

## ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

## HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

### HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR PERMIT

- Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.
- Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

## ADDITIONAL NOTES - ATASCADERO

### PLANNING DEPARTMENT

- All submitted plan sets must be accompanied by a Building Permit Application.
- All applications must include a site survey.

### BUILDING DEPARTMENT

- All applications must include a Construction Waste Management Plan.
- The City will accept schematics for gas line revisions

## DEFERRED SUBMITTALS - ATASCADERO

- ☐ PHOTOVOLTAIC SYSTEM (ALL PROJECTS)  
☐ RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)  
☐ SEPTIC SYSTEM (WHERE REQUIRED)

## BUILDING CODES USED - 2022

### 1A. Atascadero Municipal Code

- |                                |  |
|--------------------------------|--|
| 1. California Building Code    | 5. California Mechanical Code                  |
| 2. California Residential Code | 6. California Fire Code                        |
| 3. California Electrical Code  | 7. California Green Building Standards Code    |
| 4. California Plumbing Code    | 8. California Energy Efficiency Standards Code |

## PROJECT INFORMATION

OWNER/APPLICANT:  
ENTER INFORMATION IN THE PROVIDED SPACE

### PARCEL INFORMATION

APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE ( in SF)	
EXISTING HOME SIZE (in SF)	
PARCEL OVER 10% SLOPE	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.</small>
SRA FIRE HAZARD SEVERITY ZONE (WUI)	<input type="checkbox"/> APPLICABLE <input type="checkbox"/> NOT APPLICABLE <small>PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.</small>

### PROJECT INFORMATION

NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO
SERVED BY SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMENT TO DETERMINE SPECIFIC REQUIREMENTS. SUBMIT PROJECT.</small>

### PROPERTY OWNER

NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

## DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

### GENERAL SHEETS

- |      |                                       |
|------|---------------------------------------|
| G0.0 | COVER SHEET & PROJECT INFORMATION     |
| G0.1 | OWNER PROVIDED SITE PLAN              |
| G1.0 | GENERAL NOTES                         |
| G2.0 | CAL GREEN/GREEN BUILDING REQUIREMENTS |
| G2.1 | CAL GREEN/GREEN BUILDING REQUIREMENTS |

### ARCHITECTURAL

- |                          |      |                                     |
|--------------------------|------|-------------------------------------|
| <input type="checkbox"/> | A1.0 | RANCH - FLOORPLAN & ELEVATIONS      |
| <input type="checkbox"/> | A1.1 | RANCH - ROOF PLAN & RCP             |
| <input type="checkbox"/> | A2.0 | CRAFTSMAN - FLOORPLANS & ELEVATIONS |
| <input type="checkbox"/> | A3.0 | MODERN - FLOORPLANS & ELEVATIONS    |
| <input type="checkbox"/> | A3.1 | MODERN - ROOF PLAN & RCP            |
| <input type="checkbox"/> | A4.0 | BUNGALOW - FLOORPLANS & ELEVATIONS  |
| <input type="checkbox"/> | A4.1 | BUNGALOW - ROOF PLAN & RCP          |
| <input type="checkbox"/> | A2.1 | CRAFTSMAN - ROOF PLAN & RCP         |
| <input type="checkbox"/> | A1.2 | RANCH - SECTIONS                    |
| <input type="checkbox"/> | A2.2 | CRAFTSMAN - SECTIONS                |
| <input type="checkbox"/> | A3.2 | MODERN - SECTIONS                   |
| <input type="checkbox"/> | A4.2 | BUNGALOW - SECTIONS                 |
| <input type="checkbox"/> | A5.0 | EXTERIOR WALL ASSEMBLY DETAILS      |
| <input type="checkbox"/> | A5.1 | EXTERIOR WALL ASSEMBLY DETAILS      |
| <input type="checkbox"/> | A5.2 | EXTERIOR DETAILS                    |
| <input type="checkbox"/> | A5.3 | INTERIOR DETAILS & WALL PARTITIONS  |
| <input type="checkbox"/> | A6.0 | SCHEDULES- ONE BEDROOM              |

### STRUCTURAL

- |      |  |
|------|--|
| S0.0 | STRUCTURAL NOTES                       |
| S0.1 | TYPICAL DETAILS                        |
| S1.0 | ROOF/CEILING FRAMING & FOUNDATION PLAN |
| S2.0 | FOUNDATION DETAILS                     |
| S2.1 | ROOF FRAMING DETAILS                   |
| S2.2 | ROOF FRAMING DETAILS (CONT.)           |

### MECHANICAL

- |        |  |
|--------|--|
| MP0.1  | GENERAL NOTES                          |
| MP0.2  | SCHEDULES & GAS DIAGRAM & PLUMBING     |
| MP2.1E | MECHANICAL & PLUMBING PLANS - ELECTRIC |
| MP2.1H | MECHANICAL & PLUMBING PLANS - HYBRID   |

### ENERGY COMPLIANCE/TITLE 24

- |                          |         |                          |
|--------------------------|---------|--------------------------|
| <input type="checkbox"/> | T24.9B  | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> | T24.10B | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> | T24.11B | TITLE 24 FORMS - HYBRID  |
| <input type="checkbox"/> | T24.12B | TITLE 24 FORMS - HYBRID  |



# CENTRAL COAST PRE-DESIGNED ADU

## CITY REVIEW SET

## PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
CM TAYLOR STRUCTURAL ENGINEERING, INC. 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

## SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 626 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

## PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/> COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
<input type="checkbox"/> BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2
<input type="checkbox"/> CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
<input type="checkbox"/> BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4

### ROOFING MATERIAL (SELECT ONE)

<input type="checkbox"/> ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> APPLICANT REVISION	

### PRIMARY SIDING MATERIAL (SELECT ONE)

<input type="checkbox"/> VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
<input type="checkbox"/> BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
<input type="checkbox"/> HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
<input type="checkbox"/> SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
<input type="checkbox"/> STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5

### DESIGN OPTIONS (SELECT IF DESIRED)

<input type="checkbox"/> CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.3
<input type="checkbox"/> EXTERIOR SLIDING DOOR AT DEN	Requires framing coordination.
<input type="checkbox"/> APPLICANT REVISION	

### MECHANICAL SYSTEM (SELECT ONE)

<input type="checkbox"/> ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
<input type="checkbox"/> HYBRID (ELECTRIC W/ GAS H2O HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H

### ☐ GAS RANGE

### REQUIRED COMPLIANCE (CHECK IF APPLICABLE)

<input type="checkbox"/> PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
<input type="checkbox"/> EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"

### SITE PLAN (REQUIRED)

<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan
--	---



workbench

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR ON RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET &  
PROJECT  
INFORMATION -  
ATASCADERO

G0.0

SCALE: AS NOTED

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**  
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SITE PLAN CHECKLIST

The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12<sup>3</sup>

CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

OWNER PROVIDED  
SITE PLAN -  
ATASCADERO

G0.1  
SCALE - AS NOTED

GENERAL NOTES

1.
- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
2.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
3.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
4.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
5.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
6.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
7.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
8.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
9.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
10.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
11.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
12.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
13.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
14.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
15.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
16.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
17.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
18.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
19.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
20.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
21.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
22.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
23.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
24.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
25.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
26.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
27.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
28.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

29.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
30.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
31.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
32.
- PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
33.
- PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

**VEGETATION MANAGEMENT COMPLIANCE. R3371.5**  
PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

**ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5**  
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDIED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

**OFF RIDGE AND RIDGE VENTS. R337.6.2.1**  
VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

1.

VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

2.

THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.

3.

THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

**EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3**  
WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

**EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6**  
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

**VENTS. CBC 706A / CRC R337.6**  
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

**WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8**  
WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

**EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9**  
WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

**UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8**  
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

**ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A**  
GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

1.
- ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
2.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES). CEC150.0(K)G
3.
- ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
- A.
- CEILING RECESSED DOWNLIGHT LUMINARIES
- B.
- LED LUMINARIES WITH INTEGRAL SOURCES
- C.
- PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- D.
- GU-24 BASED LED LIGHT SOURCES
4.
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. CEC 150.0(K)8.
5.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
6.
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
7.
- ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
- A.
- BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
- B.
- HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
- C.
- BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
- D.
- FOR LUMINARIES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
- E.
- SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
- F.
- SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
9.
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- A.
- PHOTOCONTROL AND MOTION SENSOR
- B.
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- C.
- ASTRONOMICAL TIME SWITCH CONTROL
- D.
- ENERGY MANAGEMENT CONTROL SYSTEMS
10.
- ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
11.
- ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

1.
- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
2.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
3.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
4.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
5.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
6.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
7.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
8.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
9.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
10.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
11.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
12.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
13.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
14.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
15.
- ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A]
16.
- GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
17.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).
18.
- PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.
19.
- PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
20.
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
21.
- PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
22.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI's FOR PROTECTION FOR PERSONNEL.

ABBREVIATIONS

AB	ANCHOR BOLT	IN	INFO	INCH/INCHES
AC	ASPHALT CONCRETE	INSUL	INSUL	INSULATION
AD	AREA DRAIN	INT	INT	INTERIOR
ADJ	ADJACENT			
AFF	ABOVE FINISH FLOOR	JT		JOINT
AL	ALIGN			
ALUM	ALUMINUM	KIT		KITCHEN
ALT	ALTERNATE			
ARCH	ARCHITECT/ARCHITECTURAL	LB		LAG BOLT
AVG	AVERAGE	LBS		POUNDS
BD	BOARD	LF		LINEAR FOOT
BLDG	BUILDING	LL		LIVE LOAD
BLKG	BLOCKING	LS		LAG SCREW
BTM	BOTTOM			
BTWN	BETWEEN	MAX		MAXIMUM
BUR	BUILT-UP ROOFING	MB		MACHINE BOLT
BW	BOTH WAYS	MECH		MECHANICAL
		MFD		MANUFACTURED
CB	CATCH BASIN	MFR		MANUFACTURER
CF	CUBIC FEET	MICRO		MICROWAVE
CJ	CONTROL JOINT	MIN		MINIMUM
CLKG	CAULKING	MISC		MISCELLANEOUS
CLG	CEILING	MTD		MOUNTED
CLR	CLEAR	MTL		METAL
CO	CLEANOUT			
COTTG	CLEANOUT TO GRADE	(N)		NEW
COL	COLUMN	NIC		NOT IN CONTRACT
CONC	CONCRETE	NA		NOT APPLICABLE
CONT	CONTINUOUS	NTS		NOT TO SCALE
CT	CERAMIC TILE			
CTR	CENTER	O/		OVER
CW	COLD WATER	OC		ON CENTER
		OH		OVERHEAD/OVERHANG
		OPNG		OPENING
DBL	DOUBLE	PL		PLATE
DEPT	DEPARTMENT	PLF		POUNDS PER LINEAL FOOT
DIA	DIAMETER	PLYVD		PLYWOOD
DIAG	DIAGONAL	PTD		PAINTED
DIM	DIMENSION	PSF		POUNDS PER SQUARE FOOT
DL	DEAD LOAD	PSI		POUNDS PER SQUARE INCH
DN	DOWN	PT		PRESSURE TREATED
DR	DOOR	PVMT		PAVEMENT
DWG	DRAWING			
DW	DISHWASHER			
(E)	EXISTING	RA		RETURN AIR
EA	EACH	RCP		REFLECTED CEILING PLAN
EB	EXPANSION BOLT	RD		ROOF DRAIN
EJ	EXPANSION JOINT	REF		REFERENCE
ELEC	ELECTRIC/ELECTRICAL	REFR		REFRIGERATOR
ELEV	ELEVATOR/ELEVATION	REQD		REQUIRED
EN	EAGE NAILING	REV		REVISION
ENCL	ENCLOSURE	RM		ROOM
EP	ELECTRICAL PANEL	RO		ROUGH OPENING
EQUIP	EQUIPMENT			
EXT	EXTERIOR	SCHED		SCHEDULE
		SD		STORM DRAIN
		SEC		SECTION
		SED		SEE ELECTRICAL DRAWINGS
		SF		SQUARE FOOT
		SPEC		SPECIFICATION
		SPD		SEE PLUMBING DRAWINGS
		SSD		SEE STRUCTURAL DRAWINGS
		SS		SOLID SURFACE
		STD		STANDARD
		STL		STEEL
		STRUCT		STRUCTURAL
		SUSP		SUSPENDED
		SYS		SYSTEM
		T		TEMPERED
		TOC		TOP OF CURB
		TYN		TYPICAL
		UON		UNLESS OTHERWISE NOTED
		ENT		VENTILATION/VENTILATOR
		VERT		VERTICAL
		VIF		VERIFY IN FIELD
		W/		WITH
		WC		WATER CLOSET
		WD		WOOD
		WH		WATER HEATER
		WDW		WINDOW
		W/O		WITHOUT
		WP		WATERPROOF
		WT		WEIGHT



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CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

GENERAL NOTES

G1.0

SCALE: AS NOTED



California

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



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CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

PRINT DATE: XXXX-XXXX

CAL GREEN/GREEN  
BUILDING  
REQUIREMENTS

G2.0

SCALE: AS NOTED

<div><div><div>Y</div><div>NA</div><div>RESPON. PARTY</div></div><div><div>Y</div><div>NA</div><div>RESPON. PARTY</div></div><div><div>Y</div><div>NA</div><div>RESPON. PARTY</div></div></div> <div><div><div>CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL</div><div><div>301.1 SCOPE.</div><div>Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.</div><div><div>301.1.1 Additions and alterations. [HCD]</div><div>The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.</div><div><div>The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.</div><div><div>Note:</div><div>Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.</div><div><div>Note:</div><div>On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.</div></div></div><div><div>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</div><div>The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.</div></div><div><div>SECTION 302 MIXED OCCUPANCY BUILDINGS</div><div><div>302.1 MIXED OCCUPANCY BUILDINGS.</div><div>In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.</div><div><div>Exceptions:</div><div><div>1. [HCD]</div><div>Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.</div><div><div>2. [HCD]</div><div>For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.</div></div></div></div><div><div>DIVISION 4.1 PLANNING AND DESIGN</div><div><div>ABBREVIATION DEFINITIONS:</div><div><div>HCD</div><div>Department of Housing and Community Development</div><div><div>BSC</div><div>California Building Standards Commission</div><div><div>DSA-SS</div><div>Division of the State Architect, Structural Safety</div><div><div>OSHDP</div><div>Office of Statewide Health Planning and Development</div><div><div>LR</div><div>Low Rise</div><div><div>HR</div><div>High Rise</div><div><div>AA</div><div>Additions and Alterations</div><div><div>N</div><div>New</div></div></div></div></div><div><div>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</div></div><div><div>SECTION 4.102 DEFINITIONS</div><div><div>4.102.1 DEFINITIONS</div><div>The following terms are defined in Chapter 2 (and are included here for reference)</div><div><div>FRENCH DRAIN.</div><div>A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.</div><div><div>WATTLETS.</div><div>Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.</div></div><div><div>4.106 SITE DEVELOPMENT</div><div><div>4.106.1 GENERAL.</div><div>Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.</div><div><div>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</div><div>Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.</div><div><div>1.</div><div>Retention basins of sufficient size shall be utilized to retain storm water on the site.</div><div><div>2.</div><div>Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.</div><div><div>3.</div><div>Compliance with a lawfully enacted storm water management ordinance.</div></div><div><div>Note:</div><div>Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.</div><div><div>(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)</div></div><div><div>4.106.3 GRADING AND PAVING.</div><div>Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:</div><div><div>1.</div><div>Swales</div><div><div>2.</div><div>Water collection and disposal systems</div><div><div>3.</div><div>French drains</div><div><div>4.</div><div>Water retention gardens</div><div><div>5.</div><div>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</div></div></div><div><div>Exception:</div><div>Additions and alterations not altering the drainage path.</div></div><div><div>4.106.4 Electric vehicle (EV) charging for new construction.</div><div>New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.</div><div><div>Exceptions:</div><div><div>1.</div><div>On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:</div><div><div>1.1.</div><div>Where there is no local utility power supply or the local utility is unable to supply adequate power.</div><div><div>1.2.</div><div>Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.</div><div><div>2.</div><div>Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.</div></div></div><div><div>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.</div><div>For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</div><div><div>Exception:</div><div>A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.</div></div><div><div>4.106.4.1.1 Identification.</div><div>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".</div></div></div></div></div><div><div>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.</div><div>When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.</div><div><div>4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.</div><div>The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.</div><div><div>1.EV Capable.</div><div>Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.</div><div><div>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</div><div><div>Exceptions:</div><div><div>1.</div><div>When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.</div><div><div>2.</div><div>When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.</div></div><div><div>Notes:</div><div><div>a.</div><div>Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</div><div><div>b.</div><div>There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.</div></div><div><div>2.EV Ready.</div><div>Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</div><div><div>Exception:</div><div>Areas of parking facilities served by parking lifts.</div></div><div><div>4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.</div><div>The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.</div><div><div>1.EV Capable.</div><div>Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.</div><div><div>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</div><div><div>Exception:</div><div>When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.</div><div><div>Notes:</div><div><div>a.</div><div>Construction documents shall show locations of future EV spaces.</div><div><div>b.</div><div>There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.</div></div><div><div>2.EV Ready.</div><div>Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</div><div><div>Exception:</div><div>Areas of parking facilities served by parking lifts.</div></div><div><div>3.EV Chargers.</div><div>Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.</div><div><div>When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.</div></div><div><div>4.106.4.2.2.1 Electric vehicle charging stations (EVCS).</div><div>Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.</div><div><div>Exception:</div><div>Electric vehicle charging stations serving public accommodations, public housing, hotels and motels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.</div></div><div><div>4.106.4.2.2.1.1 Location.</div><div>EVCS shall comply with at least one of the following options:</div><div><div>1.</div><div>The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.</div><div><div>2.</div><div>The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.</div><div><div>Exception:</div><div>Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.</div></div><div><div>4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.</div><div>The charging spaces shall be designed to comply with the following:</div><div><div>1.</div><div>The minimum length of each EV space shall be 18 feet (5486 mm).</div><div><div>2.</div><div>The minimum width of each EV space shall be 9 feet (2743 mm).</div><div><div>3.</div><div>One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).</div><div><div>a.</div><div>Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.</div></div></div><div><div>4.106.4.2.2.1.3 Accessible EV spaces.</div><div>In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.</div></div><div><div>4.106.4.2.3 EV space requirements.</div><div><div>1.</div><div>Single EV spaces shall be installed in a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.</div><div><div>Exception:</div><div>A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.</div></div><div><div>2.</div><div>Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.</div></div></div></div></div><div><div>Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.</div><div><div>4.106.4.2.4 Identification.</div><div>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE" in accordance with the California Electrical Code.</div><div><div>4.106.4.2.5 Electric Vehicle Ready Space Signage.</div><div>Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).</div><div><div>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.</div><div>When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.</div><div><div>Notes:</div><div><div>1.</div><div>Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</div><div><div>2.</div><div>There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</div></div></div></div><div><div>DIVISION 4.2 ENERGY EFFICIENCY</div><div><div>4.201 GENERAL</div><div><div>4.201.1 SCOPE.</div><div>For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.</div></div></div><div><div>DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION</div><div><div>4.303 INDOOR WATER USE</div><div><div>4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.</div><div>Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.</div><div><div>Note:</div><div>All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.</div></div><div><div>4.303.1.1 Water Closets.</div><div>The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.</div><div><div>Note:</div><div>The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.</div></div><div><div>4.303.1.2 Urinals.</div><div>The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.</div><div><div>4.303.1.3 Showerheads.</div><div><div>4.303.1.3.1 Single Showerhead.</div><div>Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.</div><div><div>4.303.1.3.2 Multiple showerheads serving one shower.</div><div>When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.</div><div><div>Note:</div><div>A hand-held shower shall be considered a showerhead.</div></div><div><div>4.303.1.4 Faucets.</div><div><div>4.303.1.4.1 Residential Lavatory Faucets.</div><div>The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.</div><div><div>4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.</div><div>The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.</div><div><div>4.303.1.4.3 Metering Faucets.</div><div>Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.</div><div><div>4.303.1.4.4 Kitchen Faucets.</div><div>The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.</div><div><div>Note:</div><div>Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.</div></div><div><div>4.303.1.4.5 Pre-rinse spray valves.</div><div>When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (g)(7) and shall be equipped with an integral automatic shutoff.</div></div></div></div><div><div>FOR REFERENCE ONLY:</div><div>The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).</div></div><div><div>TABLE H-2</div><div>STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019</div><div><div>PRODUCT CLASS</div><div>[spray force in ounce force (ozf)]</div><div>MAXIMUM FLOW RATE (gpm)</div><div>Product Class 1 (≤ 5.0 ozf)</div><div>1.00</div><div>Product Class 2 (&gt; 5.0 ozf and ≤ 8.0 ozf)</div><div>1.20</div><div>Product Class 3 (&gt; 8.0 ozf)</div><div>1.28</div></div><div><div>Title 20 Section 1605.3 (h)(4)(A):</div><div>Commercial prerinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf) [113 grams-force(gf)]</div></div><div><div>4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.</div><div>Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.</div><div><div>4.303.3 Standards for plumbing fixtures and fittings.</div><div>Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.</div><div><div>NOTE:</div><div>THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.</div></div><div><div>TABLE - MAXIMUM FIXTURE WATER USE</div><div><div>FIXTURE TYPE</div><div>FLOW RATE</div><div>SHOWER HEADS (RESIDENTIAL)</div><div>1.8 GMP @ 80 PSI</div><div>LAVATORY FAUCETS (RESIDENTIAL)</div><div>MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI</div><div>LAVATORY FAUCETS IN COMMON &amp; PUBLIC USE AREAS</div><div>0.5 GPM @ 60 PSI</div><div>KITCHEN FAUCETS</div><div>1.8 GPM @ 60 PSI</div><div>METERING FAUCETS</div><div>0.2 GAL/CYCLE</div><div>WATER CLOSET</div><div>1.28 GAL/FLUSH</div><div>URINALS</div><div>0.125 GAL/FLUSH</div></div></div></div><div><div>4.304 OUTDOOR WATER USE</div><div><div>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</div><div>Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.</div><div><div>NOTES:</div><div><div>1.</div><div>The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/</div></div></div><div><div>DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</div><div><div>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE</div><div><div>4.406.1 ROOFING.</div><div>Annual spaces around pipes, electric cables, conduits or other openings in sole/top/rim plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.</div><div><div>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</div><div><div>4.408.1 CONSTRUCTION WASTE MANAGEMENT.</div><div>Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.</div><div><div>Exceptions:</div><div><div>1.</div><div>Excavated soil and land-clearing debris.</div><div><div>2.</div><div>Alternate waste reduction methods developed by working with local agencies if diversion or recycling facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.</div><div><div>3.</div><div>The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</div></div></div><div><div>4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.</div><div>Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.</div><div><div>1.</div><div>Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.</div><div><div>2.</div><div>Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).</div><div><div>3.</div><div>Identify diversion facilities where the construction and demolition waste material collected will be taken.</div><div><div>4.</div><div>Identify construction methods employed to reduce the amount of construction and demolition waste generated.</div><div><div>5.</div><div>Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.</div></div></div><div><div>4.408.3 WASTE MANAGEMENT COMPANY.</div><div>Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.</div><div><div>Note:</div><div>The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.</div></div><div><div>4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].</div><div>Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1</div><div><div>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.</div><div>Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1</div><div><div>4.408.5 DOCUMENTATION.</div><div>Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4..</div><div><div>Notes:</div><div><div>1.</div><div>Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.</div><div><div>2.</div><div>Mixed construction and demolition debris (C &amp; D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).</div></div></div></div><div><div>4.410 BUILDING MAINTENANCE AND OPERATION</div><div><div>4.410.1 OPERATION AND MAINTENANCE MANUAL.</div><div>At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:</div><div><div>1.</div><div>Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.</div><div><div>2.</div><div>Operation and maintenance instructions for the following:</div><div><div>a.</div><div>Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.</div><div><div>b.</div><div>Roof and yard drainage, including gutters and downspouts.</div><div><div>c.</div><div>Space conditioning systems, including condensers and air filters.</div><div><div>d.</div><div>Landscape irrigation systems.</div><div><div>e.</div><div>Water reuse systems.</div></div></div><div><div>3.</div><div>Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.</div><div><div>4.</div><div>Public transportation and/or carpool options available in the area.</div><div><div>5.</div><div>Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.</div><div><div>6.</div><div>Information about water-conserving landscape and irrigation design and controllers which conserve water.</div><div><div>7.</div><div>Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.</div><div><div>8.</div><div>Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.</div><div><div>9.</div><div>Information about state solar energy and incentive programs available.</div><div><div>10.</div><div>A copy of all special inspections verifications required by the enforcing agency or this code.</div><div><div>11.</div><div>Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.</div><div><div>12.</div><div>Information and/or drawings identifying the location of grab bar reinforcements.</div></div></div><div><div>4.410.2 RECYCLING BY OCCUPANTS.</div><div>Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</div><div><div>Exception:</div><div>Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.</div></div></div></div><div><div>DIVISION 4.5 ENVIRONMENTAL QUALITY</div><div><div>SECTION 4.501 GENERAL</div><div><div>4.501.1 Scope</div><div>The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.</div></div><div><div>SECTION 4.502 DEFINITIONS</div><div><div>5.102.1 DEFINITIONS</div><div>The following terms are defined in Chapter 2 (and are included here for reference)</div><div><div>AGRIFIBER PRODUCTS.</div><div>Aggrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&amp;E) not considered base building elements.</div><div><div>COMPOSITE WOOD PRODUCTS.</div><div>Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include bamboo, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.</div><div><div>DIRECT-VENT APPLIANCE.</div><div>A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.</div></div></div></div></div><div data-bbox="164 1888 134 2007" data-label="Page-Footer"><p>8/30/2023 3:05:17 PM</p></div><div data-bbox="164 1982 2670 1996" data-label="Page-Footer"><p>DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. 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Y = YES  
N/A = NOT APPLICABLE  
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)



**BROCKETT  
'ARCHITECT**

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CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

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PRINT DATE XX.XX.XXXX

CAL GREEN/GREEN

CAL GREEN/GREEN

BUILDING

## REQUIREMENTS

## REQUIREMENTS

C2.1

(G2)

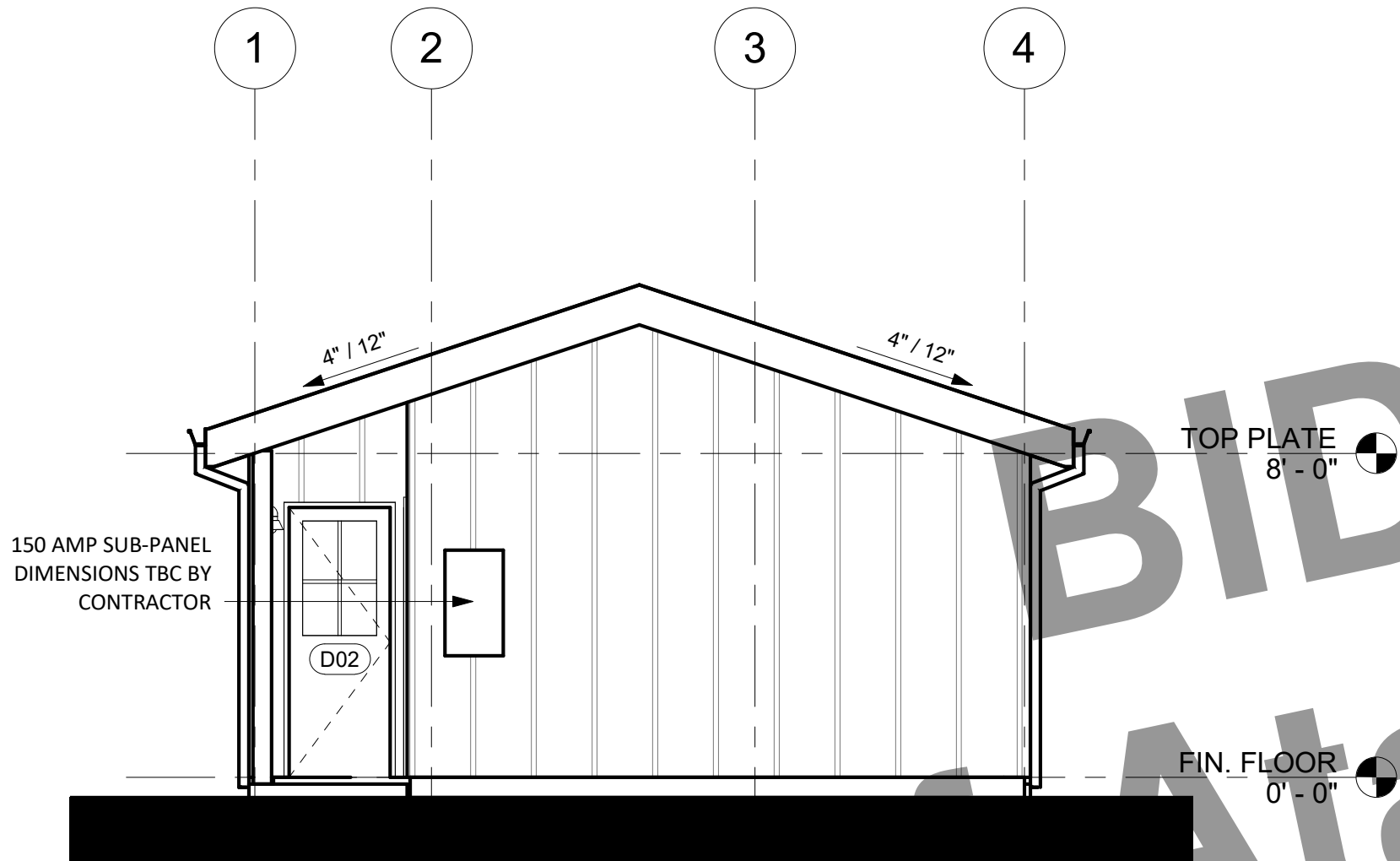
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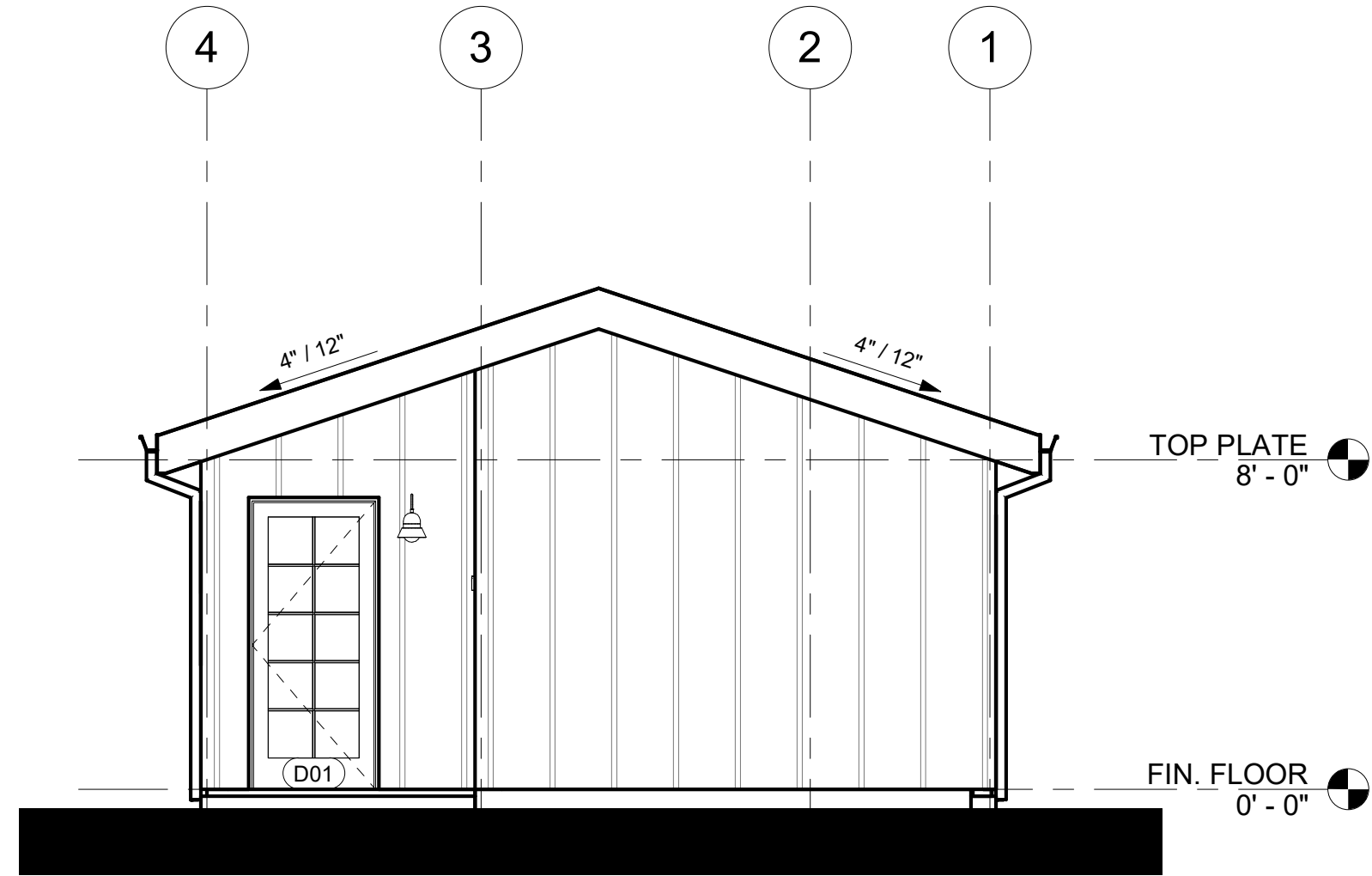
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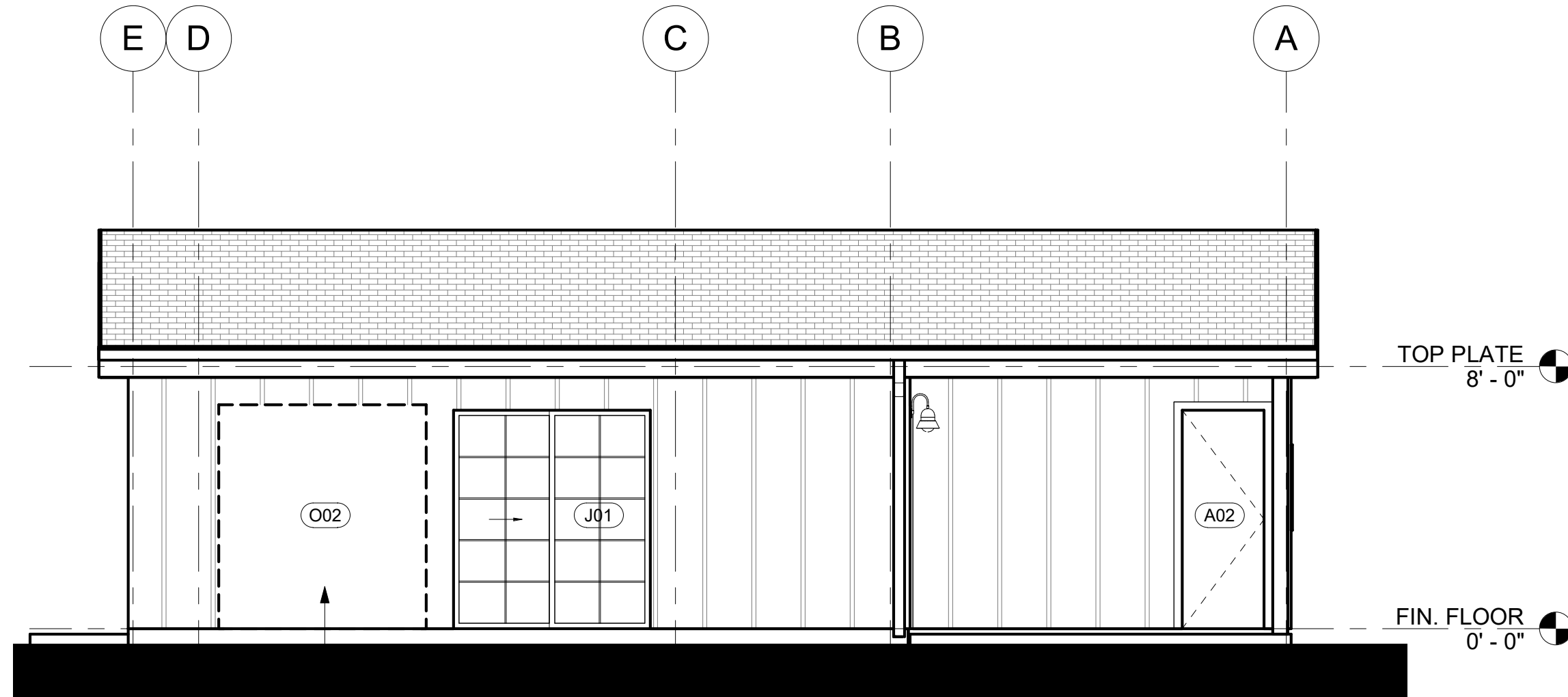
4 FRONT VIEW - ONE BEDROOM - COASTAL RANCH  
NO SCALE



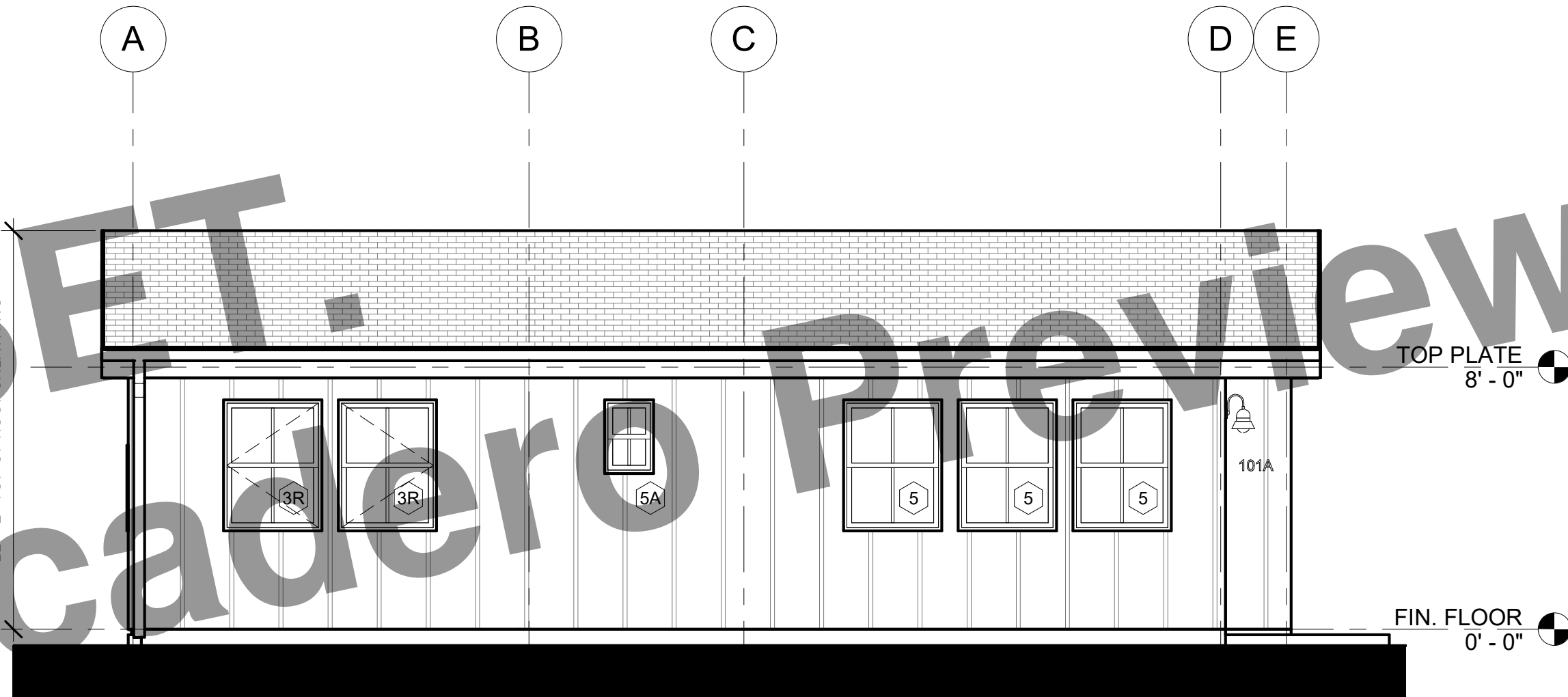
5 LEFT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



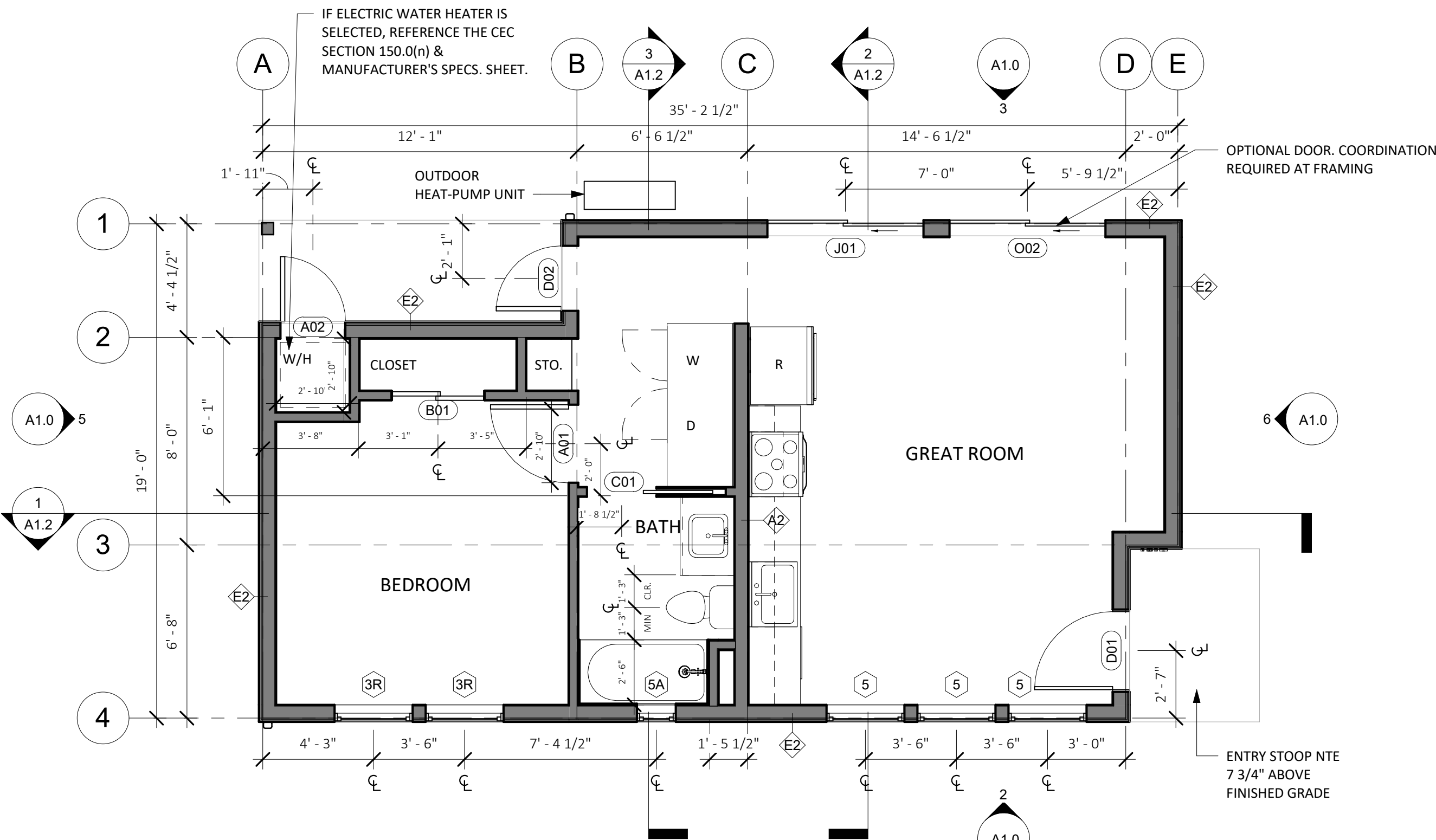
6 RIGHT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



1 FLOOR PLAN - ONE BEDROOM  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

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BROCKETTARCHITECTURE.COM

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**CENTRAL COAST  
PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

**RANCH - FLOORPLAN  
& ELEVATIONS**

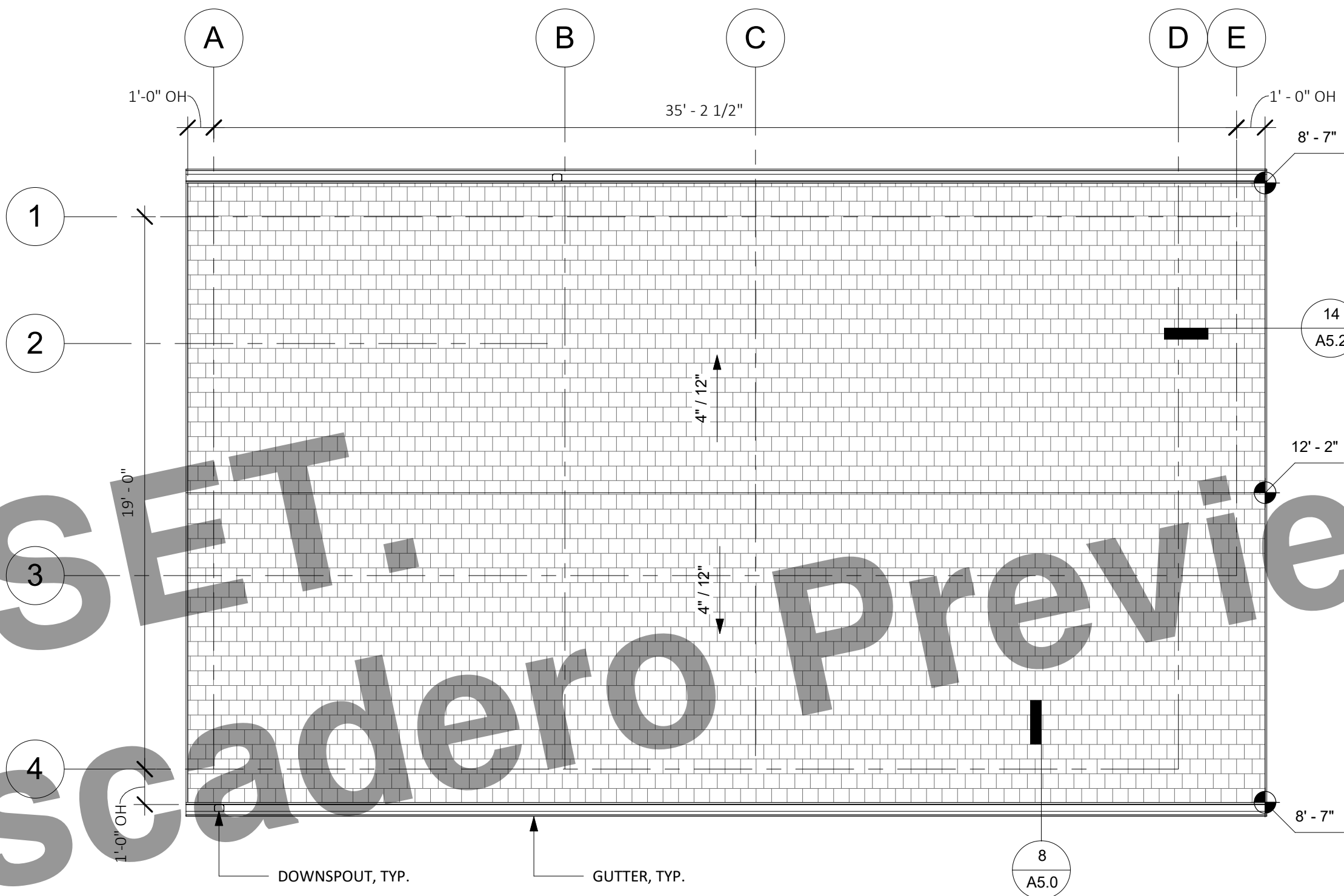
**A1.0**

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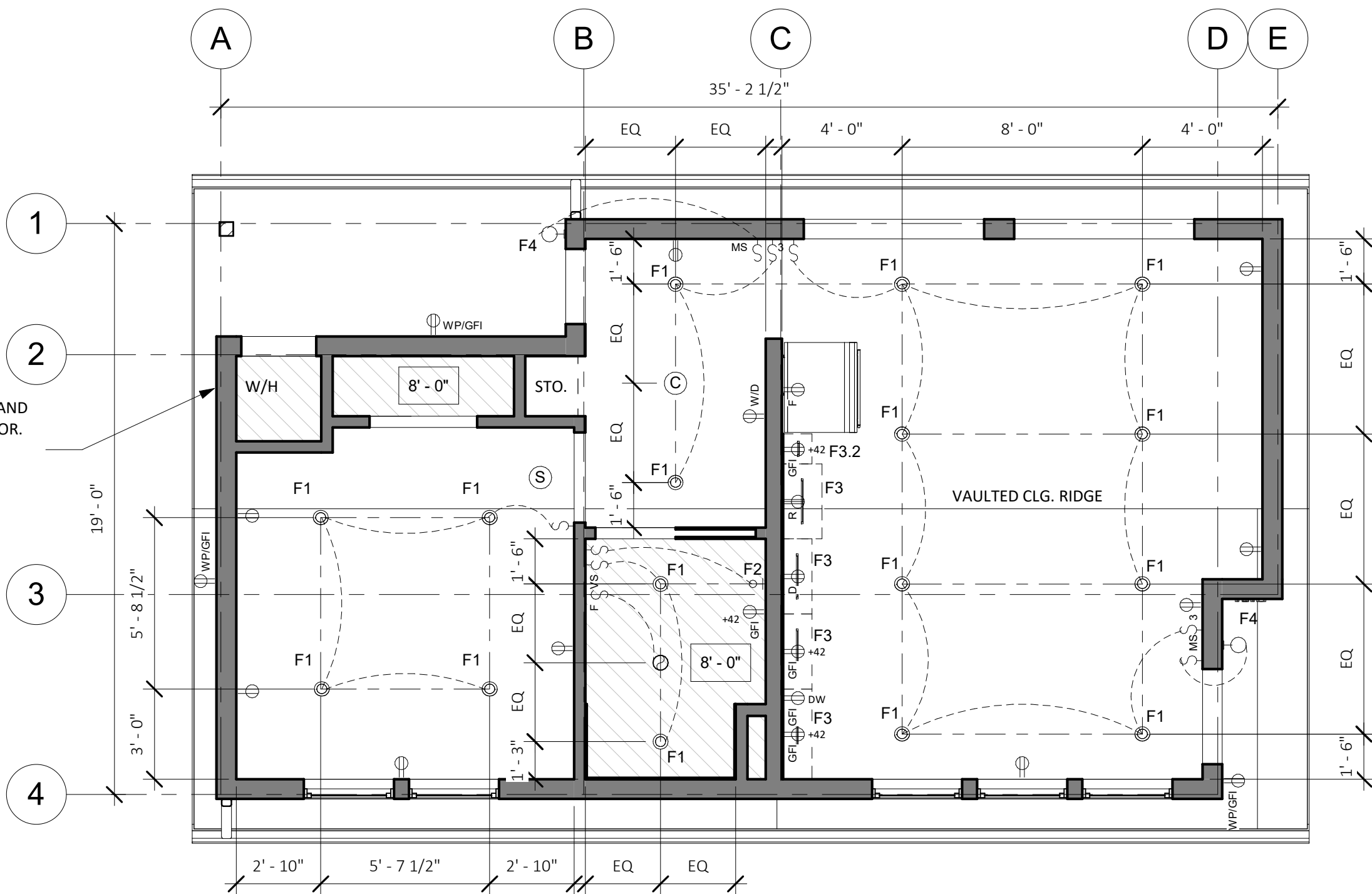
BID SET.

City of Atascadero

Preview



2 ROOF PLAN - COASTAL RANCH  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM  
1/4" = 1'-0"

MIN 100 AMP SUBPANEL  
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.  
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNTED LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

## REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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/ARCHITECT**

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CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

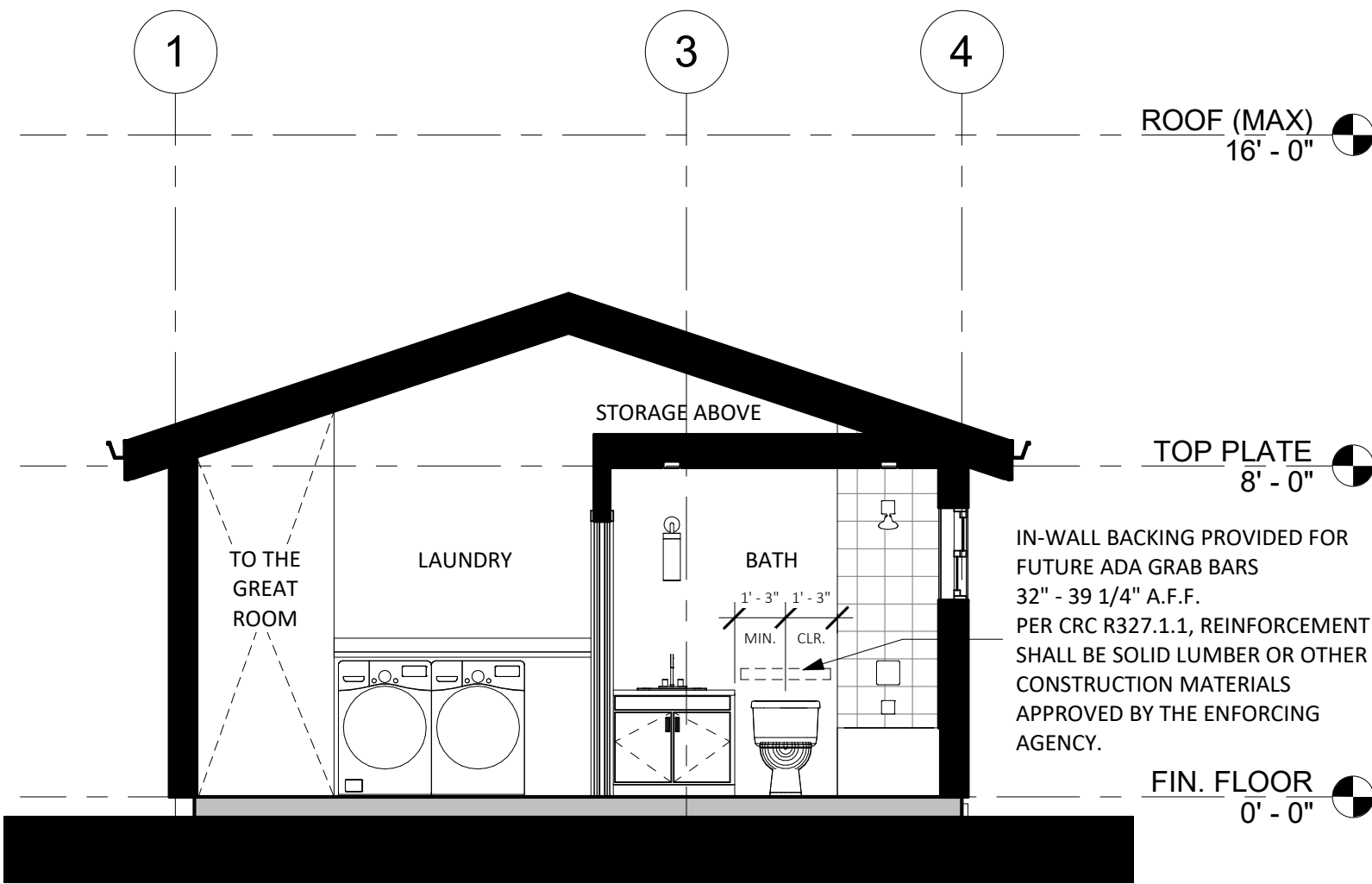
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RANCH - ROOF PLAN  
& RCP

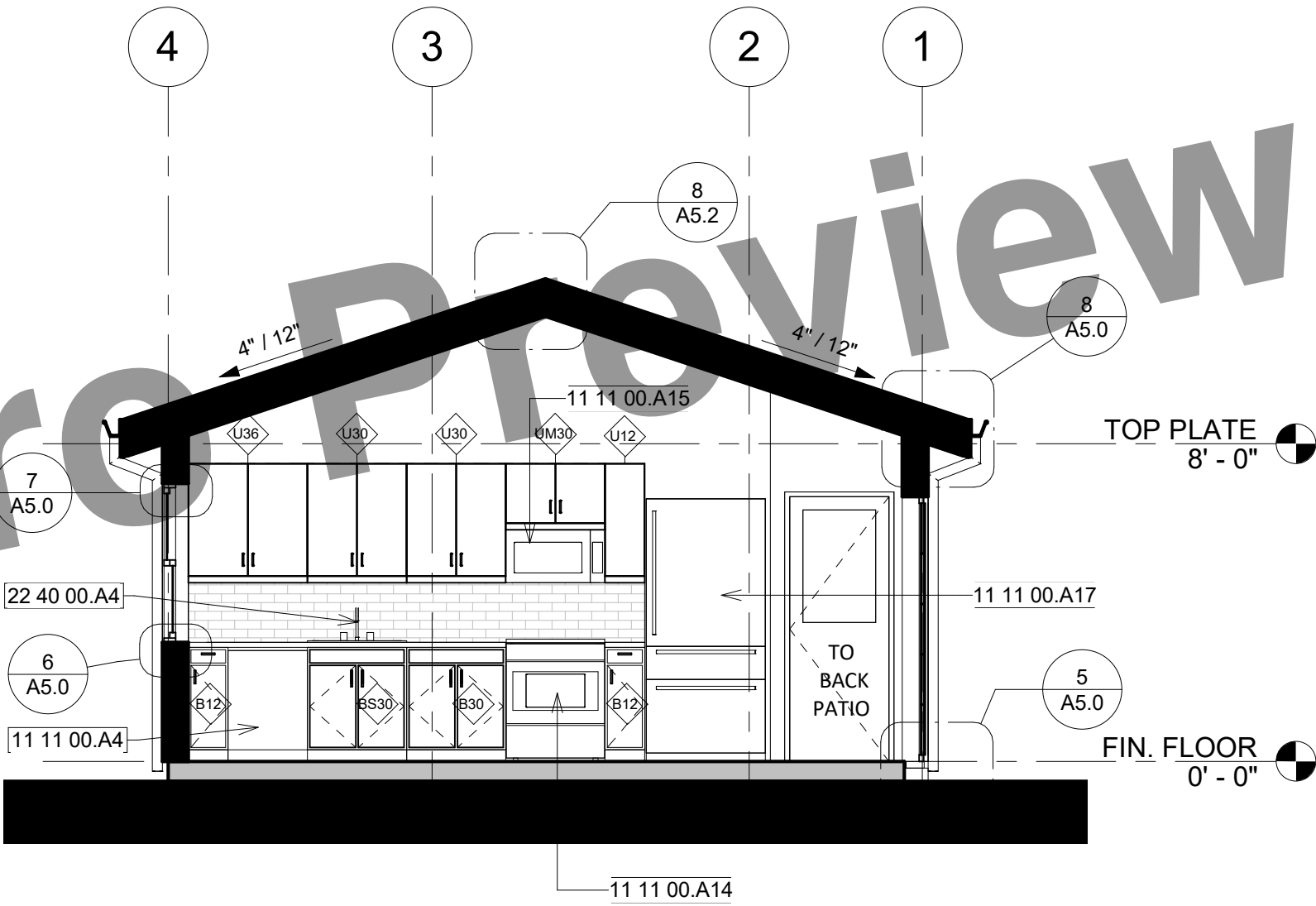
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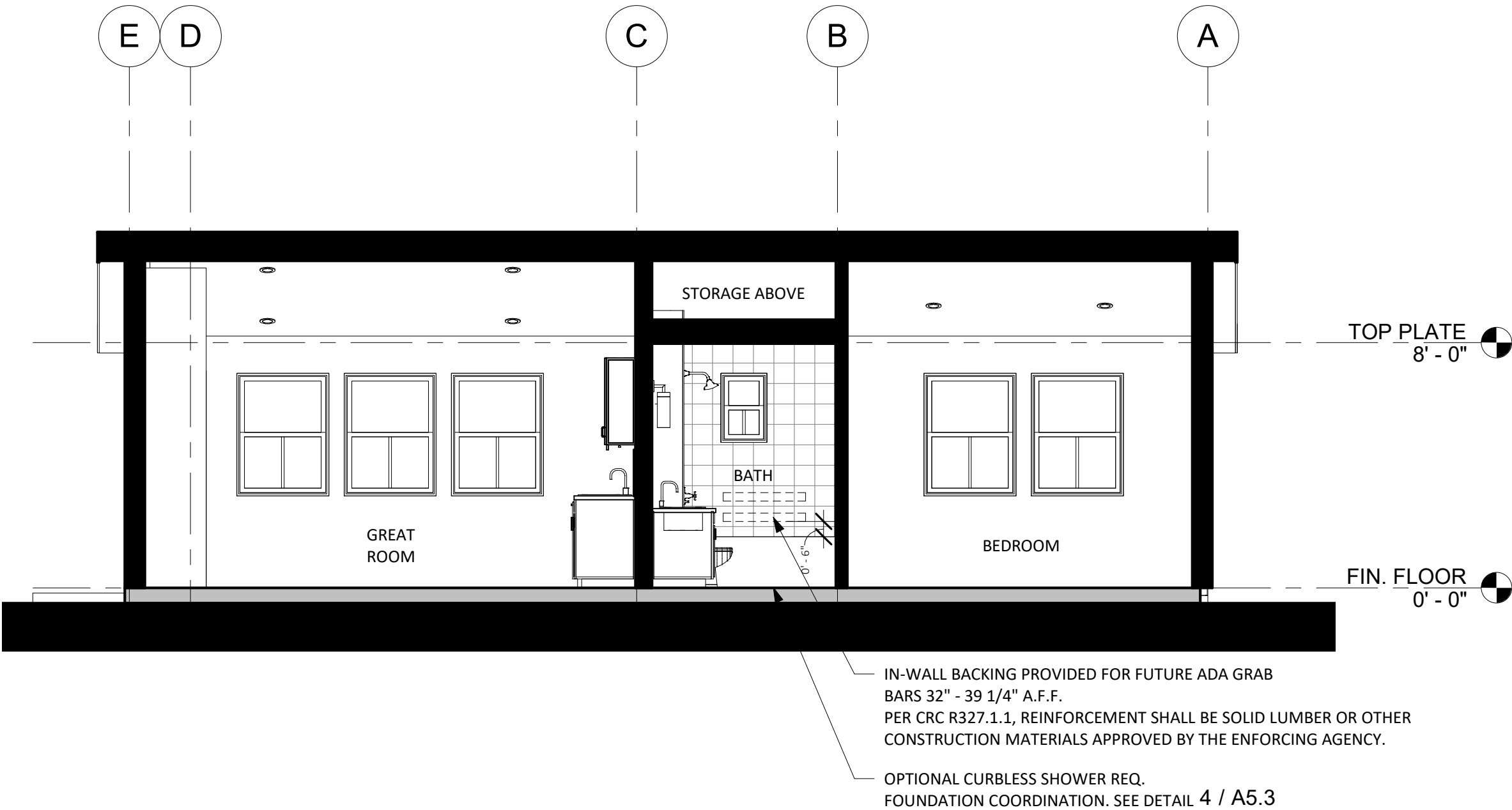
BID SET.  
City of Atascadero



③ SECTION C - COASTAL RANCH  
1/4" = 1'-0"



② SECTION B - COASTAL RANCH  
1/4" = 1'-0"



① SECTION A - COASTAL RANCH  
1/4" = 1'-0"

## KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
BS30	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

### APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

### PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



workbench

189 WALNUT AVENUE  
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WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

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BROCKITECTURE.COM

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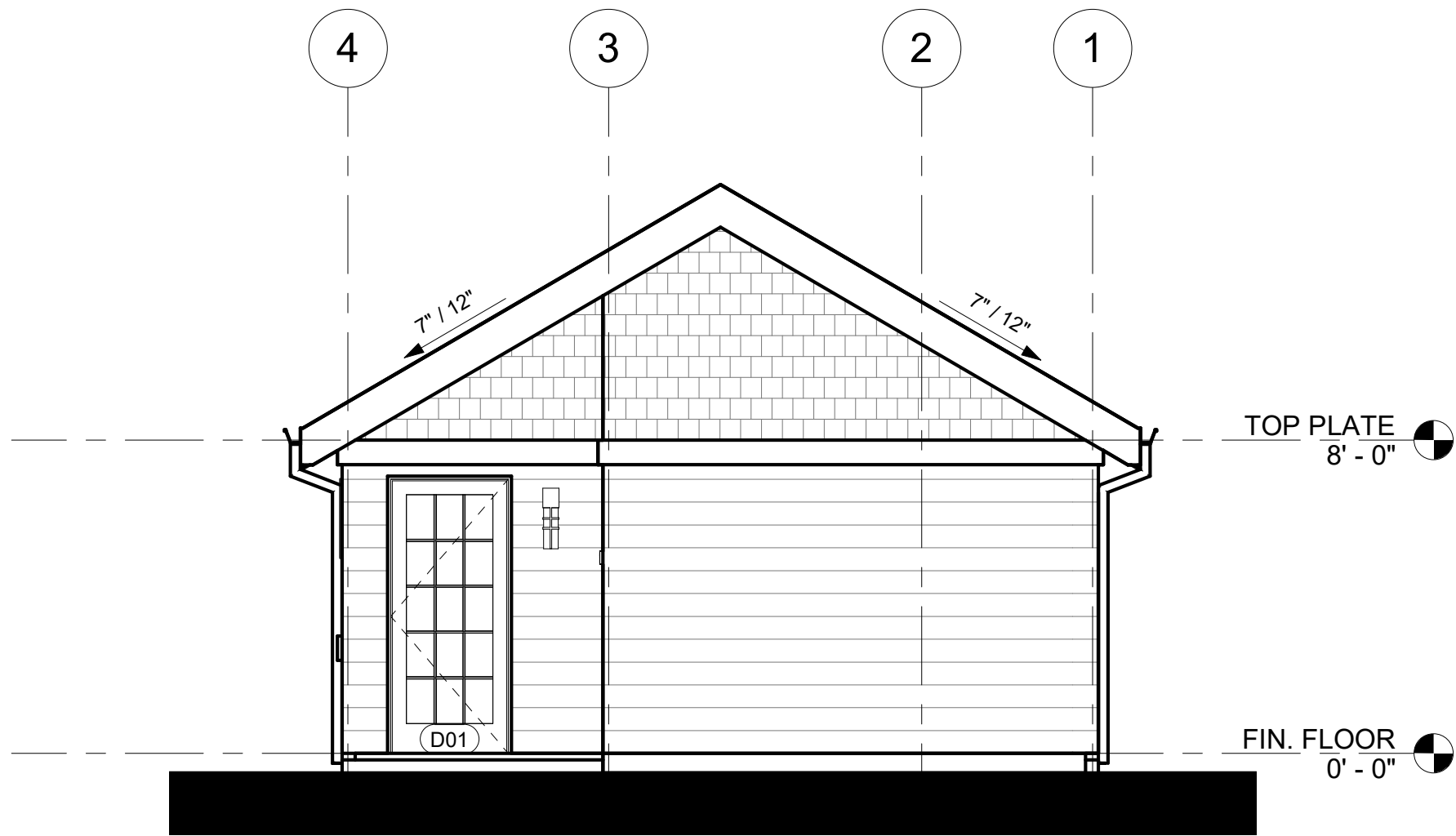
**CENTRAL COAST  
PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

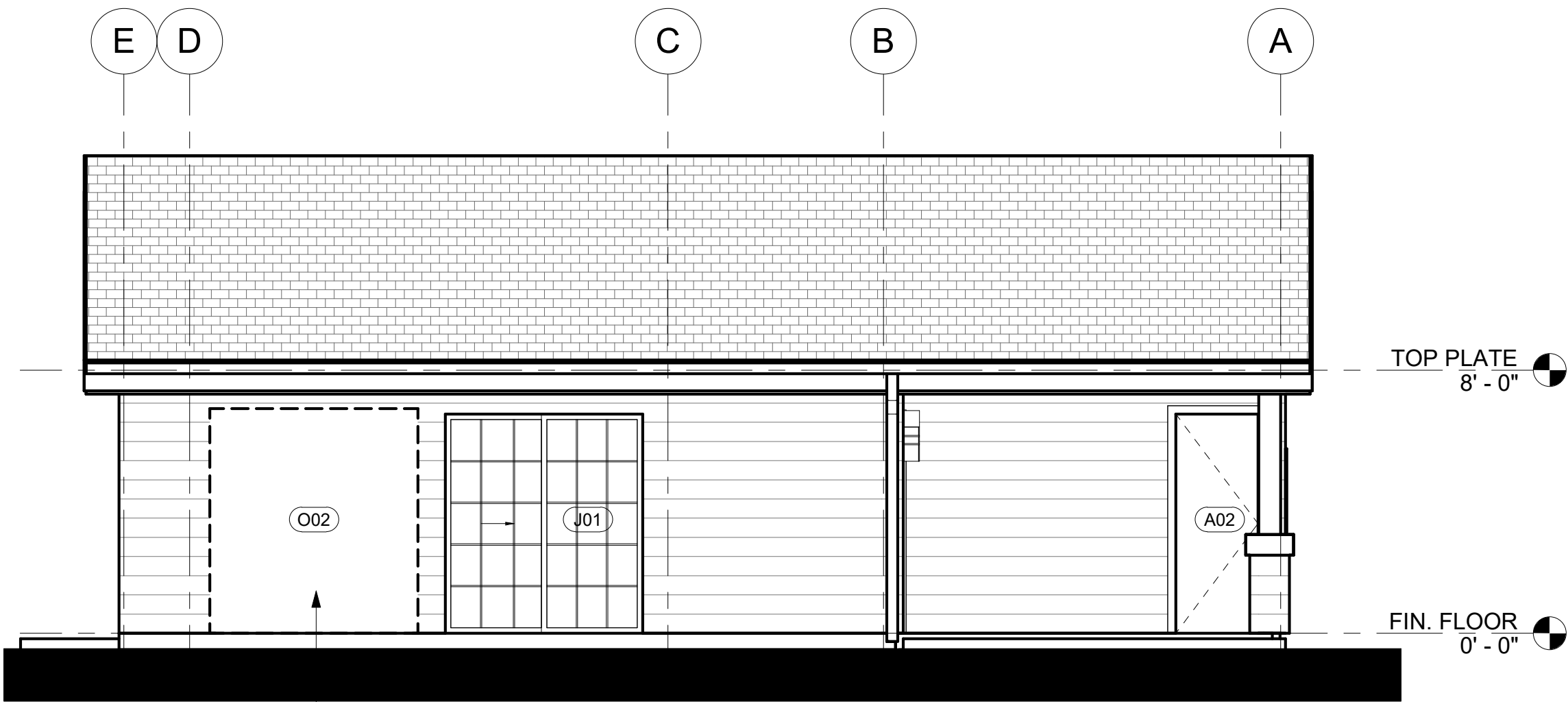
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**A1.2**

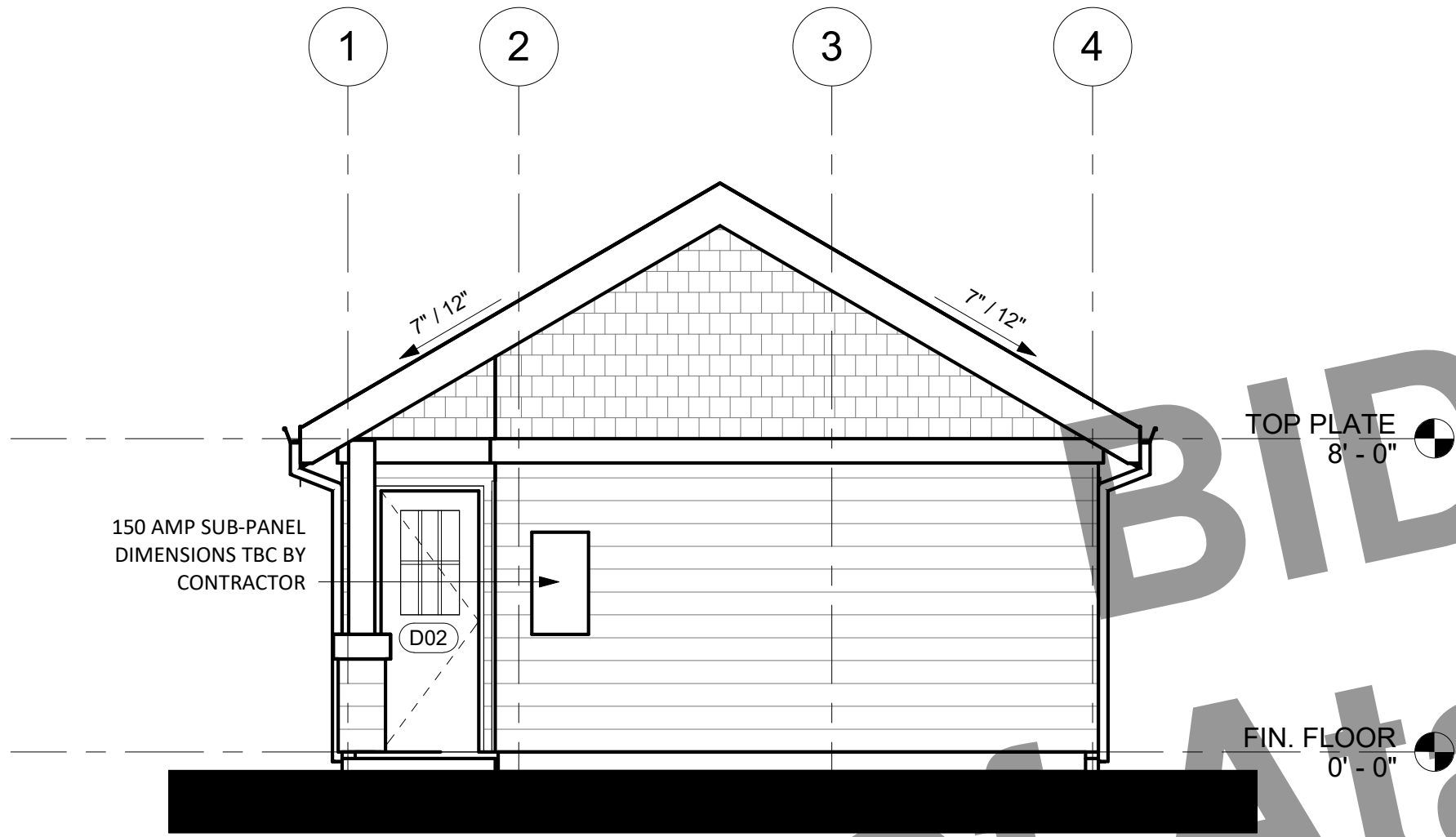
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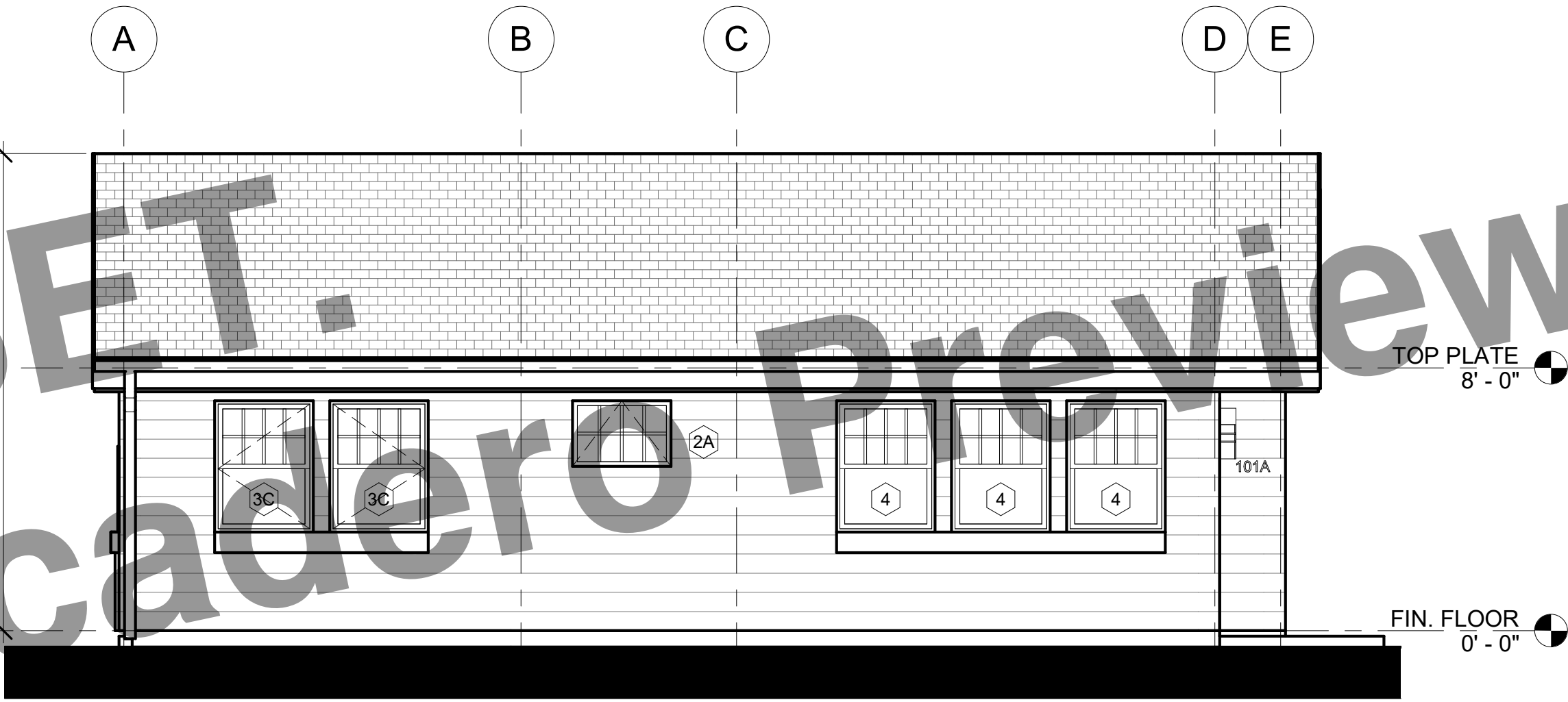
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



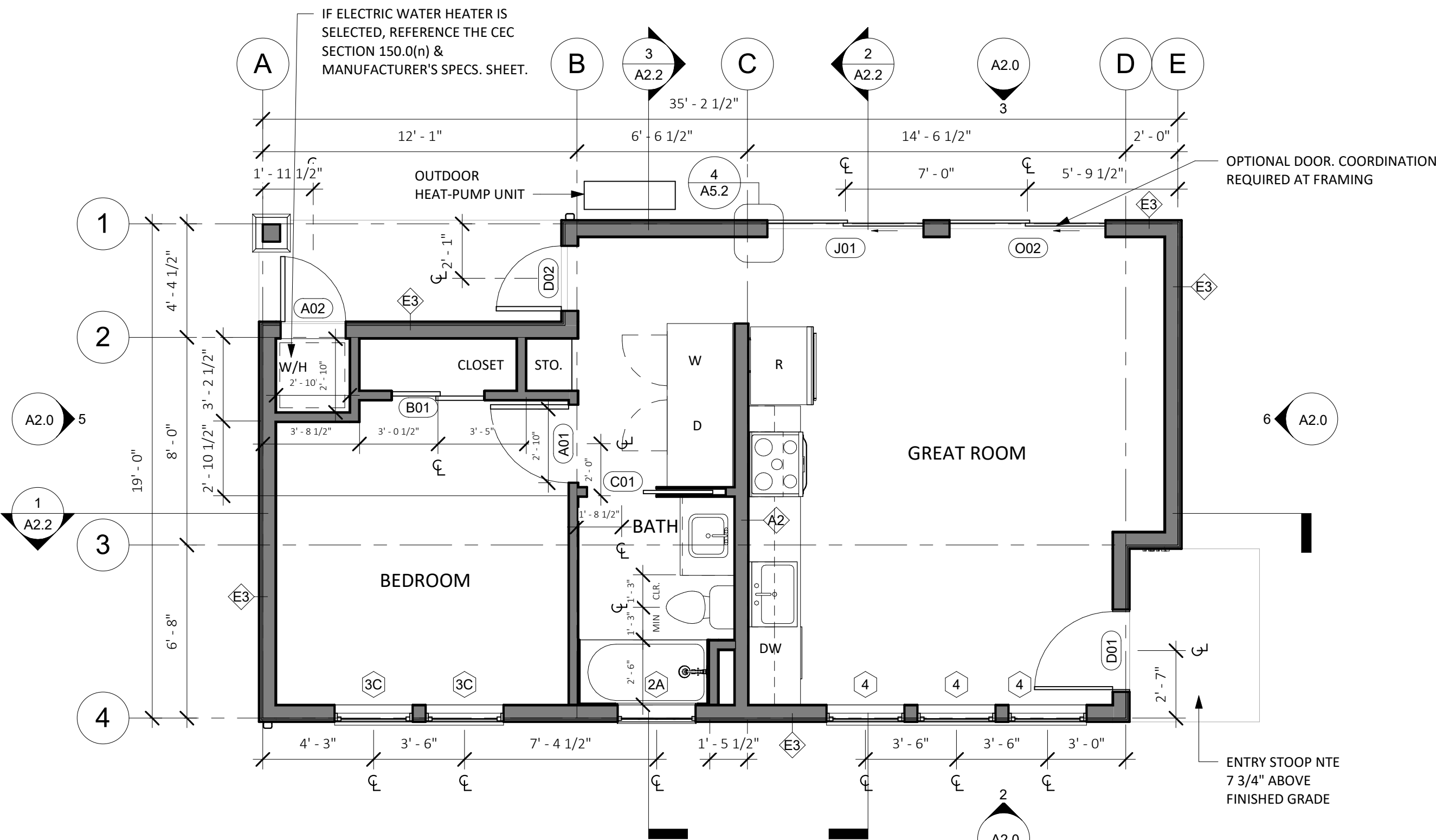
5 LEFT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



2 FRONT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM - BACKYARD CRAFTSMAN  
NO SCALE



1 FLOOR PLAN - ONE BEDROOM  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
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- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

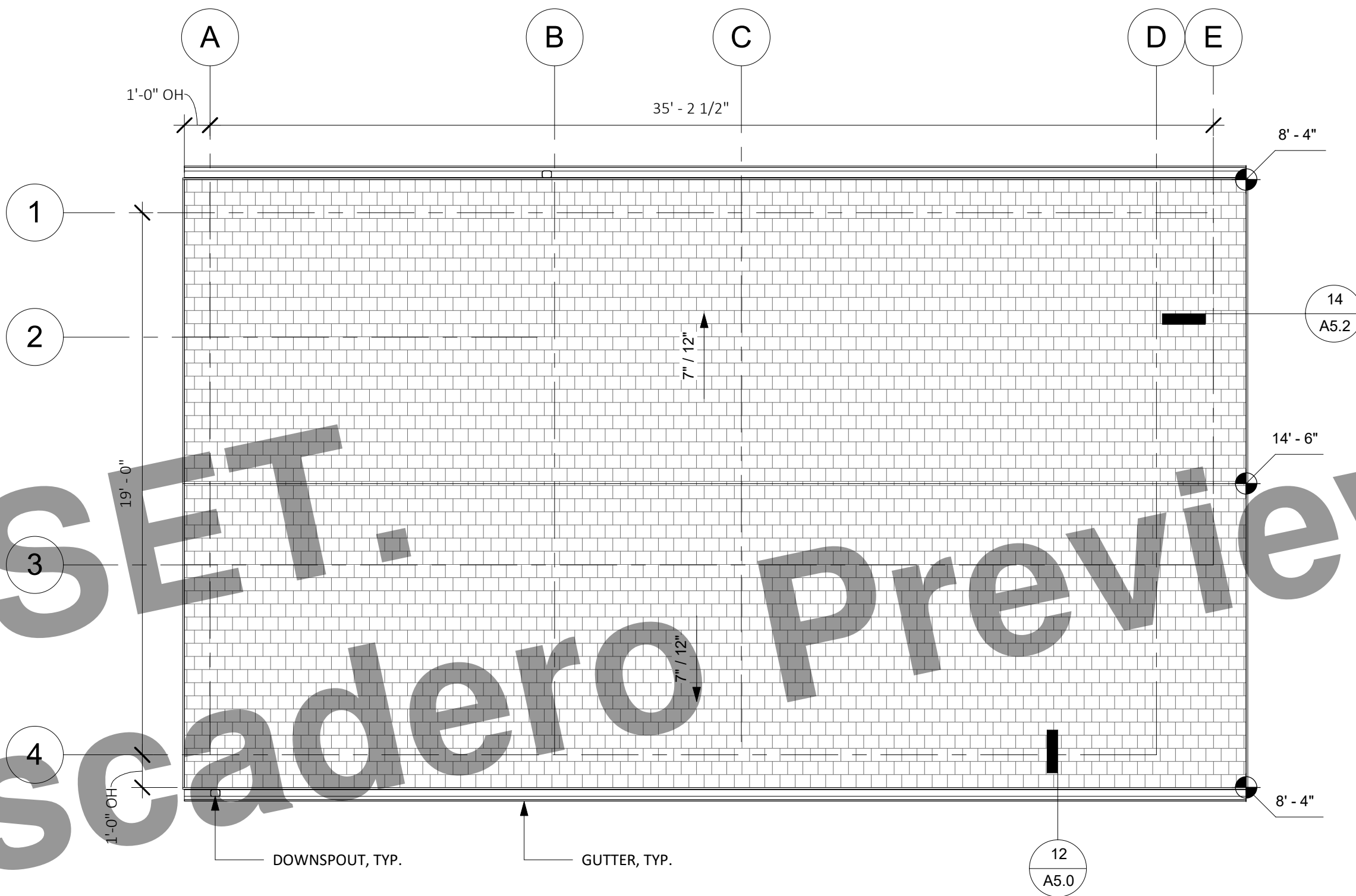
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**CRAFTSMAN -  
FLOORPLANS &  
ELEVATIONS**

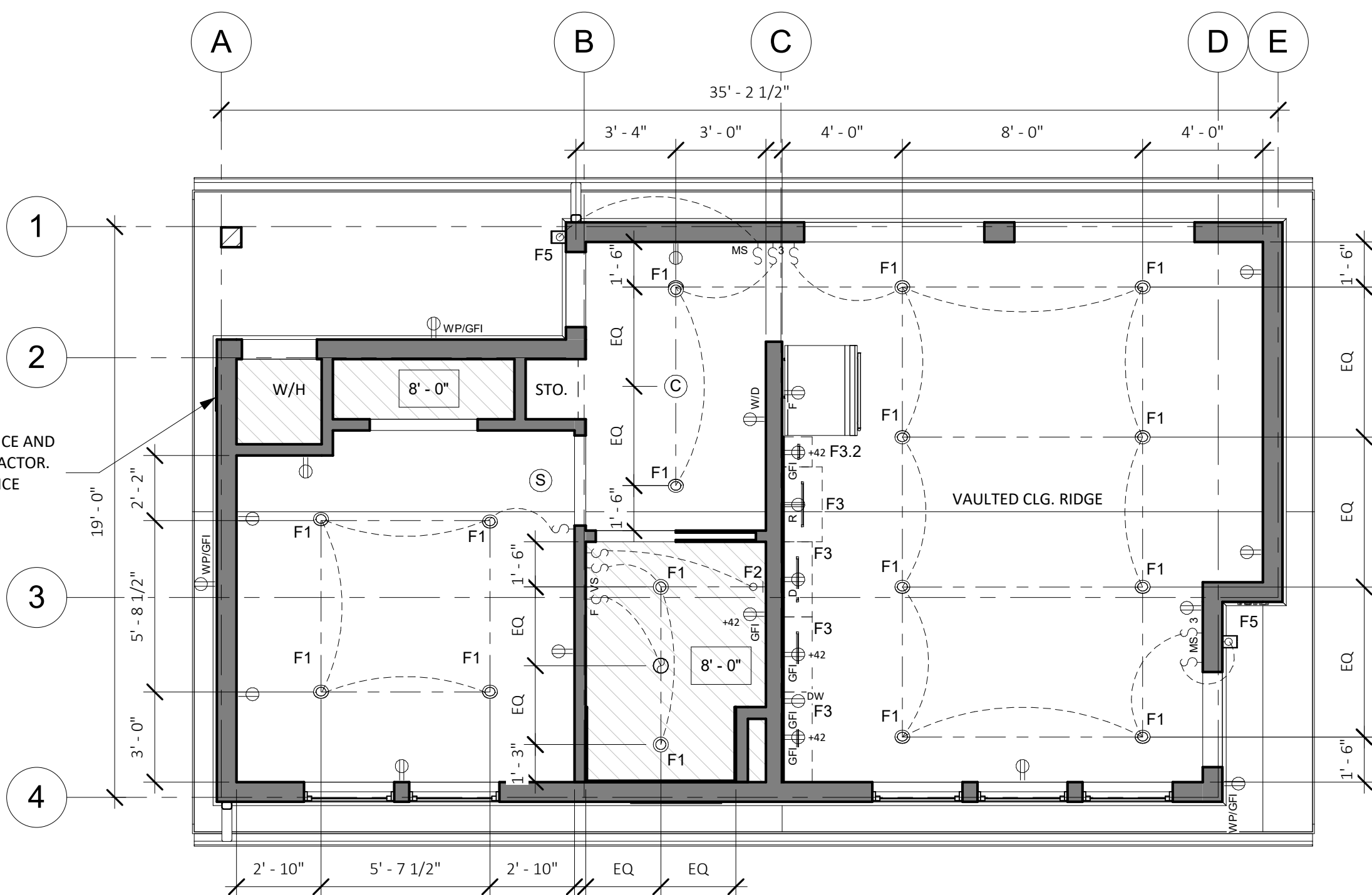
**A2.0**

SCALE: AS NOTED

BID SET.  
City of Atascadero  
Preview



2 ROOF PLAN - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM  
1/4" = 1'-0"

MIN 100 AMP SUBPANEL  
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.  
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

## REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



workbench

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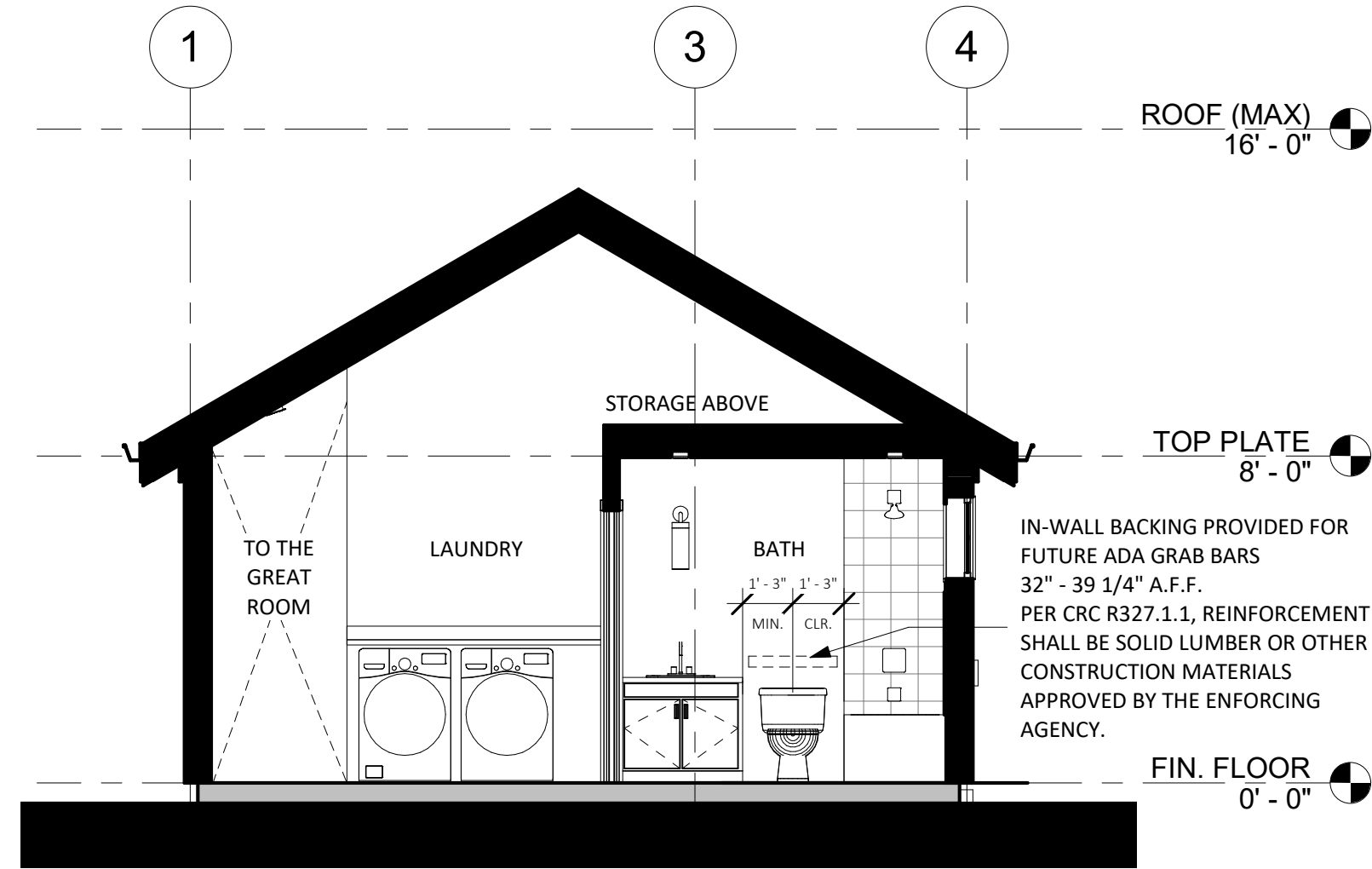
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CRAFTSMAN - ROOF  
PLAN & RCP

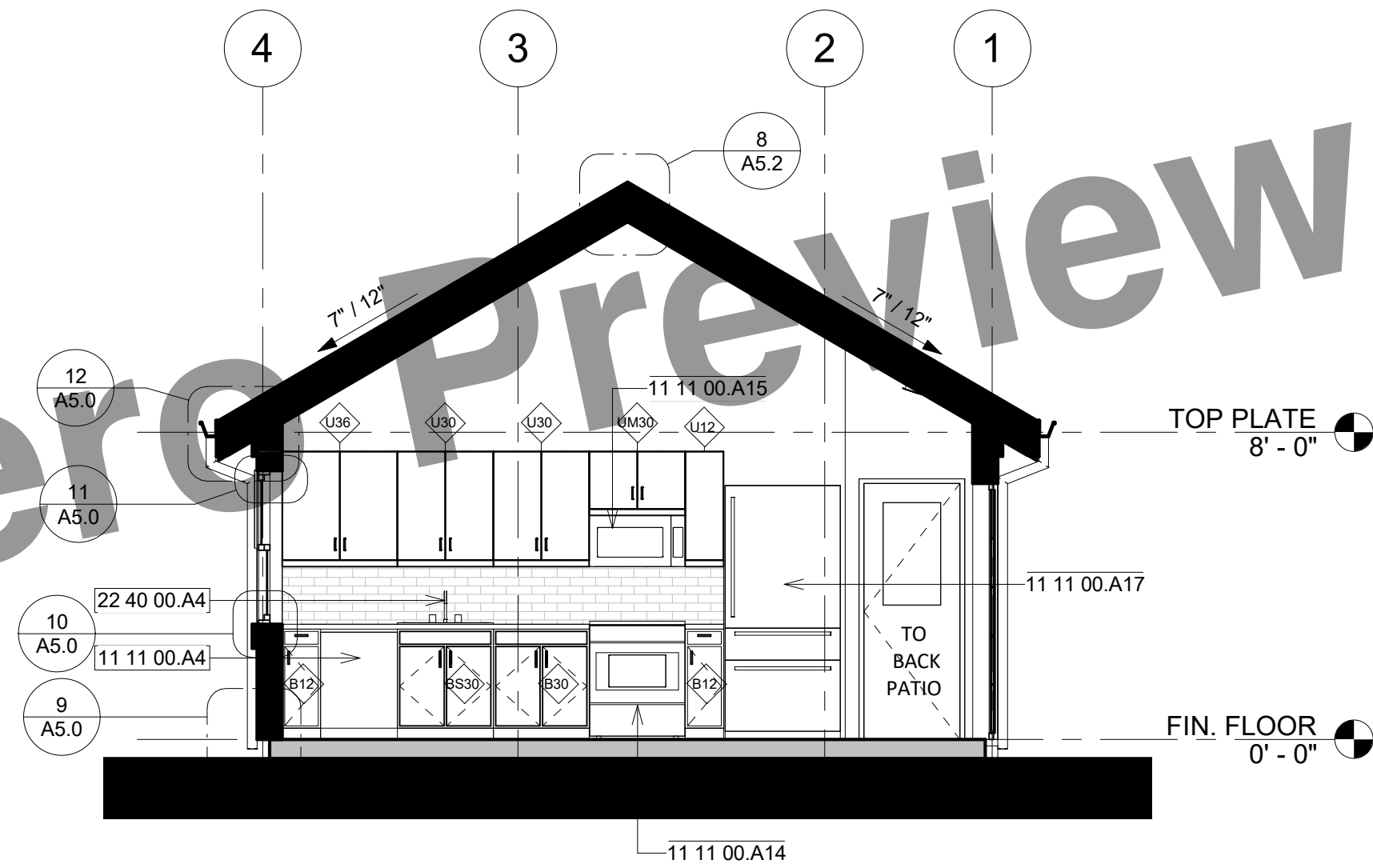
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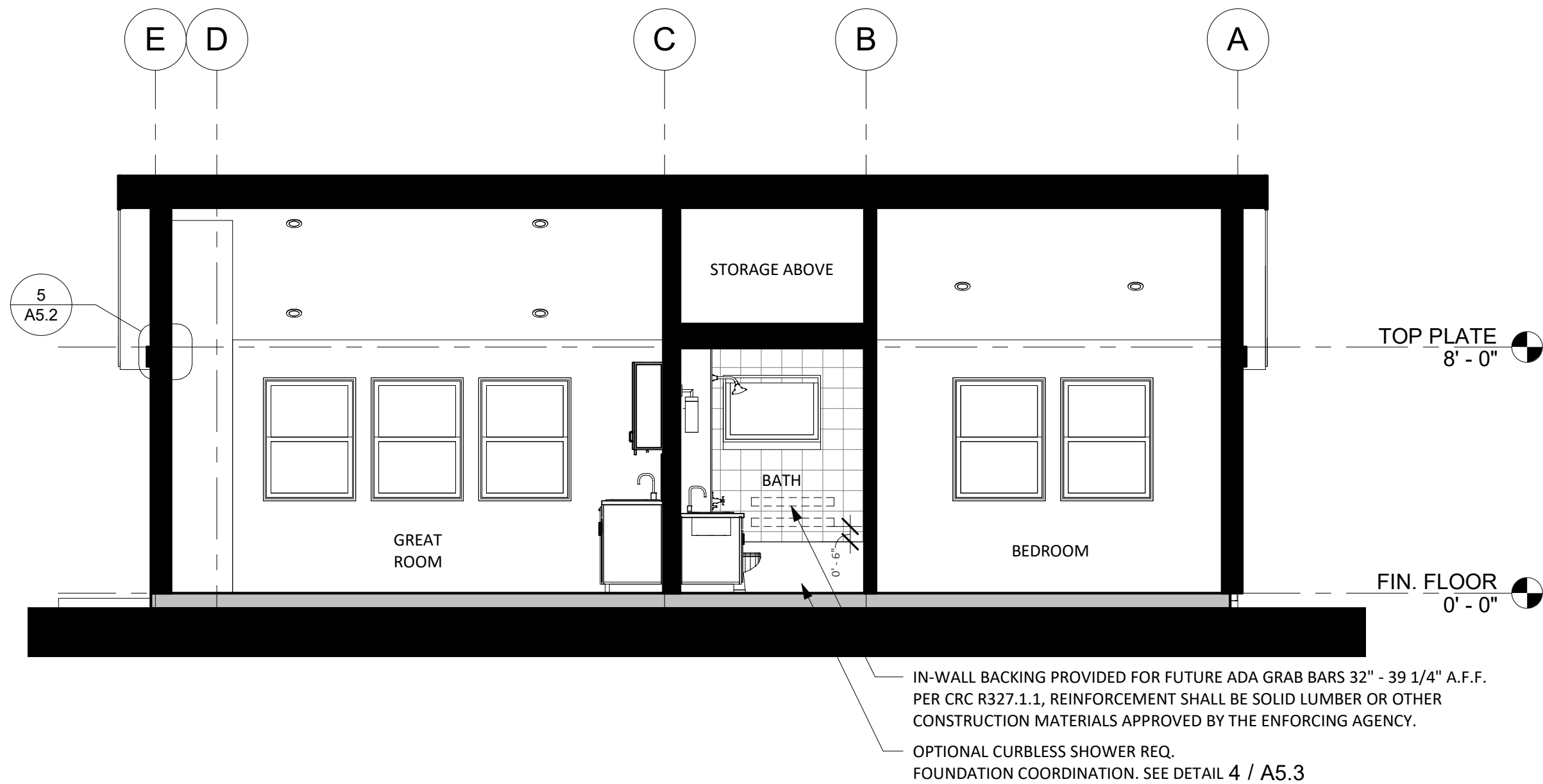
BID SET.  
City of Atascadero



3 SECTION C - BACKYAD CRAFTSMAN  
1/4" = 1'-0"



2 SECTION B - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



1 SECTION A - BACKYARD CRAFTSMAN  
1/4" = 1'-0"

## KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
BS30	30" BASE CABINET - SINK
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## PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
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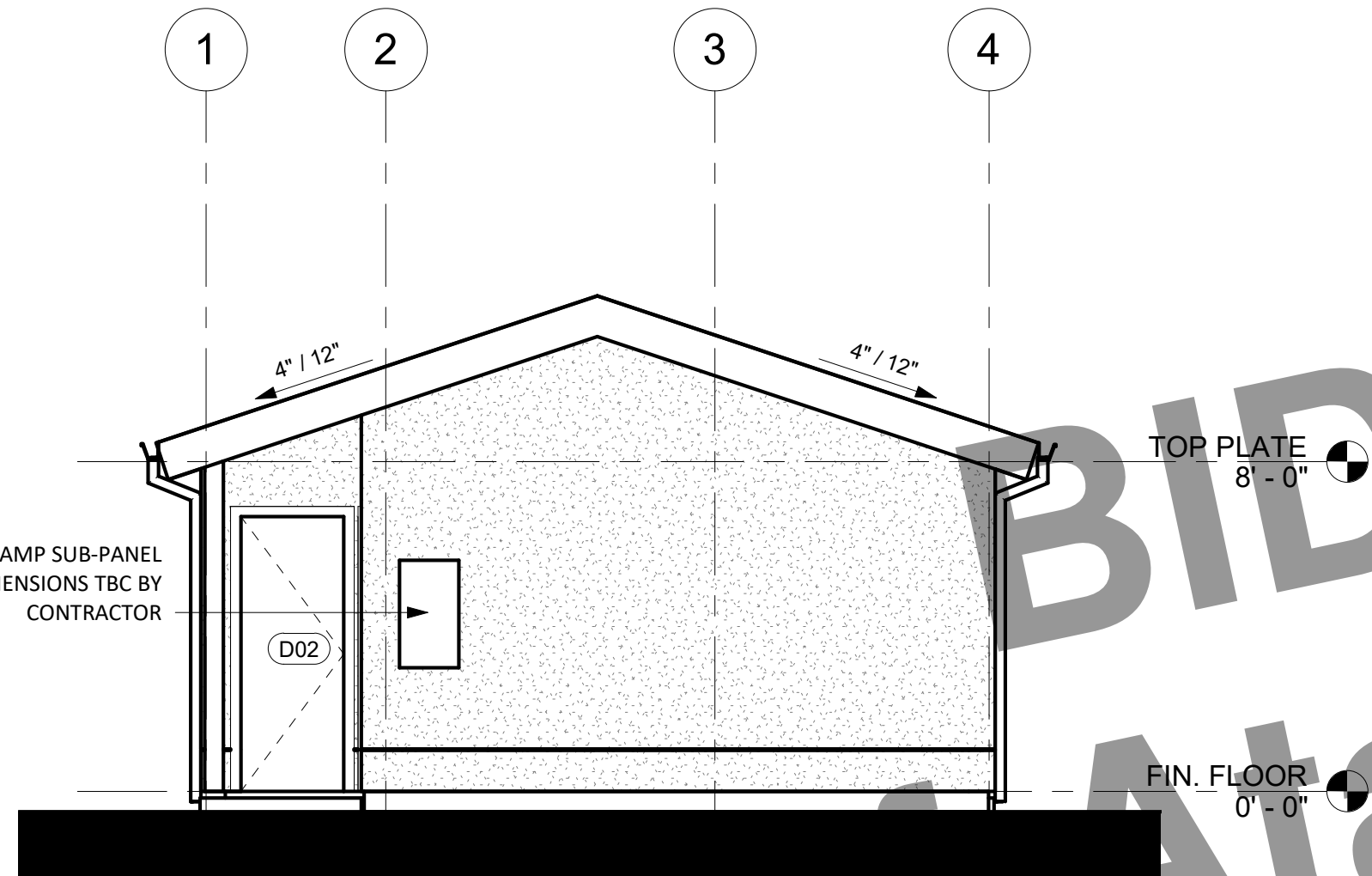
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SECTIONS**

**A2.2**

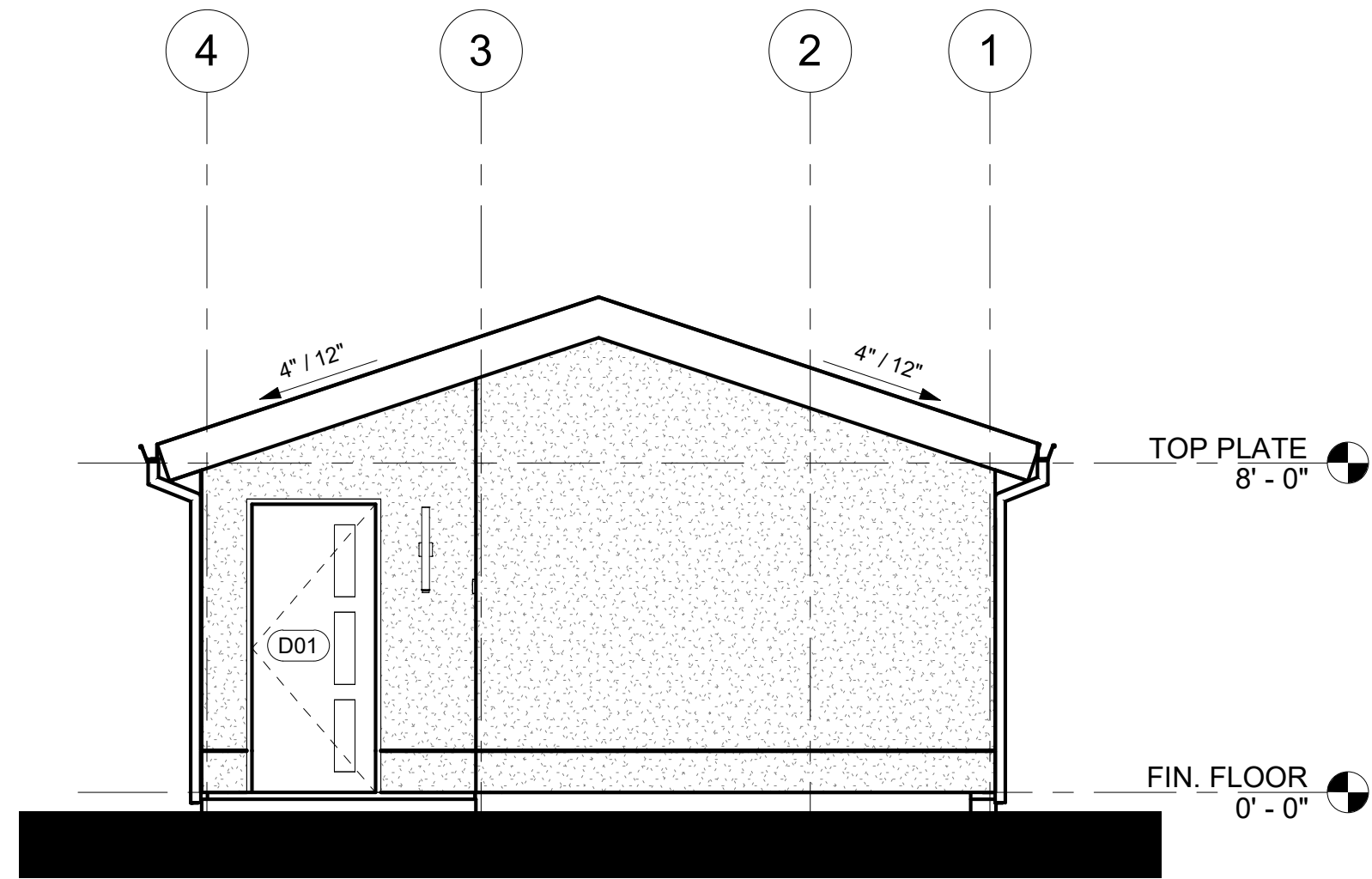
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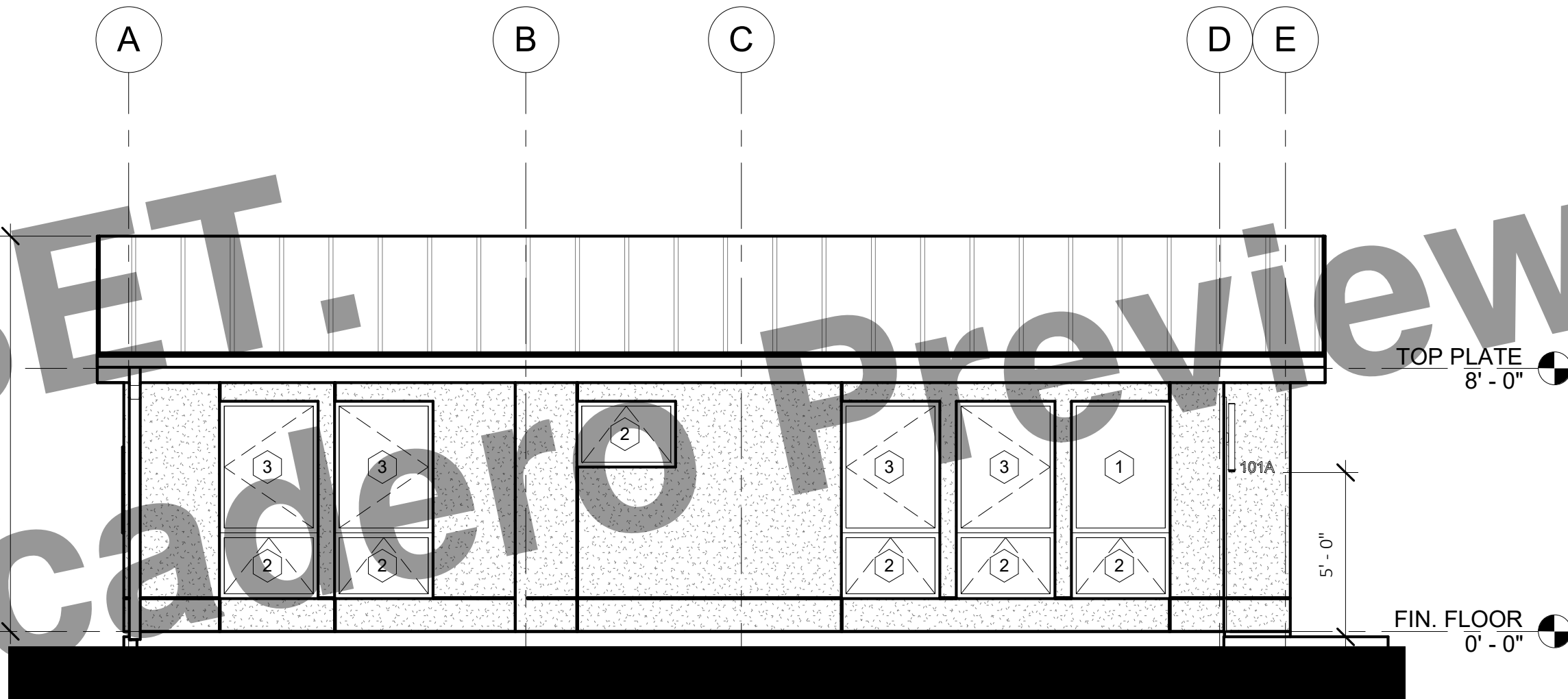
4 FRONT VIEW - ONE BEDROOM - CALIFORNIA MODERN  
NO SCALE



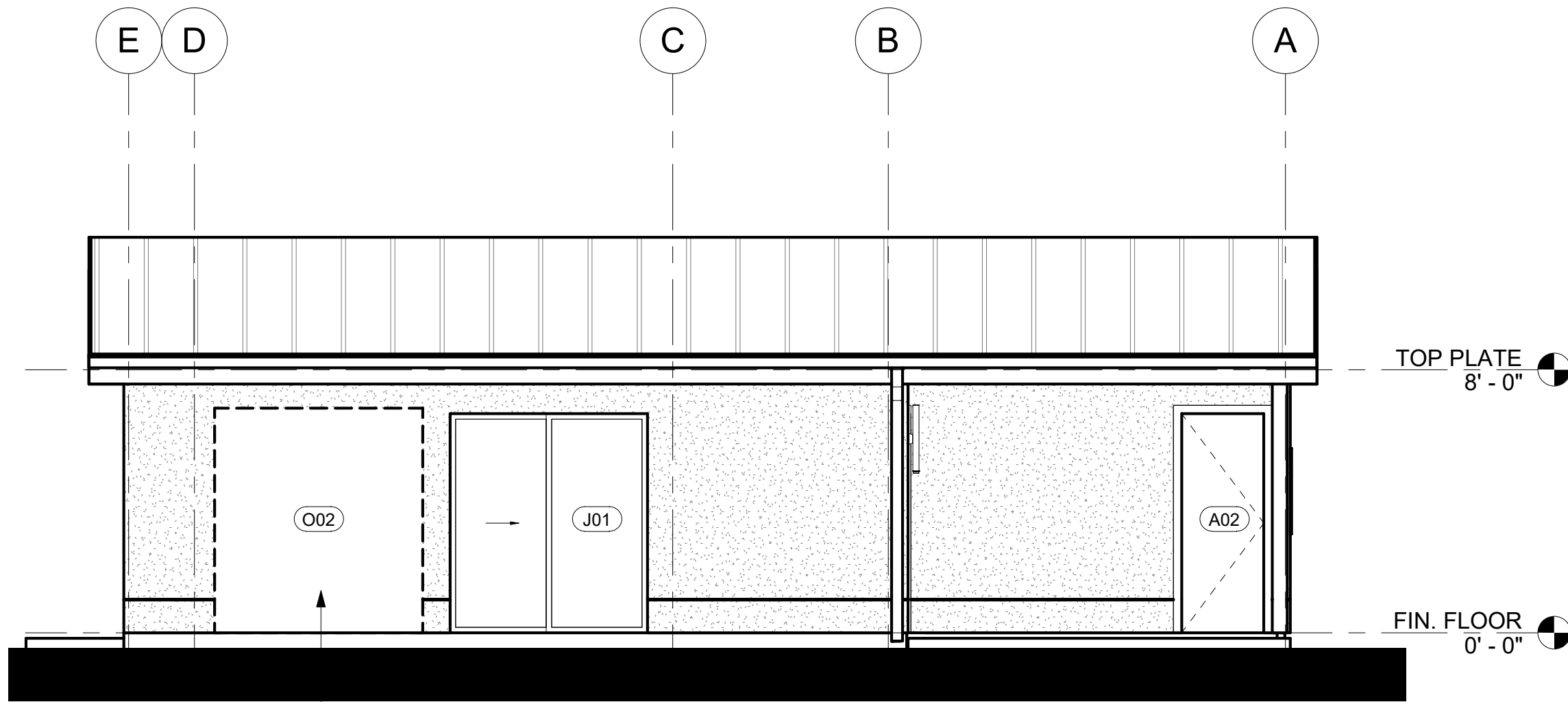
5 LEFT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



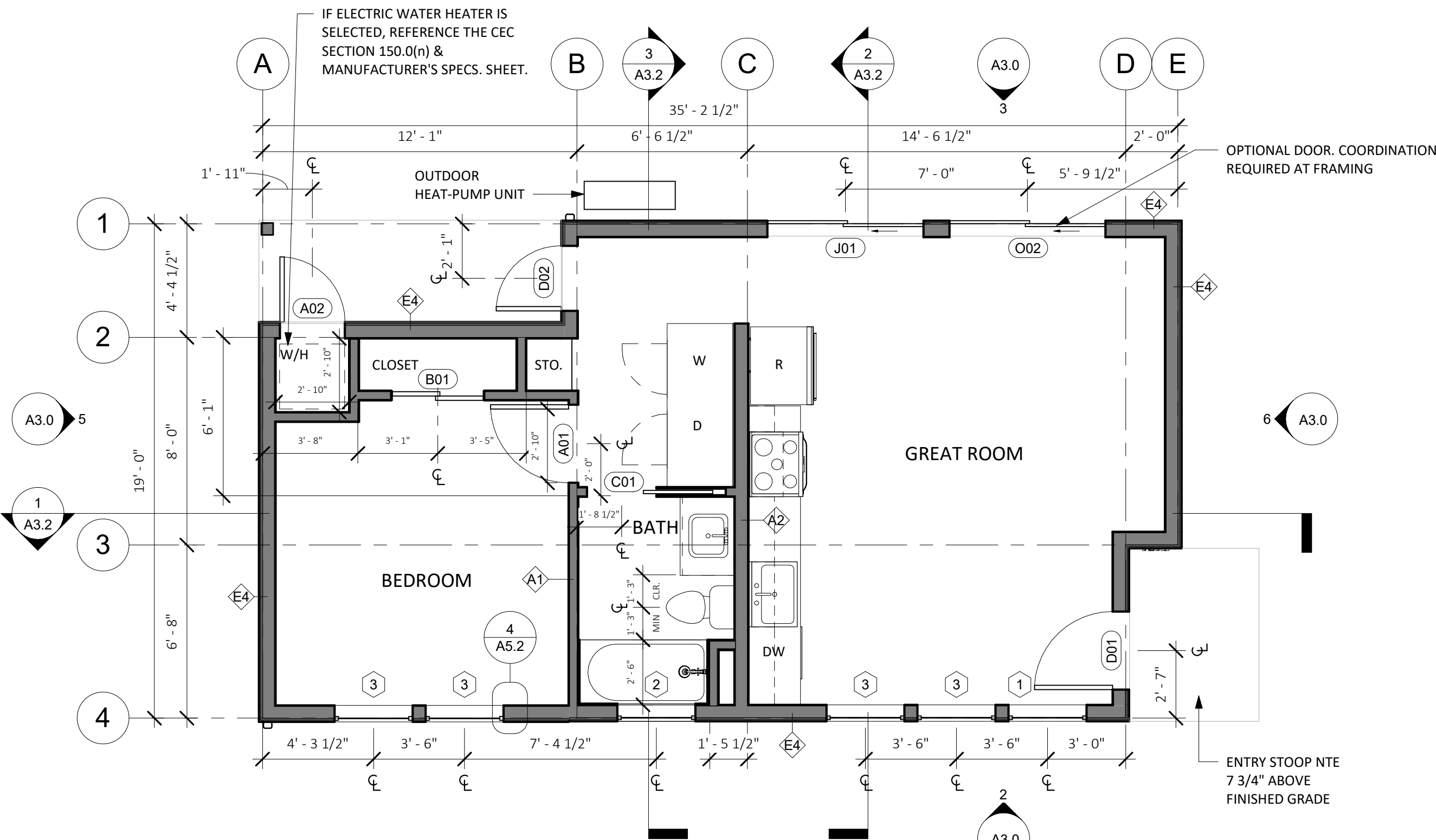
6 RIGHT ELEVATION - CALIFORNIA MODERN  
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1 FLOOR PLAN - ONE BEDROOM  
1/4" = 1'-0"

## FLOORPLAN LEGEND

- (N) PARTITION
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- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

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- SHEET NUMBER
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**CENTRAL COAST  
PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

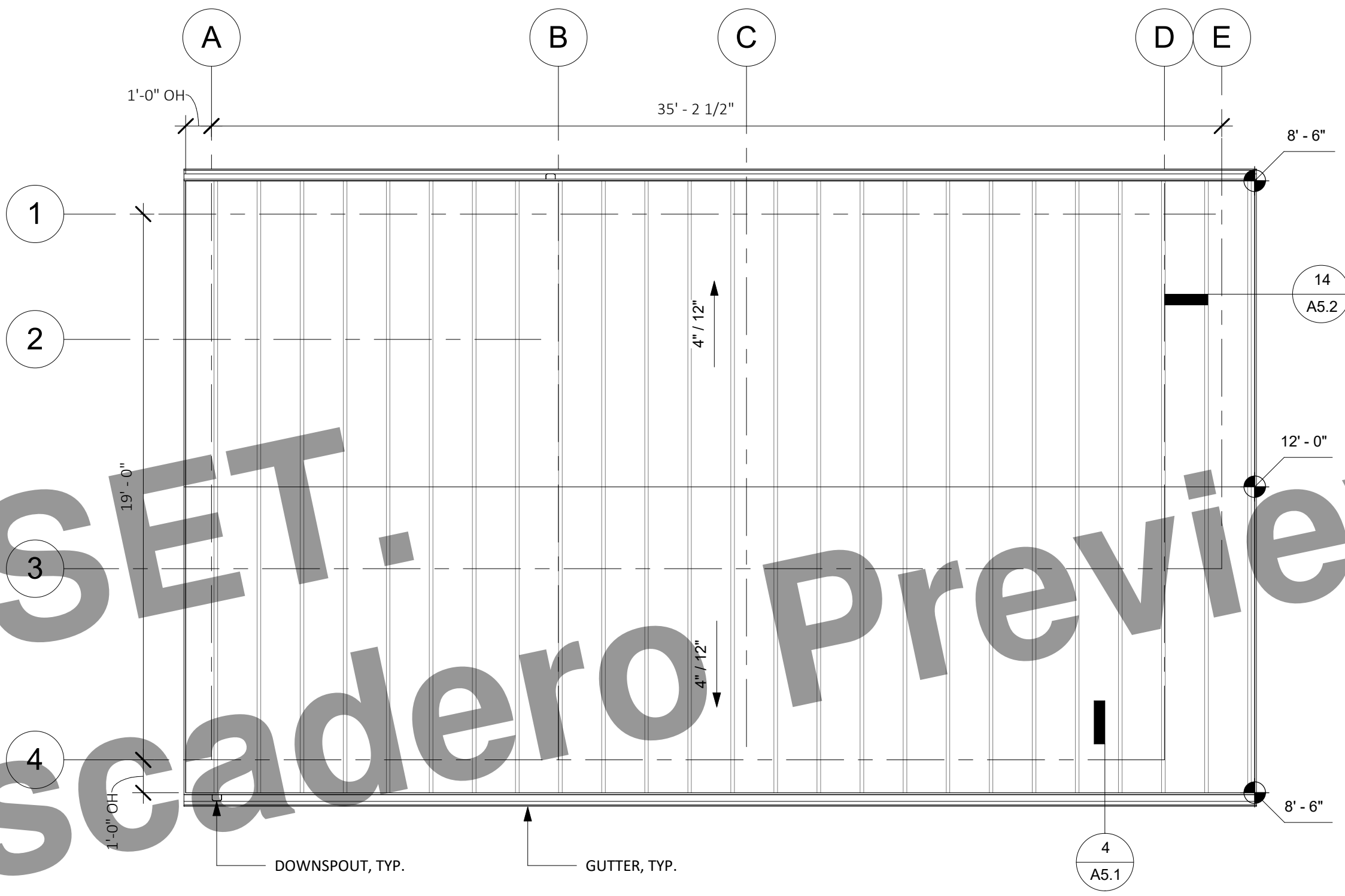
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**MODERN -  
FLOORPLANS &  
ELEVATIONS**

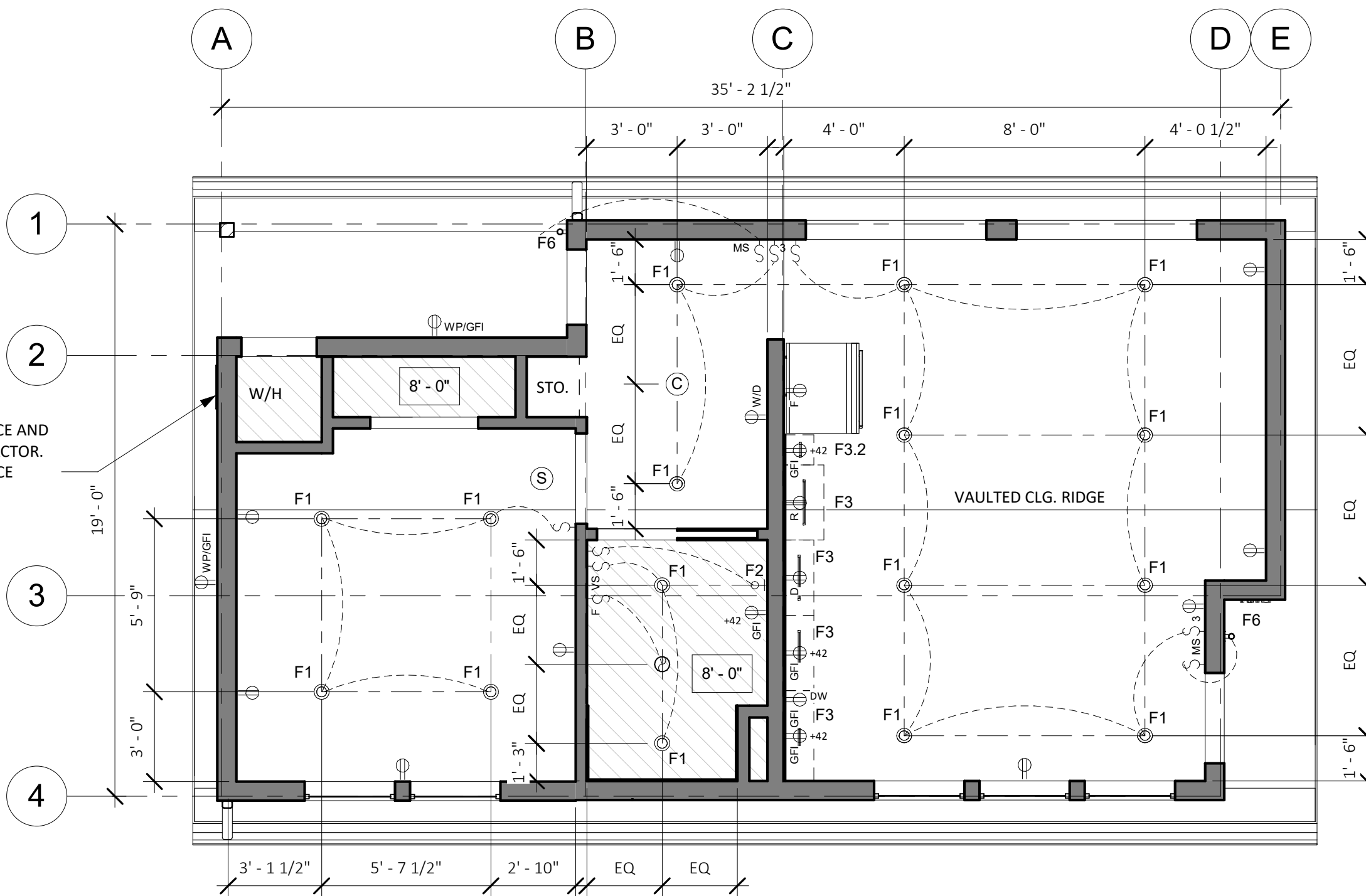
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SCALE: AS NOTED

BID SET.  
City of Atascadero  
Atascadero  
Preview



2 ROOF PLAN - CALIFORNIA MODERN  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM  
1/4" = 1'-0"

MIN 100 AMP SUBPANEL  
1. COORDINATE SITE ELECTRICAL SERVICE AND  
PANEL SPLIT WITH GENERAL CONTRACTOR.  
2. VERIFY MINIMUM ELECTRICAL SERVICE  
REQUIREMENTS FOR ADU PRIOR TO  
CONSTRUCTION.

## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

## ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

## REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

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4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI's FOR PROTECTION FOR PERSONNEL



workbench

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/ARCHITECT**

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PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

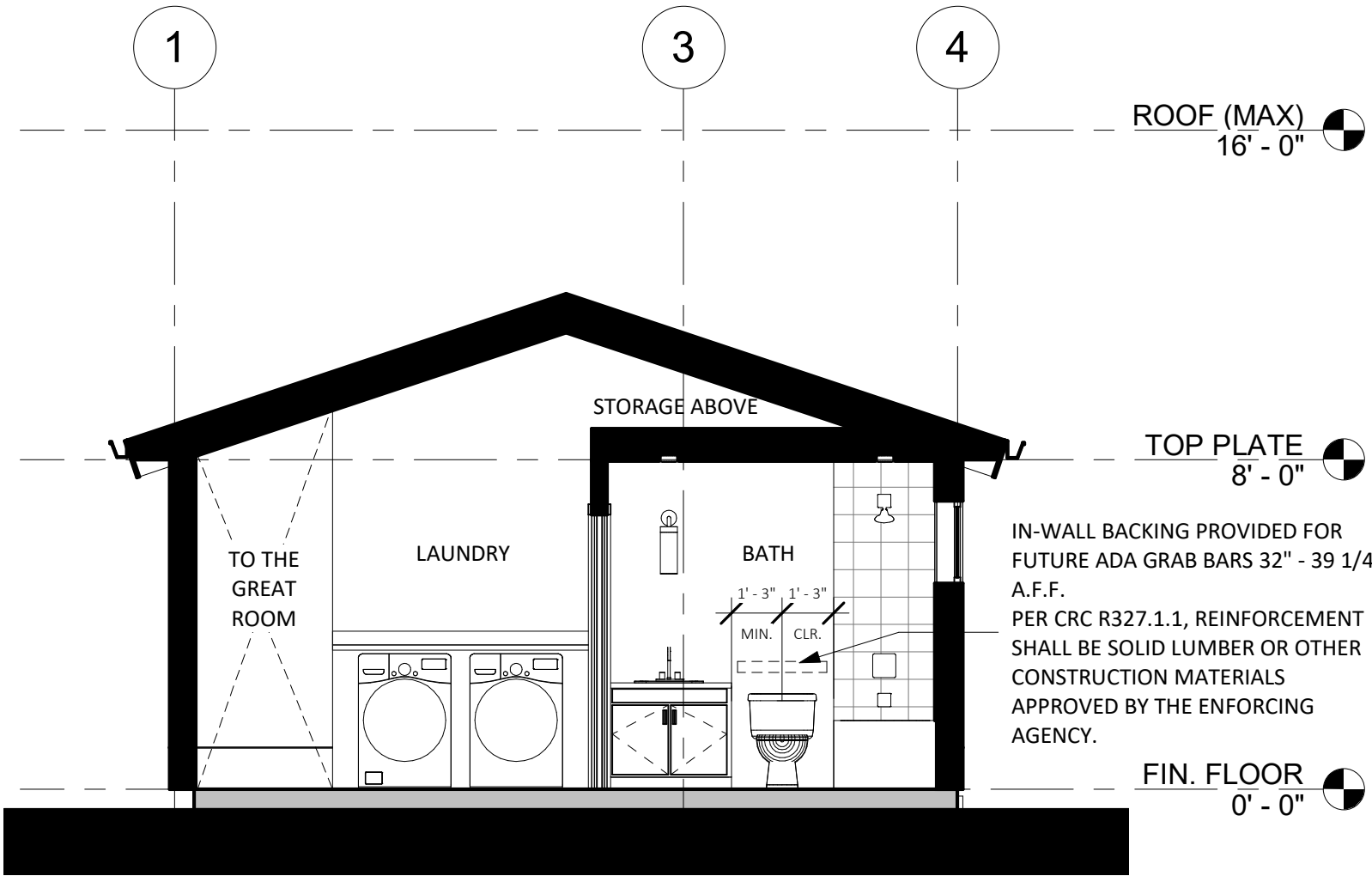
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**MODERN - ROOF  
PLAN & RCP**

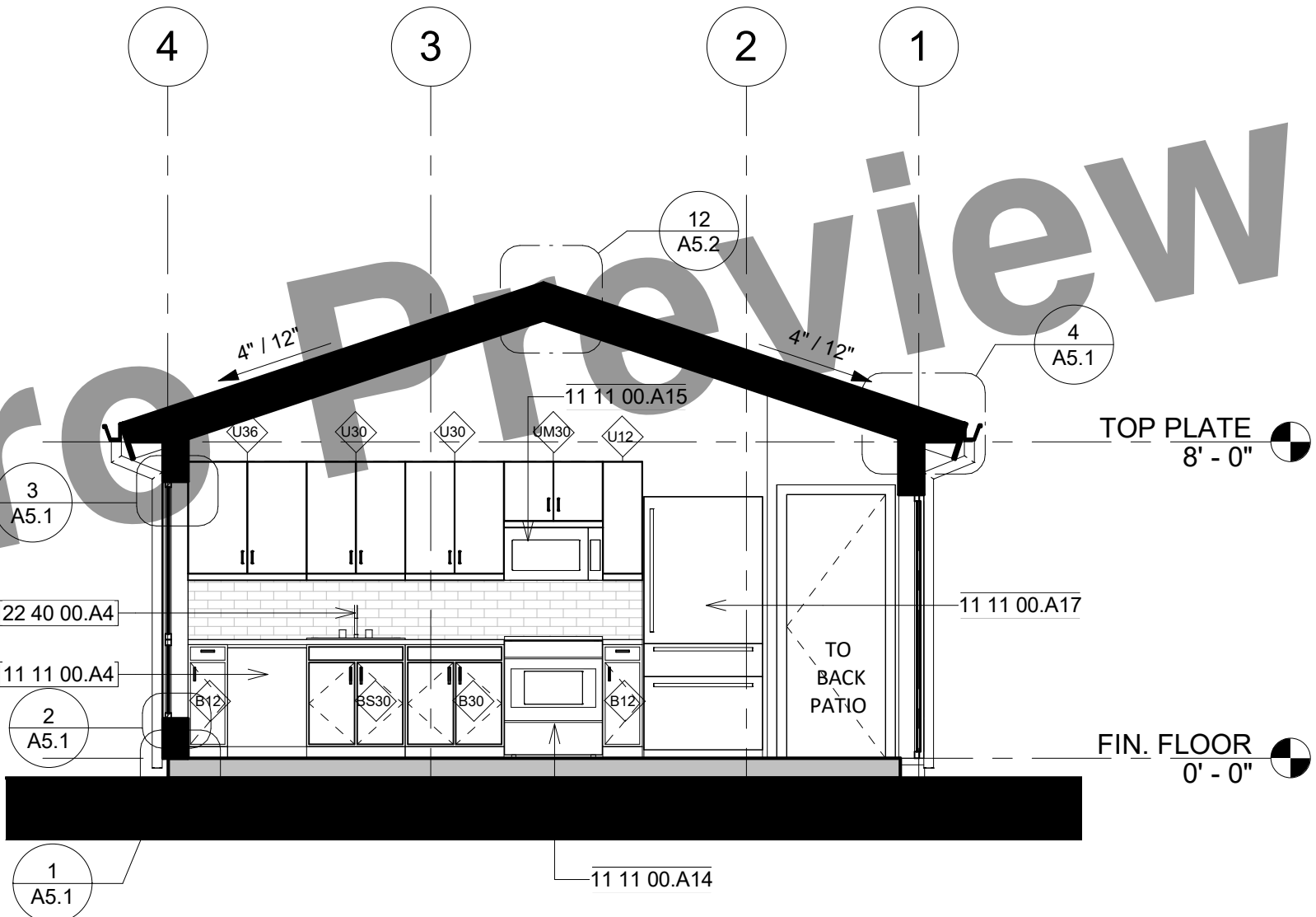
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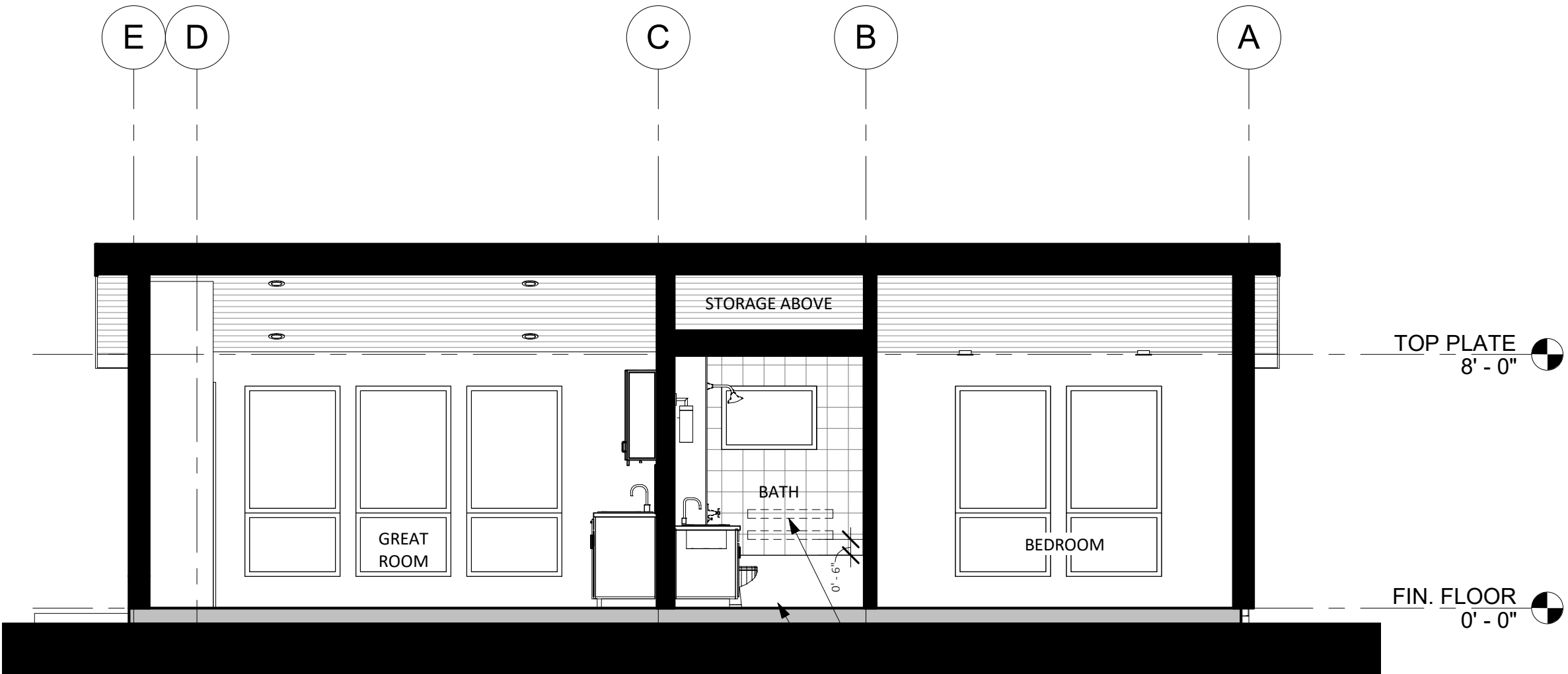
BID SET.  
City of Atascadero



③ SECTION C - CALIFORNIA MODERN  
1/4" = 1'-0"



② SECTION B - CALIFORNIA MODERN  
1/4" = 1'-0"



① SECTION A - CALIFORNIA MODERN  
1/4" = 1'-0"

## KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
BS30	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

## APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

## PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



workbench

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PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

MODERN - SECTIONS

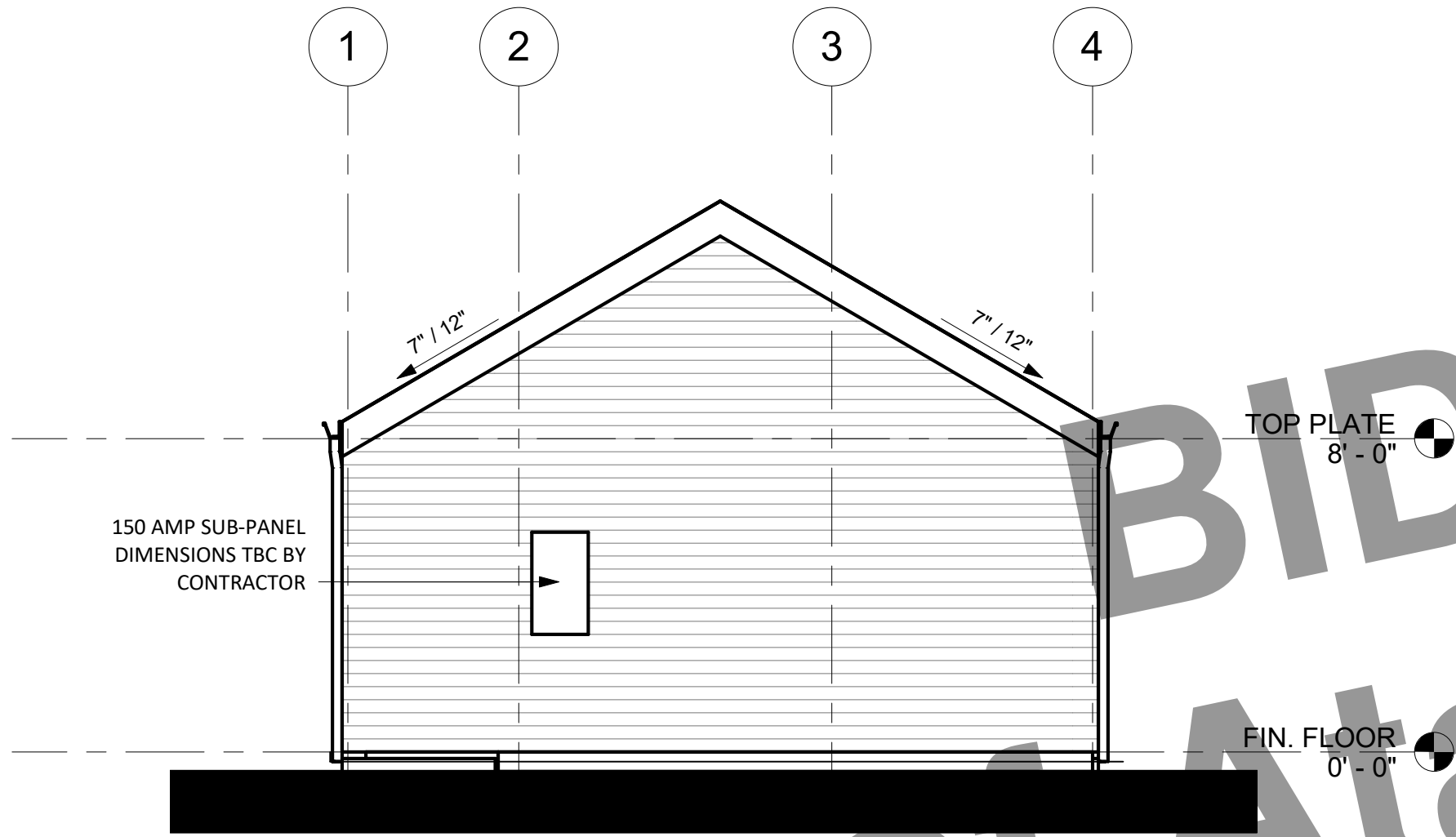
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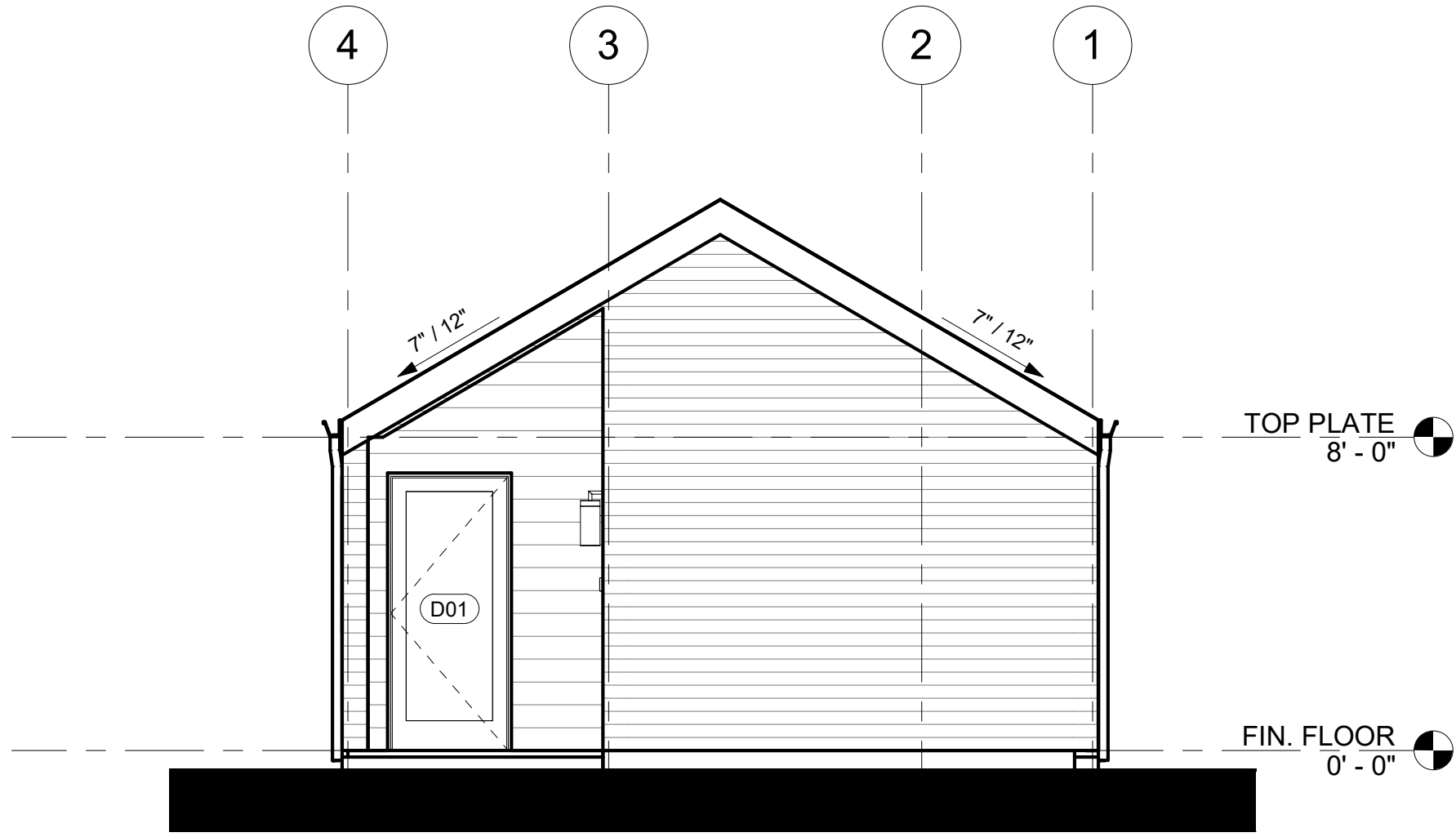
4 FRONT VIEW - ONE BEDROOM - BEACH BUNGALOW  
NO SCALE



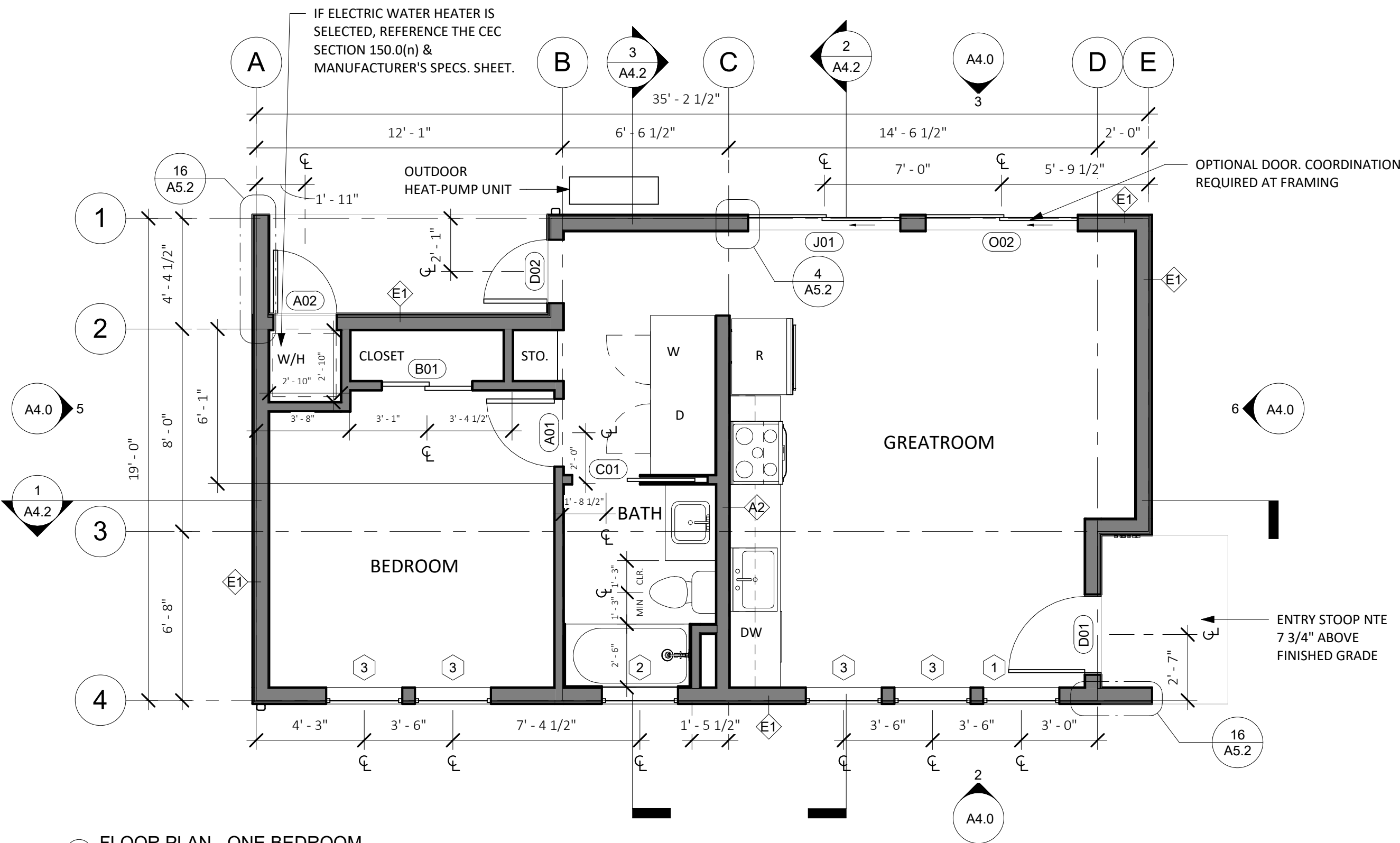
5 LEFT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



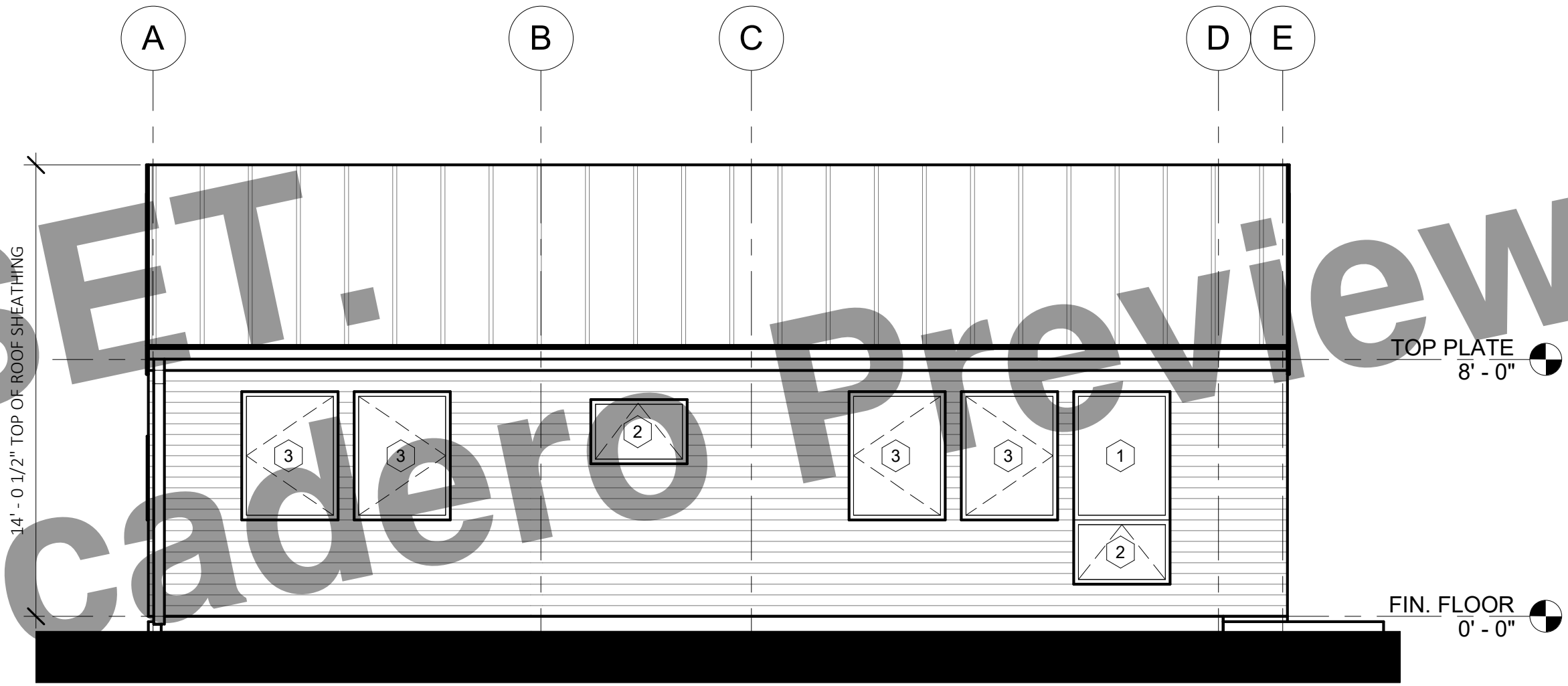
6 RIGHT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



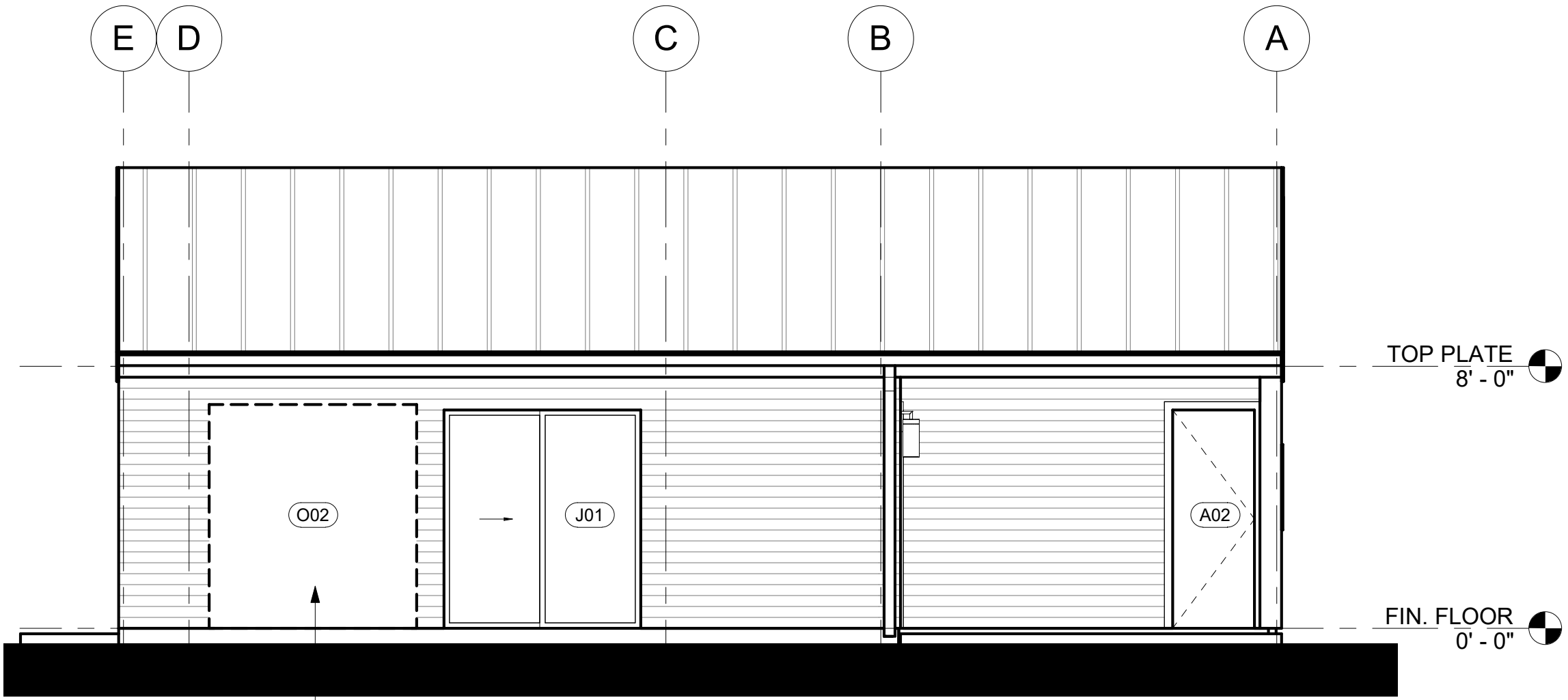
1 FLOOR PLAN - ONE BEDROOM  
1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



## FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

## GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

## FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

## ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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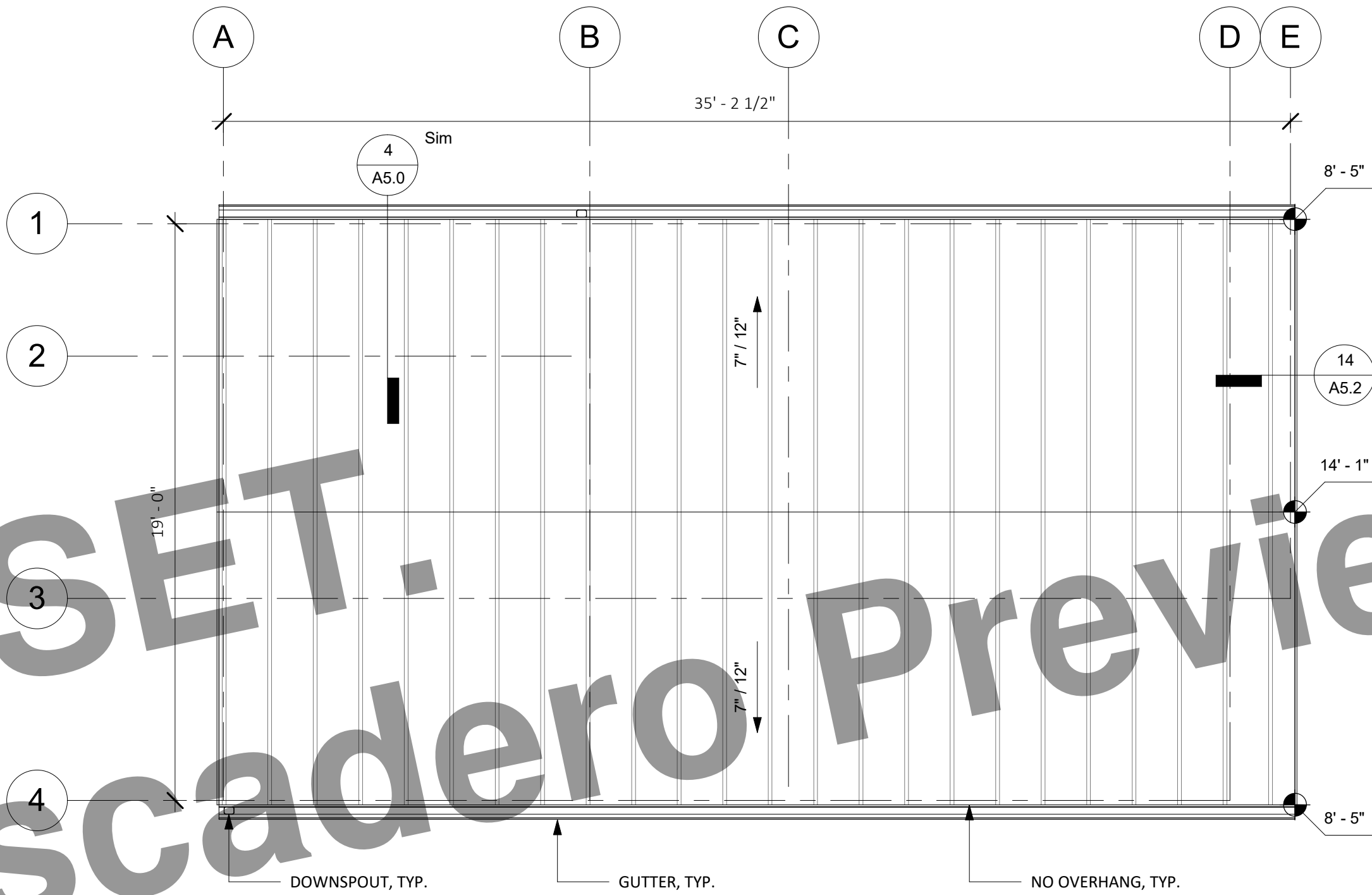
**CENTRAL COAST  
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BUNGALOW -  
FLOORPLANS &  
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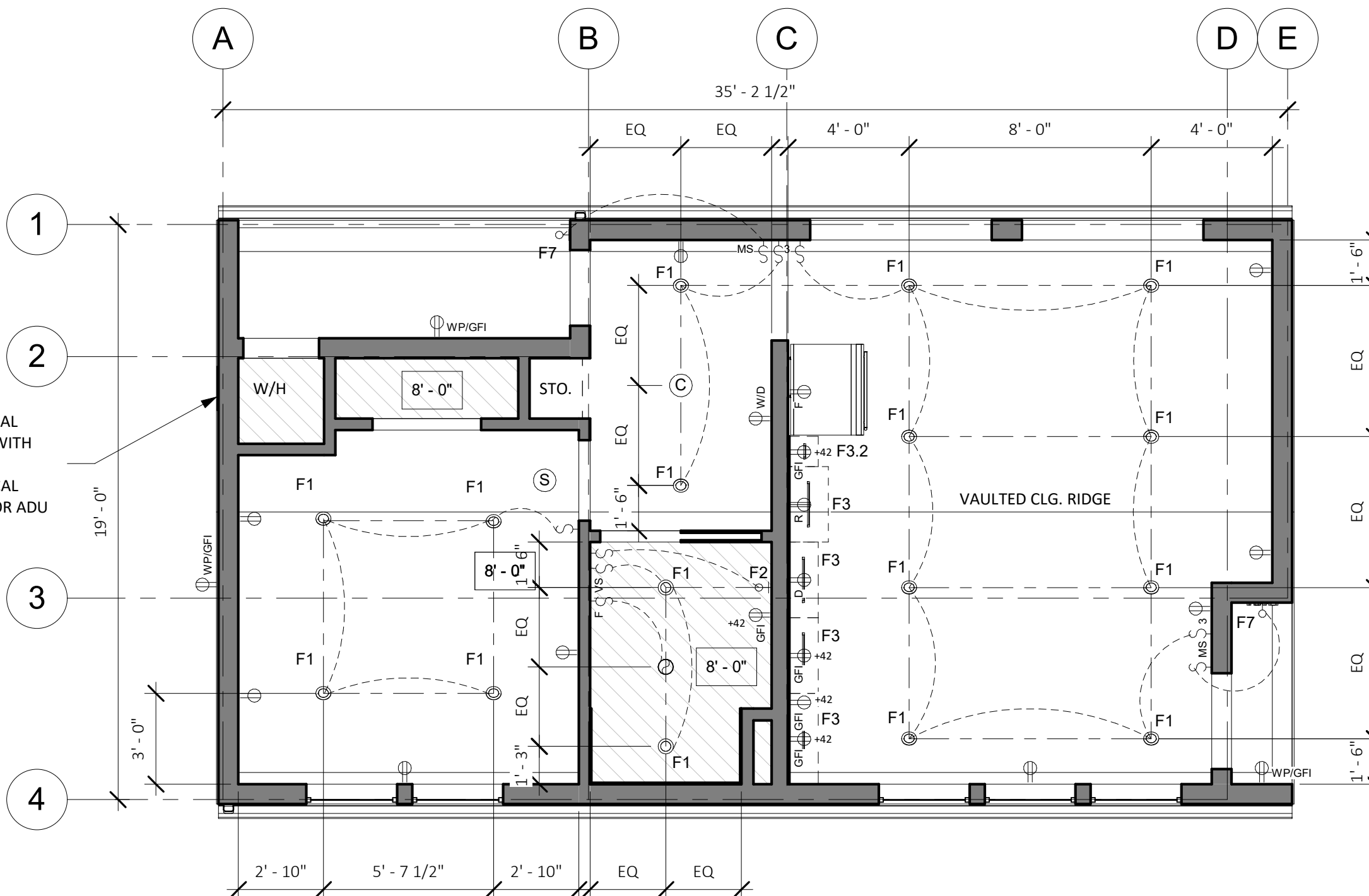
**A4.0**

SCALE: AS NOTED

BID SET.  
City of Atascadero



2 ROOF PLAN - BEACH BUNGALOW  
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM  
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- MIN 100 AMP SUBPANEL
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workbench

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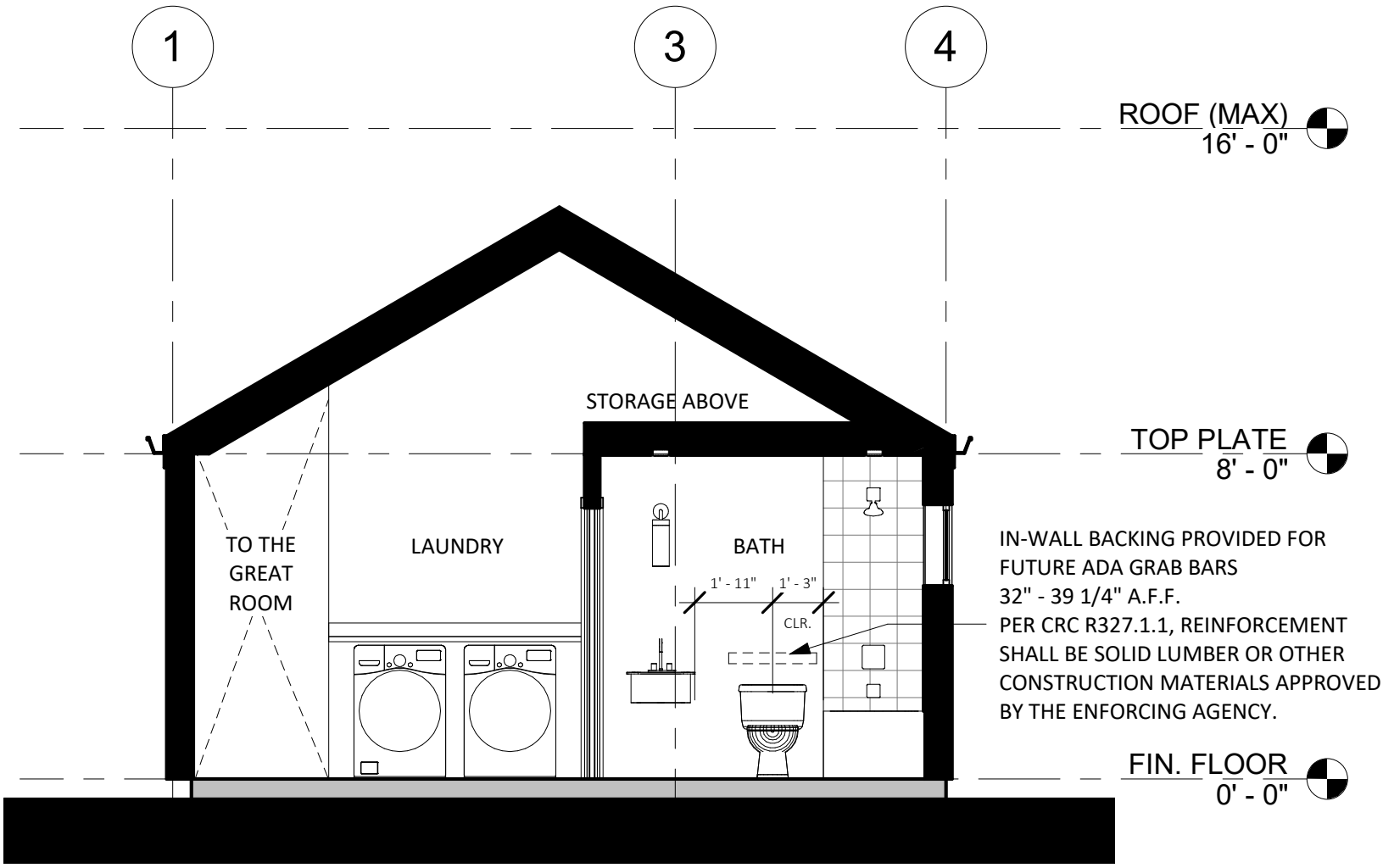
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BUNGALOW - ROOF  
PLAN & RCP

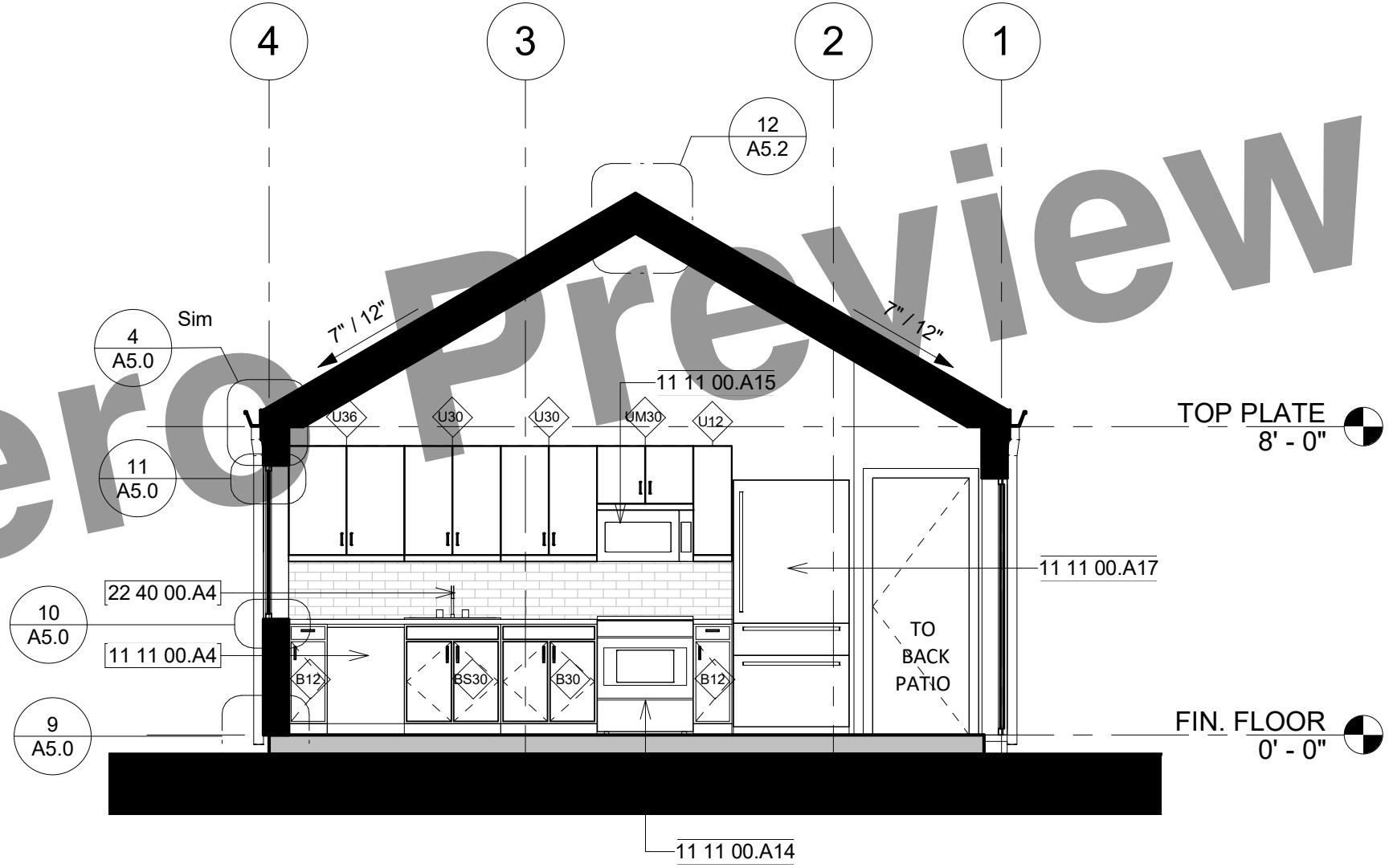
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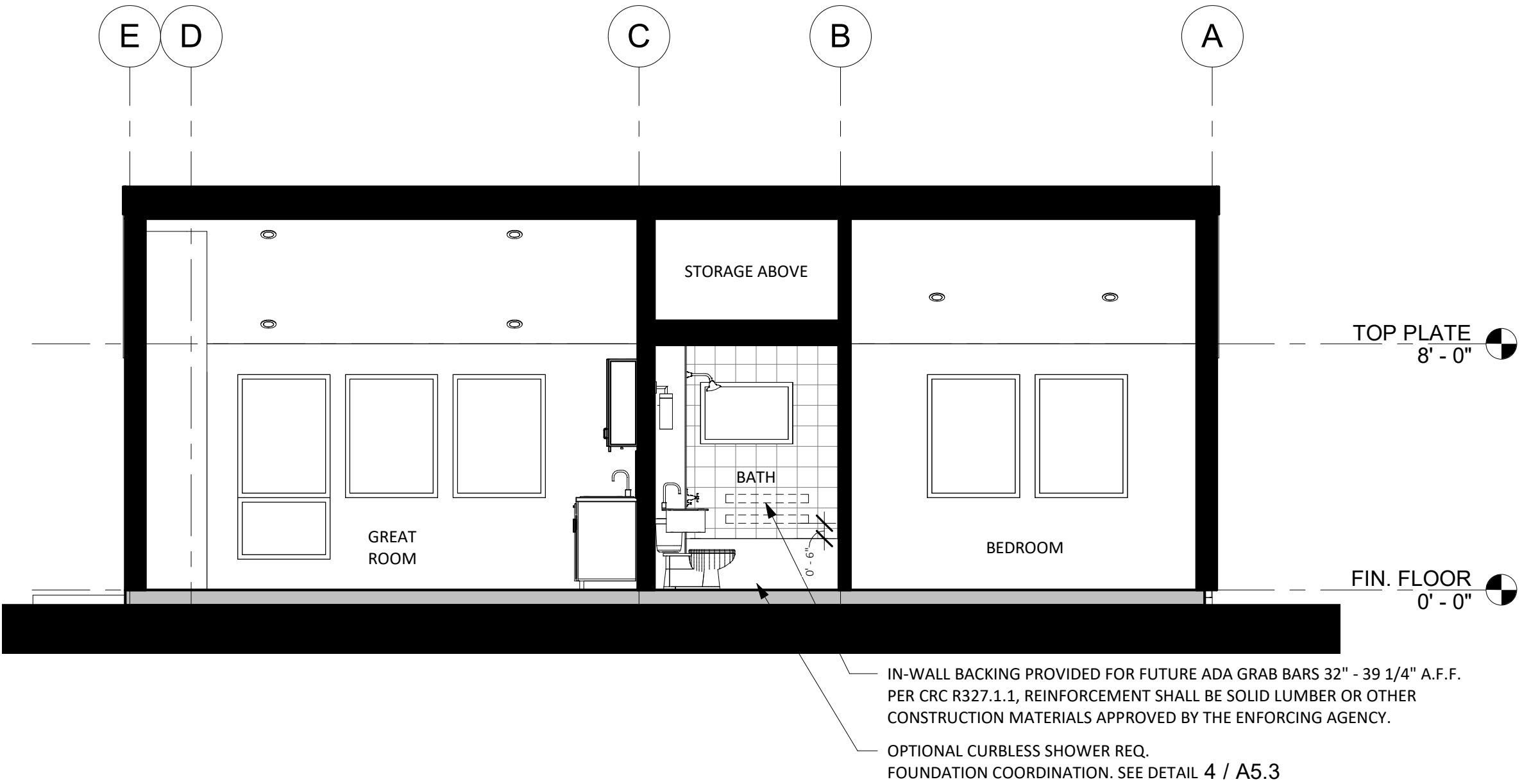
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City of Atascadero



SECTION C - COASTAL BUNGALOW  
1/4" = 1'-0"



SECTION B - BEACH BUNGALOW  
1/4" = 1'-0"



SECTION A - BEACH BUNGALOW  
1/4" = 1'-0"

## KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
BS30	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

### APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

### PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



workbench

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

**CENTRAL COAST  
PRE-DESIGNED ADU**  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

**BUNGALOW -  
SECTIONS**

**A4.2**

SCALE: AS NOTED



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SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

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# CENTRAL COAST PRE-DESIGNED ADU

ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

## EXTERIOR WALL ASSEMBLY DETAILS

# A5.0

SCALE: AS NOTED

## DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

## WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

### VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

## PERFORMANCE NOTES

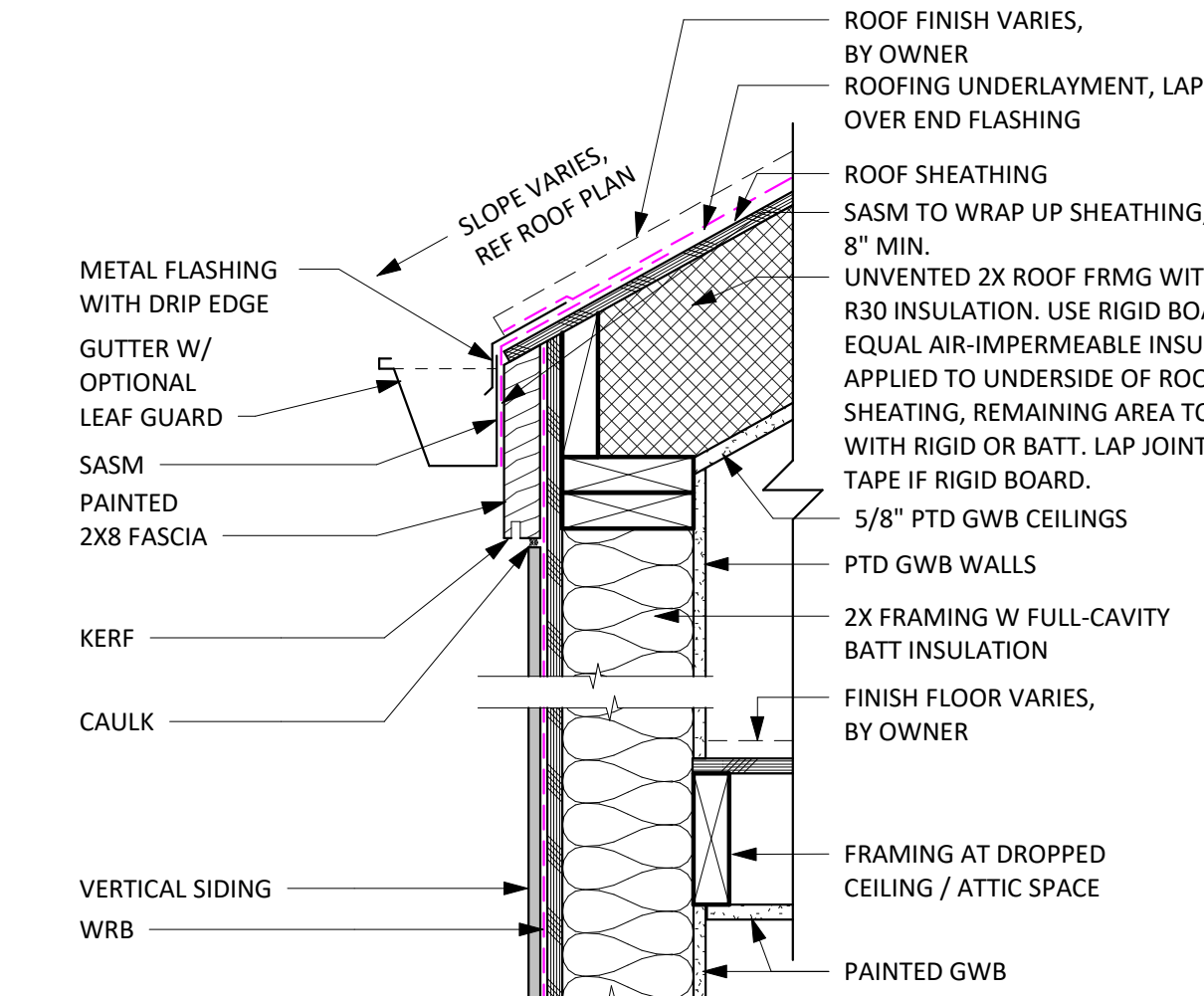
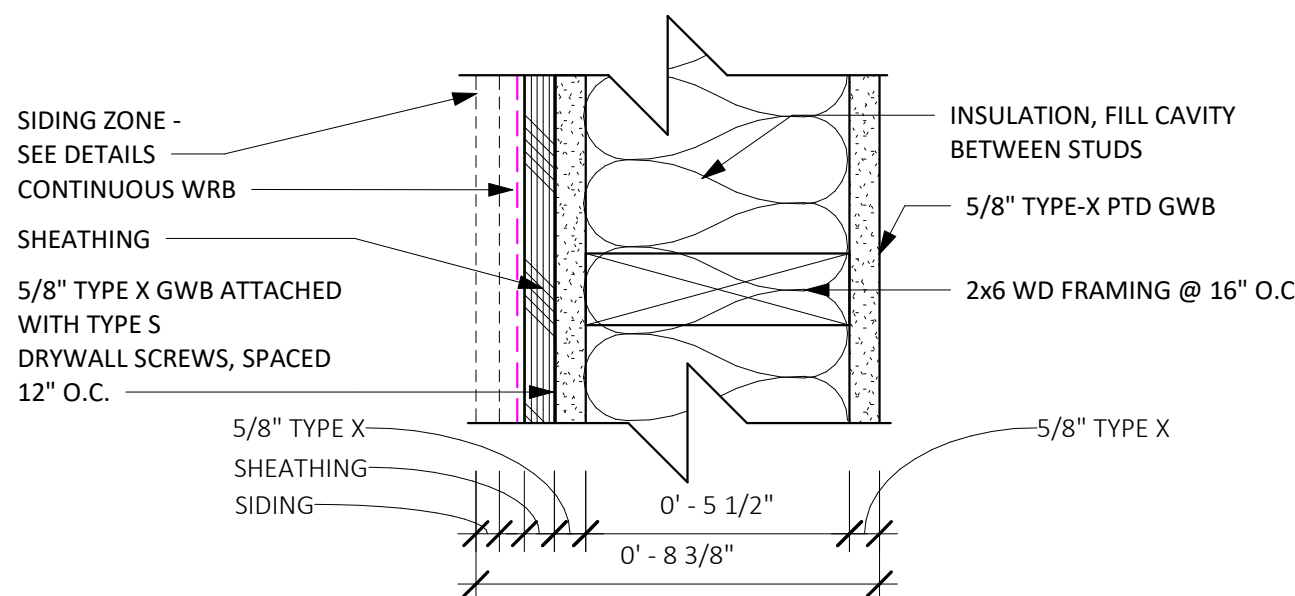
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, SHGC, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATINGS OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

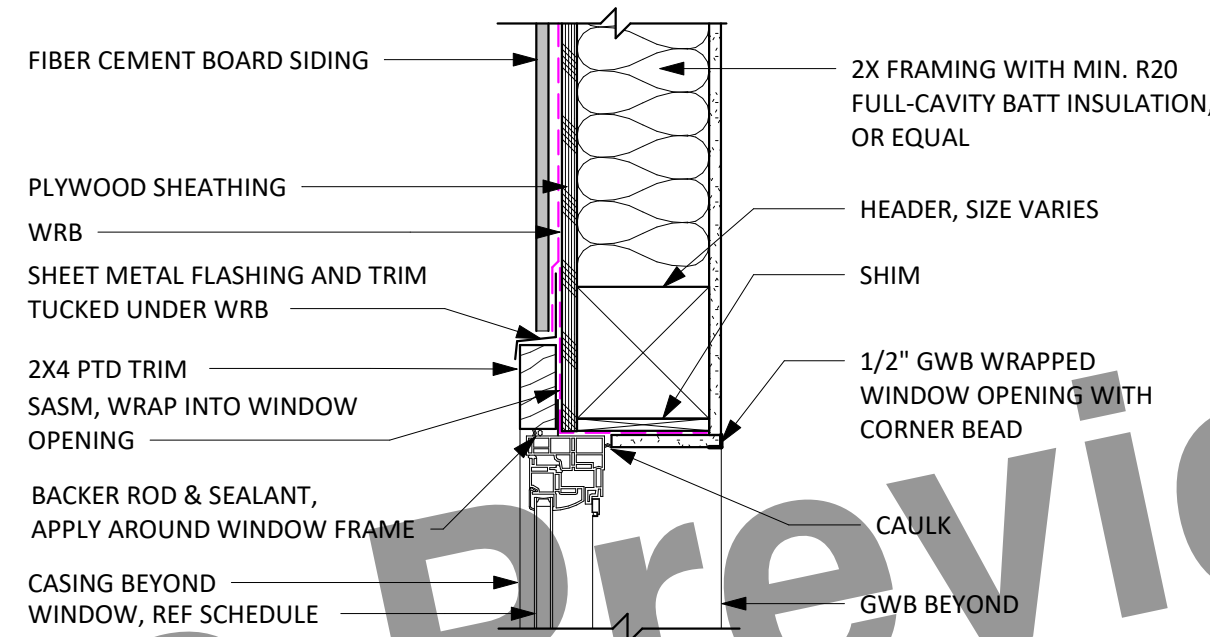
## FIRE RATING NOTES

- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

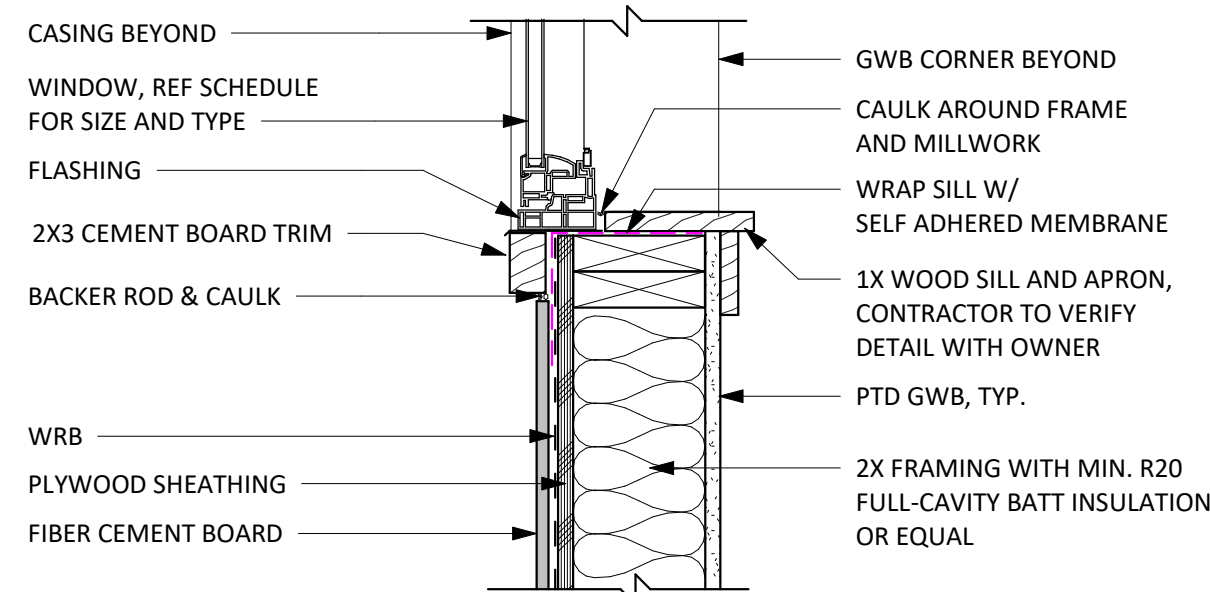
WB STANDARD:  
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12\*



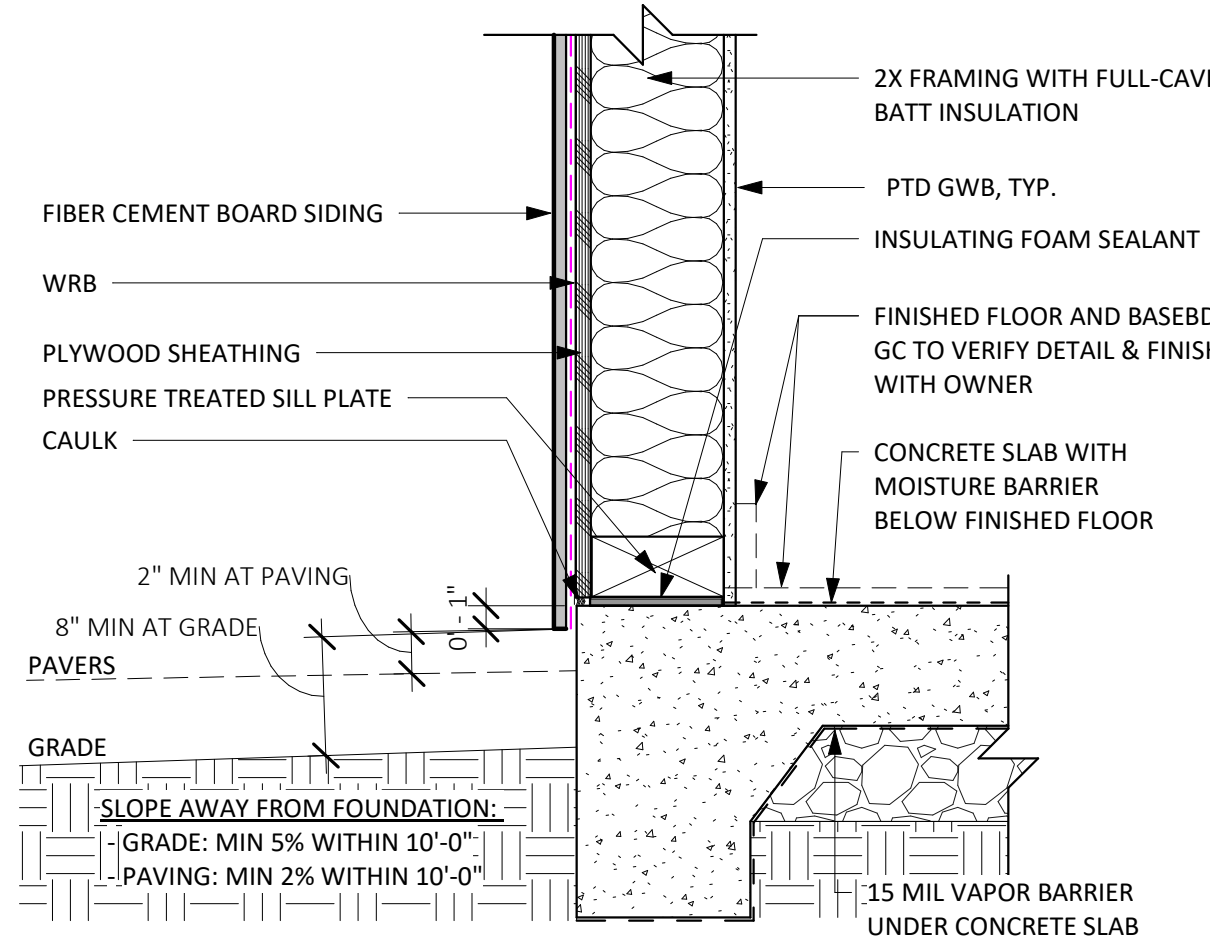
4 EAVE WITH ZERO OVERHANG  
1 1/2" = 1'-0"



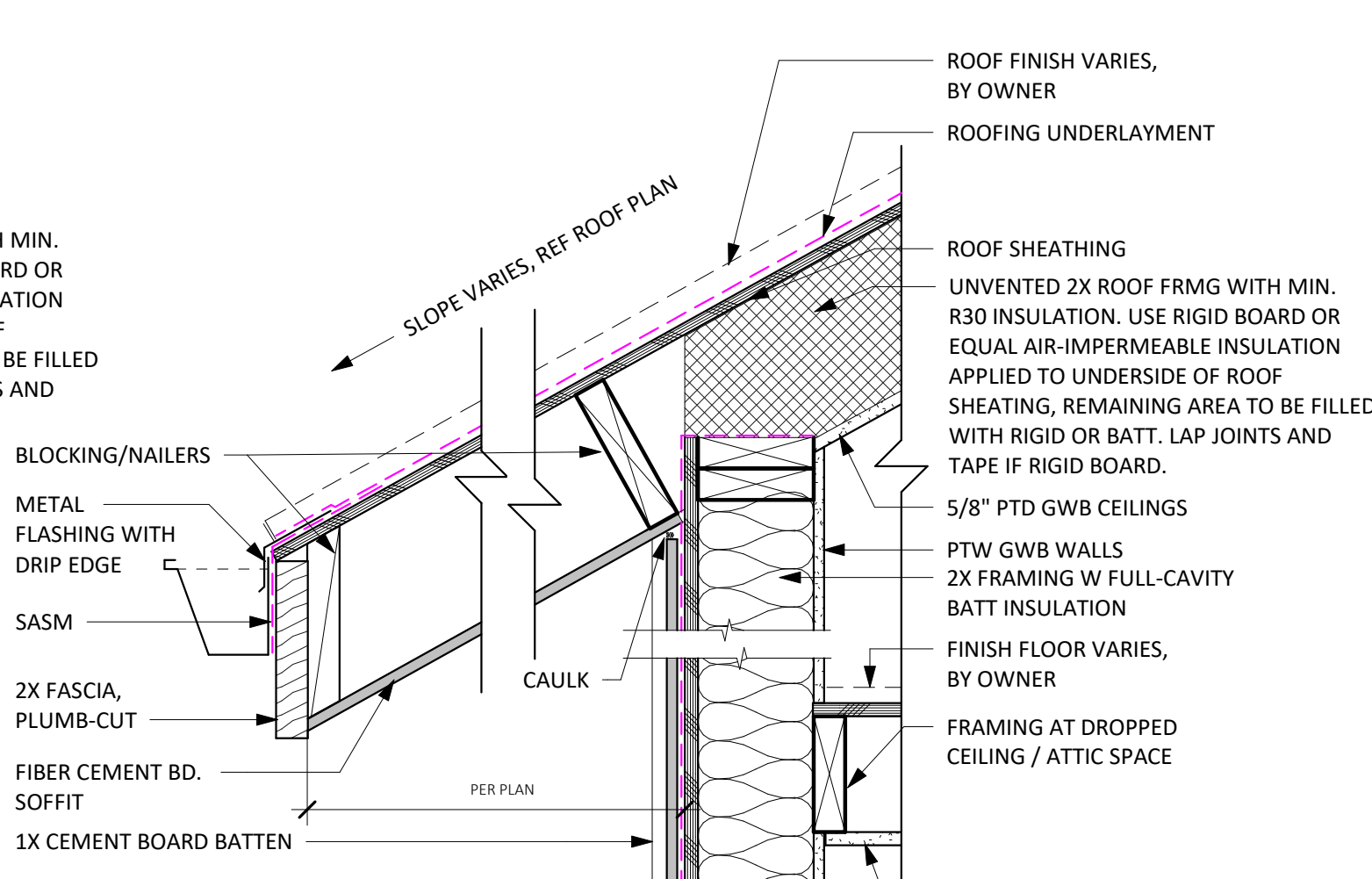
3 WINDOW HEAD AT VERTICAL SIDING  
1 1/2" = 1'-0"



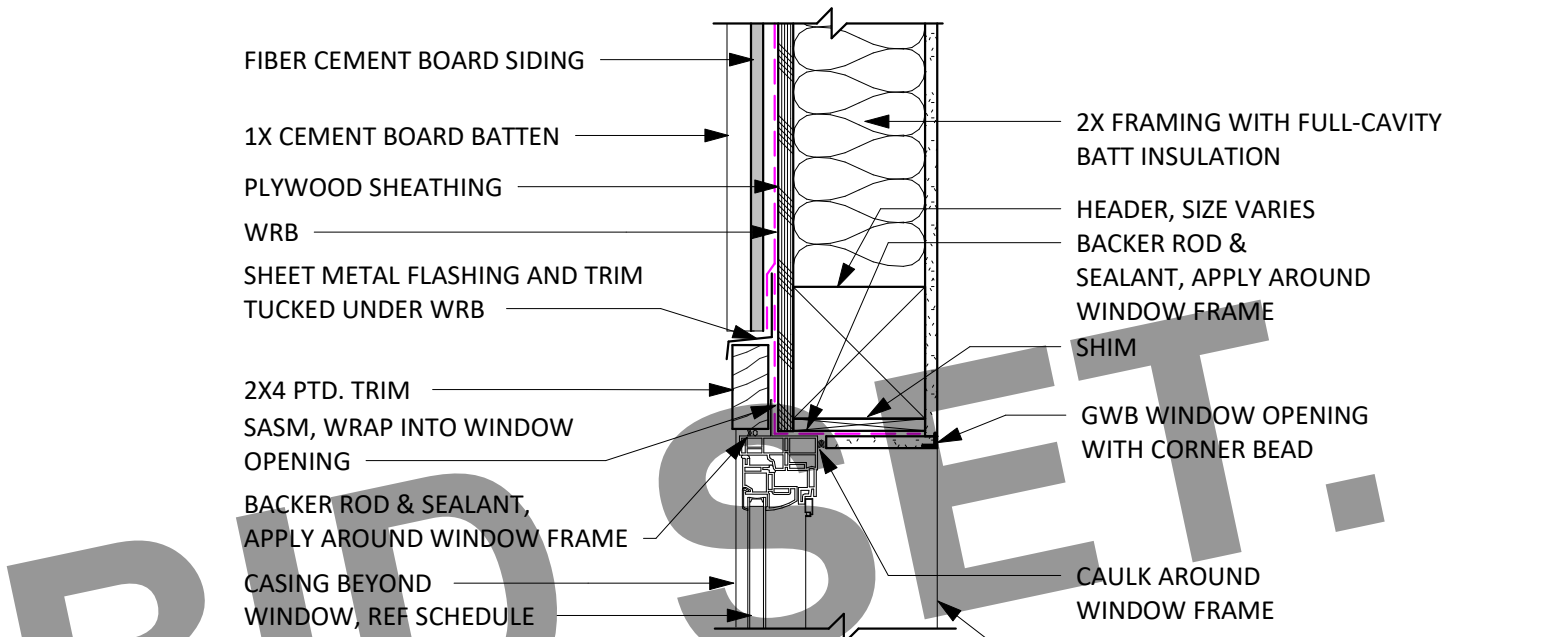
2 WINDOW SILL AT VERTICAL SIDING  
1 1/2" = 1'-0"



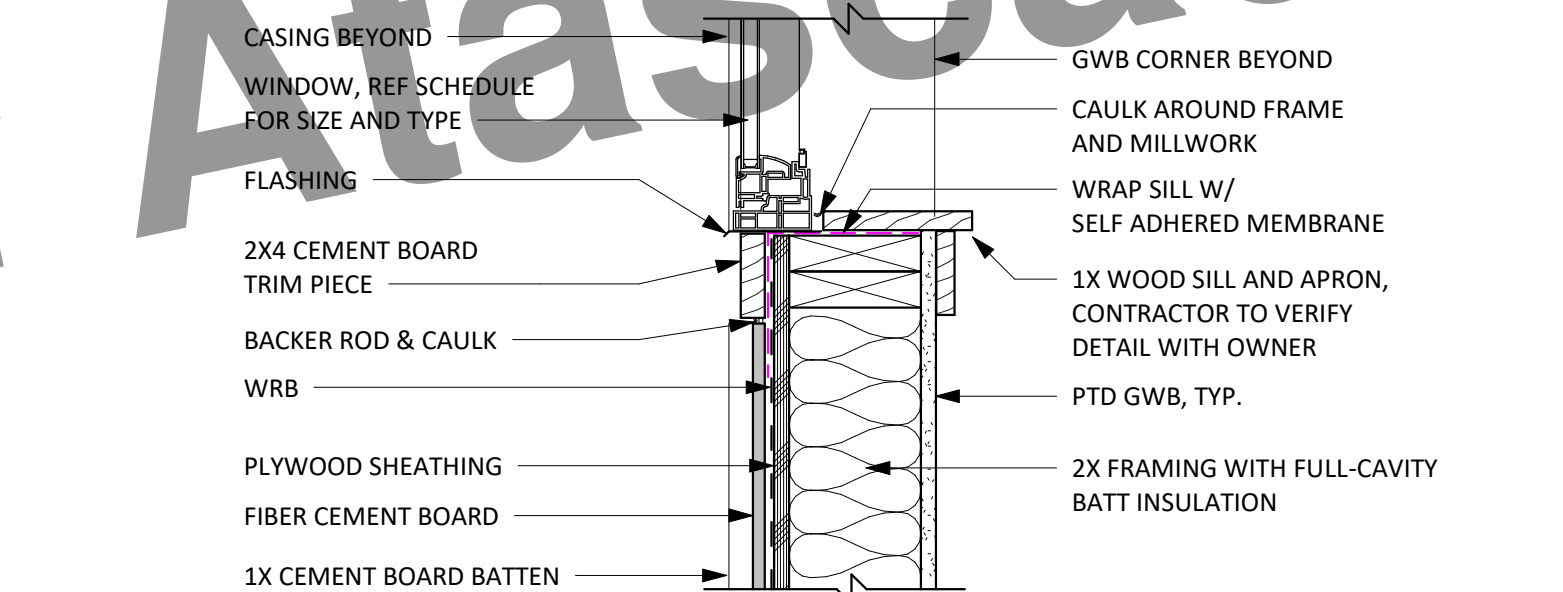
1 SLAB EDGE AT VERTICAL SIDING  
1 1/2" = 1'-0"



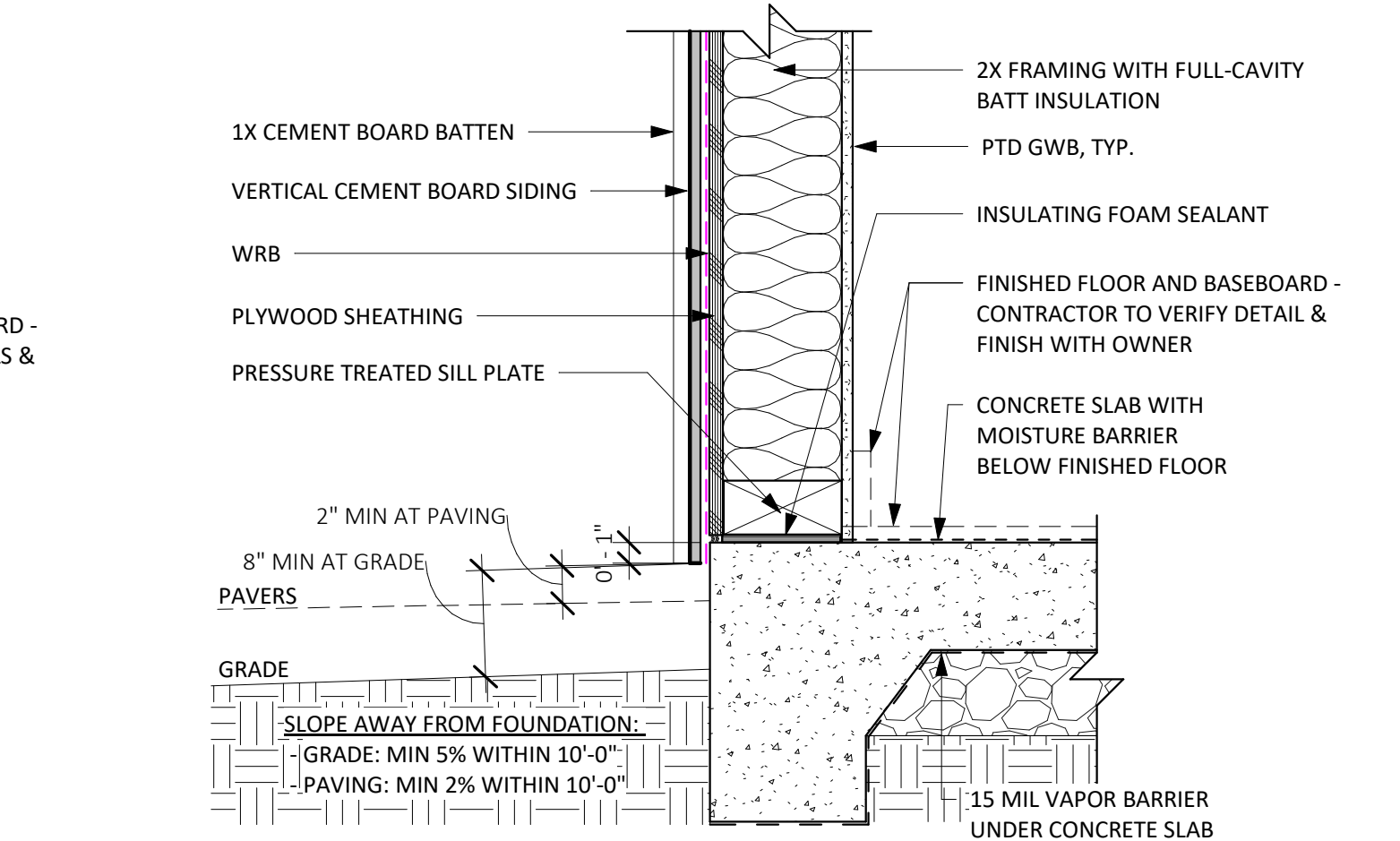
8 RAKE / EAVE AT BOARD & BATTEN  
1 1/2" = 1'-0"



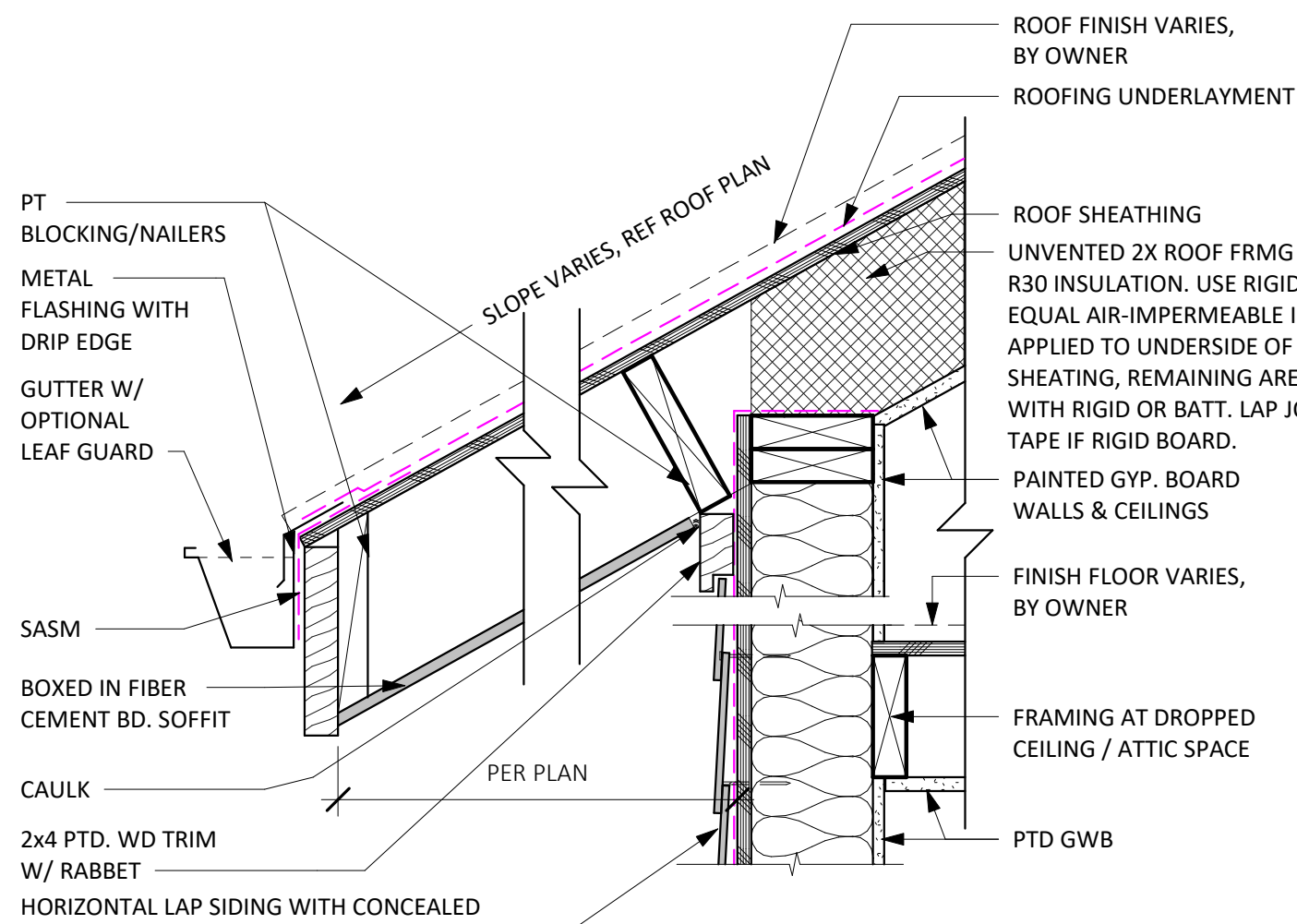
7 WINDOW HEAD AT BOARD & BATTEN  
1 1/2" = 1'-0"



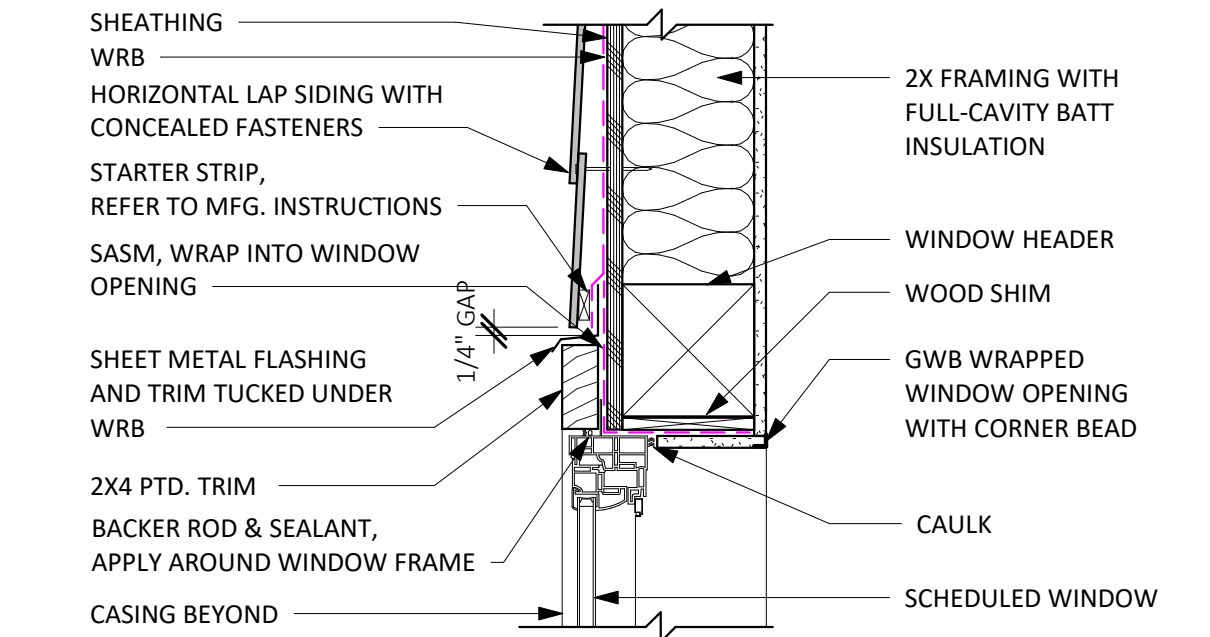
6 WINDOW SILL AT BOARD & BATTEN  
1 1/2" = 1'-0"



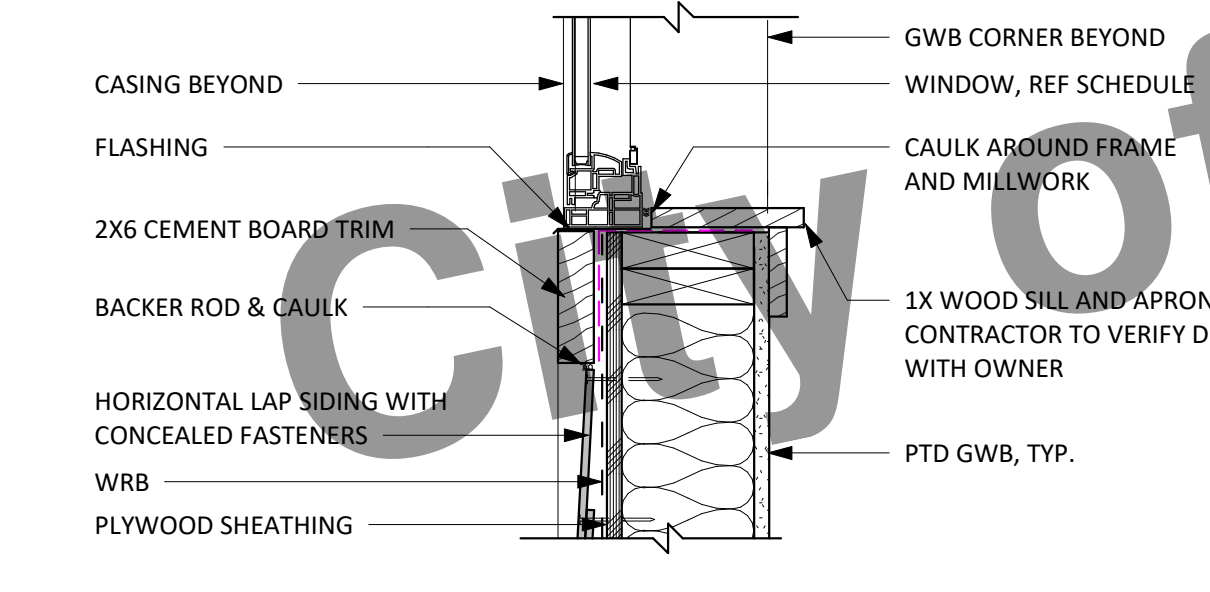
5 SLAB EDGE AT BOARD & BATTEN  
1 1/2" = 1'-0"



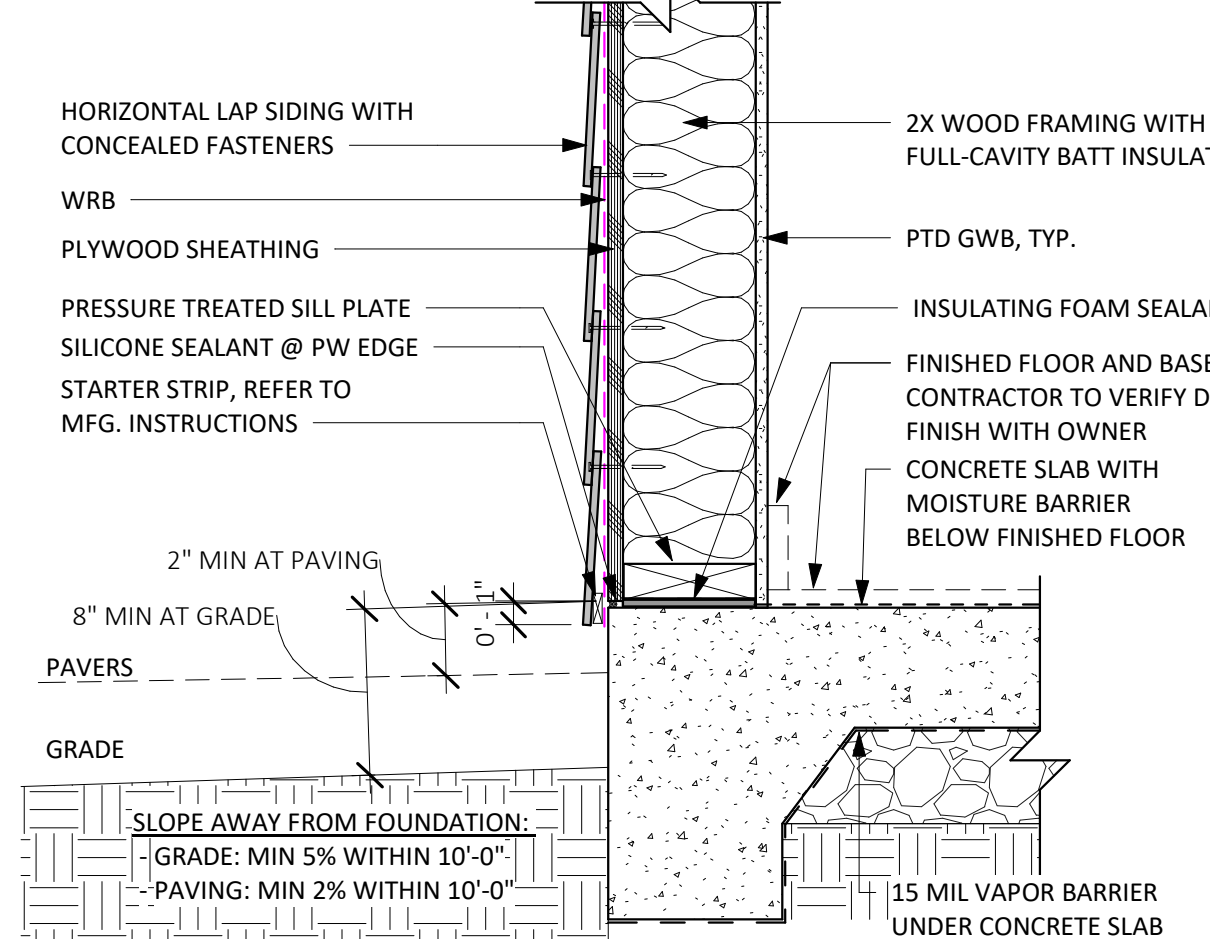
12 EAVE AT LAP SIDING  
1 1/2" = 1'-0"



11 WINDOW HEAD AT LAP SIDING  
1 1/2" = 1'-0"



10 WINDOW SILL AT LAP SIDING  
1 1/2" = 1'-0"

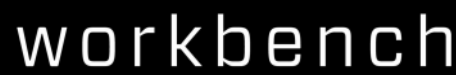


9 SLAB EDGE AT LAP SIDING  
1 1/2" = 1'-0"

E3 FIBER CEMENT HORIZONTAL LAP SIDING

E2 BOARD & BATTEN SIDING

E1 FIBER CEMENT VERTICAL SIDING



**BROCKETT  
/ARCHITECT**

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ONE BEDROOM  
626 GSF

## EXTERIOR WALL ASSEMBLY DETAILS

SCALE : AS NOTED

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
3. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWA UPL VESTIC PRESERVATIVE-TREATED FOR WOOD SIDING, SILLING, AND TRIM. THE MINIMUM CLEARANCE OF THE BOTTOM OF THE WOOD SHALL BE AT LEAST 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC 317.1.5].
4. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
5. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A AND CALIFORNIA RESIDENTIAL CODE.

**EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3**  
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING  
BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS  
ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

**VENTS. CBC 706A / CRC R337.6**

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUJ). VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUJ VENTS LISTED TO ASTM E2886, AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE.

VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUJ) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUJ VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE FIRE MESH OR EQUIVALENT.

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ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

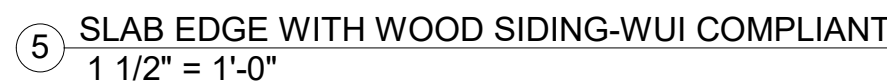
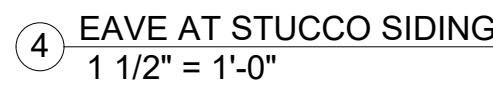
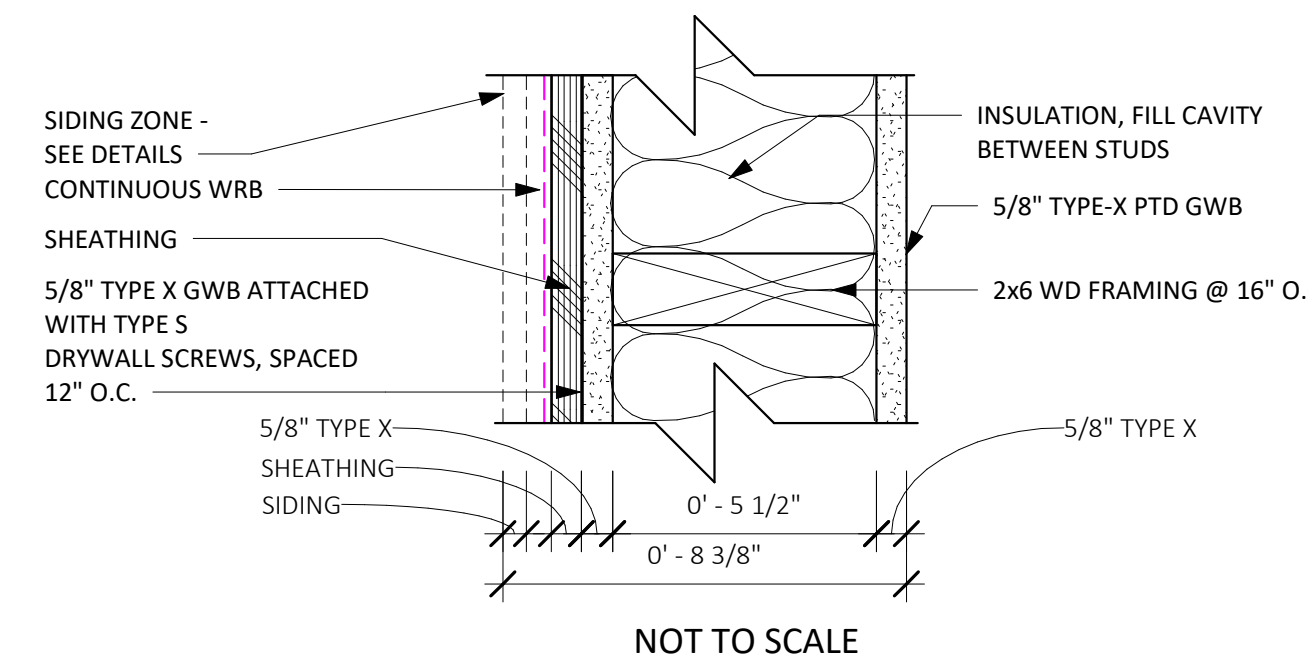
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR PENETRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
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4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 – PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

A detailed cross-section diagram of a wall assembly. From left to right, the layers are: a siding zone with continuous WRB and sheathing; 5/8" Type X GWB attached with Type S drywall screws spaced 12" O.C.; insulation fill cavity between studs; 5/8" Type-X PTD GWB; and 2x6 WD framing at 16" O.C. Arrows point from text labels to each corresponding layer in the diagram.

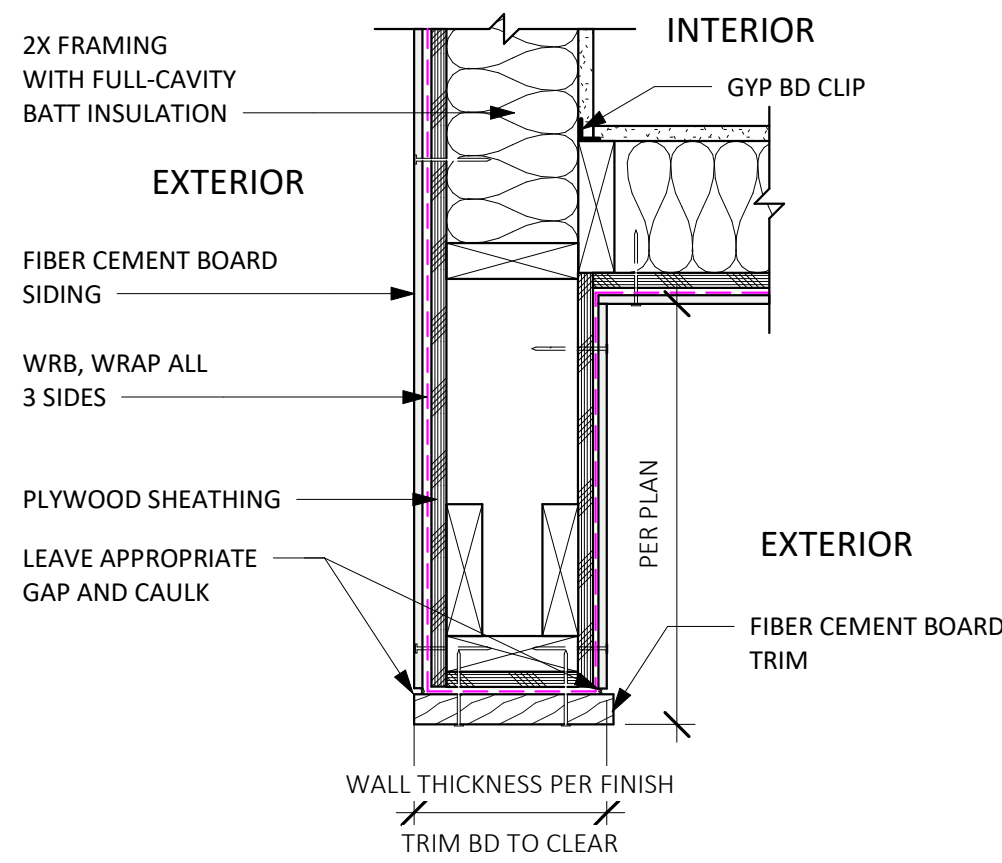
SIDING ZONE -  
SEE DETAILS  
CONTINUOUS WRB  
SHEATHING  
5/8" TYPE X GWB ATTACHED  
WITH TYPE S  
DRYWALL SCREWS, SPACED  
12" O.C.

INSULATION, FILL CAVITY  
BETWEEN STUDS  
5/8" TYPE-X PTD GWB  
2x6 WD FRAMING @ 16" O.C.

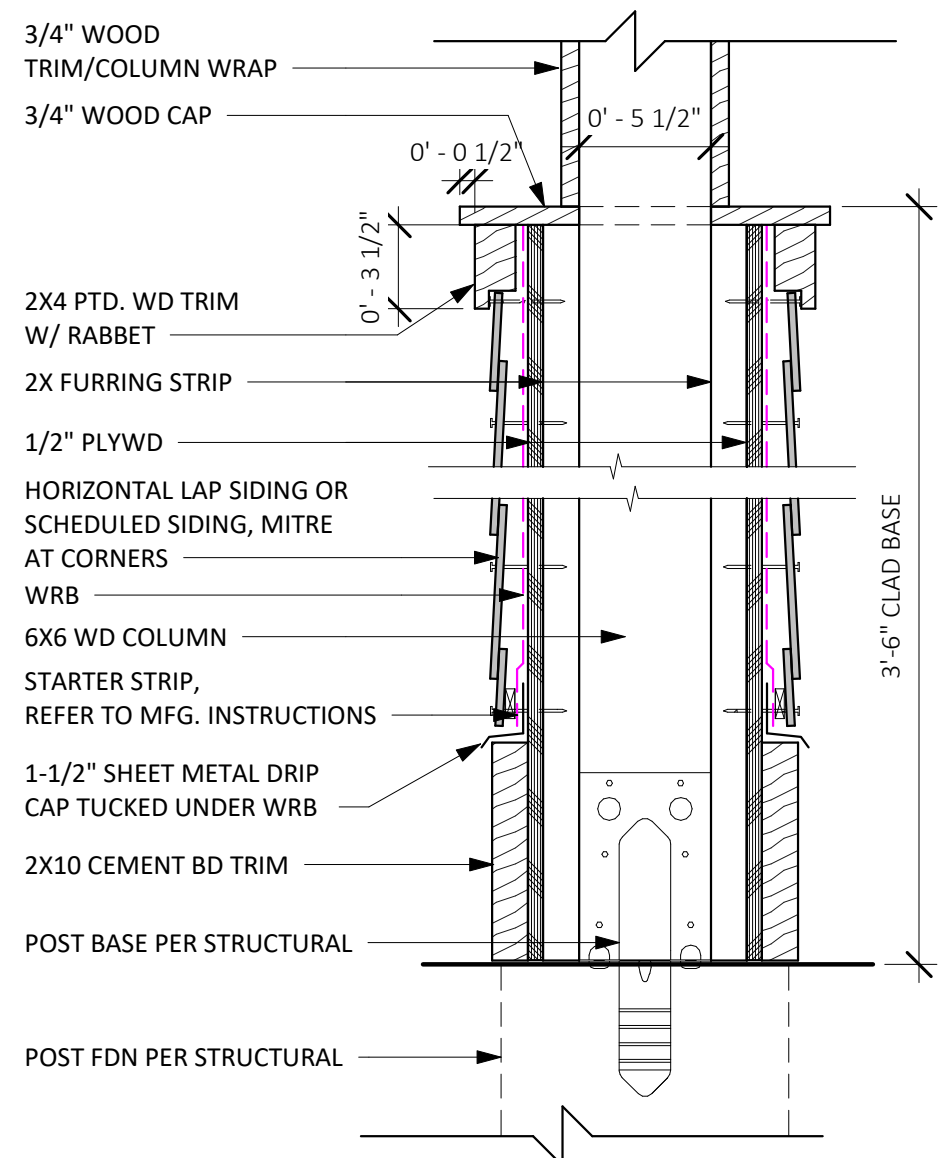


WOOD SIDING WITHIN WUI ZONE

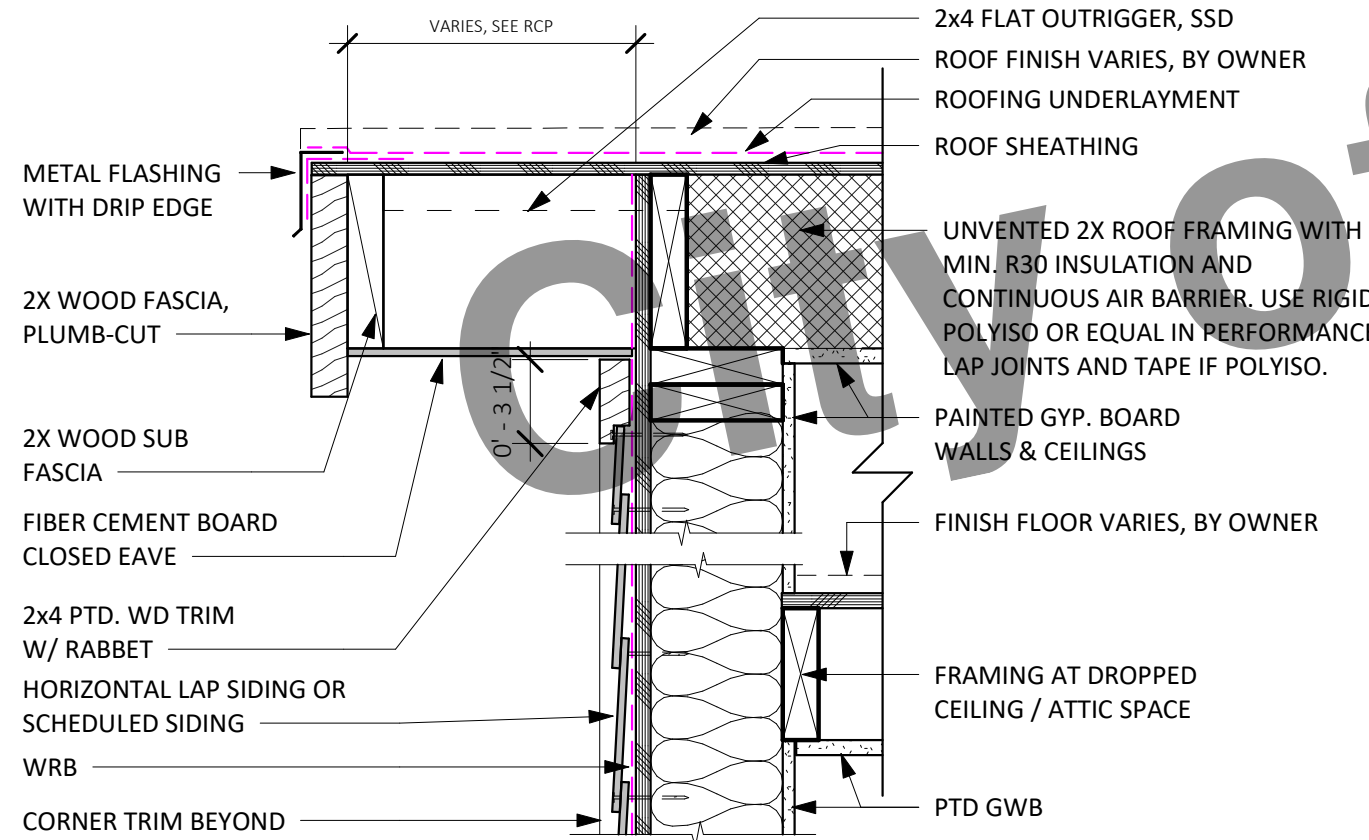
## E4 STUCCO SIDING



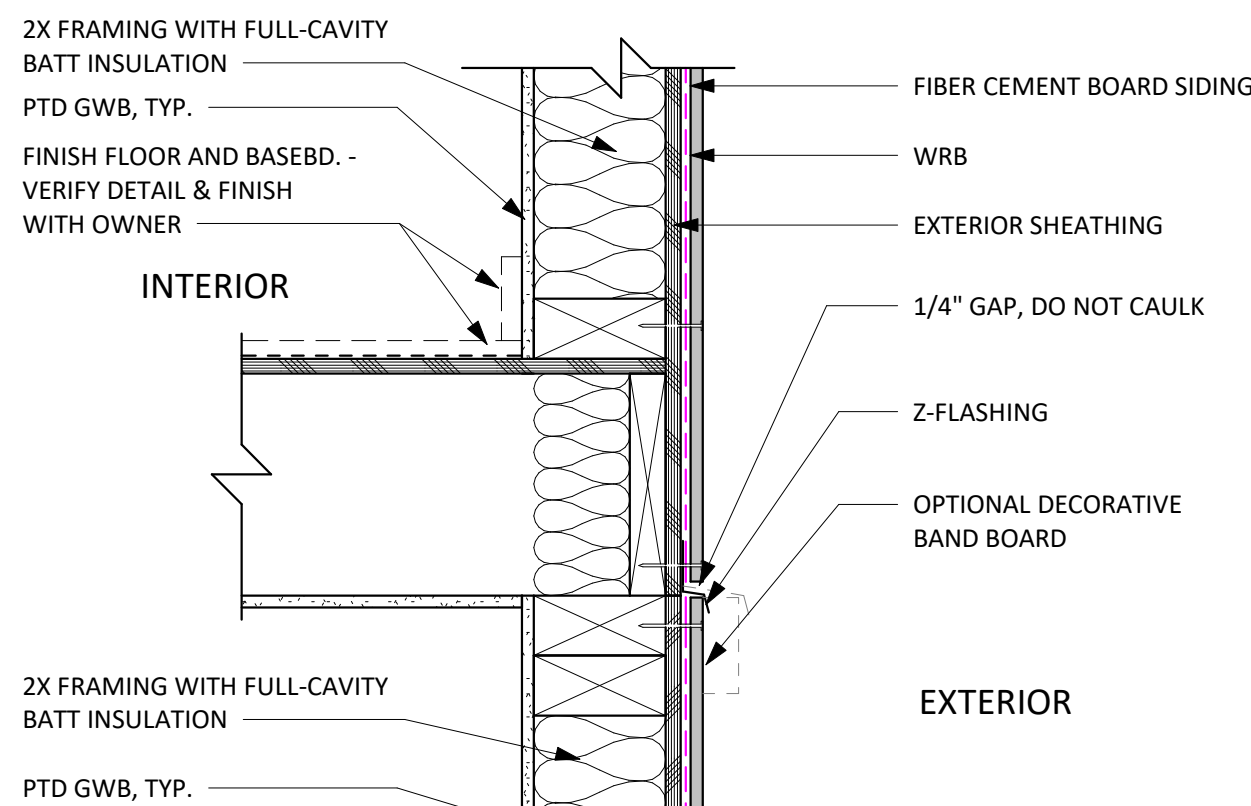
16 CEMENT BD WING WALL  
1 1/2" = 1'-0"



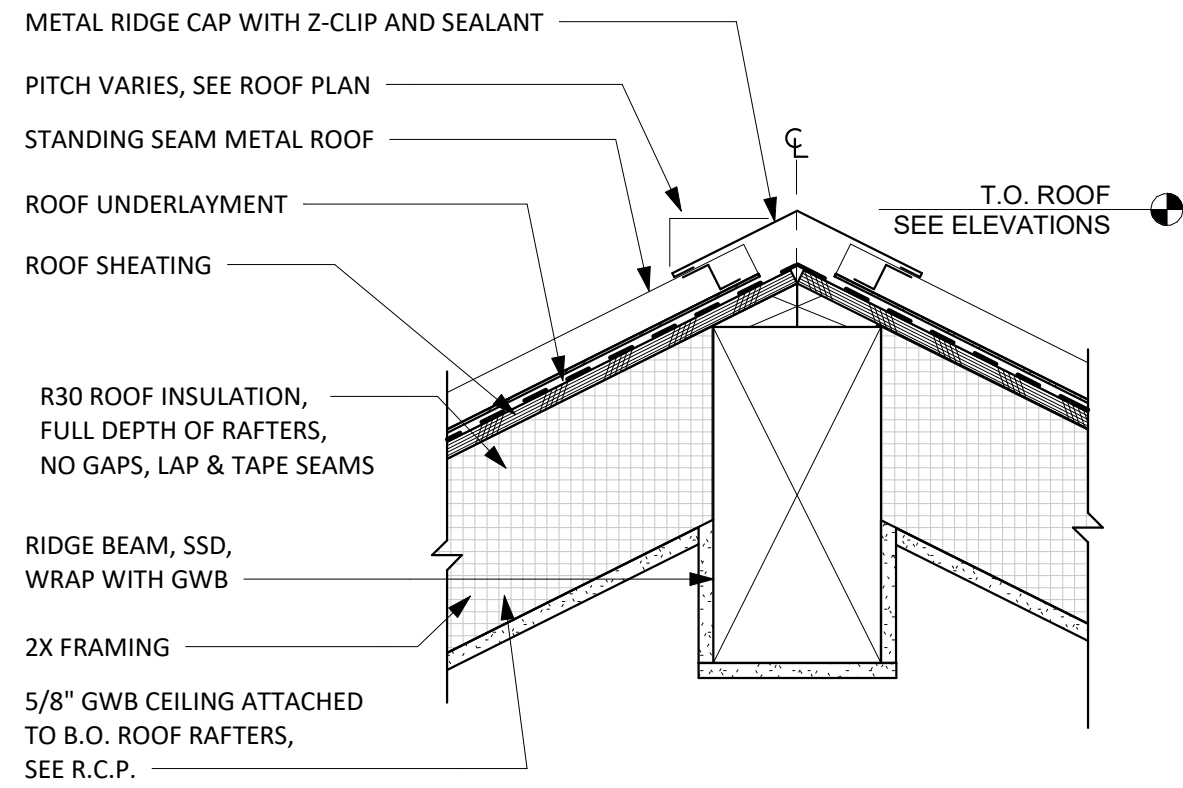
15 WRAPPED COLUMN SECTION  
1 1/2" = 1'-0"



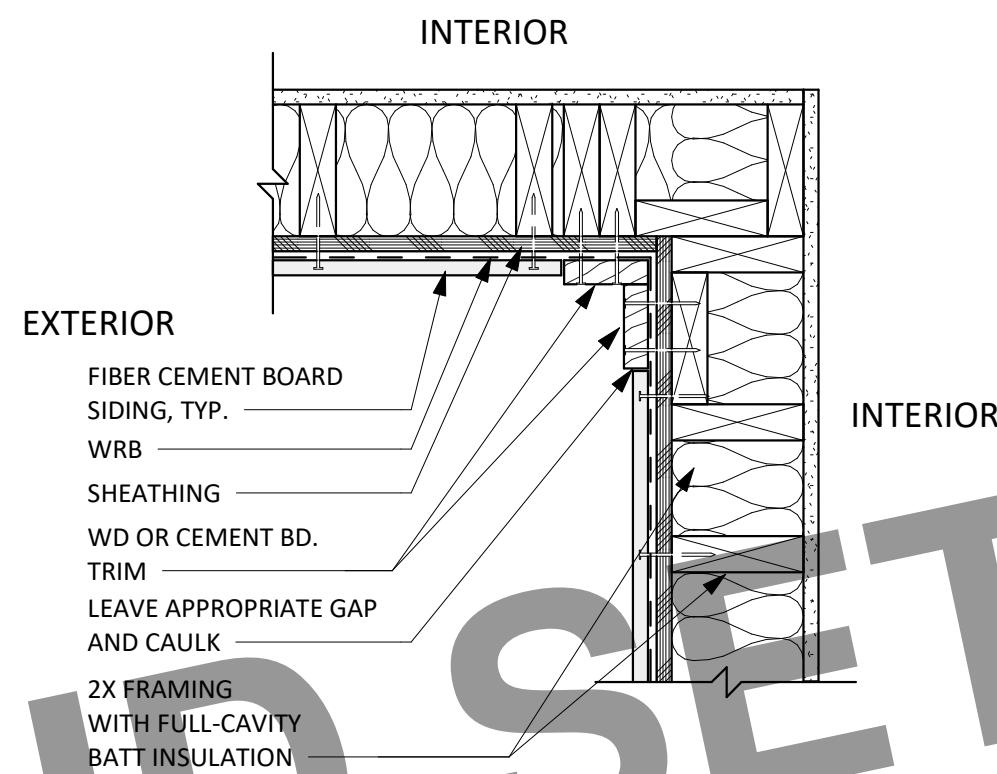
14 BASIC RAKE (CLOSED)  
1 1/2" = 1'-0"



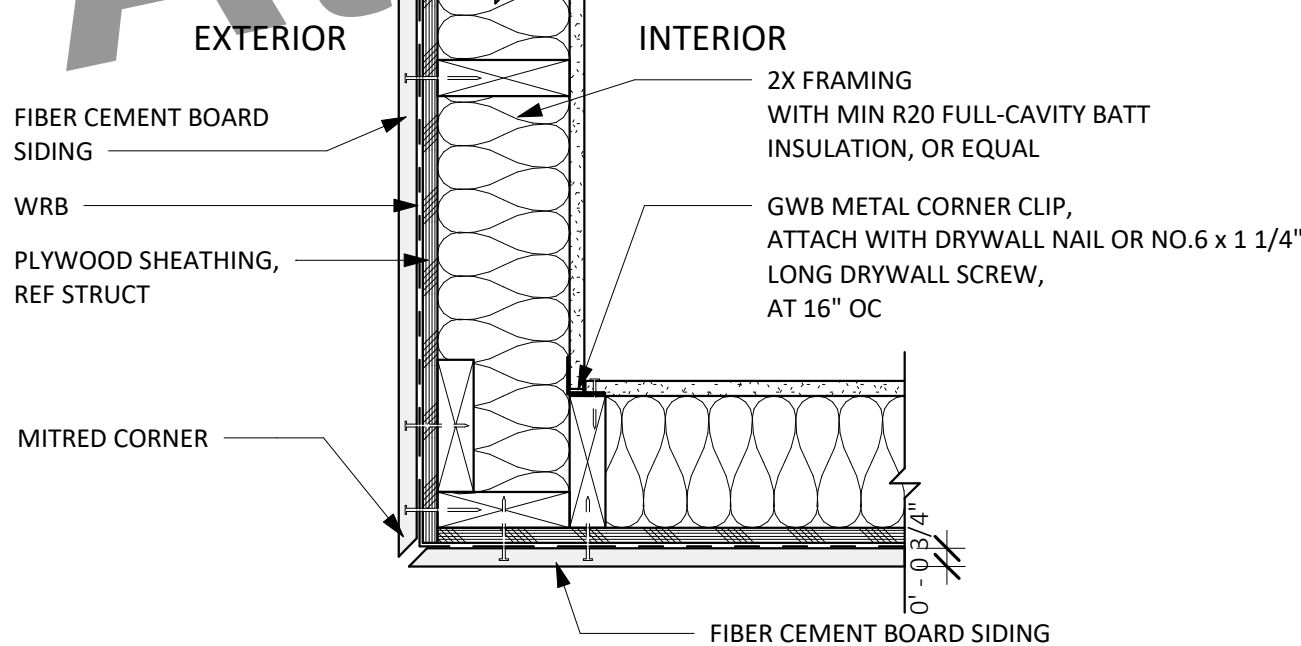
13 SIDING JOINT AT FLOOR  
1 1/2" = 1'-0"



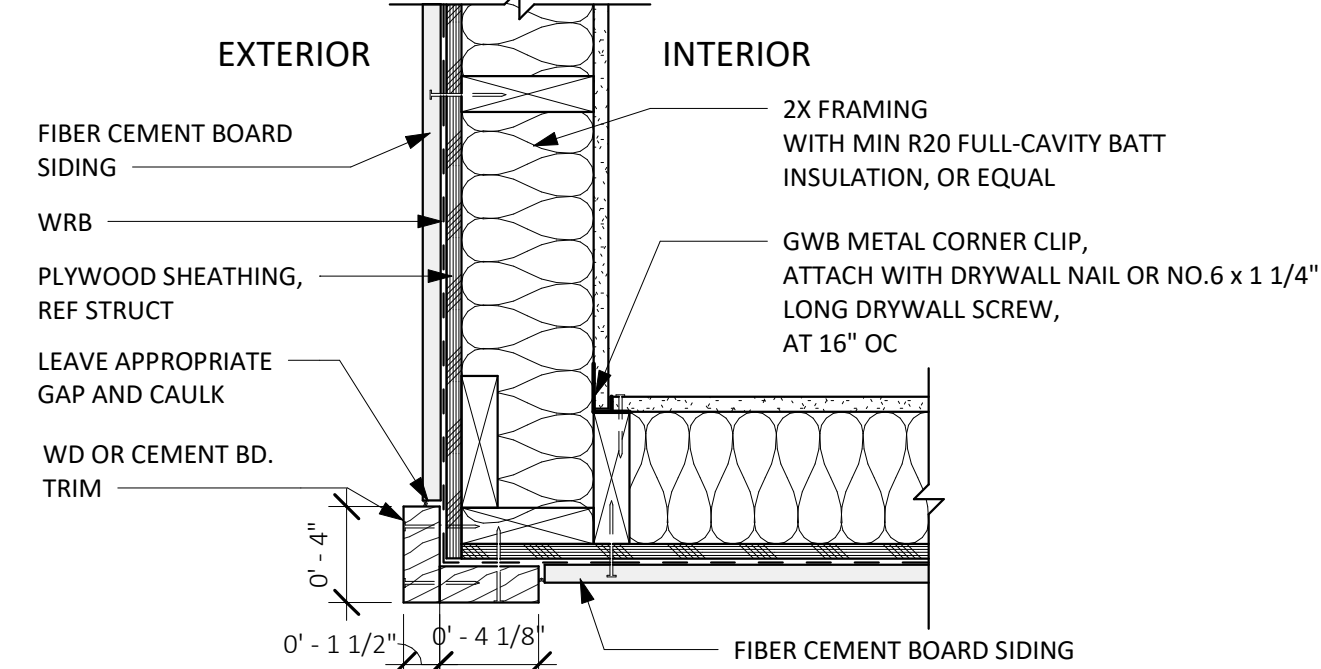
12 STANDING SEAM UNVENTED RIDGE  
1 1/2" = 1'-0"



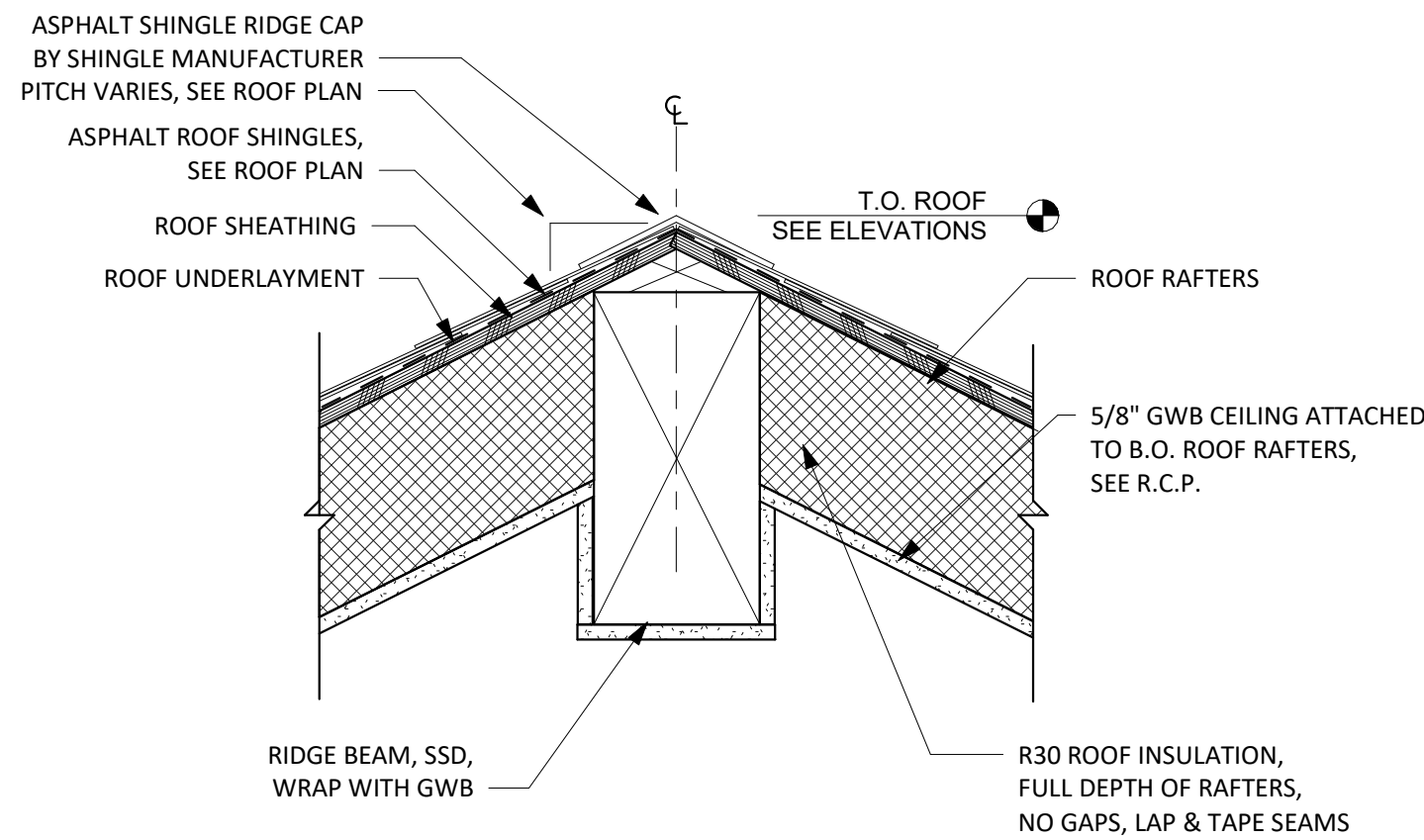
11 CEMENT BD TYP. INSIDE CORNER  
1 1/2" = 1'-0"



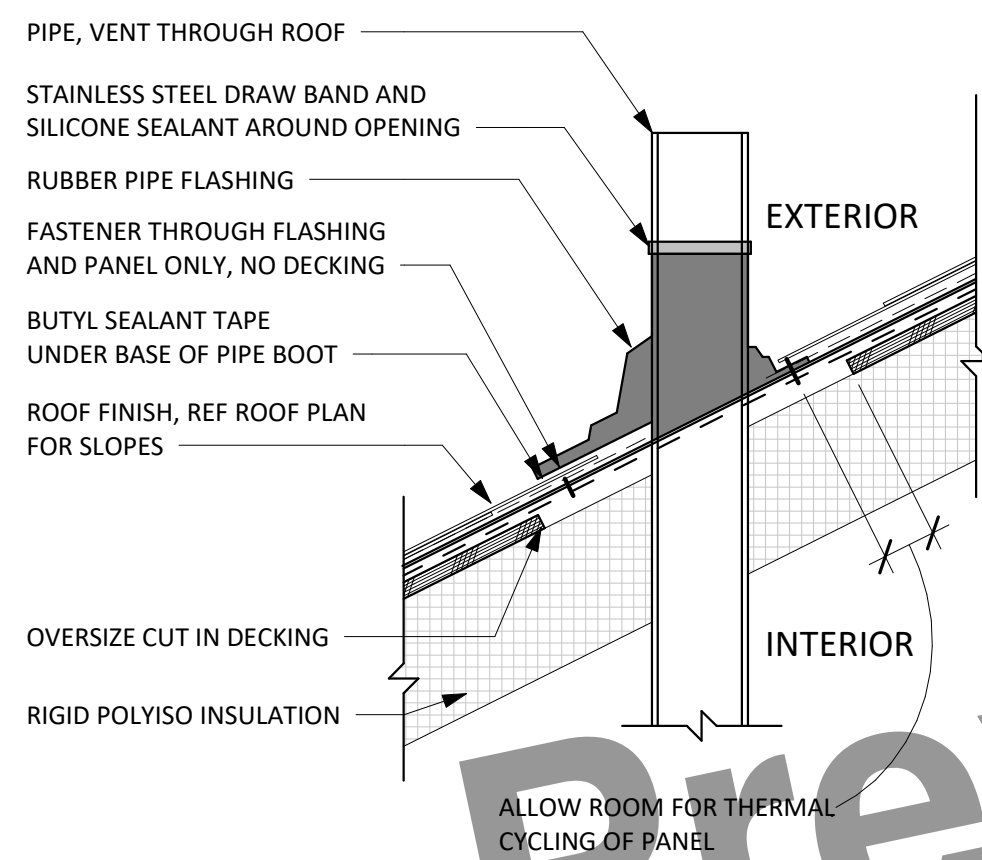
10 CEMENT BD OUTSIDE CORNER TRIM MITRE  
1 1/2" = 1'-0"



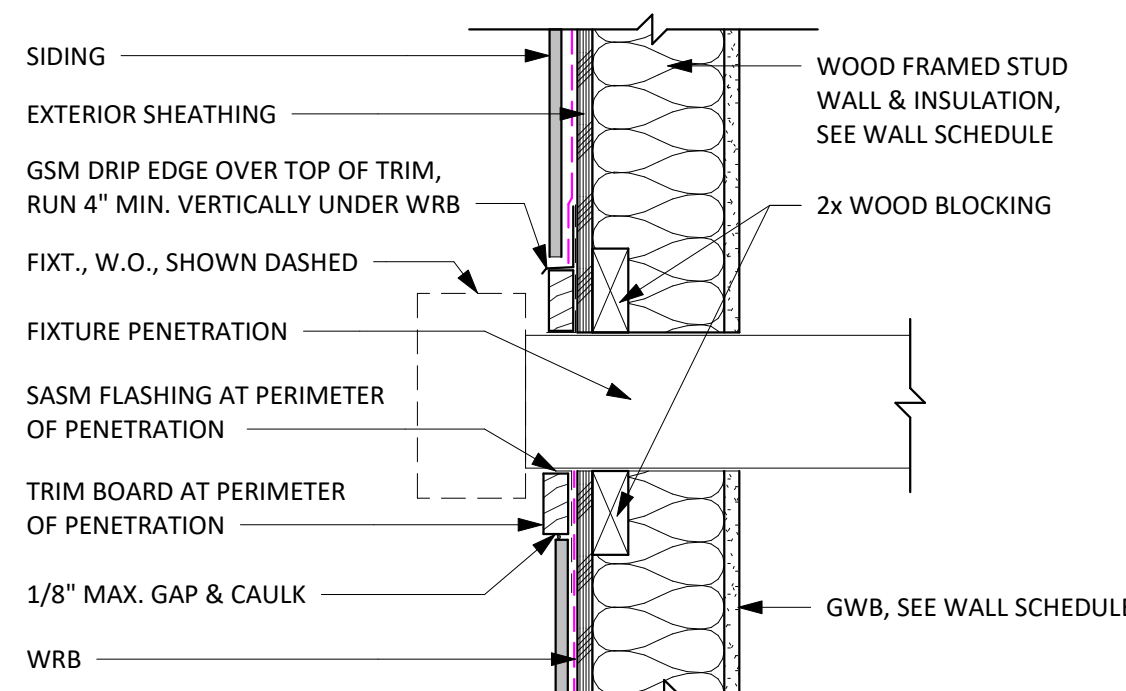
9 CEMENT BD TYP. OUTSIDE CORNER TRIM  
1 1/2" = 1'-0"



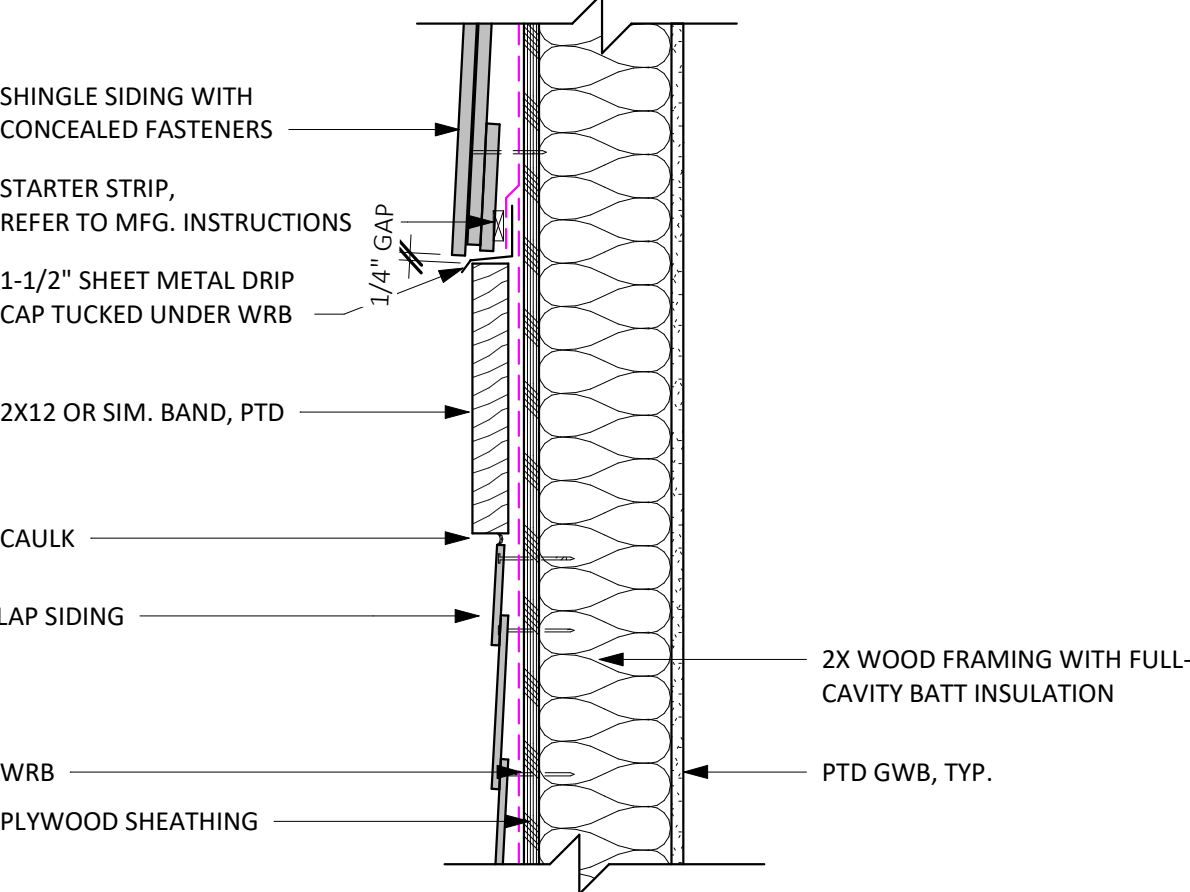
8 BASIC UNVENTED RIDGE AT ASPHALT SHINGLE  
1 1/2" = 1'-0"



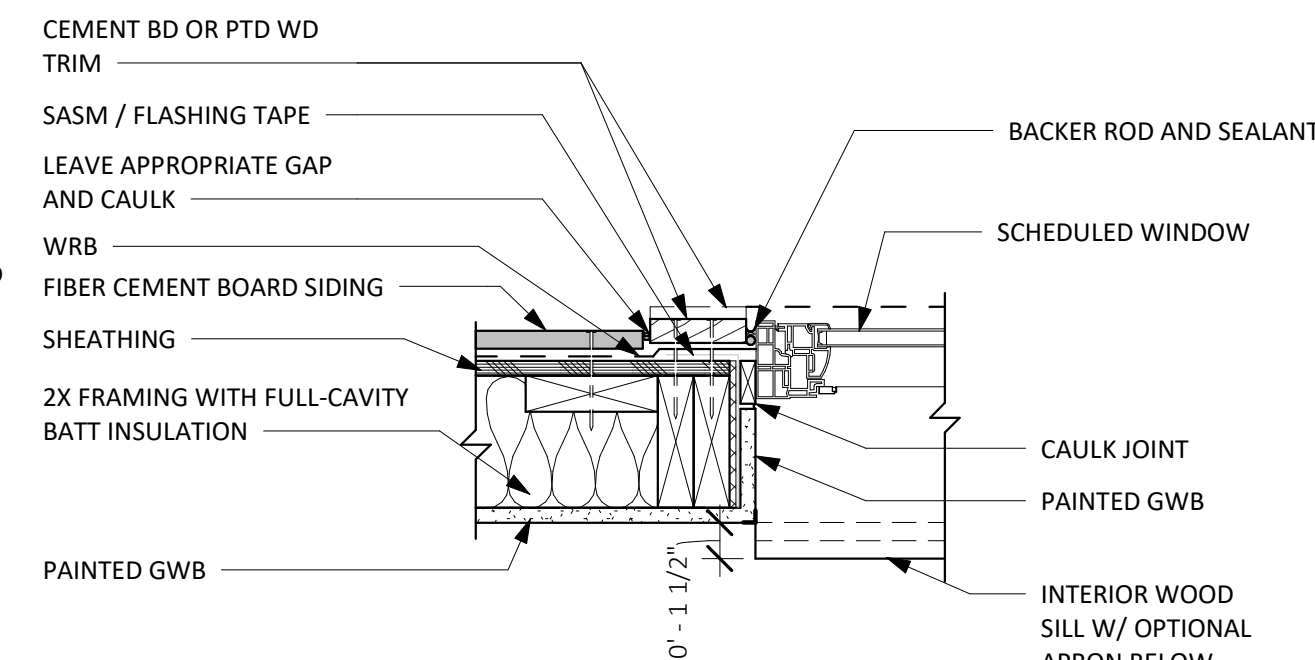
7 ROOF PENETRATION DETAIL  
1 1/2" = 1'-0"



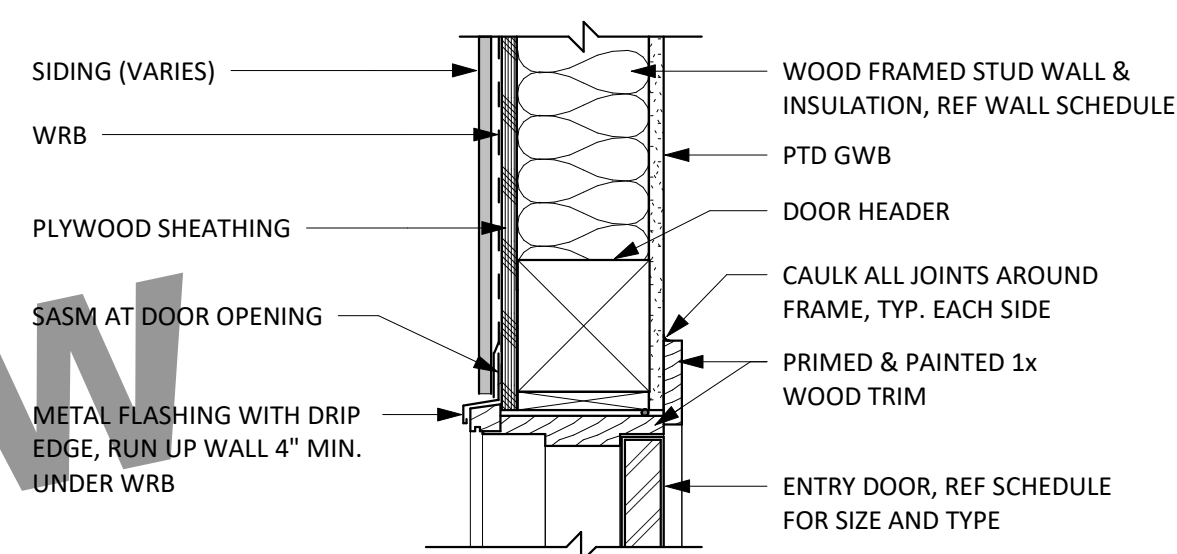
6 WALL PENETRATION DETAIL  
1 1/2" = 1'-0"



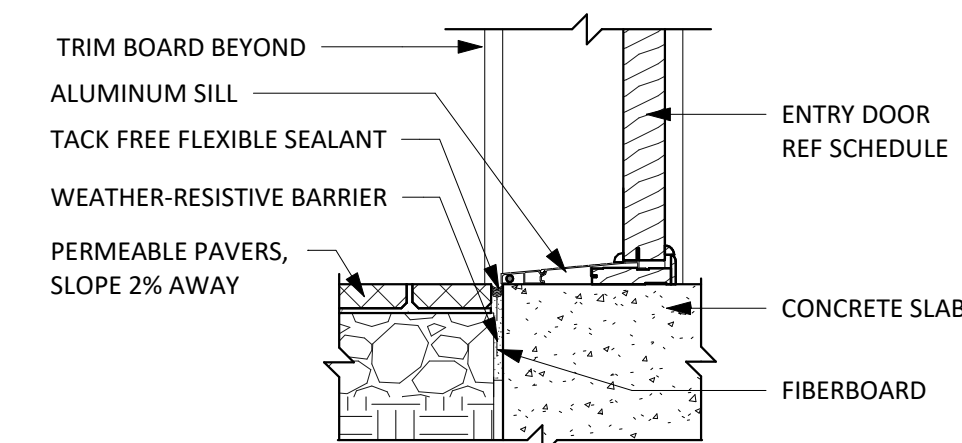
5 BELLY BAND @ CRAFTSMAN  
1 1/2" = 1'-0"



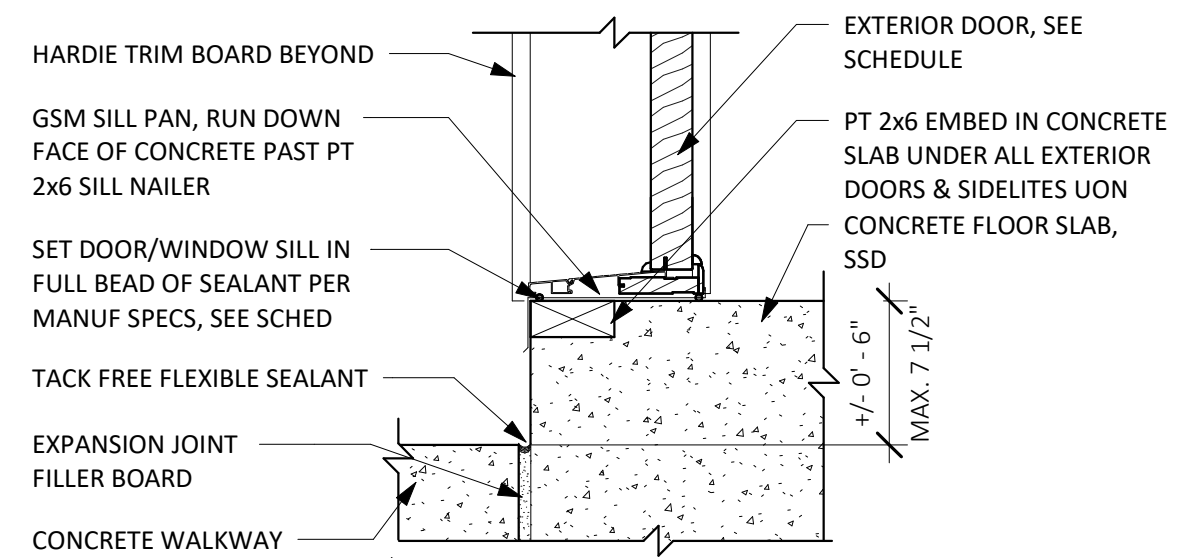
4 BASIC WINDOW JAMB  
1 1/2" = 1'-0"



3 SWING DOOR HEAD / JAMB  
1 1/2" = 1'-0"



2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)  
1 1/2" = 1'-0"



1 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)  
1 1/2" = 1'-0"



workbench

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**CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF**

PRINT DATE: XX.XX.XXXX

**EXTERIOR DETAILS**

**A5.2**

SCALE: AS NOTED

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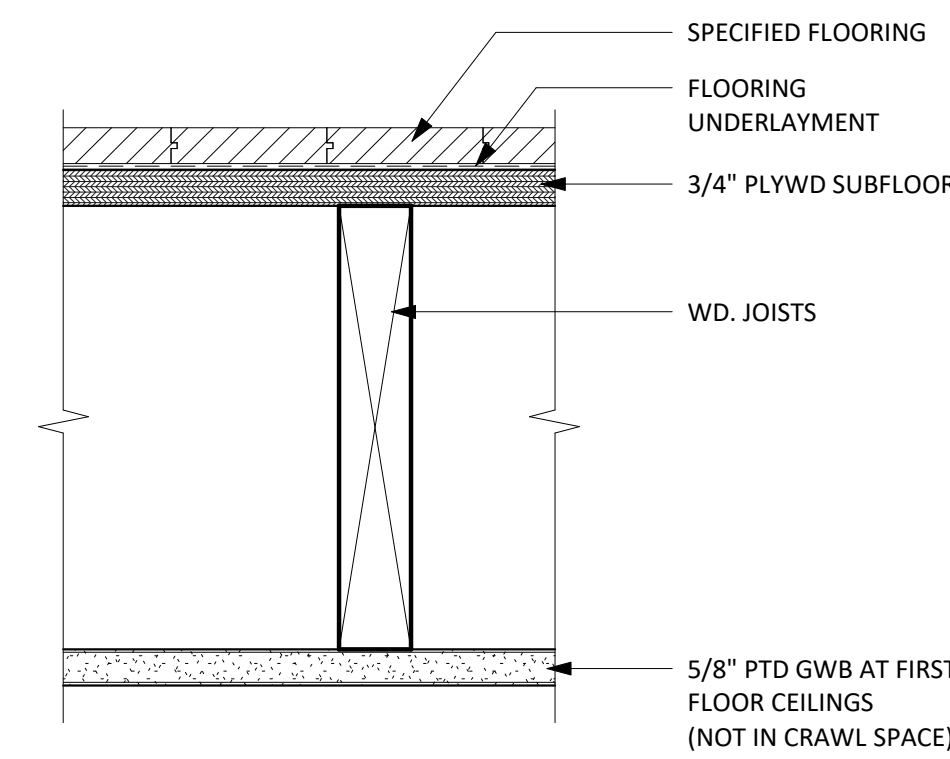
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**CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF**

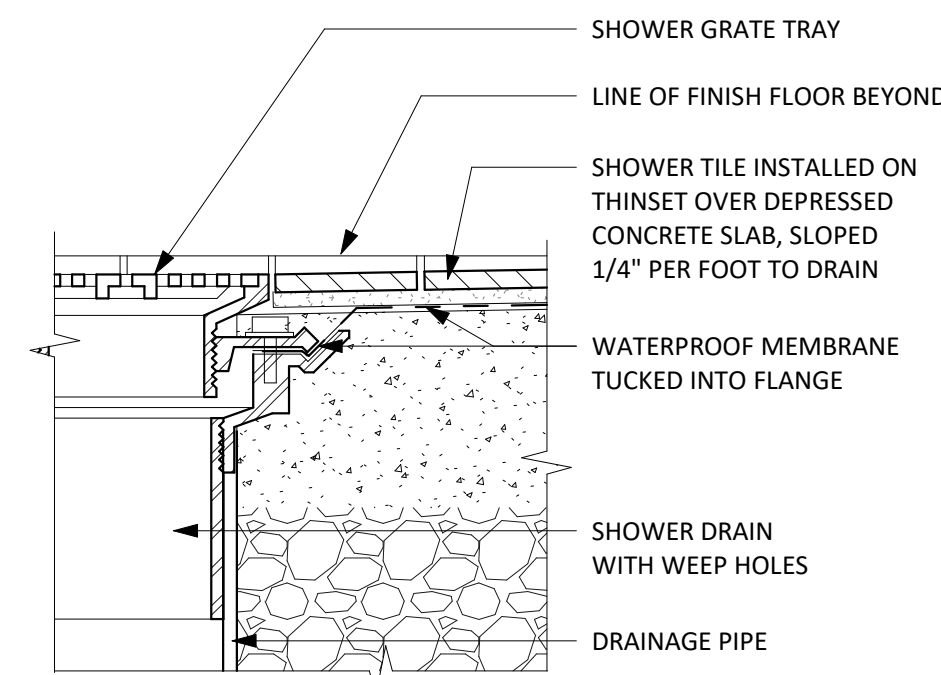
**INTERIOR DETAILS &  
WALL PARTITIONS**

**A5.3**

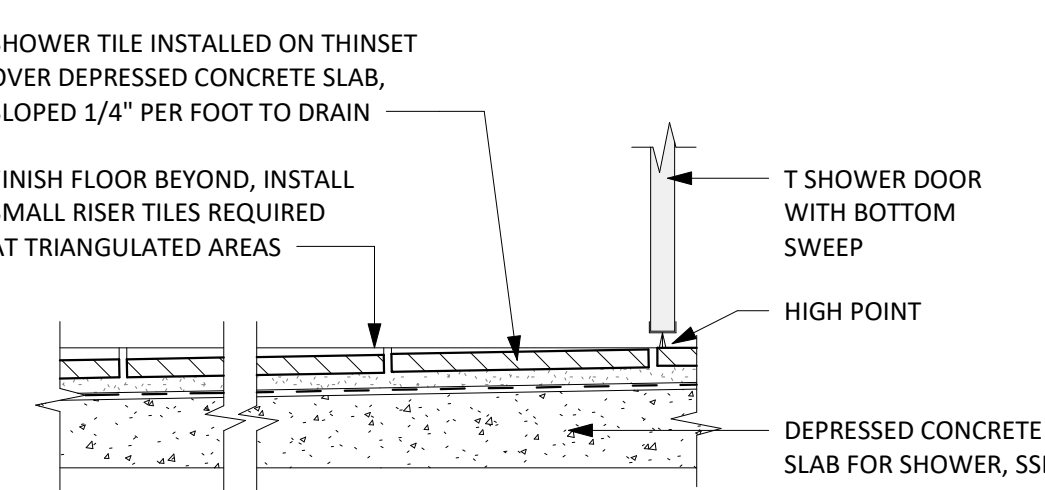
SCALE: AS NOTED



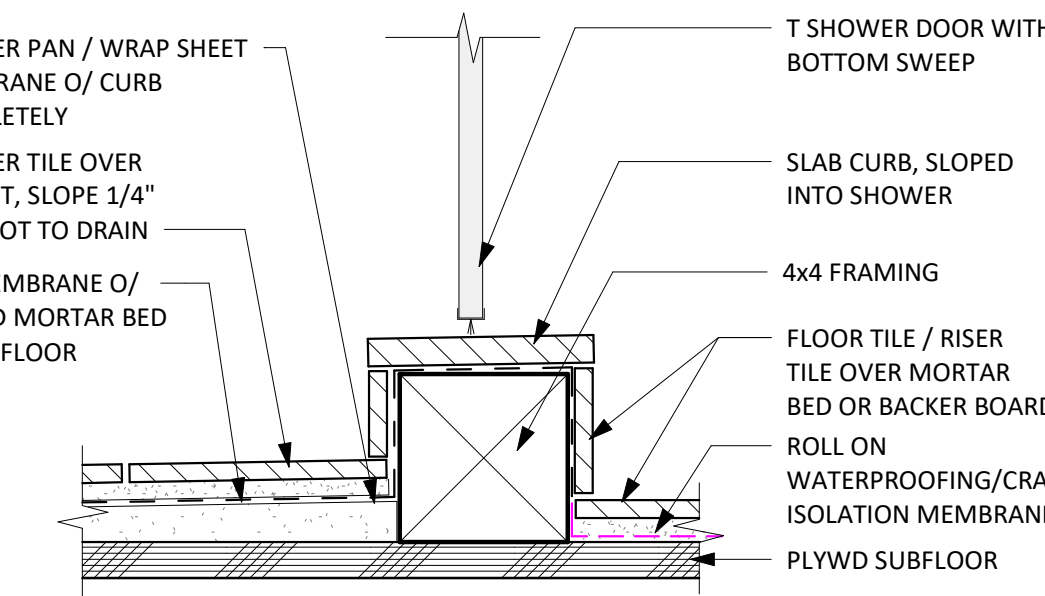
5 TYP. STORAGE LOFT FLOOR ASSEMBLY  
3" = 1'-0"



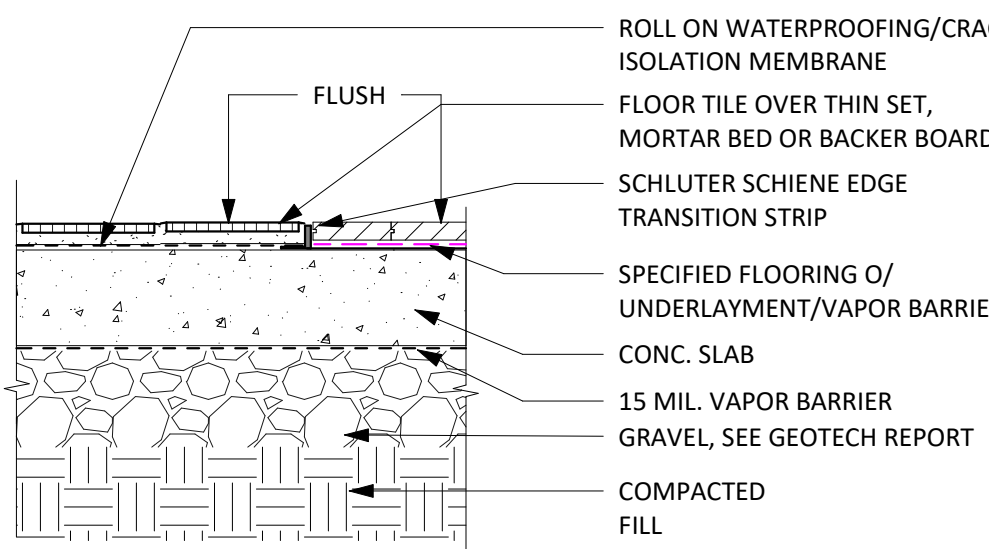
42 SHOWER DRAIN AT CONCRETE  
3" = 1'-0"



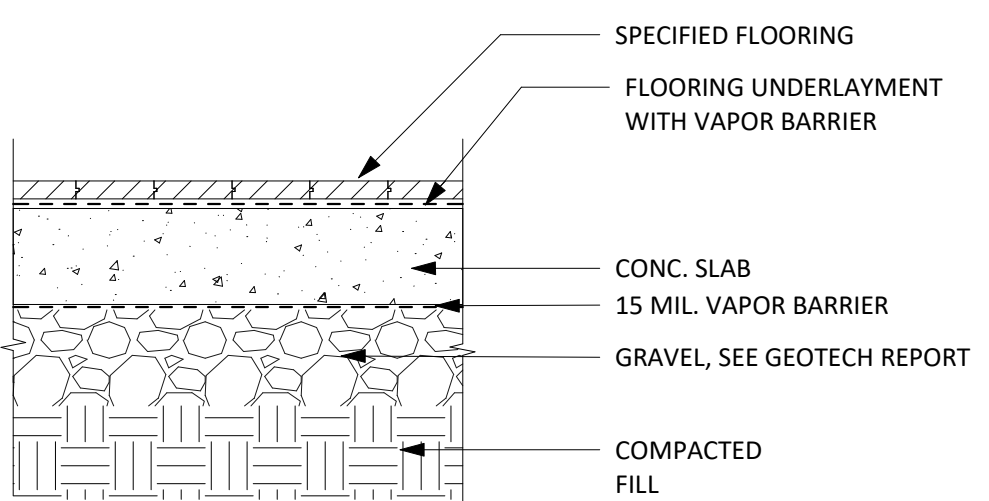
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)  
3" = 1'-0"



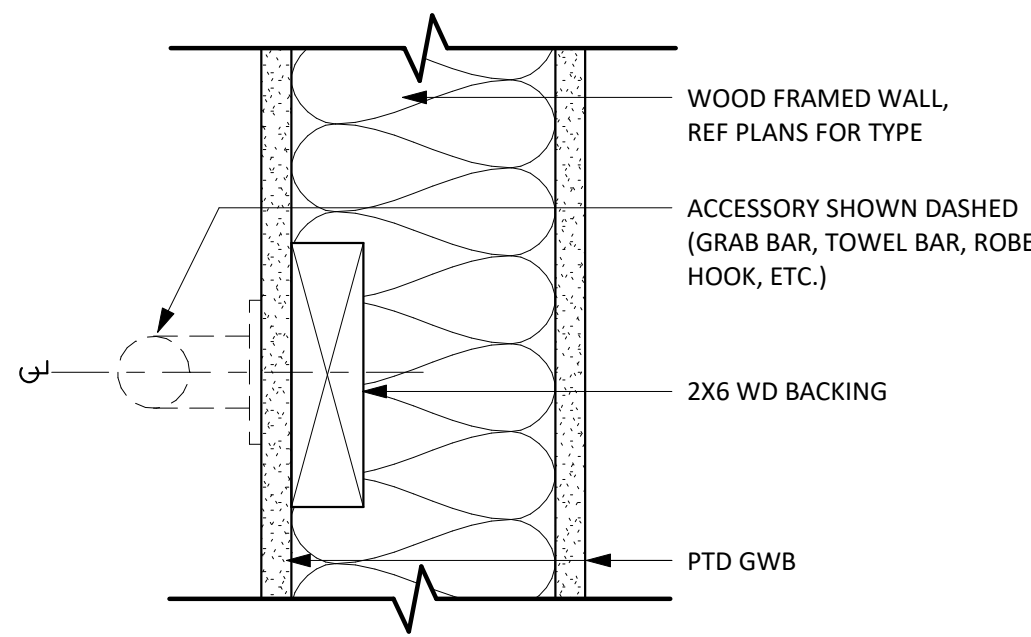
3 TYP. SHOWER CURB  
3" = 1'-0"



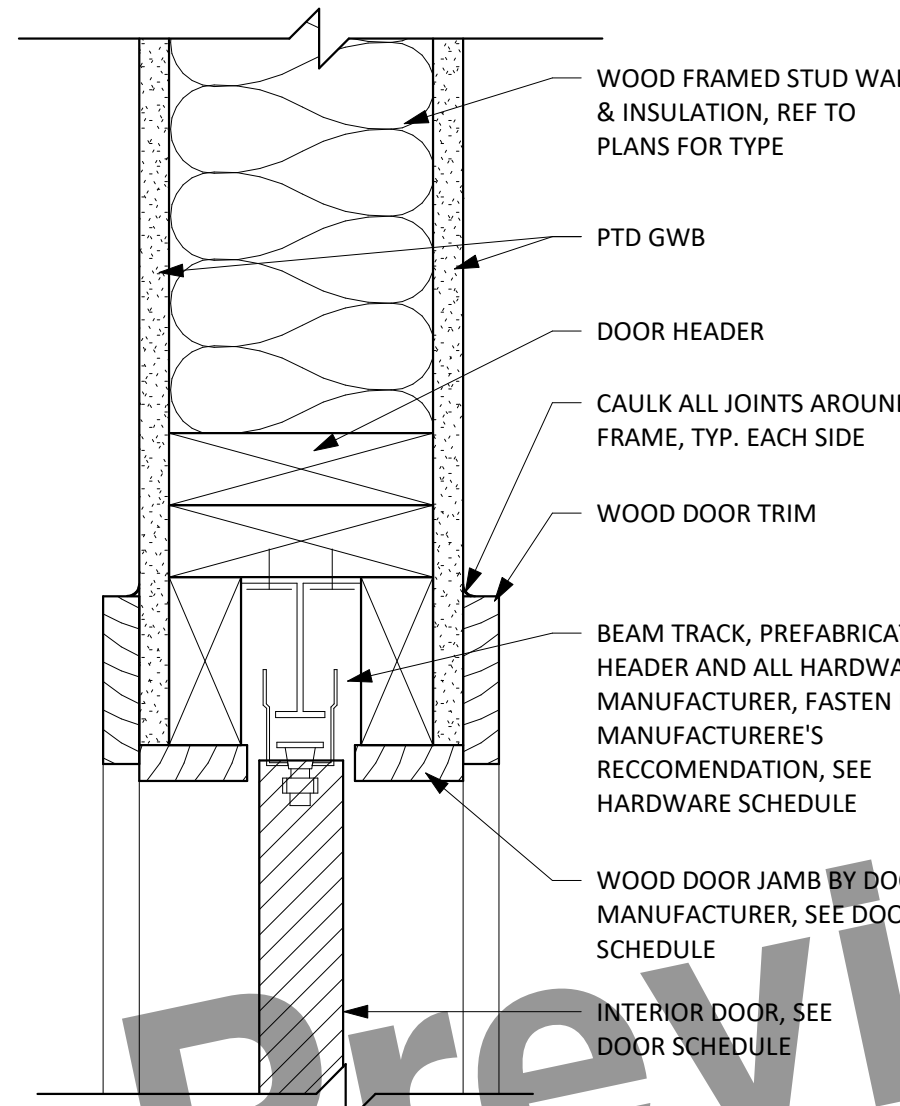
2 BASIC TILE TO WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



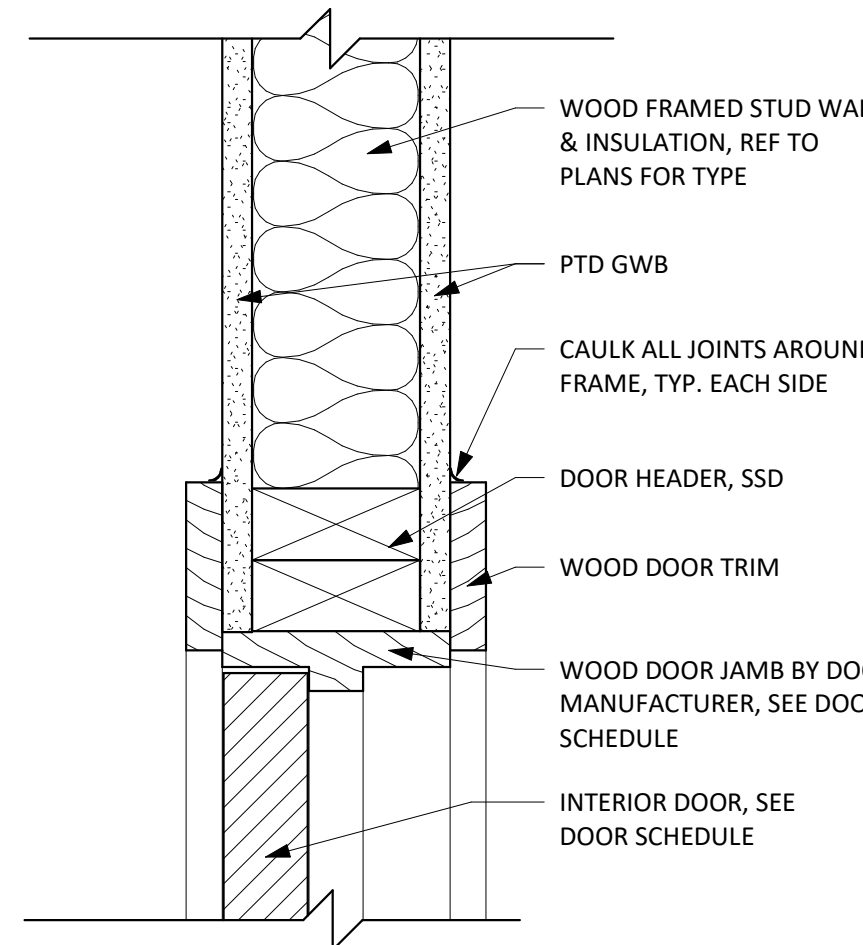
1 BASIC WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



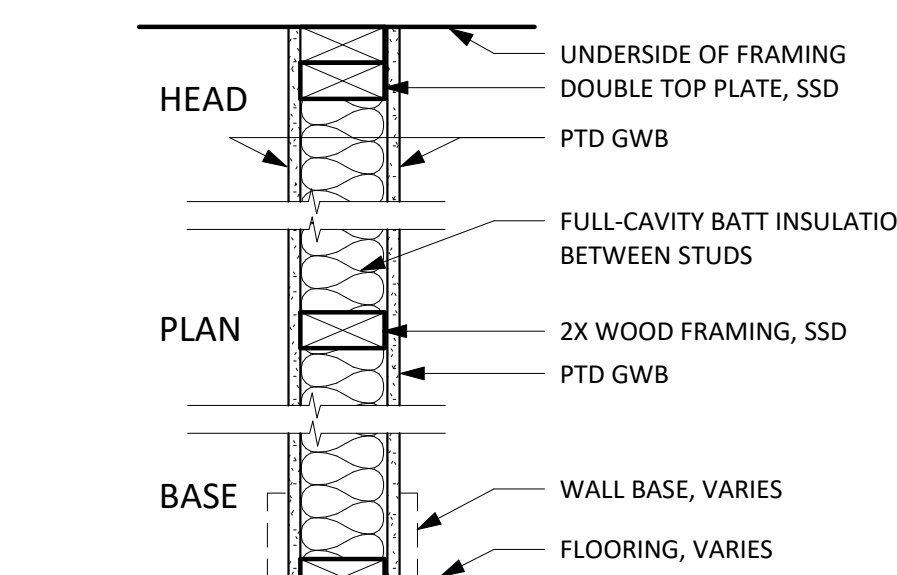
9 BLOCKING DETAIL  
3" = 1'-0"



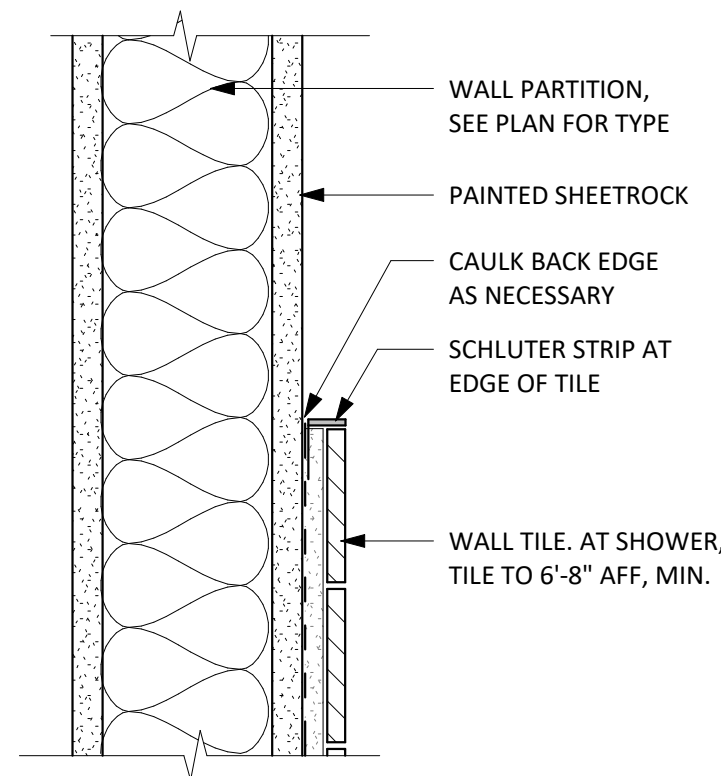
8 INTERIOR WOOD POCKET DOOR HEAD  
3" = 1'-0"



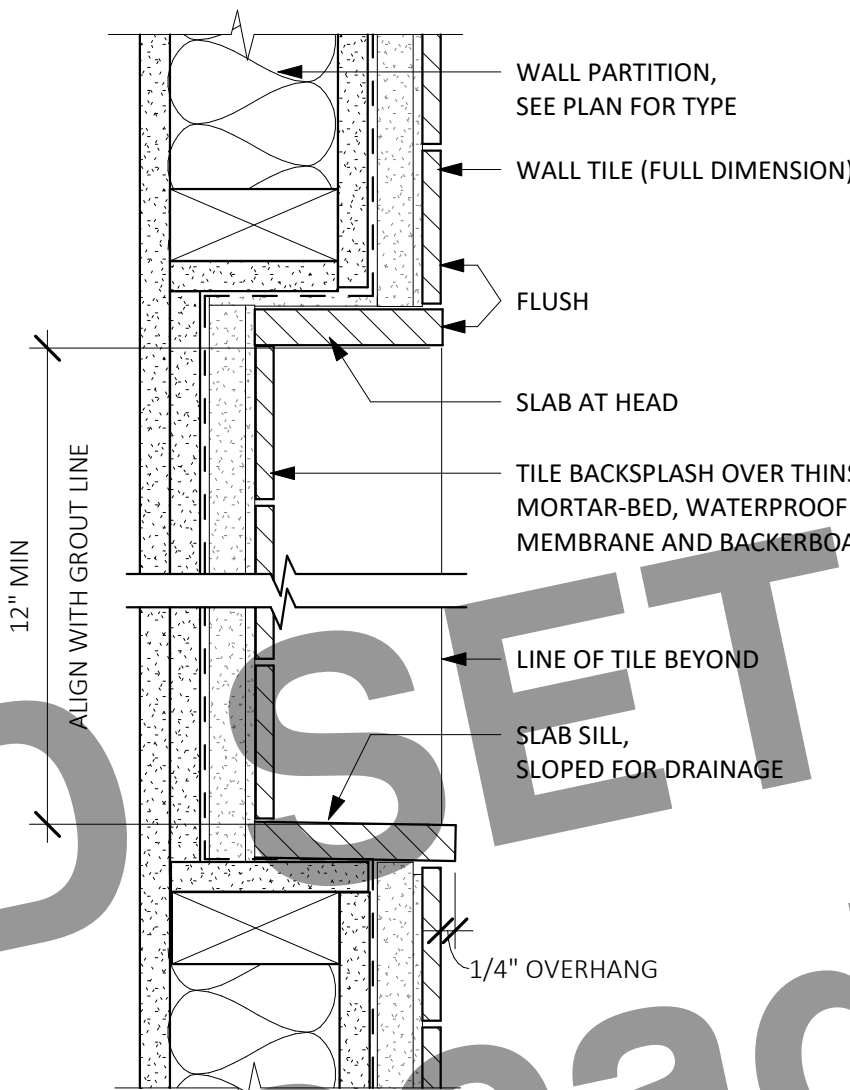
7 INTERIOR WOOD DOOR HEAD/JAMB  
3" = 1'-0"



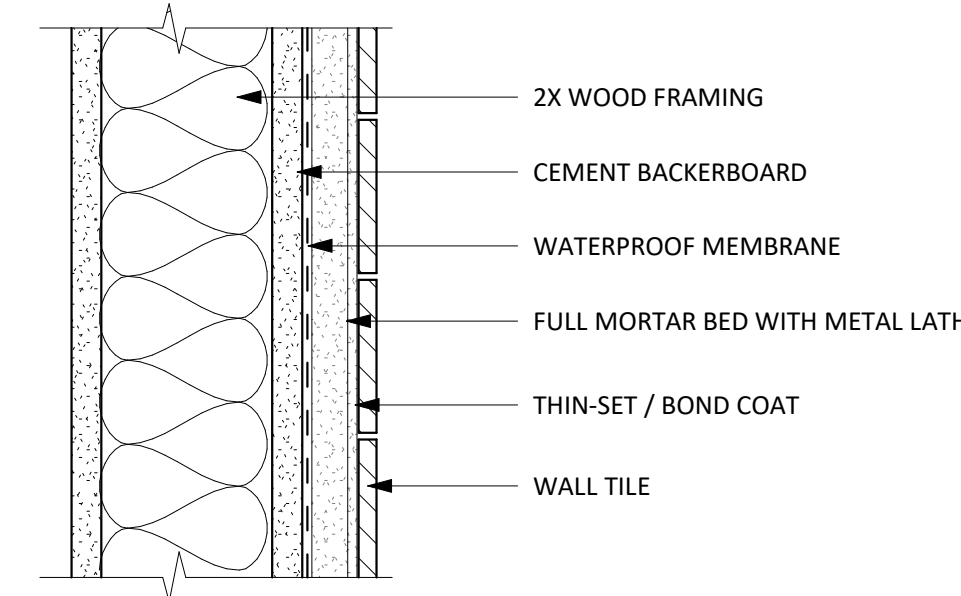
6 TYP. INTERIOR WALL PARTITION  
1 1/2" = 1'-0"



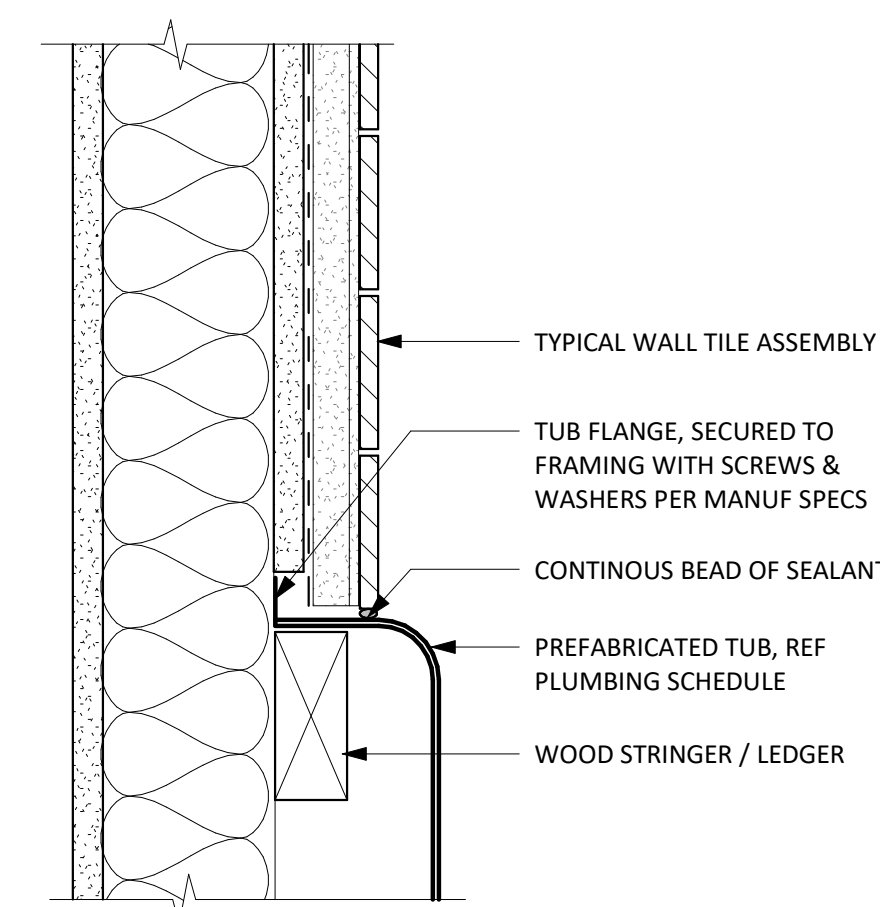
13 TILE / GYPSUM TRANSITION  
3" = 1'-0"



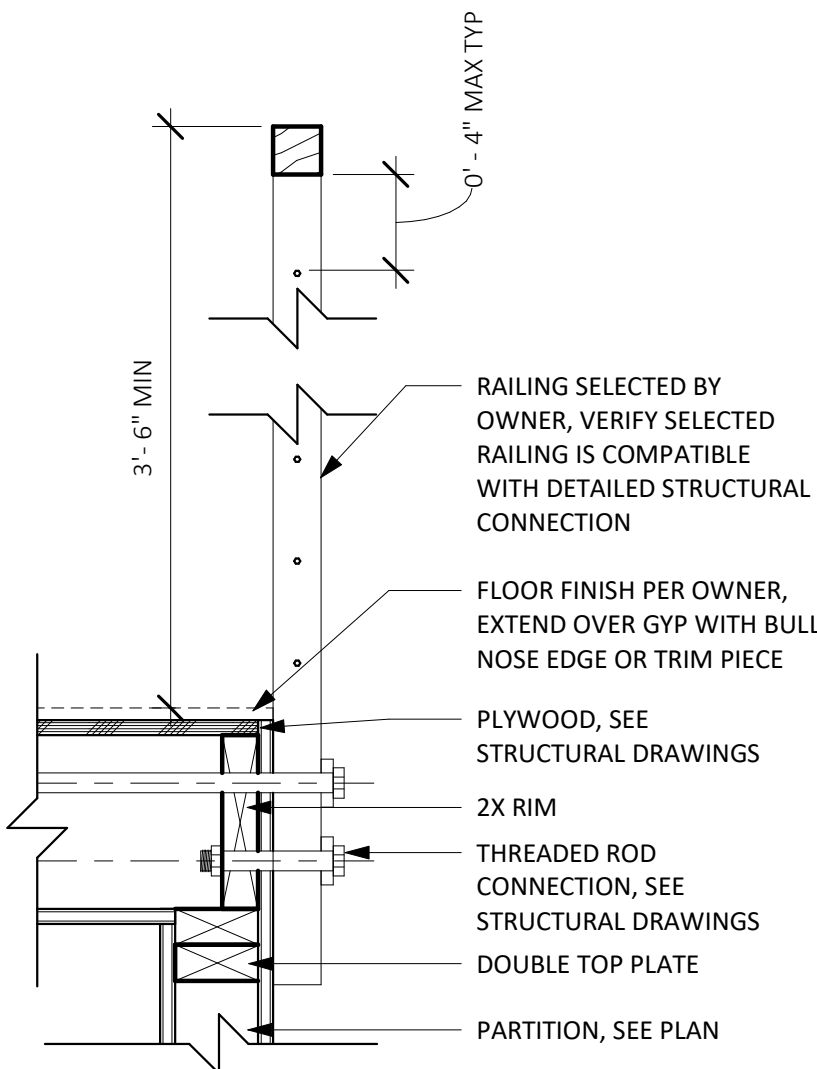
12 TILE NICHE  
3" = 1'-0"



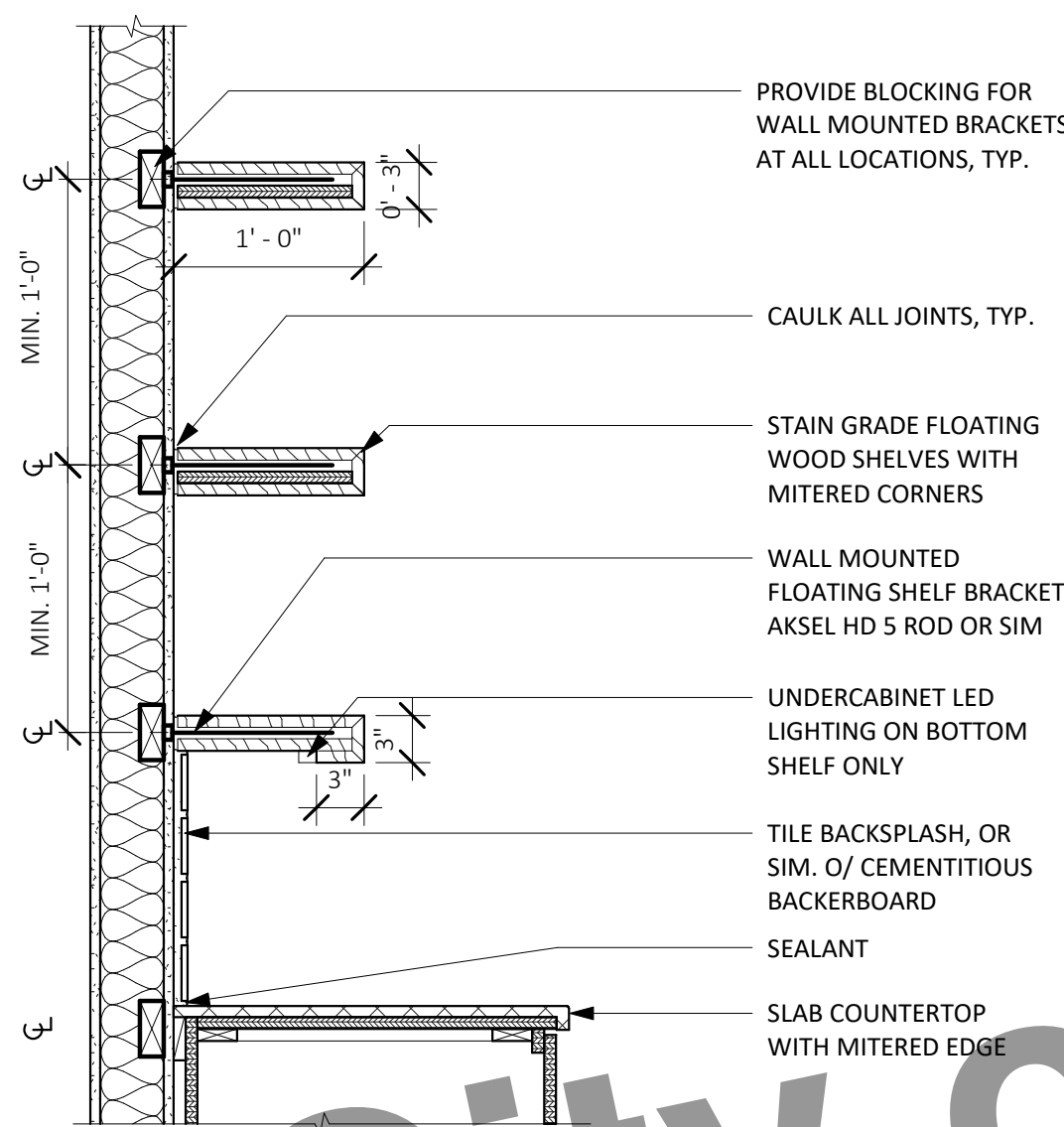
11 TYP. WALL TILE ASSEMBLY  
3" = 1'-0"



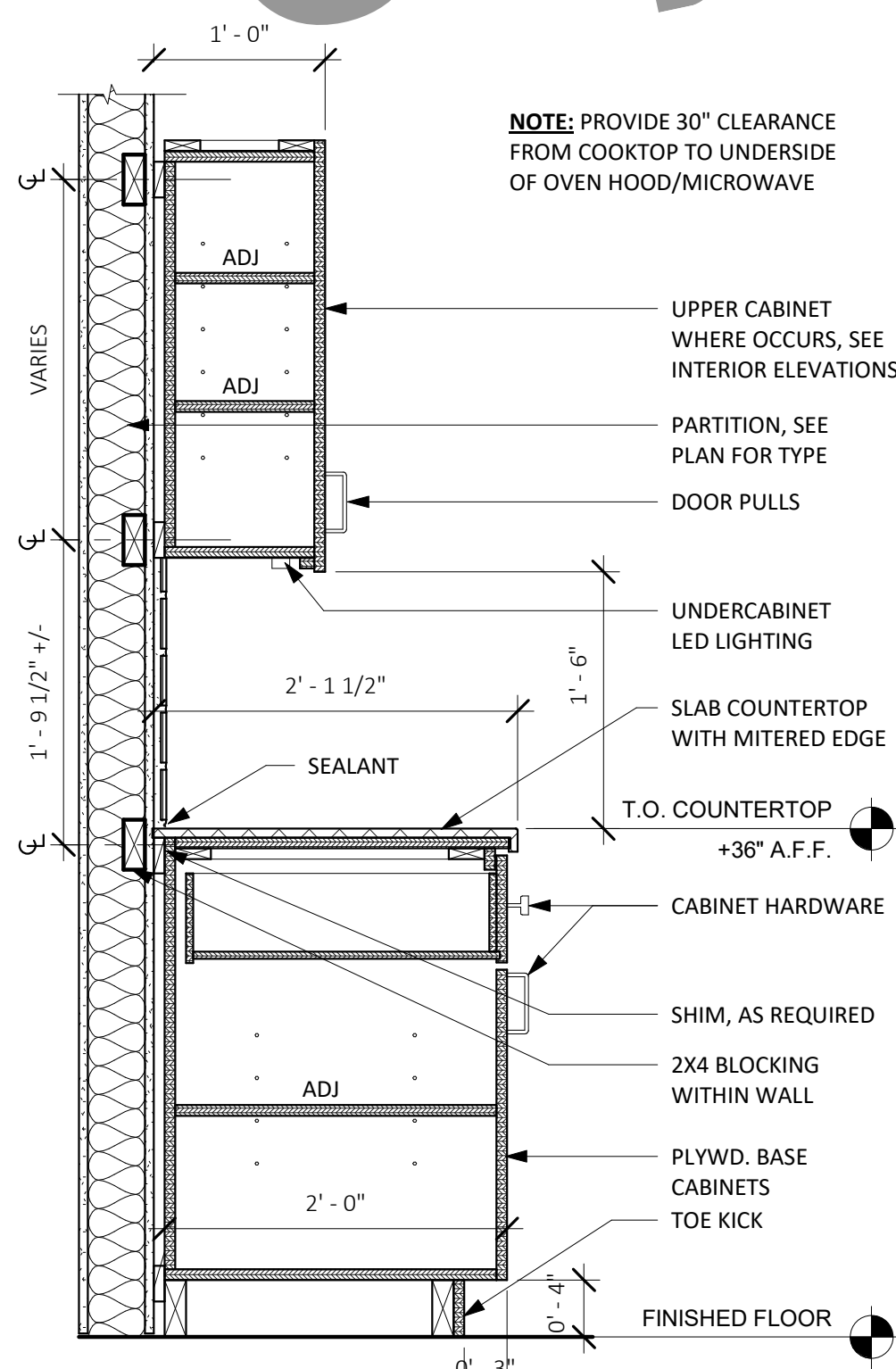
10 TILE AT TUB DECK  
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT  
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)  
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET  
1" = 1'-0"

## WINDOW SCHEDULES

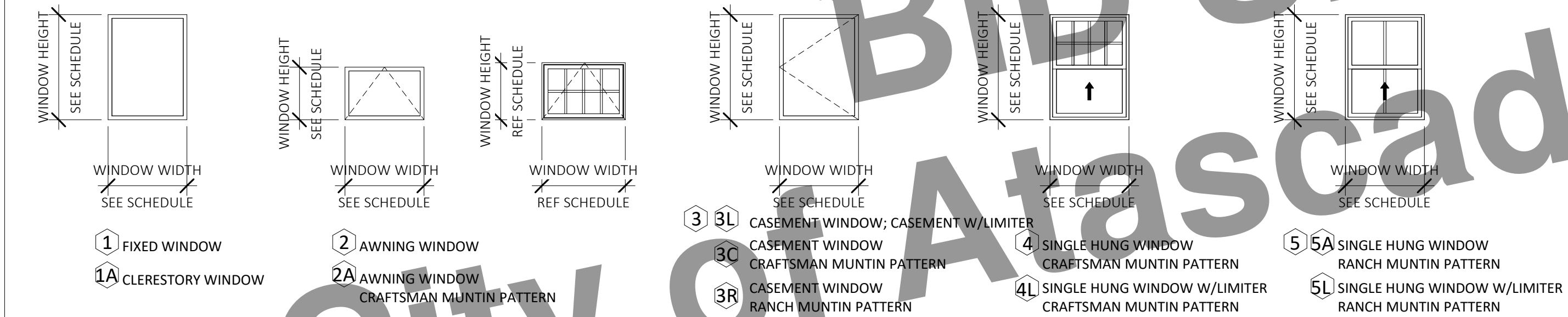
USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - ONE BEDROOM - COASTAL RANCH							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
3R	CASEMENT	2	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5	SINGLE HUNG	3	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1' - 6"	2' - 3"	7' - 0"	4' - 9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
WINDOW SCHEDULE - ONE BEDROOM - BACKYARD CRAFTSMAN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3' - 0"	2' - 0"	7' - 0"	5' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3C	CASEMENT	2	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	3	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
WINDOW SCHEDULE - ONE BEDROOM - CALIFORNIA MODERN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	6	3' - 0"	2' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	4	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
WINDOW SCHEDULE - ONE BEDROOM - BEACH BUNGALOW							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	3	3' - 0"	2' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	4	3' - 0"	4' - 0"	7' - 0"	3' - 0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

## WINDOW MATERIAL LEGEND

FRAME MATERIAL				FRAME FINISH	
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

## WINDOW TYPES



## GLAZING TYPES

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

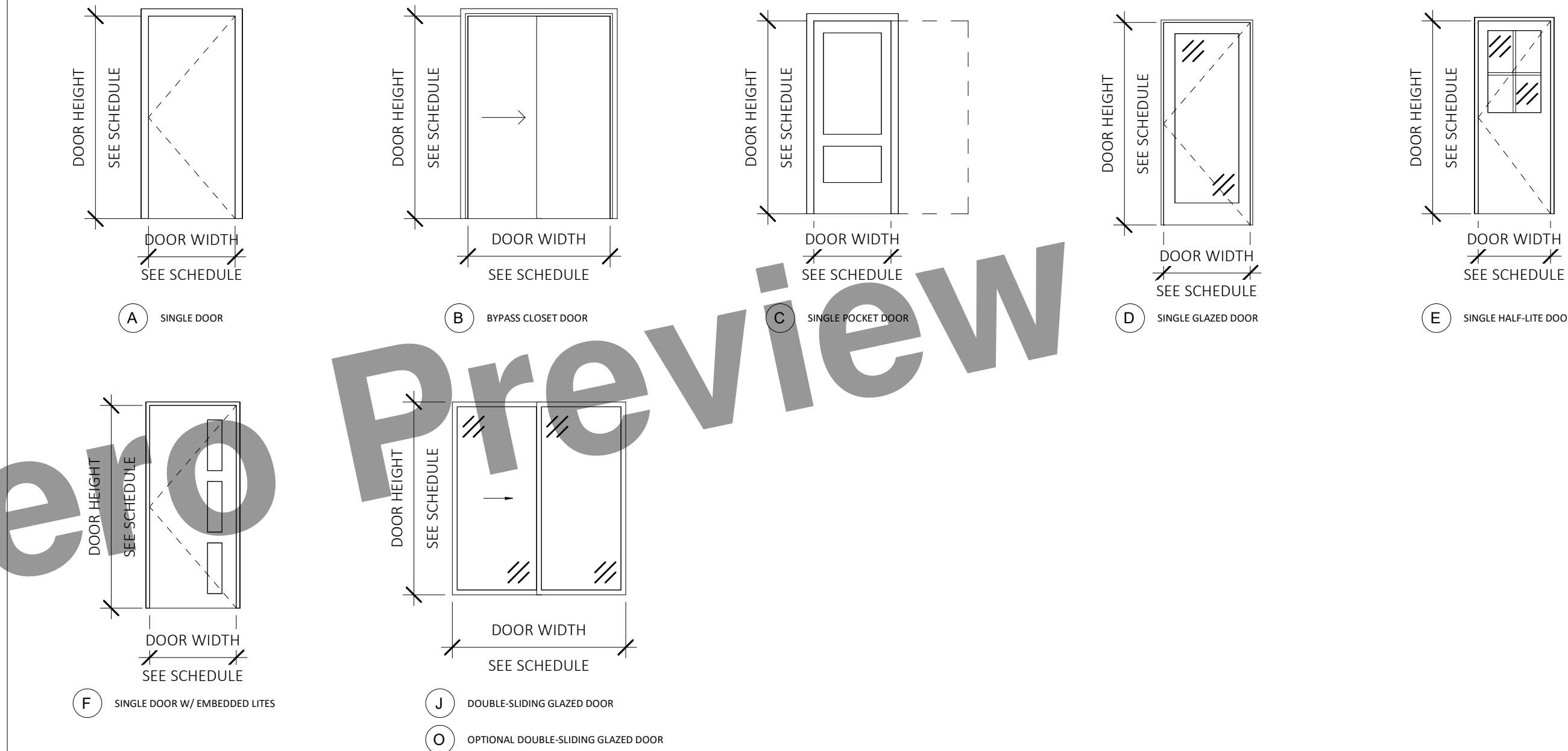
## TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
  - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

## DOOR SCHEDULE

DOOR SCHEDULE - ONE BEDROOM																	
MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS					DETAILS			HARDWARE GROUP	NOTES	
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL			
A01	M		BEDROOM	3' - 0"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	7/AS.3	PER MFR	PER MFR	4		
D02	A-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2' - 6"	6' - 8"	0' - 2"			GL-2 TEMP			3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.	
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3' - 0"	7' - 0"	0' - 1 3/8"			GL-2 TEMP			3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.	
O02	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.	
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.	
A02	A	EXTERIOR WATER HEATER CLOSET DOOR		2' - 6"	6' - 8"	0' - 2"			N/A						PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR VENTILATION	
B01	B	INTERIOR BYPASS CLOSET DOOR	BEDROOM	3' - 6"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2		
C01	C	INTERIOR POCKET DOOR	BATH	2' - 8"	6' - 8"	0' - 1 1/2"	SC	PTD	N/A	WD	PTD	8/AS.3	PER MFR	PER MFR	3		

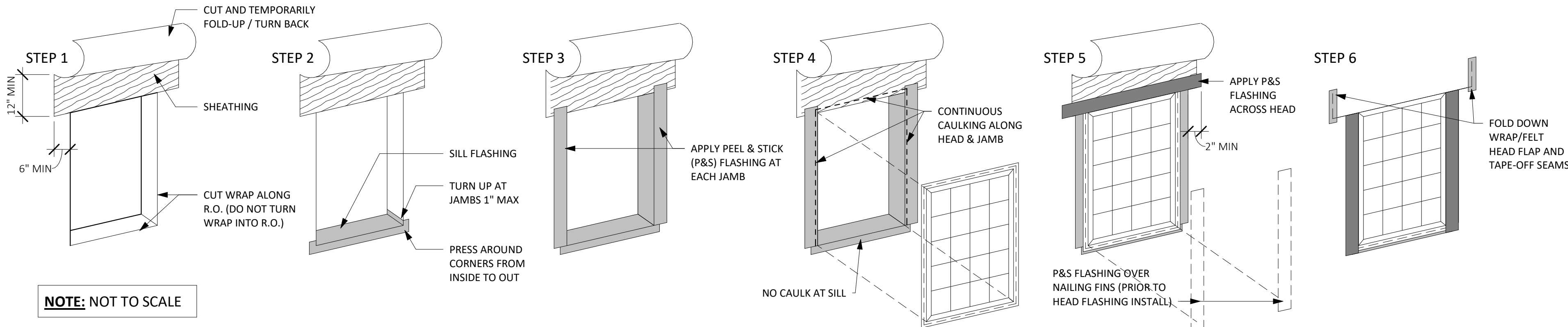
## DOOR TYPES



## DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

## WINDOW FLASHING SEQUENCE



NOTE: NOT TO SCALE

APPLIANCE SCHEDULE - ONE BEDROOM				
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

LIGHTING FIXTURE SCHEDULE - ONE BEDROOM				
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			16
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			2

PLUMBING FIXTURE SCHEDULE - ONE BEDROOM				
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	VANITY WITH SINK/FAUCET			
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			



workbench

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CENTRAL COAST  
PRE-DESIGNED ADU  
ONE BEDROOM  
626 GSF

PRINT DATE: XX.XX.XXXX

SCHEDULES-ONE  
BEDROOM

A6.0

SCALE: AS NOTED

PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES, COLLECTORS AND TIES (EN)	FIELD NAILING (FN)	TOP PLATE CONNECTION	MINIMUM FND PLATE THICKNESS	BOTTOM PLATE CONNECTION	ANCHOR BOLTS		ALLOWABLE SHEAR (psi)
							SIZE	SPACING (O.C.)	
1	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
3	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
2. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING, OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
4. STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
6. ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS. UNO, THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING
8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.
9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES

ABBREVIATIONS			
AB	Anchor Bolt	(E)	Existing
ABV	Above	EA	Each
ACI	American Concrete Institute	EN	Edge Nailing
ALT	Alternate	ENGR	Engineer
APA	American Plywood Association	EXT	Exterior
ARCH	Architect	FLR	Floor
BD	Board	FND	Foundation
BLK(G)	Block(ing)	FOS	Face of Concrete
BLW	Below	FRMG	Framing
BM	Beam	FT	Foot or Feet
BN	Boundary Nailing	FTG	Footings
BP	Base Plate	GALV	Galvanized
BRG	Bearing	GL	Glued Laminated
BTWN	Between	GYP	Gypsum
CBC	CA Building Code	HDR	Holdown
CL	Center Line	HORIZ	Horizontal
CLG	Ceiling	HT	Height
CLR	Clear, Clearance	INT	Interior
COL	Column	JST(S)	Joist(s)
CONC	Concrete	MB	Machine Bolt
CONN	Connection	MI	Malleable Iron
CONT	Continuous	MIN	Minimum
CNTR	Center	(N)	New
CRC	CA Residential Code	OC	On Center
DBL	Double	OPHO	Opposite Hand
DF	Douglas Fir	OPNO	Opening
DIA	Diameter	PAF	Powder Actuated Fastener
DTL	Detail	PL	Plate or Property Line
DWG	Drawing		
		PLY	Plywood
		PSF	Pounds per Square Foot
		PSI	Pounds per Square Inch
		PTDF	Preservative Treated
		RDWD	Redwood
		REINF	Reinforcement
		REQD	Required
		RF	Roof
		RM	Room
		RTW	Retaining Wall
		SAD	See Architectural Drawings
		SB	Solid Blocking
		SF	Square Foot
		SIM	Similar
		SPEC	Specifications
		SQ	Square
		SS	Stainless Steel
		STD	Standard
		STL	Steel
		SKYLT	Skylight
		T&B	Top and Bottom
		T&G	Tongue and Groove
		TOC	Top of Concrete
		TOW	Top of Wall
		TR	Threaded Rod
		TYP	Typical
		UNO	Unless Noted Otherwise
		VIF	Verify In Field
		Ø	Diameter

STRUCTURAL NOTES AND SPECIFICATIONS

A. DESIGN CRITERIA

1. CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC)  
2022 CALIFORNIA BUILDING CODE (CBC)
2. FLOOR LIVE LOAD = 40 PSF
3. ROOF LIVE LOAD = 20 PSF
4. WIND DESIGN DATA:  
Vult = 91 MPH (Vult = 71 MPH), EXPOSURE D
5. SEISMIC DESIGN DATA:  
SITE CLASS = D (DEFAULT)  
Ss=1.096, Si=0.403  
SEISMIC DESIGN CATEGORY = D  
SEISMIC FORCE RESISTING SYSTEM:  
LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

1. ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
2. THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
5. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
8. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT ITS INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

1. FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

D. CONCRETE

1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER.
2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL. NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.  

SILLS.....PTDF NO. 2 OR BETTER  
JOISTS, RAFTERS, BEAMS, HEADERS.....UP TO 4x - DF NO. 2  
6x - DF NO. 1  
STUDS AND BLOCKING.....DF STANDARD, NO. 2 OR BETTER  
POSTS AND DOUBLE TOP PLATES.....DF NO. 1  
GLULAM BEAMS.....DF 24F-V4
6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLYS SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
14. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

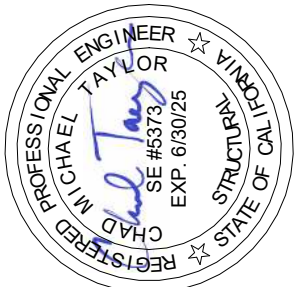
REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT

STRUCTURAL  
ENGINEERING

CM  
Taylor

C.M. Taylor Structural Engineering, Inc. 12426 Capitola Rd., Suite 204, Capitola, CA 95010  
Phone: 831-854-2484 email: contact@cmtyajose.com

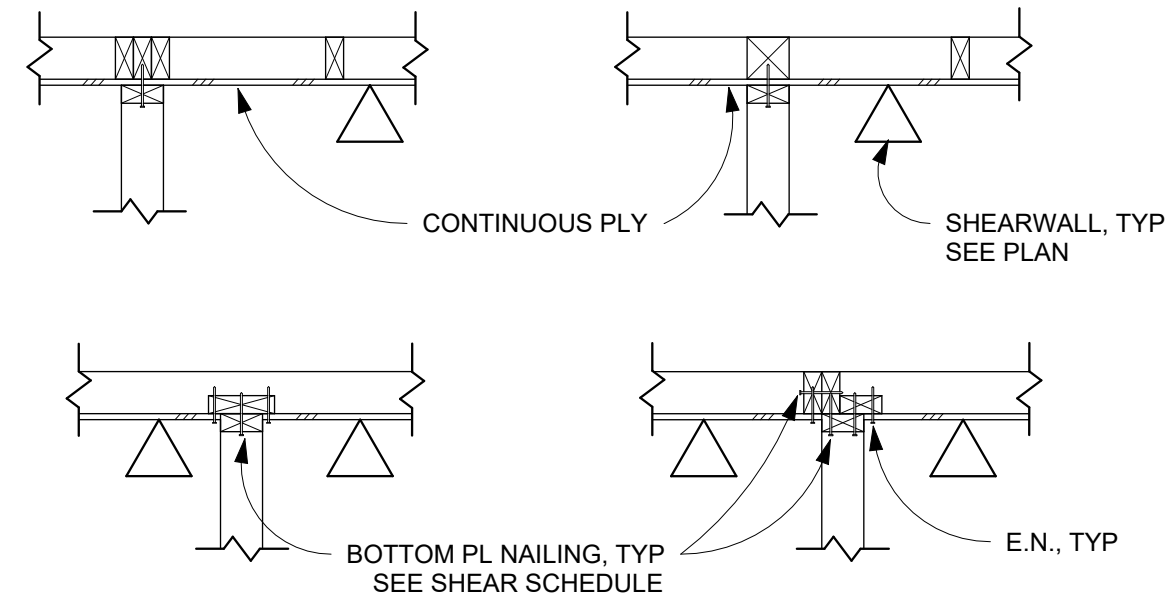
CENTRAL COAST STOCK ADU



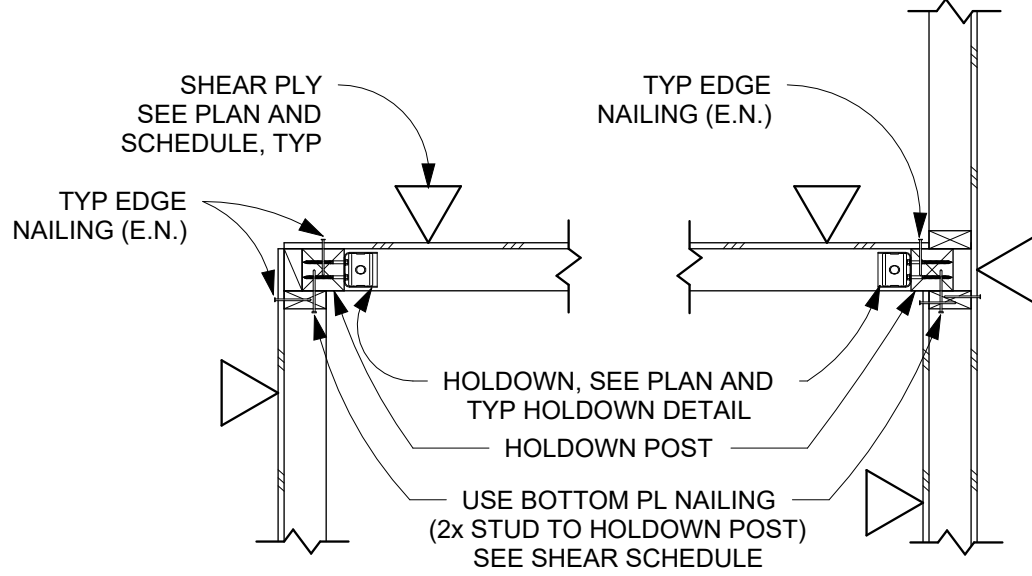
STRUCTURAL NOTES

DATE:	11-18-2022
JOB NO:	21091
SHEET	

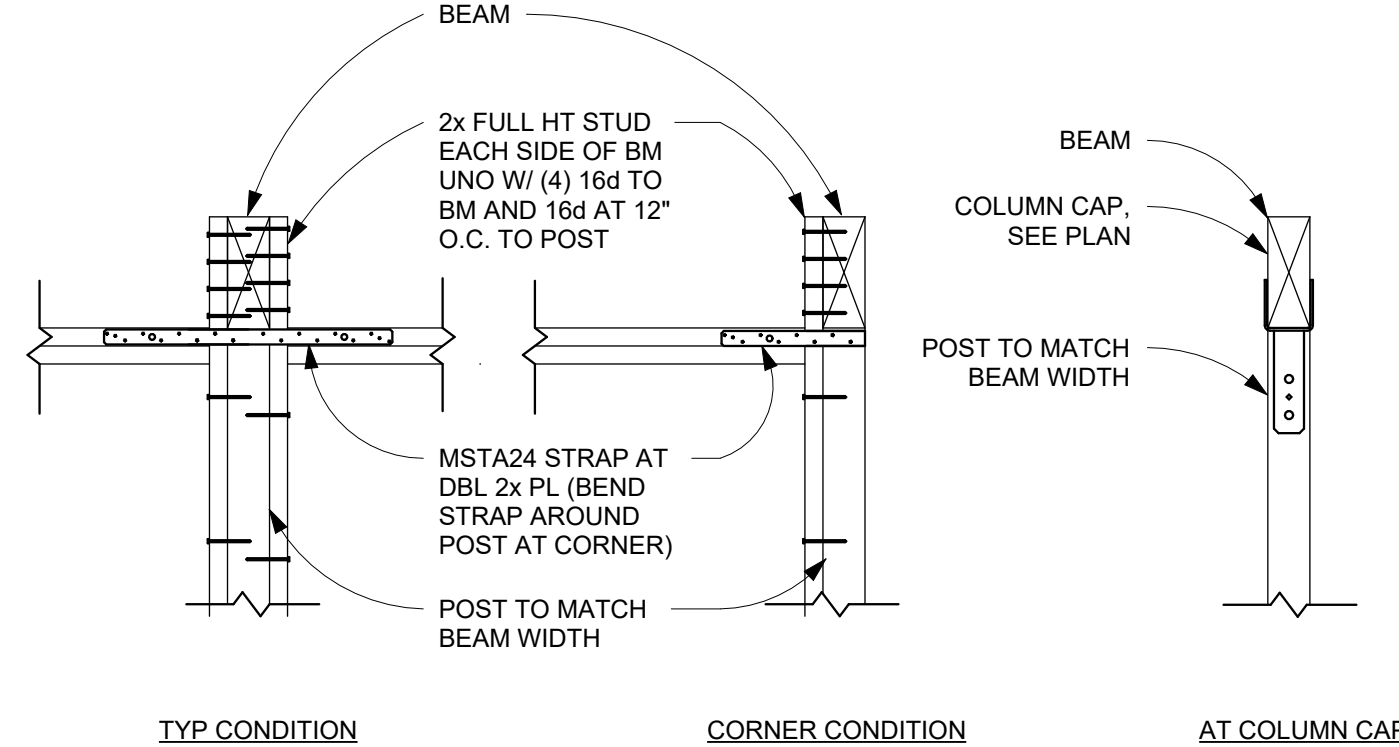
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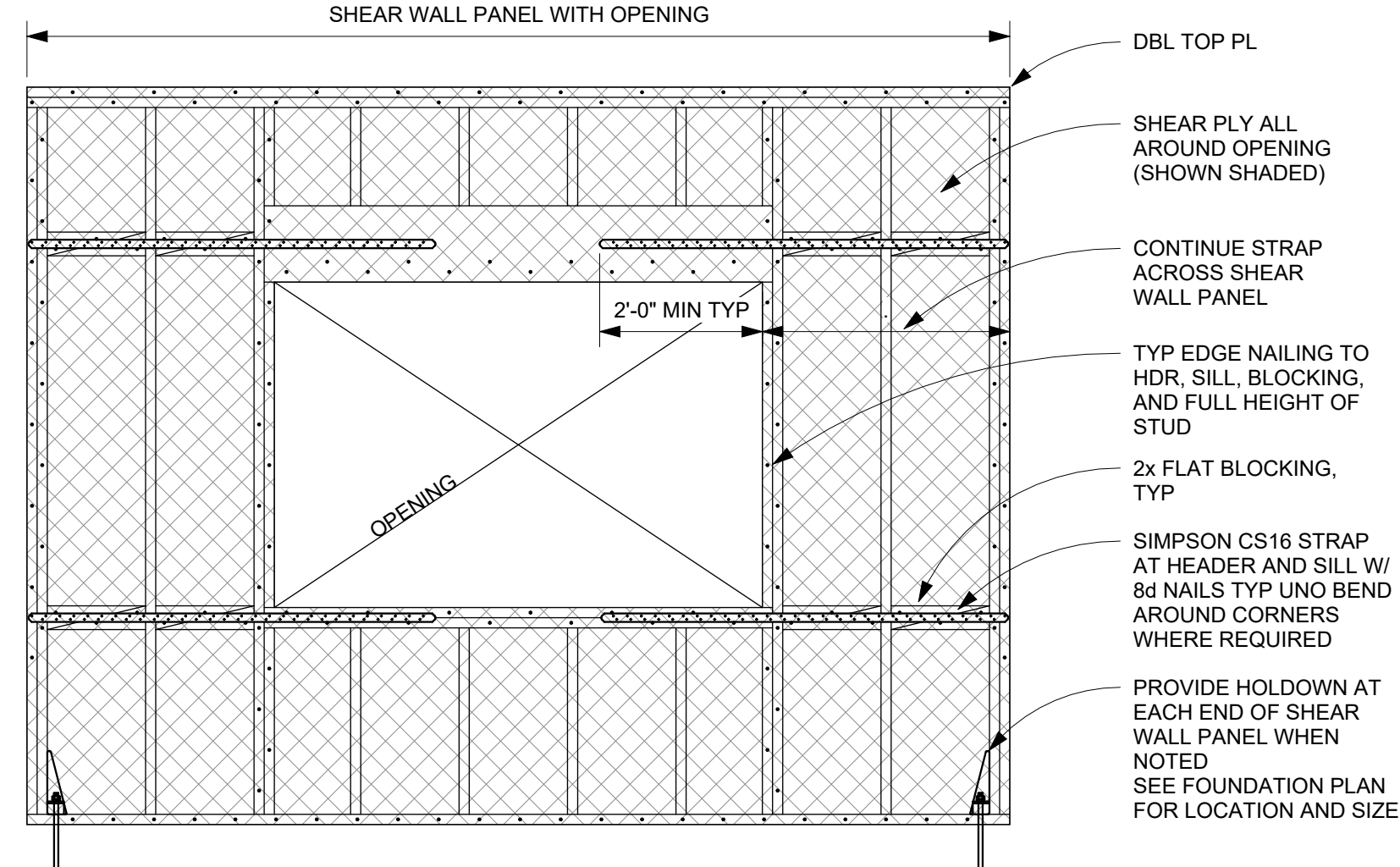
1  
S0.1  
CONT SHEAR WALL PLAN DETAIL  
3/4" = 1'-0"



2  
S0.1  
INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL  
3/4" = 1'-0"

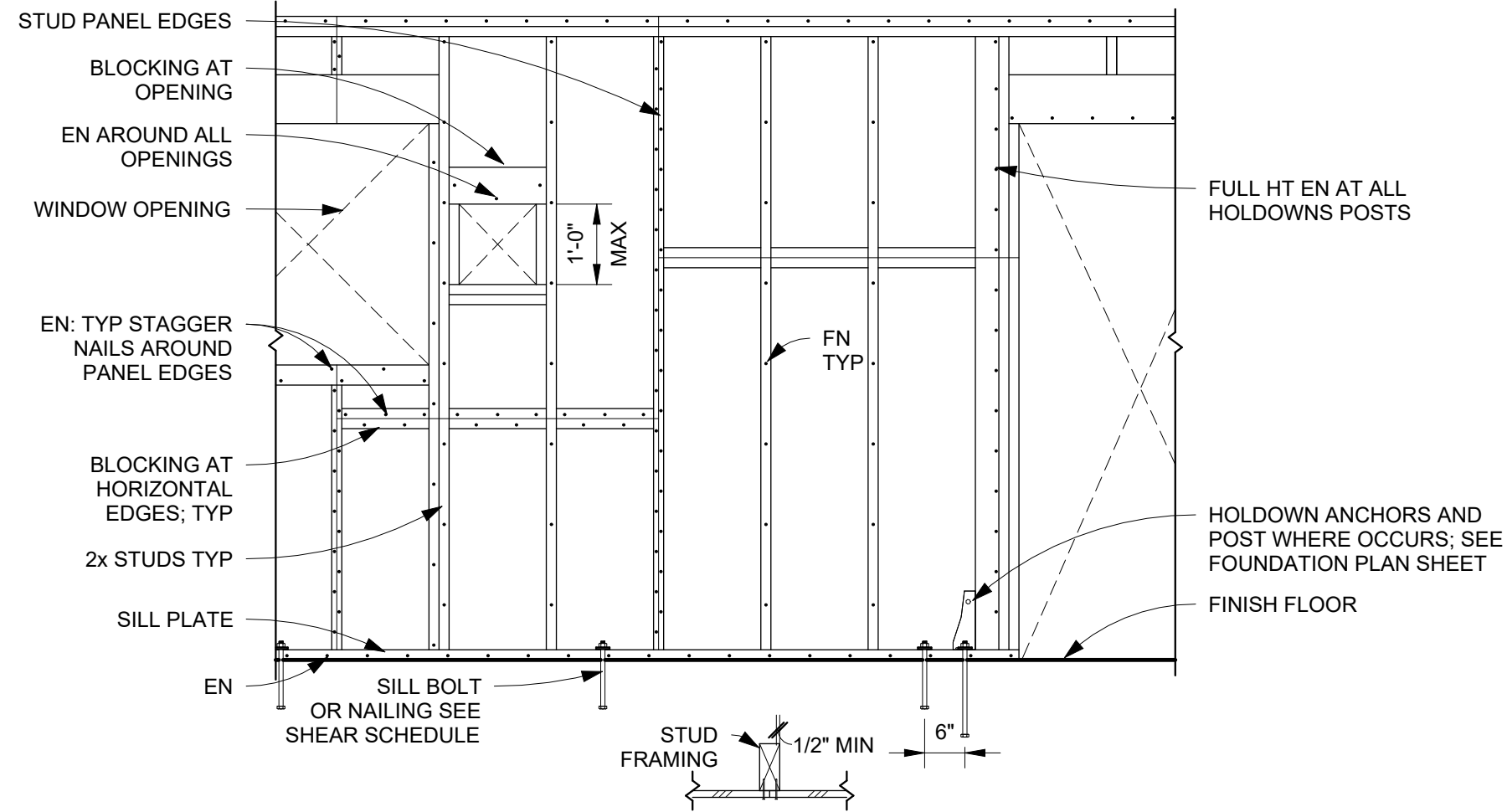


3  
S0.1  
TYPICAL POST TO BEAM CONN  
3/4" = 1'-0"



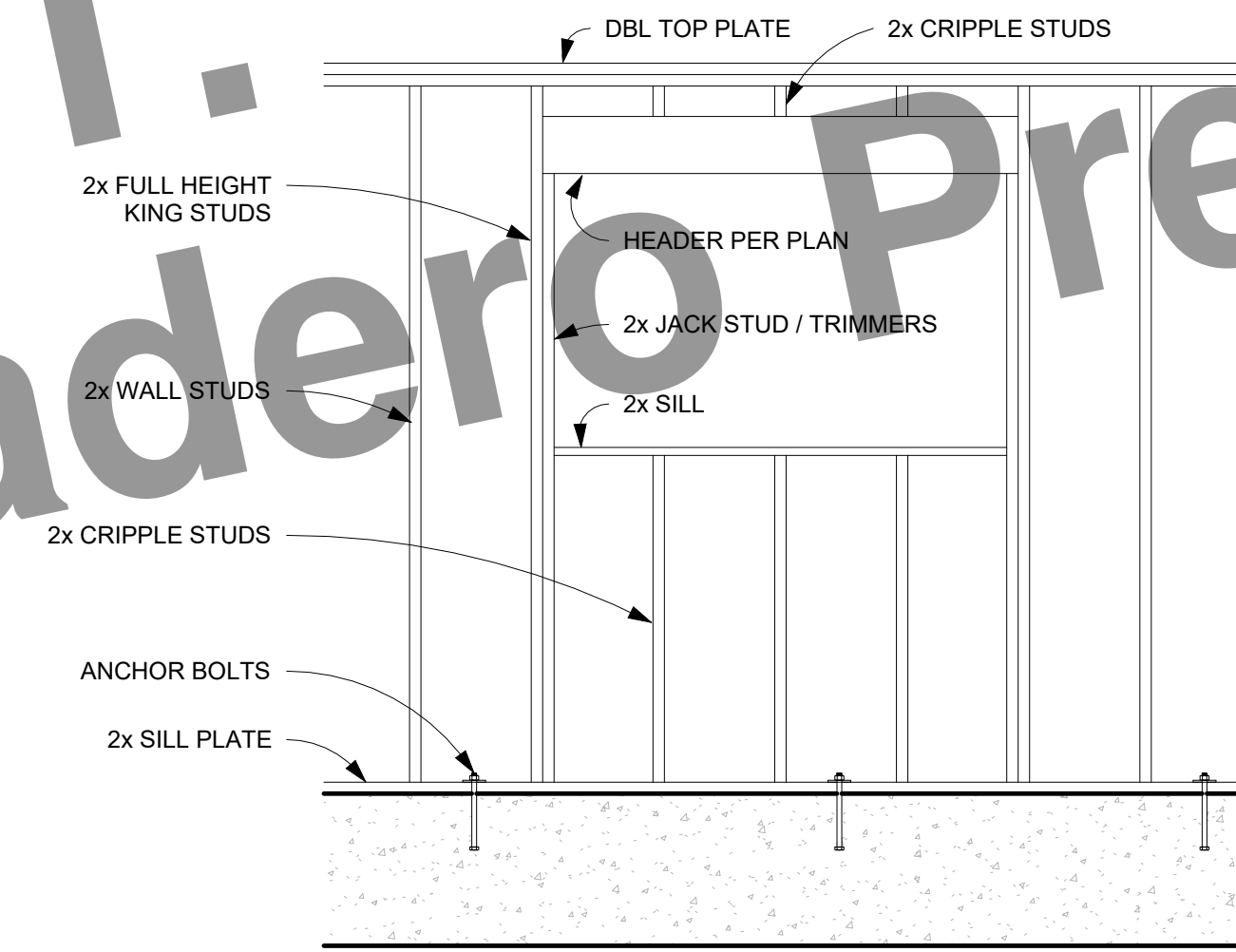
- NOTES:
1. PLACE STRAPS OVER PLYWOOD
  2. HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

4  
S0.1  
STRAP AROUND OPENING  
1/2" = 1'-0"

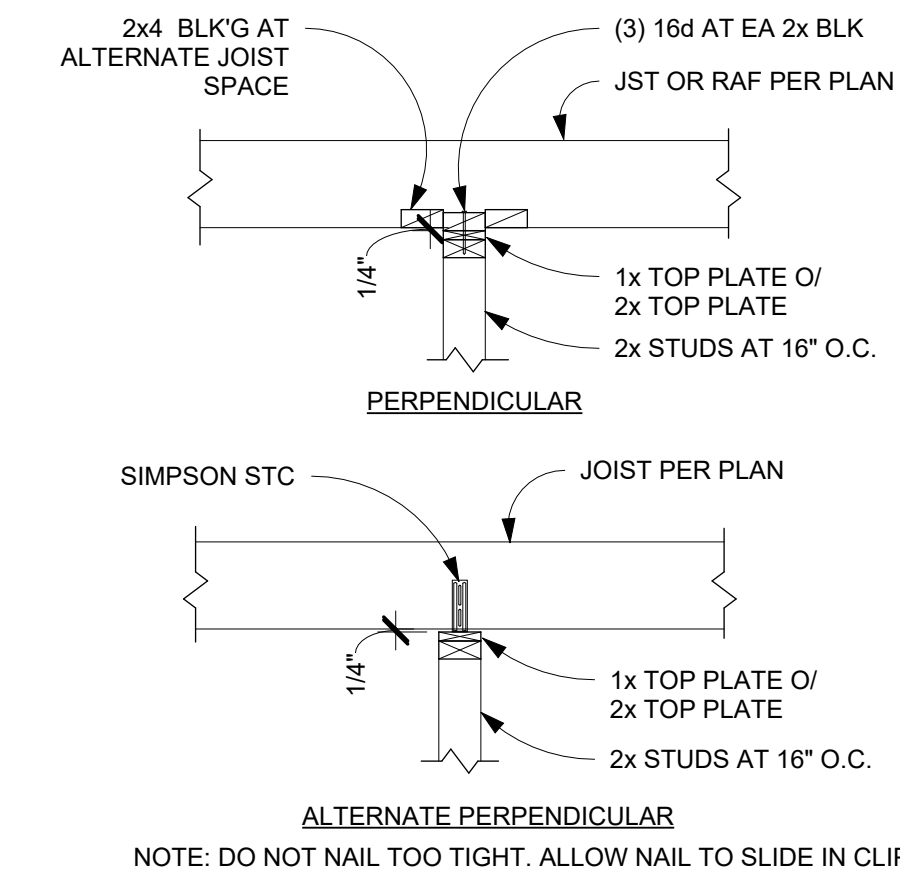


- NOTES:
1. INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
  2. (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
  3. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
  4. SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
  5. SEE PLAN FOR SHEARWALL SCHEDULE.
  6. THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

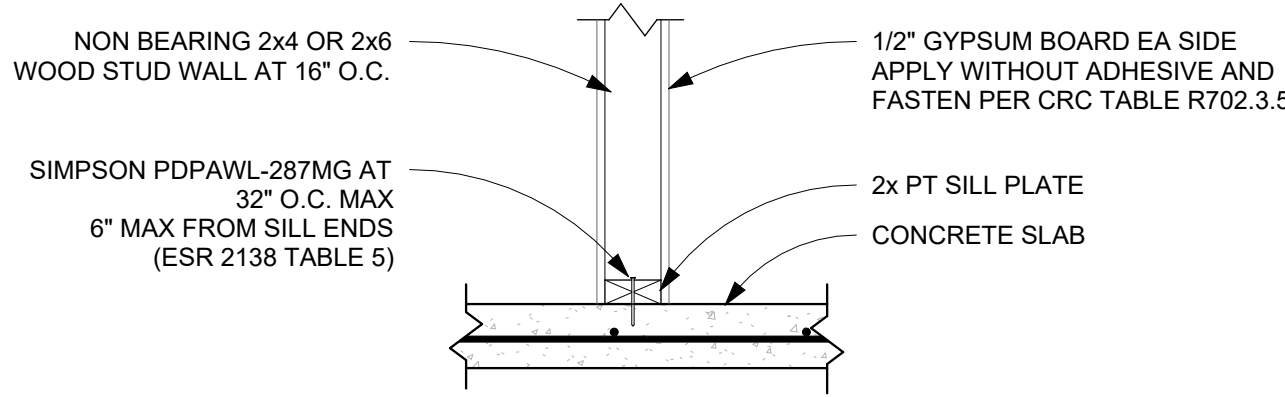
5  
S0.1  
TYP SHEAR WALL FRAMING  
1/2" = 1'-0"



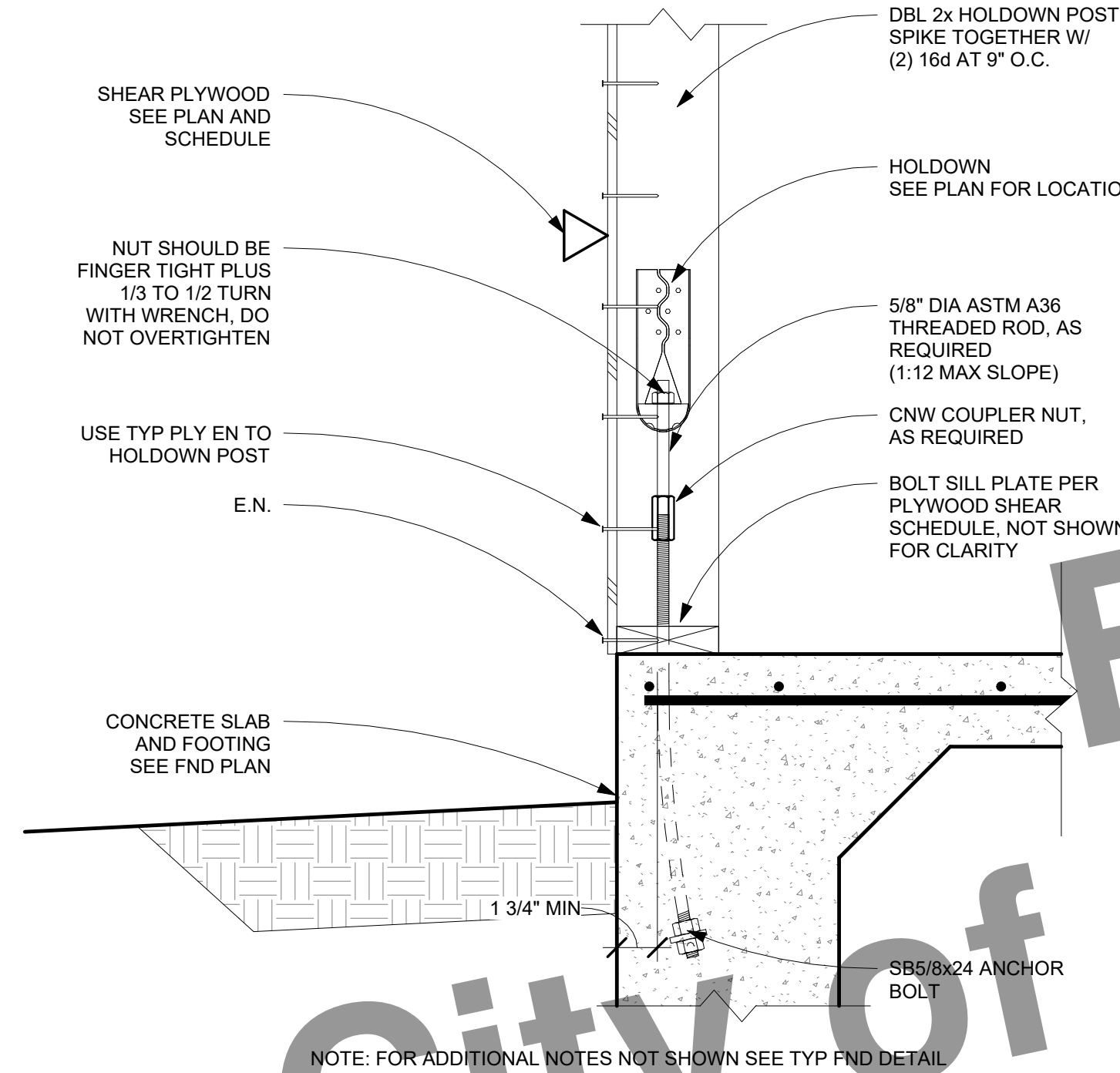
6  
S0.1  
TYP WALL FRAMING  
1/2" = 1'-0"



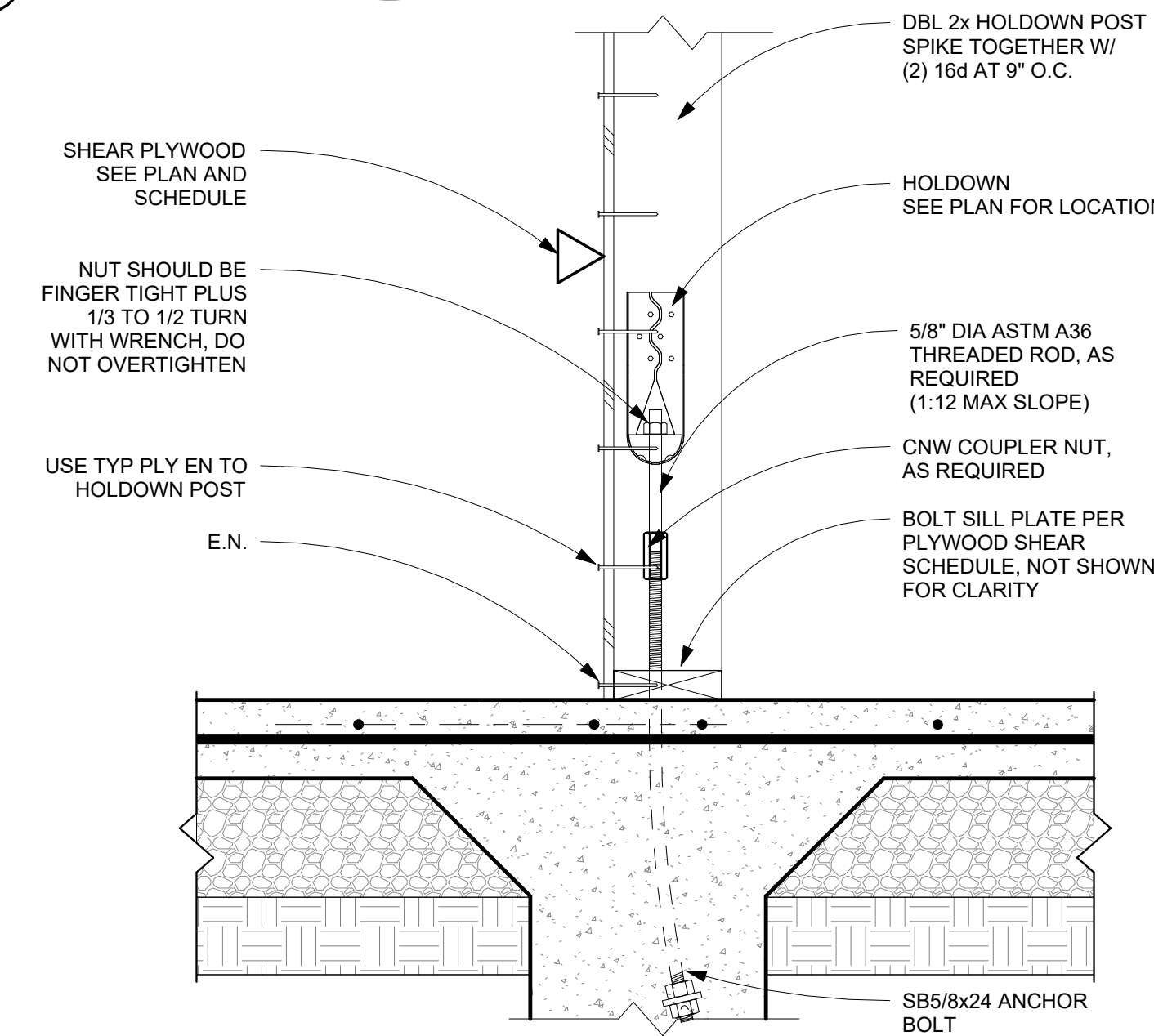
7  
S0.1  
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP  
3/4" = 1'-0"



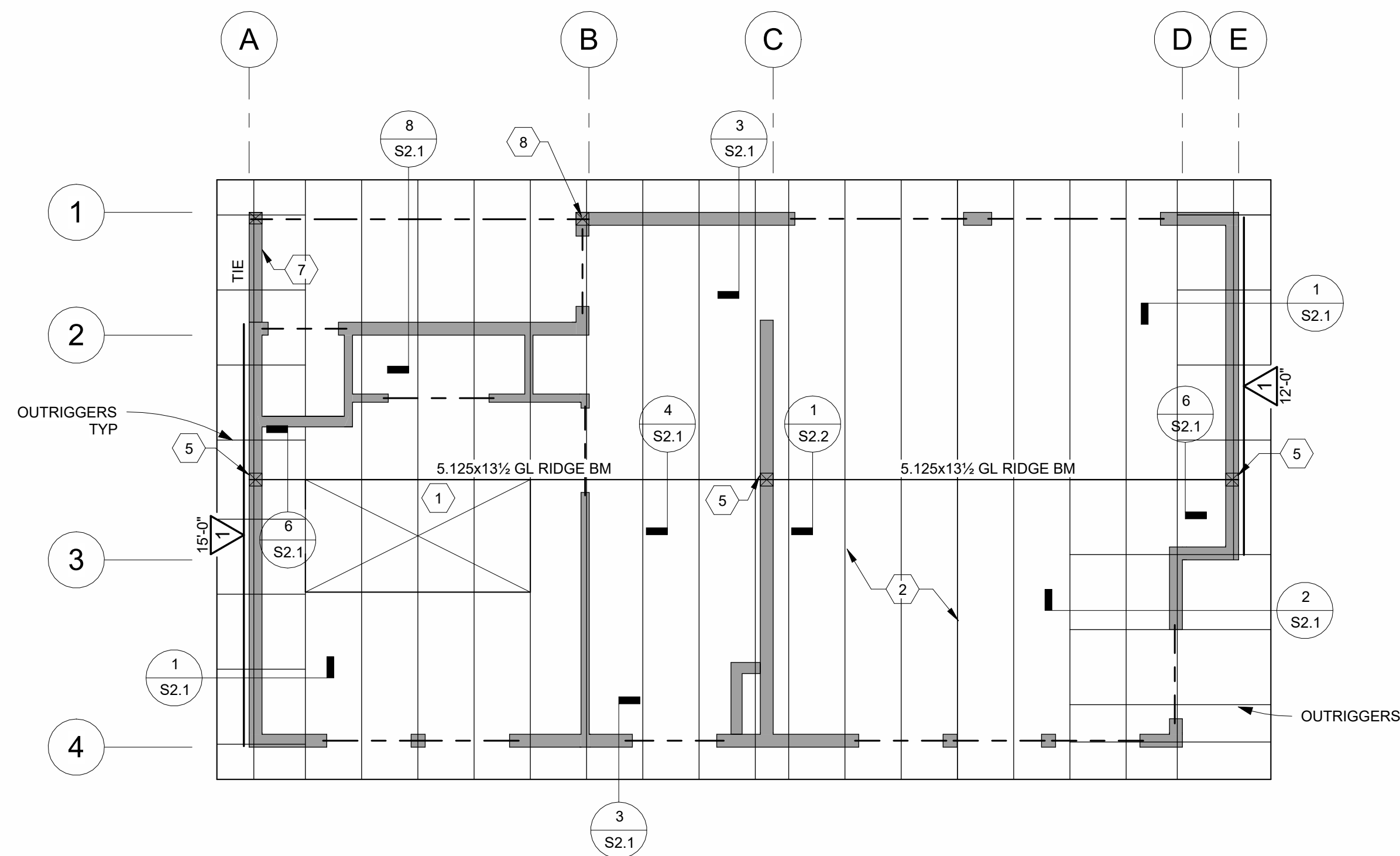
8  
S0.1  
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB  
1" = 1'-0"



9  
S0.1  
TYP HOLDOWN AT PERIM FTG  
1 1/2" = 1'-0"



10  
S0.1  
TYP HOLDOWN AT INTERIOR FOOTING  
1 1/2" = 1'-0"



ONE BEDROOM STUDIO ROOF FRAMING PLAN

1/4" = 1'-0"

ONEBED ROOF & CEILING FRAMING PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x6 RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC60 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x6 BEAM UNDER DBL TOP PLATE
9	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
10	FULL HEIGHT WALLS

LEGEND

- 1 KEYNOTE TAG, SEE KEYNOTE TABLES
- A HOLDOWN TAG, SEE HOLDOWN SCHEDULE
- 1'-0" SHEARWALL TAG
- 1'-0" PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
- HOLDOWN POST
- WALL ABOVE
- WALL BELOW

FOUNDATION PLAN NOTES

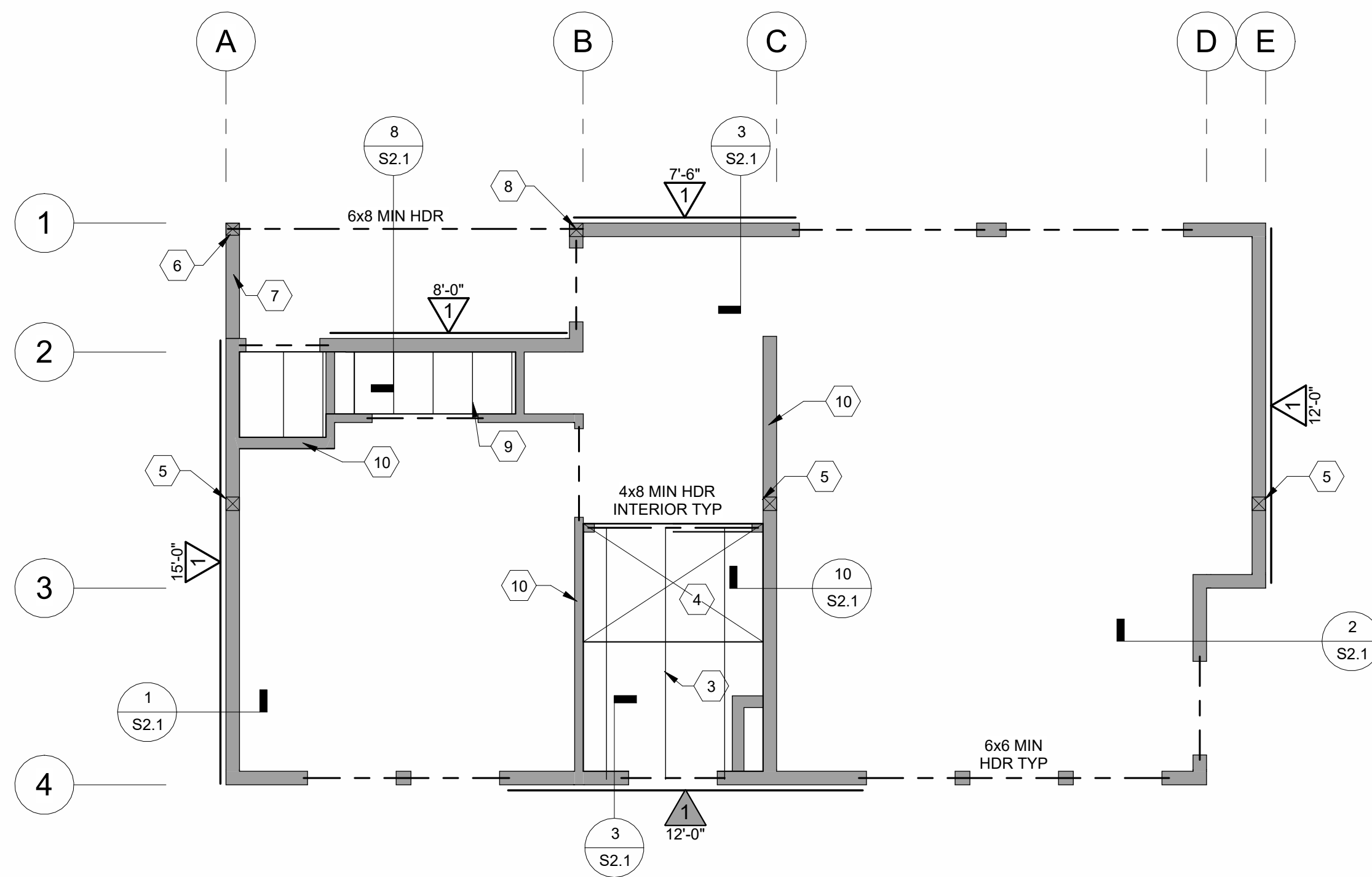
- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- \* INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONEBED  
FOUNDATION PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	6x6 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

HOLDOWN SCHEDULE

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

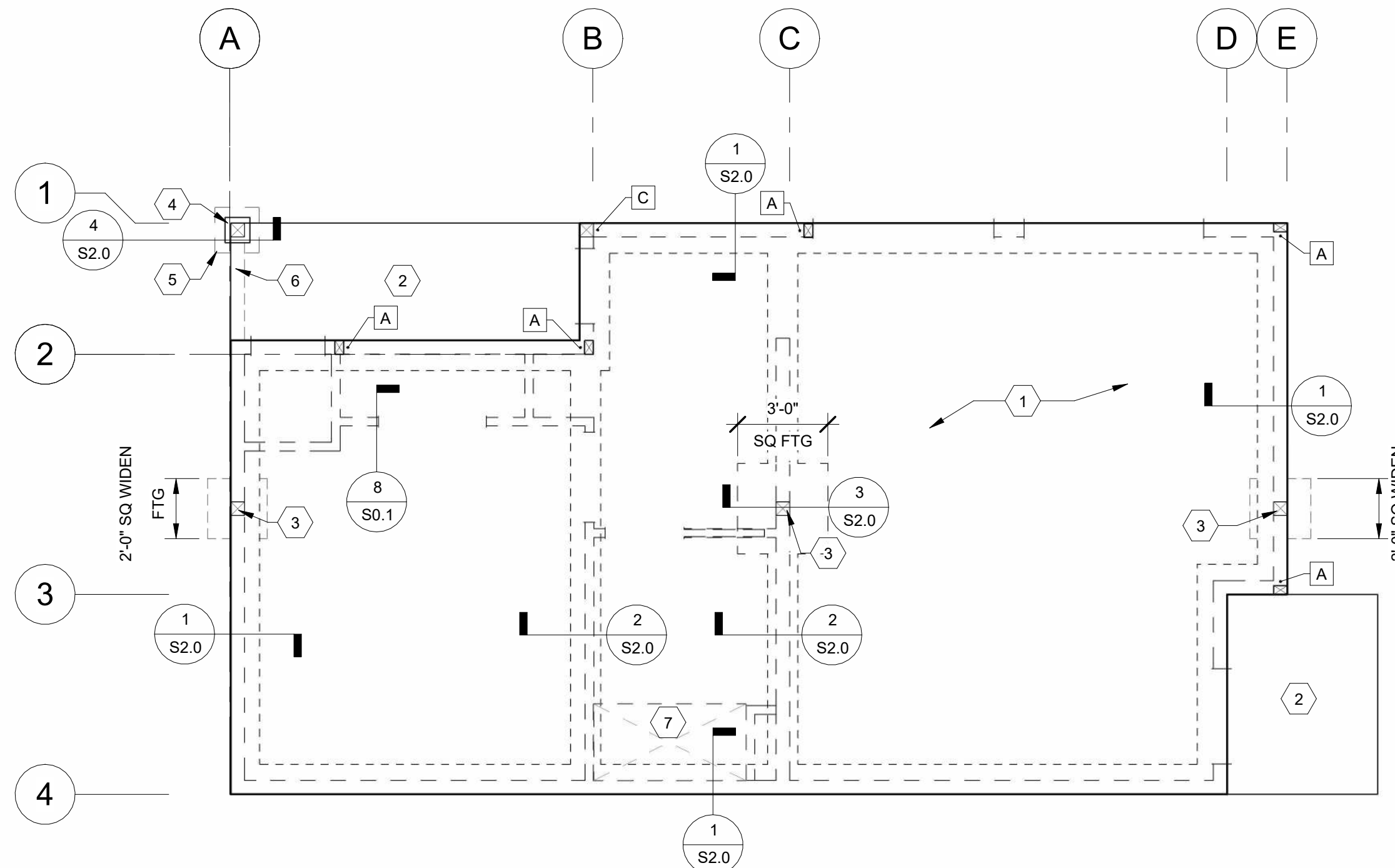


ONE BEDROOM STUDIO CEILING FRAMING PLAN

1/4" = 1'-0"

ROOF AND CEILING/LOFT FRAMING NOTES

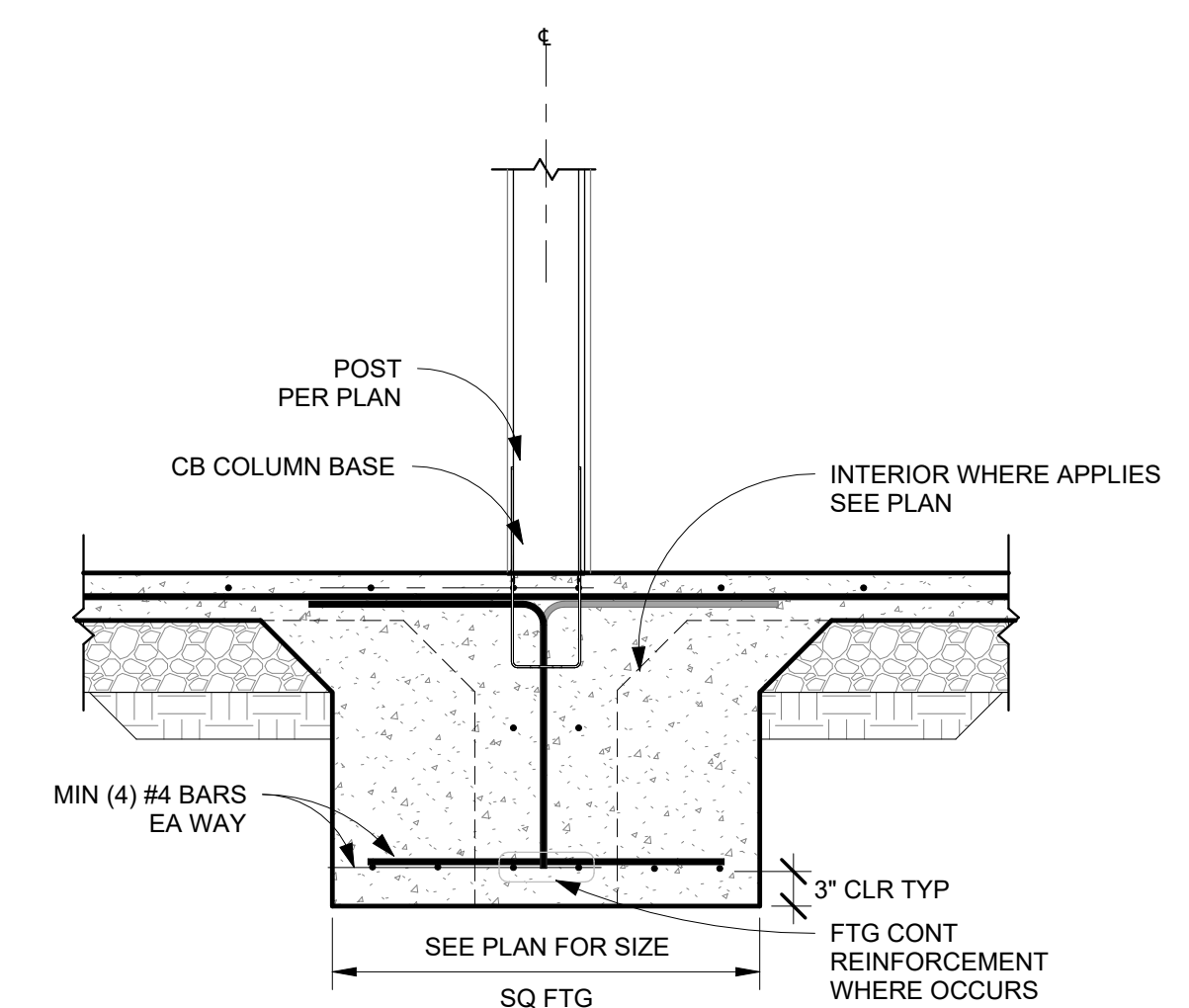
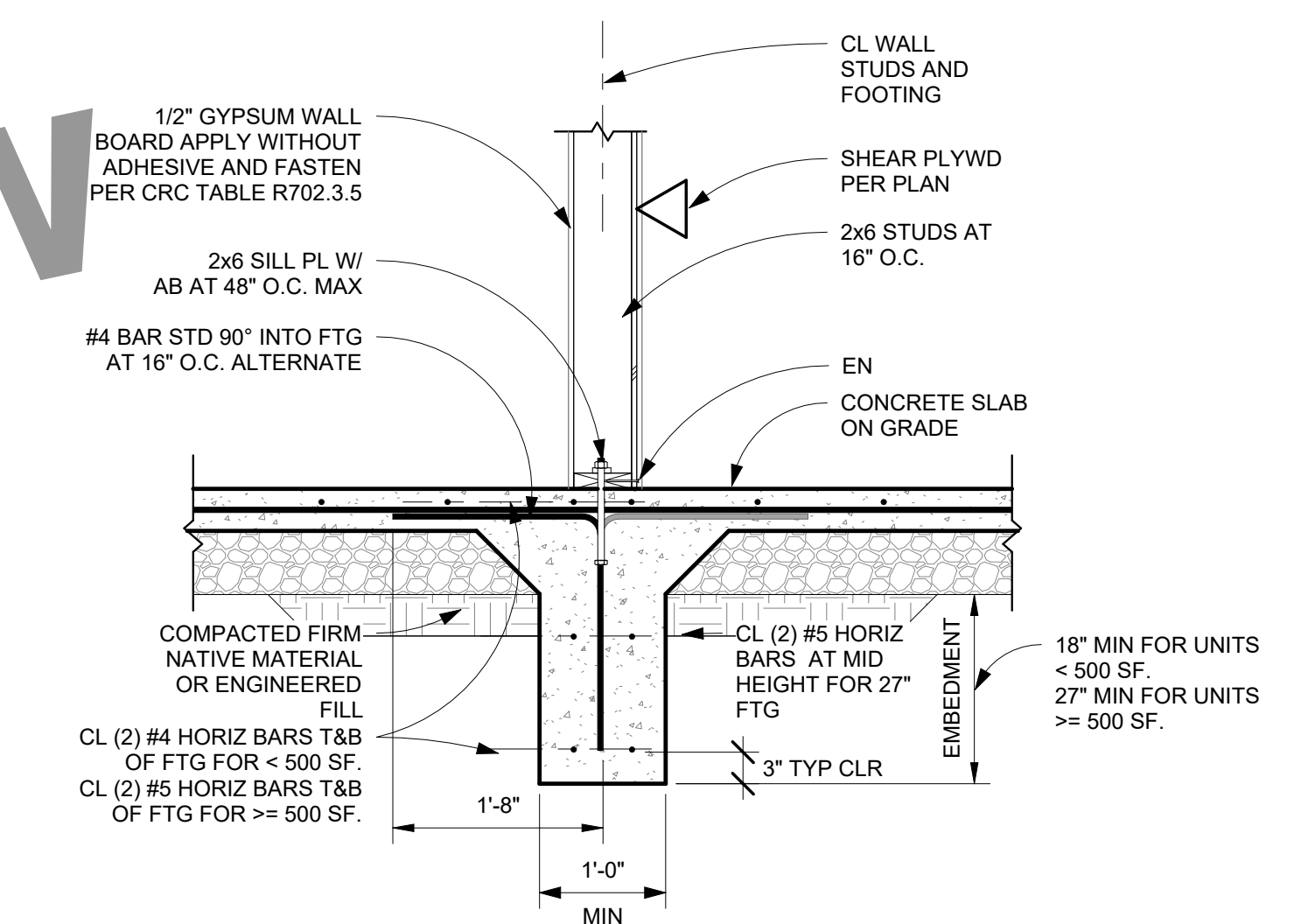
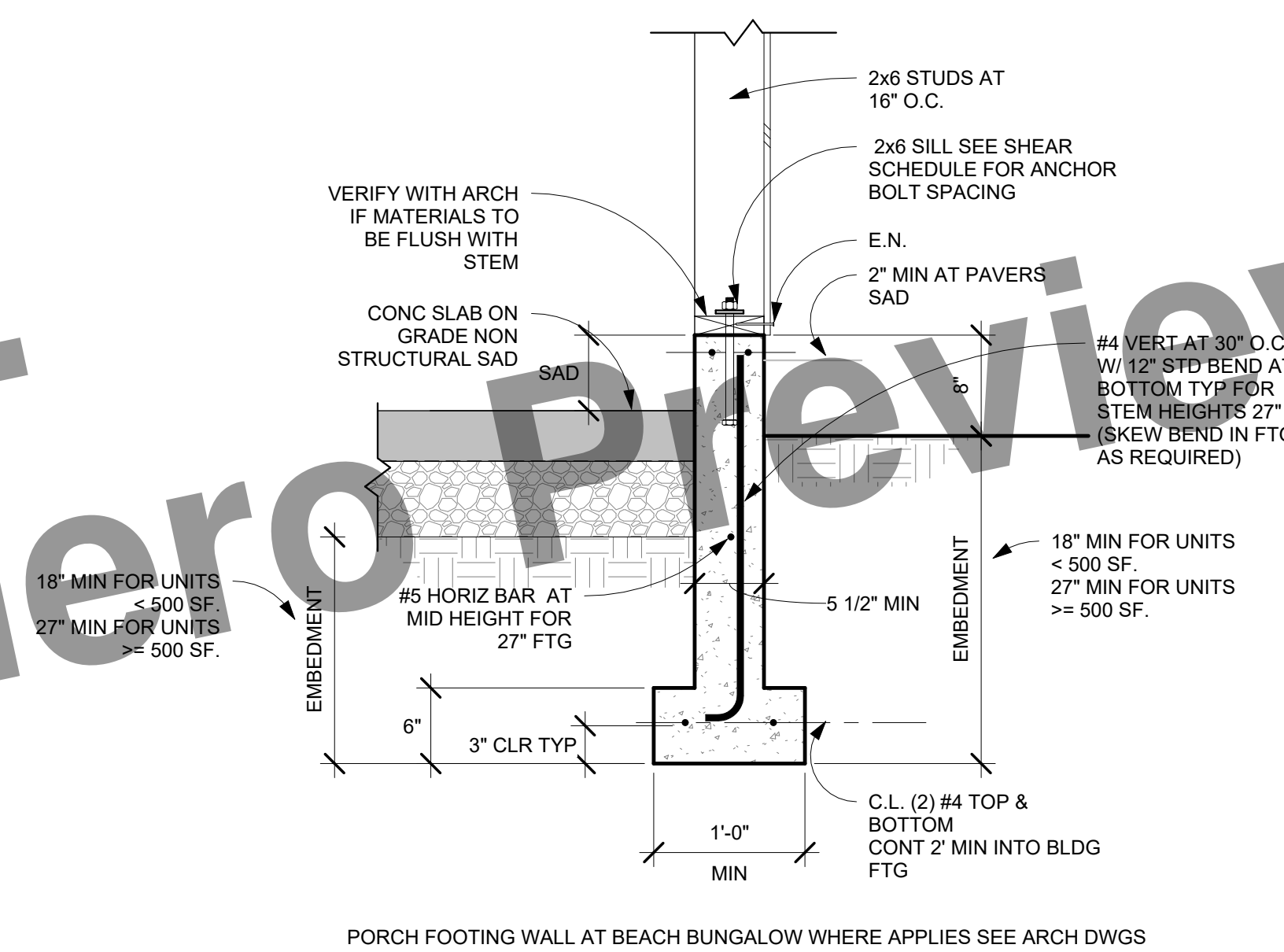
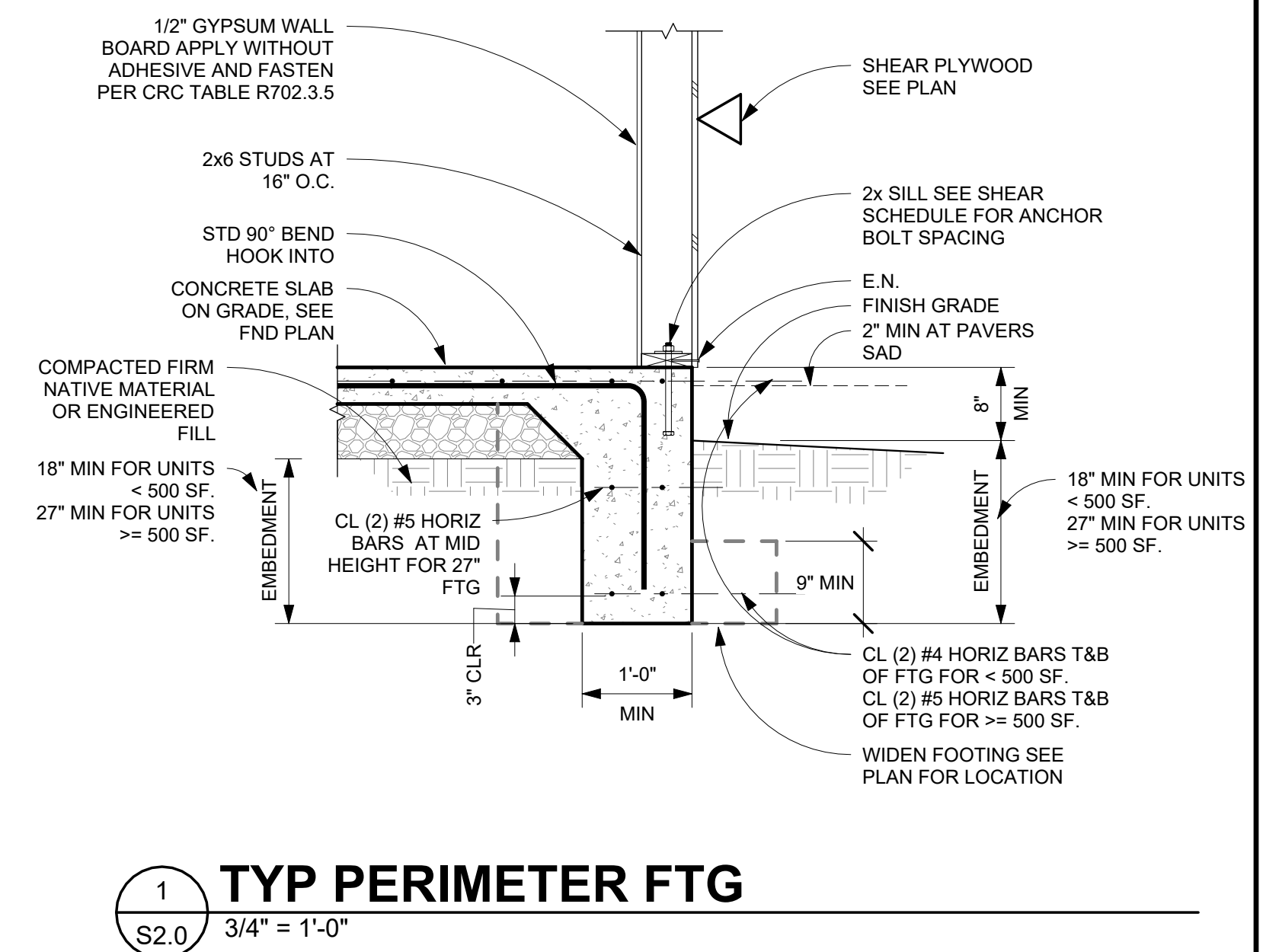
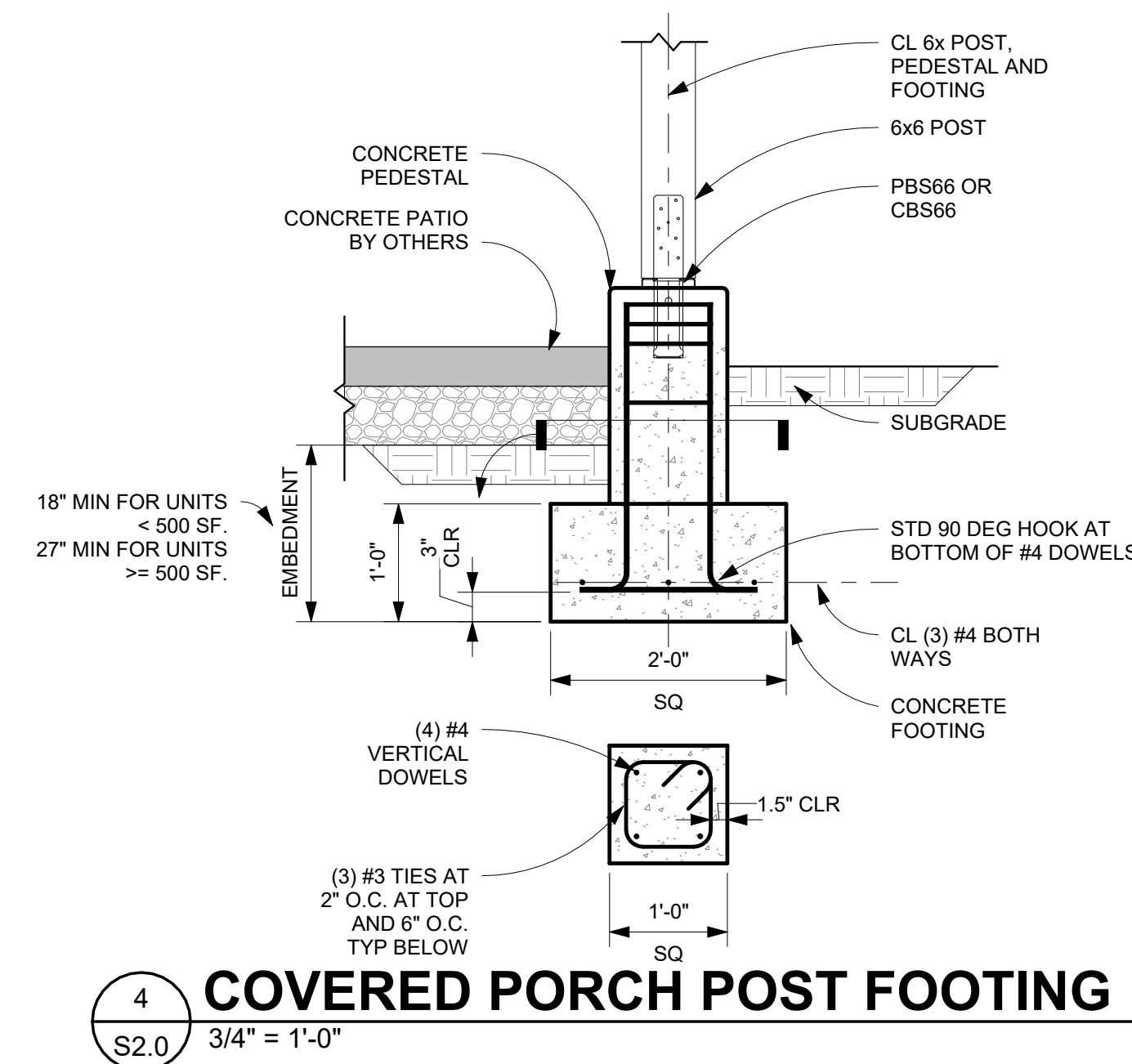
- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.



ONE BEDROOM STUDIO FOUNDATION PLAN

1/4" = 1'-0"

REVISION SCHEDULE			
REV	DATE	BY	
1	7-14-23	CT	

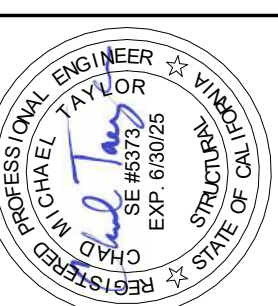


NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

REV	DATE	BY
1	7-14-23	CT



# CENTRAL COAST STOCK ADU



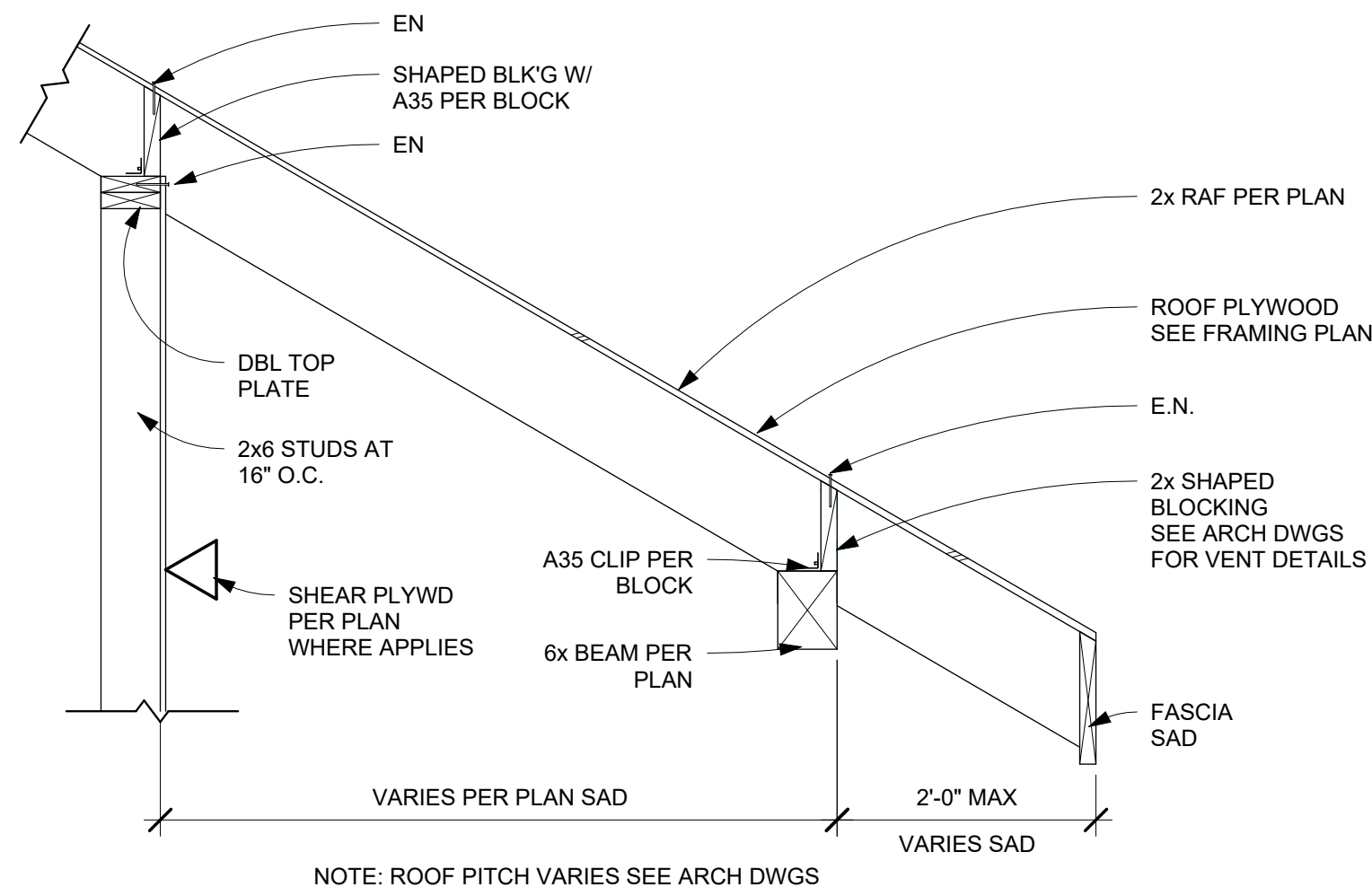
## FOUNDATION DETAILS

DATE: 11-18-2022

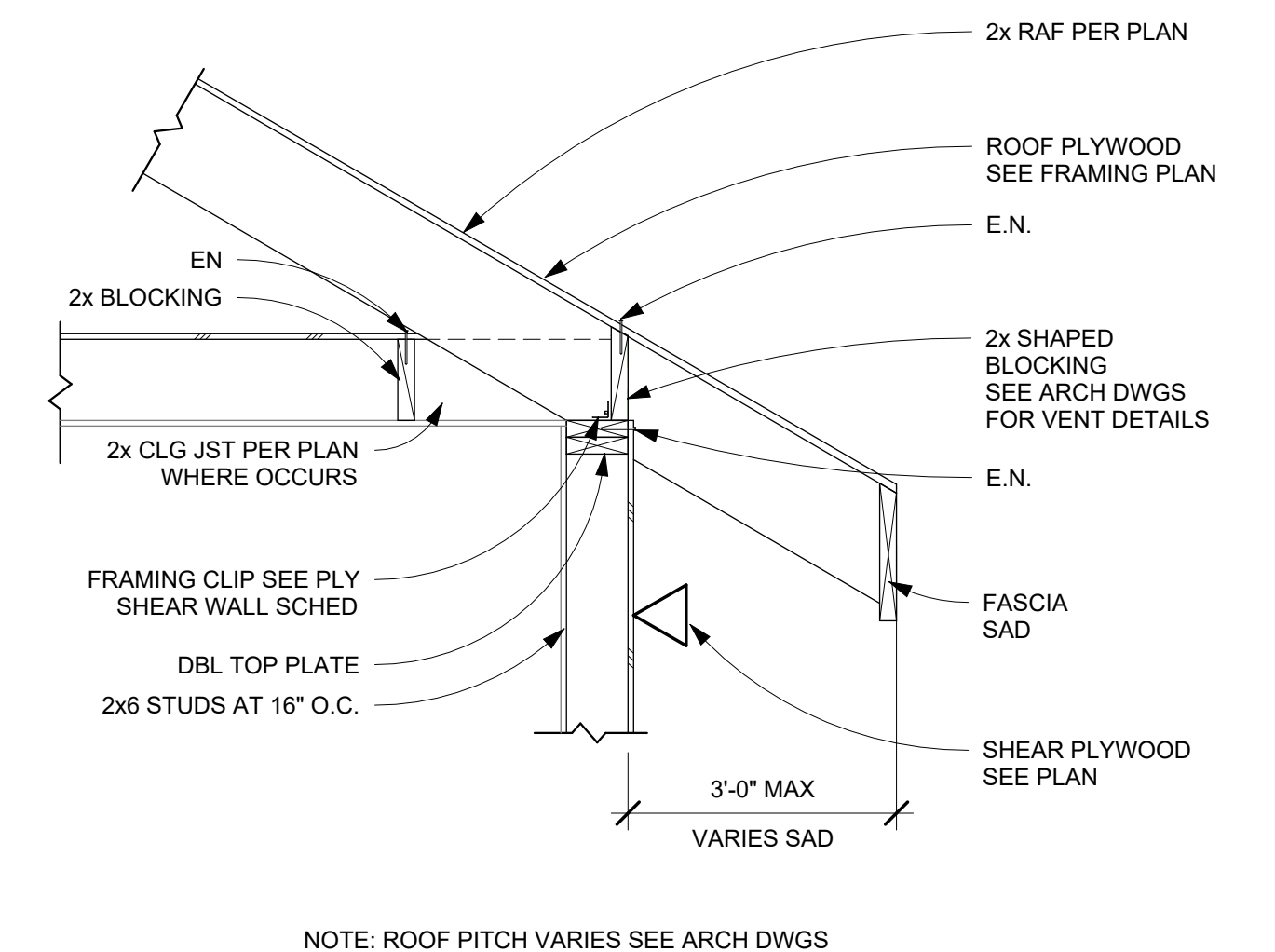
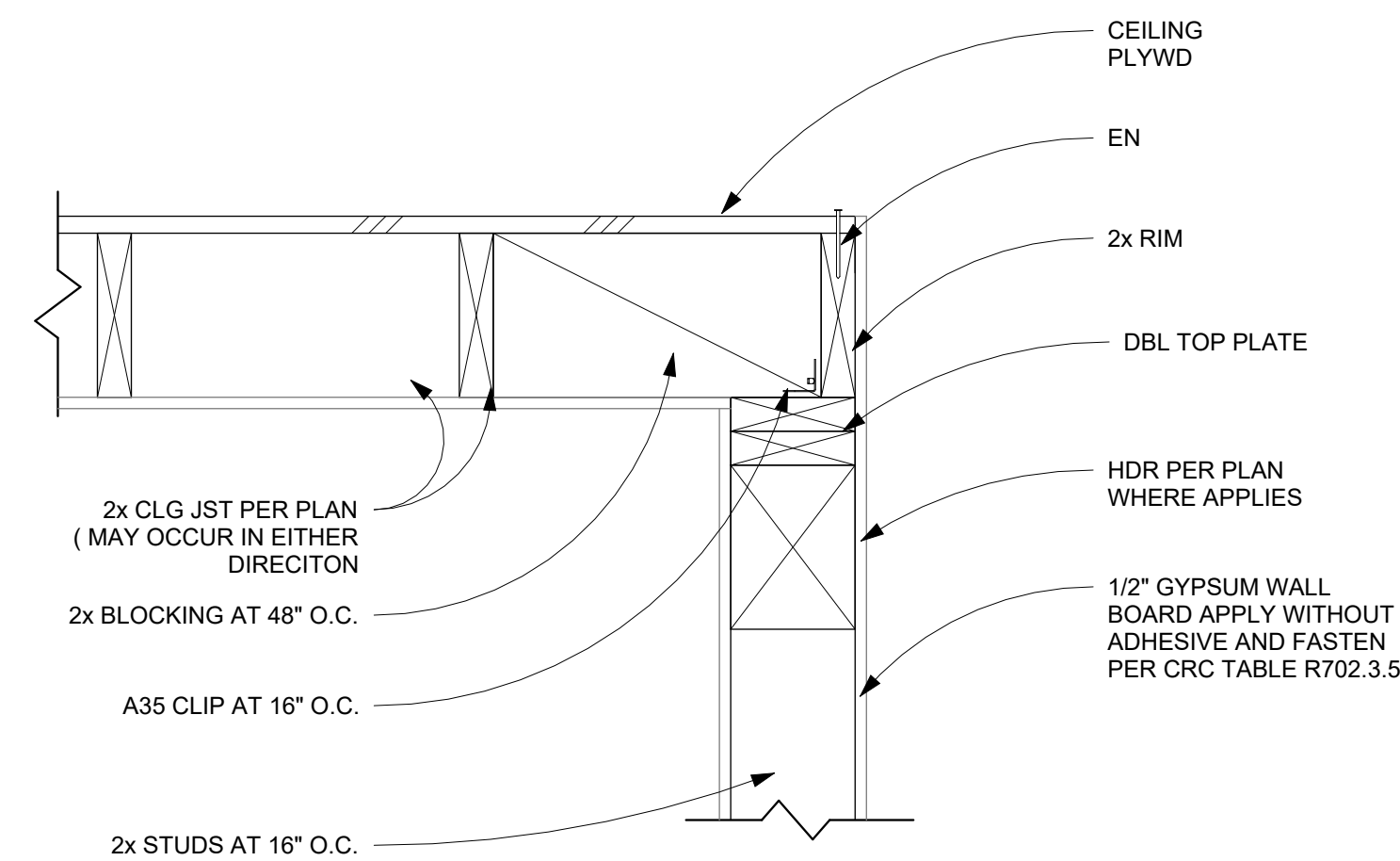
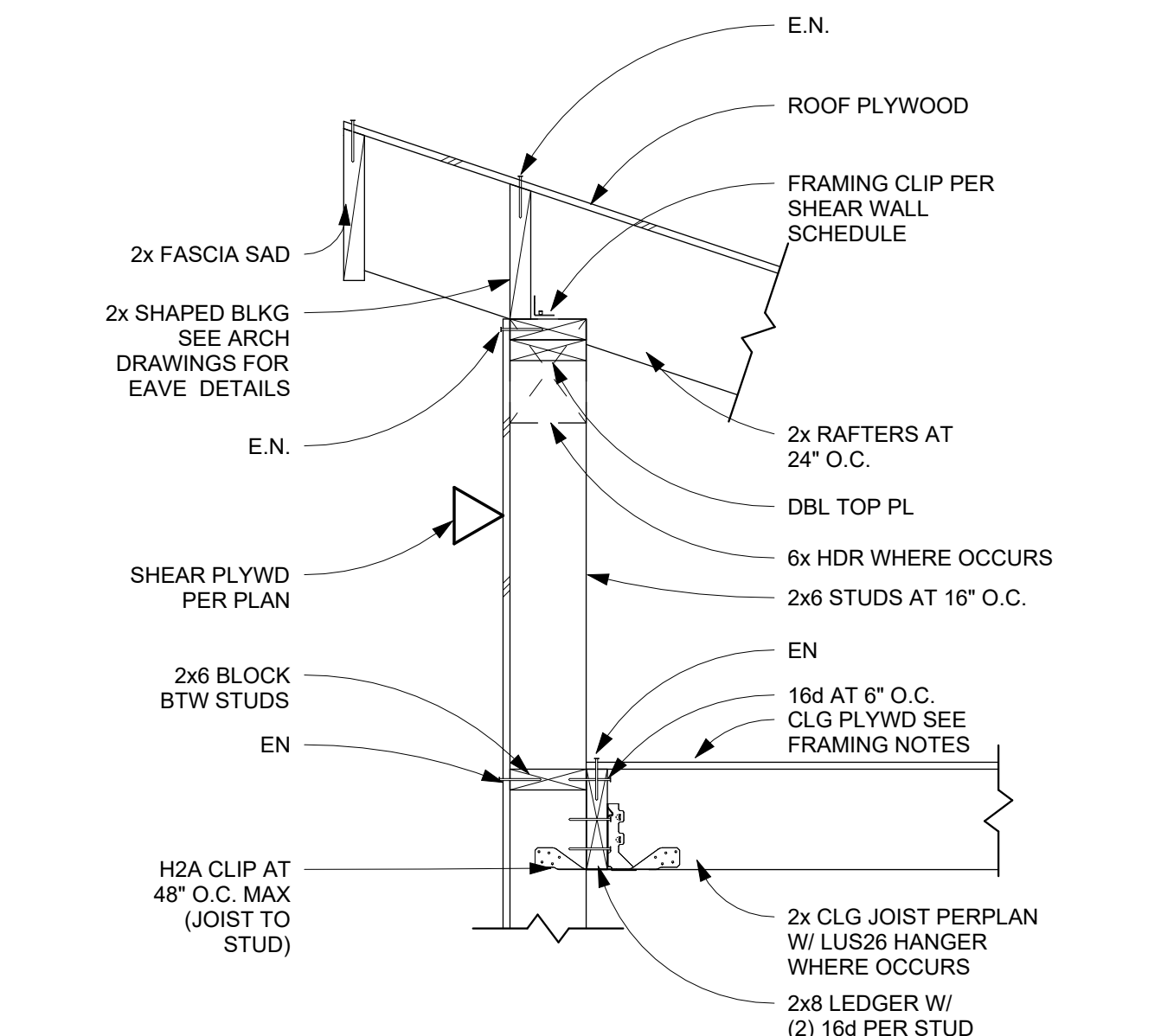
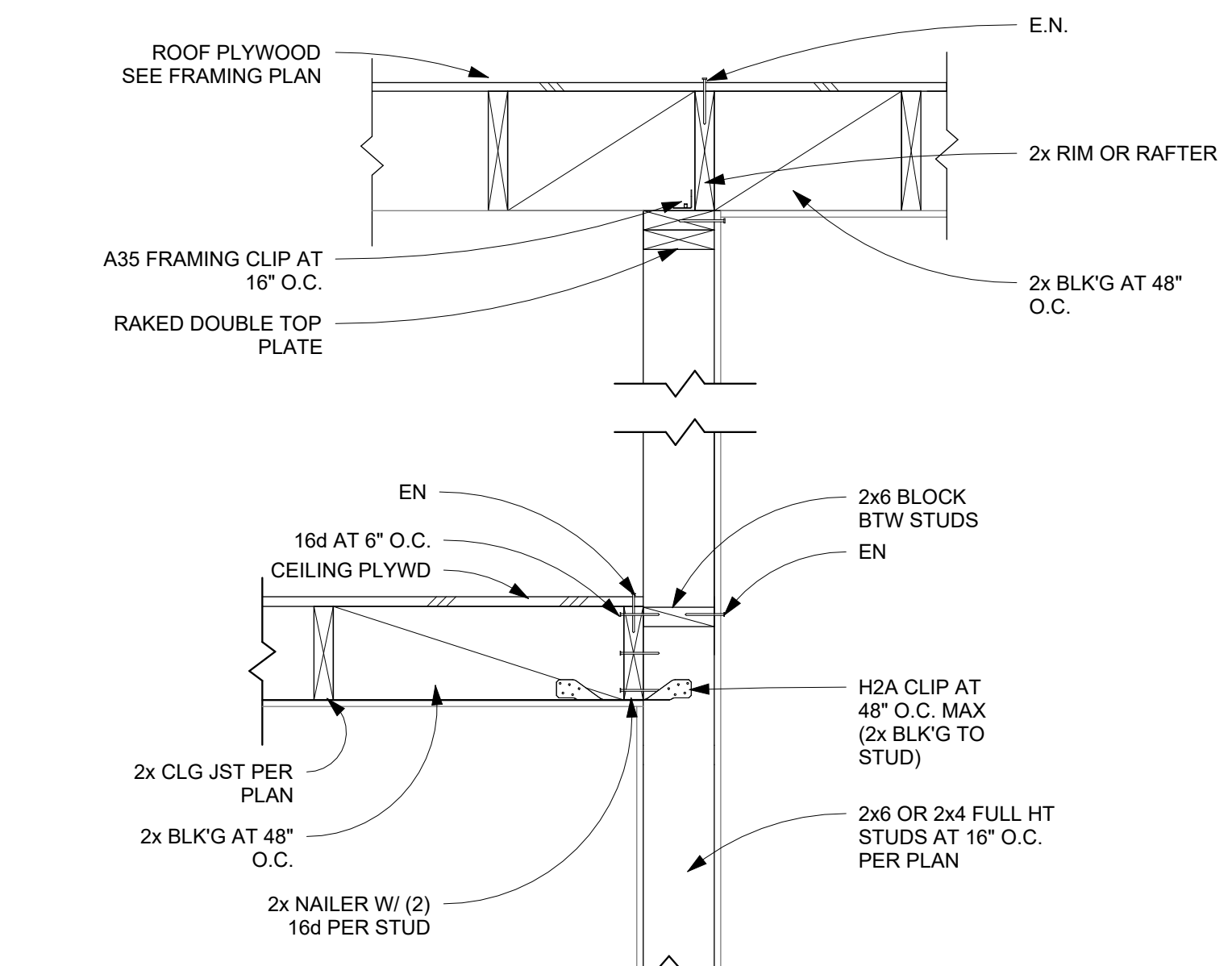
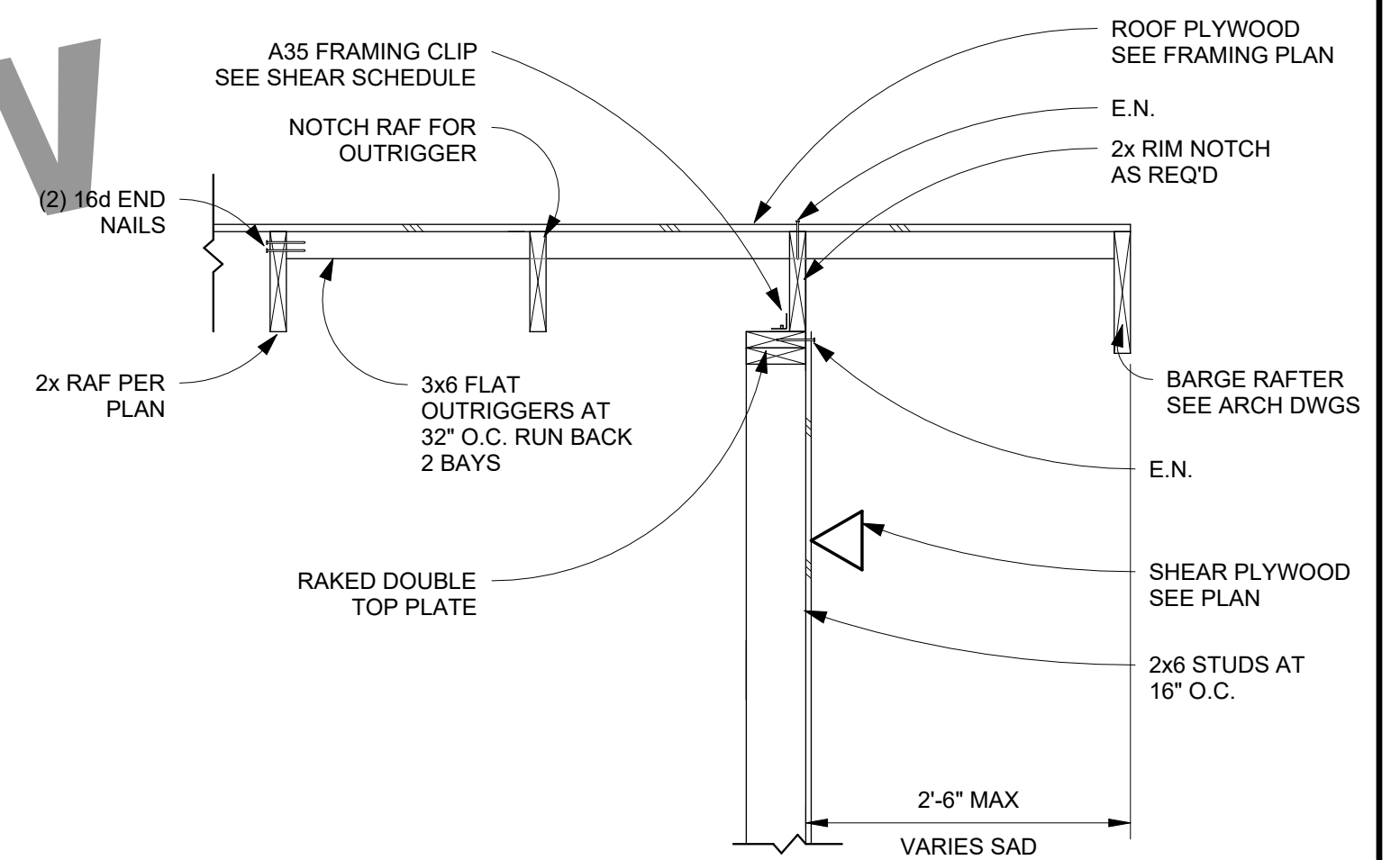
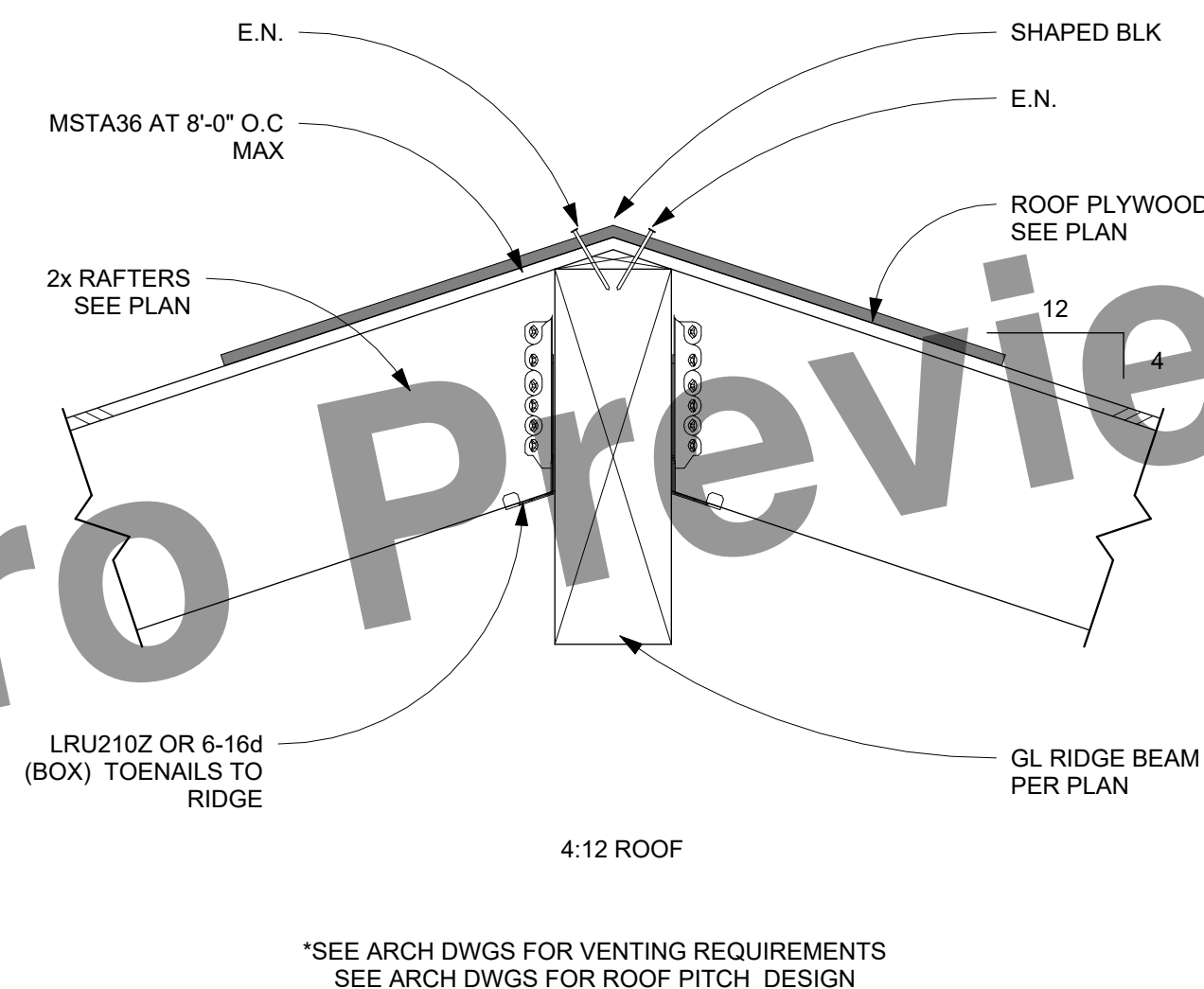
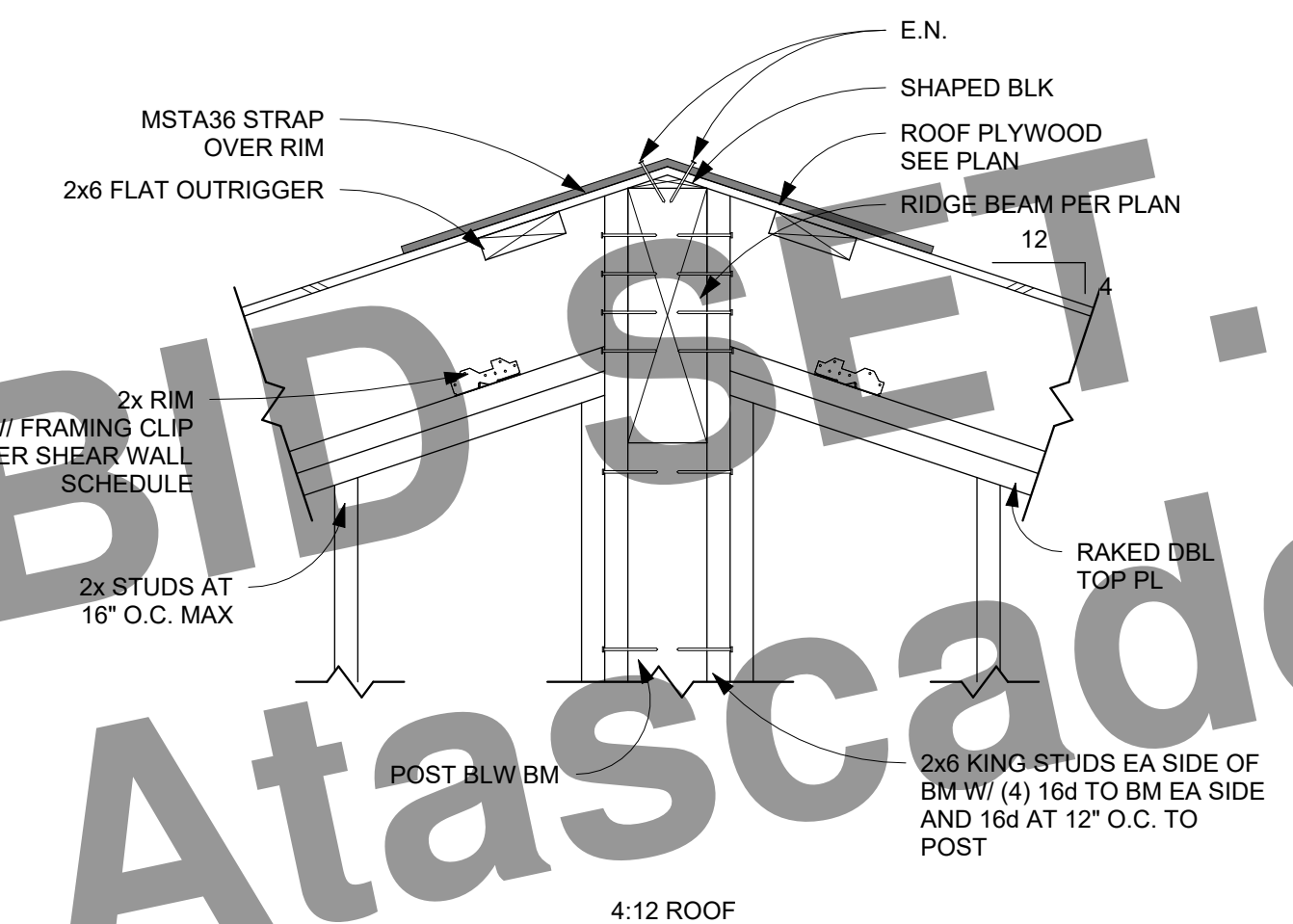
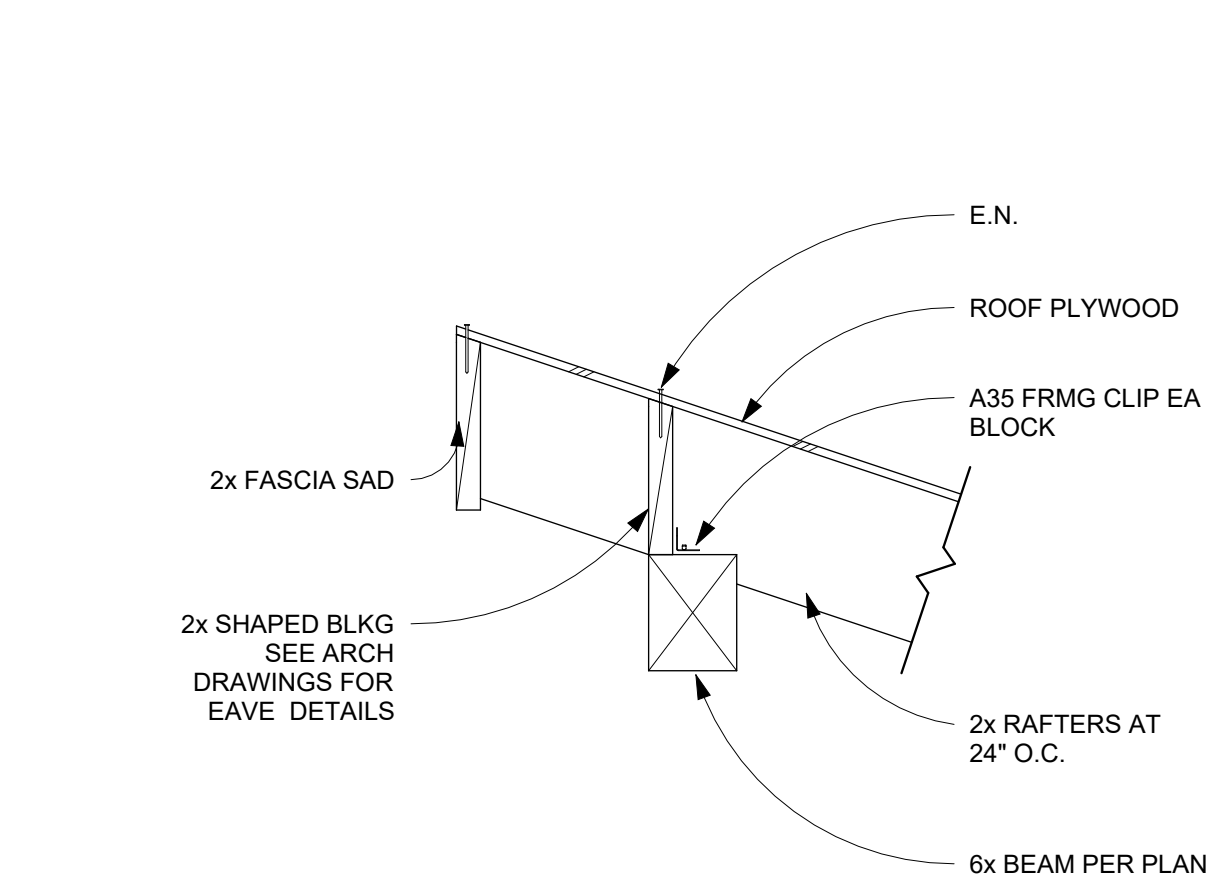
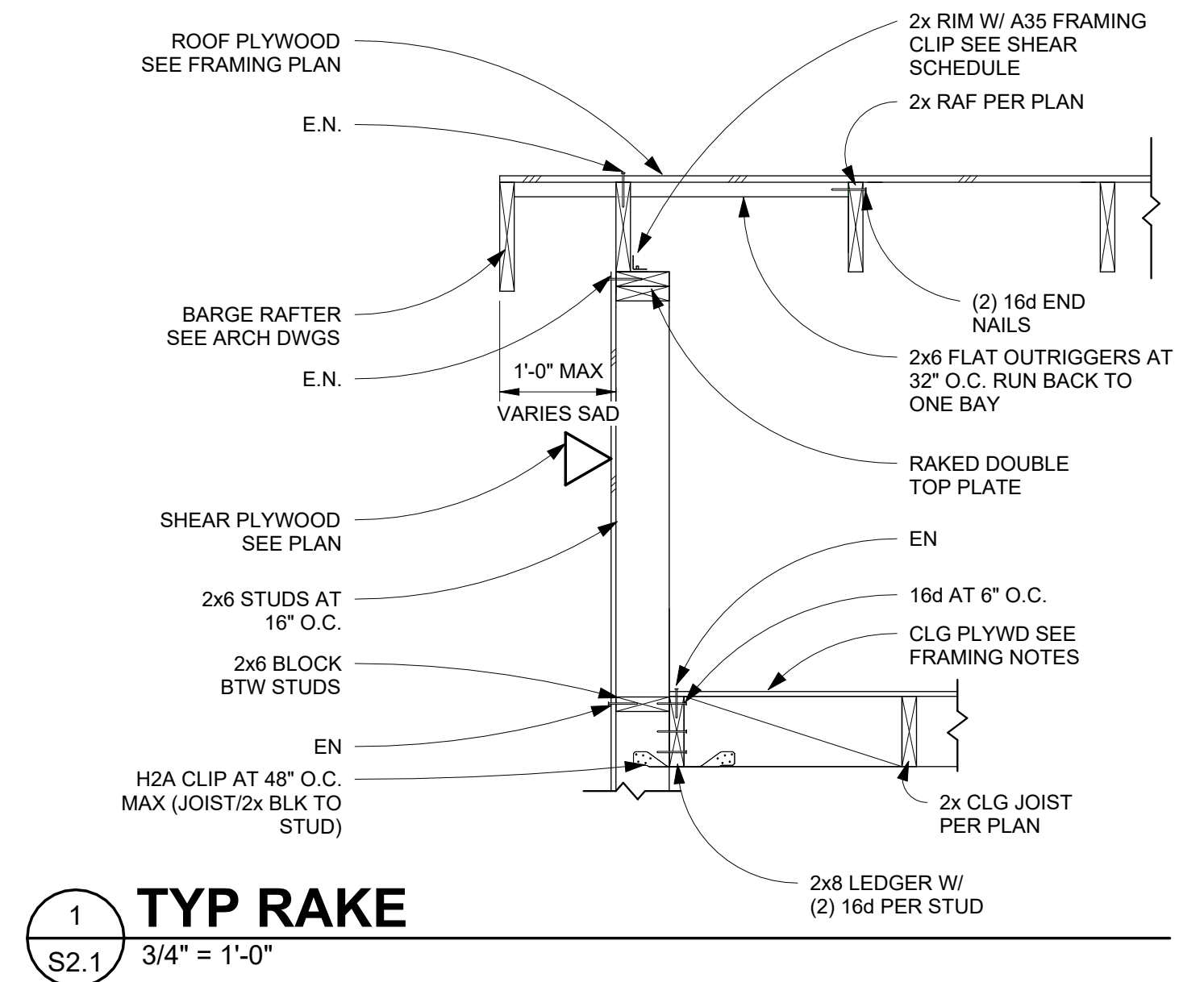
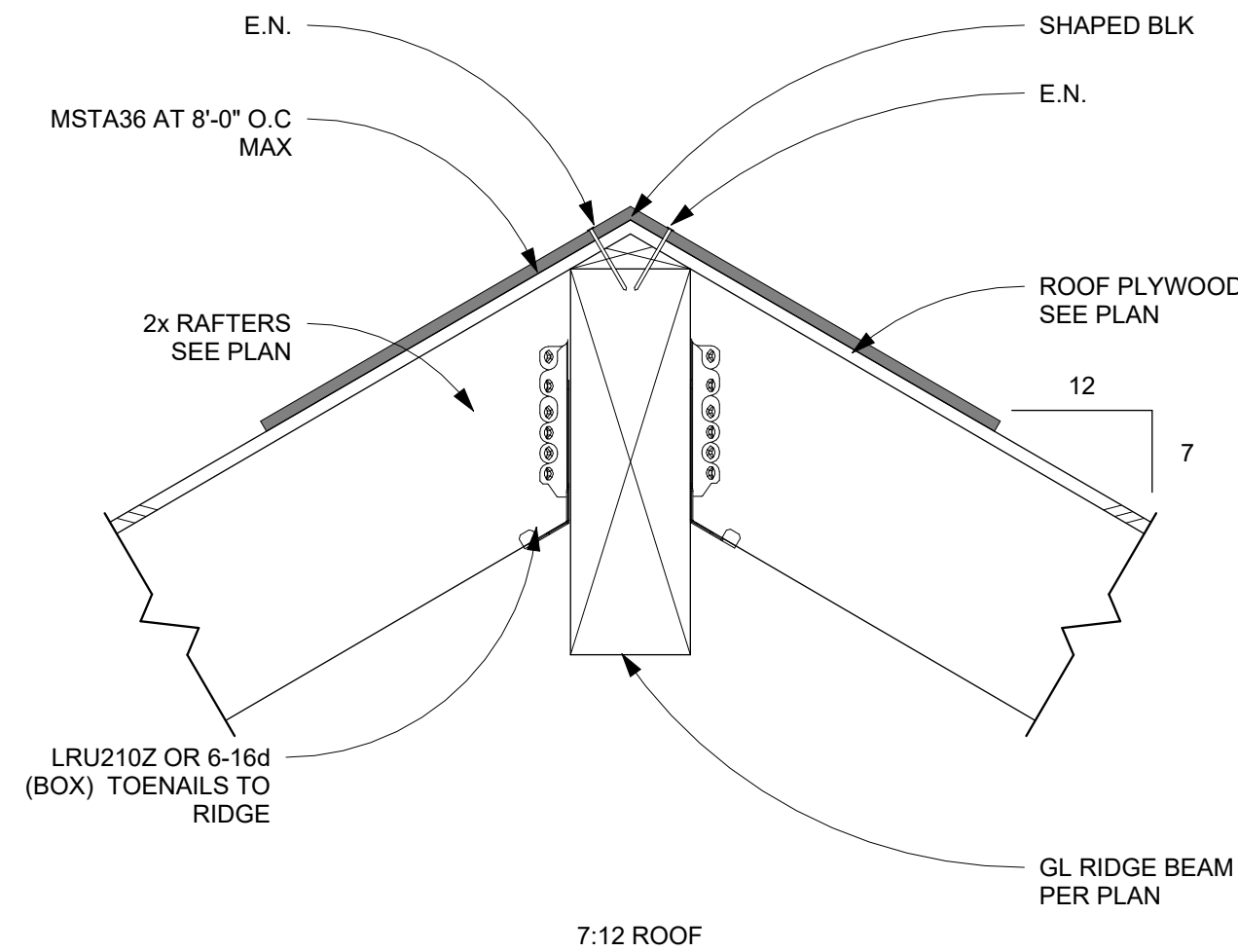
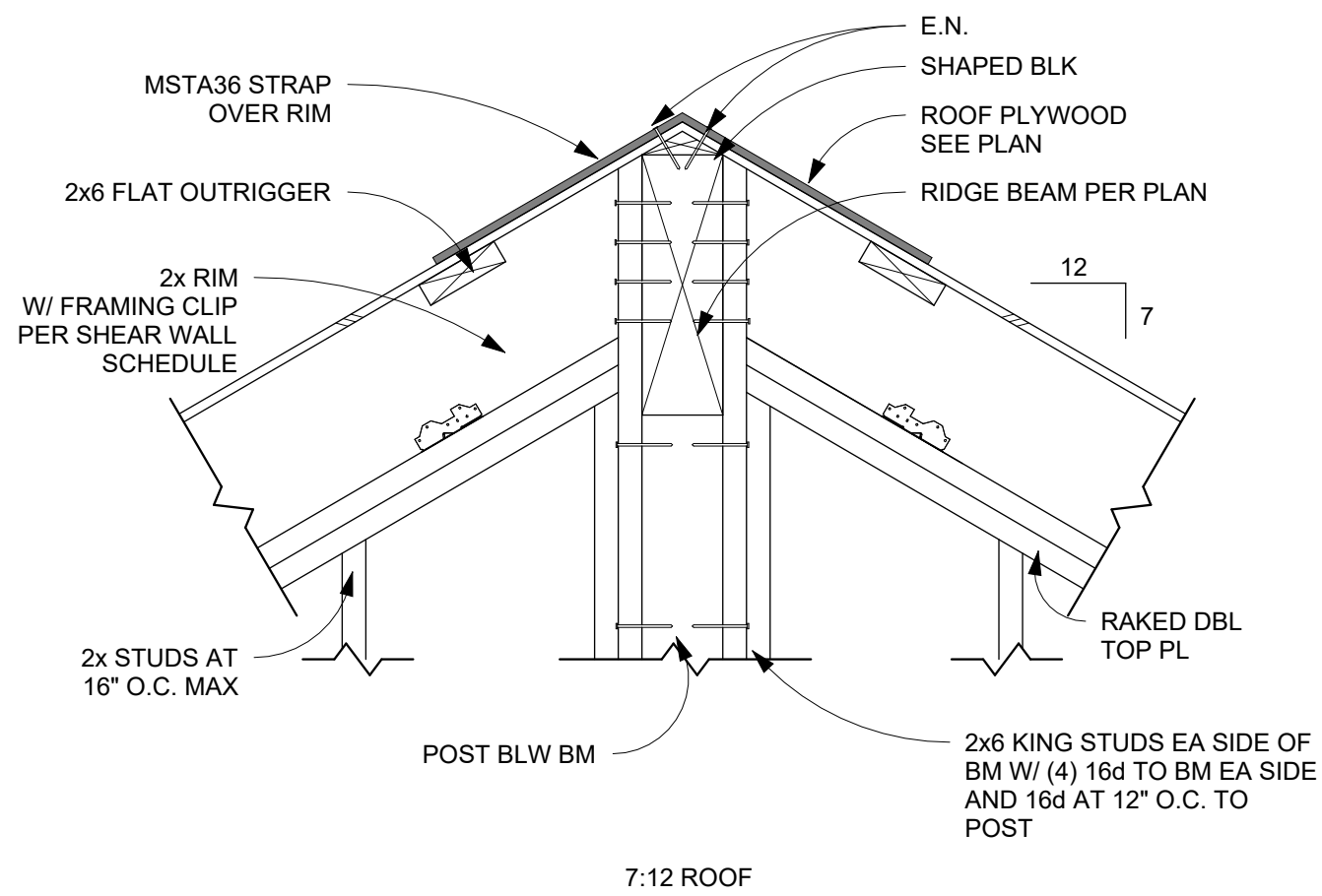
DB NO: 21091

SHEET

## S2.0



8 EAVE AT PORCH  
S2.1 3/4" = 1'-0"

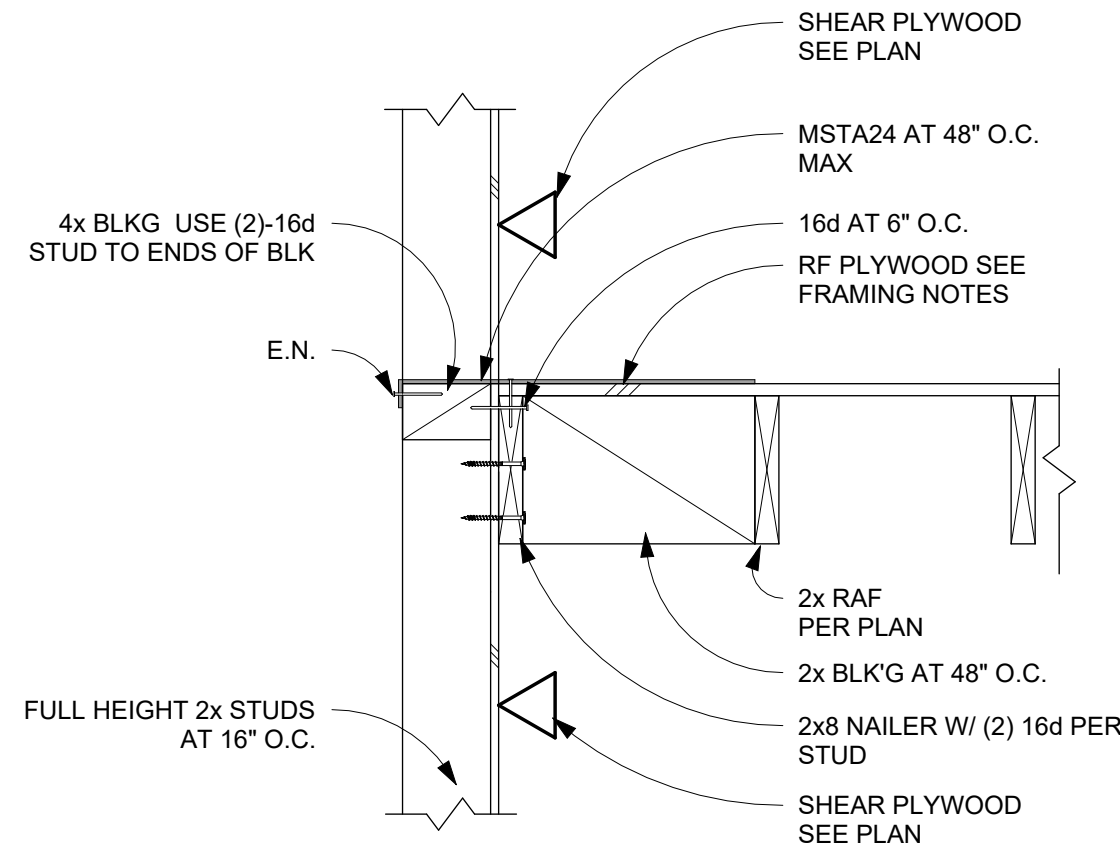


10 INTERIOR BEARING WALL @ CLG/ROOF  
S2.1 1" = 1'-0"

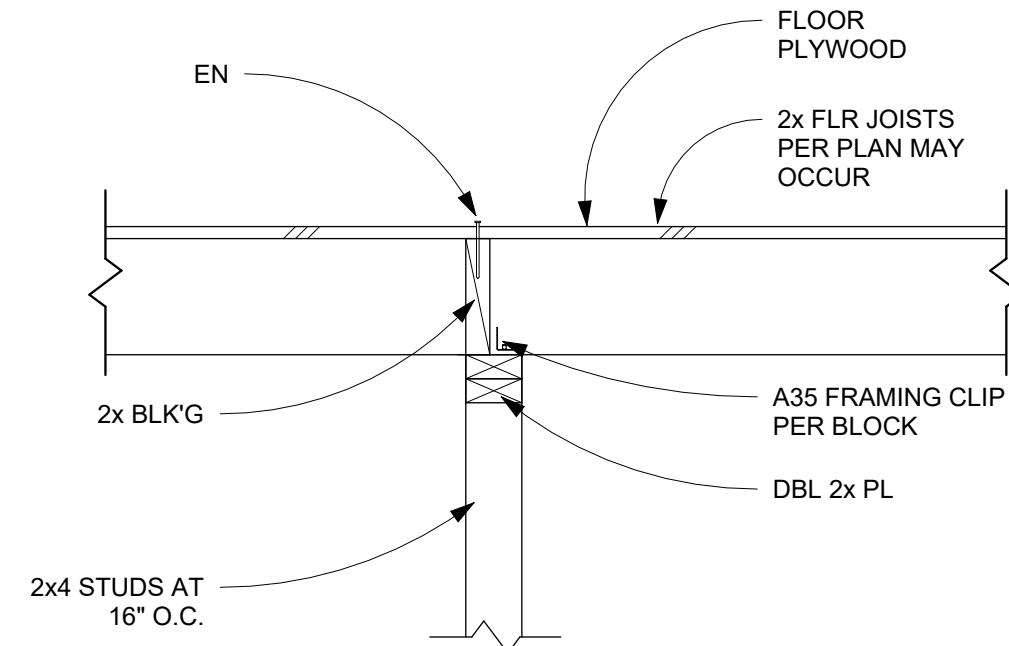
7 TYP MONOSLOPE PEAK  
S2.1 1" = 1'-0"

5 CEILING EDGE CONNECTION  
S2.1 1 1/2" = 1'-0"

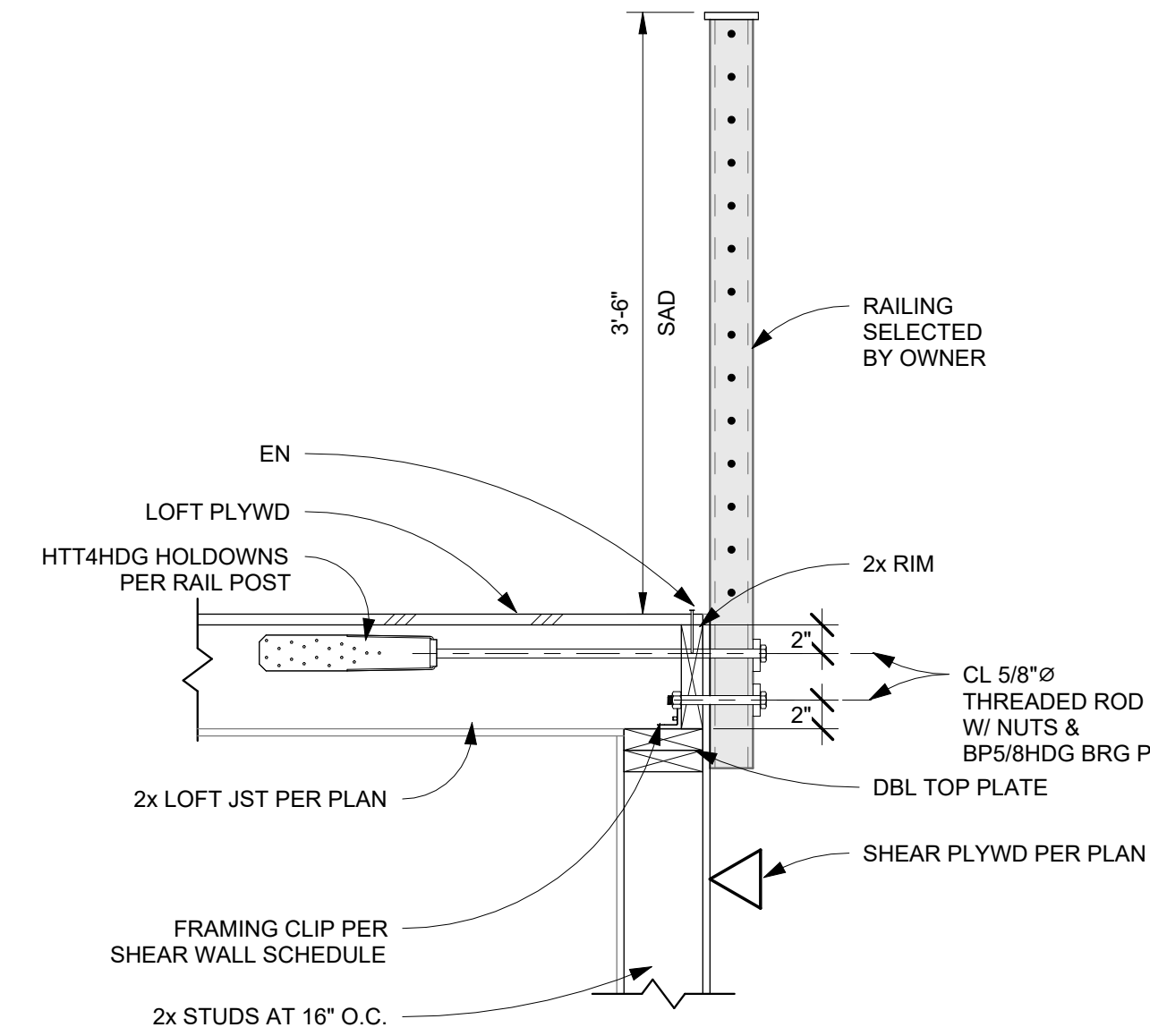
3 TYP EAVE  
S2.1 3/4" = 1'-0"



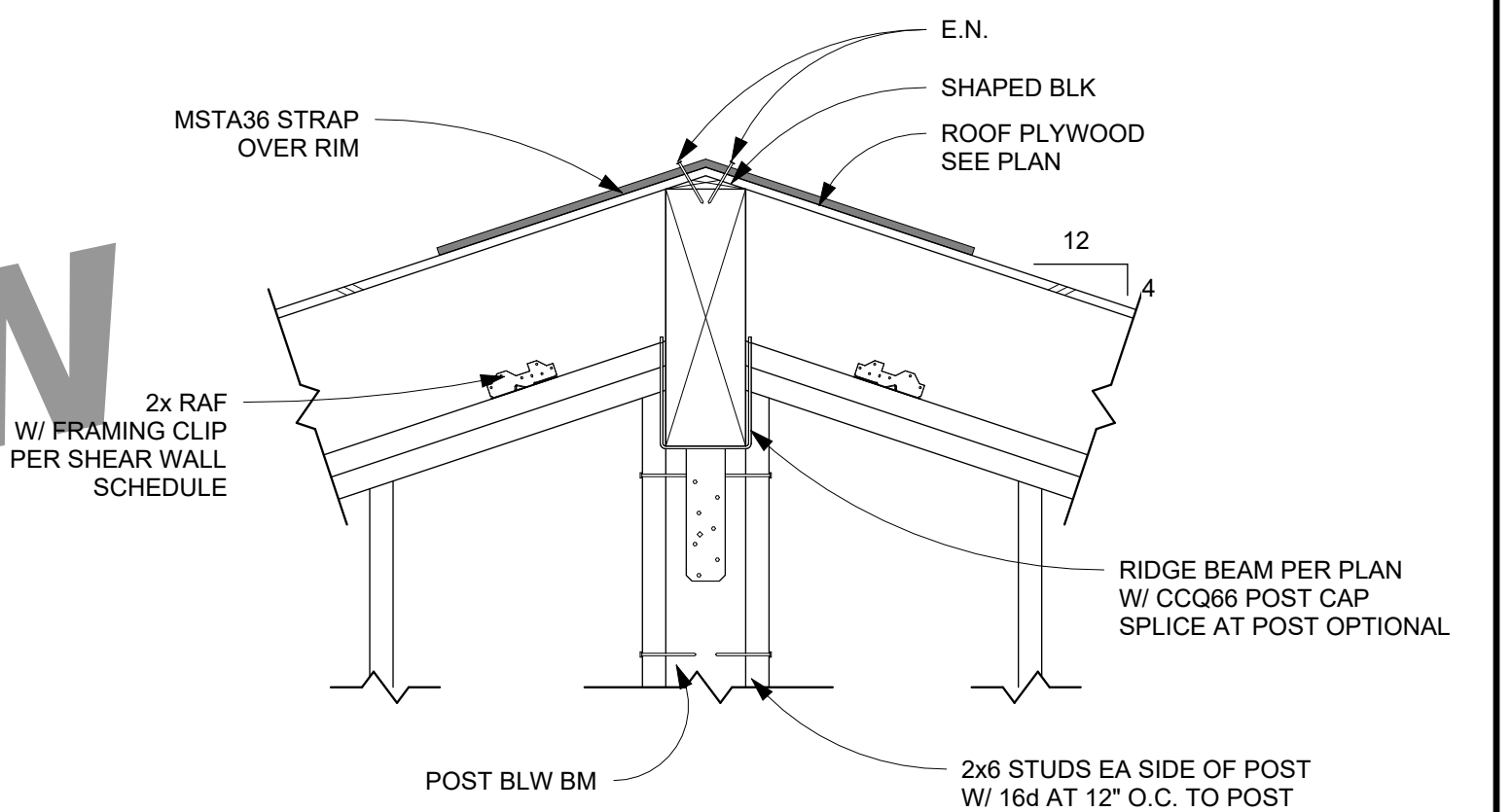
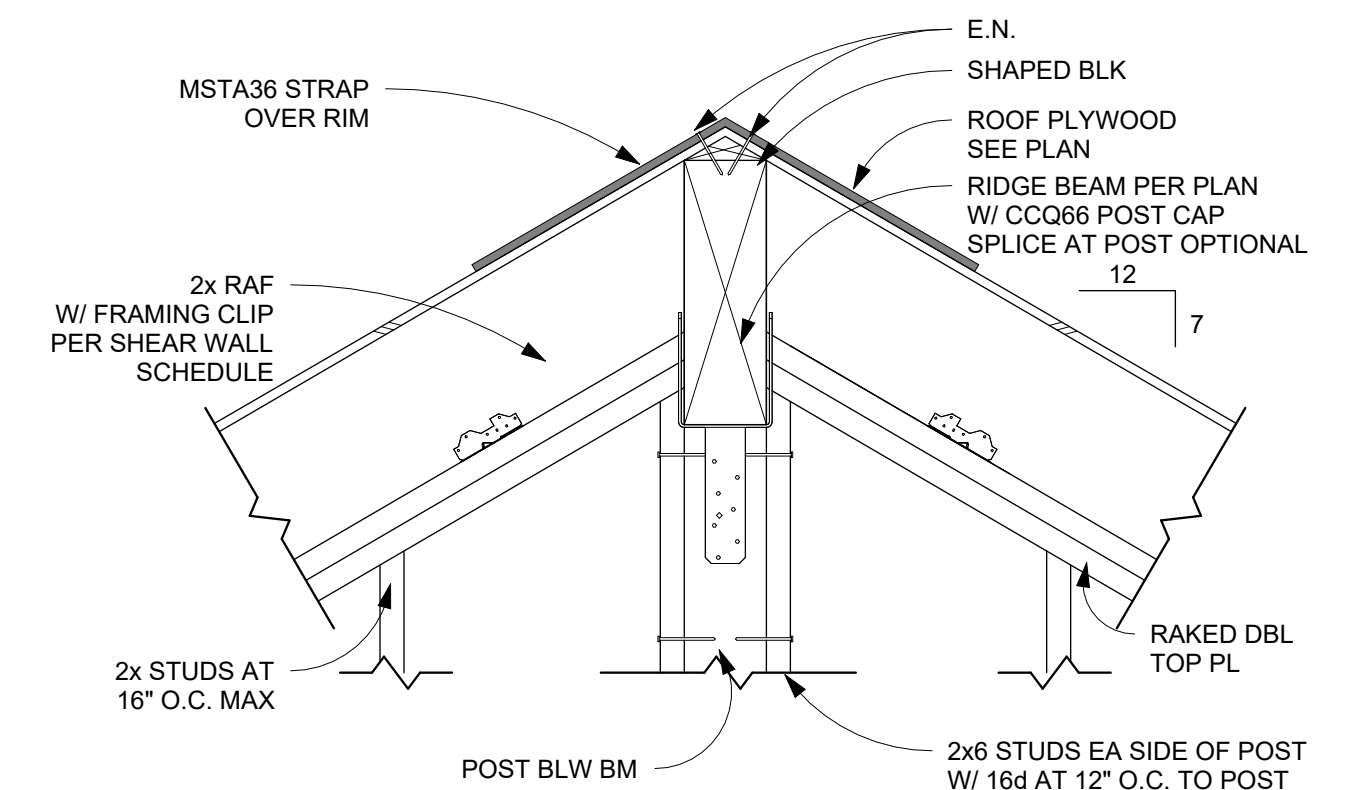
**9 LOWER ROOF TO FULL HEIGHT WALL**  
S2.2 1" = 1'-0"



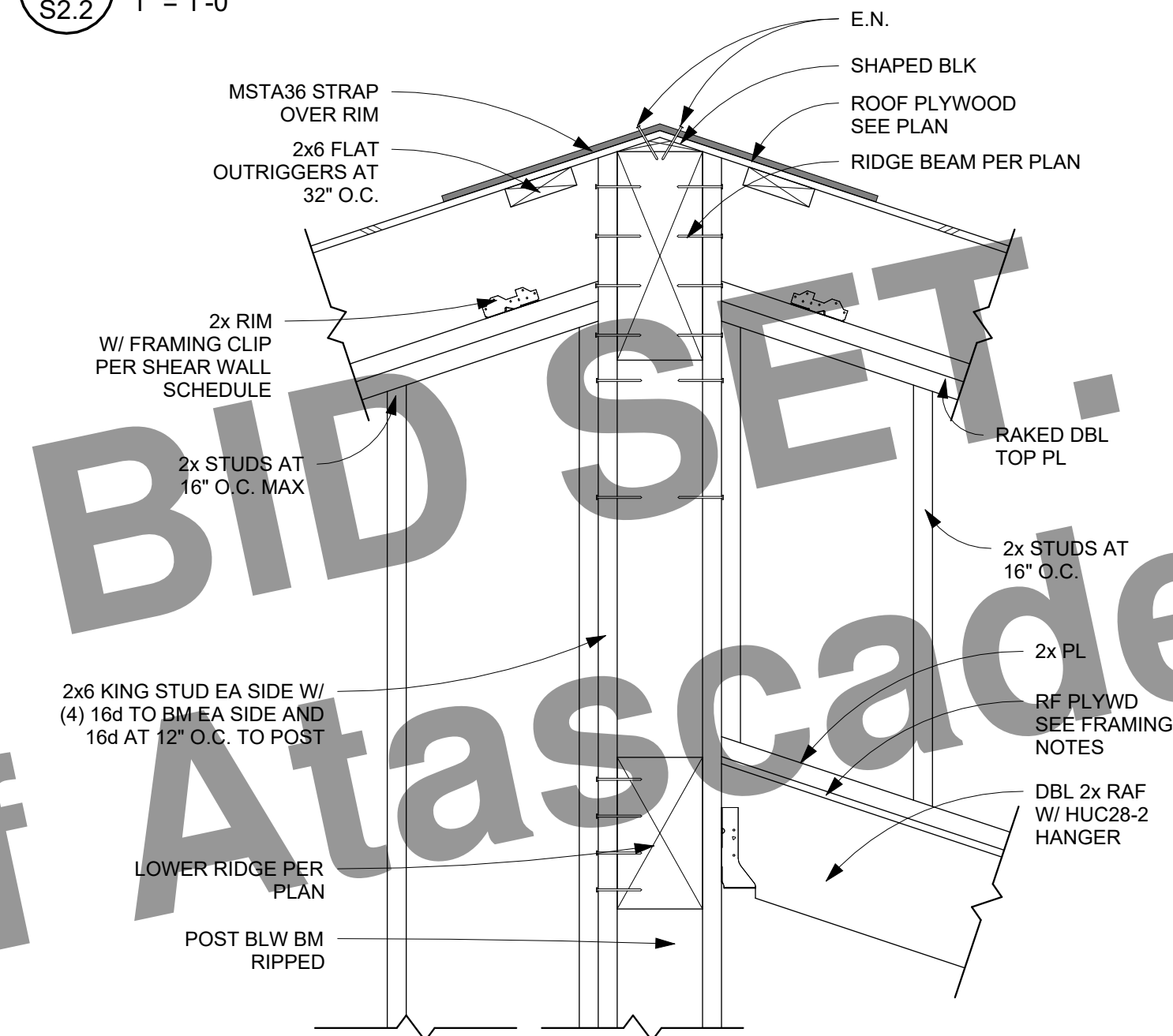
**6 FLOOR TO INTERIOR WALL CONN**  
S2.2 1" = 1'-0"



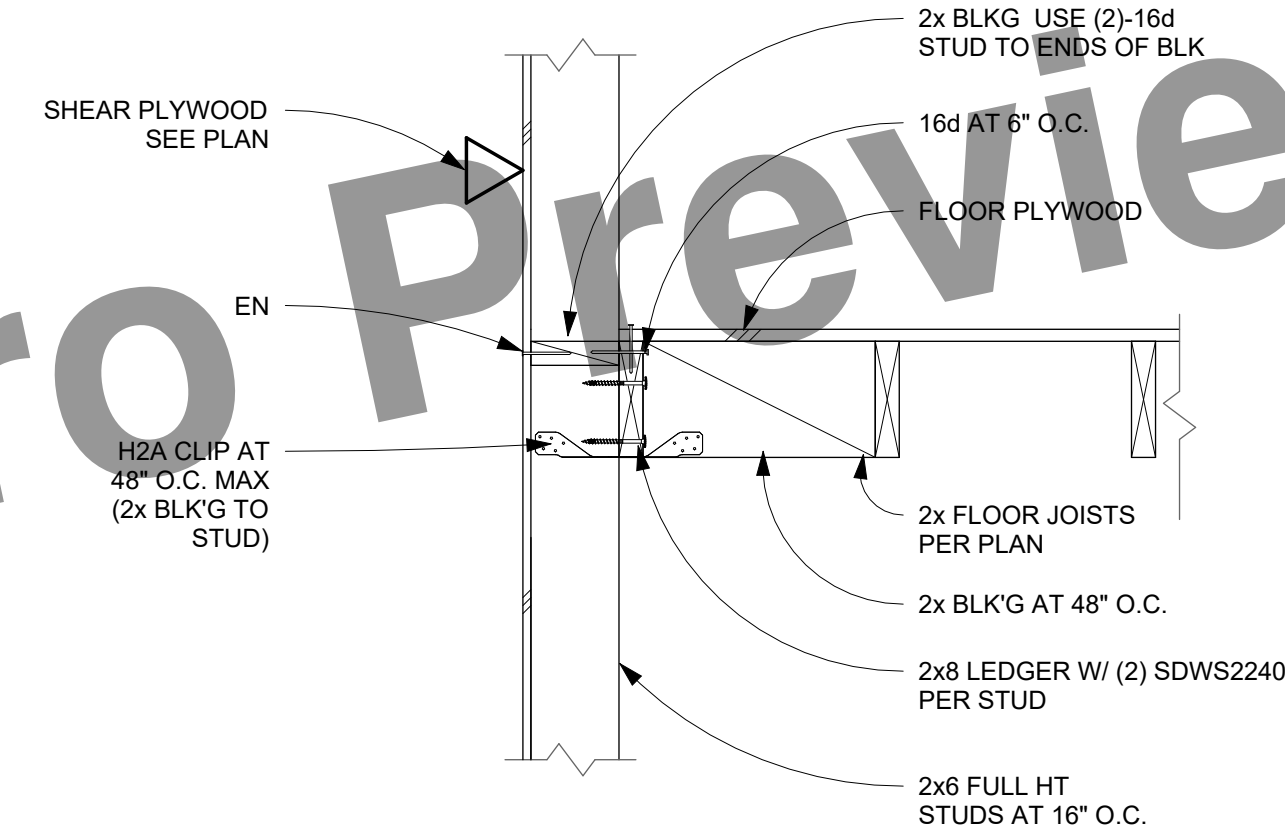
**3 LOFT EDGE CONNECTION II**  
S2.2 1" = 1'-0"



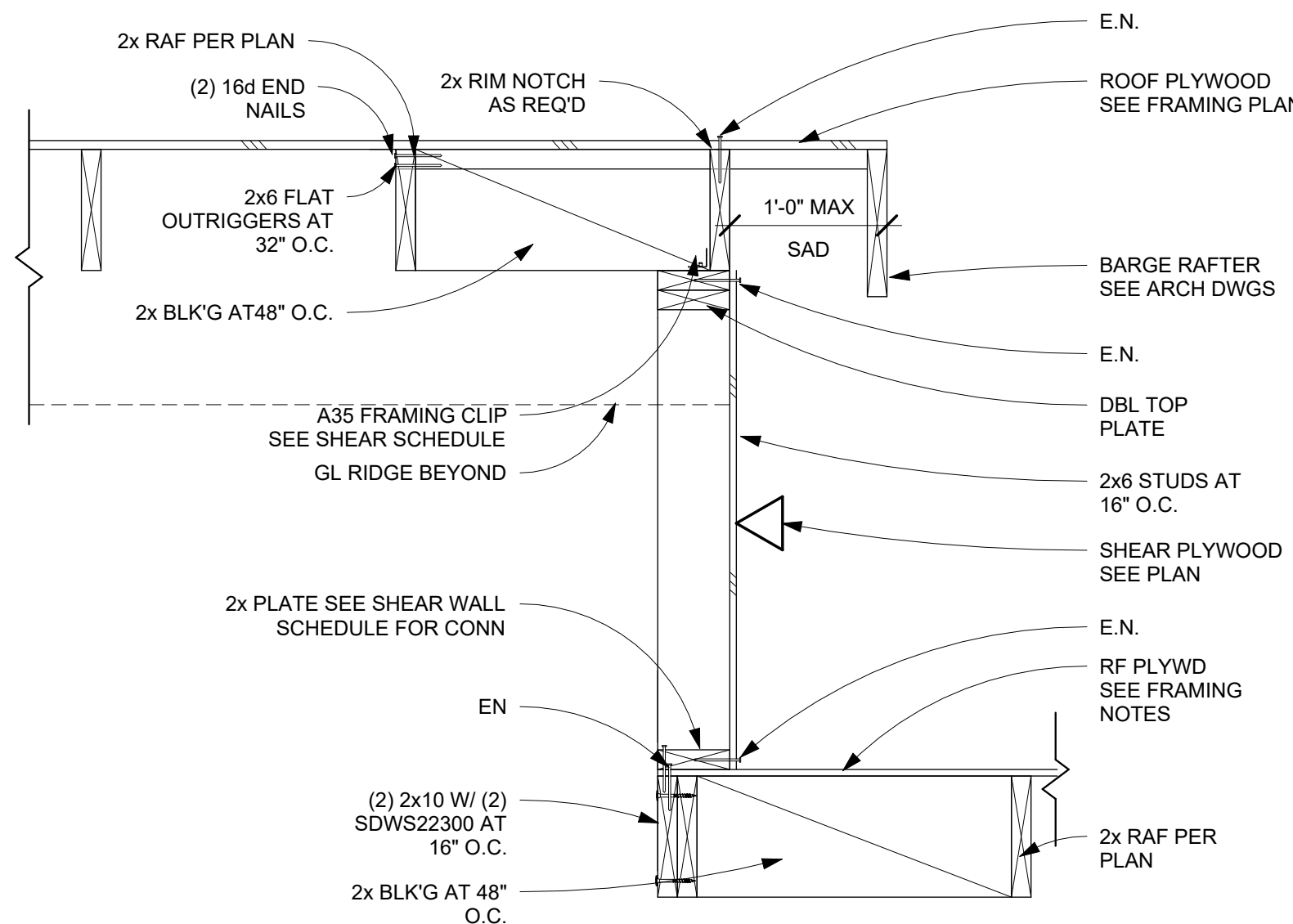
**1 RIDGE SPLICE AT INT WALL**  
S2.2 1" = 1'-0"



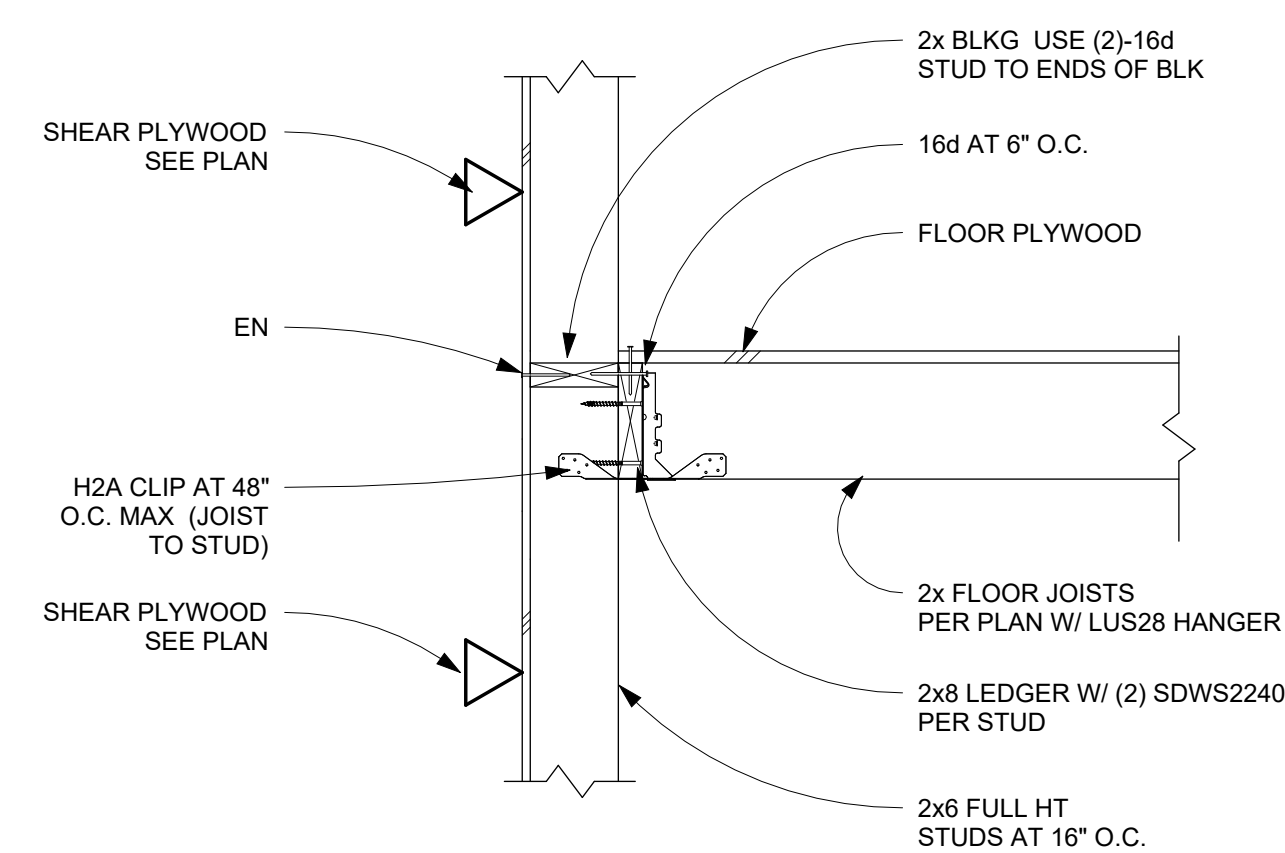
**7 DOUBLE RIDGE TO WALL**  
S2.2 1" = 1'-0"



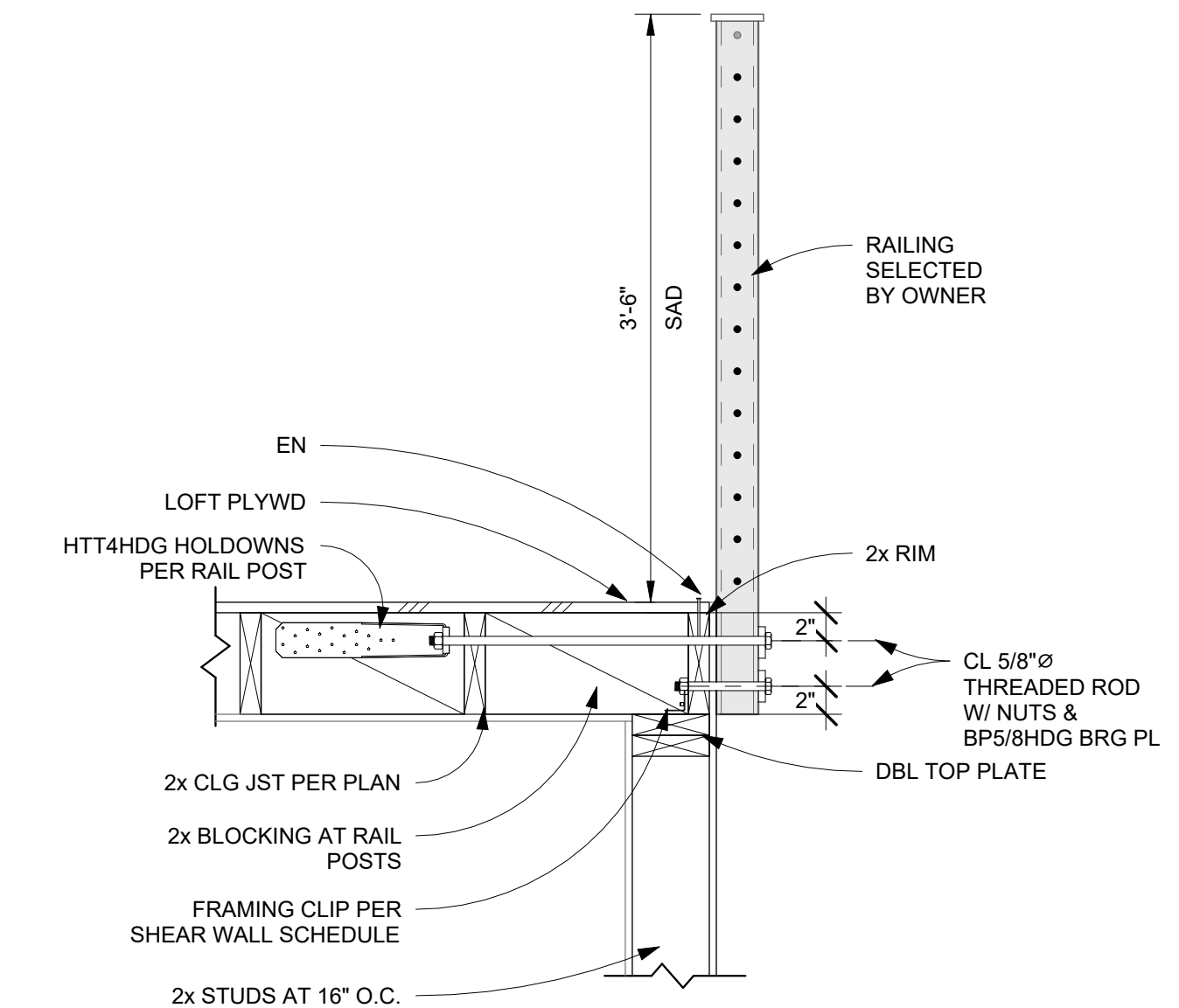
**4 LOFT/FLOOR TO WALL CONN**  
S2.2 1" = 1'-0"



**8 RAKE OVERLAP ROOF**  
S2.2 1" = 1'-0"



**5 LOFT/FLOOR TO WALL CONN II**  
S2.2 1" = 1'-0"

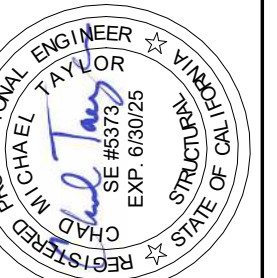


**2 LOFT EDGE CONNECTION**  
S2.2 1" = 1'-0"

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STRUCTURAL  
ENGINEERING  
**CM Taylor**  
C.M. Taylor Structural Engineering, Inc. 1426 Capitola Rd. Suite 204, Capitola, CA 95010  
email: cmtaylor@cmtyl.com  
Phone: 831-854-2484























CENTRAL COAST STOCK ADU



ROOF FRAMING DETAILS  
(CONTINUED)

DATE: 11-18-2022  
JOB NO: 21091  
SHEET

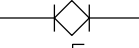



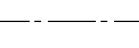
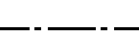
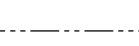
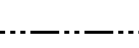
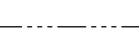



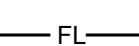
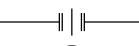



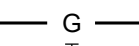

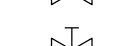
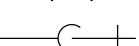
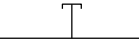
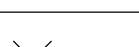


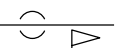
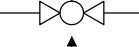





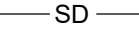
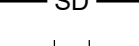
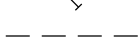
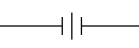
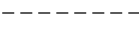

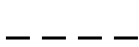
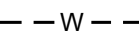




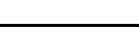






S2.2

SYMBOLS & ABBREVIATIONS (MECHANICAL)			
	BT	BYPASS TIMER	EC
		CENTER LINE	EDB
	CD	CONDENSATE DRAIN	EOD
		DIAMETER	ETR
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWB
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	EWT
		EXTENT OF DEMOLITION	°F
		EXHAUST DUCT UP, DOWN, FENE # DEMO	FC
		FIRE/SMOKE DAMPER	FDC
		FIRE DAMPER	FLA
		POINT OF CONNECTION	FSD
		P/T PLUG	FT.HD.
		RETURN OR EXHAUST AIR	FTR
		RETURN DUCT UP, DOWN, FENE # DEMO	GC
		SPEED CONTROL SWITCH	GPM
		SPIN-IN EXTRACTOR/DAMPER	HP
		SUPPLY DUCT UP, DOWN, FENE # DEMO	KW
		SUPPLY OR OUTSIDE AIR	LBS
		THERMOSTAT at + 48°	LWT
		TO BE REMOVED	MBH
		TRANSFER AIR	MC
		TURNING VANES	(N)
		VOLUME DAMPER	NIC
			NTS
			OBD
			OSA
			PC
			PENE
			PD
			PH
			POC
			P/N
			PRV
			PSI
			P/T
			RA
			RAD
			(RL)
			RPM
			SA
			SAD
			SD
			SP
			SS
			STD
			TV
			TYP
			UCD
			UON
			V
			VD
			VIF
			W
			WC
			WT
			W/O
AD		ACCESS DOOR	
AFF		ABOVE FINISH FLOOR	
AL		ACOUSTICALLY LINED	
AP		ACCESS PANEL	
BD		BALANCING DAMPER	
BDD		BACKDRAFT DAMPER	
BHP		BRAKE HORSE POWER	
BJ		BETWEEN JOIST	
BTU		BRITISH THERMAL UNIT	
C.		CONDUIT	
CA		COMBUSTION AIR	
CD		CONDENSATE DRAIN	
CFM		CUBIC FEET PER MINUTE	
DEMO		DEMOLITION	
DL		DOOR LOUVER	
(E)		EXISTING	
EAD		EXHAUST AIR DUCT	

## GENERAL MECHANICAL NOTES

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUGTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

## SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
	CHECK VALVE	CA	COMPRESSED AIR PIPING
	CLEANOUT	CB	CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)	CD	CONDENSATE
	DOMESTIC COLD WATER (NEW)	CFH	CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)	CI	CAST IRON
	DOMESTIC HOT WATER (NEW)	CP	CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (NEW)	DHW	DOMESTIC HOT WATER
	DIRECTION OF FLOW	DHW/R	DOMESTIC HOT WATER RETURN
	DRY STANDPIPE	DCV	DETECTOR CHECK VALVE
	FIRE SPRINKLER PIPING	DN	DOWN
	FLANGED UNION	DS	DOWN SPOUT
	FLOOR DRAIN	DSP	DRY STAND PIPE
	FLOOR SINK	(E)	EXISTING
	FORCE MAIN	EC	ELECTRICAL CONTRACTOR
	GAS PIPING (EXISTING)	EL	ELEVATION
	GAS PIPING (NEW)	(F)	FIRE SPRINKLER PIPING
	GAS COCK	FC	FLEX CONNECTOR
	GATE VALVE	FCO	FLOOR CLEANOUT
	GLOBE VALVE	FD	FLOOR DRAIN
	HOSE BIBB (3/4" MIN.)	FL	FIRE LINE
	PETES PLUG	FM	FORCE MAIN
	PIPE (ABOVE THE CEILING)	FS	FLOOR SINK
	PIPE HANGER	FSC	FIRE SPRINKLER CONTRACTOR
	PIPE TURNING UP (RISE)	GC	GENERAL CONTRACTOR
	PIPE TURNING DOWN (DROP)	GCO	GROUND CLEANOUT
	PIPE TEE DOWN	GPM	GALLONS PER MINUTE
	PRESSURE REDUCING VALVE	HB	HOSE BIBB
	T & PRV RELIEF VALVE	HWS	HOT WATER SUPPLY
	POINT OF CONNECTION TO EXISTING	IE:	INVERT ELEVATION
	RAIN WATER LEADER (EXISTING)	LAV	LAVATORY
	RAIN WATER LEADER	MC	MECHANICAL CONTRACTOR
	REDUCER	NPW	NON POTABLE WATER
	ROOF DRAIN	(N)	NEW
	STORM DRAIN (EXISTING)	OFD	OVERFLOW DRAIN
	STORM DRAIN (NEW)	PC	PLUMBING CONTRACTOR
	STRAINER	PIV	POST INDICATION VALVE
	SUB-SOIL PIPING	POC	POINT OF CONNECTION
	UNION	POD	POINT OF DEMOLITION
	VENT PIPING (EXISTING)	PR	PETES PLUG
	VENT PIPING (NEW)	PRV	PRESSURE REDUCING VALVE
	WASTE PIPING (EXISTING)	PVC	POLYVINYL CHLORIDE PIPE
	(N) WASTE PIPING (NEW)	RD	ROOF DRAIN
	WASTE PIPING - UNDERGROUND (NEW)	RPB/P	BACKFLOW PREVENTOR REDUCED PRESSURE
	WET STANDPIPE (EXISTING)	RWL	RAIN WATER LEADER
	WET STANDPIPE (NEW)	SD	STORM DRAIN
	WATER HAMMER ARRESTOR (WHA)	SOV	SHUTOFF VALVE
	TRAP PRIMER (TP)	SS	SANITARY SEWER

## GENERAL PLUMBING NOTES

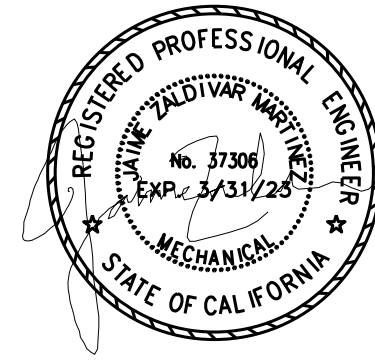
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- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
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- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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JOB No. 22002.00



**CENTRAL COAST**  
**PRE-DESIGNED ADU**  
**CENTRAL COAST, CALIFORNIA**

**GENERAL**  
**NOTES**  
**MECHANICAL**  
**& PLUMBING**

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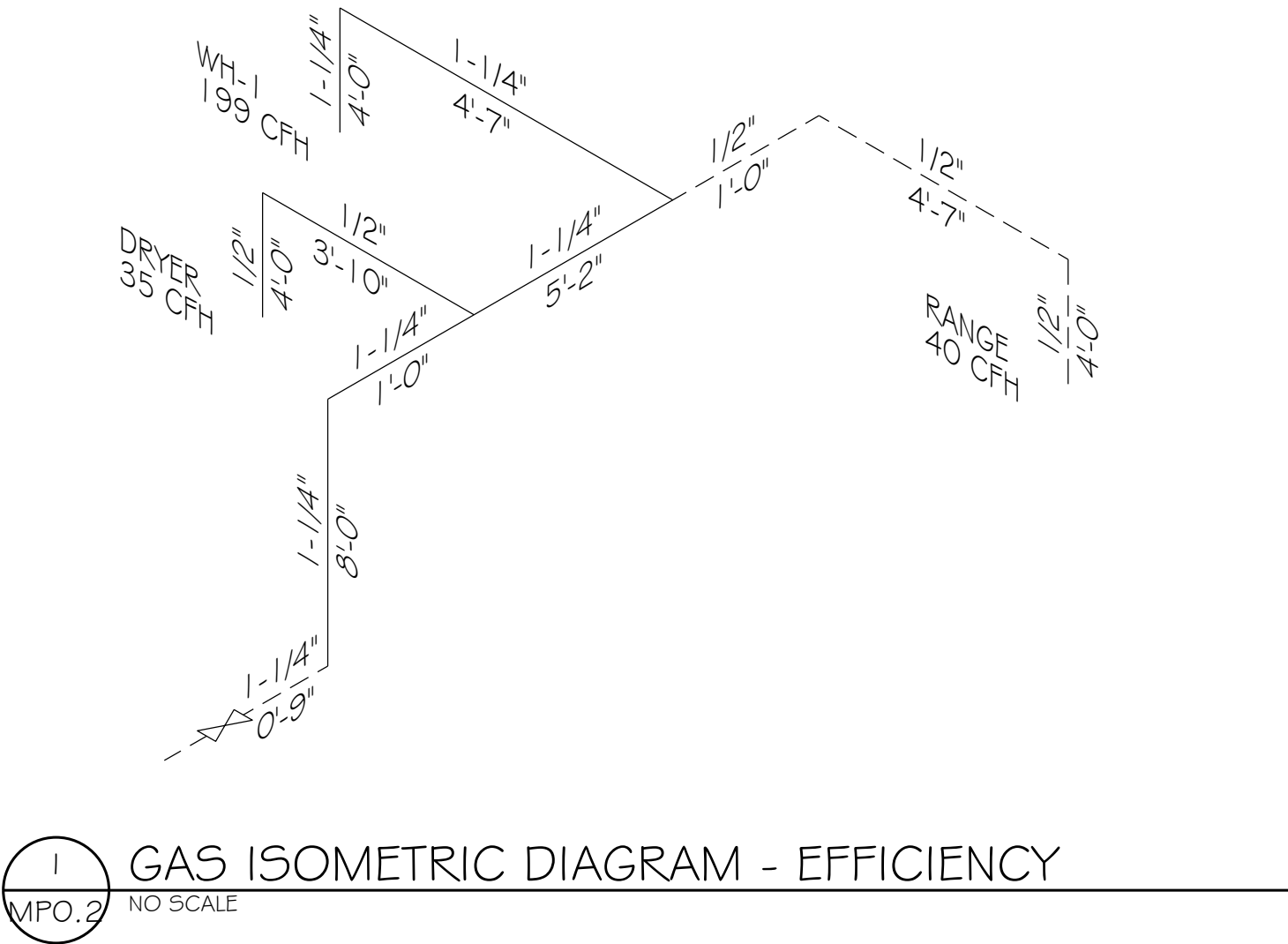
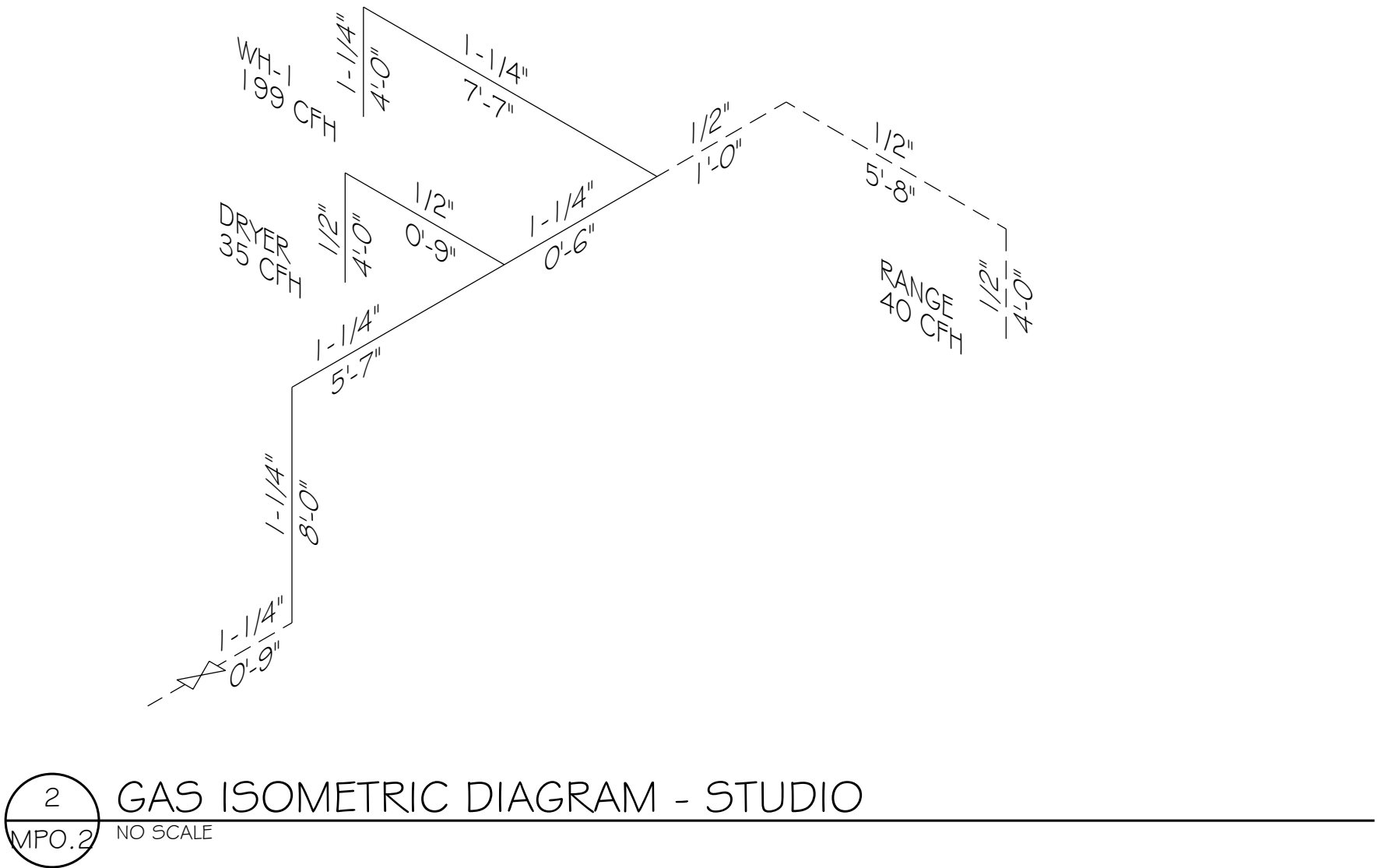
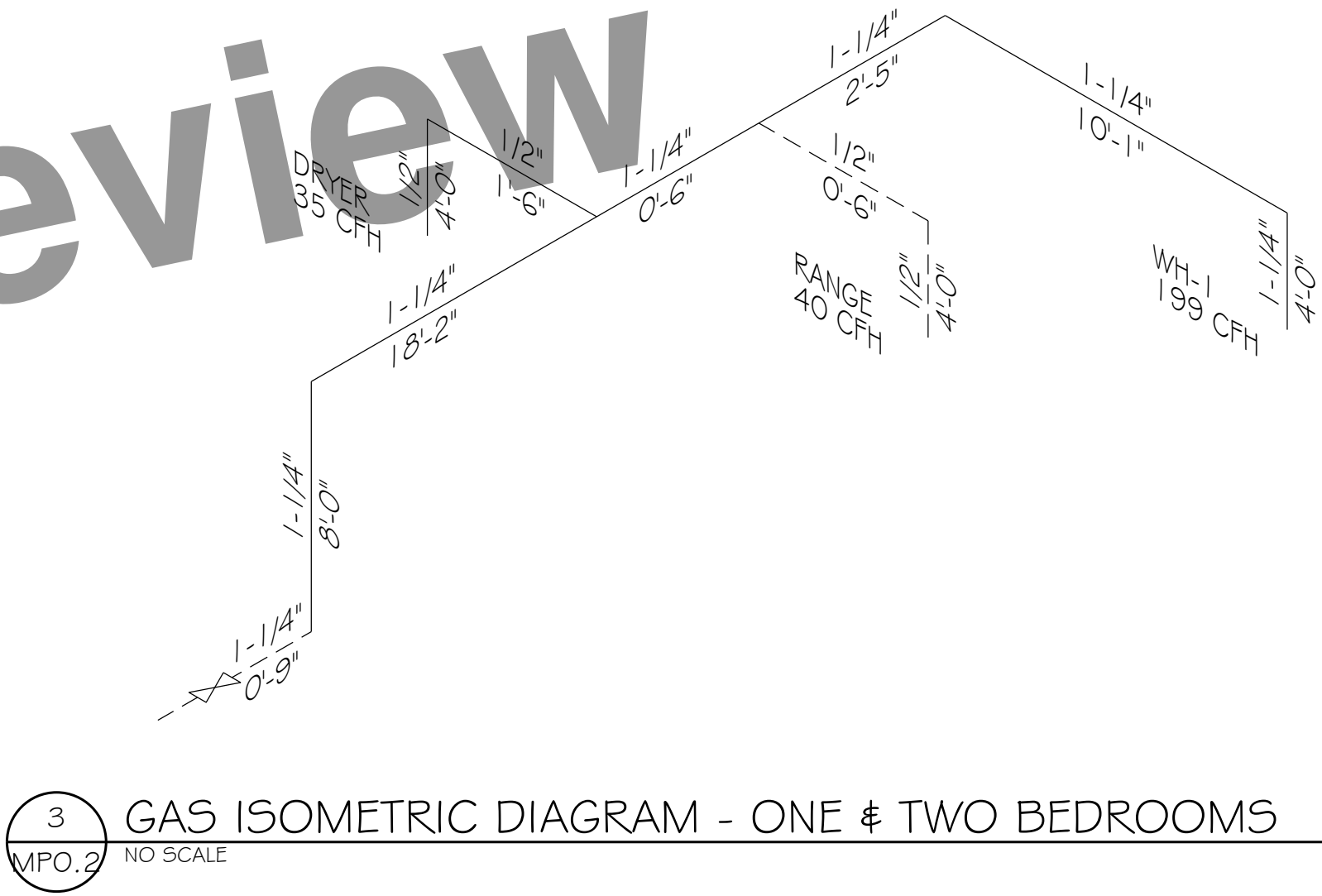
OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LB5)	LEVELING		SERVED	
OU-1	mitsubishi	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1 5/16	TSTAT.	IU-1	
OU-2	mitsubishi	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1 1/32	TSTAT.	IU-1,2	
OU-3	mitsubishi	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-1 1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																			
CODE	MFR	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL					HEATING COIL			HT W/O	WEIGHT
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT	°F WB	LAT	CAPACITY (MBH)	SENS	°F DB	°F DB	MBH	LEVELING		
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	FLOOR
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE
NOTES:			1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.																

EXHAUST FAN SCHEDULE												
CODE	MFR	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES
							HP		ISOLATORS	(LB5)		
EF-1	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8
NOTES:			1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.									

PLUMBING FIXTURE SCHEDULE										
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW	
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS
BT-1	BATHTUB	--	•	--	--	2	1 1/2	1/2	1/2	BATHROOMS
WC-1	WATER CLOSET	--	--	•	--	3	2	1/2	--	BATHROOMS
SK-1	KITCHEN SINK	--	--	•	--	2	1 1/2	1/2	1/2	KITCHENS
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS
HB-1	HOSE BIB	--	--	--	•			1/2		EXTERIOR WALLS

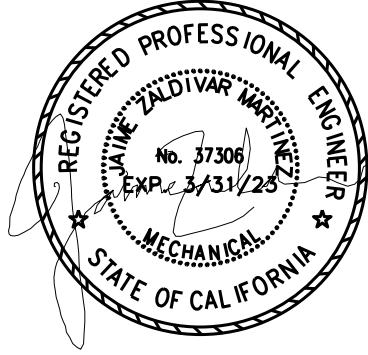
WATER HEATER SCHEDULE												
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY		GPM @ FRISE	ELECTRICAL			WEIGHT	HEIGHT	PART NO.
				INPUT	CAPACITY		H.P.	VOLT	PH			
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	RU199C
EWH-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	63	XE40TCHS45UO
			MFG: RINNAI DEF: 0.93 RHEEM DUCT HEAT REJECTION TO OUTSIDE									



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**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**SCHEDULES  
& GAS  
DIAGRAMS  
MECHANICAL  
& PLUMBING**

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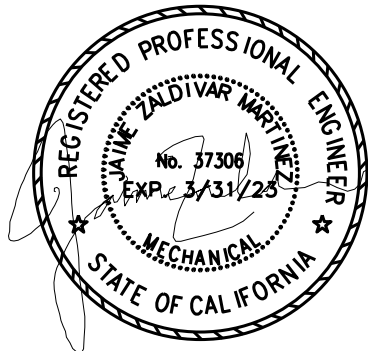
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**CENTRAL COAST  
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CENTRAL COAST, CALIFORNIA

ONE BED  
MECHANICAL  
& PLUMBING  
PLANS - E

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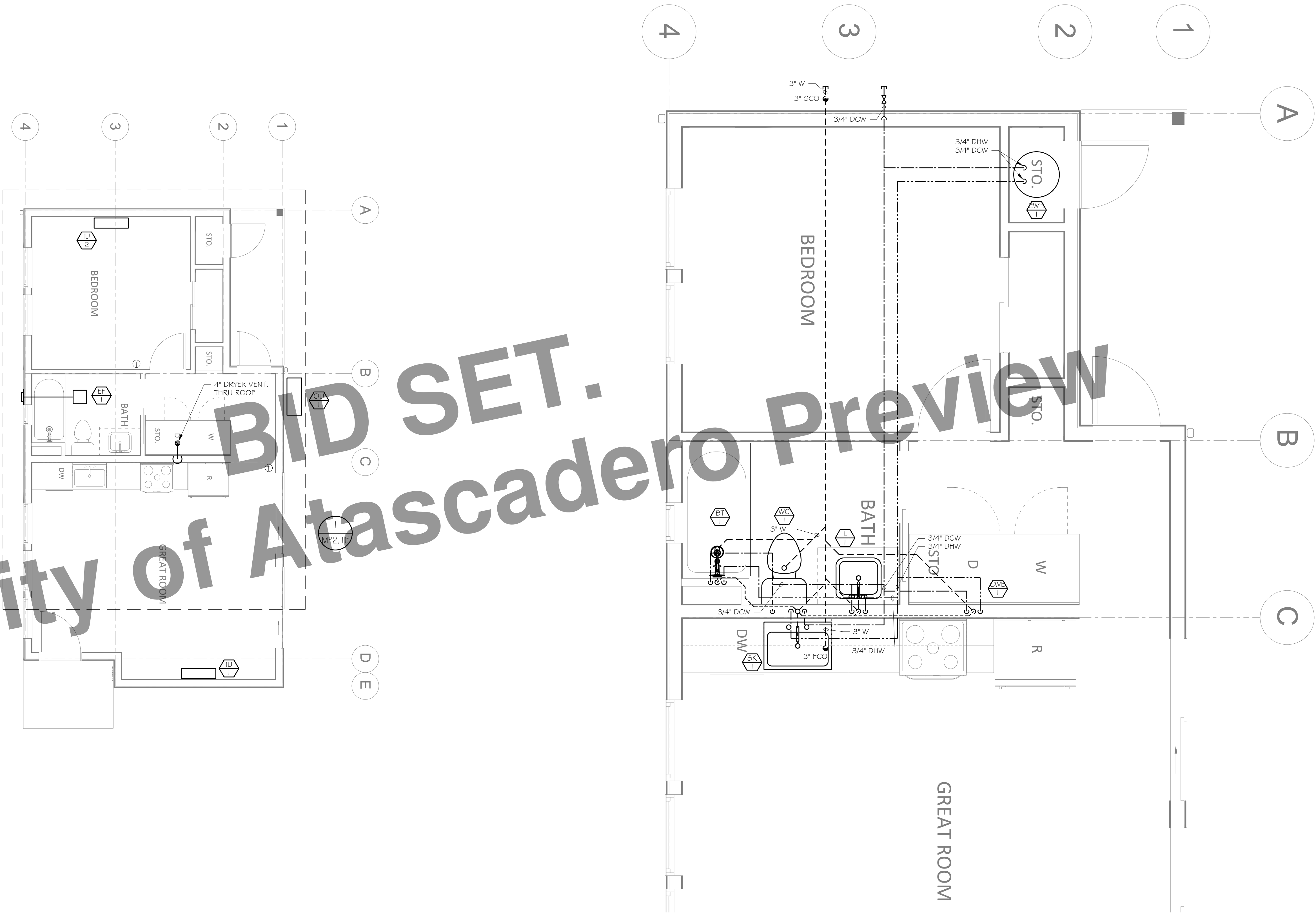
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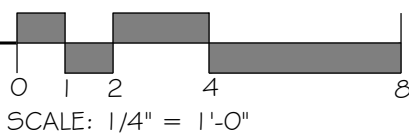
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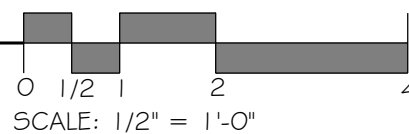
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2 FLOOR PLAN - ONE BED - NEW MECHANICAL  
MP2.1E SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - ONE BED - NEW PLUMBING  
MP2.1E SCALE: 1/2" = 1'-0"





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CENTRAL COAST, CALIFORNIA

ONE BED  
MECHANICAL  
& PLUMBING  
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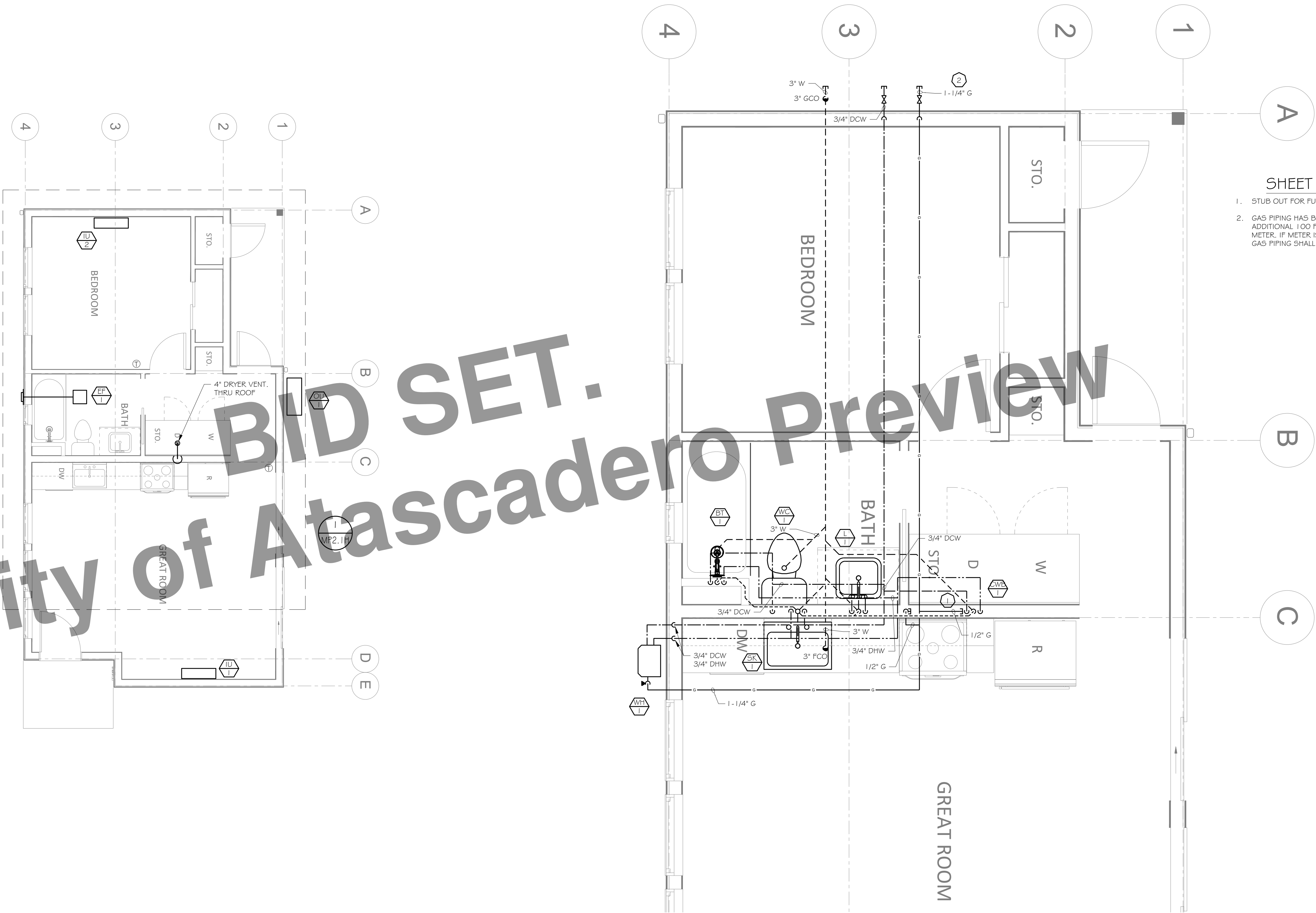
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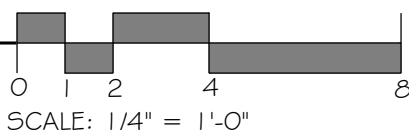
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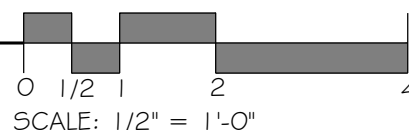
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**2 FLOOR PLAN - ONE BED - NEW MECHANICAL**  
MP2.1H SCALE: 1/4" = 1'-0"



**1 ENLARGED FLOOR PLAN - ONE BED - NEW PLUMBING**  
MP2.1H SCALE: 1/2" = 1'-0"



Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

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contact@zsalengineering.com  
831-641-7739  
ZAL (zsalengineering.com)



**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST. STE 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

ONE BED  
T24 FORMS  
ELECTRIC

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

**T24.9B**

SHEET OF

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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**  
Project Name: Central Coast ADU OB  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-24T19:21:10-05:00  
Input File Name: 3\_OB\_E\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 9 of 13)

OVERHANGS AND FINIS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang					Left Fin					Right Fin		
	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0

01	02	03	04	05	06	07	08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	One Bed	274.52	0.1	none	0	100%	No
Slab-on-Grade 2	One Bed	59.49	0.1	none	0	100%	No
Slab-on-Grade 3	One Bed	45.5	0.1	none	0	100%	No
Slab-on-Grade 4	One Bed	144.48	0.1	none	0	100%	No

Registration Number: 223-P010107155A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance  
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Report Version: 2022.0.000  
Schema Version: rev 20220901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2023-08-24 17:21:46

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CF1R-PRF-01-E  
(Page 6 of 13)

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
1.7	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	0.242	96	98

**REQUIRED SPECIAL FEATURES**  
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
• Indoor air quality, balanced fan  
• IAQ Ventilation System: as low as 0.30303 WCFM  
• IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE  
• IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual  
• IAQ Ventilation System: fault indicator display  
• Cool roof  
• Window overhangs and/or fins  
• Compact distribution system: basic credit  
• Recirculating with demand control, occupancy/motion sensor  
• Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed.

**HERS FEATURE SUMMARY**  
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry  
• Quality Insulation installation (QII)  
• Indoor air quality ventilation  
• Kitchen range hood  
• Verified Refrigerant Charge  
• Verified heat pump rated heating capacity

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OB	523.99	1	1	1	0	1

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CF1R-PRF-01-E  
(Page 3 of 13)

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.82	12.41	2.41	18.63	-0.59	-6.22
Space Cooling	0.85	32.55	0.37	10.43	0.48	12.12
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.58	30.06	1.19	10.58
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	7.45	96.46	6.2	78.15	1.25	18.31
Space Heating	1.82	12.41	1.69	13.34	0.13	-0.83
Space Cooling	0.85	32.55	0.29	15.91	0.62	16.64
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.58	30.02	1.19	10.62
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	7.45	96.46	5.34	68.2	2.11	28.26

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CF1R-PRF-01-E  
(Page 8 of 13)

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 4	One Bed	R-38 Roof No Attic	0	Front	144.48	0	3	0.75	0.85	Yes

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Left	90	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Left	90	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Right	270	1.5	3	1	4.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen

01	02	03	04
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor
Door	Front Wall	21	0.2
Door B	Back Wall	17.5	0.2

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CF1R-PRF-01-E  
(Page 5 of 13)

Energy Use Intensity	Standard Design (kBtu/ft <sup>2</sup> -yr)	Proposed Design (kBtu/ft <sup>2</sup> -yr)	Compliance Margin (kBtu/ft <sup>2</sup> -yr)	Margin Percentage
North Facing				
Gross EU <sup>1</sup>	30.07	28.03	2.04	6.78
Net EU <sup>2</sup>	12.49	10.45	2.04	16.33
East Facing				
Gross EU <sup>1</sup>	30.07	27.22	2.85	9.48
Net EU <sup>2</sup>	12.49	9.64	2.85	22.82
South Facing				
Gross EU <sup>1</sup>	30.07	27.29	2.78	7.58
Net EU <sup>2</sup>	12.49	10.21	2.28	18.25
West Facing				
Gross EU <sup>1</sup>	30.07	27.93	2.14	7.12
Net EU <sup>2</sup>	12.49	10.35	2.14	17.13
Notes:				
1. Gross EU <sup>1</sup> is Energy Use Total (not including PV) / Total Building Area.				
2. Net EU <sup>2</sup> is Energy Use Total (including PV) / Total Building Area.				

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CF1R-PRF-01-E  
(Page 2 of 13)

ENERGY DESIGN RATINGS	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)
Standard Design	30.4	30.9	30.6			
Proposed Design						
North Facing	28.3	25	27.1	2.1	5.9	3.5
East Facing	27	21.8	25.3	3.4	9.1	5.3
South Facing	27.8	27	28.3	2.6	3.9	2.3
West Facing	28.1	25.2	27.3	2.3	5.7	3.3
RESULT: PASS						
<sup>1</sup> Efficiency EDR includes improvements like a better building envelope and more efficient equipment.						
<sup>2</sup> Total EDR includes efficiency and demand response measures such as plug-in electric (PE) system and batteries.						
<sup>3</sup> Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.						
• Standard Design PV Capacity: 1.70 kWdc						
• Proposed PV Capacity Scaling: North (1.70 kWdc) East (1.70 kWdc) South (1.70 kWdc) West (1.70 kWdc)						

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CF1R-PRF-01-E  
(Page 7 of 13)

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status
One Bed	Conditioned	OU-11	523.99	8	DHW Sys 1	New

01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)
Front Wall	One Bed	R-21 Wall	180	Back	143.92	21	90
Lateral 1 Wall	One Bed	R-21 Wall	0	Front	128	36	90
Lateral 2 Wall	One Bed	R-21 Wall	90	Left	128	84	90
Lateral 2 Wall 2	One Bed	R-21 Wall	90	Left	52.33	0	90
Back Wall	One Bed	R-21 Wall	0	Front	46.45	17.5	90
Lateral 1 Wall 2	One Bed	R-21 Wall	270	Right	40	4.5	90
Lateral 1 Wall 3	One Bed	R-21 Wall	270	Right	90	24	90
Lateral 2 Wall 3	One Bed	R-21 Wall	180	Back	42.99	0	90
Back Wall 2	One Bed	R-21 Wall	0	Front	93.66	0	90

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	One Bed	R-38 Roof No Attic	180	Back	274.52	0	3	0.75	0.85	Yes
Roof 2	One Bed	R-38 Roof No Attic	0	Front	59.49	0	3	0.75	0.85	Yes
Roof 3	One Bed	R-38 Roof No Attic	0	Front	45.5	0	3	0.75	0.85	Yes

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(Page 4 of 13)

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kWh/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kWh/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.82	12.41	1.85	14.68	-0.03	-2.27
Space Cooling	0.85	32.55	0.36	30.67	0.27	1.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.57	29.98	1.2	10.66
Self Utilization/Flexibility Credit				0		0
South Facing Efficiency Compliance Total	7.45	96.46	5.84	84.36	1.61	12.1
Space Heating	1.82	12.41	2.35	18.8	-0.53	-6.39
Space Cooling	0.85	32.55	0.3	20.9	0.55	11.65
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.59	30.14	1.18	10.5
Self Utilization/Flexibility Credit				0		0
West Facing Efficiency Compliance Total	7.45	96.46	6.08	78.87	1.37	17.59

BID SET.  
City of Atascadero

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.  
Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.  
contact@zsalengineering.com  
831-641-7739  
ZAL (zsalengineering.com)



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Input File Name: 3\_OB\_E\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 12 of 13)

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HWAC - HEAT PUMPS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification	
			Efficiency Type	HSFP / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2 / EER / CEER				
Heat Pump System 1	Ductless MiniSplit HP	1	HSFP	11.8	14200	9400	EER/SEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-HERS-Htump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-HERS-Rtpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - JME	Includes Fault Indicator Display?	HERS Verification	Status
S'fam IAQventRpt 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

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CF1R-PRF-01-E  
(Page 11 of 13)

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T10H22U 0	Outside	One Bed	One Bed

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07
Dwelling Unit type	Water Heating System Name	Master bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Further Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

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CF1R-PRF-01-E  
(Page 13 of 13)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Jaime Zaldivar	Documentation Author Signature: 
Company: ZAL Engineering 99 Pacific St, Ste 375G Monterey, CA 93940	Signature Date: 2023-08-25 17:19:50 CF1R HERS Certification Identification (if applicable): M37306 Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy ratings and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with the building permit application.	
Responsible Designer Name: Jaime Zaldivar	Responsible Designer Signature: 
Company: ZAL Engineering 99 Pacific St, Ste 375G Monterey, CA 93940	Date Signed: 2023-08-25 17:19:50 Jalvarez: M37306 Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 223-P010107165A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance  
Registration Date/Time: 2023-08-25 17:18:50  
Report Version: 2022.0.000  
Schema Version: rev 20220901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-24 17:21:46

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD  
Project Name: Central Coast ADU 08  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-24T19:21:10-05:00  
Input File Name: 3\_OB\_E\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 10 of 13)

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-22	5 / None	0.047	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-39	None / None	0.028	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/Decking Radiant Barrier Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

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Jaime Zaldivar, P.E.  
contact@zsalengineering.com  
831-641-7739  
ZAL (zsalengineering.com)



**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST. STE 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

ONE BED  
T24 FORMS  
HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.11B

SHEET OF

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Input File Name: 3\_OB\_H\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 9 of 13)

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0

01	02	03	04	05	06	07	08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	IU-1&2	274.52	0.1	none	0	100%	No
Slab-on-Grade 2	IU-1&2	59.49	0.1	none	0	100%	No
Slab-on-Grade 3	IU-1&2	45.5	0.1	none	0	100%	No
Slab-on-Grade 4	IU-1&2	144.48	0.1	none	0	100%	No

Registration Number: 223-P010107161A-000-000-0000000-0000  
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Input File Name: 3\_OB\_H\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 6 of 13)

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
1.7	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	0.242	96	98

**REQUIRED SPECIAL FEATURES**  
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
• Indoor air quality, balanced fan  
• IAQ Ventilation System: as low as 0.30303 W/CFM  
• IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE  
• IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual  
• IAQ Ventilation System: fault indicator display  
• Cool roof  
• Window overhangs and/or fins  
• Compact distribution system basic credit  
• Recirculating with demand control, occupancy/motion sensor

**HERS FEATURE SUMMARY**  
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2s and CF3s are required to be completed in the HERS Registry  
• Quality Insulation Installation (QII)  
• Indoor air quality ventilation  
• Kitchen range hood  
• Verified heat pump rated heating capacity

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU 08	523.99	1	1	1	0	1

Registration Number: 223-P010107161A-000-000-0000000-0000  
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CF1R-PRF-01-E  
(Page 3 of 13)

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.48	11.01	0.75	5.63	0.73	5.38
Space Cooling	0.73	30.39	0.62	26.57	0.11	3.82
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	17.16	110.67	14.56	94.01	2.6	16.66
Space Heating	1.48	11.01	0.75	5.63	0.41	2.95
Space Cooling	0.73	30.39	0.62	26.57	0.08	0.77
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	17.16	110.67	14.51	99.49	2.25	11.18

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CF1R-PRF-01-E  
(Page 8 of 13)

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 4	IU-1&2	R-38 Roof No Attic	315	n/a	144.48	0	3	0.75	0.85	Yes

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall		135	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall		135	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		135	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall		225	6	7	1	42	0.27	NFRC	0.23	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall		225	6	7	1	42	0.27	NFRC	0.23	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2		45	1.5	3	1	4.5	0.27	NFRC	0.23	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 3		45	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3		45	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen

01	02	03	04
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor
Door	Front Wall	21	0.2
Door B	Back Wall	17.5	0.5

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CF1R-PRF-01-E  
(Page 5 of 13)

Energy Use Intensity	Standard Design (kBtu/ft <sup>2</sup> -yr)	Proposed Design (kBtu/ft <sup>2</sup> -yr)	Compliance Margin (kBtu/ft <sup>2</sup> -yr)	Margin Percentage
North Facing				
Gross EU1	40.02	37.19	2.83	7.07
Net EU1	22.44	19.61	2.83	12.61
East Facing				
Gross EU1	40.02	37.4	2.64	6.55
Net EU1	22.44	19.82	2.62	11.68
South Facing				
Gross EU1	40.02	37.44	2.58	6.45
Net EU1	22.44	19.86	2.58	11.5
West Facing				
Gross EU1	40.02	37.24	2.78	6.95
Net EU1	22.44	19.66	2.78	12.39
Notes:				
1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area.				
2. Net EU1 is Energy Use Total (including PV) / Total Building Area.				

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CF1R-PRF-01-E  
(Page 2 of 13)

ENERGY DESIGN RATINGS	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)
Standard Design	49.9	51.9	43.7			
Proposed Design						
North Facing	45.5	44	39.7	4.4	7.9	4
East Facing	46	46.6	41	3.9	5.3	2.7
South Facing	46.1	44.9	40.1	3.8	7	3.6
West Facing	45.7	43.2	39.2	4.2	8.7	4.5
RESULT: PASS						
<sup>1</sup> Efficiency EDR includes improvements like a better building envelope and more efficient equipment						
<sup>2</sup> Total EDR includes efficiency and demand response measures such as plug-in hybrid (PHEV) system and batteries						
<sup>3</sup> Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded						
• Standard Design PV Capacity: 1.70 kWdc						
• Proposed PV Capacity Scaling: North (1.70 kWdc) East (1.70 kWdc) South (1.70 kWdc) West (1.70 kWdc)						

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CF1R-PRF-01-E  
(Page 7 of 13)

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status
IU-1&2	Conditioned	OU-11	523.99	8	DHW Sys 1	New

01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)
Front Wall	IU-1&2	R-21 Wall	315	n/a	143.92	21	90
Lateral 1 Wall	IU-1&2	R-21 Wall	135	n/a	128	36	90
Lateral 2 Wall	IU-1&2	R-21 Wall	225	n/a	128	84	90
Lateral 2 Wall 2	IU-1&2	R-21 Wall	225	n/a	52.83	0	90
Back Wall	IU-1&2	R-21 Wall	135	n/a	46.45	17.5	90
Lateral 1 Wall 2	IU-1&2	R-21 Wall	45	n/a	40	4.5	90
Lateral 1 Wall 3	IU-1&2	R-21 Wall	45	n/a	90	24	90
Lateral 2 Wall 3	IU-1&2	R-21 Wall	315	n/a	42.99	0	90
Back Wall 2	IU-1&2	R-21 Wall	135	n/a	93.66	0	90
Interior Surface	IU-1&2>IU-1&2	R-0 Wall	n/a	n/a	93.66	0	n/a

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	IU-1&2	R-38 Roof No Attic	315	n/a	274.52	0	3	0.75	0.85	Yes
Roof 2	IU-1&2	R-38 Roof No Attic	315	n/a	59.49	0	3	0.75	0.85	Yes
Roof 3	IU-1&2	R-38 Roof No Attic	315	n/a	45.5	0	3	0.75	0.85	Yes

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(Page 4 of 13)

Energy Use Summary	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Standard Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Energy Use						
Space Heating	1.48	11.01	0.75	5.64	0.73	1.57
Space Cooling	0.73	30.39	0.62	24.51	0.21	5.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
South Facing Efficiency Compliance Total	17.16	110.67	14.96	95.76	2.2	14.91
Space Heating	1.48	11.01	0.75	5.64	0.46	3.53
Space Cooling	0.73	30.39	0.62	22.92	0.22	7.47
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
West Facing Efficiency Compliance Total	17.16	110.67	14.72	92.21	2.44	

BID SET.  
City of Atascadero

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Jaime Zaldivar, P.E.  
contact@zsalengineering.com  
831-641-7739

ZAL (zalengineering.com)



**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST, STE 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

ONE BED  
T24 FORMS  
HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

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CF1R-PRF-01-E  
(Page 12 of 13)

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HWAC - HEAT PUMPS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification	
			Efficiency Type	HSFP / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2				EER / EER
Heat Pump System 1	Ductless MiniSplit HP	1	HSFP	30	22000	15000	EER/SEER	20	12.7	Not Zonal	Single Speed	Heat Pump System 1-HERS-HPump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-HERS-HPump	Not Required	0	Not Required	Not Required	No	No	Yes	Yes

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficiency (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - JME	Includes Fault Indicator Display?	HERS Verification	Status
SFam IAQventRpt 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

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Schema Version: rev 20220901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-25 16:18:15

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**  
Project Name: Central Coast ADU 08  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2023-08-25T18:17:45-05:00  
Input File Name: 3\_OB\_H\_C24.rbd22x  
CF1R-PRF-01-E  
(Page 11 of 13)

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Blue/HR	200000	0	n/a	n/a	

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07
Dwelling Unit type	Water Heating System Name	Water tank distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

Registration Number: 223-P010107161A-000-000-000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance  
Registration Date/Time: 2023-08-25 17:28:18  
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(Page 13 of 13)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Jaime Zaldivar	Documentation Author Signature: 
Company: ZAL Engineering 99 Pacific St, Ste 375G Monterey, CA 93940	Signature Date: 2023-08-25 17:28:18 HERS Certification Identification (if applicable): M37306 Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
Identify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with the building permit application.	
Responsible Designer Name: Jaime Zaldivar	Responsible Designer Signature: 
Company: ZAL Engineering 99 Pacific St, Ste 375G Monterey, CA 93940	Date Signed: 2023-08-25 17:28:18 Jurnal: M37306 Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



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(Page 10 of 13)

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-30	4.2 / None	0.041	Inside Finish: Gypsum Board Sheathing / Insulation: R-4.2 Sheathing Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-39	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board
R-0 Wall	Interior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x6 Other Side Finish: Gypsum Board

01	02	03	04	05
Building Envelope - HERS Verification	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (s)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

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