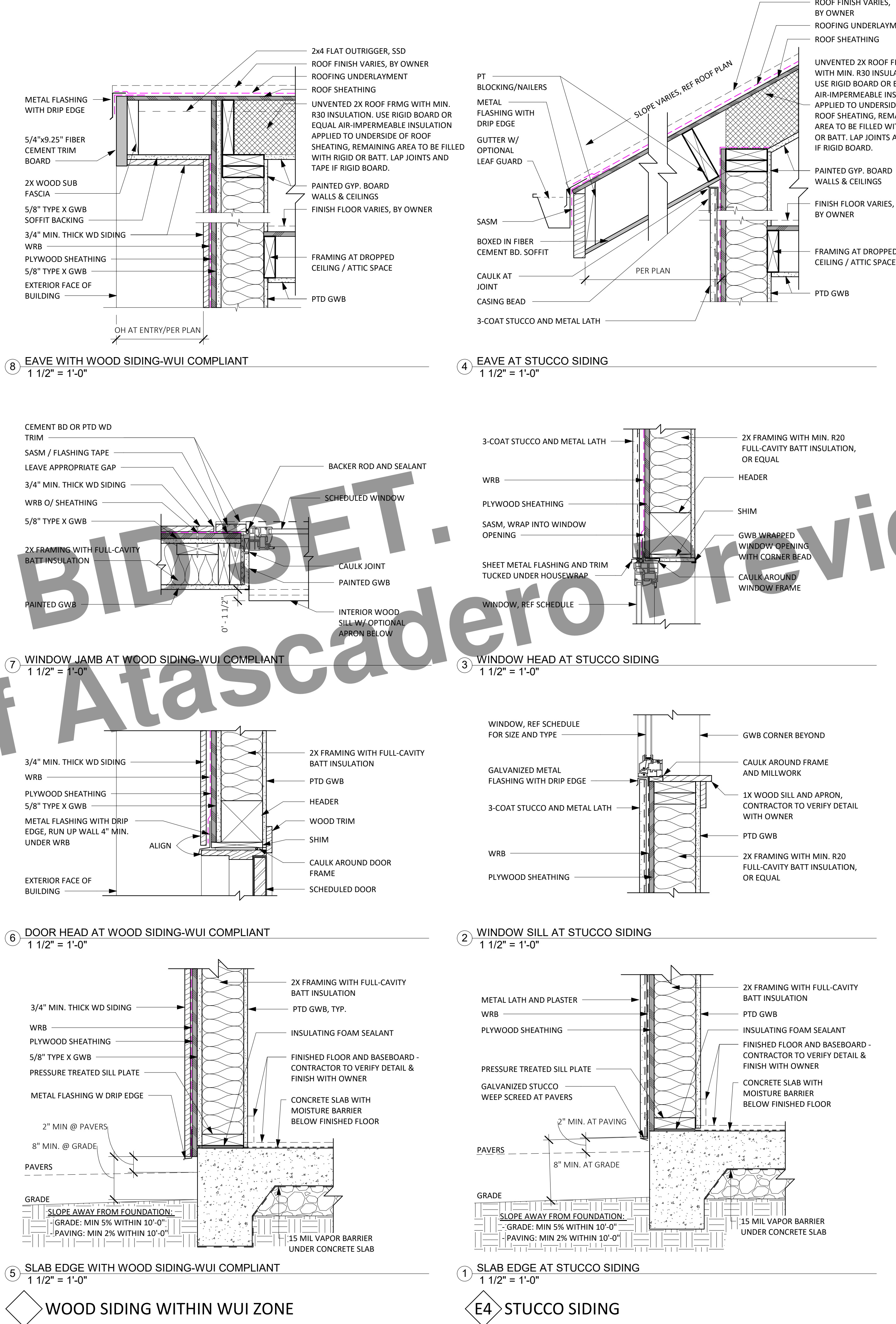
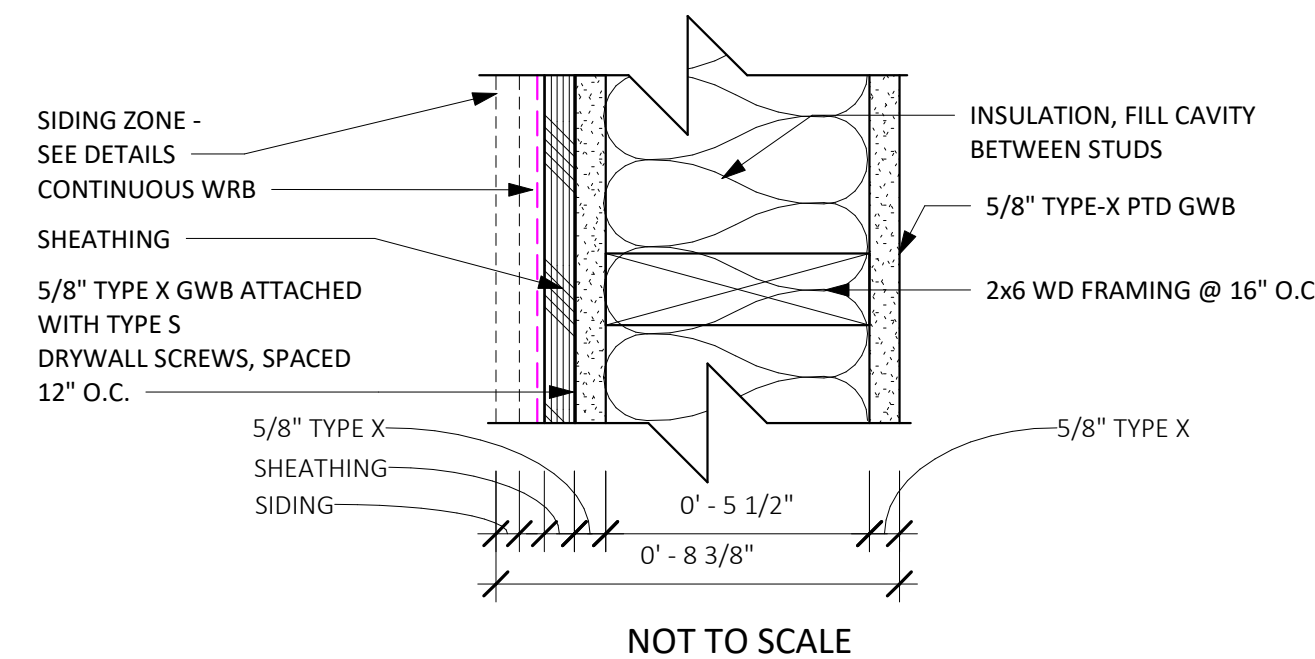
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

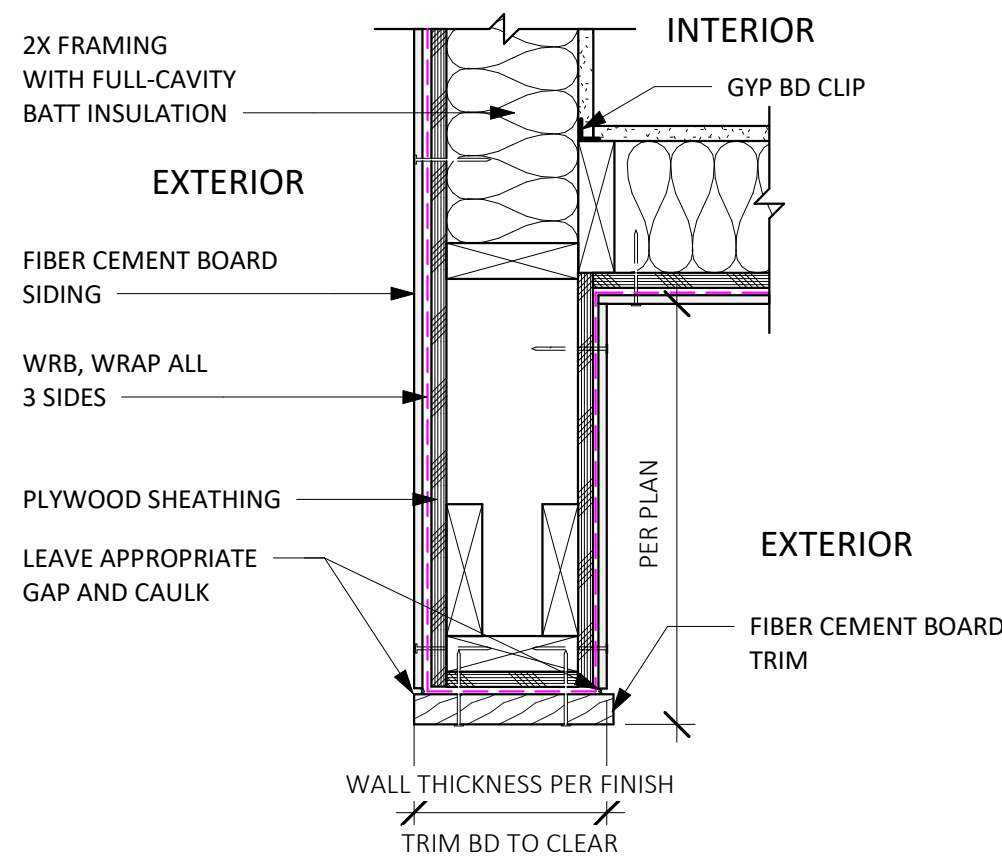
## FIRE RATING NOTES

- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

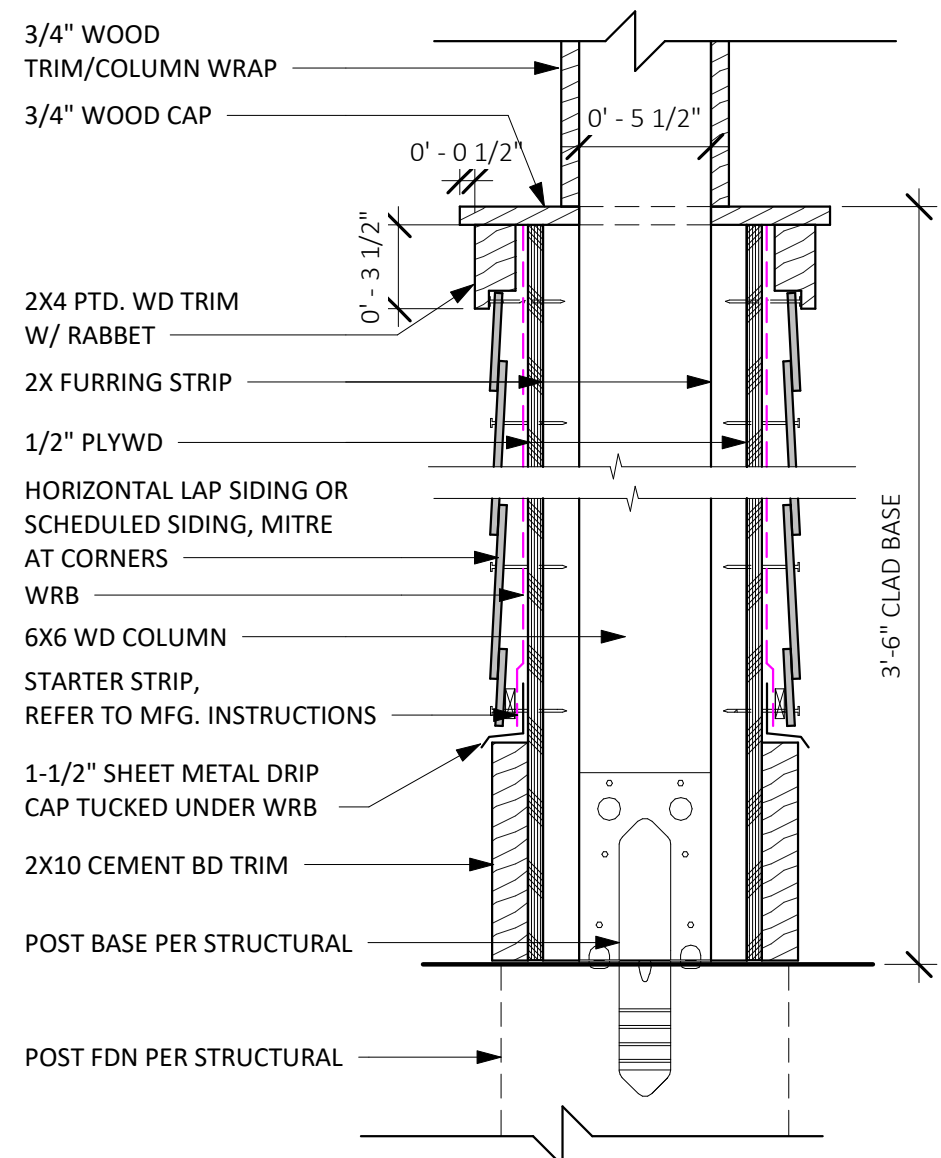
WB STANDARD:  
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12\*



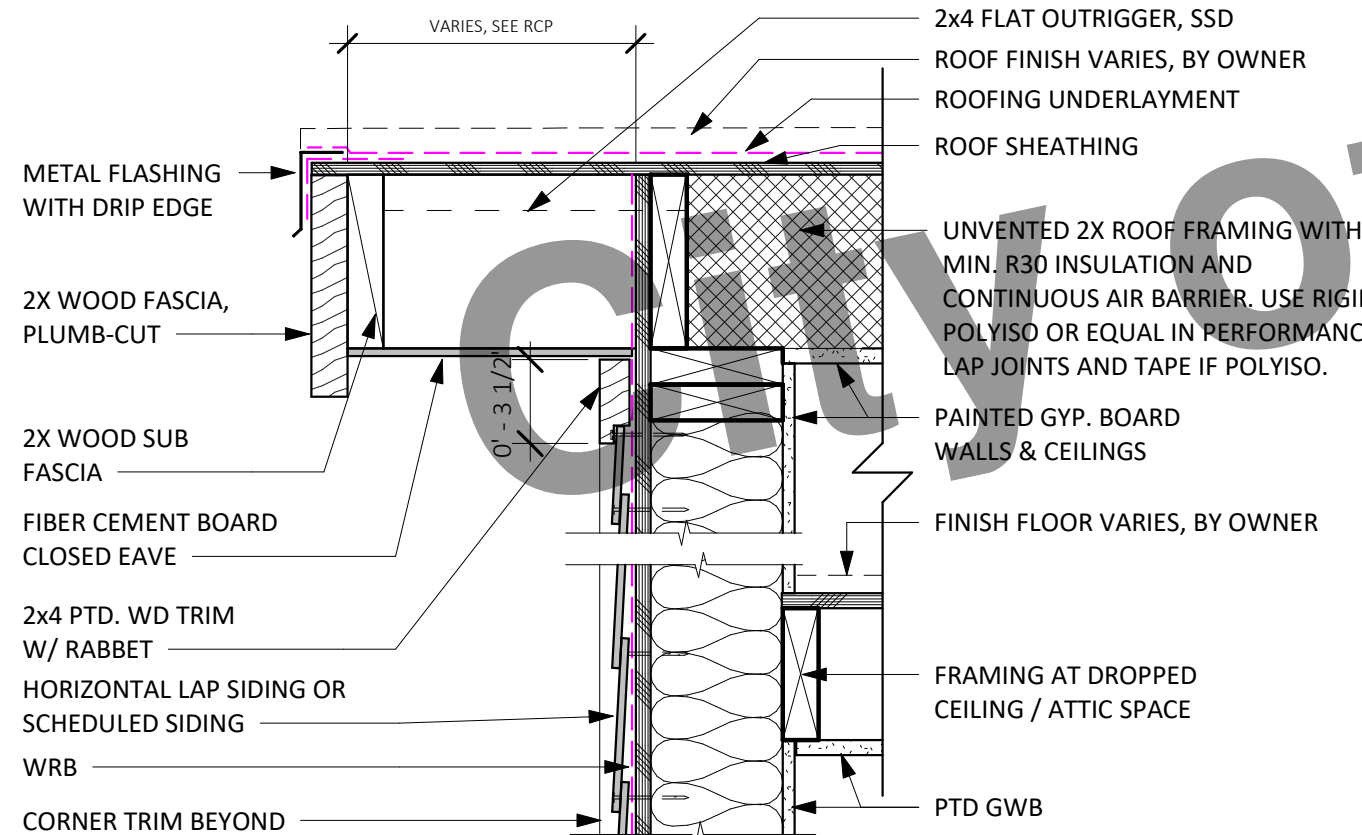




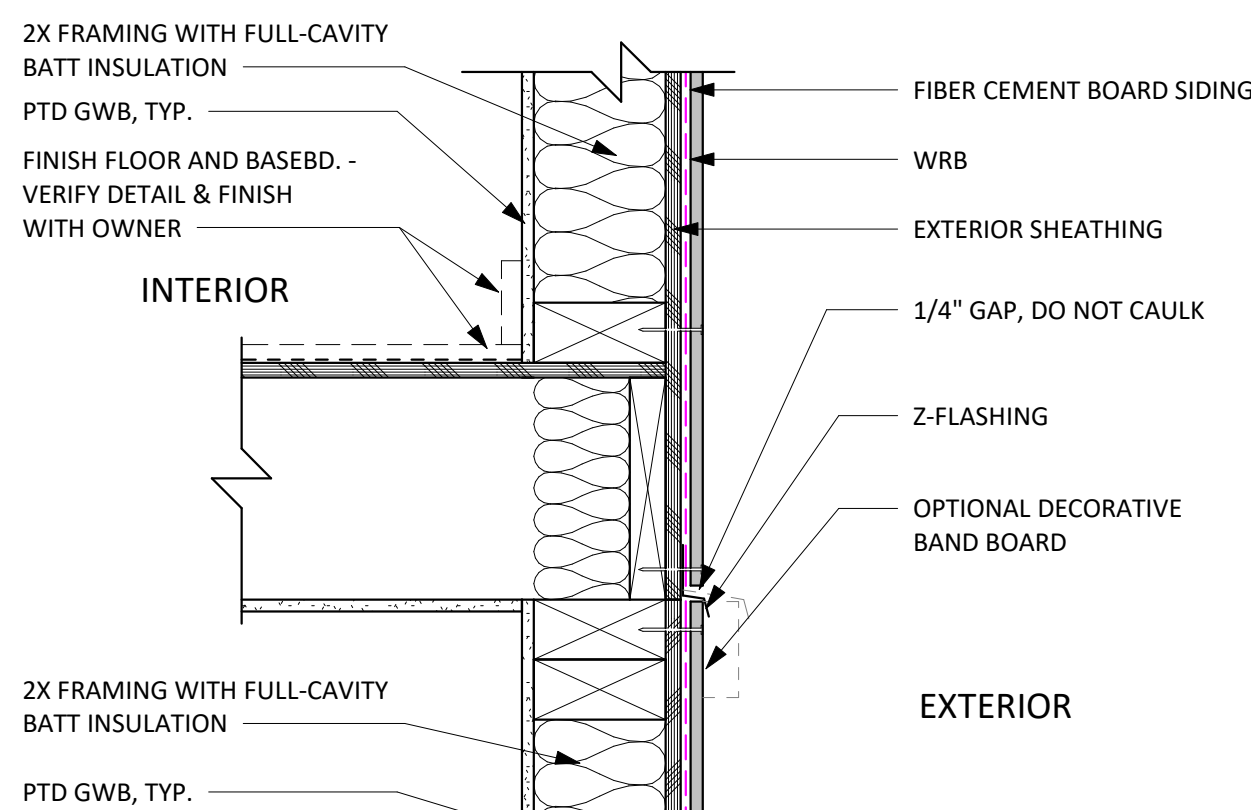
16 CEMENT BD WING WALL  
1 1/2" = 1'-0"



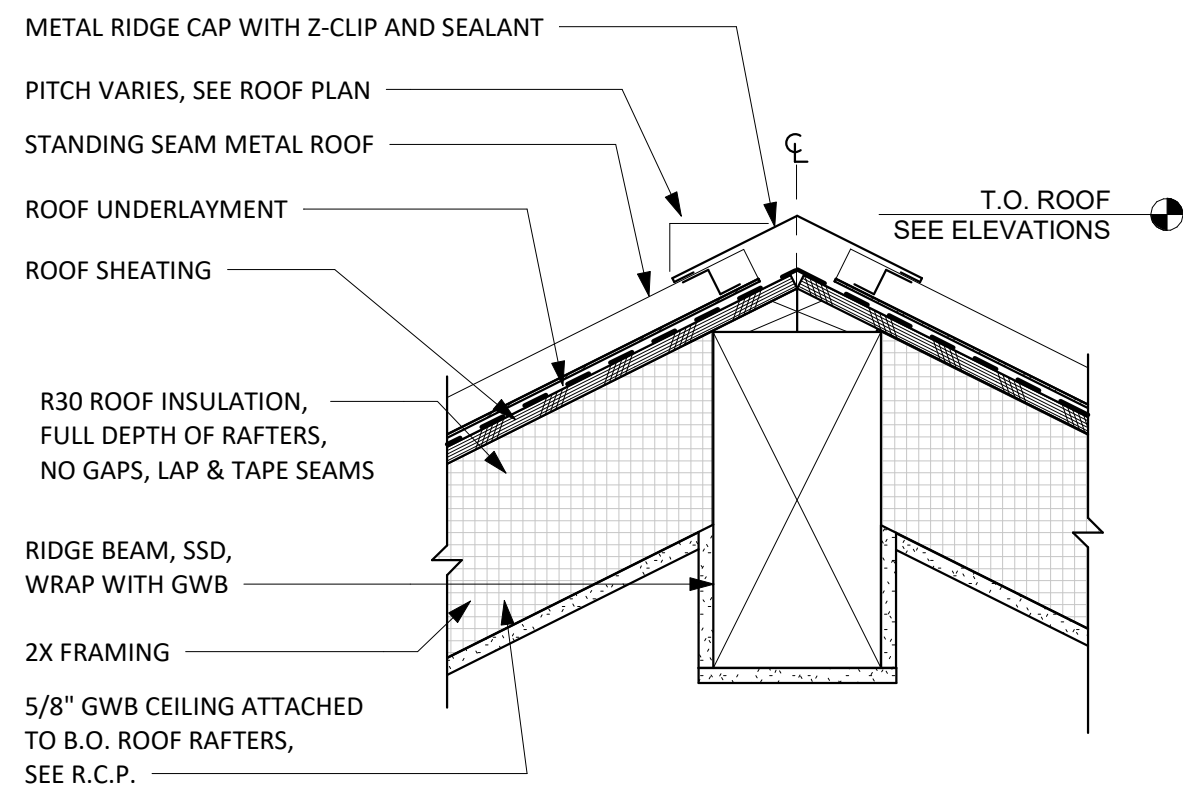
15 WRAPPED COLUMN SECTION  
1 1/2" = 1'-0"



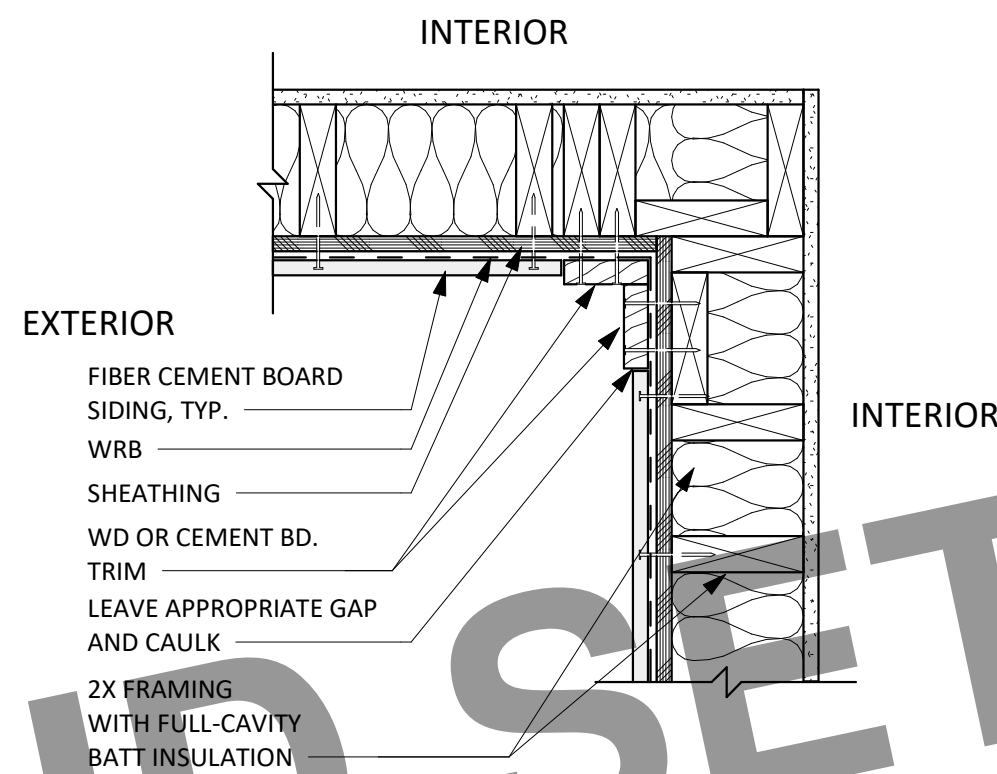
14 BASIC RAKE (CLOSED)  
1 1/2" = 1'-0"



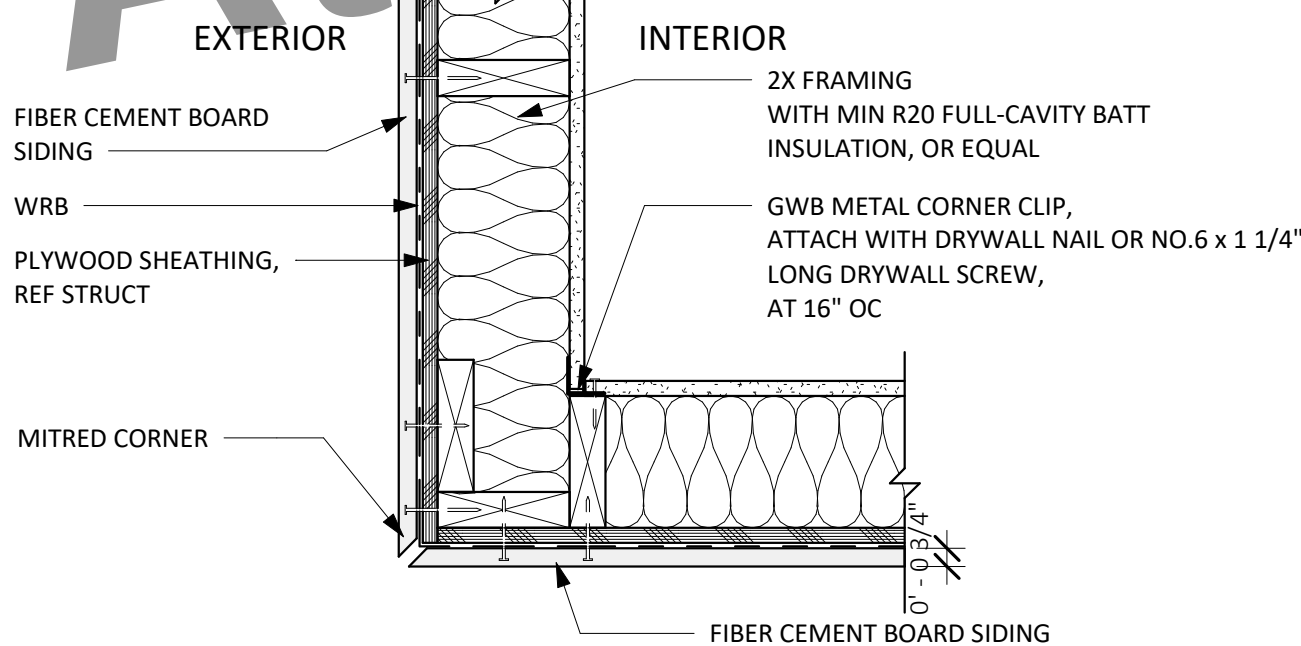
13 SIDING JOINT AT FLOOR  
1 1/2" = 1'-0"



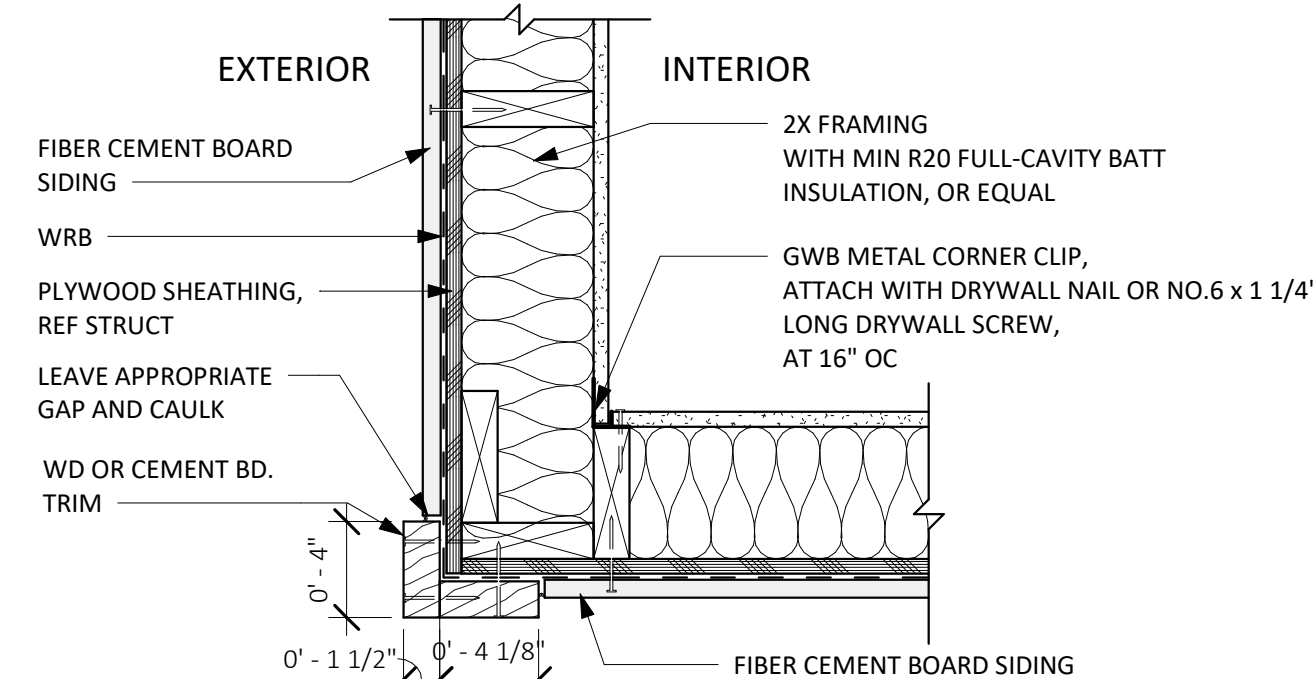
12 STANDING SEAM UNVENTED RIDGE  
1 1/2" = 1'-0"



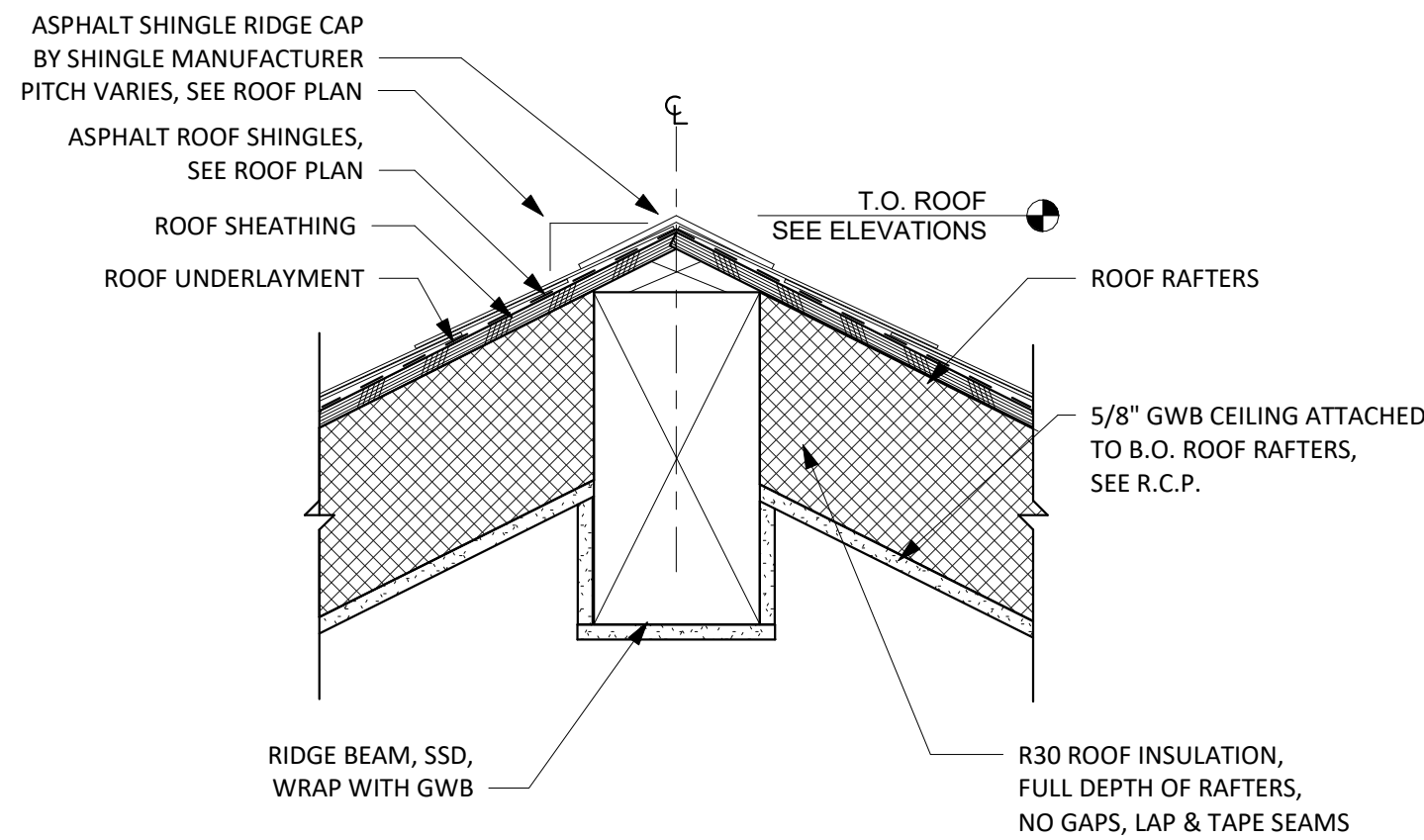
11 CEMENT BD TYP. INSIDE CORNER  
1 1/2" = 1'-0"



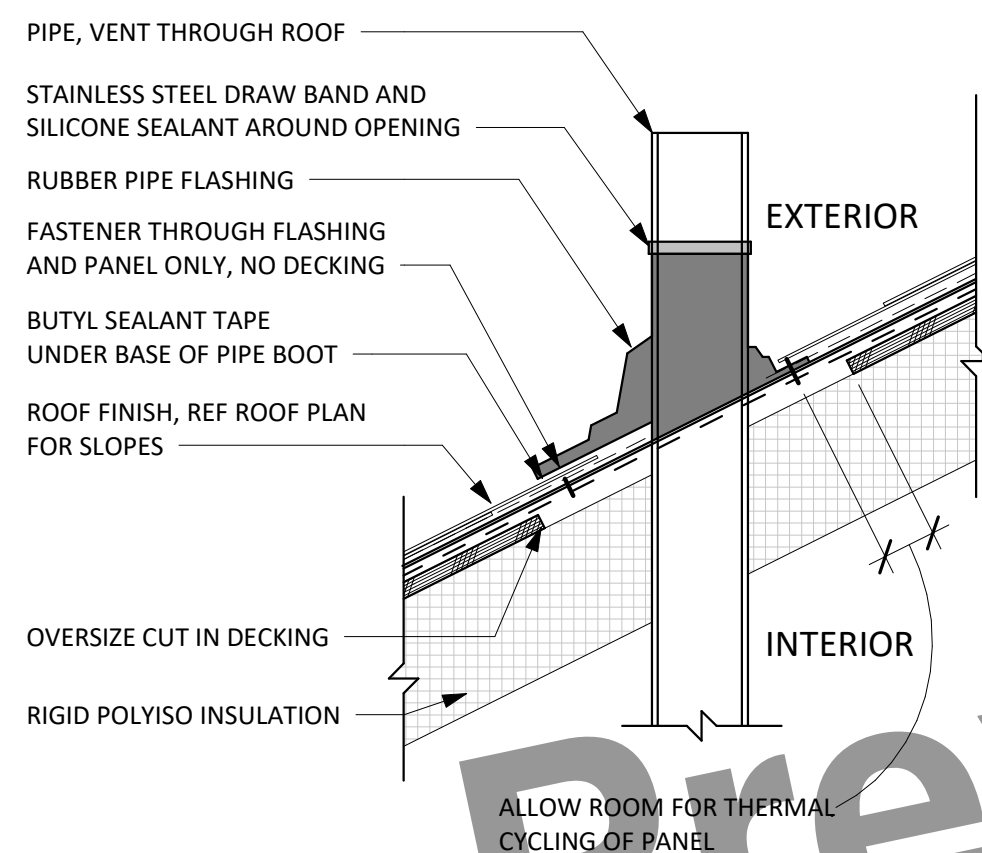
10 CEMENT BD OUTSIDE CORNER TRIM MITRE  
1 1/2" = 1'-0"



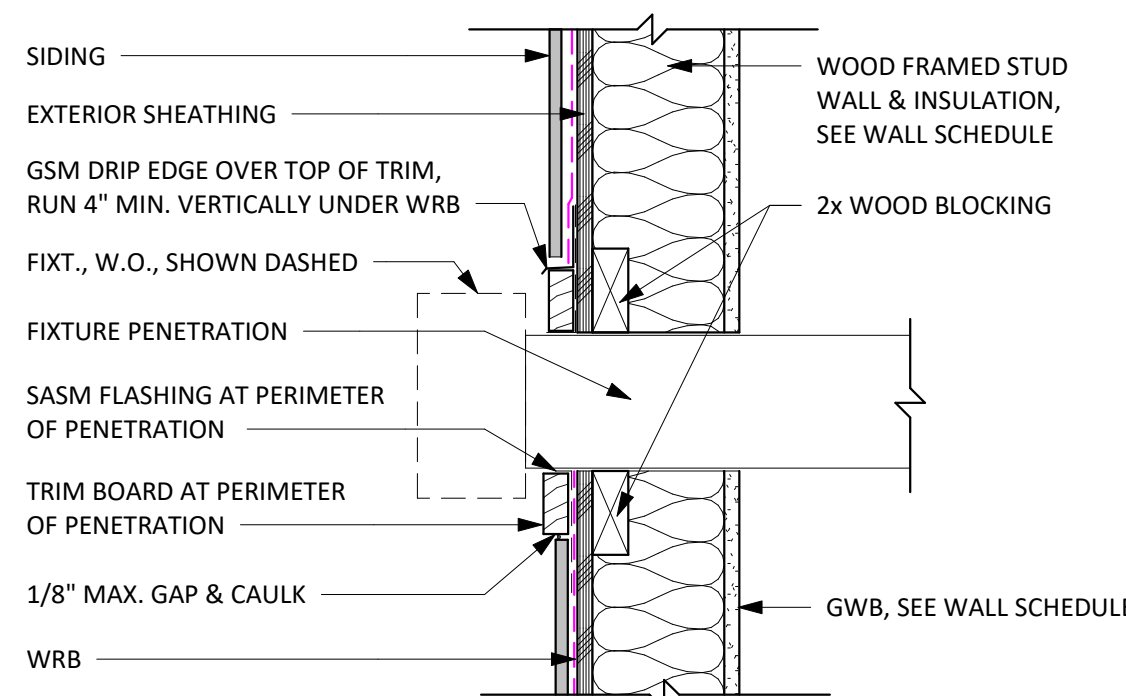
9 CEMENT BD TYP. OUTSIDE CORNER TRIM  
1 1/2" = 1'-0"



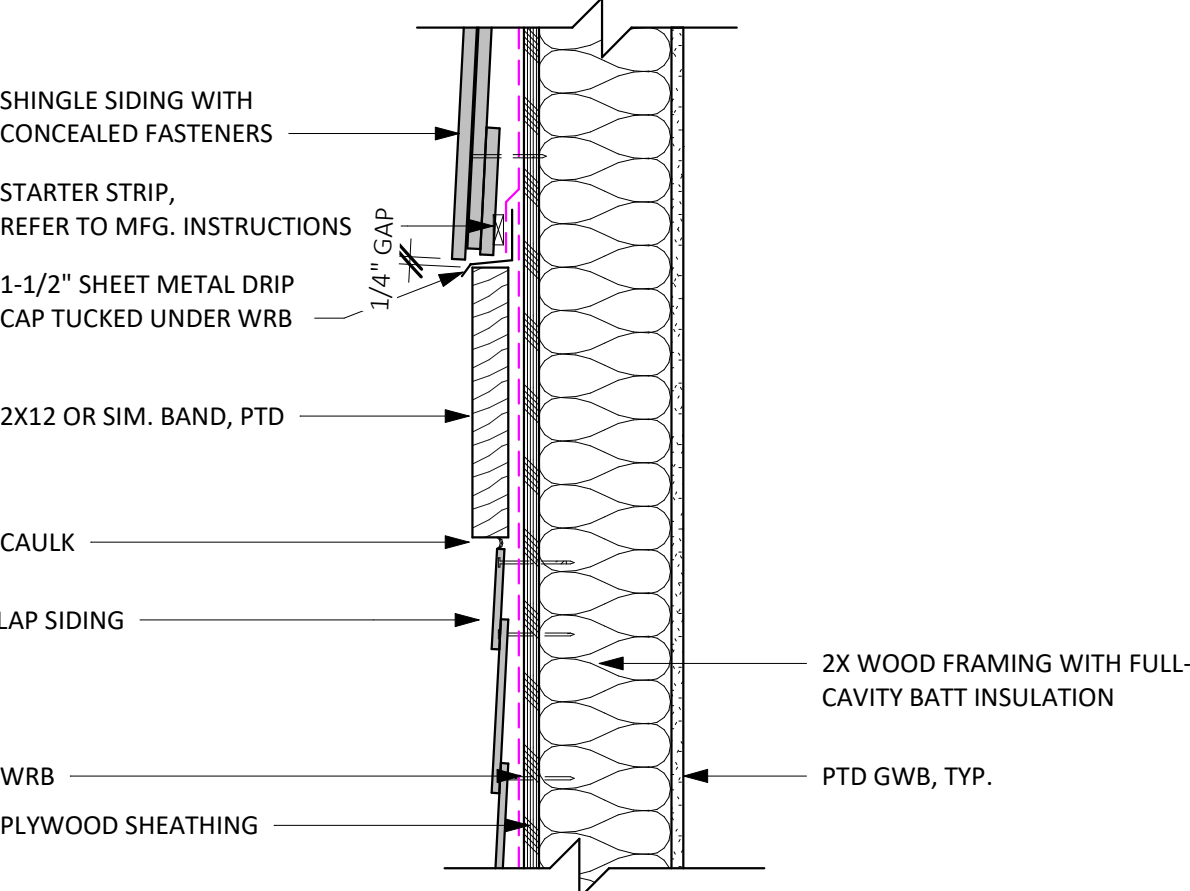
8 BASIC UNVENTED RIDGE AT ASPHALT SHINGLE  
1 1/2" = 1'-0"



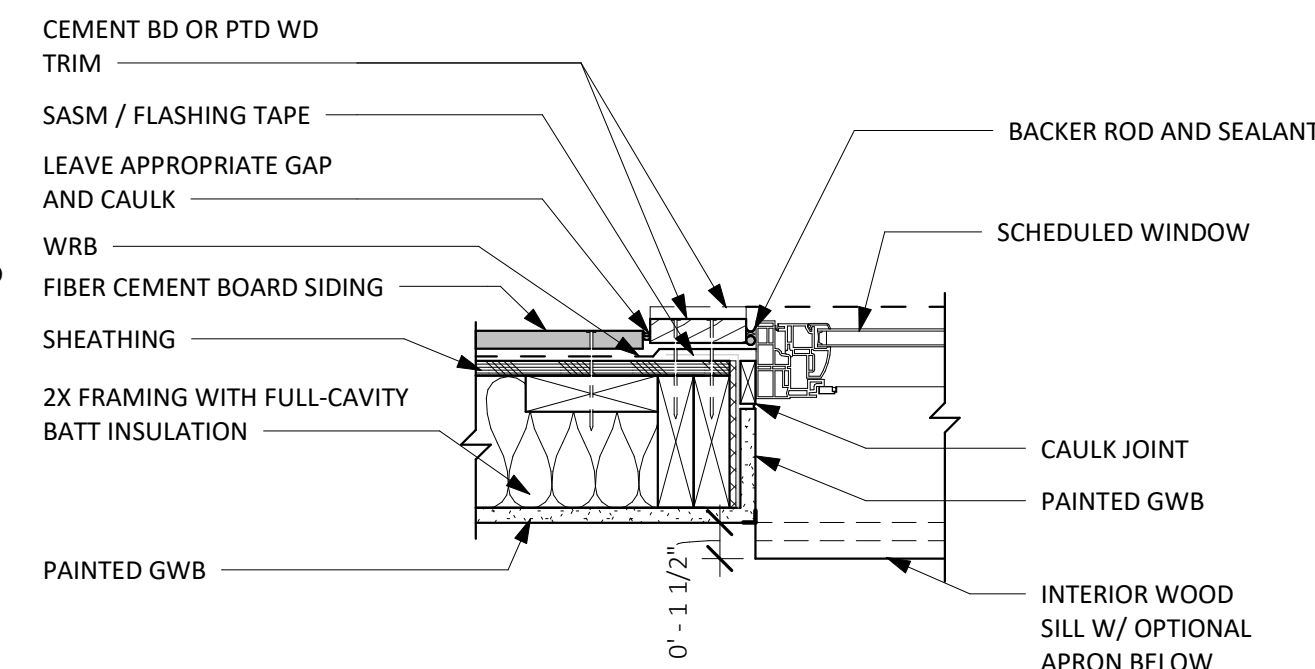
7 ROOF PENETRATION DETAIL  
1 1/2" = 1'-0"



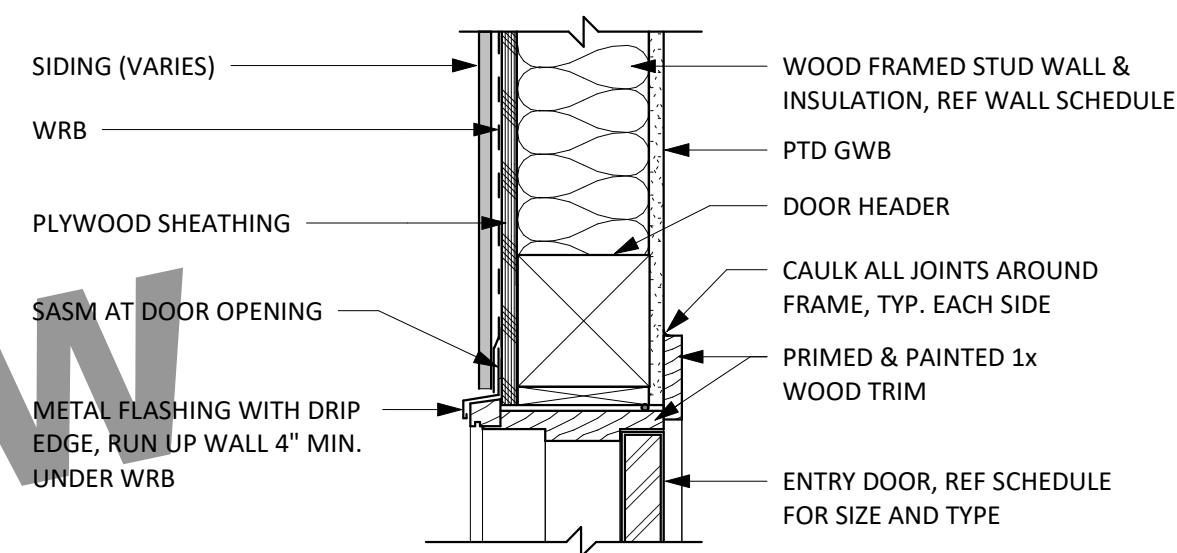
6 WALL PENETRATION DETAIL  
1 1/2" = 1'-0"



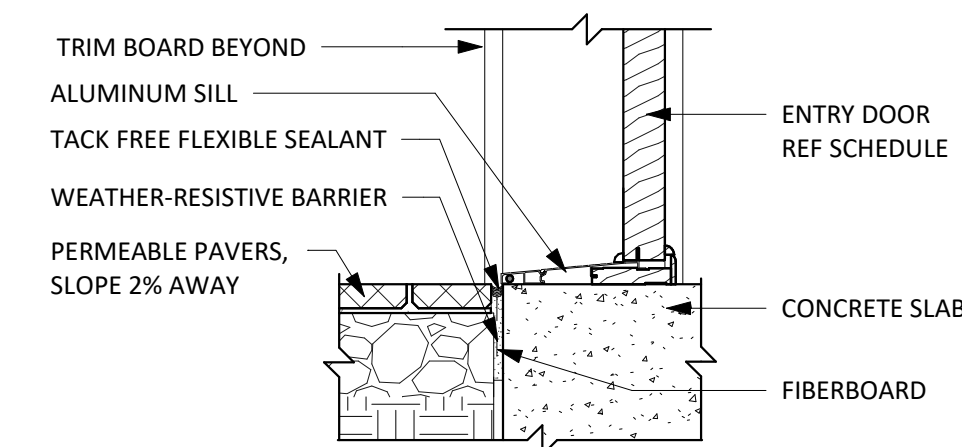
5 BELLY BAND @ CRAFTSMAN  
1 1/2" = 1'-0"



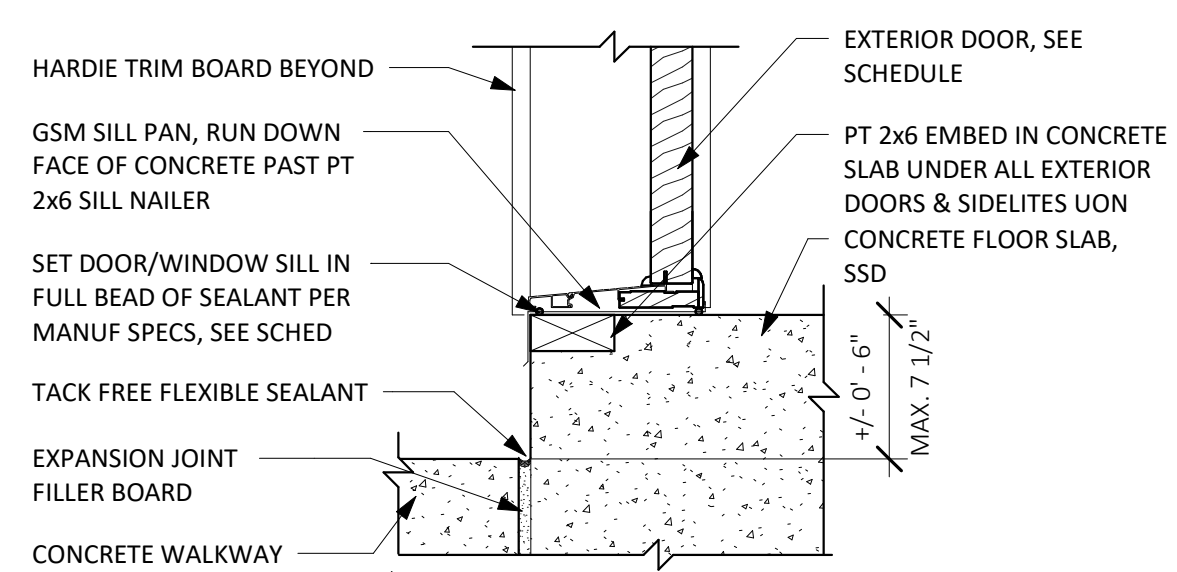
4 BASIC WINDOW JAMB  
1 1/2" = 1'-0"



3 SWING DOOR HEAD / JAMB  
1 1/2" = 1'-0"



2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)  
1 1/2" = 1'-0"



1 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)  
1 1/2" = 1'-0"

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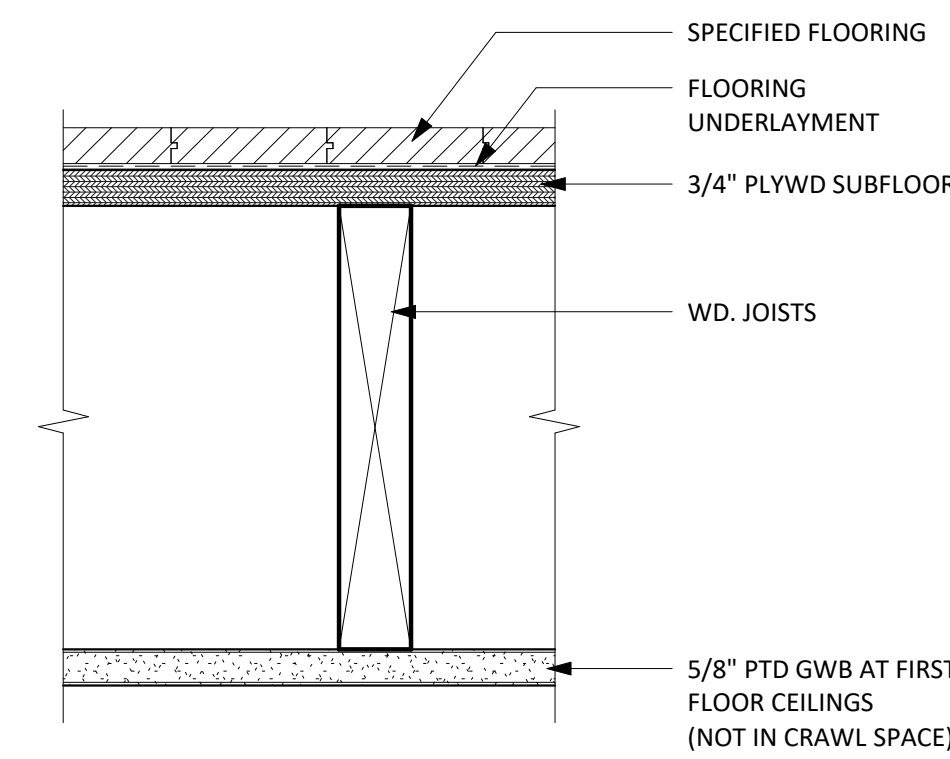
EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

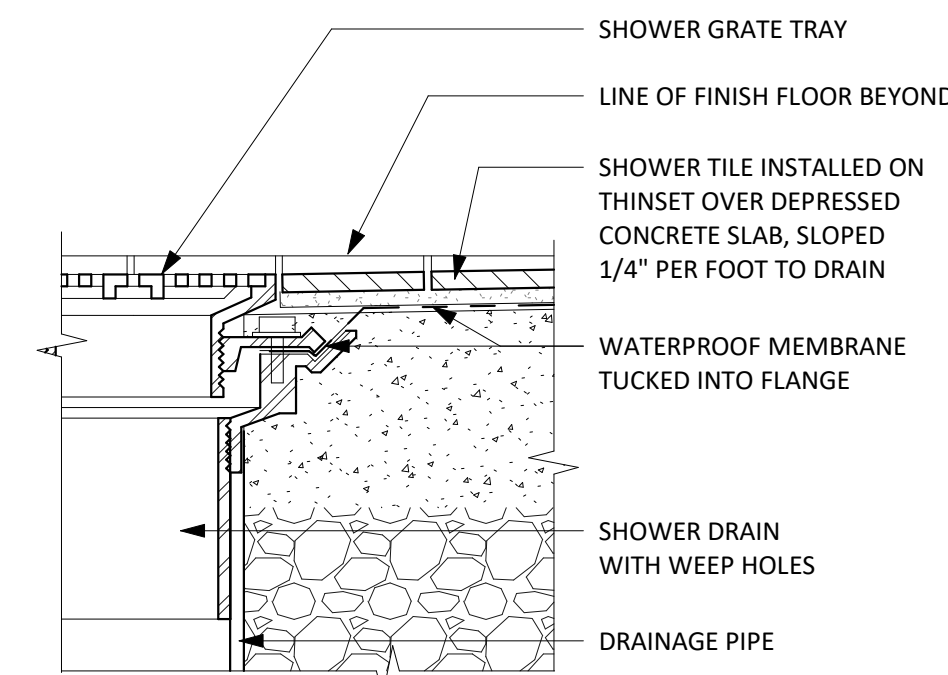
## INTERIOR DETAILS & WALL PARTITIONS

# A5.3

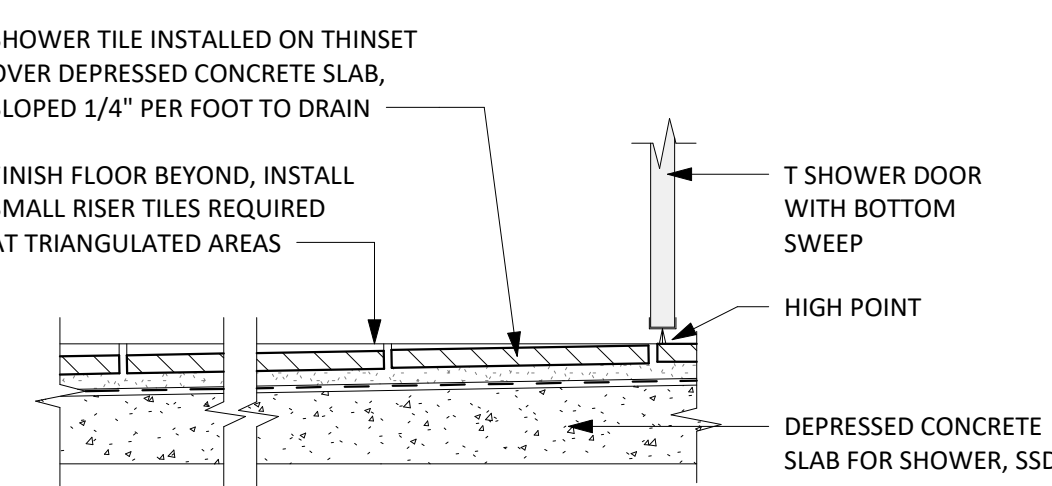
SCALE: AS NOTED



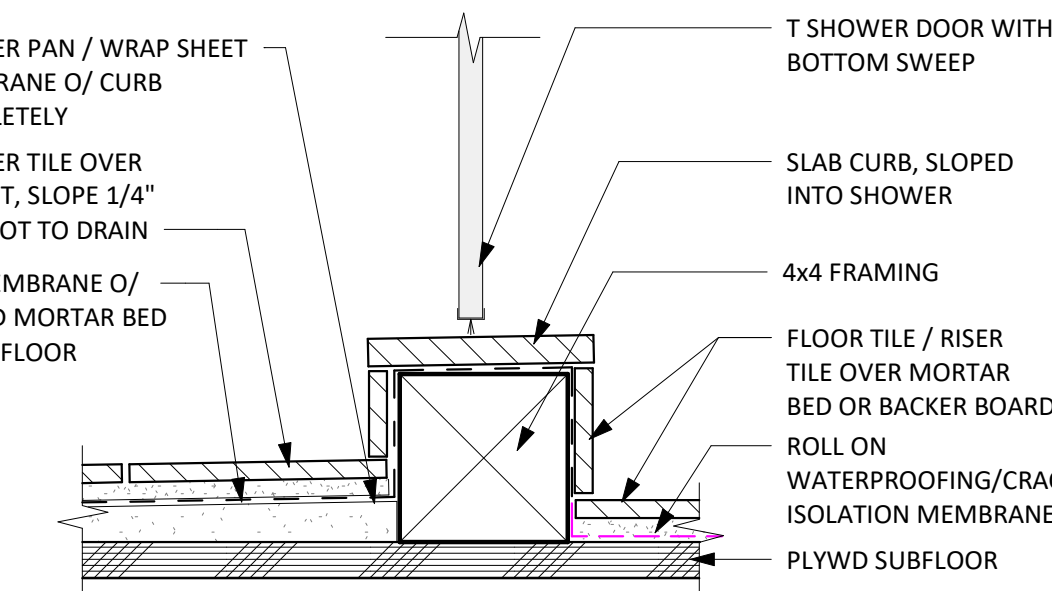
5 TYP. STORAGE LOFT FLOOR ASSEMBLY  
3" = 1'-0"



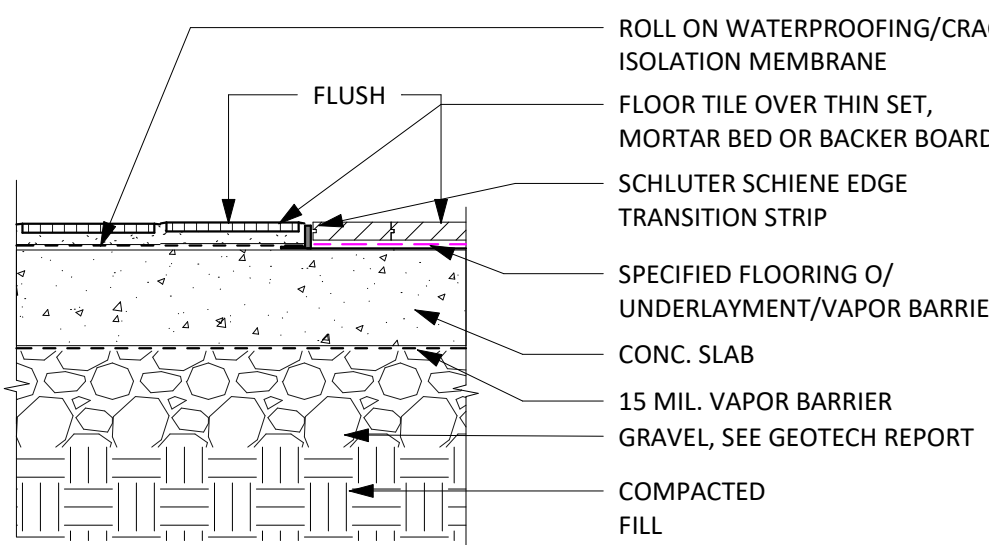
42 SHOWER DRAIN AT CONCRETE  
3" = 1'-0"



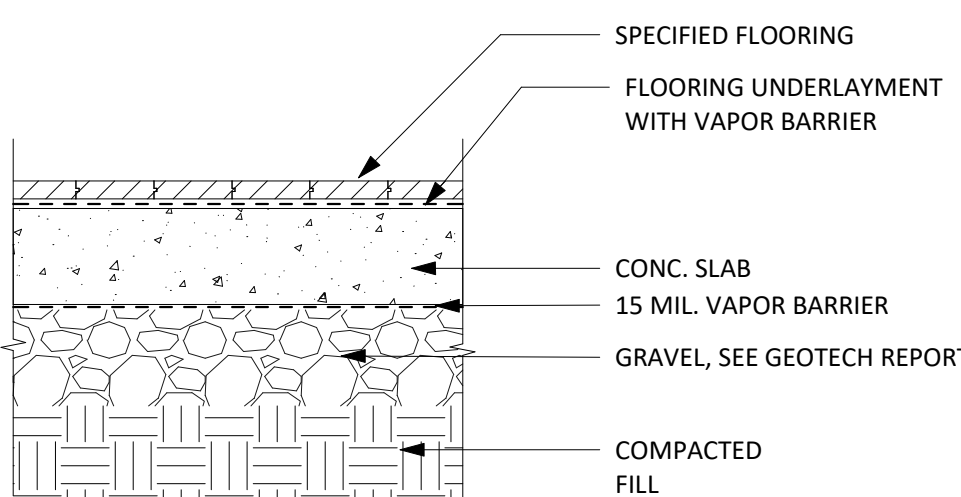
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)  
3" = 1'-0"



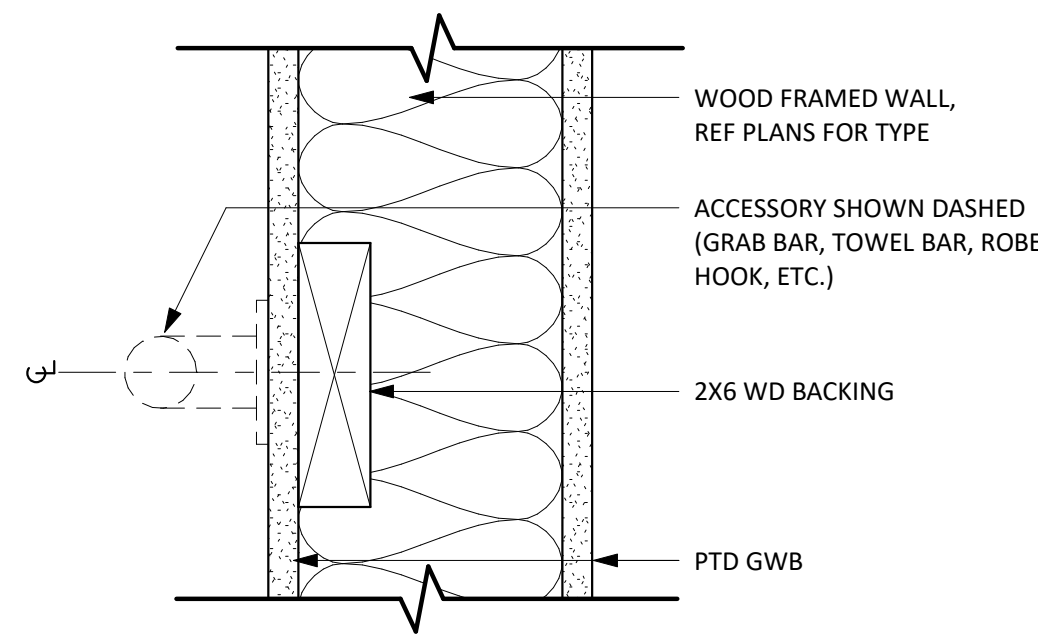
3 TYP. SHOWER CURB  
3" = 1'-0"



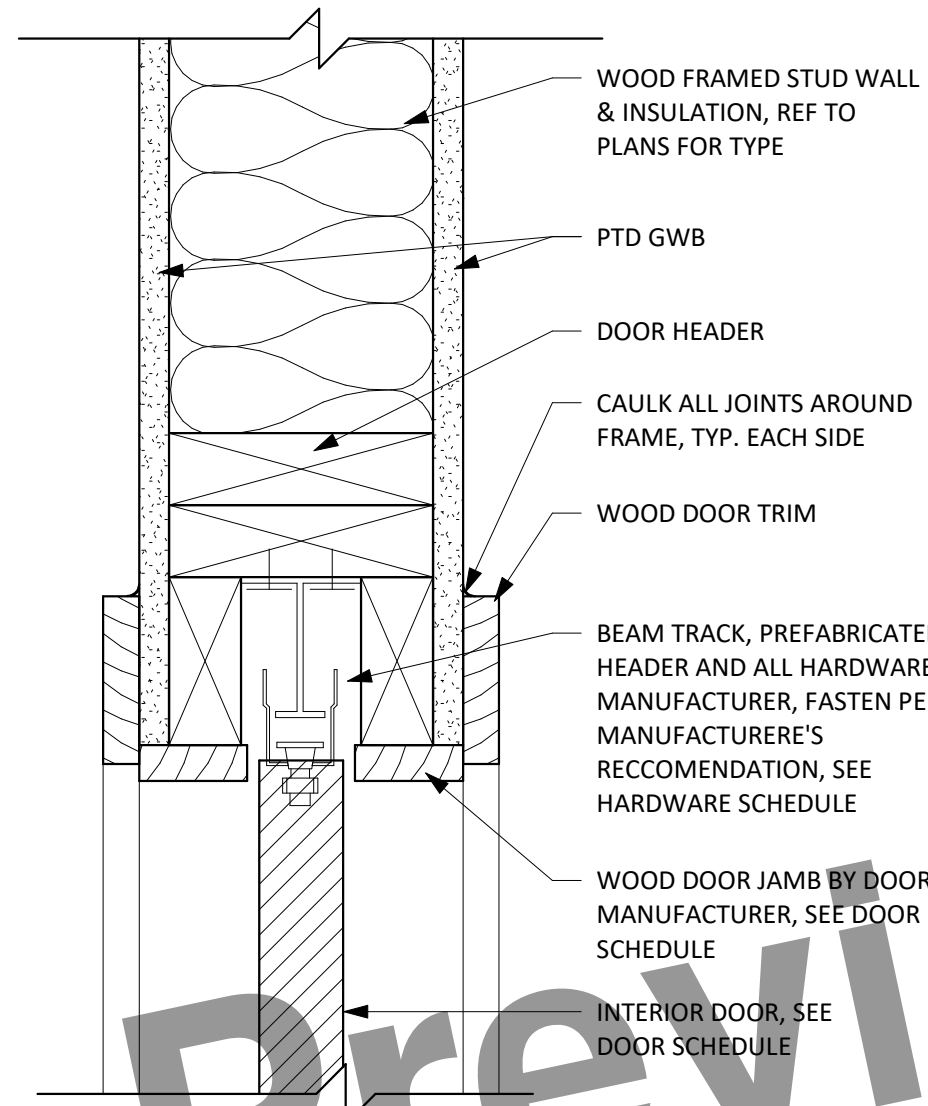
2 BASIC TILE TO WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



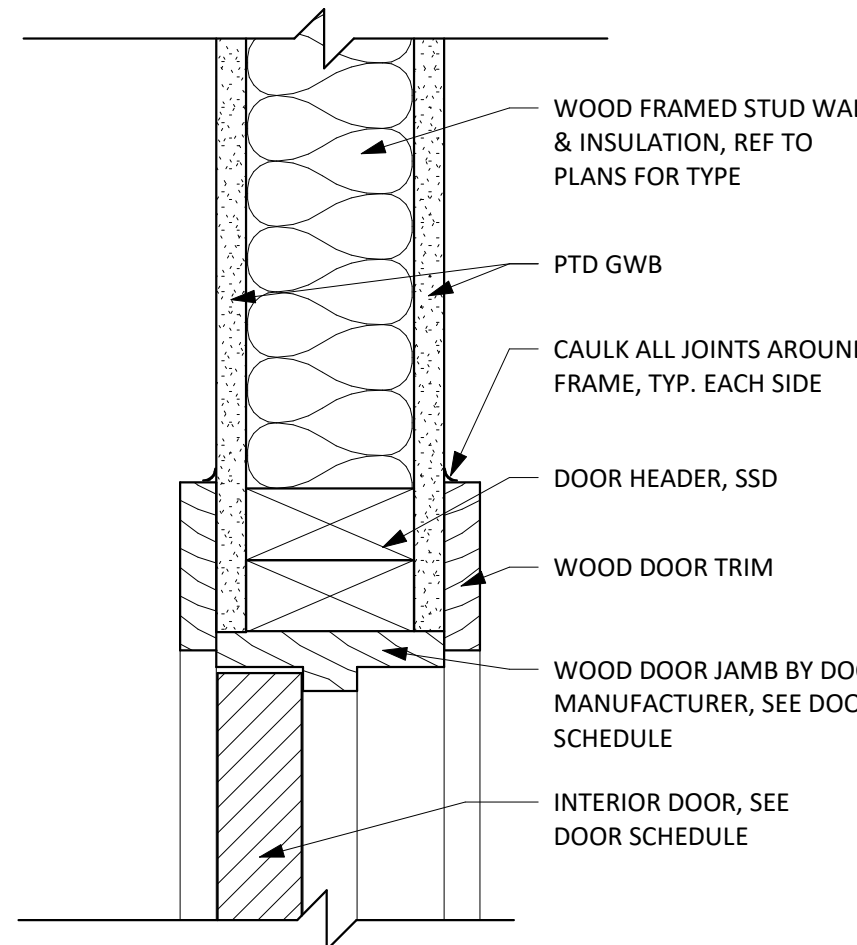
1 BASIC WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



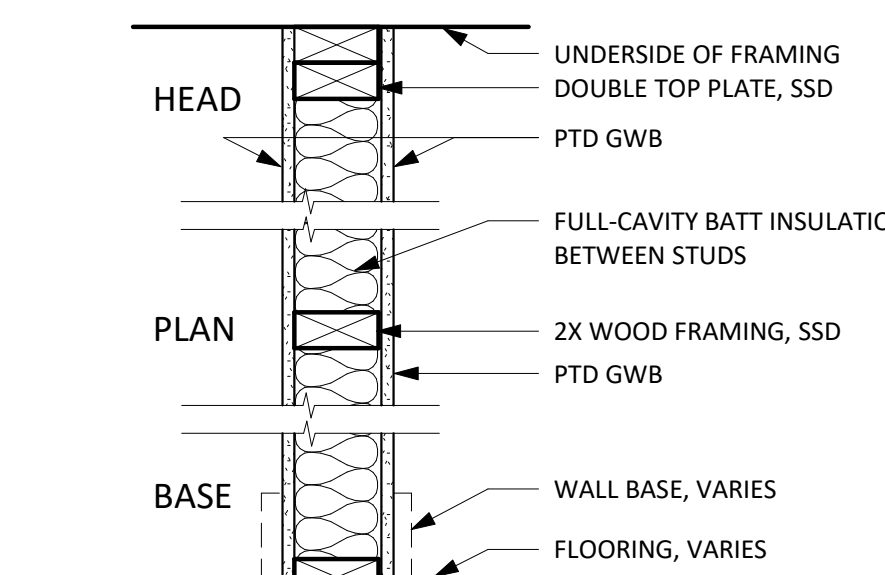
9 BLOCKING DETAIL  
3" = 1'-0"



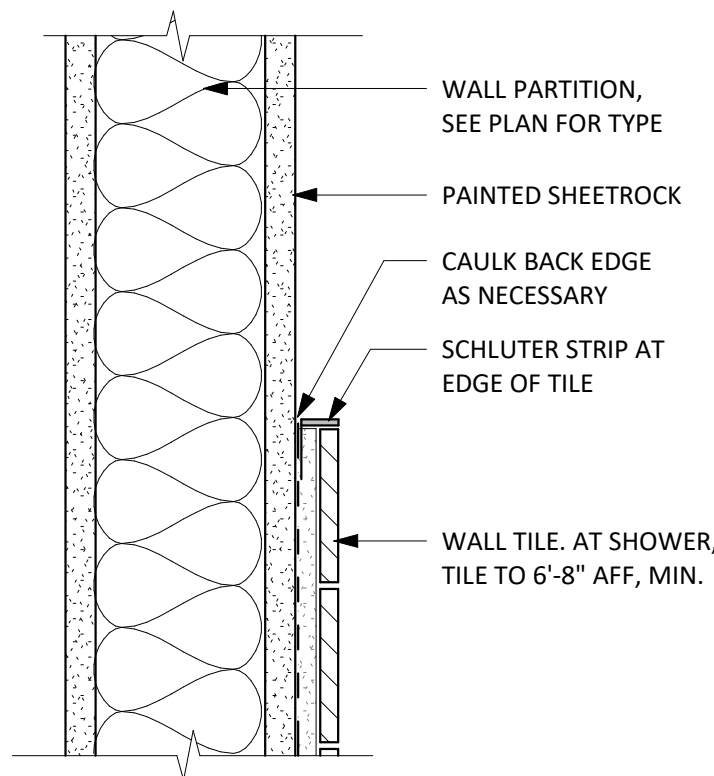
8 INTERIOR WOOD POCKET DOOR HEAD  
3" = 1'-0"



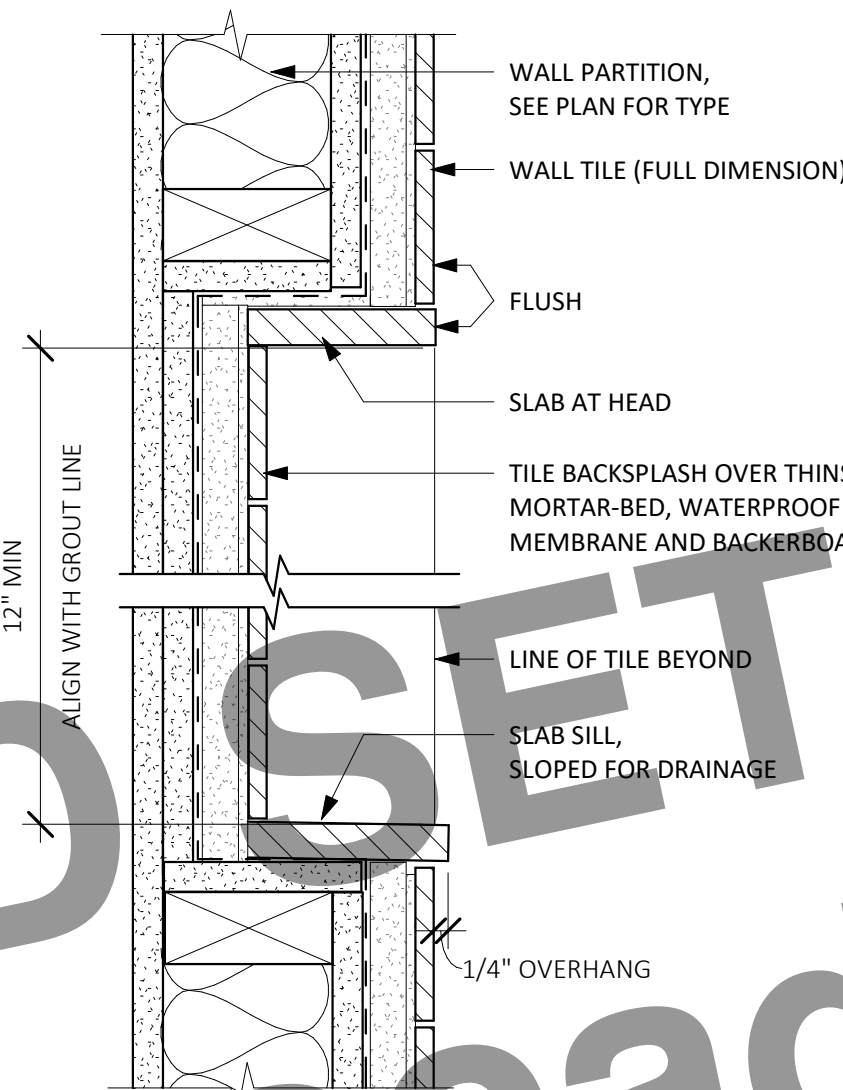
7 INTERIOR WOOD DOOR HEAD/JAMB  
3" = 1'-0"



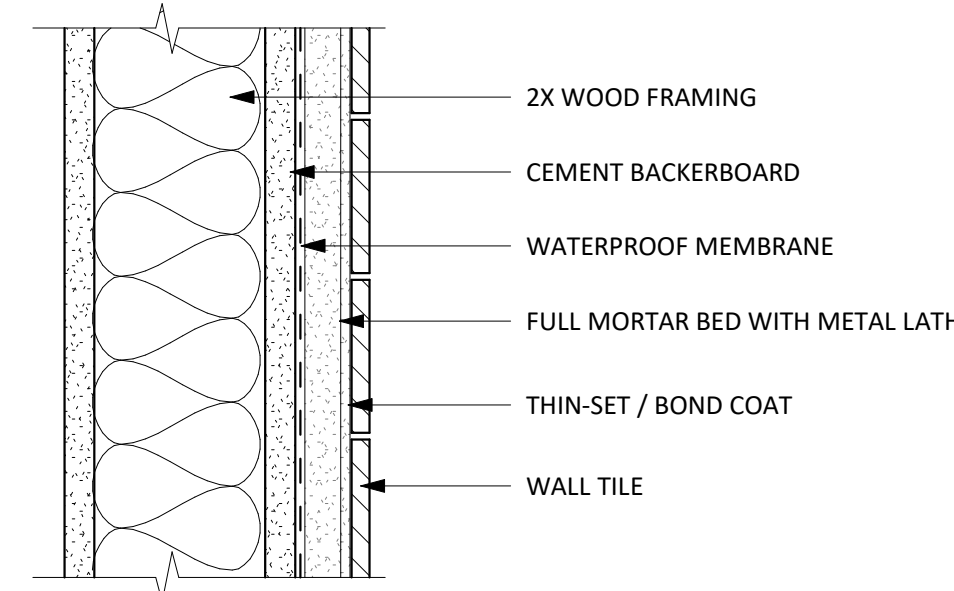
6 TYP. INTERIOR WALL PARTITION  
1 1/2" = 1'-0"



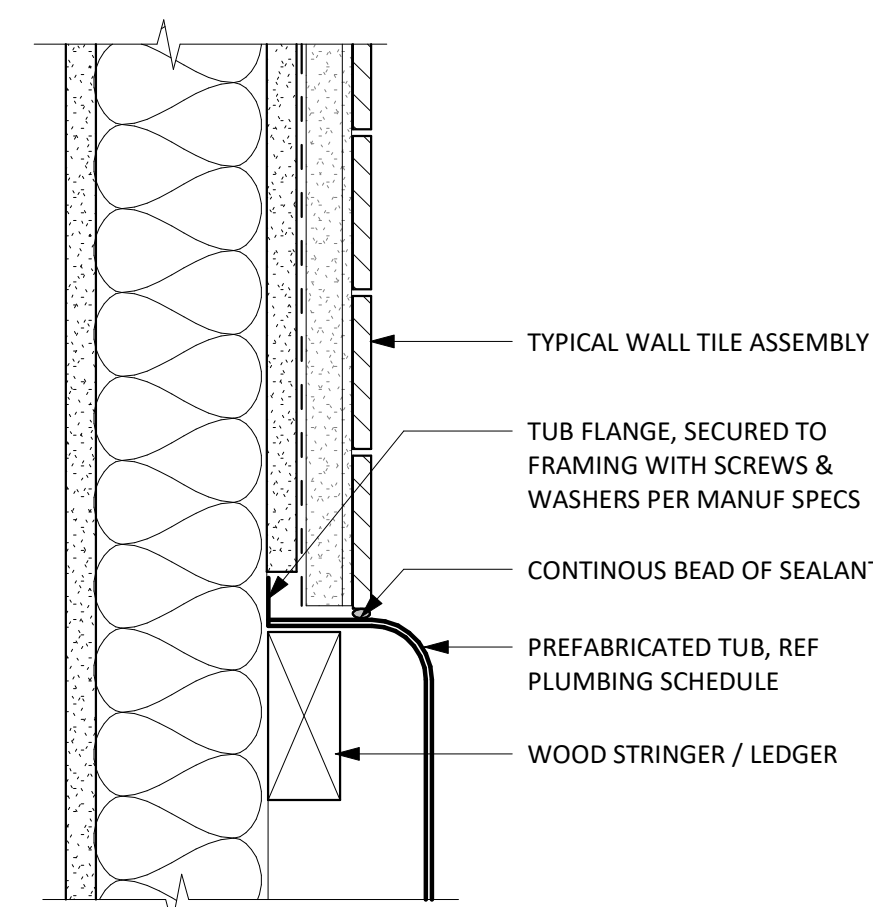
13 TILE / GYPSUM TRANSITION  
3" = 1'-0"



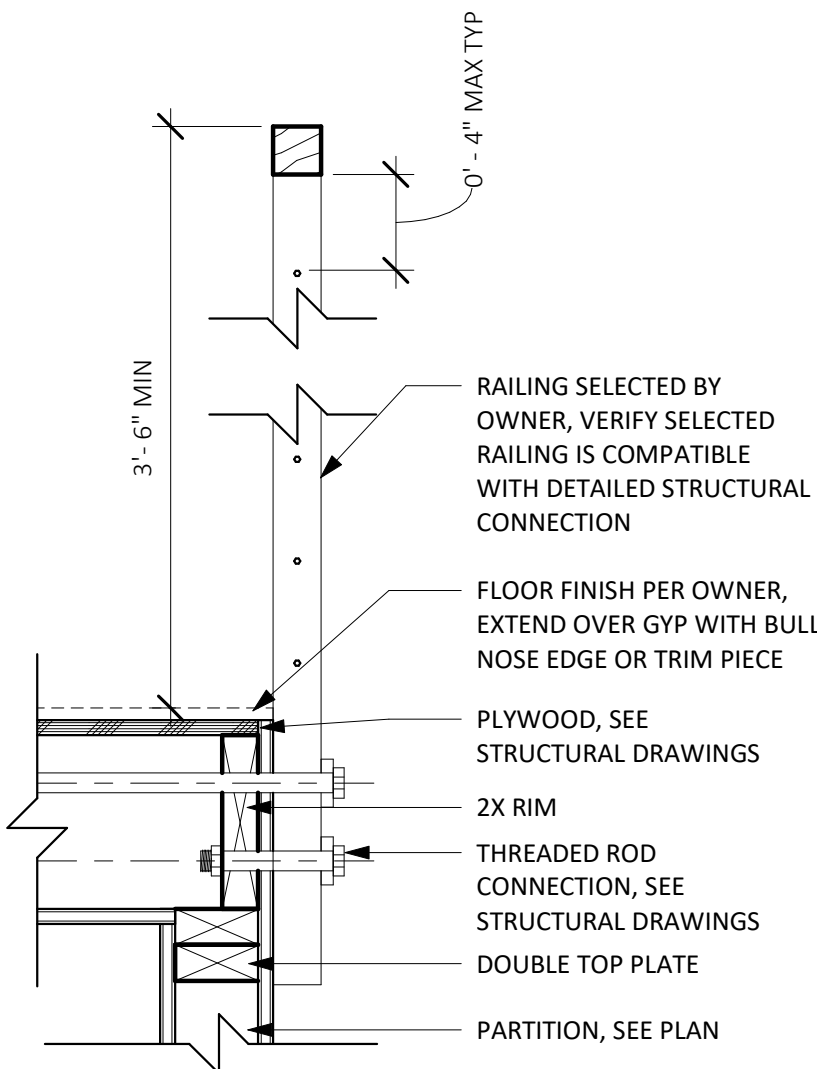
12 TILE NICHE  
3" = 1'-0"



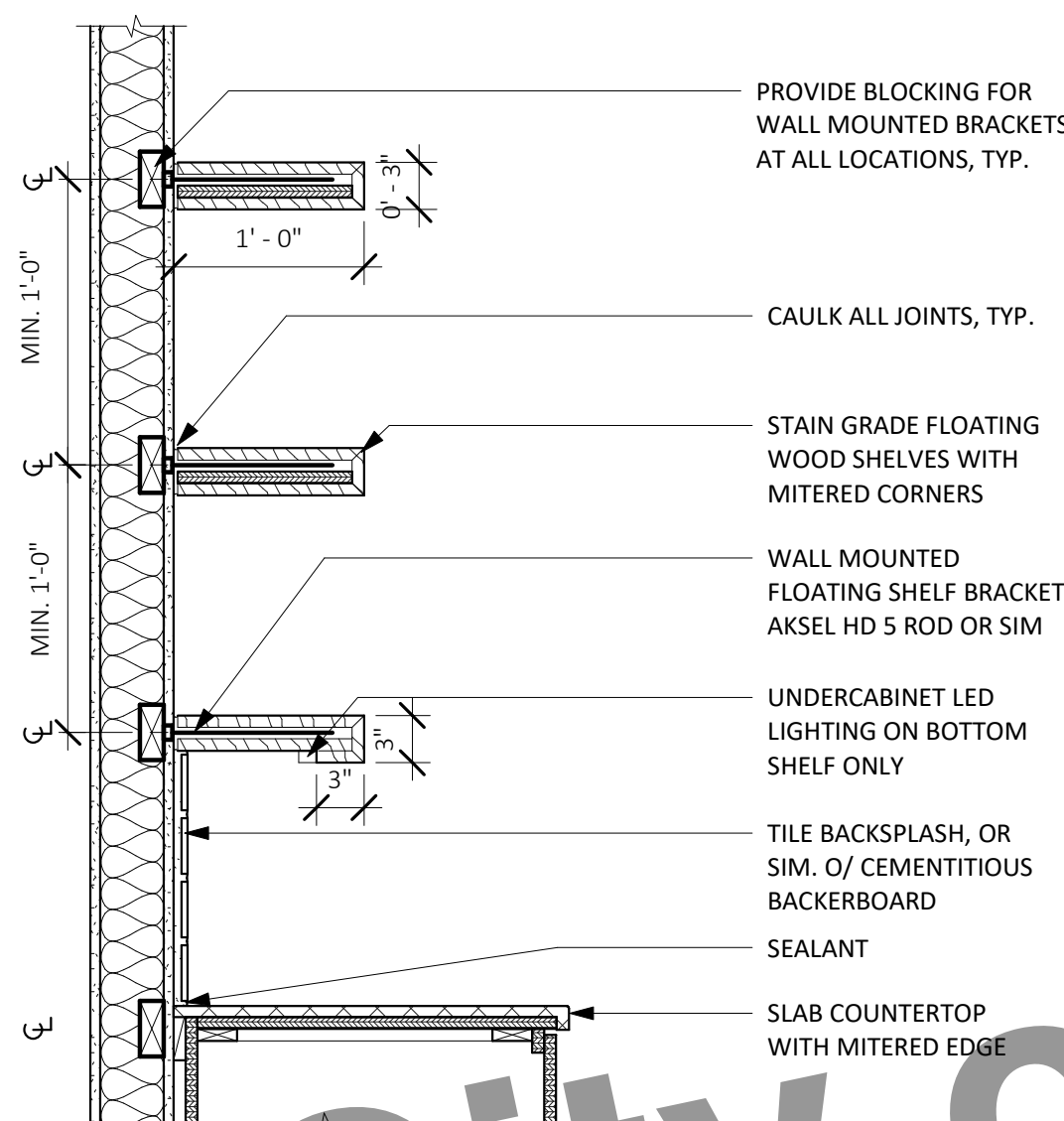
11 TYP. WALL TILE ASSEMBLY  
3" = 1'-0"



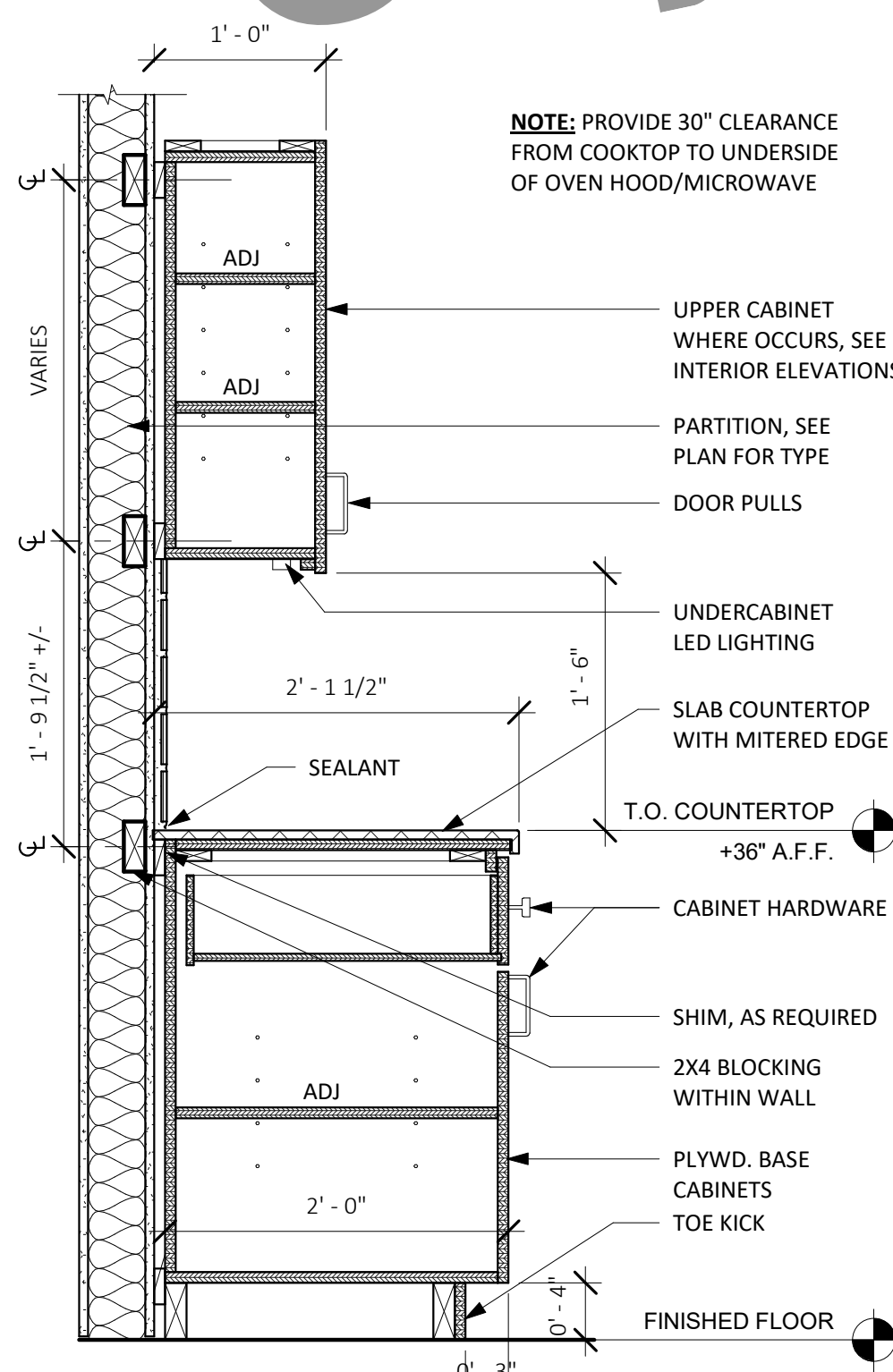
10 TILE AT TUB DECK  
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT  
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)  
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET  
1" = 1'-0"



WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - EFFICIENCY STUDIO - COASTAL RANCH							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
5	SINGLE HUNG	4	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1' - 6"	2' - 3"	7' - 0"	4' - 9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - EFFICIENCY STUDIO - BACKYARD CRAFTSMAN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3' - 0"	2' - 0"	7' - 0"	5' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	4	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

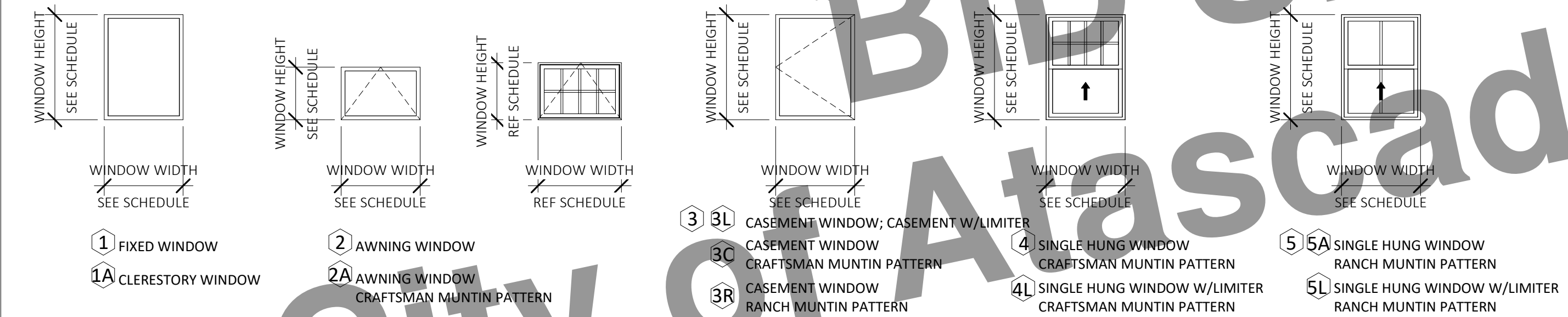
WINDOW SCHEDULE - EFFICIENCY STUDIO - CALIFORNIA MODERN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3' - 0"	4' - 0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	5	3' - 0"	2' - 0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	3	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - EFFICIENCY STUDIO - BEACH BUNGALOW							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3' - 0"	4' - 0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	3	3' - 0"	2' - 0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	3	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW MATERIAL LEGEND

FRAME MATERIAL				FRAME FINISH	
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

WINDOW TYPES



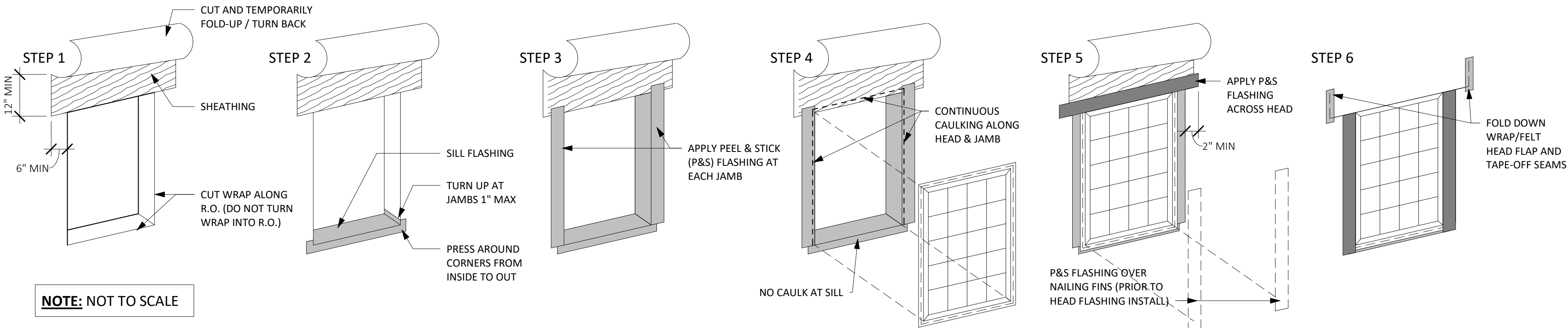
GLAZING TYPES

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.	
GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
  - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

WINDOW FLASHING SEQUENCE



APPLIANCE SCHEDULE - EFFICIENCY STUDIO			
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL
	STACKING WASHER/DRYER COMBO		
11 11 00.A4	24" DISHWASHER		
11 11 00.A5	24" MINI FRIDGE WITH FREEZER		
11 11 00.A6	12" ELECTRIC COOKTOP RANGE		
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT		

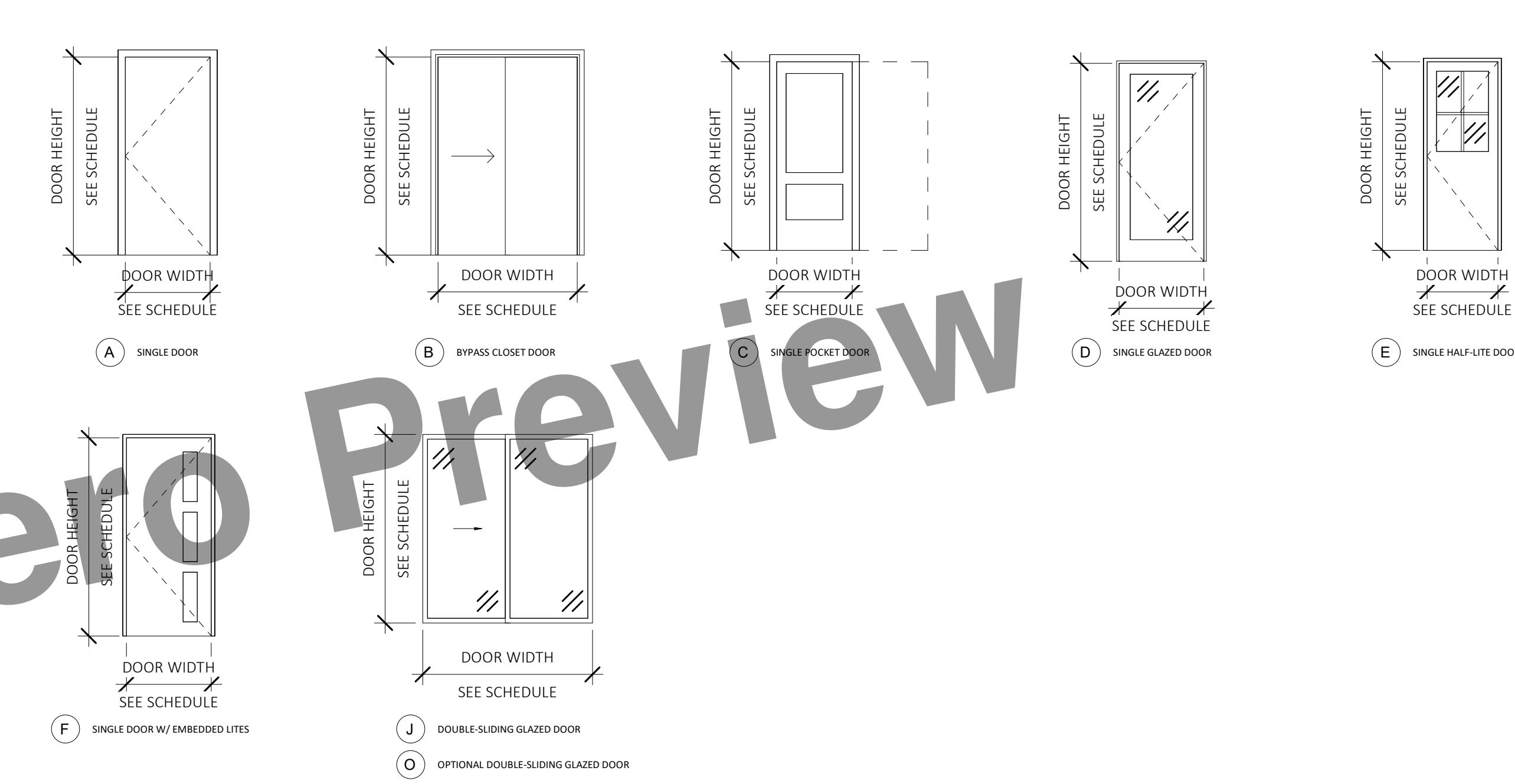
LIGHTING FIXTURE SCHEDULE - EFFICIENCY STUDIO					
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT	Comments
F1	LED DOWNLIGHT (LOW PROFILE)			8	EFFICIENCY
F3	UNDERCABINET LED LIGHT			3	EFFICIENCY
F4	EXTERIOR WALL SCONCE			1	EFFICIENCY

PLUMBING FIXTURE SCHEDULE - EFFICIENCY STUDIO				
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A5				
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

DOOR SCHEDULE

DOOR SCHEDULE - EFFICIENCY STUDIO																
MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS					DETAILS			HARDWARE GROUP	NOTES
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL		
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3' - 0"	7' - 0"	0' - 1 3/8"			GL-2 TEMP			3/A5.2 OR 6/A5.1(WUI)	3/A5.2	1/A5.2 OR 2/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
C01	C	INTERIOR POCKET DOOR	BATH	2' - 6"	6' - 8"	0' - 1 1/2"	SC	PTD	N/A	WD	PTD	8/A5.3	PER MFR	PER MFR	3	

DOOR TYPES



DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

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1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

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CENTRAL COAST  
PRE-DESIGNED ADU  
EFFICIENCY STUDIO  
316 GSF

PRINT DATE: XX.XX.XXXX

SCHEDULES -  
EFFICIENCY STUDIO

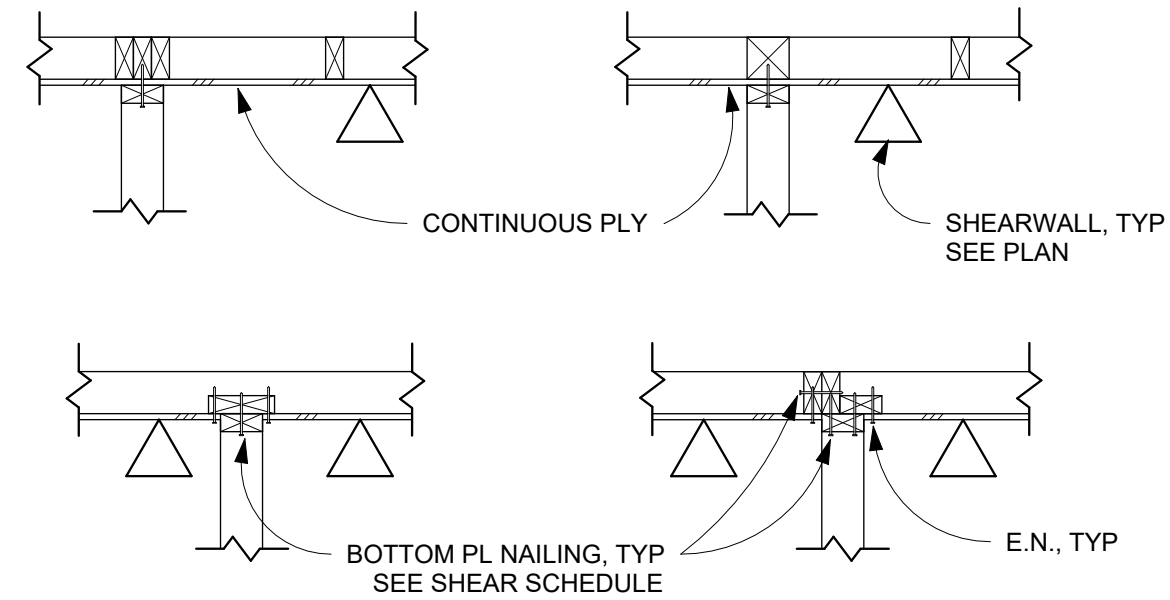
A6.0

SCALE: AS NOTED

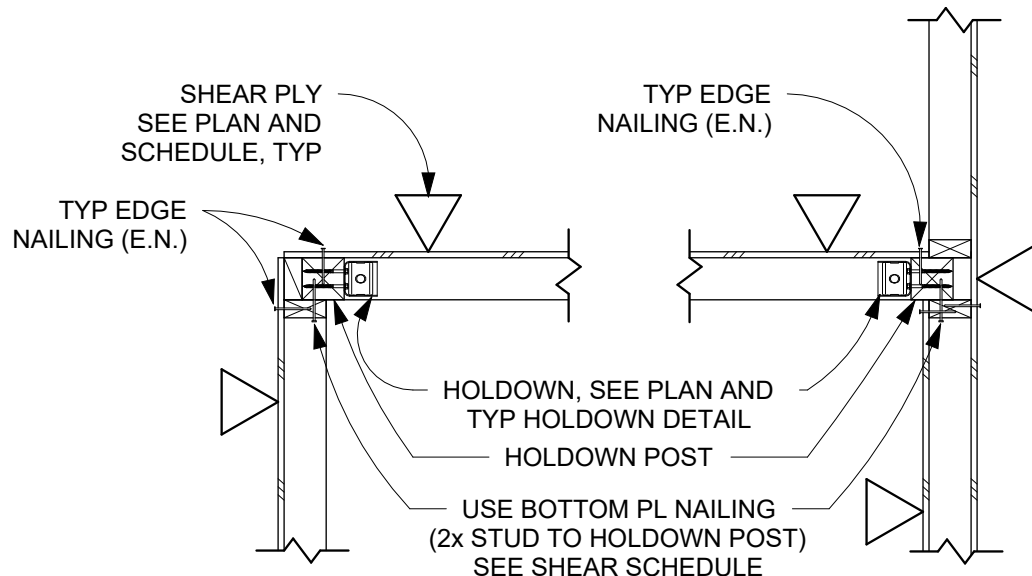




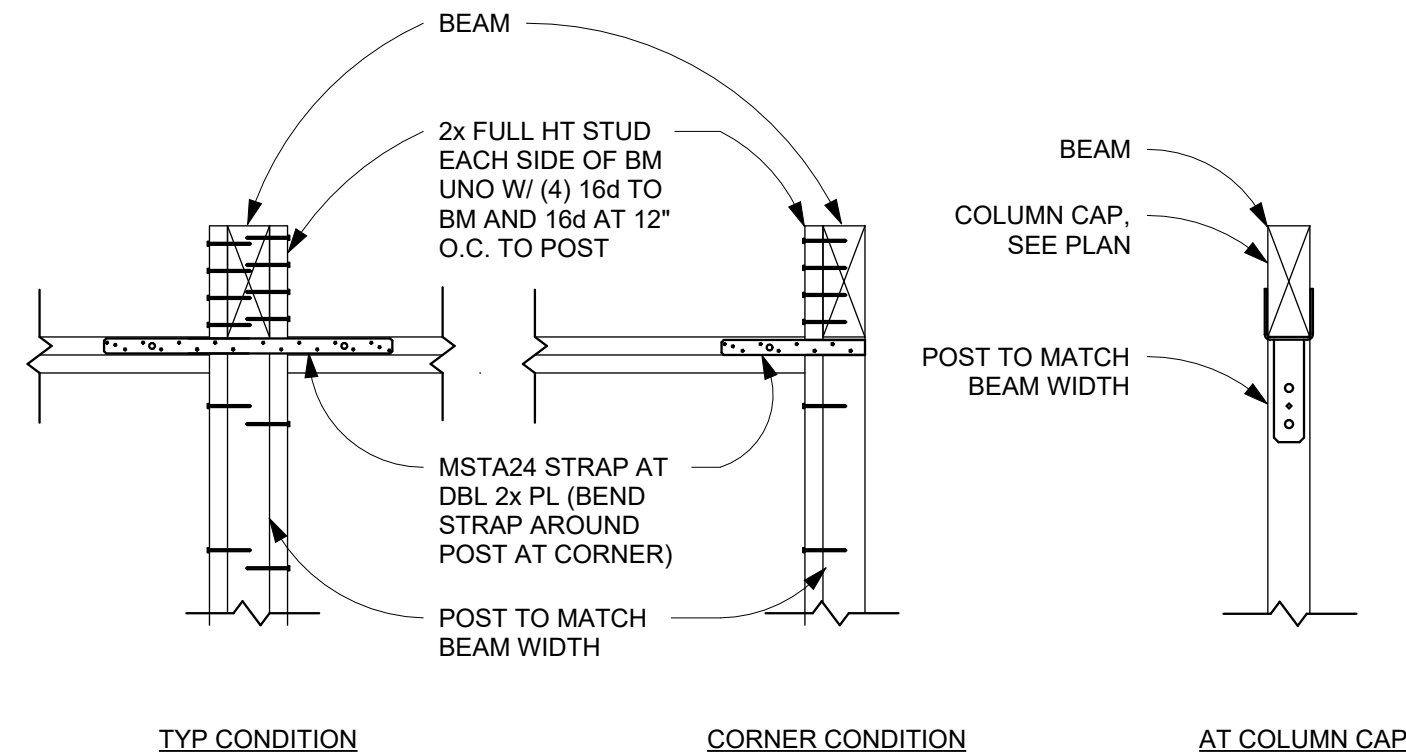




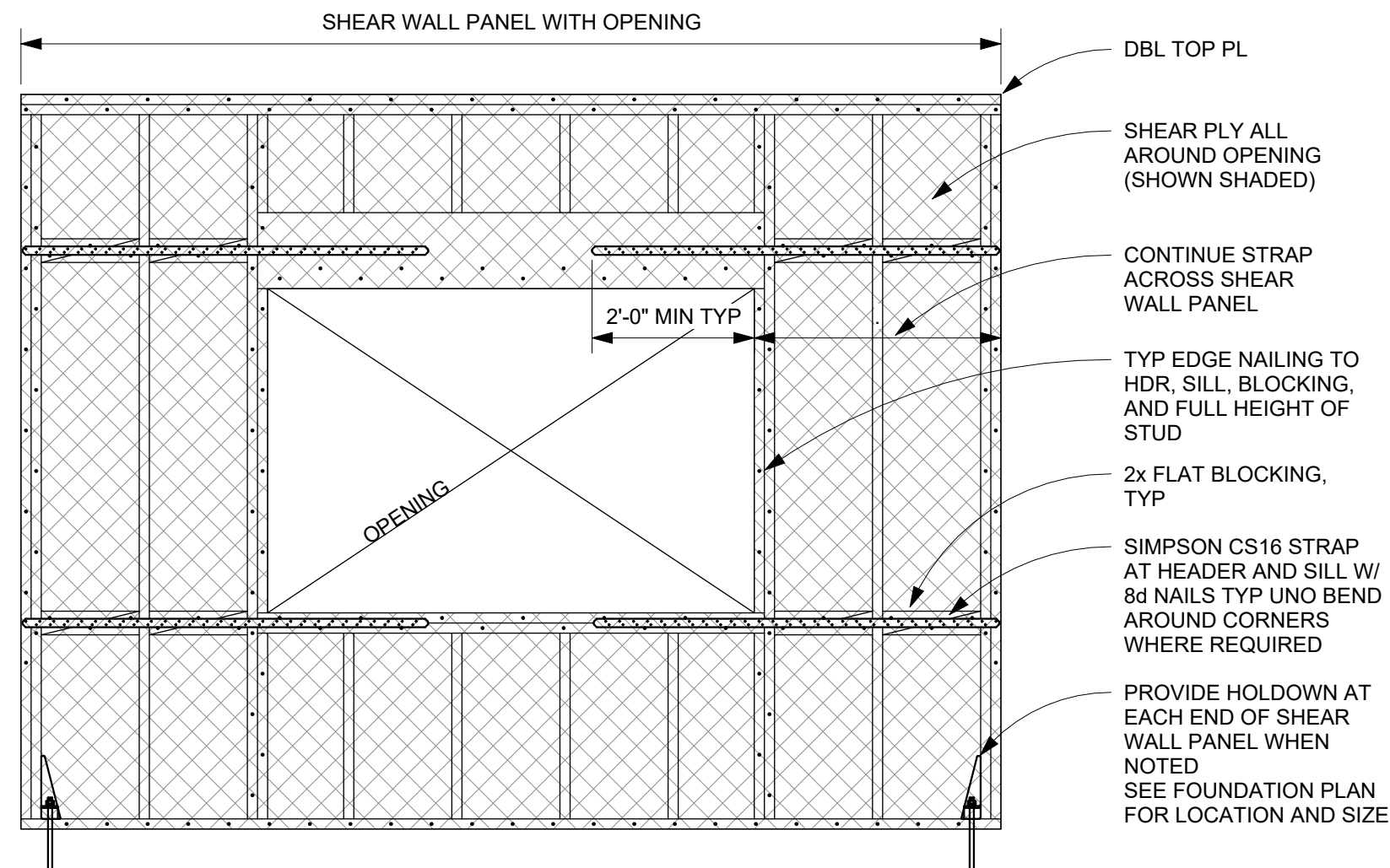
1  
S0.1  
CONT SHEAR WALL PLAN DETAIL  
3/4" = 1'-0"



2  
S0.1  
INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL  
3/4" = 1'-0"

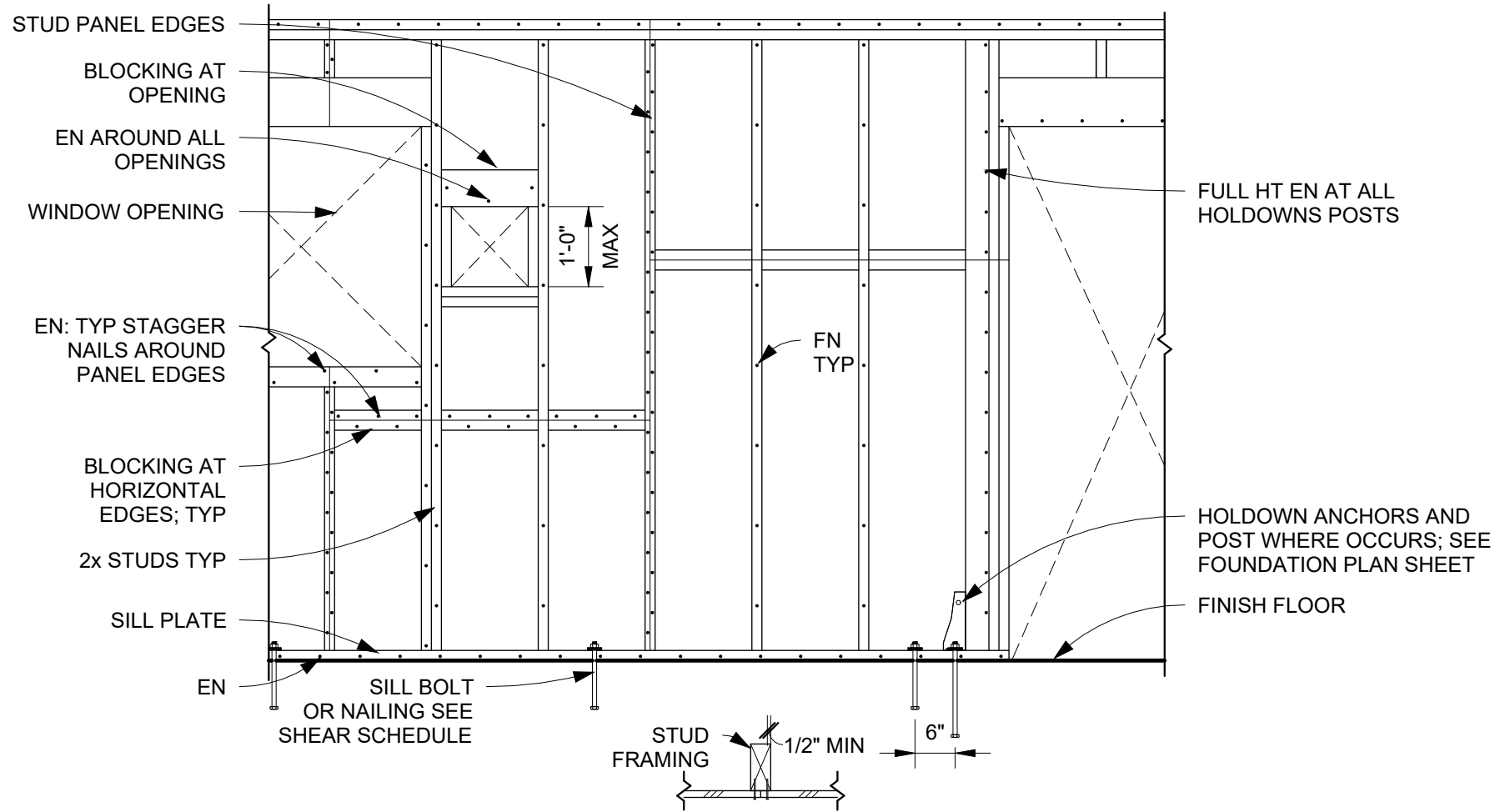


3  
S0.1  
TYPICAL POST TO BEAM CONN  
3/4" = 1'-0"



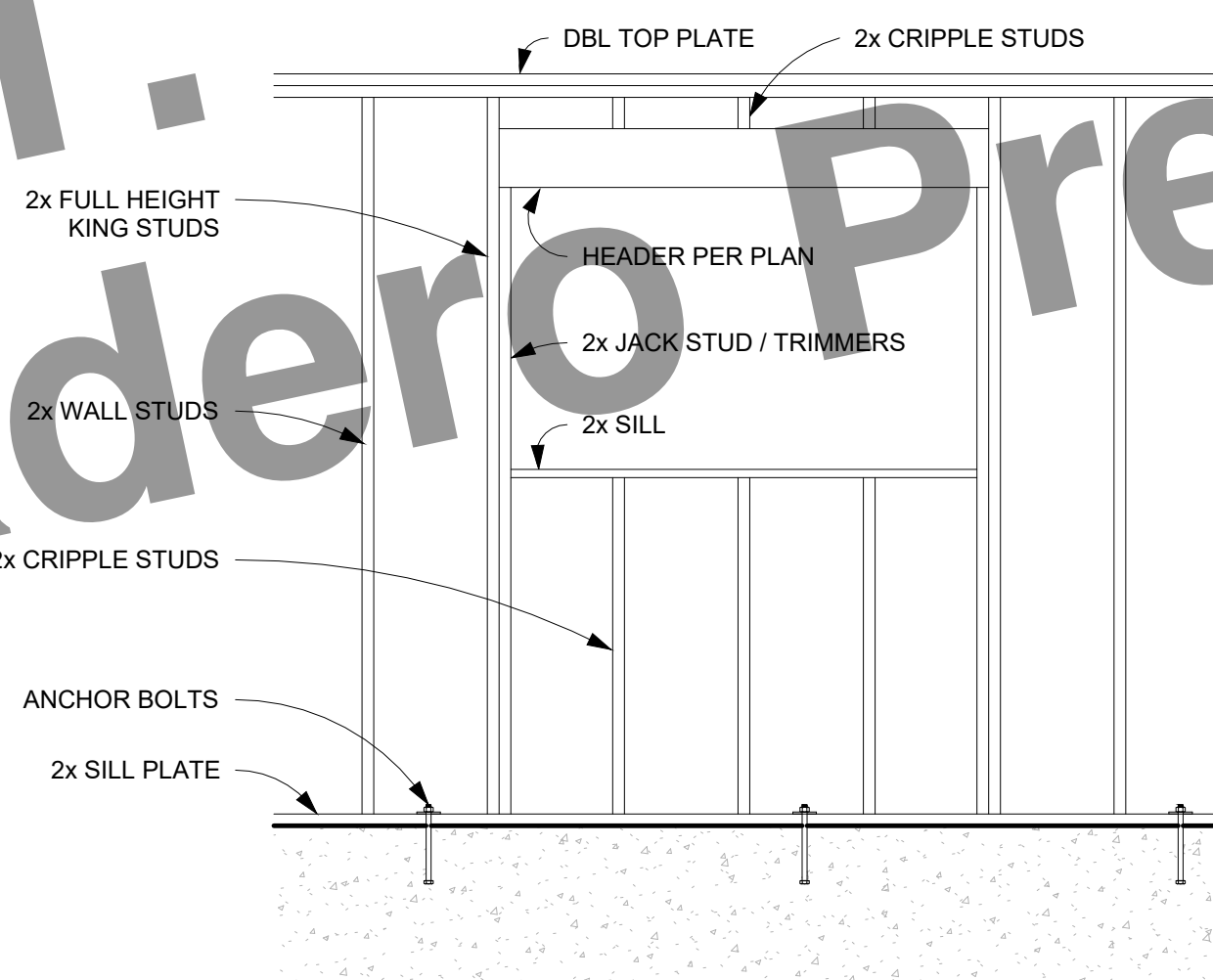
- NOTES:
1. PLACE STRAPS OVER PLYWOOD
  2. HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

4  
S0.1  
STRAP AROUND OPENING  
1/2" = 1'-0"

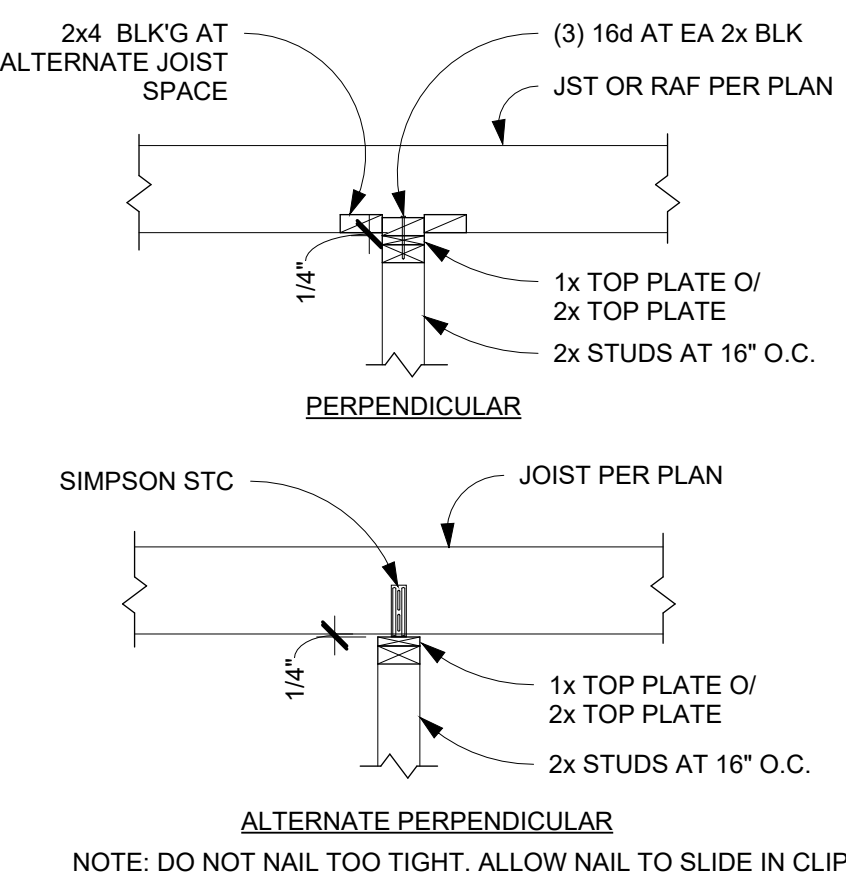


- NOTES:
1. INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
  2. (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
  3. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
  4. SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
  5. SEE PLAN FOR SHEARWALL SCHEDULE.
  6. THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

5  
S0.1  
TYP SHEAR WALL FRAMING  
1/2" = 1'-0"

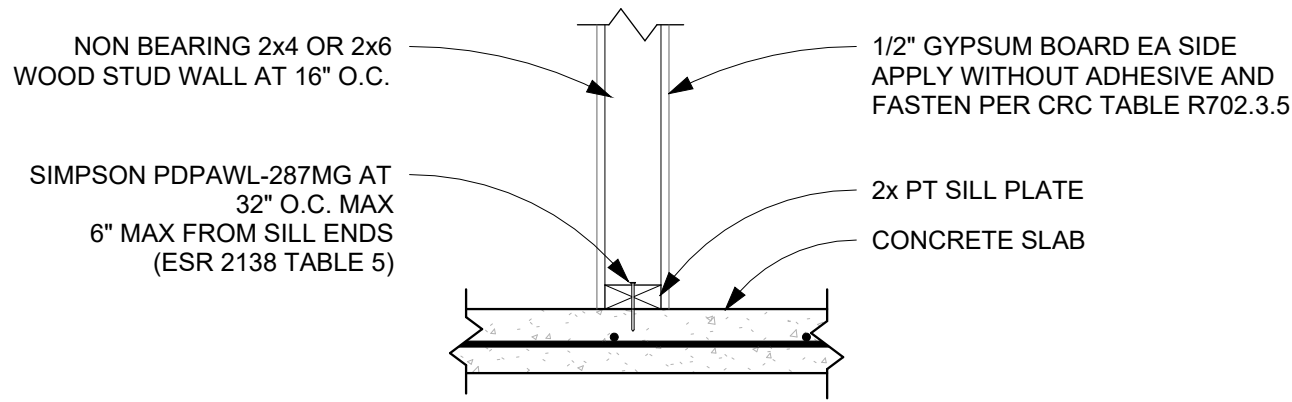


6  
S0.1  
TYP WALL FRAMING  
1/2" = 1'-0"

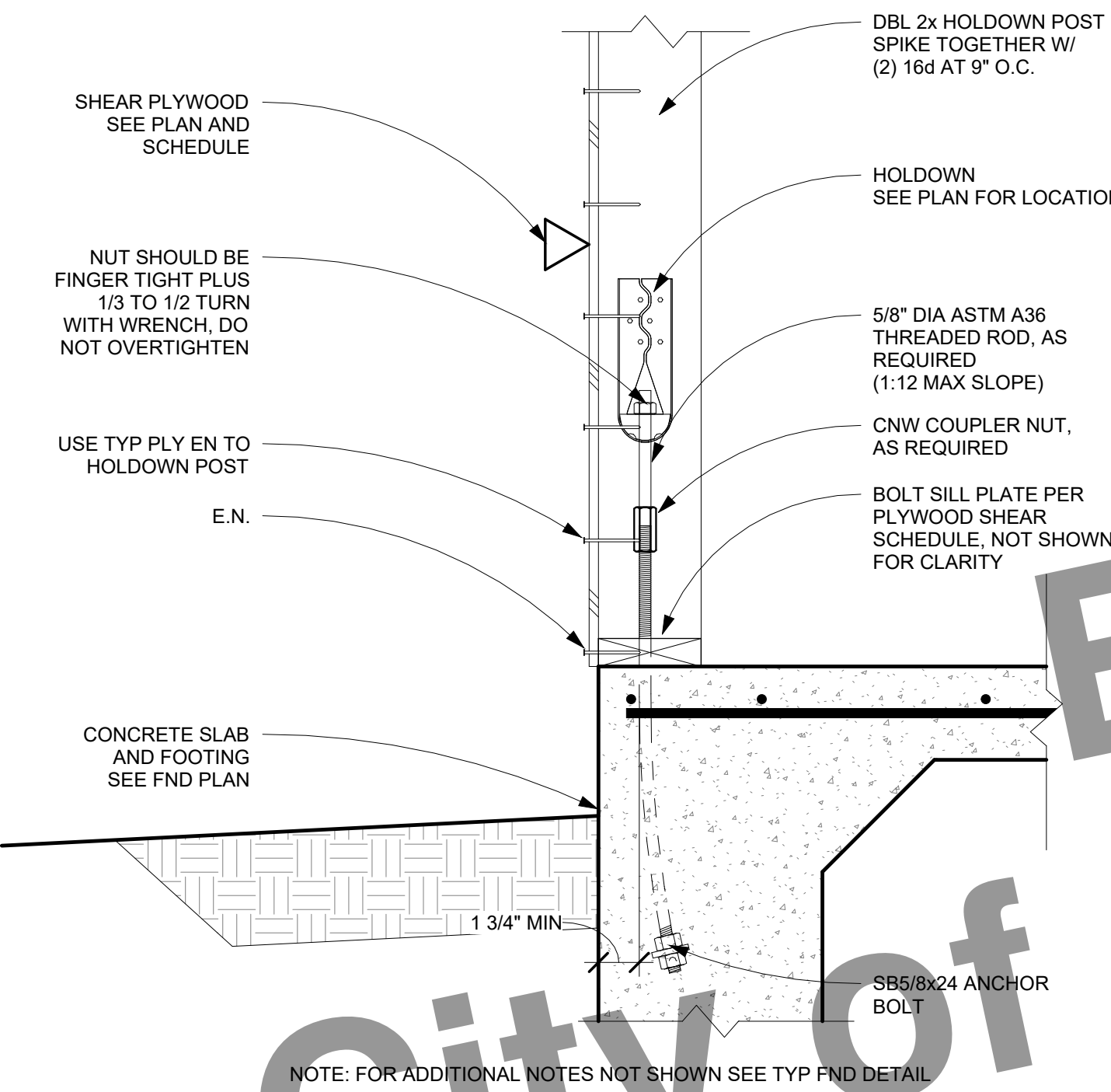


NOTE: DO NOT NAIL TOO TIGHT. ALLOW NAIL TO SLIDE IN CLIP

7  
S0.1  
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP  
3/4" = 1'-0"

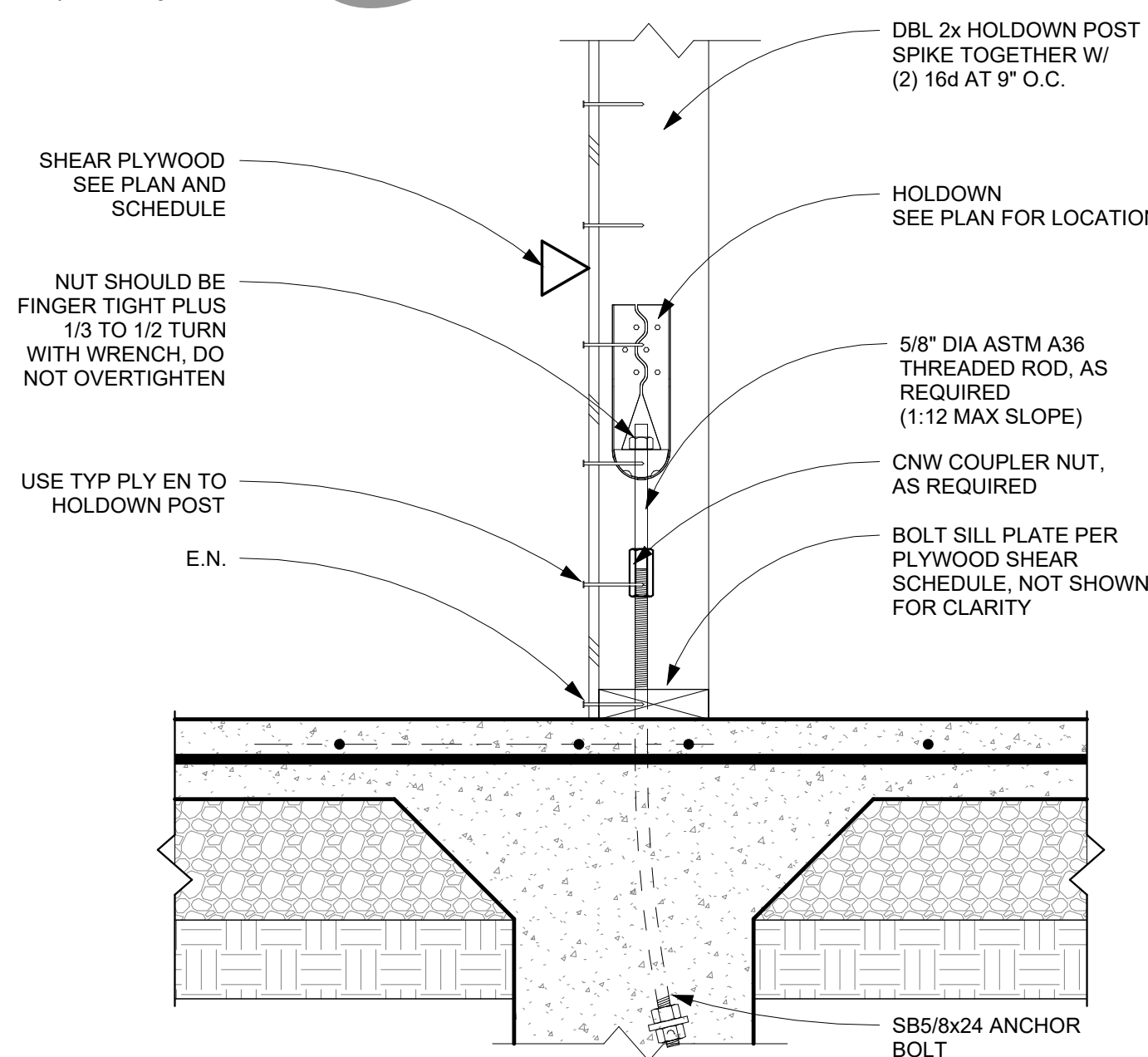


8  
S0.1  
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB  
1" = 1'-0"



NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE TYP FND DETAIL

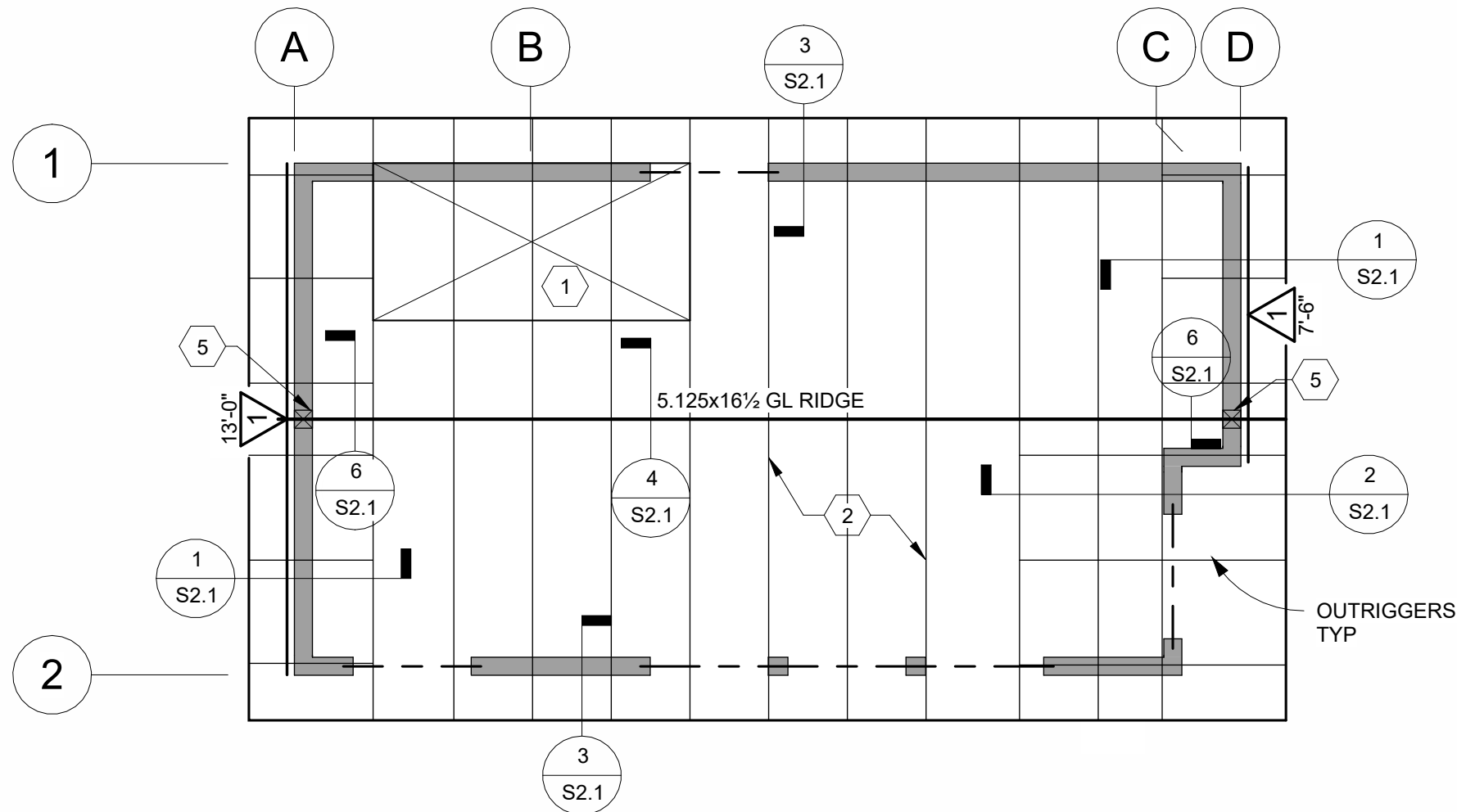
9  
S0.1  
TYP HOLDOWN AT PERIM FTG  
1 1/2" = 1'-0"



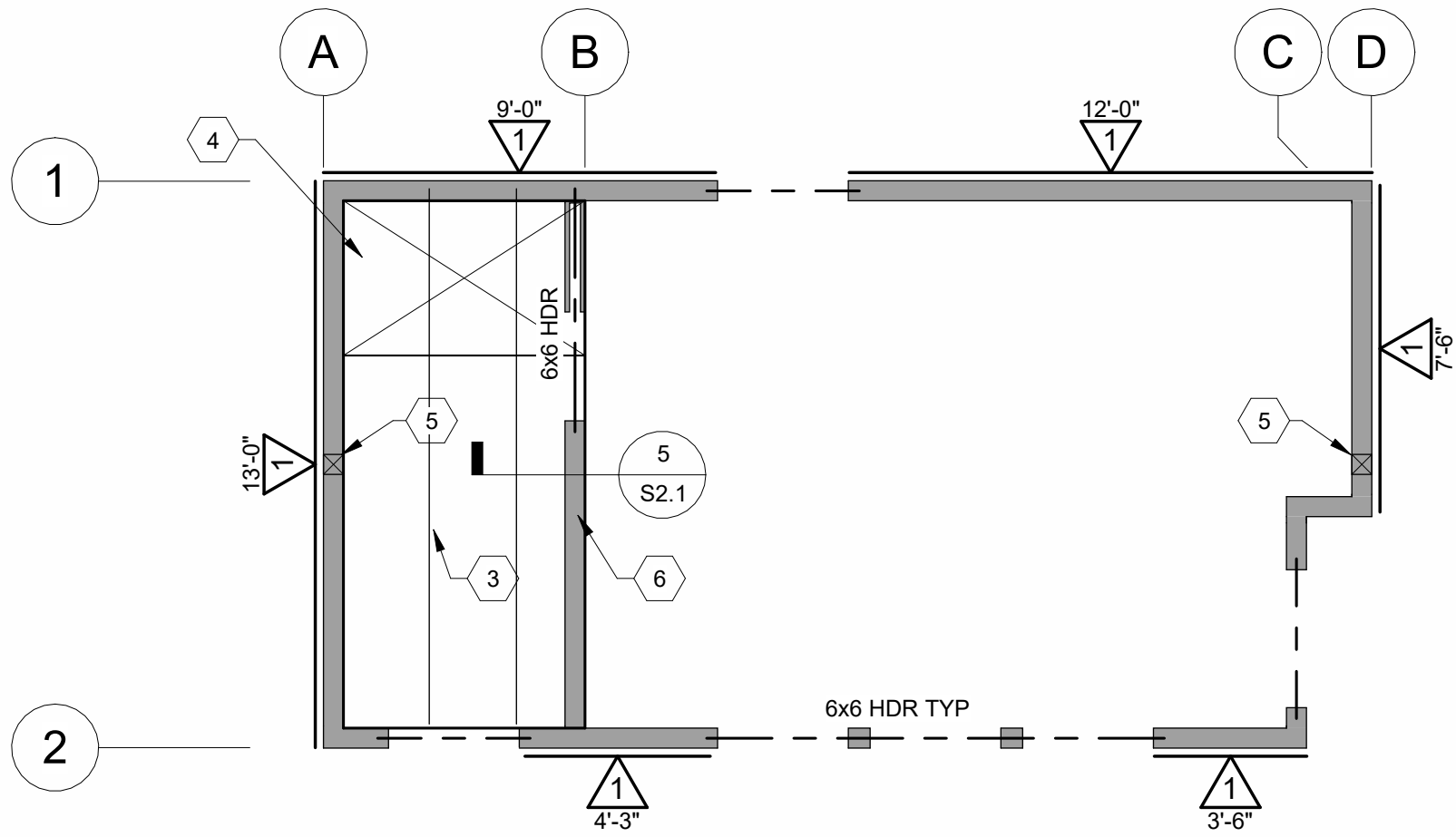
NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE INTERIOR FOUNDATION DTL

10  
S0.1  
TYP HOLDOWN AT INTERIOR FOOTING  
1 1/2" = 1'-0"

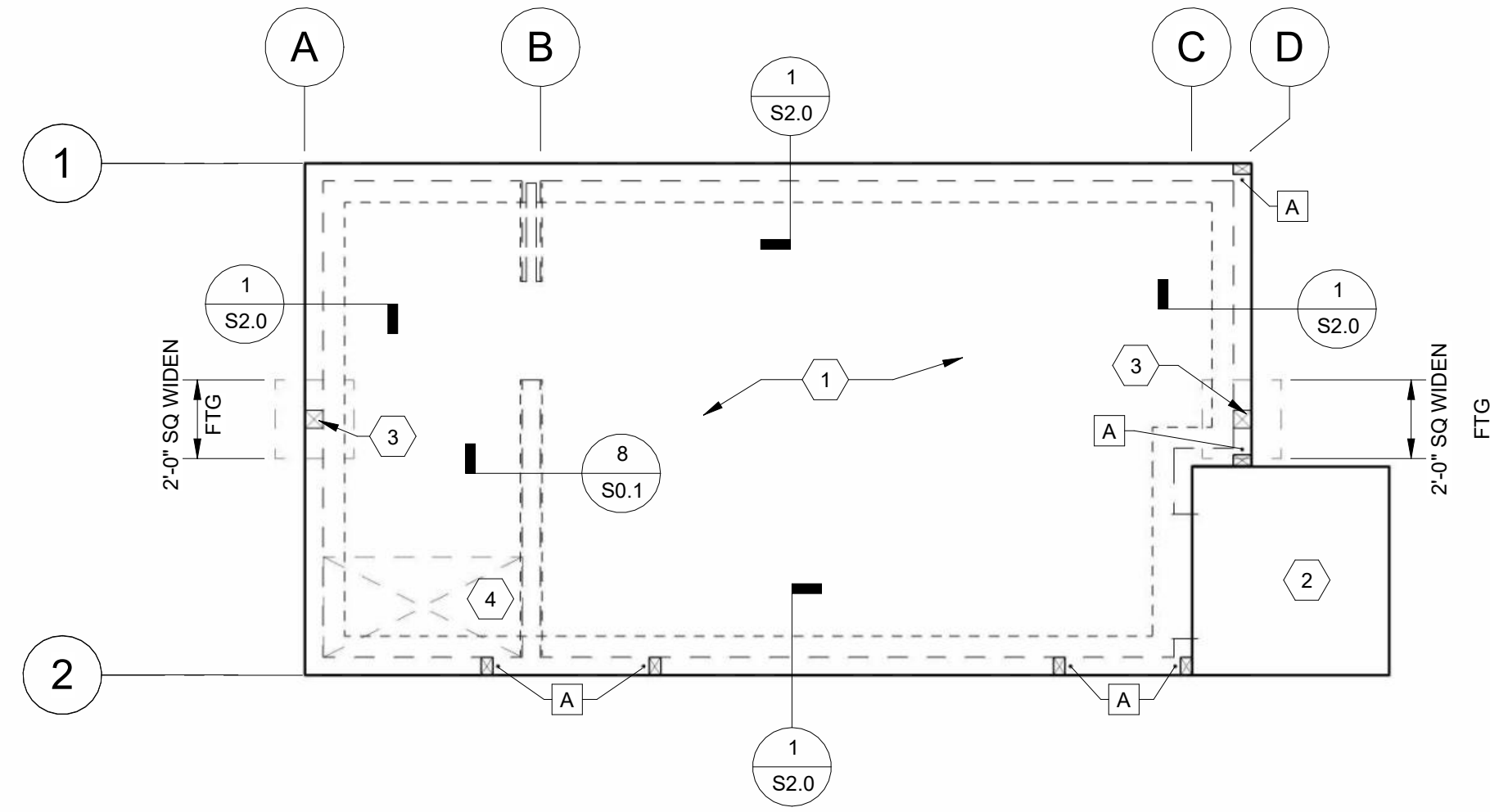




EFFICIENCY GABLE STUDIO ROOF FRAMING PLAN  
1/4" = 1'-0"





EFFICIENCY GABLE STUDIO CEILING FRAMING PLAN  
1/4" = 1'-0"










EFFICIENCY GABLE STUDIO FOUNDATION PLAN  
1/4" = 1'-0"

### ROOF AND CEILING/LOFT FRAMING NOTES


- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY  ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE  1.
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

EFFICIENCY GABLE ROOF & CEILING FRAMING PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CELING/LOFT FRAMING NOTES
5	6x6 RIPPED RIDGE POST
6	WALL STOPS AT CEILING

### LEGEND

-  KEYNOTE TAG, SEE KEYNOTE TABLES
-  HOLDOWN TAG, SEE HOLDOWN SCHEDULE
-  SHEARWALL TAG
-  PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
-  HOLDOWN POST
-  WALL ABOVE
-  WALL BELOW

### FOUNDATION PLAN NOTES

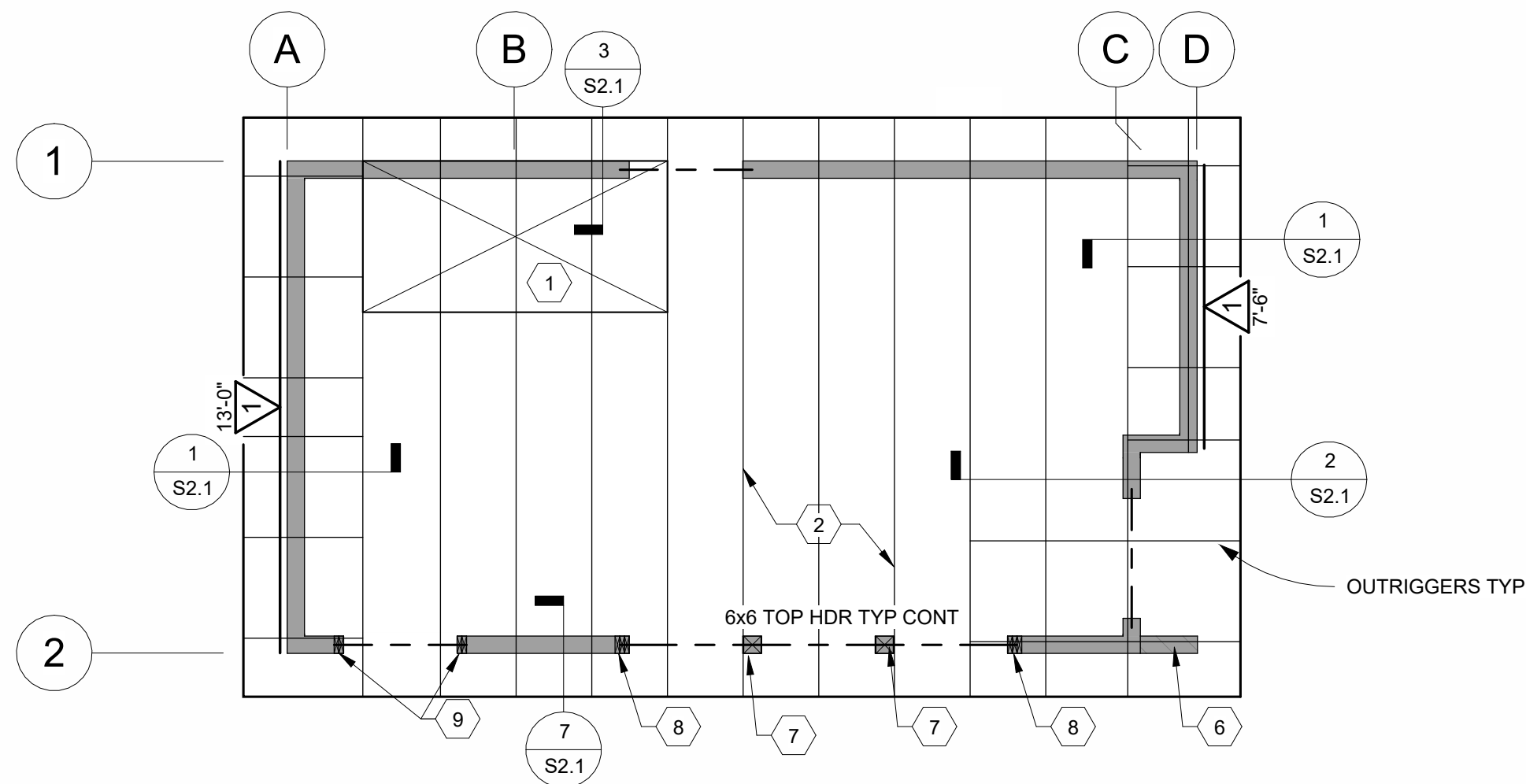
- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
-  INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

EFFICIENCY GABLE FOUNDATION PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

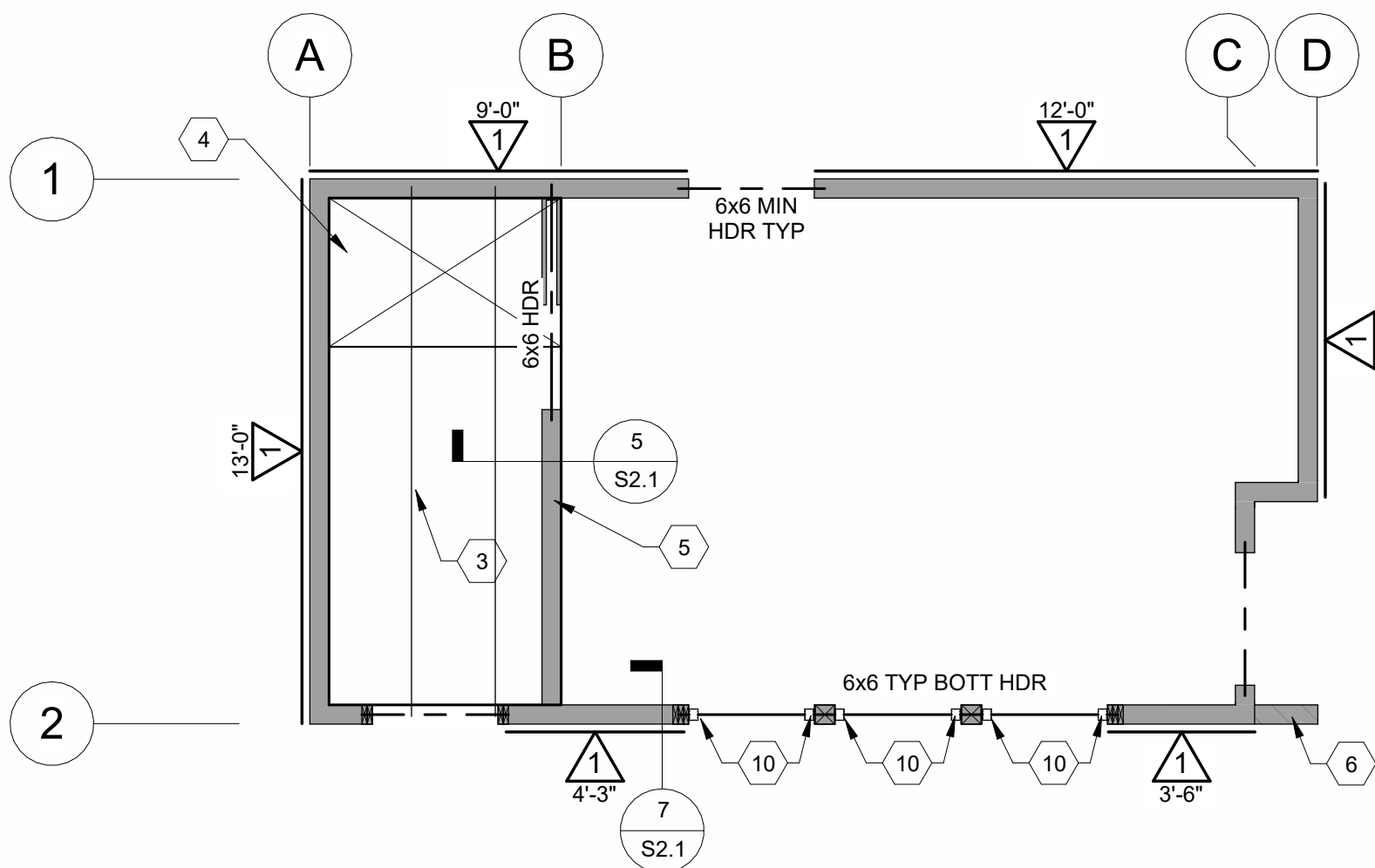
HOLDOWN SCHEDULE				
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT

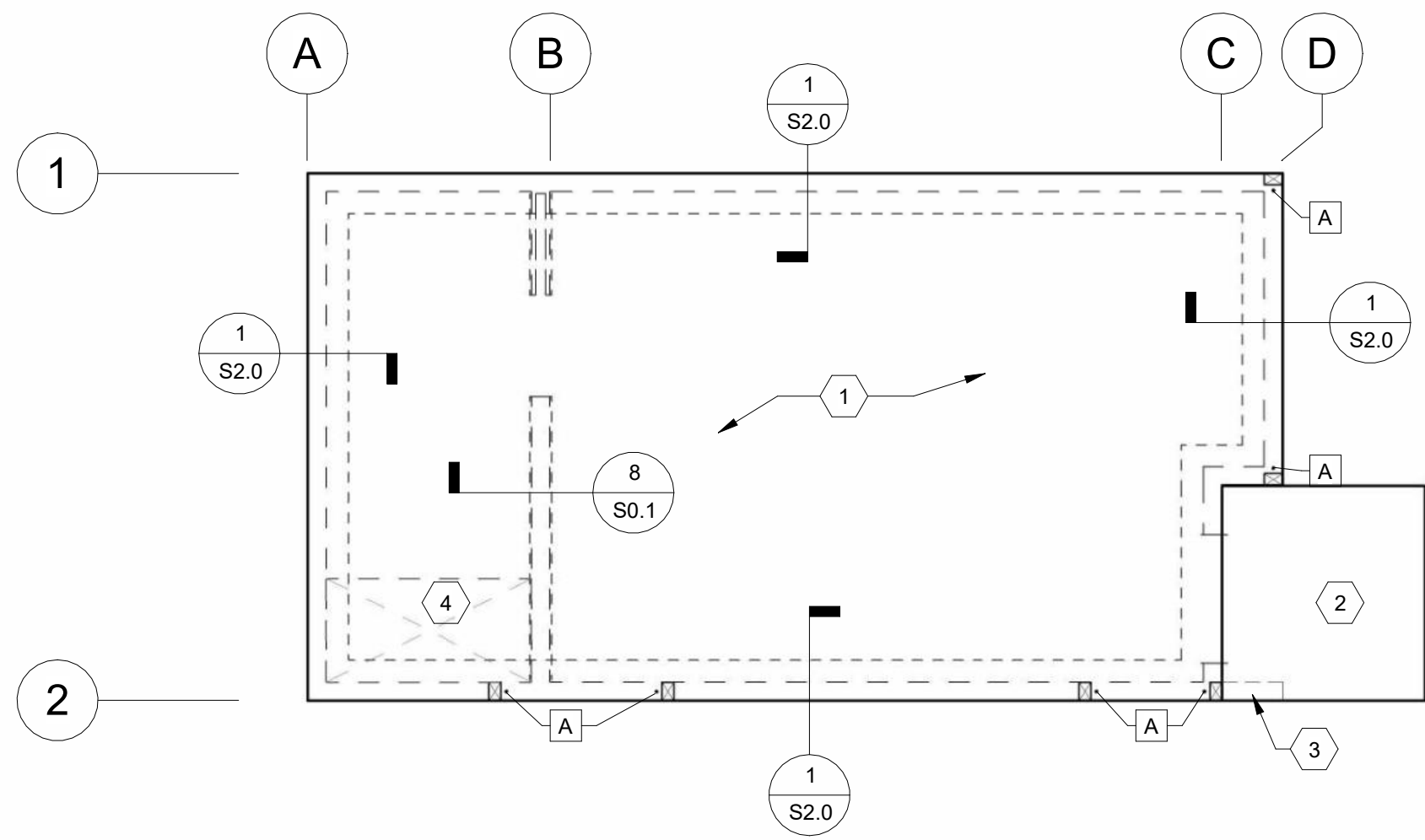




**EFFICIENCY MONOSLOPE STUDIO ROOF FRAMING PLAN**  
1/4" = 1'-0"





**EFFICIENCY MONOSLOPE STUDIO CEILING FRAMING PLAN**  
1/4" = 1'-0"










**EFFICIENCY MONOSLOPE STUDIO FOUNDATION PLAN**  
1/4" = 1'-0"

### ROOF AND CEILING/LOFT FRAMING NOTES


- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY  ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

EFFICIENCY MONOSLOPE ROOF & CEILING FRAMING PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CELING FRAMING NOTES
5	WALL STOPS AT CEILING
6	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
7	6x6 POST
8	2x TRIMMER WITH DBL 2x KING STUD
9	2x TRIMMER AND 2x KING STUD
10	HUC66 HANGER

### LEGEND

-  KEYNOTE TAG, SEE KEYNOTE TABLES
-  HOLDOWN TAG, SEE HOLDOWN SCHEDULE
-  SHEARWALL TAG
-  PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
-  HOLDOWN POST
-  WALL ABOVE
-  WALL BELOW

### FOUNDATION PLAN NOTES

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
-  INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

### EFFICIENCY MONOSLOPE FOUNDATION PLAN KEYNOTES

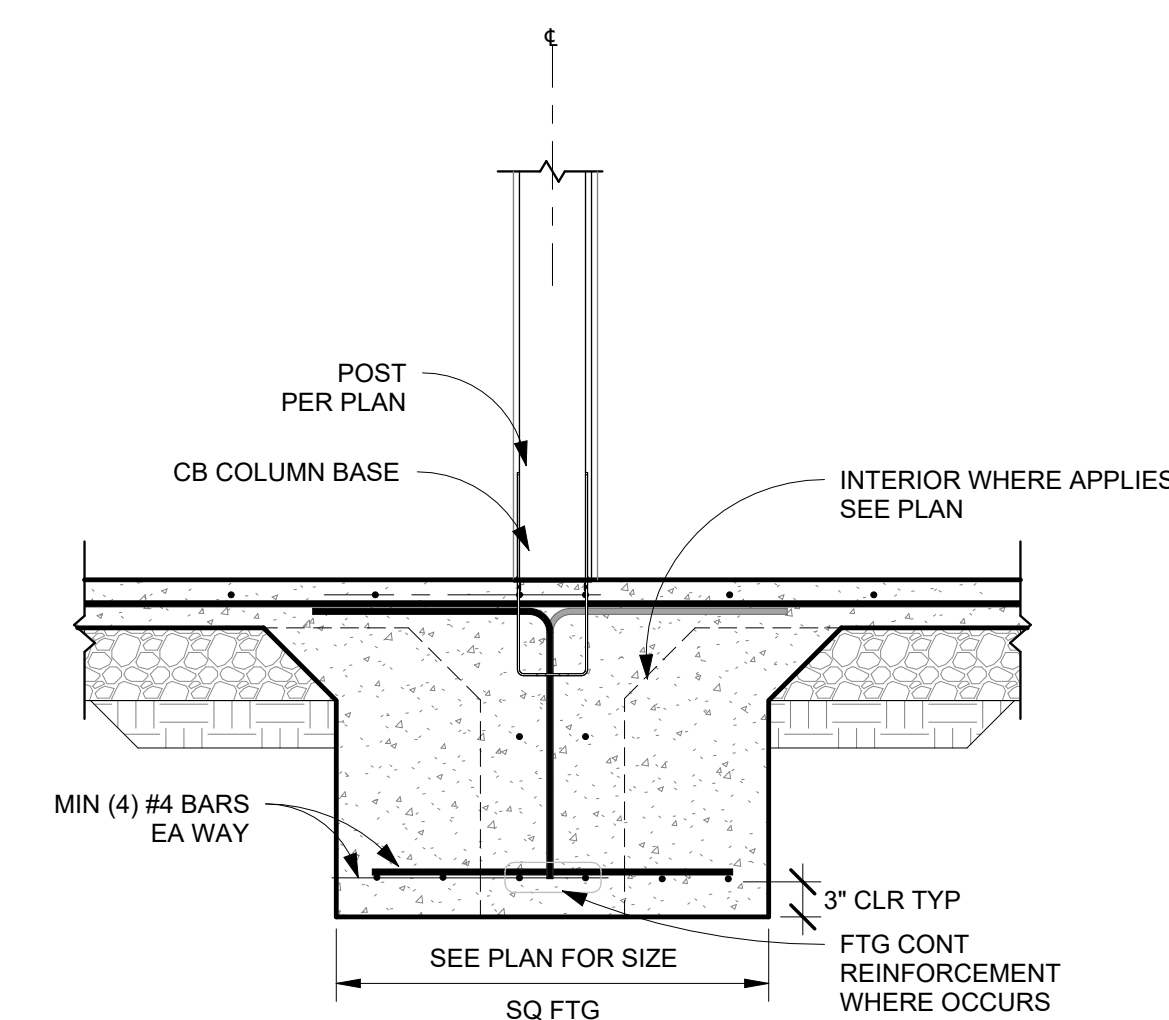
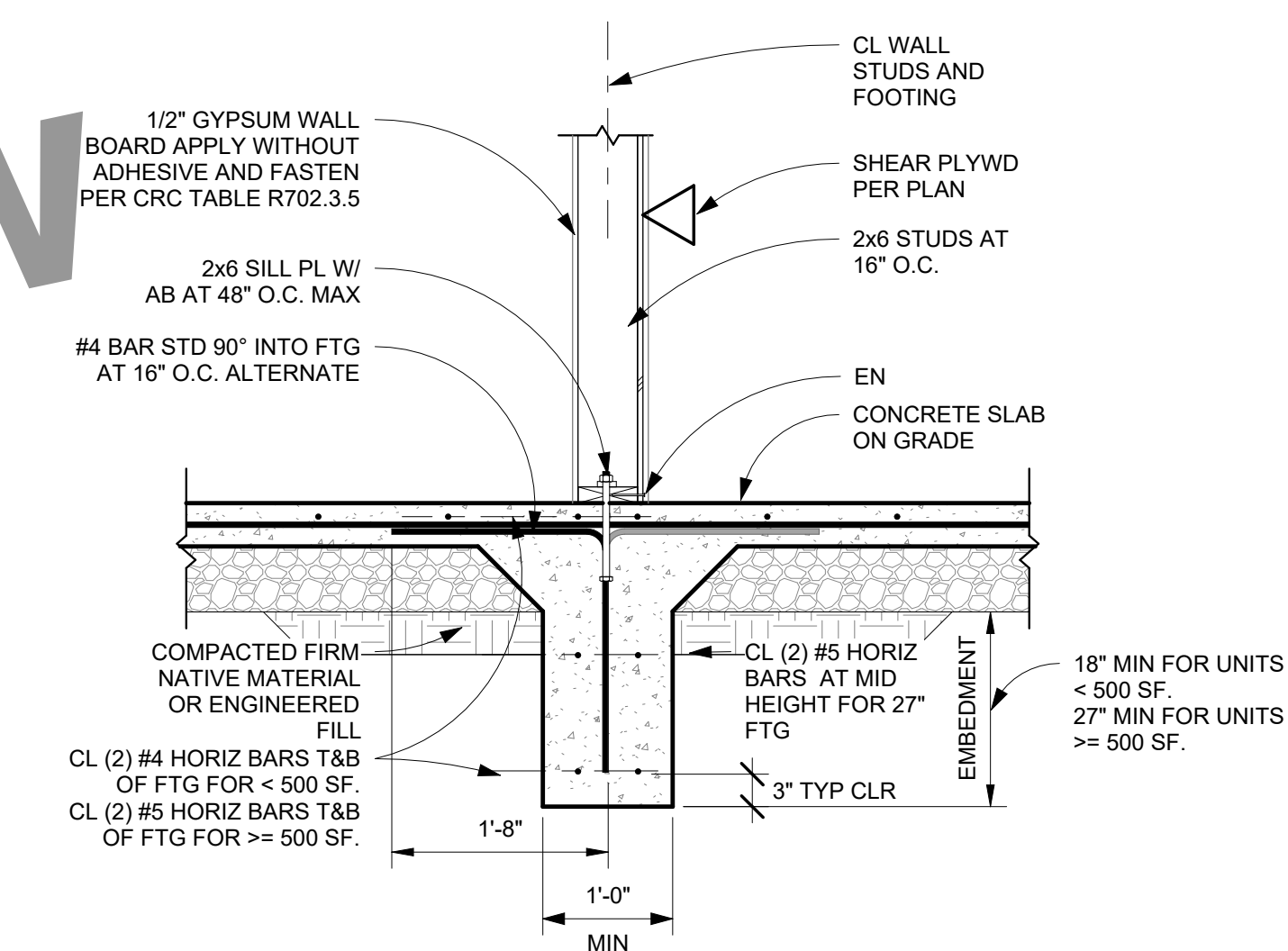
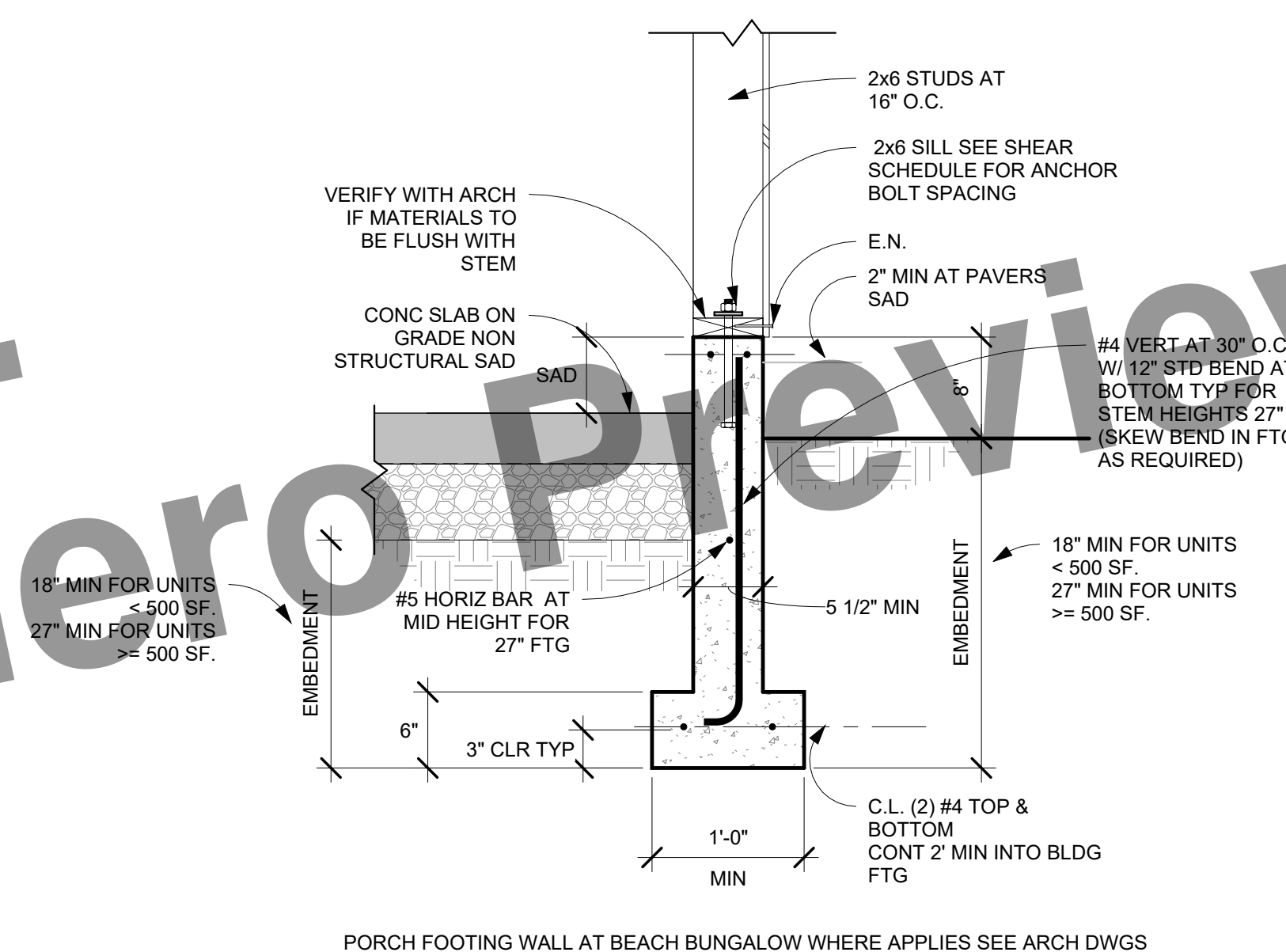
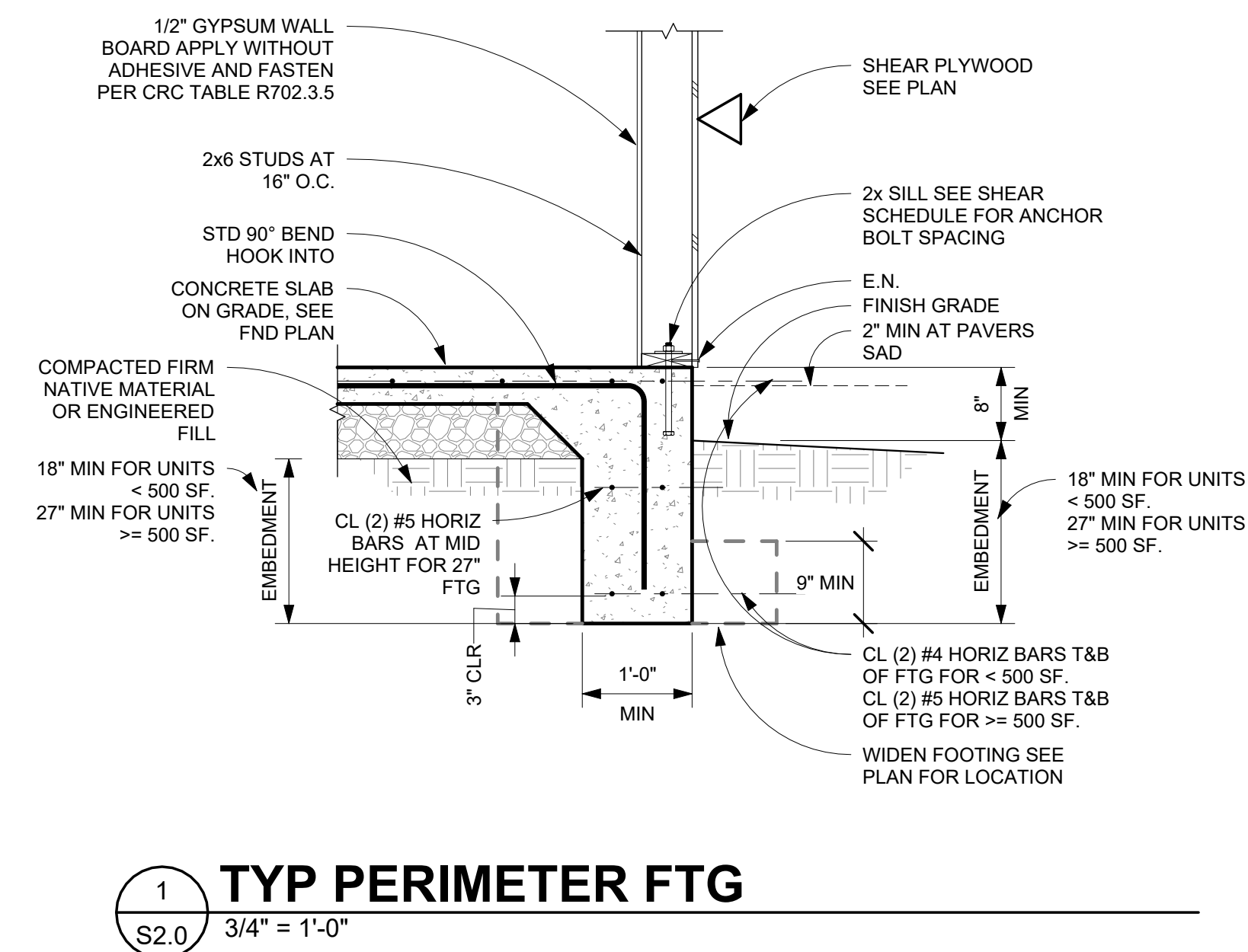
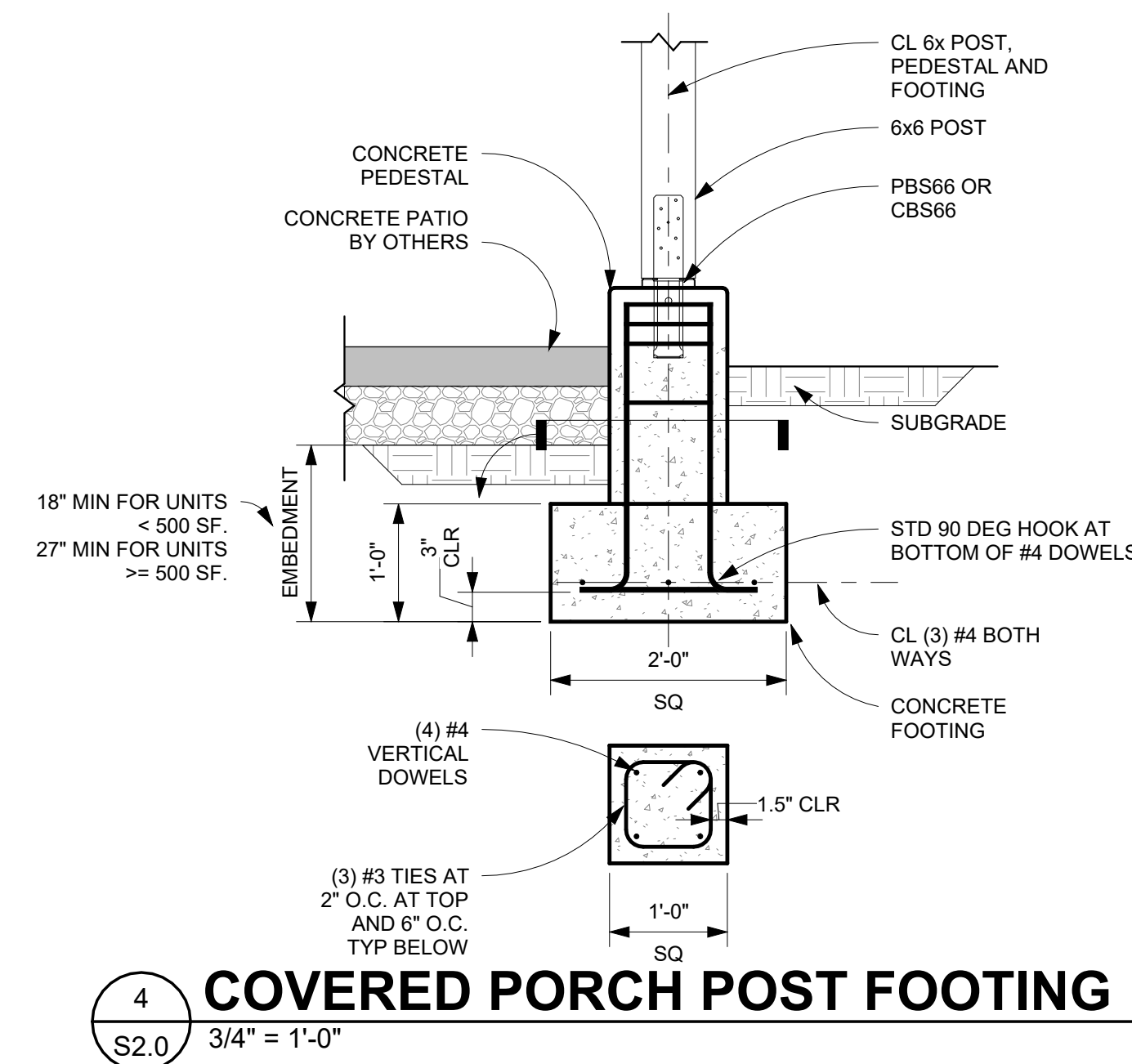
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
4	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

### HOLDOWN SCHEDULE

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

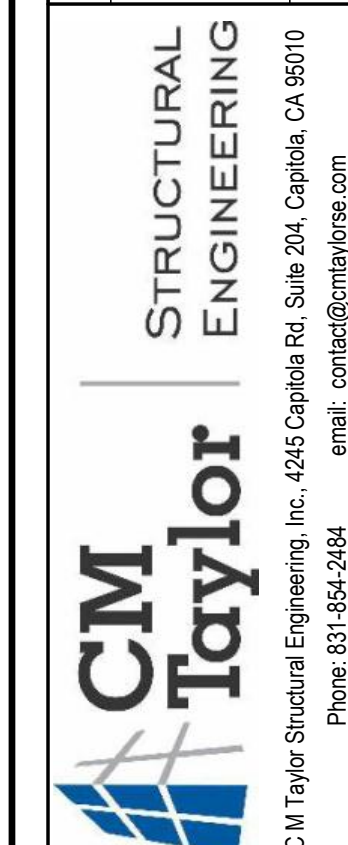
REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT



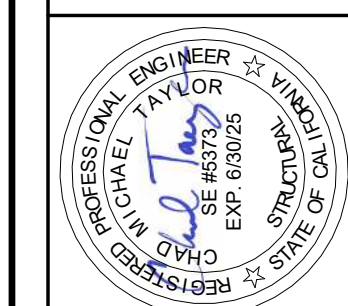


NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT



CENTRAL COAST STOCK ADU



## FOUNDATION DETAILS

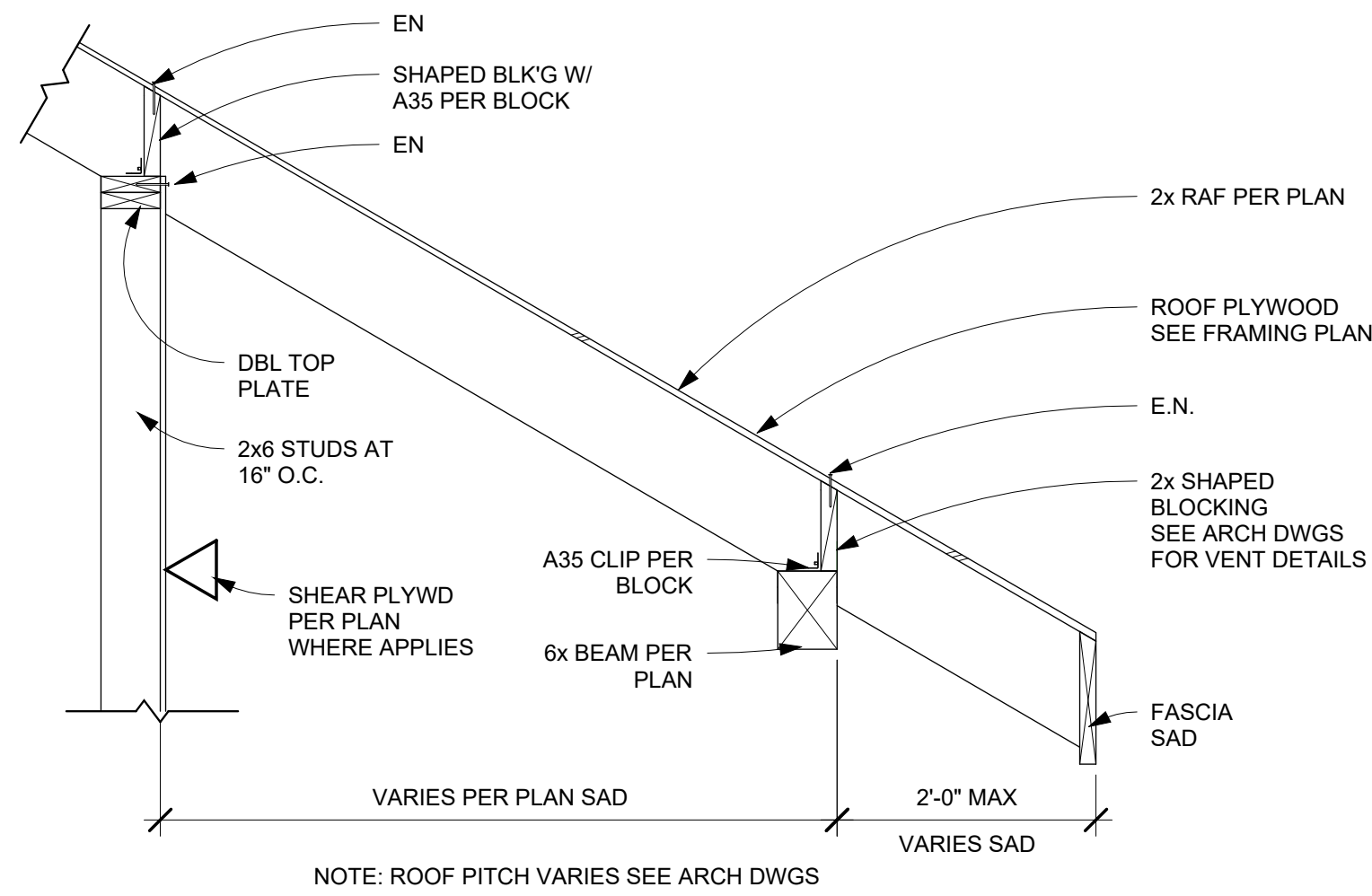
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JOB NO: 21091

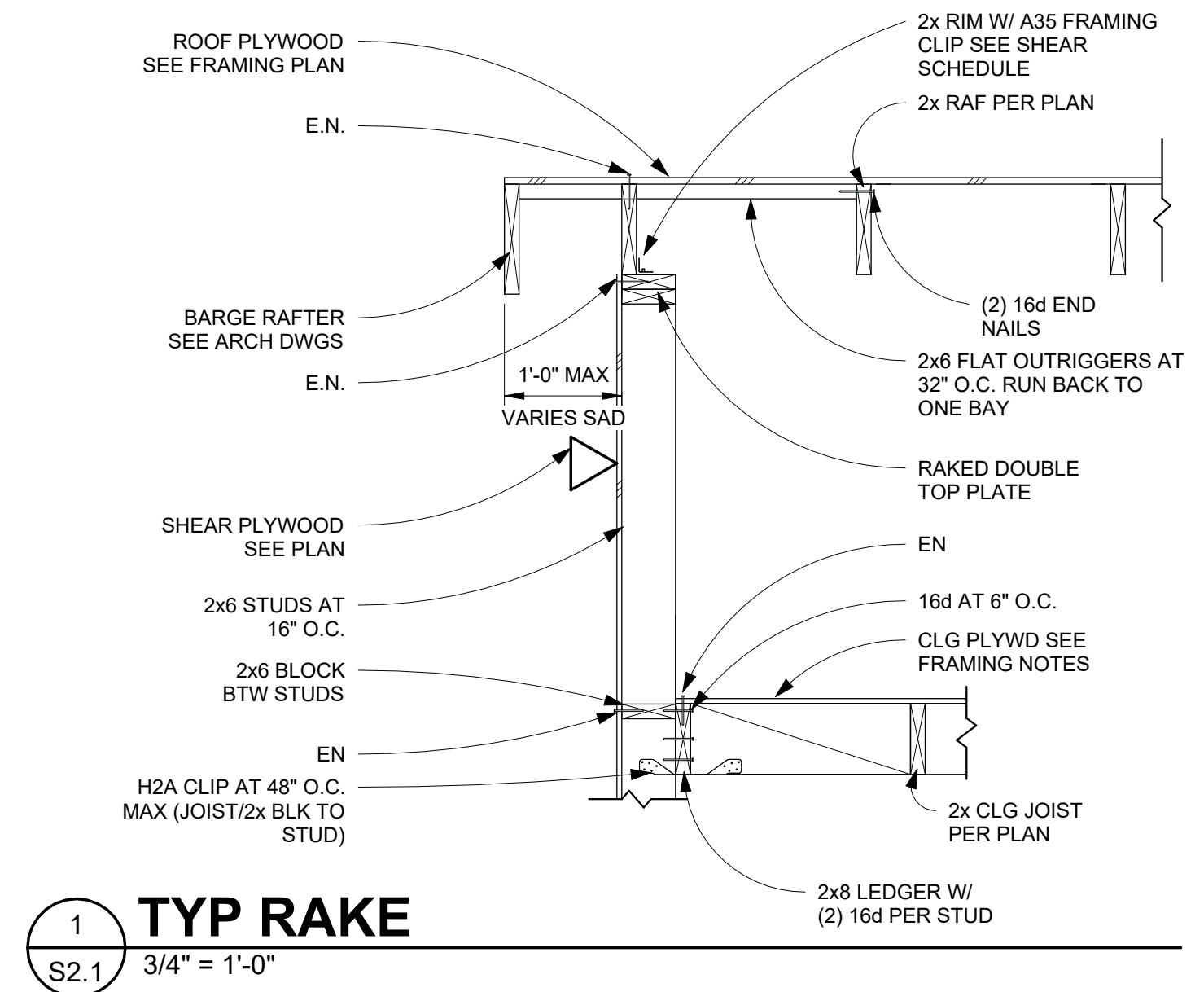
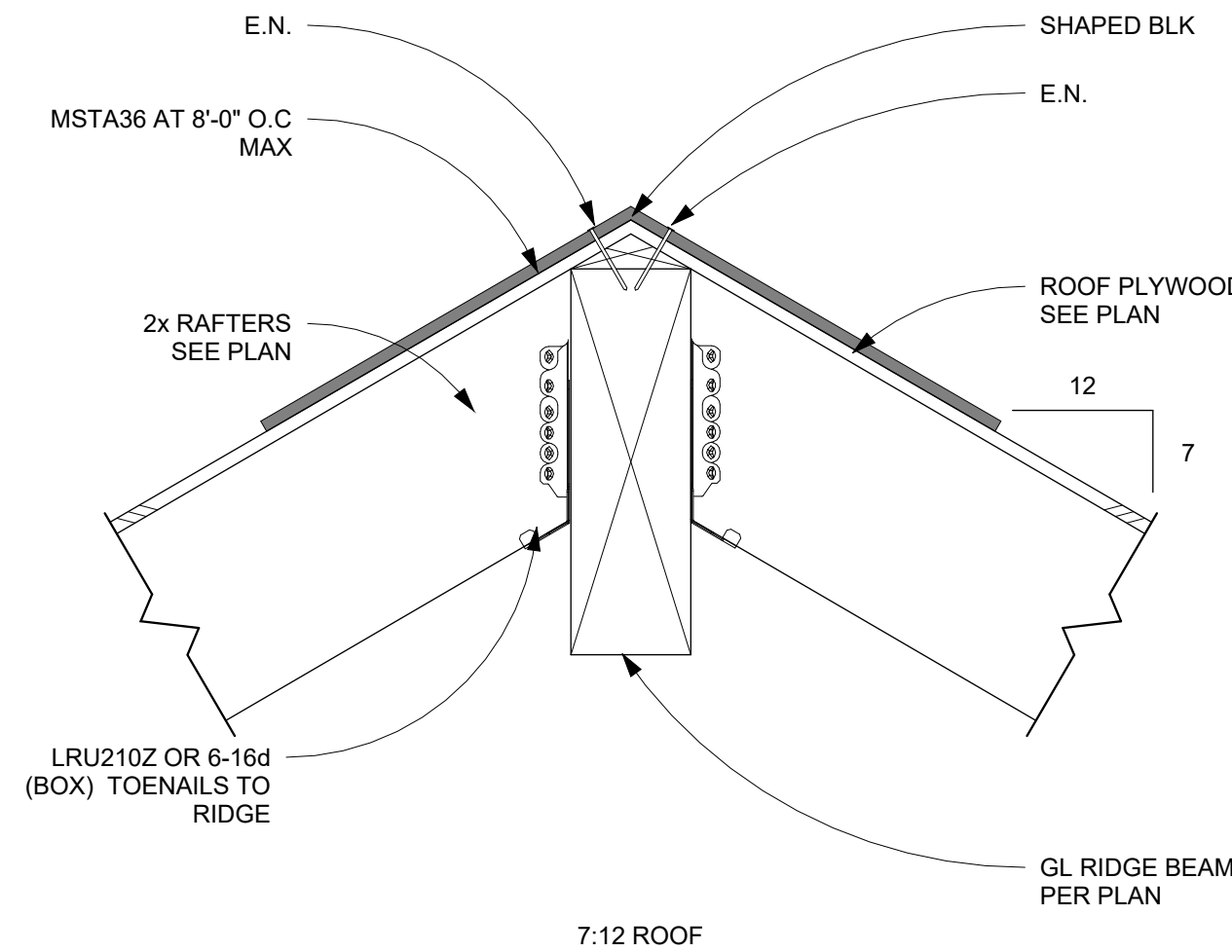
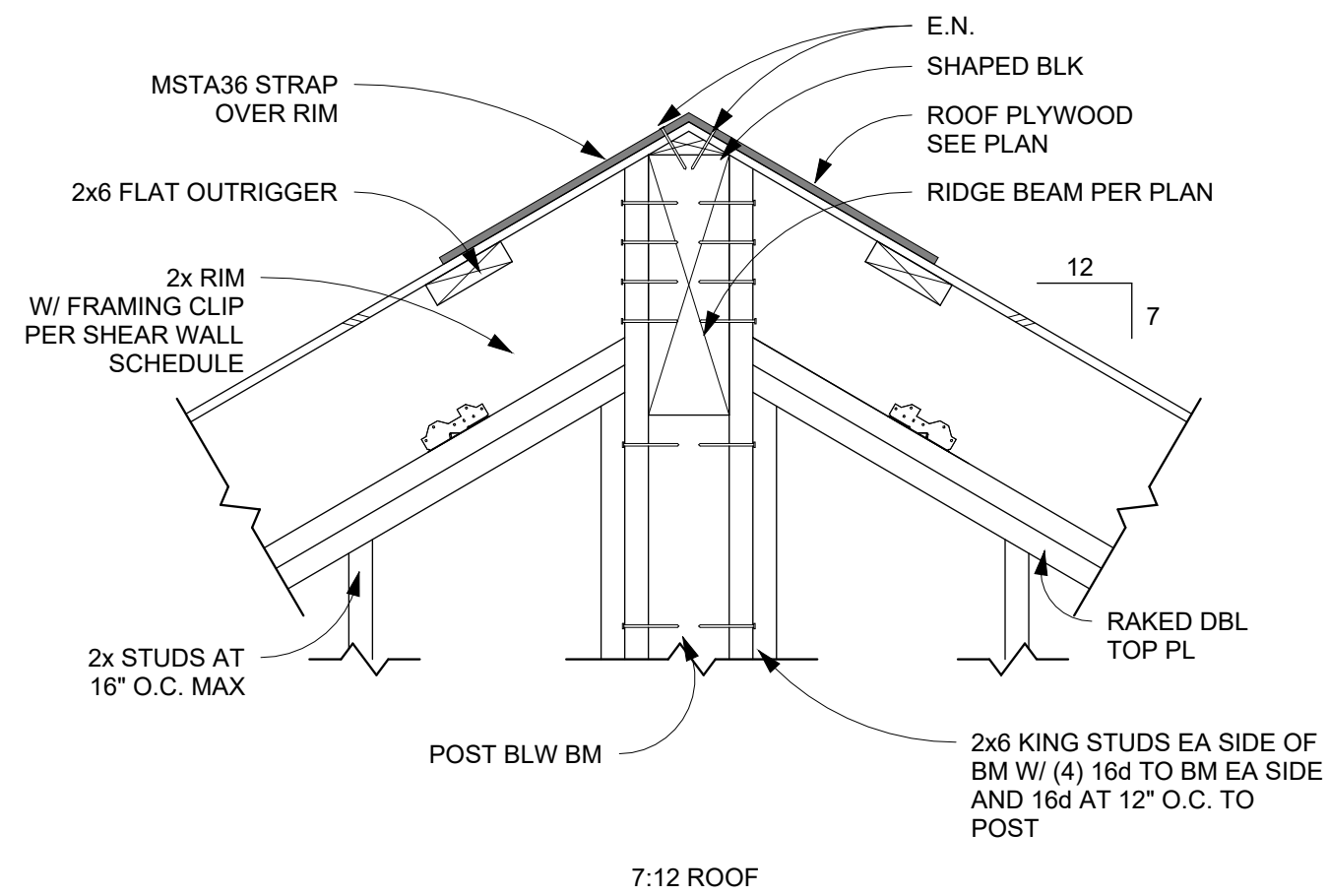
SHEET

S2.0

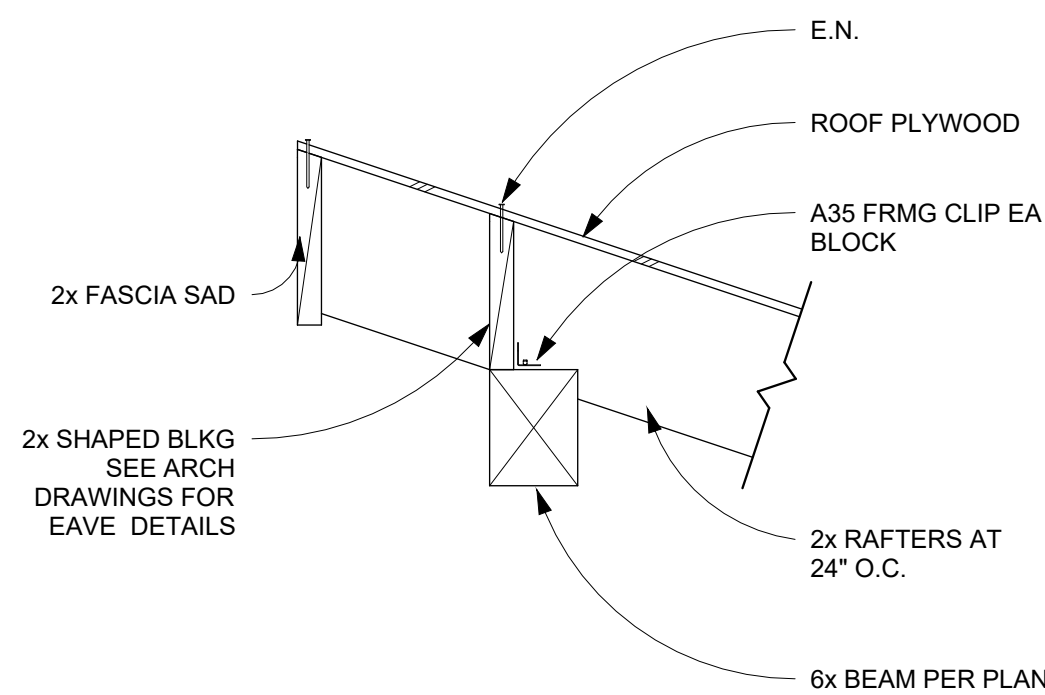




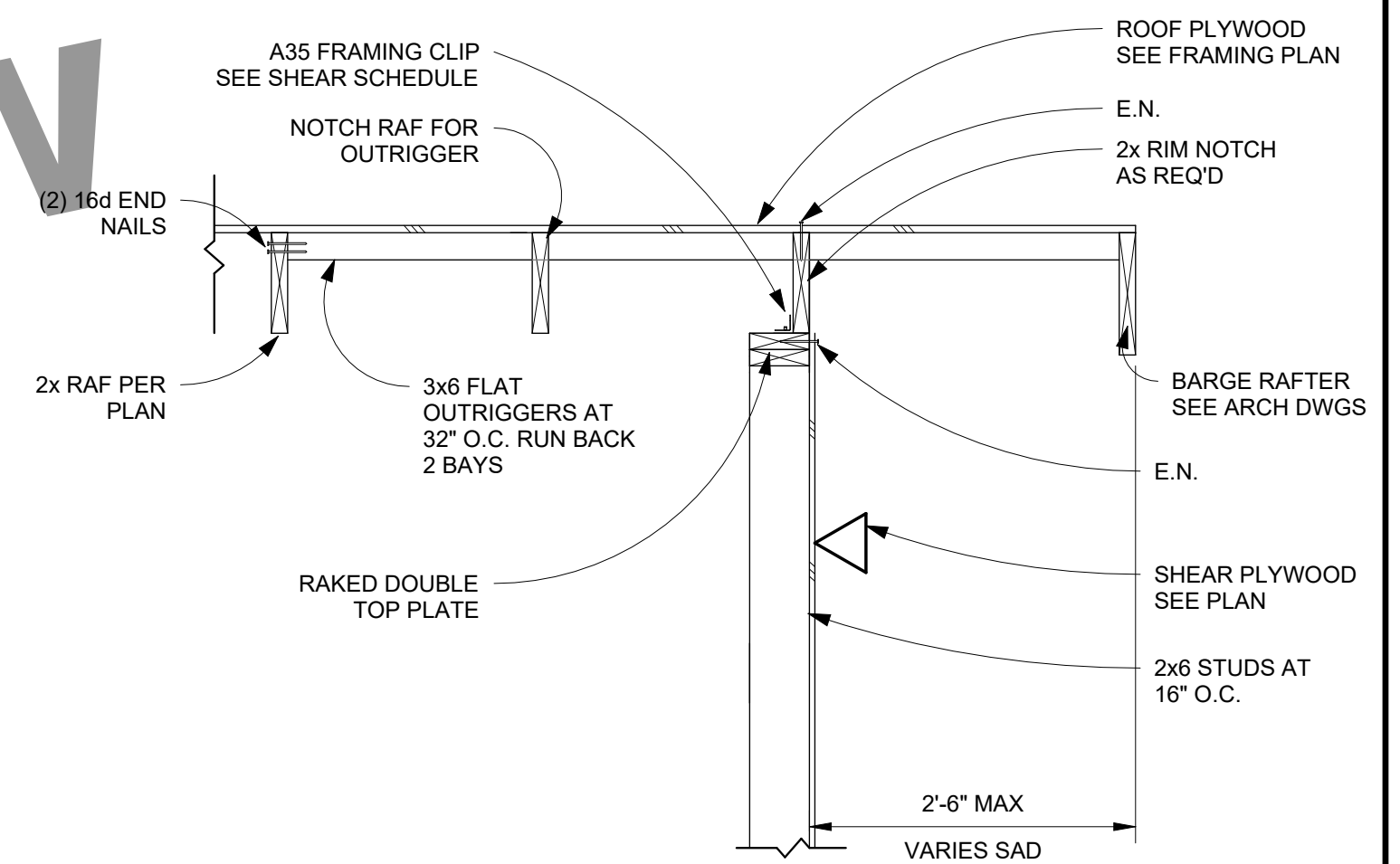
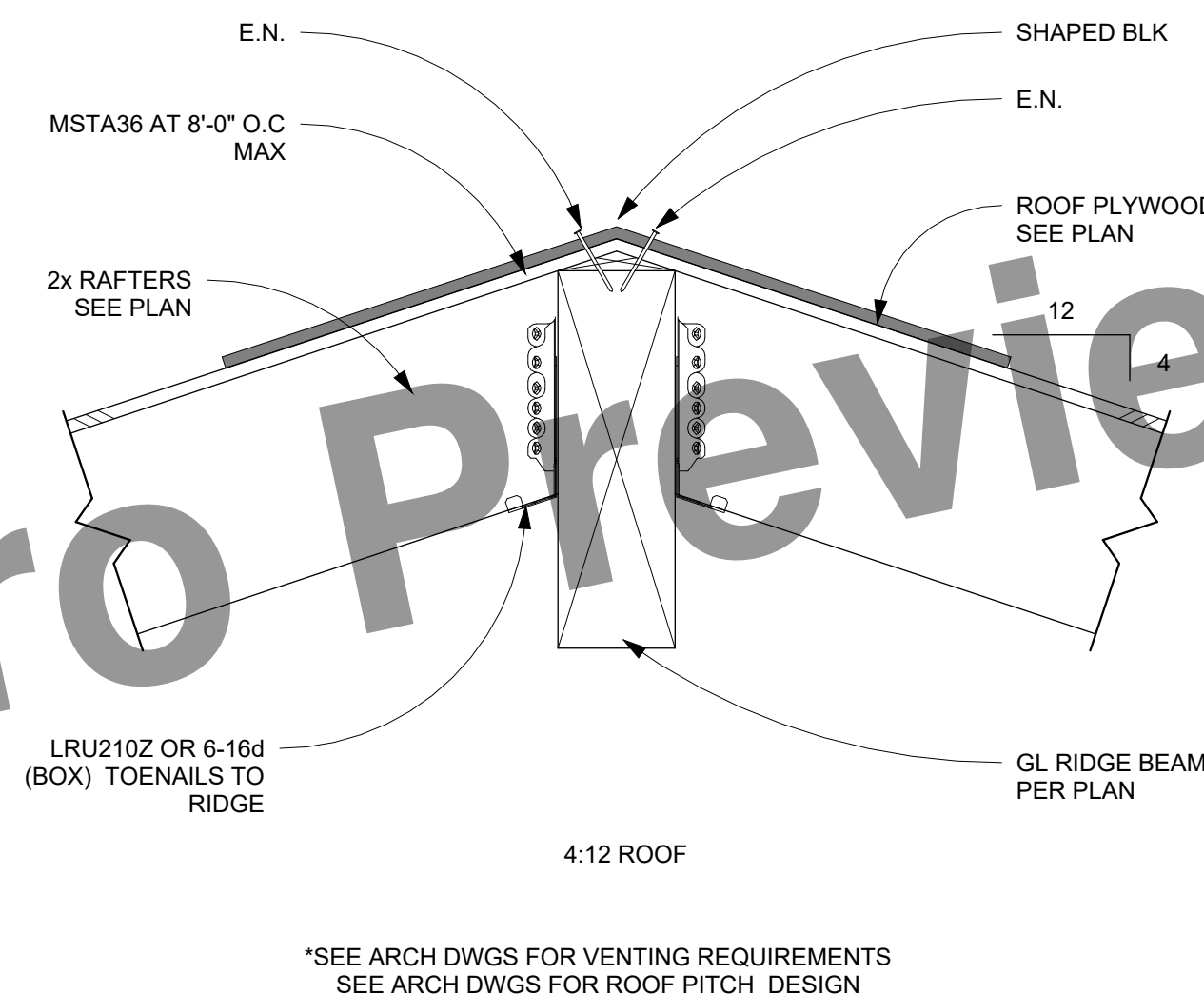
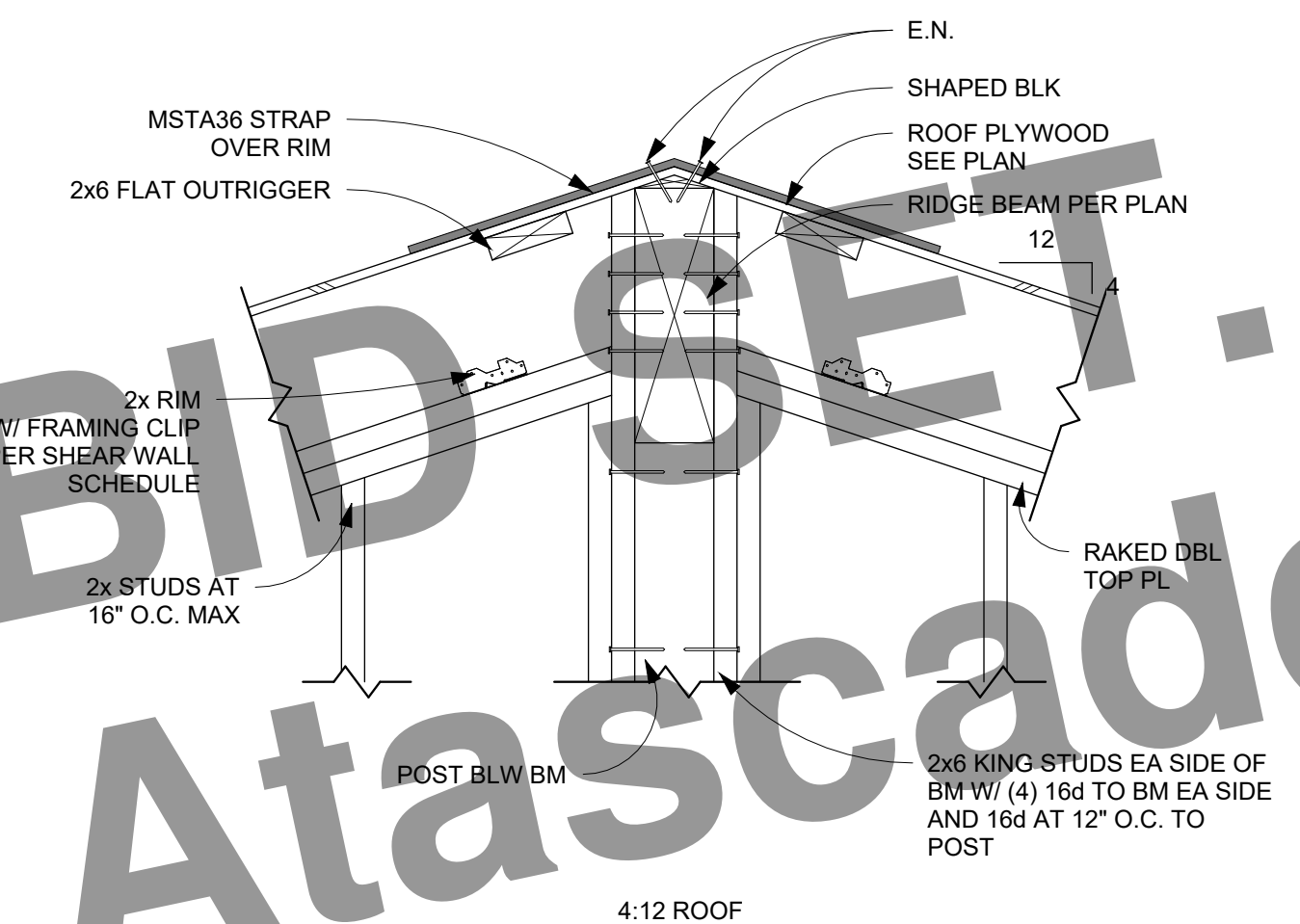
8 EAVE AT PORCH  
S2.1 3/4" = 1'-0"



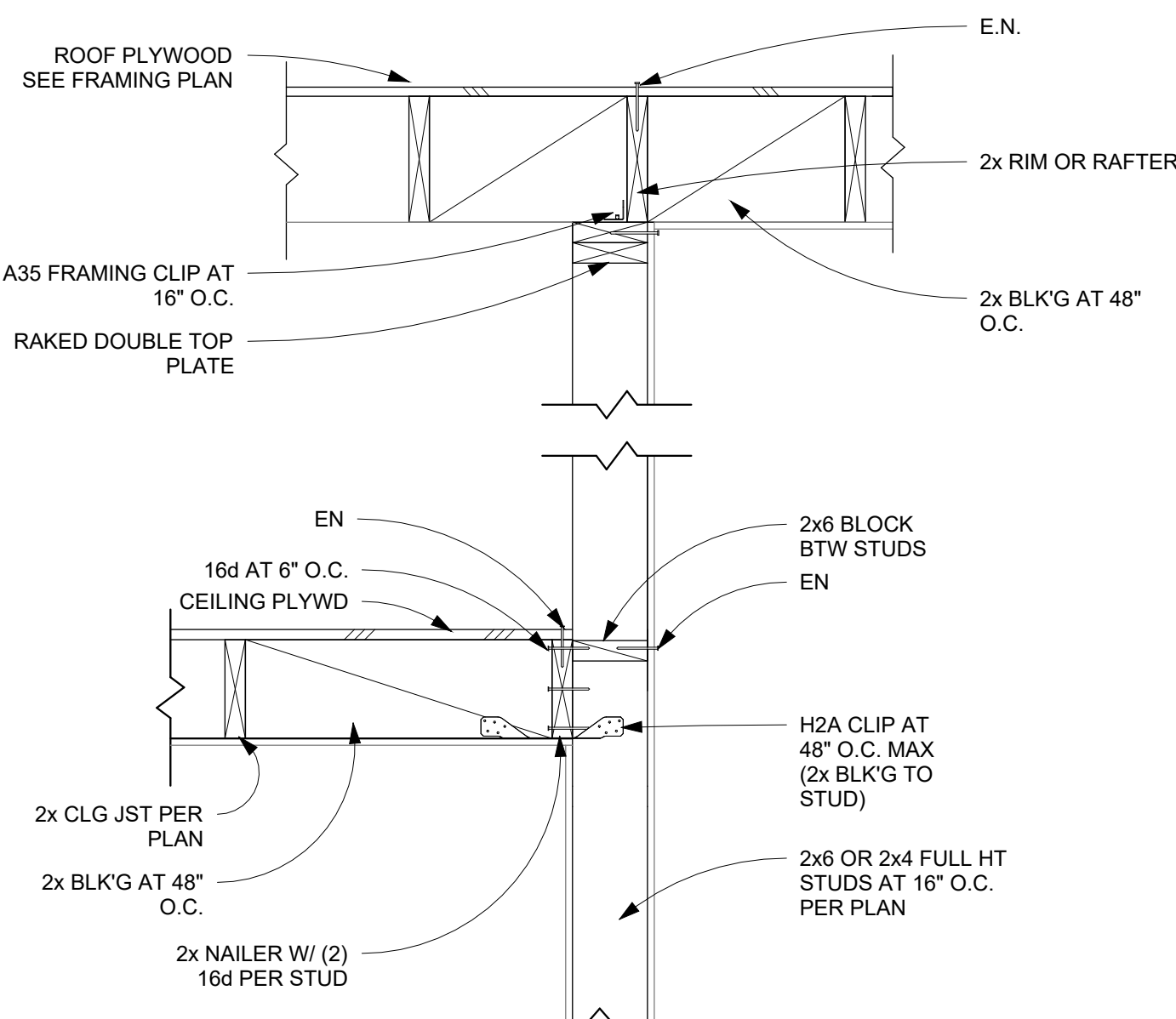
1 TYP RAKE  
S2.1 3/4" = 1'-0"



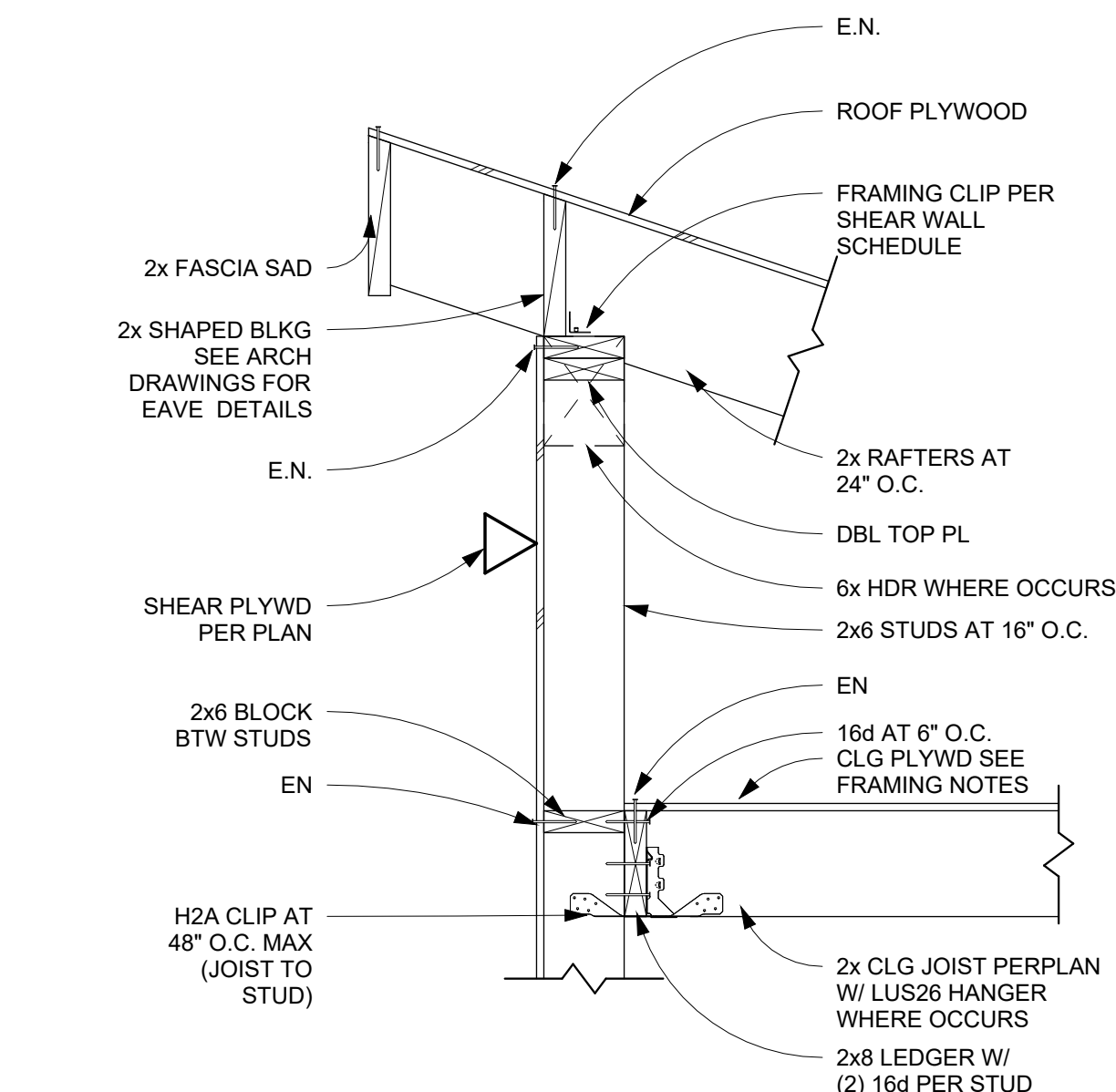
9 MONOSLOPE PEAK AT PORCH  
S2.1 1" = 1'-0"



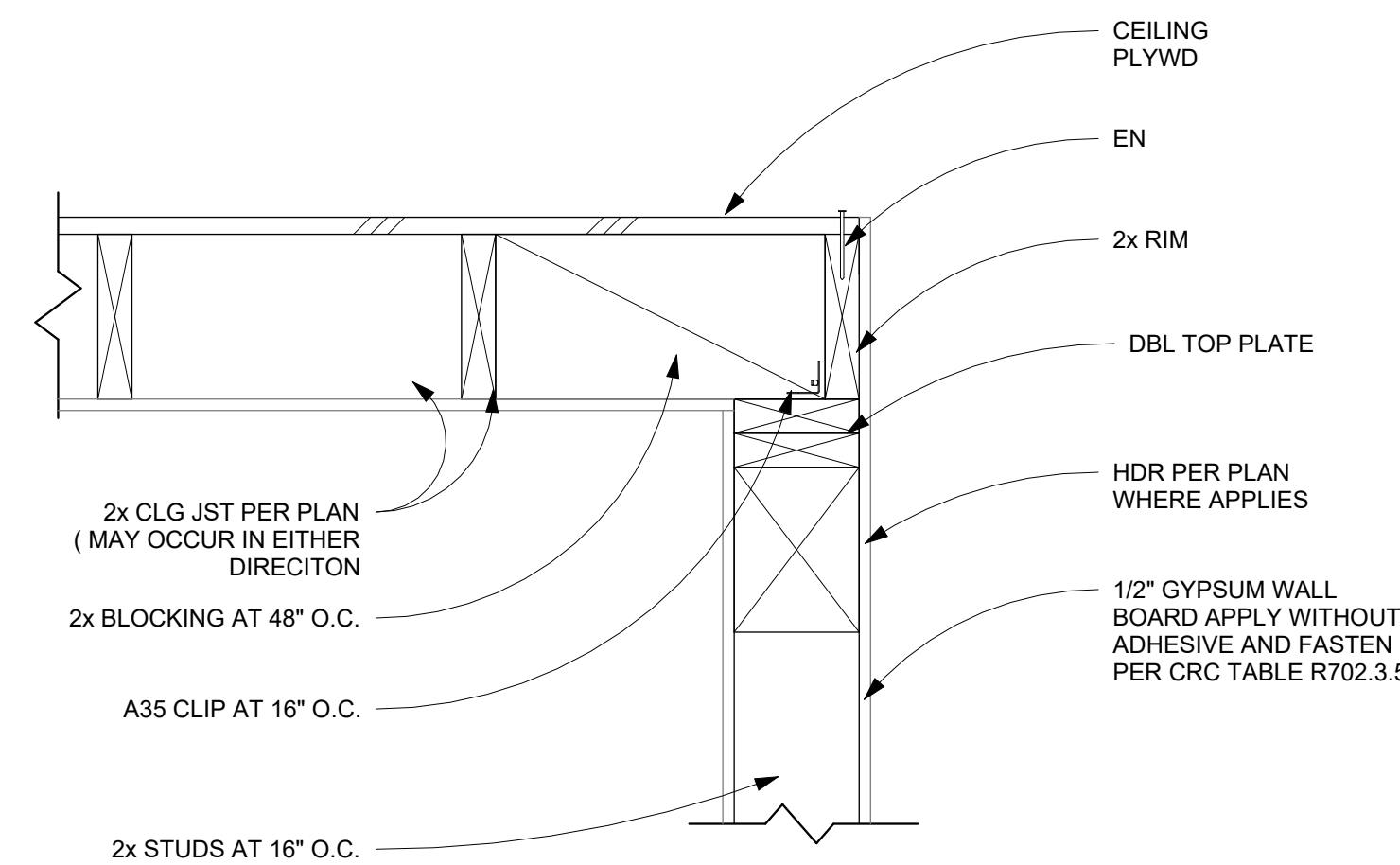
2 RAKE OVERHANG  
S2.1 3/4" = 1'-0"



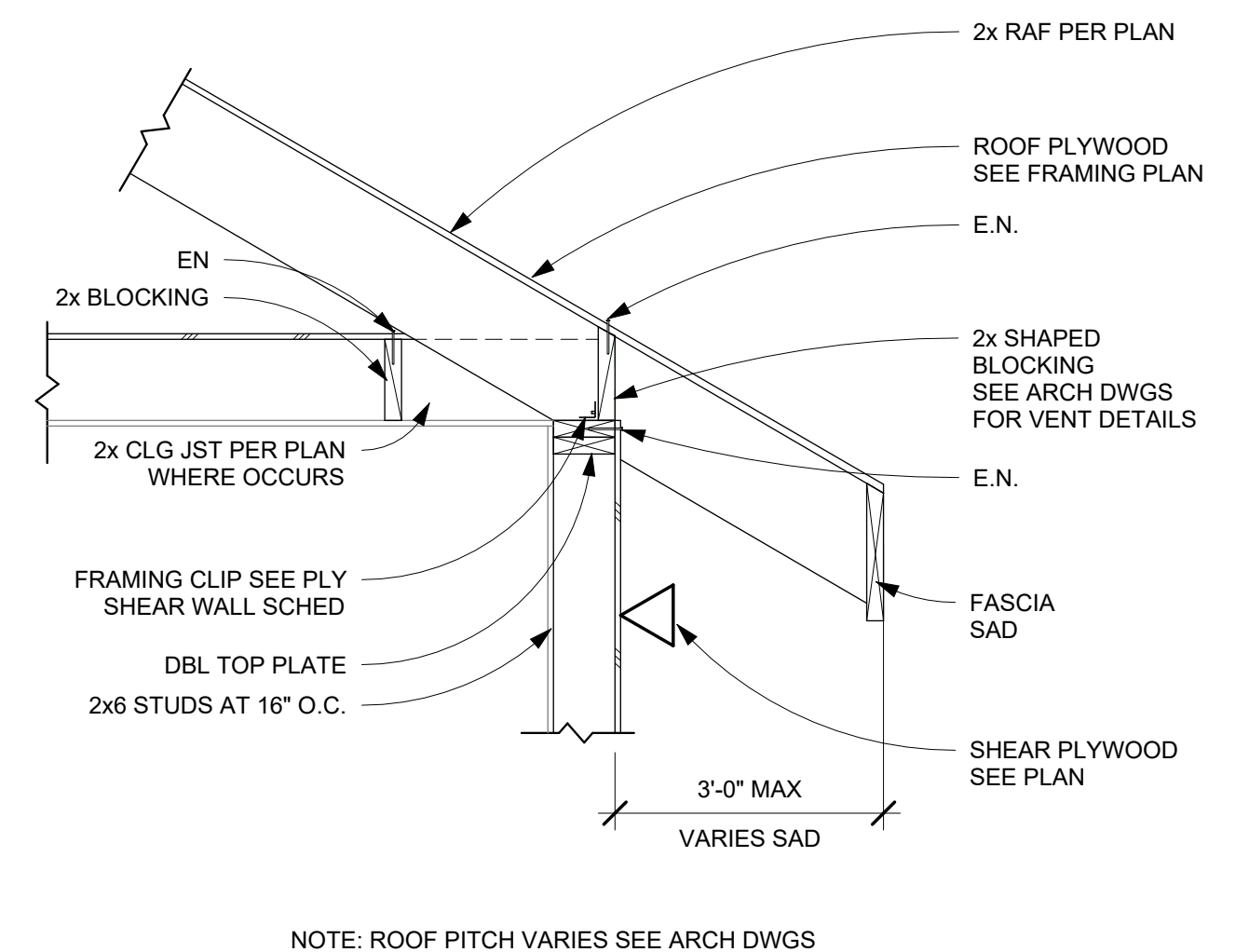
10 INTERIOR BEARING WALL @ CLG/ROOF  
S2.1 1" = 1'-0"



7 TYP MONOSLOPE PEAK  
S2.1 1" = 1'-0"

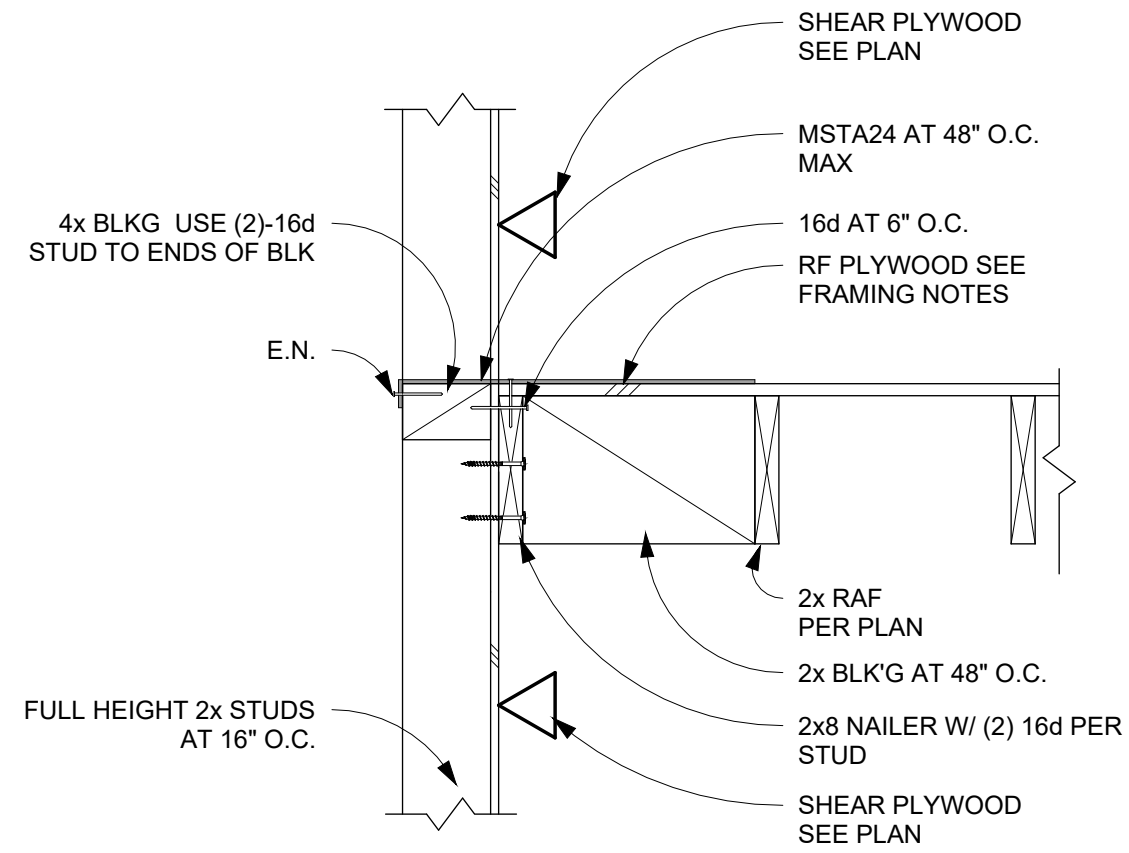


5 CEILING EDGE CONNECTION  
S2.1 1 1/2" = 1'-0"

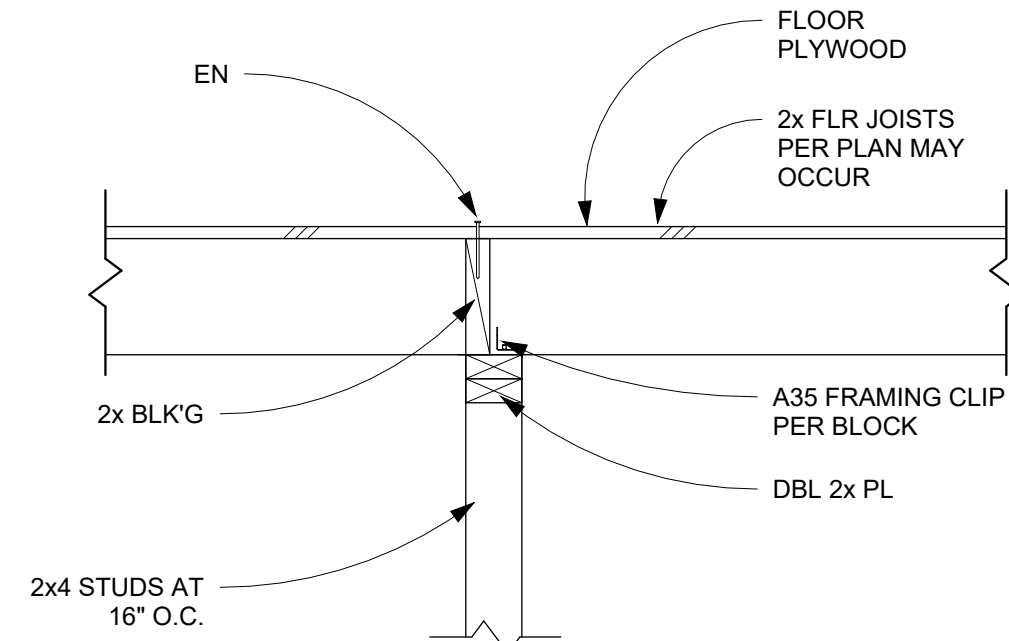


3 TYP EAVE  
S2.1 3/4" = 1'-0"

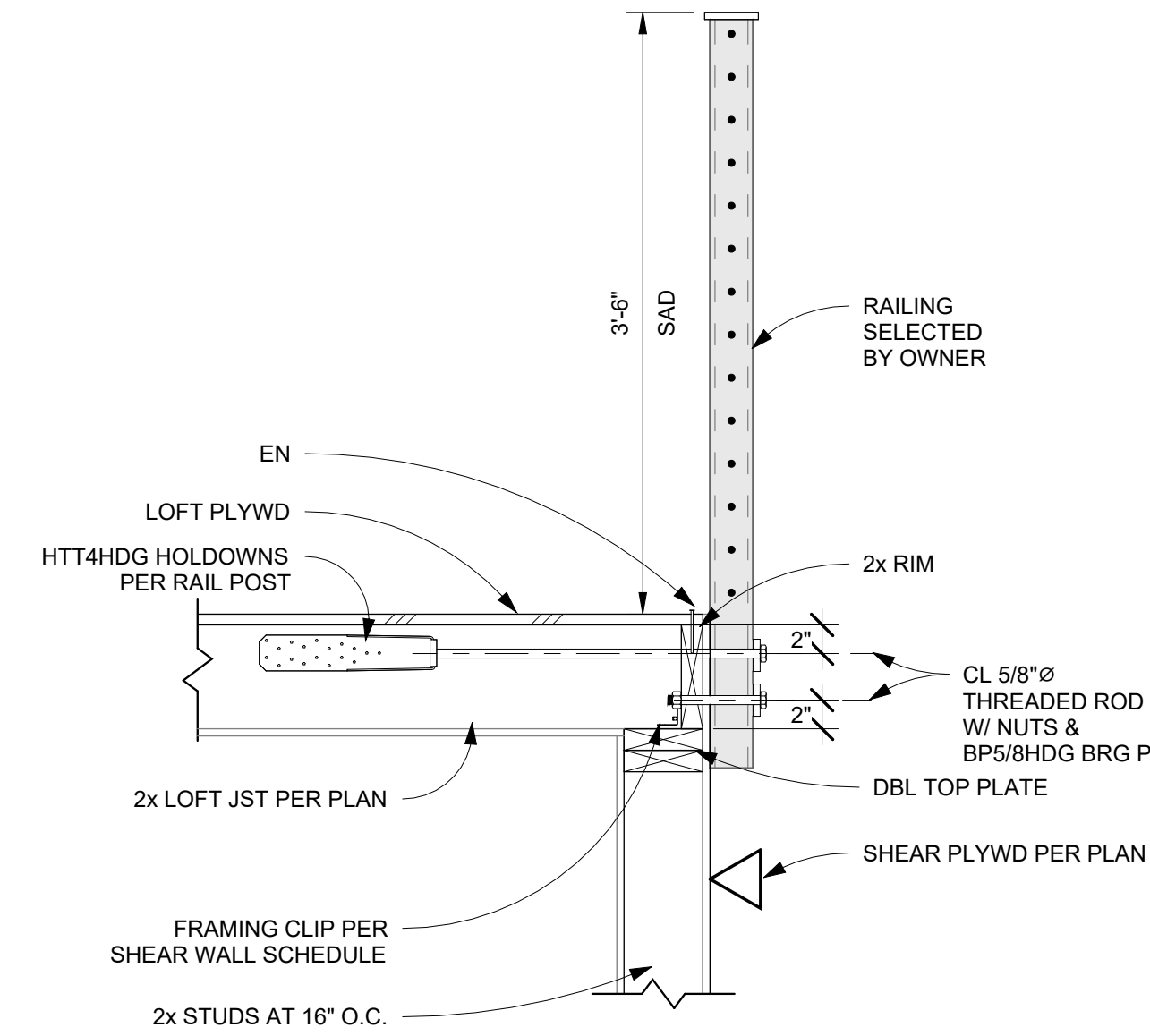




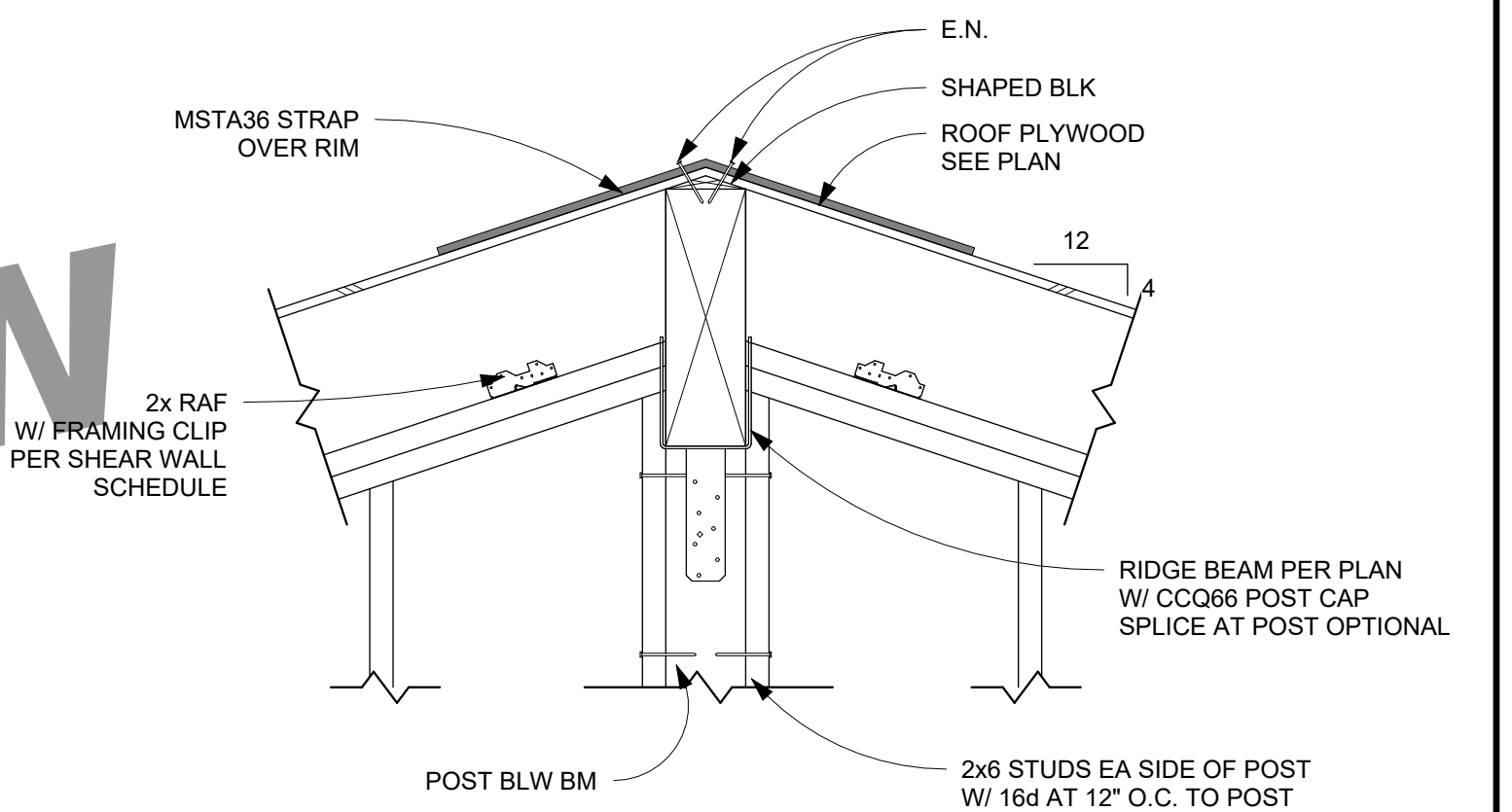
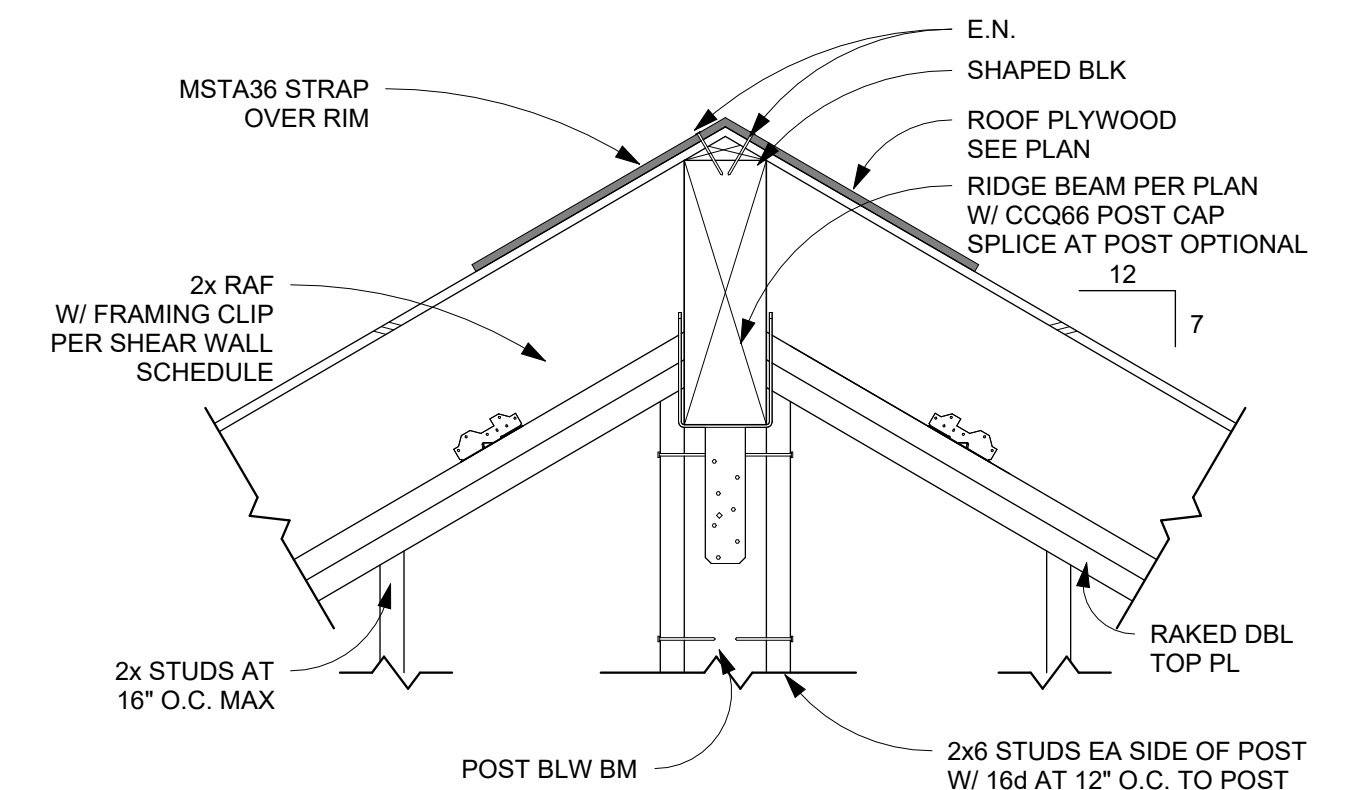
**9 LOWER ROOF TO FULL HEIGHT WALL**  
S2.2 1" = 1'-0"



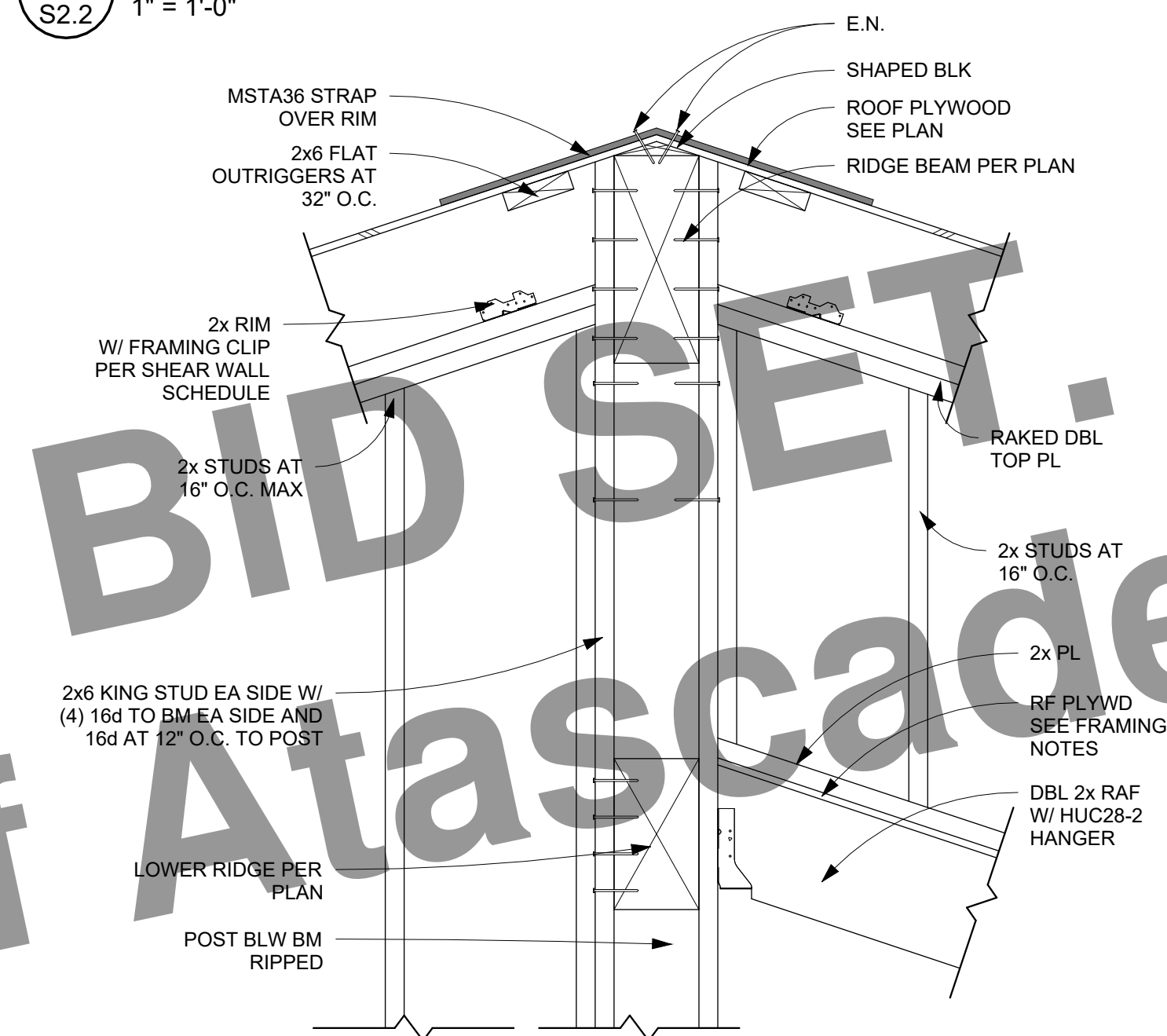
**6 FLOOR TO INTERIOR WALL CONN**  
S2.2 1" = 1'-0"



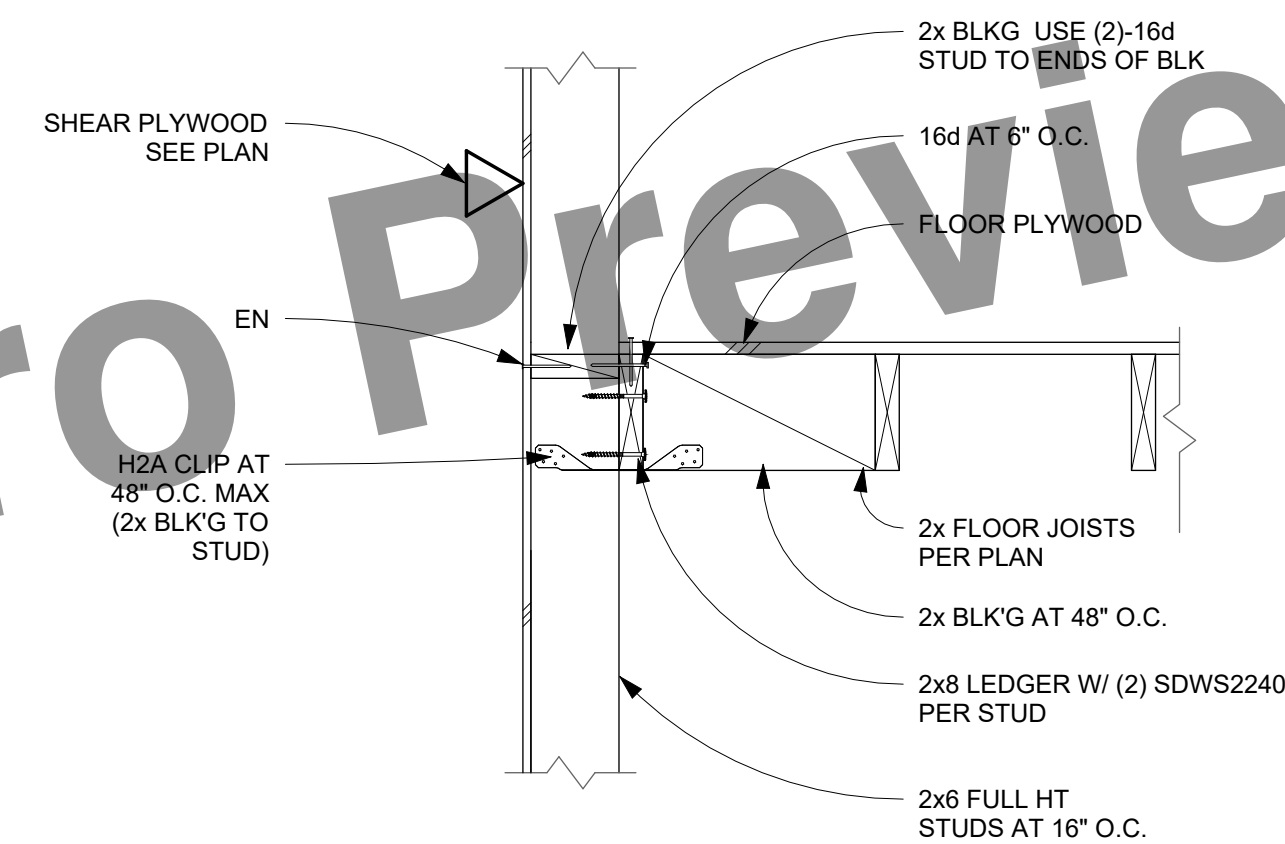
**3 LOFT EDGE CONNECTION II**  
S2.2 1" = 1'-0"



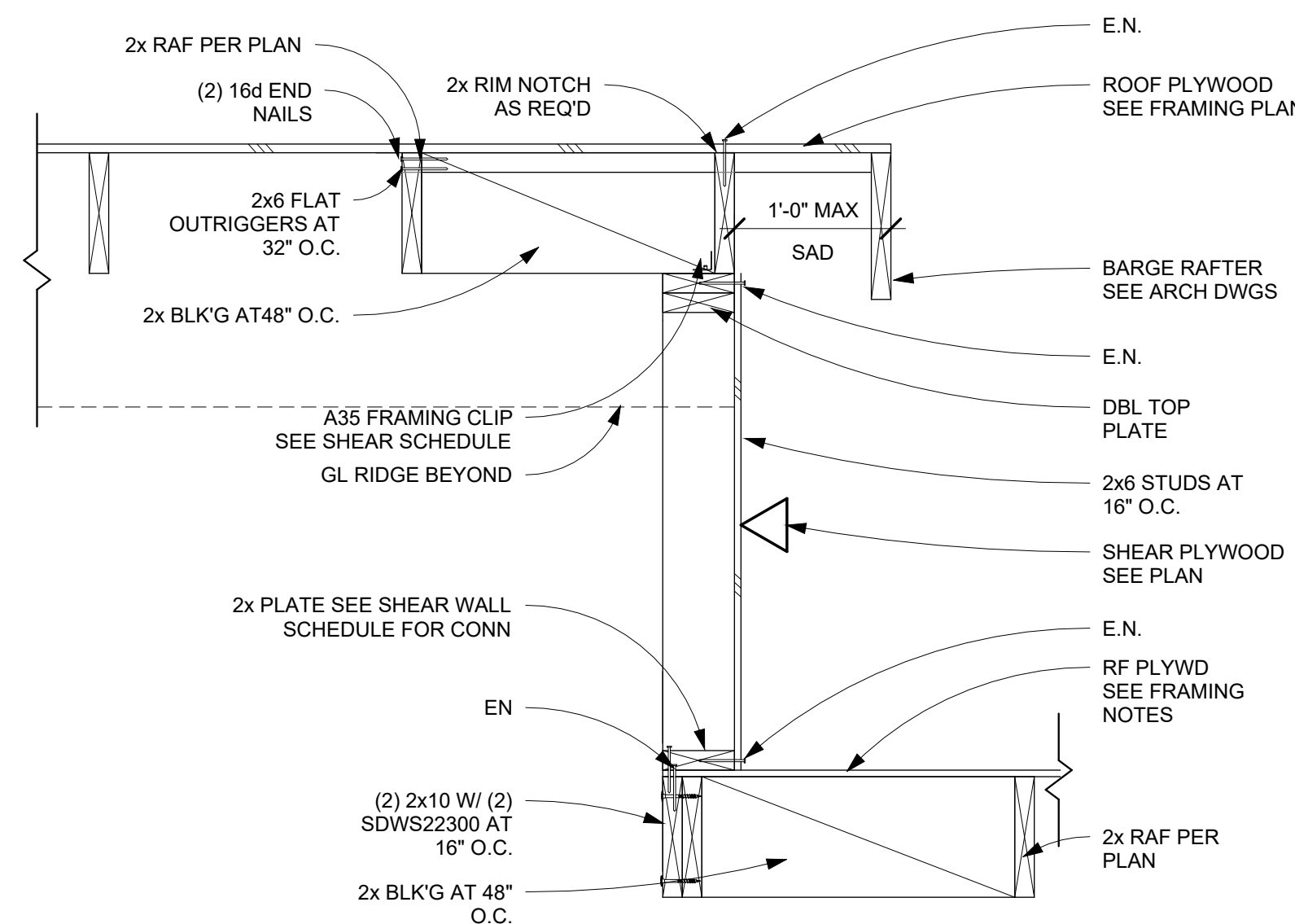
**1 RIDGE SPLICE AT INT WALL**  
S2.2 1" = 1'-0"



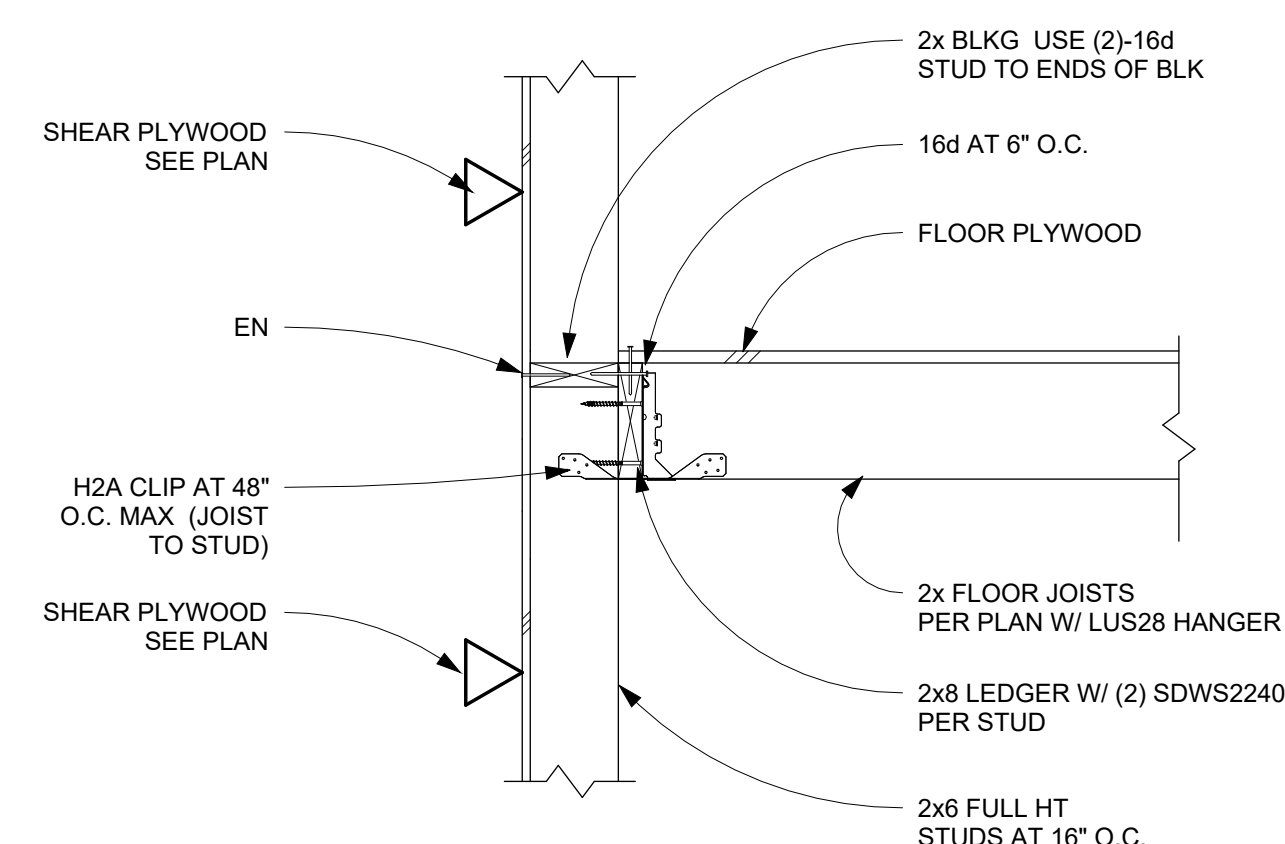
**7 DOUBLE RIDGE TO WALL**  
S2.2 1" = 1'-0"



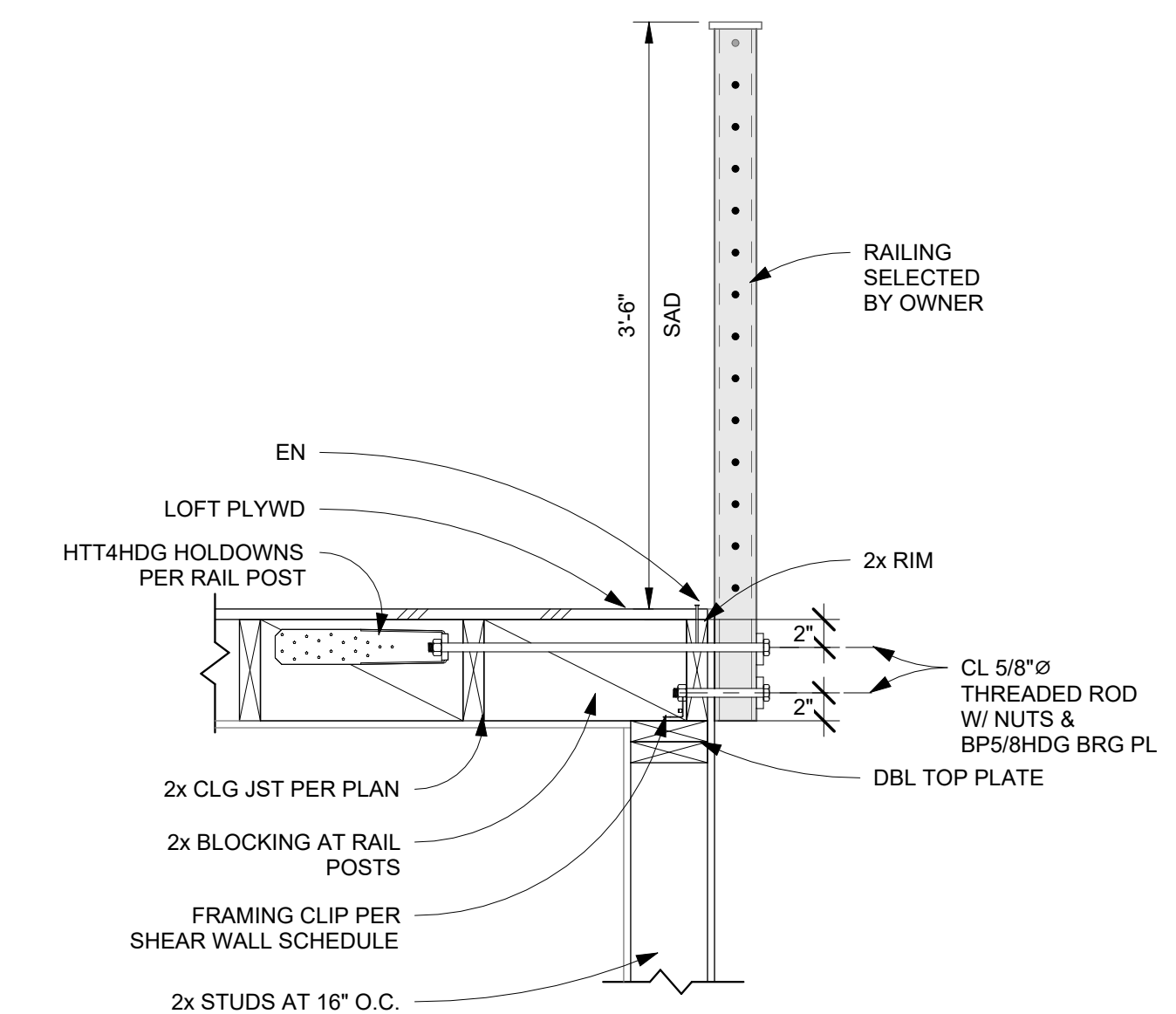
**4 LOFT/FLOOR TO WALL CONN**  
S2.2 1" = 1'-0"



**8 RAKE OVERLAP ROOF**  
S2.2 1" = 1'-0"


























**5 LOFT/FLOOR TO WALL CONN II**  
S2.2 1" = 1'-0"



**2 LOFT EDGE CONNECTION**  
S2.2 1" = 1'-0"

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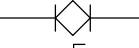

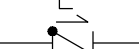

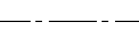
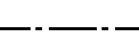
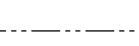
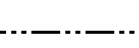
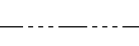



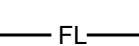
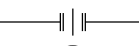





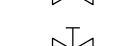
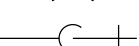
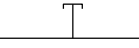
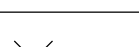
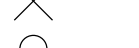

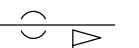
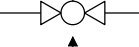





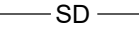
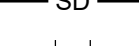
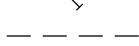
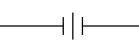
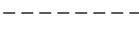

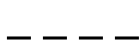
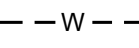



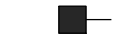
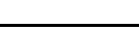








SYMBOLS & ABBREVIATIONS (MECHANICAL)			
	BT	BYPASS TIMER	EC
		CENTER LINE	EDB
	CD	CONDENSATE DRAIN	EOD
		DIAMETER	ETR
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWB
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	EWT
		EXTENT OF DEMOLITION	°F
		EXHAUST DUCT UP, DOWN, FENE & DEMO	FC
		FIRE/SMOKE DAMPER	FD
		FIRE DAMPER	FLA
		POINT OF CONNECTION	FSD
		P/T PLUG	FT, HD,
		RETURN OR EXHAUST AIR	FTR
		RETURN DUCT UP, DOWN, FENE & DEMO	GC
		SPEED CONTROL SWITCH	GPM
		SPIN-IN EXTRACTOR/DAMPER	HP
		SUPPLY DUCT UP, DOWN, FENE & DEMO	KW
		SUPPLY OR OUTSIDE AIR	LBS
		THERMOSTAT at + 48°	LWT
		TO BE REMOVED	MBH
		TRANSFER AIR	MC
		TURNING VANES	MC
		VOLUME DAMPER	(N)
			NIC
			NTS
			OBD
			OSA
			PC
			PENE
			PD
			PH
			POC
			P/N
			PRV
			PSI
			P/T
			RA
			RAD
			(RL)
			RPM
			SA
			SAD
			SD
			SP
			SS
			STD
			TV
			TYP
			UCD
			UON
			V
			VD
			VIF
			W
			WC
			WT
			W/O
AD		ACCESS DOOR	
AFF		ABOVE FINISH FLOOR	
AL		ACOUSTICALLY LINED	
AP		ACCESS PANEL	
BD		BALANCING DAMPER	
BDD		BACKDRAFT DAMPER	
BHP		BRAKE HORSE POWER	
BJ		BETWEEN JOIST	
BTU		BRITISH THERMAL UNIT	
C		CONDUIT	
CA		COMBUSTION AIR	
CD		CONDENSATE DRAIN	
CFM		CUBIC FEET PER MINUTE	
DEMO		DEMOLITION	
DL		DOOR LOUVER	
(E)		EXISTING	
EAD		EXHAUST AIR DUCT	

## GENERAL MECHANICAL NOTES

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

## SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
	CHECK VALVE	CA	COMPRESSED AIR PIPING
	CLEANOUT	CB	CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)	CD	CONDENSATE
	DOMESTIC COLD WATER (NEW)	CFH	CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)	CI	CAST IRON
	DOMESTIC HOT WATER (NEW)	CP	CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (NEW)	DHW	DOMESTIC HOT WATER
	DIRECTION OF FLOW	DHW/R	DOMESTIC HOT WATER RETURN
	DRY STANDPIPE	DCV	DETECTOR CHECK VALVE
	FIRE SPRINKLER PIPING	DN	DOWN
	FLANGED UNION	DS	DOWN SPOUT
	FLOOR DRAIN	DSP	DRY STAND PIPE
	FLOOR SINK	(E)	EXISTING
	FORCE MAIN	EC	ELECTRICAL CONTRACTOR
	GAS PIPING (EXISTING)	EL	ELEVATION
	GAS PIPING (NEW)	(F)	FIRE SPRINKLER PIPING
	GAS COCK	FC	FLEX CONNECTOR
	GATE VALVE	FCO	FLOOR CLEANOUT
	GLOBE VALVE	FD	FLOOR DRAIN
	HOSE BIBB (3/4" MIN.)	FL	FIRE LINE
	PETES PLUG	FM	FORCE MAIN
	PIPE (ABOVE THE CEILING)	FS	FLOOR SINK
	PIPE HANGER	FSC	FIRE SPRINKLER CONTRACTOR
	PIPE TURNING UP (RISE)	GC	GENERAL CONTRACTOR
	PIPE TURNING DOWN (DROP)	GCO	GROUND CLEANOUT
	PIPE TEE DOWN	GPM	GALLONS PER MINUTE
	PRESSURE REDUCING VALVE	HB	HOSE BIBB
	T & PRV RELIEF VALVE	HWS	HOT WATER SUPPLY
	POINT OF CONNECTION TO EXISTING	IE	INTER ELEVATION
	RAIN WATER LEADER (EXISTING)	LAV	LAVATORY
	RAIN WATER LEADER	MC	MECHANICAL CONTRACTOR
	REDUCER	NPW	NON POTABLE WATER
	ROOF DRAIN	(N)	NEW
	STORM DRAIN (EXISTING)	OFD	OVERFLOW DRAIN
	STORM DRAIN (NEW)	PC	PLUMBING CONTRACTOR
	STRAINER	PIV	POST INDICATION VALVE
	SUB-SOIL PIPING	POC	POINT OF CONNECTION
	UNION	POD	POINT OF DEMOLITION
	VENT PIPING (EXISTING)	PR	PETES PLUG
	VENT PIPING (NEW)	PRV	PRESSURE REDUCING VALVE
	WASTE PIPING (EXISTING)	PVC	POLYVINYL CHLORIDE PIPE
	(N) WASTE PIPING (NEW)	RD	ROOF DRAIN
	WASTE PIPING - UNDERGROUND (NEW)	RPB/P	BACKFLOW PREVENTOR REDUCED PRESSURE
	WET STANDPIPE (EXISTING)	RWL	RAIN WATER LEADER
	WET STANDPIPE (NEW)	SD	STORM DRAIN
	WATER HAMMER ARRESTOR (WHA)	SOV	SHUTOFF VALVE
	TRAP PRIMER (TP)	SS	SANITARY SEWER

## GENERAL PLUMBING NOTES

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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- THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.



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JOB NO. 22002.00



**CENTRAL COAST**  
**PRE-DESIGNED ADU**  
**CENTRAL COAST, CALIFORNIA**

## GENERAL NOTES MECHANICAL & PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

**MPO.1**

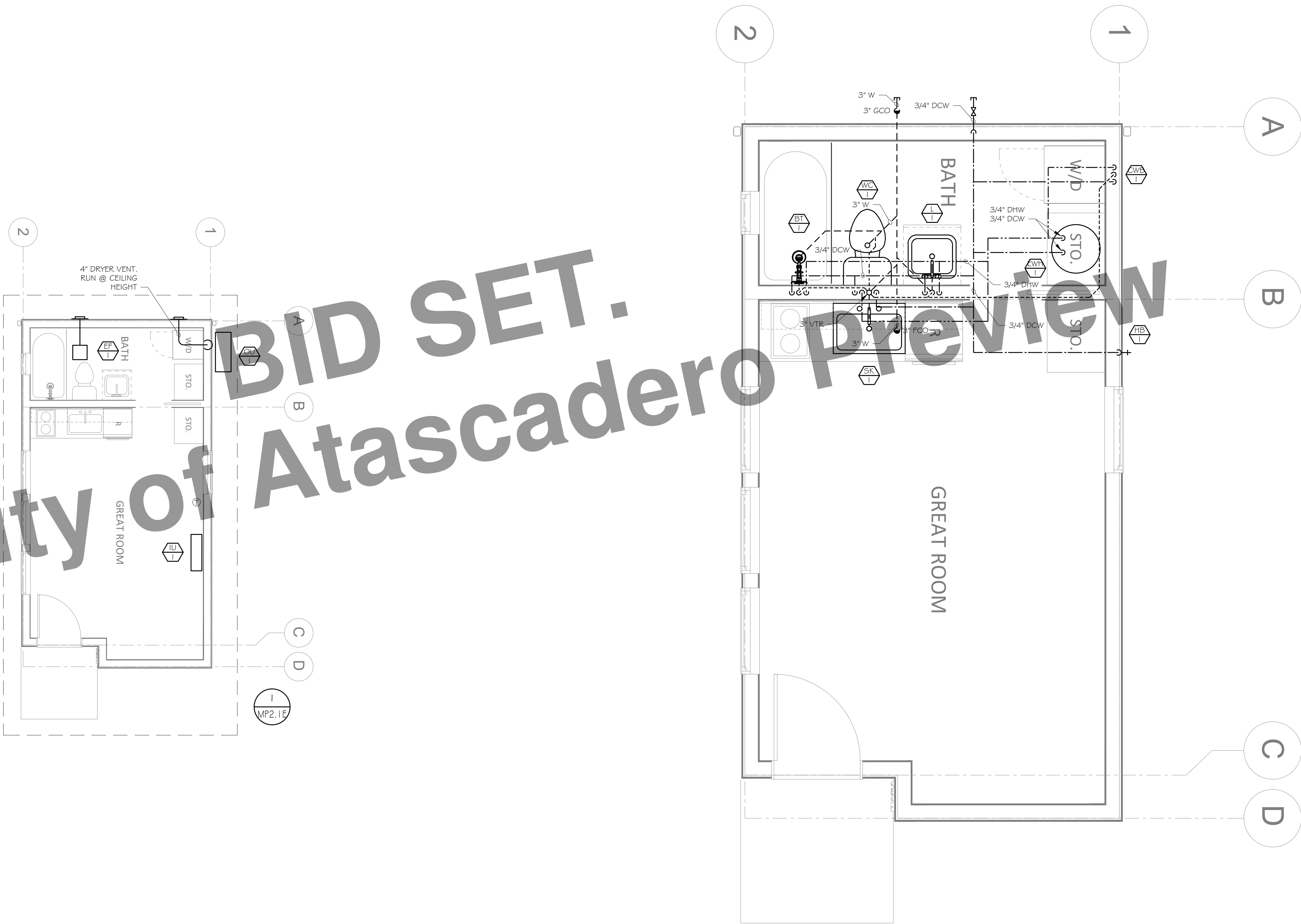
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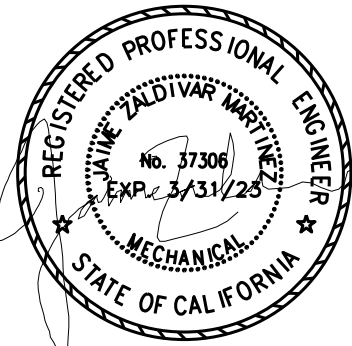








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**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**EFFICIENCY  
MECHANICAL  
& PLUMBING  
PLANS - E**

NO.	DESCRIPTION	DATE
1		
2		
3		
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ENGINEER BY:

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**MP2.1E**

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**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**EFFICIENCY  
MECHANICAL  
& PLUMBING  
PLANS - H**

NO.	DESCRIPTION	DATE
1		
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ENGINEER BY:

DRAWN BY:

CHECKED BY:

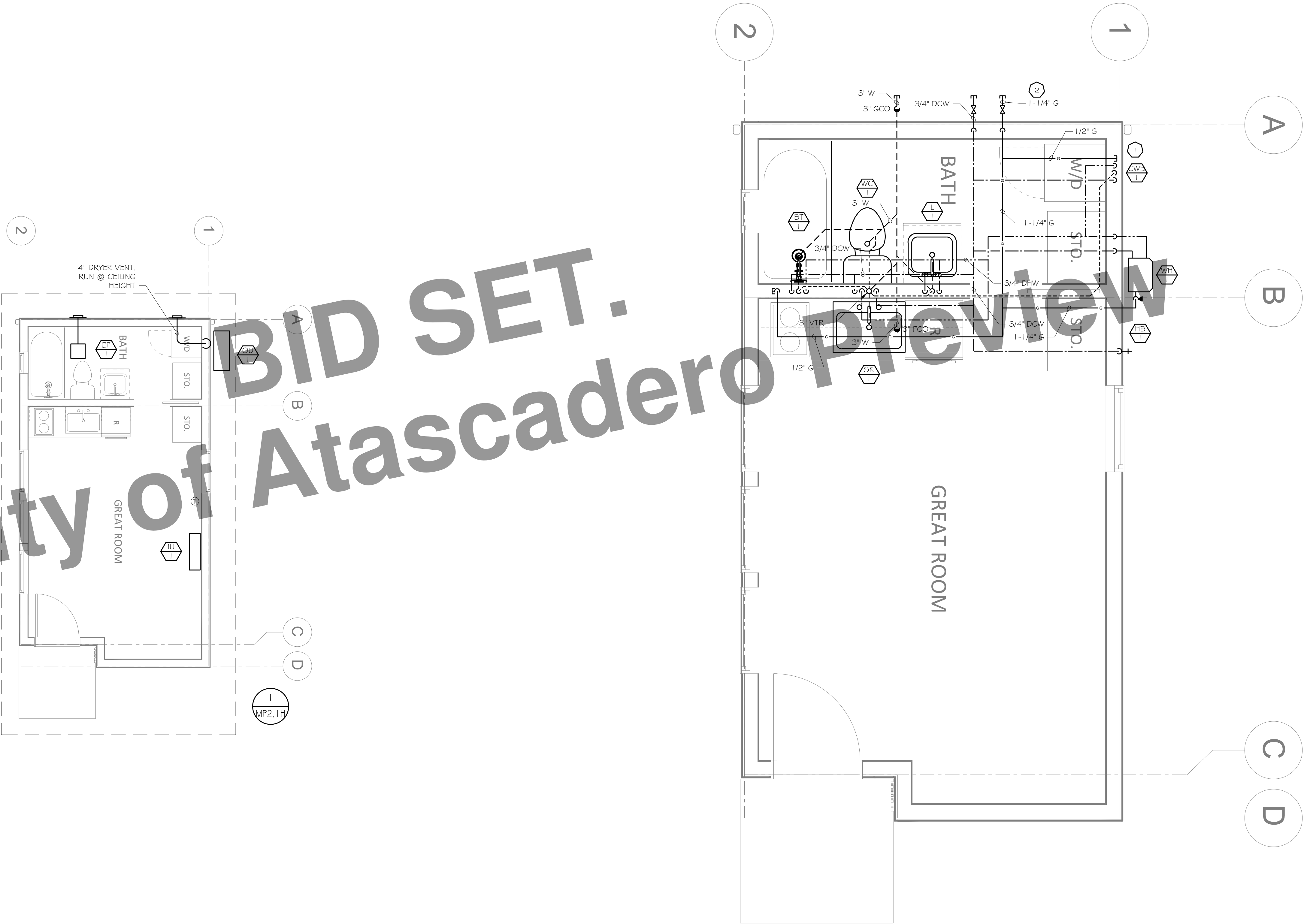
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**MP2.1H**

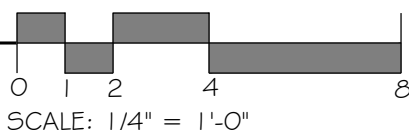
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**SHEET NOTES**

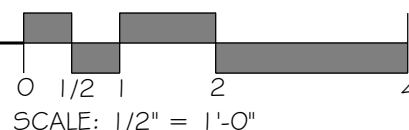
- STUB OUT FOR FUTURE CONNECTION.
- GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.



**2 FLOOR PLAN - EFFICIENCY - NEW MECHANICAL**  
MP2.1H SCALE: 1/4" = 1'-0"



**1 ENLARGED FLOOR PLAN - EFFICIENCY - NEW PLUMBING**  
MP2.1H SCALE: 1/2" = 1'-0"





**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

**Project Name:** Central Coast ADU EF

**Compliance Description:** Title 24 Analysis

**CFIR 301-PRF-01-E**

**(Page 9 of 12)**

**Calculation Date/Time:** 2023-08-25T17:29:49:05:00

**Input File Name:** 1\_EF\_E\_C24.r/bd22x

SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Efficiency	202.03	47	none		100%	No
Slab-on-Grade 2	Efficiency	59.88	18.83	none	0	100%	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-24	None / None	0.065	Inside Finish: Gypsum Board Cavity / Frame: R-24 / 2x6 Exterior Finish: 3 Coat Stucco
Attic Roof Efficiency	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/heating/cooling Cavity / Frame: no insul. / 2x4
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.3 Insul. Cavity / Frame: R-3.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION				
01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

Registration Number: 223-P010107163A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 / Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2023.0.00

Schema Version: 20220901

HERS Provider: CalCERTPro inc.

Report Generated: 2023-08-25 15:30:29

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>												<b>F3R-PRF-05</b>	
<b>Project Name:</b> Central Coast ADU EF												<b>Schedule Date/Time:</b> 2023-08-28T19:29:49:05Z	<b>(Page 6 of 12)</b>
<b>Calculation Description:</b> Title 24 Analysis												<b>Input File Name:</b> 1_EF_C24.rbd2x	

REQUIRED PV SYSTEMS												
01	02	03	04	05	06	07	08	09	10	11	12	
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)	
1.54	NA	Standard [14-17%]	Fixed	none	true	150-270	n/a	n/a	eq-12	96	98	

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
<ul style="list-style-type: none"> <li>Cool roof overhangs and/or fins</li> <li>Variable capacity heat pump-compliance option (verification details from VCHP Staff report, Appendix B, and RA3)</li> <li>Northeast Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed</li> </ul>

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Required CFP7s and CFSRs are required to be completed in the HERS Registry
<ul style="list-style-type: none"> <li>Quality insulation installation (QII)</li> <li>Indoor air quality ventilation</li> <li>Verified EER/EER2</li> <li>Verified SEER/SEER2</li> <li>Verified Refrigerant Charge</li> <li>Airflow in habitable rooms (SC3.1.4.1.7)</li> <li>Verified HSPF</li> <li>Verified heat pump rated heating capacity</li> <li>Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5)</li> <li>Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)</li> <li>Pipe Insulation, All Lines</li> </ul>

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU EF	261.91	1	1	1	0	1

Registration Number: 223 PWB00FFHSA-0000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance	Registration Date/Time: 2023-08-28 T19:19:50 Report Version: 2022.0.000 Script Generated: Sep 20220901
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HERS Provider: CaCERTBis inc.  
 15-CERTBIS-2023-08-28

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD				CF1R-PRF-01		
Project Name: Central Coast ADU EF		Salcation Date/Time: 2023-08-25T17:29:49-05:00		(Page 3 of 12)		
Calculation Description: Title 24 Analysis		Input File Name: 1_EF_E_C24.rtd22x				
<b>ENERGY USE SUMMARY</b>						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.38	1.68	3.17	26.19	-2.79	-24.51
Space Cooling	2.18	57.76	0.57	26.45	1.61	31.31
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.92	57.39	2.22	19.95
Self Utilization/Flexibility Credit				0		0
<b>North Facing Efficiency Compliance Total</b>	<b>10.37</b>	<b>143.97</b>	<b>9.33</b>	<b>117.22</b>	<b>1.04</b>	<b>26.75</b>
Space Heating	0.38	1.68	3.55	29.72	-3.17	-28.04
Space Cooling	2.18	57.76	0.9	35.81	1.28	21.95
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.91	57.31	2.23	20.03
Self Utilization/Flexibility Credit				0		0
<b>East Facing Efficiency Compliance Total</b>	<b>10.37</b>	<b>143.97</b>	<b>10.03</b>	<b>130.03</b>	<b>0.34</b>	<b>13.94</b>

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Zone ADU EF

Calculation Date/Time: 2023-08-25T17:29:49-05:00

Calculation Description: Title 24 Analysis

Input File Name: 1\_EF\_E\_C24.rhd2x2x

CF1R-PRF-01-e  
(Page 8 of 12)

FINESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 2	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 4	Window	Lateral 2 Wall	Right	270	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2	Left	90	1.5	3	1	4.5	0.27	NFRC	0.4	NFRC	Bug Screen

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor
Door	Front Wall	21	0.5

OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang					Left Fin					Right Fin		
	Depth	Dist Up	Left Extent	Right Extent	Flat Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

Registration Number: 223-P10107103A-000-000-0000000-0000

Registration Date/Time: 2023-08-25 17:19:50

HERS Provider: CA/CERTS's Inc.

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Version: 2023.0.000

Schema Version: rev.20220901

Report Generated: 2023-08-25 15:30:29

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF

Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-08-25T17:29:49-05:00

Input File Name: 1\_EF\_E\_C24.rbd2zx

CF1R-PRF-01-E  
(Page 5 of 12)

ENERGY USE INTENSITY				
	Standard Design (kBtu/ft <sup>2</sup> · yr)	Proposed Design (kBtu/ft <sup>2</sup> · yr)	Compliance Margin (kBtu/ft <sup>2</sup> · yr)	Margin Percentage
<b>North Facing</b>				
Gross EU <sup>1</sup>	44.86	42	2.86	6.38
Net EU <sup>1,2</sup>	13.02	10.16	2.86	21.97
<b>East Facing</b>				
Gross EU <sup>1</sup>	44.86	42.87	1.99	4.44
Net EU <sup>1,2</sup>	13.02	11.03	1.99	15.28
<b>South Facing</b>				
Gross EU <sup>1</sup>	44.86	42.93	2.93	5.19
Net EU <sup>1,2</sup>	13.02	10.70	2.32	17.82
<b>West Facing</b>				
Gross EU <sup>1</sup>	44.86	42.47	2.39	5.33
Net EU <sup>1,2</sup>	13.02	10.63	2.39	18.36
<b>Notes:</b>				
1. Gross EU is Energy Use Total (not including PV) / Total Building Area. 2. Net EU is Energy Use Total (including PV) / Total Building Area.				

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

**Project Name:** Central Coast ADU EF

**Calculation Description:** Title 24 Analysis

**Calculation Date/Time:** 2023-08-28 17:09:05:00

**Input File Name:** 1\_EF\_E\_C4A.rtd22x

**CF1R-P01-E**

**(Page 2 of 12)**

ENERGY DESIGN RATINGS						
	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)
Standard Design	31.2	42.7	33.8			
<b>Proposed Design</b>						
North Facing	29.8	34.8	29.4	1.4	7.9	4.4
East Facing	30.6	38.6	31.4	0.6	4.1	2.4
South Facing	30.3	35.5	29.7	0.9	7.2	4.1
West Facing	30.3	35.8	29.9	0.9	6.9	3.9
<b>RESULT: PASS</b>						

<sup>1</sup>Efficiency EDR includes Improvements like a better building envelope and more efficient equipment.

<sup>2</sup>Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries.

<sup>3</sup>Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

- Standard Design PV Capacity: 1.54 kWdc
- Proposed PV Capacity Scaling: North (1.54 kWdc) East (1.54 kWdc) South (1.54 kWdc) West (1.54 kWdc)

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>										<b>CF1R-PRIE-01-01</b>			
Project Name: Central Coast ADU EF										(Page 7 of 12)			
Calculation Description: Title 24 Analysis													
Input File Name: 1_EF__E_CZA-ribd2x2x													
ZONE INFORMATION													
01	02	03	04	05	06	07							
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status							
Efficiency	Conditioned	O/U-11	261.91	8	DHW Sys 1	New							
OPAQUE SURFACES													
01	02	03	04	05	06	07	08						
Name	Construction	Area	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg.)							
Front Wall	Efficiency	R-21 Wall	0	Front	96	21	90						
Lateral 1 Wall	Efficiency	R-21 Wall	180	Back	140	36	90						
Lateral 2 Wall	Efficiency	R-21 Wall	270	Right	140	12	90						
Lateral 2 Wall 2	Efficiency	R-21 Wall	90	Left	39.92	4.5	90						
Lateral 2 Wall 2	Efficiency	R-21 Wall	0	Front	39.92	0	90						
Back Wall	Efficiency	R-21 Wall	180	Back	96	0	90						
Roof	Efficiency	R-38 Roof Attic	n/a	n/a	202.03	n/a	n/a						
Roof 2	Efficiency	R-38 Roof Attic	n/a	n/a	59.88	n/a	n/a						
ATTIC													
01	02	03	04	05	06	07	08						
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof						
Attic Efficiency	Attic Roof Efficiency	Ventilated	3	0.65	0.85	Yes	Yes						
PENETRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12		
Name	Type	Surface	Orientation	Area	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source		
Window	Window	Lateral 1 Wall	Back	180	3	4	1	0.27	NFRC	0.4	NFRC		
										Bug Screen			
Registration Number: 223-P010107153A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generation Date/Time: 2023-08-25T17:29:49-05:00 Scheme Version: rev 20200903													
Registration Number:										HERS Provider:			
CA Building Energy Efficiency Standards - 2022 Residential Compliance										GACCETS Inc.			
Report Generation Date/Time: 2023-08-25T17:29:49-05:00										15 30 29			
Scheme Version: rev 20200903										Report Generated: 2023-08-25			

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF

Calculation Description: Title 24 Analysis

CFR19-01-01-01 (Page 4 of 12)

Calculation Date/Time: 2023-08-25T17:29:45-08:00

Input File Name: 1\_EF\_E\_C24.rbd2zx

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kWh/m <sup>2</sup> · yr)	Standard Design TDV Energy (EDR2) (kWh/m <sup>2</sup> · yr)	Proposed Design Source Energy (EDR1) (kWh/m <sup>2</sup> · yr)	Proposed Design TDV Energy (EDR2) (kWh/m <sup>2</sup> · yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.38	1.68	3.71	30.8	-3.33	-29.12
Space Cooling	2.18	59.76	0.51	24.16	1.67	33.6
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.93	57.5	2.21	19.84
Self Utilization/Flexibility Credit				0		0
<b>South Facing Efficiency Compliance Total</b>	<b>10.37</b>	<b>143.97</b>	<b>9.82</b>	<b>119.65</b>	<b>0.55</b>	<b>24.32</b>
Space Heating	0.38	1.68	3.47	28.28	-3.09	-26.6
Space Cooling	2.18	57.76	0.67	27.89	1.51	29.87
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	7.14	77.34	4.92	57.31	2.22	20.03
Self Utilization/Flexibility Credit				0		0
<b>West Facing Efficiency Compliance Total</b>	<b>10.37</b>	<b>143.97</b>	<b>9.73</b>	<b>120.67</b>	<b>0.64</b>	<b>23.3</b>

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

**Project Name:** Central ADU EF

**Calculation Description:** Title 24 Analysis

**Calculation Date/Time:** 2023-08-25T19:49:05-05:00

**Input File Name:** 1\_EF\_E\_CZA.rbd22x

**CF18-PRF-01-E**

**(Page 1 of 12)**

**GENERAL INFORMATION**

01	Project Name	Central Coast ADU EF	
02	Run Title	Title 24 Analysis	
03	Project Location		
04	City	Atascadero	Standards Version
05			2022
06	Zip code	93423	Software Version
07			EnergyPro 9.0
08	Climate Zone	4	Front Orientation (deg/ Cardinal)
09			All orientations
10	Building Type	Single family	Number of Dwelling Units
11			1
12	Project Scope	Newly Constructed	Number of Bedrooms
13			1
14	Addition Cond. Floor Area (ft <sup>2</sup> )	0	Number of Stories
15			1
16	Existing Cond. Floor Area (ft <sup>2</sup> )	n/a	Fenestration Average U-factor
17			0.27
18	Total Cond. Floor Area (ft <sup>2</sup> )	261.91	Glazing Percentage (%)
19			20.00%
20	ADU Bedroom Count	n/a	

**COMPLIANCE RESULTS**

01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 223-P010107103A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:30

Report Version: 2022.0.000

Schema Version: rev 20200901

HERS Provider: CalCERTS, Inc.

Report Generated: 2023-08-25 15:30:29

CalCERTS, Inc.

HERS PROVIDER

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.  
contact@zalengineering.com  
831-641-7739  
ZAL (zalengineering.com)



**ZAL**  
**ENGINEERING**  
MECHANICAL CONSULTANTS

99 PACIFIC ST., STE. 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



CENTRAL COAST  
PRE-DESIGNED ADU  
CENTRAL COAST, CALIFORNIA

EFFICIENCY  
T24 FORMS  
ELECTRIC

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

22

SHEET OF

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.  
Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.  
contact@zsalengineering.com  
831-641-7739  
ZAL (zalengineering.com)



**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST, STE 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**EFFICIENCY  
T24 FORMS  
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

**T24.2B**

SHEET OF

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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-25T17:29:49-05:00  
Input File Name: 1\_EF\_E\_CZA.rbd22x

CF1R-PRF-01-E  
(Page 12 of 12)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jaime Zaldivar  
Signature Date: 2023-08-25 17:19:50  
Signature: [Signature]  
Company: ZAL Engineering  
Address: 99 Pacific St, Ste 375G  
City/State/Zip: Monterey, CA 93940  
Phone: 831-641-7739

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy efficiency and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jaime Zaldivar  
Signature: [Signature]  
Company: ZAL Engineering  
Address: 99 Pacific St, Ste 375G  
City/State/Zip: Monterey, CA 93940  
Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 223-P010107163A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:18:50  
Report Version: 2022.0.000  
Schema Version: rev 20220901

HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-25 15:30:29

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-25T17:29:49-05:00  
Input File Name: 1\_EF\_E\_CZA.rbd22x

CF1R-PRF-01-E  
(Page 11 of 12)

**HVAC - HEAT PUMPS**

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cop 47	Cop 17	Efficiency Type	SEER / SEER2	EER / EER / SEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	VCHP-ductless	1	HSPF	11.8	10900	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-herp-hpump

**HVAC HEAT PUMPS - HERS VERIFICATION**

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-herp-hpump	Not Required	0	Required	Required	Yes	Yes	Yes	Yes

**VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION**

01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing &ump Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RAS.3 and SC3.3.4.1.	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

**INDOOR AIR QUALITY (IAQ) FANS**

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficiency (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
SfAm IAQVentRpt	23	0.35	Exhaust	No	n/a	No	Yes	

Registration Number: 223-P010107163A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:18:50  
Report Version: 2022.0.000  
Schema Version: rev 20220901

HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-25 15:30:29

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-25T17:29:49-05:00  
Input File Name: 1\_EF\_E\_CZA.rbd22x

CF1R-PRF-01-E  
(Page 10 of 12)

**WATER HEATING SYSTEMS**

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (s)
DHW Sys 1	Domestic Hot Water (DHW)	HERS Verified Pipe Insulation credit	DHW Heater 1	1	n/a	None	DHW Sys 1-herp-dhw	DHW Heater 1 (1)

**WATER HEATERS - NEEA HEAT PUMP**

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T10H2ZU0	Outside	Efficiency	Efficiency

**WATER HEATING - HERS VERIFICATION**

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Required	Not Required	Not Required	None	Not Required	Not Required

**SPACE CONDITIONING SYSTEMS**

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Registration Number: 223-P010107163A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:18:50  
Report Version: 2022.0.000  
Schema Version: rev 20220901

HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-25 15:30:29



<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>								<b>CFIR-PRF-01-E</b>	
Project Name: Central Coast ADU EF				Calculation Date/Time: 2023-08-25T17:42:27-05:00				(Page 9 of 12)	
Calculation Description: Title 24 Analysis				Input File Name: 1_EF_H_C24.ribd2xk					

01	02	03	04	05	06	07	08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on Grade 2	Efficiency	59.88	0.1	none	0	100%	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-30	None / None	0.056	Inside Finish: Gypsum Board Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.03	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Frame / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

01	02	03	04	05
Quality Installation Installation (QII)	High-R Value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	HERS Verified Pipe Installation credit	DHW Heater 1	1	n/a	None	DHW Sys 1-hers-dw	DHW Heater 1 (1)

Registration Number: 223-P010107169A-000-000-0000000-0000	Registration Date/Time: 2023-08-25 17:28:18
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 2020901

HERS Provider:  
  
 CaCERT® inc.  
 Report Generated: 2023-08-25 15:42:50

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>												<b>CFR-PRF-01-03</b>	
<b>Project Name:</b> Central ACU DEF												<b>Schedule Date/Time:</b> 2023-08-25T14:27:05.00Z	<b>(Page 6 of 12)</b>
<b>Calculation Description:</b> Title 24 Analysis												<b>Input File Name:</b> 1_EF_H_C24.ribd22x	

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Inprt	Array Angle (deg)	Tilt: [x in 12]	Inverter Eff.	Annual Solar Access (%)
1.56	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	opt/12	96	98

<b>REQUIRED SPECIAL FEATURES</b>											
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.											
<ul style="list-style-type: none"> <li>Cool roof</li> <li>Window overhangs and/or fins</li> </ul>											

<b>HERS FEATURE SUMMARY</b>											
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional details is provided in the building tables below. Registered CP26s and CP3Rs are required to be completed in the HERS Registry.											
<ul style="list-style-type: none"> <li>Quality insulation installation (QII)</li> <li>Indoor air quality ventilation</li> <li>Verified heat pump rated heating capacity</li> <li>Pipe Insulation, All Lines</li> </ul>											

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Bikes	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ACU EF	261.91	1	1	1	0	1

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Efficiency	Conditioned	DW-11	261.91	8	DHW Sys 1	New

Registration Number: 223 PWRB01PFA-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2021 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18

Report Version: 2022.0.00

Schema Version: rev 20220901

HERS Provider: CaCERTHS inc.

Report Generated: 2023-08-25 15:42:50

<div> <div>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</div> <div> <div>Project Name: Central Coast ADU EF</div> <div>Calculation Description: Title 24 Analysis</div> </div> </div> <div> <div>CF18-PRF-01-E</div> <div> <div>Schedule Date/Time: 2023-08-25T17:42:27-05:00</div> <div>Input File Name: 1_EF_H_C24.Rib22x</div> </div> <div>(Page 3 of 12)</div> </div>						
ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.81	6.11	1.1	8.42	-0.29	-2.31
Space Cooling	1.95	53.11	1.96	55.28	-0.01	-2.17
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	27.18	113.98	24.33	102.5	2.85	11.48
Self Utilization/Flexibility Credit				0		0
<b>North Facing Efficiency Compliance Total</b>	<b>30.61</b>	<b>180.39</b>	<b>28.06</b>	<b>173.39</b>	<b>2.55</b>	<b>7</b>
Space Heating	0.81	6.11	1.01	7.68	-0.2	-1.53
Space Cooling	1.95	53.11	1.67	47.41	0.28	5.7
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	27.18	113.98	24.33	102.5	2.85	11.48
Self Utilization/Flexibility Credit				0		0
<b>East Facing Efficiency Compliance Total</b>	<b>30.61</b>	<b>180.39</b>	<b>27.68</b>	<b>164.74</b>	<b>2.93</b>	<b>15.65</b>

Registration Number: 223-P0101071150A-000-000-00000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18

Report Version: 2022.0.00

Schema Version: rev 20220901

HERS Provider: CalCERTS Inc.

Report Generated: 2023-08-25 15:42:50

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU EF

Calculation Date/Time: 2023-08-25T17:42:27-05:00

Calculation Description: Title 24 Analysis

Input File Name: 1\_EF\_H\_C24.rtd2x2x

CF1R-PRF-01-01  
(Page 8 of 12)

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 5	Window	Lateral 1 Wall 2		225	1.5	3	1	4.5	0.27	NFRC	0.4	NFRC	Bug Screen

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor
Door	Front Wall	21	0.2

OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang				Left Fin				Right Fin				
	Depth	Dist Up	Left Extent	Right Extent	Flap Ht	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Efficiency	202.03	0.1	none	0	100%	No

Registration Number: 223-P10107169A-000-0000000-0000

Registration Date/Time: 2023-08-25 17:28:18

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Version: 2022.0.000

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU EF

Calculation Date/Time: 2023-08-25T17:42:27-05:00

Page 5 of 12

Calculation Description: Title 24 Analysis

Input File Name: 1\_EF\_H\_CZA.ribcd2zx

ENERGY USE INTENSITY				
	Standard Design (kBtu/ft <sup>2</sup> - yr)	Proposed Design (kBtu/ft <sup>2</sup> - yr)	Compliance Margin (kBtu/ft <sup>2</sup> - yr)	Margin Percentage
North Facing				
Gross EU1 <sup>1</sup>	65.98	62.58	3.4	5.15
Net EU1 <sup>2</sup>	33.82	30.42	3.4	10.05
East Facing				
Gross EU1 <sup>1</sup>	65.98	62.3	3.68	5.58
Net EU1 <sup>2</sup>	33.82	30.13	3.69	10.91
South Facing				
Gross EU1 <sup>1</sup>	65.98	62.42	3.56	5.37
Net EU1 <sup>2</sup>	33.82	30.26	3.56	10.47
West Facing				
Gross EU1 <sup>1</sup>	65.98	62.65	3.33	5.05
Net EU1 <sup>2</sup>	33.82	30.48	3.34	9.88
<div>Notes:</div> <div> <div>1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area.</div> <div>2. Net EU1 is Energy Use Total (including PV) / Total Building Area.</div> </div>				

Registration Number:

223-PJ10107156A-000-000-000000-0000

Registration Date/Time:

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CARBENT'S INC.

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Version: 2022.0.000

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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

**Project Name:** Central Coast ADU EF

**Calculation Description:** Title 24 Analysis

**Calculation Date/Time:** 2023-08-25T17:42:05-05:00

**Input File Name:** 1\_EF\_H\_CZA.rbd22x

**CF1R-PHF-01-E**

**(Page 2 of 12)**

ENERGY DESIGN RATINGS						
	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)
Standard Design	55.1	55.1	40.4			
<b>Proposed Design</b>						
North Facing	52.1	52.9	39.2	3	2.2	1.2
East Facing	51.7	50.3	37.8	3.4	4.8	2.6
South Facing	51.8	50.7	38.1	3.3	4.4	2.3
West Facing	52.1	52.7	39.2	3	2.4	1.2
<b>RESULT: PASS</b>						

<sup>1</sup>Efficiency EDR includes Improvements like a better building envelope and more efficient equipment.

<sup>2</sup>Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries.

<sup>3</sup>Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

- Standard Design PV Capacity: 1.56 kWdc
- Proposed PV Capacity Scaling: North (1.56 kWdc) East (1.56 kWdc) South (1.56 kWdc) West (1.56 kWdc)

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> <b>Project Name:</b> Central Coast ADD F <b>Calculation Description:</b> Title 24 Analysis										<b>CF1R-PRI-01-0</b> <b>(Page 7 of 12)</b>			
<b>Calculation Date/Time:</b> 2023-08-25T17:42:27-05:00 <b>Input File Name:</b> 1_EF_H_C24.rbd22x													
<b>OPAQUE SURFACES</b>													
01	02	03	04	05	06	07	08	09	10	11			
Name	Zone	Construction	Altimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)						
Front Wall	Efficiency	R-21 Wall	135	n/a	96	21	90						
Lateral 1 Wall	Efficiency	R-21 Wall	315	n/a	140	36	90						
Lateral 2 Wall	Efficiency	R-21 Wall	45	n/a	140	12	90						
Lateral 1 Wall 2	Efficiency	R-21 Wall	225	n/a	39.92	4.5	90						
Lateral 2 Wall 2	Efficiency	R-21 Wall	135	n/a	39.92	0	90						
Back Wall	Efficiency	R-21 Wall	315	n/a	96	0	90						
<b>OPAQUE SURFACES - CATHEDRAL CEILINGS</b>													
01	02	03	04	05	06	07	08	09	10	11			
Name	Zone	Construction	Altimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof			
Roof	Efficiency	R-38 Roof No Attic	225	n/a	202.03	0	1	0.65	0.85	Yes			
Roof 2	Efficiency	R-38 Roof No Attic	45	n/a	59.88	0	3	0.65	0.85	Yes			
<b>PENETRATION / GLAZING</b>													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Altimuth	Width (ft)	Height (ft)	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	
Window	Window	Lateral 1 Wall		315	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall		315	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		315	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen
Window 4	Window	Lateral 2 Wall		45	3	4	1	12	0.27	NFRC	0.4	NFRC	Bug Screen

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD					CFR-19F-01-18	
Project Name: Central Coast ADU EF					Calculation Date/Time: 2023-08-25T17:42:27-08:00	
Calculation Description: Title 24 Analysis					(Page 4 of 12)	
Input File Name: 1_EF_H_C24.rbd2z2x						
ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/Ht <sup>2</sup> · yr)	Standard Design TDV Energy (EDR2) (kBtu/Ht <sup>2</sup> · yr)	Proposed Design Source Energy (EDR1) (kBtu/Ht <sup>2</sup> · yr)	Proposed Design TDV Energy (EDR2) (kBtu/Ht <sup>2</sup> · yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.81	6.11	0.82	6.17	-0.01	-0.06
Space Cooling	1.95	59.11	1.84	50.24	0.11	2.87
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	27.18	113.98	24.33	102.5	2.85	11.48
Self Utilization/Flexibility Credit				0		0
<b>South Facing Efficiency Compliance Total</b>	<b>30.61</b>	<b>180.39</b>	<b>27.66</b>	<b>166.1</b>	<b>2.95</b>	<b>14.29</b>
Space Heating	0.81	6.11	0.83	6.34	-0.02	-0.23
Space Cooling	1.95	59.11	2.11	56.65	-0.16	-3.54
IAQ Ventilation	0.67	7.19	0.67	7.19	0	0
Water Heating	27.18	113.98	24.33	102.5	2.85	11.48
Self Utilization/Flexibility Credit				0		0
<b>West Facing Efficiency Compliance Total</b>	<b>30.61</b>	<b>180.39</b>	<b>27.94</b>	<b>172.68</b>	<b>2.67</b>	<b>7.71</b>

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>				CF1R-PRF-01-E
Project Name: Central ADU EF				Calculation Date/Time: 2023-08-25T17:42:27-05:00 Input File Name: 1_EF_H_CZA_rfb2zxx
Calculation Description: Title 24 Analysis				(Page 1 of 12)
<b>GENERAL INFORMATION</b>				
01	Project Name	Central Coast ADU EF		
02	Run Title	Title 24 Analysis		
03	Project Location			
04	City	Atascadero	05	Standards Version
06	Zip code	93423	07	Software Version
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)
10	Building Type	Single family	11	Number of Dwelling Units
12	Project Scope	Newly Constructed	13	Number of Bedrooms
14	Addition Cond. Floor Area (ft <sup>2</sup> )	0	15	Number of Stories
16	Existing Cond. Floor Area (ft <sup>2</sup> )	n/a	17	Fenestration Average U-factor
18	Total Cond. Floor Area (ft <sup>2</sup> )	261.91	19	Glazing Percentage (%)
20	ADU Bedroom Count	n/a		
<b>COMPLIANCE RESULTS</b>				
01	Building Complies with Computer Performance			
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.			
03	This building incorporates one or more Special Features shown below			

Registration Number: Z23-P016107160A-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

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Scheta Version: rev 20200901

HERS Provider:

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CALCERTS Inc.

HERS PROVIDER

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.  
contact@zalengineering.com  
831-641-7739  
ZAL (zalengineering.com)



**ZAL**  
**ENGINEERING**  
MECHANICAL CONSULTANTS

99 PACIFIC ST., STE. 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



CENTRAL COAST  
PRE-DESIGNED ADU  
CENTRAL COAST, CALIFORNIA

# EFFICIENCY T24 FORMS HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.3B

SHEET OF

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contact@zalengineering.com  
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ZAL (zalengineering.com)



**ZAL**  
**ENGINEERING**  
MECHANICAL CONSULTANTS  
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TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**EFFICIENCY  
T24 FORMS  
HYBRID**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

**T24.4B**

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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: Central Coast ADU EF  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-25T17:42:27-05:00  
Input File Name: 1\_EF\_H\_CZA.rbd22x

CS1R-PRF-01-E  
(Page 12 of 12)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jaime Zaldivar  
Signature Date: 2023-08-25 17:28:18  
Company: ZAL Engineering  
Address: 99 Pacific St, Ste 375G  
City/State/Zip: Monterey, CA 93940  
Phone: 831-641-7739

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy efficiency and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jaime Zaldivar  
Signature Date: 2023-08-25 17:28:18  
Company: ZAL Engineering  
Address: 99 Pacific St, Ste 375G  
City/State/Zip: Monterey, CA 93940  
Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 223-P010107159A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18  
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CS1R-PRF-01-E  
(Page 11 of 12)

**HVAC - HEAT PUMPS**

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification
				HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER2 / CEER			
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	10900	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hera-htpump

**HVAC HEAT PUMPS - HERS VERIFICATION**

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hera-htpump	Not Required	0	Not Required	Not Required	No	No	Yes	Yes

**INDOOR AIR QUALITY (IAQ) FANS**

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfarn IAQventRpt	23	0.35	Exhaust	No	n/a	No	Yes	

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CS1R-PRF-01-E  
(Page 10 of 12)

**WATER HEATERS**

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (In/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a	

**WATER HEATING - HERS VERIFICATION**

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Required	Not Required	Not Required	None	Not Required	Not Required

**SPACE CONDITIONING SYSTEMS**

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

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