ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT 1. Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.

- 2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- 3. Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, 4. list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- 6. If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

1. All submitted plan sets must be accompanied by a Building Permit Application. 2. All applications must include a site survey.

BUILDING DEPARTMENT

- 1. All applications must include a Construction Waste Management Plan.
- 2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

PHOTOVOLTAIC SYSTEM (ALL PROJECTS)

- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)
- SEPTIC SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

1A. Atascadero Municipal Code 1. California Building Code 2. California Residential Code

3. California Electrical Code 4. California Plumbing Code

PARCEL INFORMATION

PROJECT INFORMATION

APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE (in SF)	
EXISTING HOME SIZE (in S	F)
PARCEL OVER 10% SLOPE	YES NO PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO
SRA FIRE HAZARD SEVERITY ZONE (WUI)	APPLICABLE NOT APPLICABLE PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A, UNFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.
PROJECT INFORMATION	OFFICE OF THE STATE FIRE MARSHAL (USFIN), REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.
NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	YES NO
SERVED BY SEPTIC SYSTEM	M YES PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMENT TO DETERMINE SPECIFIC REQUIREMENTS PER PARCEL/PROJECT.
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T24.12B TITLE 24 FORMS - HYBRID

- 5. California Mechanical Code
- 6. California Fire Code

- 7. California Green Building Standards Code
- 8. California Energy Efficiency Standards Code

OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE



CENTRAL COAST PRE-DESIGNED ADU CITY REVIEW SET

PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH	RYAN BROCKETT ARCHITECT INC.
189 Walnut Avenue Santa Cruz, CA 95060	104 S. Main St. Unit B Templeton, CA 93565
831.227.2217	805.400.3025
info@workbenchbuilt.com	info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
CM TAYLOR STRUCTURAL ENGINEERING, INC	ZAL ENGINEERING
4245 Capitola Rd, Suite #204 Capitola, CA 95010	99 Pacific St, Suite #375G Monterey, CA 93940
831.854.2484	831.641.7739
contact@cmtaylorse.com	contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 626 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

ES NO PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMENT TO DETERMINE SPECIFIC REQUIREMENTS PER PARCEL/PROJECT.		
	PROJECT CHECKLIST	CLEARLY MARK THE BOX FOR EACH SELECTION
	ARCHITECTURAL STYLE (SELECT ONE)	
	COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
	BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2
	CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
	BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4
	ROOFING MATERIAL (SELECT ONE)	
	ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
	METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
	APPLICANT REVISION	
	PRIMARY SIDING MATERIAL (SELECT ONE)	
CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST	VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
ATION	BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
	HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
JIREMENTS JIREMENTS	SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
S	STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
ATIONS ONS	APPLICANT REVISION	
	DESIGN OPTIONS (SELECT IF DESIRED)	
ATIONS	CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.
	EXTERIOR SLIDING DOOR AT DEN	Requires framing coordination.
	APPLICANT REVISION	
5	MECHANICAL SYSTEM (SELECT ONE)	
ONS	ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
	HYBRID (ELECTRIC W/ GAS H20 HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H
	GAS RANGE	
ATION PLAN	REQUIRED COMPLIANCE (CHECK IF APPLICABLE	
	PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
JMBING - ELECTRIC - HYBRID	EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"
	SITE PLAN (REQUIRED)	
	OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan

EA CALCULATIONS - ONE BEDROOM

DWELLING UNIT - 626 GSF EXT. COVERED PORCHES - 59 GSF

ASTAL RANCH EXTERIOR - PERSPECTIVE VIEW











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JSING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS WLEDGING ACCEPTANCE OF THE FOLLOWING CONDITION . THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINA ROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED AD ANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVE ACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE O DUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND A FORMATION RELEVANT TO THE RECIPIENT'S WORK AND SPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKET CHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL N ONSIBLE FOR TRANSLATION ERRORS

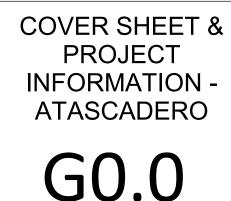
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RINT DATE XX.XX.XXX

SCALE : AS NOTE



	Ining the below information. This checklist is provided to help guide applicants through the creation of their project's site plan.
Atascadero Residents - reference "Elements of A Site Plan" docu SITE PLAN INFORMATION	ment published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvement EXPLANATION
NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROU
SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINE WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE
EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMEN
LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS
LABELED STREETS SHOWING WIDTH	INCLUDE PROPANE TANK IF APPLICABLE. SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED /
DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HA BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
PARKING SPACES, TRAFFIC FLOW DIRECTION	
PARKING SPACES, TRAFFIC FLOW DIRECTION PLANTED AREAS AND OUTDOOR USE AREAS	
LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
LOCATION TO NEAREST FIRE HYDRANT	

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT

BID SET. BID

SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU

) THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR

LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. ANK IF APPLICABLE.

POSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS

LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. DN BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS



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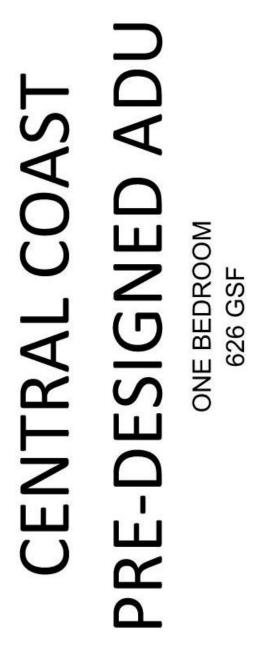
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SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

N	NORTH ARROW (INDICATES LOCATION OF NORTH)
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12^q

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

OWNER PROVIDED SITE PLAN -ATASCADERO

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GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND **REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK**
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- 13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY **REQUIREMENTS.**
- 16. MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD. 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE
- MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- 27. CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED 28.
- BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 30.
- 31.
- APPROVED BY THE ENFORCING AGENCY.

WUI NOTES

CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5 PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5 ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1 FOLLOWING:

- 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3 WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6 THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5 RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9 WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8 EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED. ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL

APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT 4 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS

33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE

1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE STA GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONT BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT L MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMI DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0 ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS S CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSE
- 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K) A. CEILING RECESSED DOWNLIGHT LUMINARIES
- LED LUMINARIES WITH INTEGRAL SOURCES
- C PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- D. GU-24 BASED LED LIGHT SOURCES
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOV FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. T SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPE CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWIT SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CA OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING F LIGHTING SYSTEMS CEC150.0(K)2L
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL FOLLOWING REQUIREMENTS:
 - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANC CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIO RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WIT LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDAN ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIR CERTIFIED AIRTIGHT; AND
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN C AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAU
 - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALL D. OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY. BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUI CUTTING OF HOLES IN THE CEILING; AND
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCE APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQU AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFEREN APPENDIX JA8.

3. IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY SENSOR.

- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/ AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- ASTRONOMICAL TIME SWITCH CONTROL
- ENERGY MANAGEMENT CONTROL SYSTEMS D. 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL **KITCHEN COUNTERTOPS, BATHROOM** COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.** KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET. 3. PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN. PROVIDE SEPARATE CIRCUIT FOR ELECTRIC 4
- RANGE AS REQUIRED BY CEC 210.19. PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT
- PROVIDE SEPARATE CIRCUIT FOR DISWASHER. 6. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- 9. PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
- CEC406.12. THAN 32 KG (70 LB). 20.

AB	BREVIATIONS
AB	ANCHOR BOLT

	ABB
ART MH, HPS, SOURCE, ETC.) TAIN SCREW- LIGHT SOURCES IINARIES ARE D(K)G SHALL BE ETS LESS THAN	AB AC AD ADJ AFF AL ALUM ALT ARCH AVG BD BLDG BLKG BTM BTWN
THE FINISHED THESE BOXES ED CONTROL. TCHED AN BE TURNED	BUR BW CB CF CJ CLKG CLG CLR CO COTG COL CONC CONC CONT CT CT CTR CW
OF THE CE INSULATION ONALLY H AIR LEAKAGE NCE WITH RED TO BE	DBL DEPT DIA DIAG DIM DL DN DR DWG DW
E HOUSING CONDITIONED ULK; AND OW BALLAST ACCESSIBLE TO RING THE	(E) EA EB ELEC ELEV EN ENCL EP EQUIP EXT
CES JOINT IREMENTS, CE JOINT Y A VACANCY /OFF SWITCH	FD FF FIN FL FLSHG FLR FOC FOS FOW FRMG FT FTG
	GA GALV GC GWB

ASPHALT CONCRETE AREA DRAIN ADJACENT ABOVE FINISH FLOOR ALIGN ALUMINUM ALTERNAT ARCHITECT/ARCHITECTURAL AVERAGE BOARD BUILDING BLOCKING BOTTOM BETWEEN **BUILT-UP ROOFING** BOTH WAYS CATCH BASIN CUBIC FEET CONTROL JOINT CAULKING CEILING CLEAR CLEANOUT **CLEANOUT TO GRADE** COLUMN CONCRETE CONTINUOUS **CERAMIC TILE** CENTER COLD WATER DOUBLE DEPARTMENT DIAMETER DIAGONAL DIMENSION DEAD LOAD DOWN DOOR DRAWING DISHWASHER **EXISTING** FACH **EXPANSION BOLT EXPANSION JOINT** ELECTRIC/ELECTRICA ELEVATOR/ELEVATION EDGE NAILING ENCLOSURE ELECTRICAL PANEL EQUIPMENT EXTERIOR FLOOR DRAIN **FINISH FLOOR** FINISH FLOW LINE FLASHING FLOOR FACE OF CONCRETI FACE OF STUD FACE OF WALL FRAMING FOOT FOOTING GAUGE GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD HOSE BIB HOLDOWN

INSUL INT JOINT KIT **KITCHEN** LAG BOLT LB LBS LAG SCREW MAX MB MECH MFD MFR MICRO MIN MISC MTD MTL METAL NEW (N) NIC NA NTS 0/ OVER OC OH OPNG PI ATF PI F **PLYWD** PTD PSF **PVMT** RA **RETURN AIR** RCP RD REF REFR REQD REV RM ROOM RO SCHED SD SEC SED SPEC SPD SSD STD STEEL STL STRUCT SUSP TOC TYP TYPICAL UON ENT VERT VIF WITH WOOD WD w/o

INCH/INCHES INFORMATION INSULATION INTERIOR

INFC

POUNDS LINEAR FOOT LIVE LOAD

MAXIMUM MACHINE BOLT MECHANICAL MANUFACTURED MANUFACTURER MICROWAVE MINIMUM MISCELLANEOUS MOUNTED

NOT IN CONTRACT NOT APPLICABLE NOT TO SCALE

ON CENTER OVERHEAD/OVERHANG OPENING POUNDS PER LINEAL FOOT PLYWOOD PAINTED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PAVEMENT

REFLECTED CEILING PLAN **ROOF DRAIN** REFERENCE REFRIGERATOR REQUIRED REVISION **ROUGH OPENING**

SCHEDULE STORM DRAIN SECTION SEE ELECTRICAL DRAWINGS SQUARE FOOT **SPECIFICATION** SEE PLUMBING DRAWINGS SEE STRUCTURAL DRAWINGS SOLID SURFACE STANDARD STRUCTURAL SUSPENDED

TEMPERED TOP OF CURB UNLESS OTHERWISE NOTED

VENTILATION/VENTILATOR VERTICAL VERIFY IN FIELD WATER CLOSET WATER HEATER WINDOW WITHOUT WATERPROOF WEIGHT

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

HEAT/VENTILATION/AIR COND.

HEADER

HANGER

HEIGHT

HOLLOW METAL

HORIZONTAL

HOT WATER

HGR

HORIZ

HVA

HW/

12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT

13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS. 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.

15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] 16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.

17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).

18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.

19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE

PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION. 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S)

ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.

22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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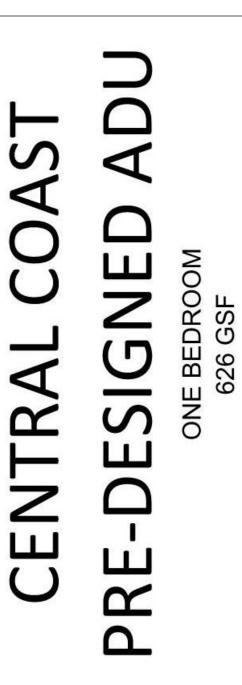


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GENERAL NOTES

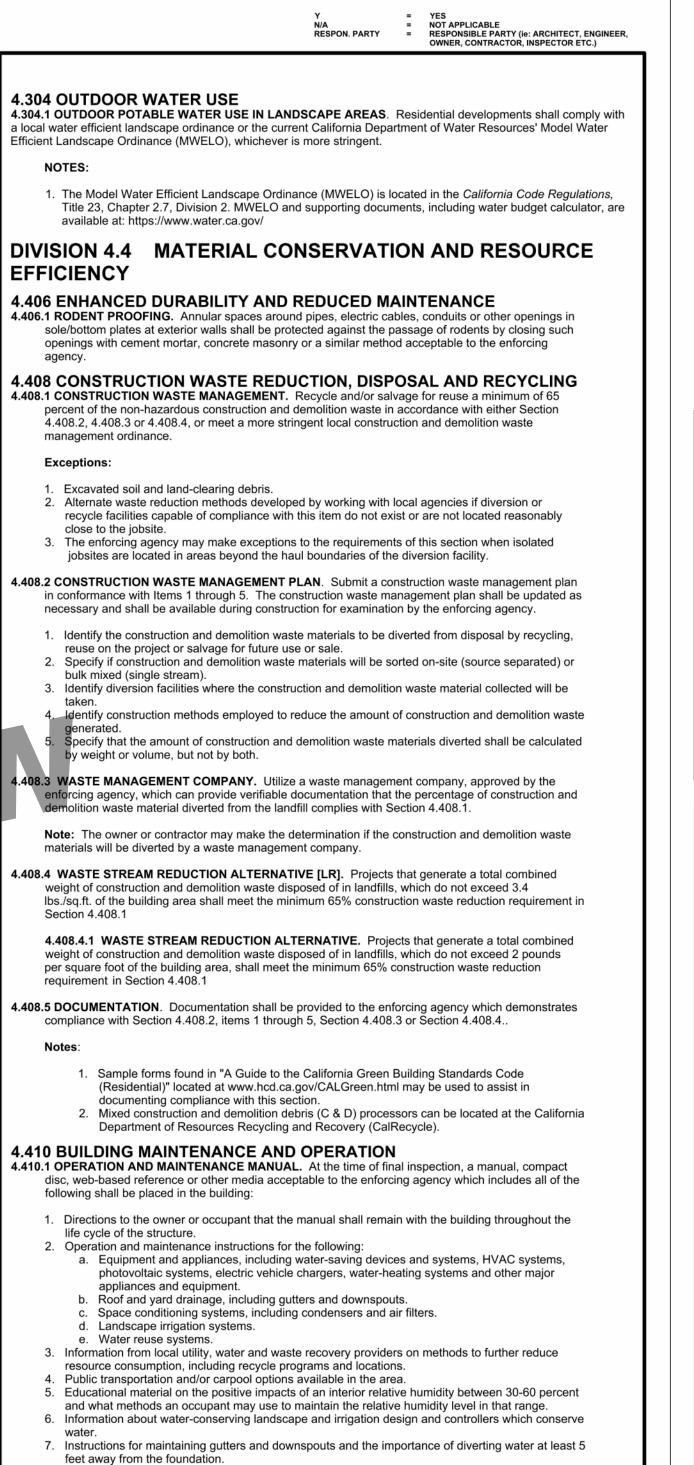


California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON. PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL	Y N//	A RESPON. PARTY	4.106.4.2 New multifamily dwelling When parking is provided, parking s requirements of Sections 4.106.4.2.1
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.			 whole number. A parking space service shall count as at least one state applicable minimum parking space r for further details. 4.106.4.2.1Multifamily development
	301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.			than 20 sleeping units or guest ro The number of dwelling units, sleepi this section.
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.			1.EV Capable. Ten (10) perce of parking facilities, shall be e EVSE. Electrical load calculat system, including any on-site EVs at all required EV spaces
	 Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 			The service panel or subpane for future EV charging purpos Exceptions:
	Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.			1.When EV chargers (Leve of EV capable spaces. 2.When EV chargers (Leve
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.			spaces, the number of EV chargers installed. Notes: a.Construction documents future EV charging.
	 SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. 			b.There is no requirement EV chargers are installed f 2.EV Ready . Twenty-five (25) Level 2 EV charging receptac
	 Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of <i>CAL</i>Green, live/work units, complying with Section 419 of the <i>California Building Code</i>, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. 		1	4.106.4.2.2 Multifamily developme
	Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development		,	sleeping units or guest rooms. The number of dwelling units, sleepi this section. 1.EV Capable . Ten (10) perce
	BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations			of parking facilities, shall be e EVSE. Electrical load calculat system, including any on-site EVs at all required EV spaces The service panel or subpane
	CHAPTER 4 RESIDENTIAL MANDATORY MEASURES		F	for future EV charging purpos Exception: When EV charg parking spaces required by reduced by a number equa
	SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)			Notes: a.Construction documents b.There is no requirement
	 FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials 			EV chargers are installed f 2.EV Ready. Twenty-five (25) Level 2 EV charging receptac dwelling unit when more than
	 such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, 			Exception: Areas of parkin 3.EV Chargers. Five (5) perc Where common use parking i area and shall be available fo
	 Management of storm water drainage and erosion controls shall comply with this section. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 			When low power Level 2 EV of an automatic load manageme capacity to each space served shall have sufficient capacity served by the ALMS. The bra
	 Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 			have a capacity of not less tha capacity to the required EV ca 4.106.4.2.2.1 Electric vehicle cl Electric vehicle charging stations
	 Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 			Exception: Electric vehicle char shall not be required to comply requirements. 4.106.4.2.2.1.1 Location.
	 (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 			EVCS shall comply with at least of 1.The charging space shall the California Building Code
	 Swales Water collection and disposal systems French drains Water retention gardens 			2.The charging space shall Chapter 2, to the building. Exception: Electric vehicle c Building Code, Chapter 11B
	 Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 			4.106.4.2.2.1.2, Item 3. 4.106.4.2.2.1.2 Electric vehicle The charging spaces shall be d
	 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i>, Article 625. Exceptions: On a case-by-case basis, where the local enforcing agency has determined EV charging and 			 The minimum length of each The minimum width of each E One in every 25 charging spa aisle. A 5-foot (1524 mm) wide
	 infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional 			a.Surface slope for this EV spa percent slope) in any direction.
	 local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 			4.106.4.2.2.1.3 Accessible EV s In addition to the requirements in comply with the accessibility prov spaces and EVCS in multifamily 1109A.
	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.			4.106.4.2.3 EV space requirement 1.Single EV space required. Insta- circuit. The raceway shall not be originate at the main service or s proximity to the location or the pr raceway termination point, recep have a 40-ampere minimum dedi installed, or space(s) reserved to
	Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i> .			Exception: A raceway is not rec installed in close proximity to th construction in accordance with
	4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".			2.Multiple EV spaces required. C location of installed or future EV information on amperage of insta electrical load calculations. Plan raceways and related component

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		A RESPON			1 40-ampere 208/240-volt dedicated EV branch circu		1
gs, hotels and motels and new residential parking facilities.	T N/	PARTY		construction in accordance with the California Elec	roposed location of the EV space at the time of origin ctrical Code.	nai '	+
paces for new multifamily dwellings, hotels and motels shall meet the 1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest				I.106.4.2.4 Identification.			+
red by electric vehicle supply equipment or designed as a future EV charging				The service panel or subpanel circuit directory shall iden uture EV charging purposes as "EV CAPABLE" in accor		ved for	+
Indard automobile parking space only for the purpose of complying with any equirements established by a local jurisdiction. See Vehicle Code Section 22511.2				I.106.4.2.5 Electric Vehicle Ready Space Signage.			
				Electric vehicle ready spaces shall be identified by signa Fraffic Operations Policy Directive 13-01 (Zero Emission		ans	
nt projects with less than 20 dwelling units; and hotels and motels with less oms.			5	successor(s).			
ng units or guest rooms shall be based on all buildings on a project site subject to				06.4.3 Electric vehicle charging for additions and alter tifamily buildings.	erations of parking facilities serving existing		
ent of the total number of parking spaces on a building site, provided for all types			1	When new parking facilities are added, or electrical systematical systematical systematical teres and the work requires a building permit, ten (10)			
lectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical				altered shall be electric vehicle charging spaces (EV spa			
distribution transformer(s), have sufficient capacity to simultaneously charge all at a minimum of 40 amperes.				Notes:			1
I circuit directory shall identify the overcurrent protective device space(s) reserved				1.Construction documents are intended to demonstrate	e the project's capability and capacity for facilitating f	future	Ť
es as "EV CAPABLE" in accordance with the California Electrical Code.				EV charging.			
				2. There is no requirement for EV spaces to be construct	-	use.	+
el 2 EVSE) are installed in a number equal to or greater than the required number				VISION 4.2 ENERGY EFFICIE			+
				201 GENERAL 01.1 SCOPE. For the purposes of mandatory energy ef		iy .	
el 2 EVSE) are installed in a number less than the required number of EV capable EV capable spaces required may be reduced by a number equal to the number of				Commission will continue to adopt mandatory standard	ds.		
			D	VISION 4.3 WATER EFFICIEN	ICY AND CONSERVATION		
				03 INDOOR WATER USE			
are intended to demonstrate the project's capability and capacity for facilitating			4.30	3.1 WATER CONSERVING PLUMBING FIXTURES A urinals) and fittings (faucets and showerheads) shall			
for EV spaces to be constructed or available until receptacles for EV charging or				and 4.303.4.4.			
or use.				Note: All noncompliant plumbing fixtures in any residuplumbing fixtures. Plumbing fixture replacement	ential real property shall be replaced with water-con t is required prior to issuance of a certificate of final		1
percent of the total number of parking spaces shall be equipped with low power				completion, certificate of occupancy, or final pe	ermit approval by the local building department. See of a noncompliant plumbing fixture, types of resider	Civil	
les. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.				buildings affected and other important enactme			
icilities served by parking lifts.				4.303.1.1 Water Closets. The effective flush volume			
nt projects with 20 or more dwelling units, hotels and motels with 20 or more				flush. Tank-type water closets shall be certified to the Specification for Tank-type Toilets.	e performance chiena of the U.S. EPA WaterSense		
ng units or guest rooms shall be based on all buildings on a project site subject to					toilets is defined as the composite, average flush vo	olume	
				of two reduced flushes and one full flush.			
ent of the total number of parking spaces on a building site, provided for all types				4.303.1.2 Urinals. The effective flush volume of wal The effective flush volume of all other urinals shall no		er flush.	
ectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical distribution transformer(s), have sufficient capacity to simultaneously charge all				4.303.1.3 Showerheads.			Í
distribution transformer(s), have sufficient capacity to simultaneously charge all at a minimum of 40 amperes.				4.303.1.3.1 Single Showerhead, Showerhead	ids shall have a maximum flow rate of not more than	1.8	ł
I circuit directory shall identify the overcurrent protective device space(s) reserved				gallons per minute at 80 psi. Showerheads sh WaterSense Specification for Showerheads.	all be certified to the performance criteria of the U.S	. ERA	
es as "EV CAPABLE" in accordance with the California Electrical Code.					ne shower. When a shower is served by more than		_
ers (Level 2 EVSE) are installed in a number greater than five (5) percent of v Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be				showerhead, the combined flow rate of all the	showerheads and/or other shower outlets controlled minute at 80 psi, or the shower shall be designed to	by	+
al to the number of EV chargers installed over the five (5) percent required.				allow one shower outlet to be in operation at a		5 Only	
				Note: A hand-held shower shall be cons	sidered a showerhead.		
shall show locations of future EV spaces.				4.303.1.4 Faucets.			
for EV spaces to be constructed or available until receptacles for EV charging or or use.					The maximum flow rate of residential lavatory faucet		
percent of the total number of parking spaces shall be equipped with low power				not exceed 1.2 gallons per minute at 60 psi. T not be less than 0.8 gallons per minute at 20 p	he minimum flow rate of residential lavatory faucets si.	shall	4
es. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.				4.303.1.4.2 Lavatory Faucets in Common a	nd Public Use Areas. The maximum flow rate of la	avatory	
g facilities served by parking lifts.				faucets installed in common and public use are buildings shall not exceed 0.5 gallons per minu	eas (outside of dwellings or sleeping units) in resider ute at 60 psi.	ntial	
ent of the total number of parking spaces shall be equipped with Level 2 EVSE.				4.303.1.4.3 Metering Faucets. Metering fauc	cets when installed in residential buildings shall not o	deliver	
s provided, at least one EV charger shall be located in the common use parking r use by all residents or guests.				more than 0.2 gallons per cycle.			
					flow rate of kitchen faucets shall not exceed 1.8 gal porarily increase the flow above the maximum rate,		
charging receptacles or Level 2 EVSE are installed beyond the minimum required, nt system (ALMS) may be used to reduce the maximum required electrical				to exceed 2.2 gallons per minute at 60 psi, and minute at 60 psi.	must default to a maximum flow rate of 1.8 gallons	per 🗆	1
by the ALMS. The electrical system and any on-site distribution transformers to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS)				·	le, aerators or other means may be used to achieve		
nch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall an 30 amperes. ALMS shall not be used to reduce the minimum required electrical				reduction.	,		
apable spaces.				4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in	the California Code of Regulations, Title 20 (Applia	nce	
narging stations (EVCS). required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.					Table H-2, Section 1605.3 (h)(4)(A), and Section 16		
ging stations serving public accommodations, public housing, motels and hotels						ifornio	
with this section. See California Building Code, Chapter 11B, for applicable				Code of Regulations, Title 20 (Appliance Efficie	and code section have been reprinted from the Cali ency Regulations),Section 1605.1 (h)(4) and Section		
				1605.3 (h)(4)(A).			
one of the following options:				TABLE H-2			
be located adjacent to an accessible parking space meeting the requirements of , Chapter 11A, to allow use of the EV charger from the accessible parking space.							
				STANDARDS FOR COMMERCIA			
be located on an accessible route, as defined in the California Building Code,					UNALIENJANUART 20, 2019		
harging stations designed and constructed in compliance with the California				PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)		
, are not required to comply with Section 4.106.4.2.2.1.1 and Section				Product Class 1 (\leq 5.0 ozf)	1.00		
charging stations (EVCS) dimensions.							
esigned to comply with the following:				Product Class 2 (> 5.0 ozf and \leq 8.0 ozf)	1.20		
EV space shall be 18 feet (5486 mm).				Product Class 3 (> 8.0 ozf) Title 20 Section 1605 3 $(h)(4)(A)$: Commercial	1.28 prerinse spray values manufactured on or after Janu		j.
V space shall be 9 feet (2743 mm).					not less than 4.0 ounces-force (ozf)[113 grams-force		
ces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum minimum aisle shall be permitted provided the minimum width of the EV space is				3.2 Submeters for multifamily buildings and dwellin	ng units in mixed-used residential/commercial		
			bui	dings. Submeters shall be installed to measure water usage	of individual rental dwelling units in accordance with	h the	
ce and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083				California Plumbing Code.			
paces.			acc	3.3 Standards for plumbing fixtures and fittings. Pluordance with the <i>California Plumbing Code</i> , and shall me			
Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall isons for EV chargers in the California Building Code, Chapter 11B. EV ready			170	1.1 of the California Plumbing Code.			
developments shall comply with California Building Code, Chapter 11A, Section				NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4	.303.1, AND IS INCLUDED AS A		
ante				CONVENIENCE FOR THE USER.			
ents. Ill a listed raceway capable of accommodating a 208/240-volt dedicated branch less than trade size 1 (nominal 1 inch inside diameter). The raceway shall				TABLE - MAXIMUM FIXTURE WATER			
less than trade size 1 (nominal 1-inch inside diameter). The raceway shall ubpanel and shall terminate into a listed cabinet, box or enclosure in close				FIXTURE TYPE	FLOW RATE		
oposed location of the EV space. Construction documents shall identify the acle or charger location, as applicable. The service panel and/ or subpanel shall stated branch circuit including branch circuit everywrant protoctive douise.				SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI		
cated branch circuit, including branch circuit overcurrent protective device permit installation of a branch circuit overcurrent protective device.				LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20)	
uired if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is				LAVATORY FAUCETS IN COMMON & PUBLIC			
e location or the proposed location of the EV space, at the time of original the California Electrical Code.				USE AREAS	0.5 GPM @ 60 PSI		
onstruction documents shall indicate the raceway termination point and the					1.8 GPM @ 60 PSI		
spaces, receptacles or EV chargers. Construction documents shall also provide led or future receptacles or EVSE, raceway method(s), wiring schematics and				METERING FAUCETS	0.2 GAL/CYCLE		
design shall be based upon a 40-ampere minimum branch circuit. Required to the installed underground, enclosed, inaccessible or in				WATER CLOSET URINALS	1.28 GAL/FLUSH 0.125 GAL/FLUSH	-	
Il be installed at the time of original construction		1			0.120 OAL/I LOON	- I I	1



- 8. Information on required routine maintenance measures, including, but not limited to, caulking,
- painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
 A copy of all special inspections verifications required by the enforcing agency or this code.
 Information from the Department of Forestry and Fire Protection on maintenance of defensible
- space around residential structures.
- 12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood l-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

UE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM



104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST PRE-DESIGNED AD ONE BEDROOM Geo GSF GEO GSF

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

CAL GREEN/GREEN BUILDING REQUIREMENTS

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023)

N/A RESPON. PARTY

TABLE 4.504.2 MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to (Less Water and Les SEALANTS Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 ARCHITECTURAL MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. MARINE DECK PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE R article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of ROADWAY Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). SINGLE-PLY ROOF REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to OTHER SEALANT PRIMER VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings ARCHITECTURAL with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). NON-POROUS POROUS 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed MODIFIED BITUMIN woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, MARINE DECK pellet stoves and fireplaces shall also comply with applicable local ordinances. OTHER 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. **TABLE 4.504** 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the ARCHITECTI requirements of the following standards unless more stringent local or regional air pollution or air quality GRAMS OF VOC COMPOUNDS 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where COATING CATEG applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and NON-FLAT COAT tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in SPECIALTY COA units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including UMINUM ROO prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of UMINOUS R the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits **UMINOUS** F apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss OND BREAKE coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in ONCRETE CU ONCRETE/MAS 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR DRIVEWAY SEAL Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATI Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation FAUX FINISHING **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: Field verification of on-site product containers TEMPERA NDUSTRIAL MAIN TABLE 4.504.1 - ADHESIVE VOC I LOW SOLIDS COA (Less Water and Less Exempt Compounds in Grams per Liter MAGNESITE CEM VOC LIMIT MASTIC TEXTURE METALLIC PIGME MULTICOLOR CO 150 PRETREATMENT 100 PRIMERS, SEALE 60 REACTIVE PENE 50 RECYCLED COAT 65 **ROOF COATINGS** 50 RUST PREVENTA 50 SHELLACS 50 CLEAR 70 MULTIPURPOSE CONSTRUCTION ADHESIVE OPAQUE 100 STRUCTURAL GLAZING ADHESIVES SPECIALTY PRIM SINGLE-PLY ROOF MEMBRANE ADHESIVES 250 UNDERCOATERS STAINS STONE CONSOLI 510 SWIMMING POOL 490 TRAFFIC MARKIN 325 TUB & TILE REFIN WATERPROOFIN 250 550 WOOD COATING WOOD PRESER\ 80 250 ZINC-RICH PRIME SPECIAL PURPOSE CONTACT ADHESIVE 140 1. GRAMS OF VO STRUCTURAL WOOD MEMBER ADHESIVE EXEMPT COMPOU 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS SUBSTRATE SPECIFIC APPLICATIONS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY 30 THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 50 SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. POROUS MATERIAL (EXCEPT WOOD) 50 30 80 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

N/A RESPO

hundredths of a gram (g O³/g ROC).

ozone formation in the troposphere.

4.503 FIREPLACES

product (excluding container and packaging).

management district rules apply:

Table 4.504.3 shall apply.

8. Rule 49.

commencing with section 94507.

Manufacturer's product specification.

ARCHITECTURAL APPLICATIONS

INDOOR CARPET ADHESIVES

OUTDOOR CARPET ADHESIVES

WOOD FLOORING ADHESIVES

RUBBER FLOOR ADHESIVES

SUBFLOOR ADHESIVES

COVE BASE ADHESIVES

CERAMIC TILE ADHESIVES

VCT & ASPHALT TILE ADHESIVES

DRYWALL & PANEL ADHESIVES

OTHER ADHESIVES NOT LISTED

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

WOOD

FIBERGLASS

ADHESIVE PRIMER FOR PLASTIC

PVC WELDING

CPVC WELDING

ABS WELDING

CARPET PAD ADHESIVES

and 94701.

IT	
ns per Liter)	
VOC LIMIT	
250	
760	
300	
250	
450	
420	
250	
775	
500	
760	
750	
	ns per Liter) VOC LIMIT 250 760 300 250 450 420 250 775 500 760

PER LITER OF COATING, LES	S WATER & LESS EXEMPT	
GORY	VOC LIMIT	
	50	
INGS	100	
GLOSS COATINGS	150	
TINGS		
F COATINGS	400	
CIALTY COATINGS	400	
OF COATINGS	50	
OF PRIMERS	350	
S	350	
ING COMPOUNDS	350	
ONRY SEALERS	100	
ERS	50	
NGS	150	
COATINGS	350	
COATINGS	350	
S	100	
COMPOUNDS	250	
COATINGS (SIGN PAINTS)	500	
URE COATINGS	420	
NTENANCE COATINGS	250	
ATINGS1	120	
IENT COATINGS	450	
E COATINGS	100	
ENTED COATINGS	500	
DATINGS	250	
WASH PRIMERS	420	
RS, & UNDERCOATERS	100	
TRATING SEALERS	350	
TINGS	250	
3	50	
ATIVE COATINGS	250	
	730	
	550	
IERS, SEALERS &	100	
5	250	
IDANTS	450	
	340	
IG COATINGS	100	
NISH COATINGS	420	
IG MEMBRANES	250	
S MEMBRANES	250	
S /ATIVES		
AIIVES	350	

L.			
1'	N/A RESPON PARTY		
Γ			
		TABLE 4.504.5 - FORMALDEHYDE LIMITS	
		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
		PRODUCT CURRENT LIMIT HARDWOOD PLYWOOD VENEER CORE 0.05	1
		HARDWOOD PLYWOOD COMPOSITE CORE 0.05	
		PARTICLE BOARD 0.09	
		MEDIUM DENSITY FIBERBOARD 0.11	
		THIN MEDIUM DENSITY FIBERBOARD20.131. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED	
		BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH	1
		93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).	
		DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the Califor Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emiss from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.	nia sions
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)	
		See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.	
		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receil resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chamber Version 1.2, January 2017 (Emission testing method for California Specification 01350)	he
		See California Department of Public Health's website for certification programs and testing labs.	
		hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard	
		composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),	
		by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested	
5		by the enforcing agency. Documentation shall include at least one of the following:	
		 Product certifications and specifications. Chain of custody certifications. 	
		 Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CS/0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 	À
		4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i> .	
		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.	
		4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:	
		 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided a vapor barrier in direct contact with concrete and a concrete mix design, which will address blee shrinkage, and curling, shall be used. For additional information, see American Concrete Institute ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. 	ding,
		3. A slab design specified by a licensed design professional.	
		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:	je
		 Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalen moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 	
		 Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped of each piece verified. At least three random moisture readings shall be performed on wall and floor framing with documentation 	n
		acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor frami	ng.
		Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying	.o
		<pre>recommendations prior to enclosure 4.506 INDOOR AIR QUALITY AND EXHAUST</pre>	
		4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:	
		 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of adjustment between a relative humidity range less than or 	
		 a. Furnibility controls shall be capable of adjustment between a relative number range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) 	of
		Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/chower combination	
		 tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>. 4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be 	
		- A DUV C DEALUND AND AND AND UNDER UNDER SYSTEM DESIGN. Heating and air conditioning systems shall be	
		sized, designed and have their equipment selected using the following methods:	
		 sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 	
		 sized, designed and have their equipment selected using the following methods: The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 	
		 sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), 	
		 sized, designed and have their equipment selected using the following methods: The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential 	

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, ESPON PARTY OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs. 2. Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.
- 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

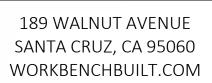
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



R

workbench



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ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NO

BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE O THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY IABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON, ANY USE, REUSE, OR ALTERATIO OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THI ECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, NDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

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PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

CAL GREEN/GREEN BUILDING REQUIREMENTS



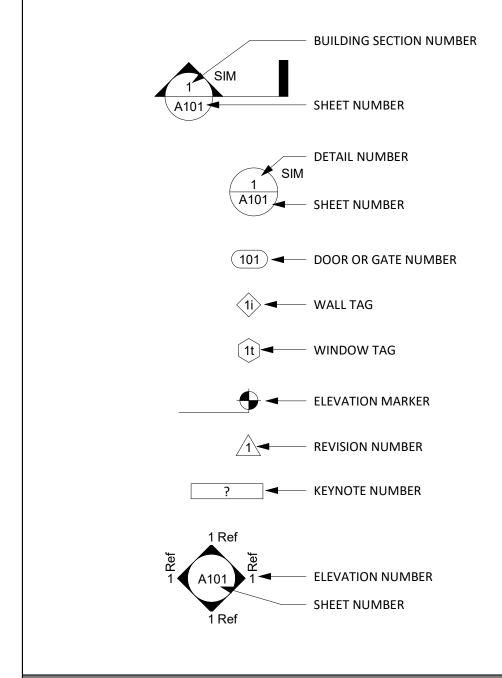
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

– – (N) (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6. 7. Where thresholds are required, provide accessible
- thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- details. 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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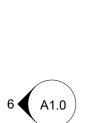
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PRINT DATE XX.XX.XXXX

RANCH - FLOORPLAN & ELEVATIONS

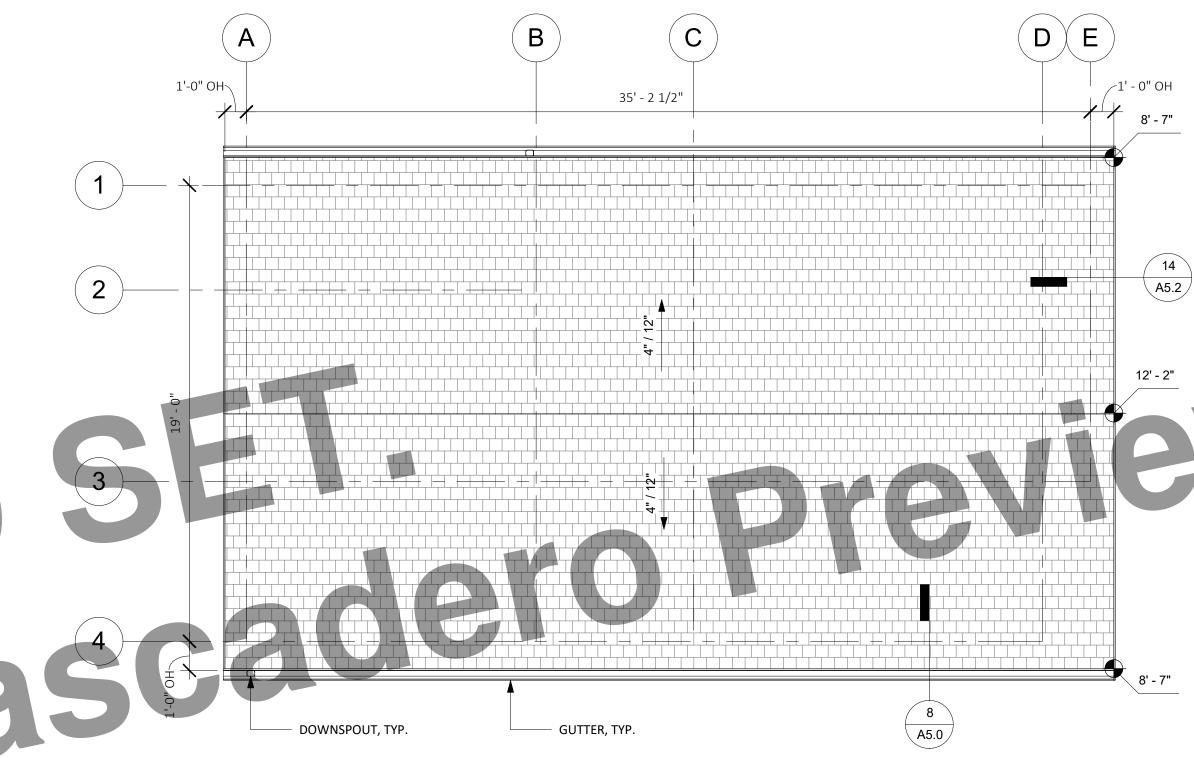




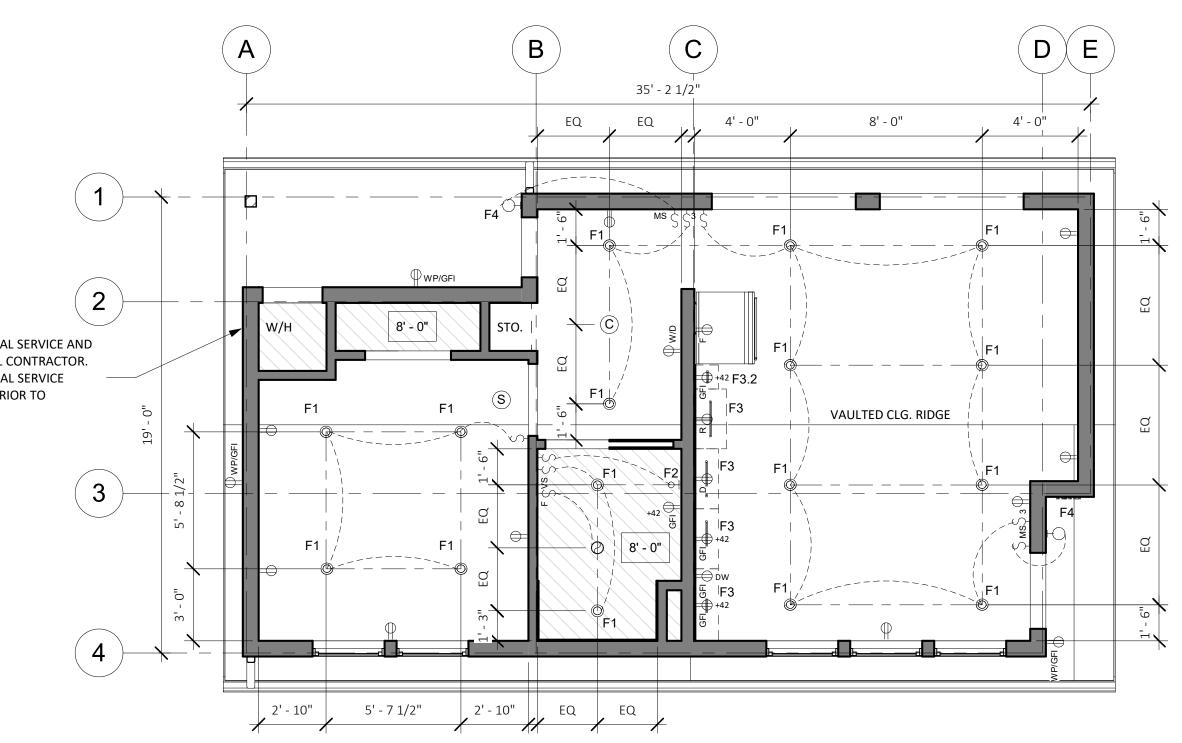
8' - 0"

City Of Atas.

MIN 100 AMP SUBPANEL COORDINATE SITE ELECTRICAL SERVICE AND 1. PANEL SPLIT WITH GENERAL CONTRACTOR. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.







1 RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- 1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- DEDICATED OUTLET
- \bigcirc RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT Ó
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- S_{MS} MOTION-SENSOR SWITCH
- vs vacancy switch
- SF → FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE Ø Ø
 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

(C)

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. 1. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2. TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- 5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.

PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.

PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION 7. FOR PERSONNEL

workbench 189 WALNUT AVENUE

F

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SCALE : AS NOTED

RANCH - ROOF PLAN & RCP

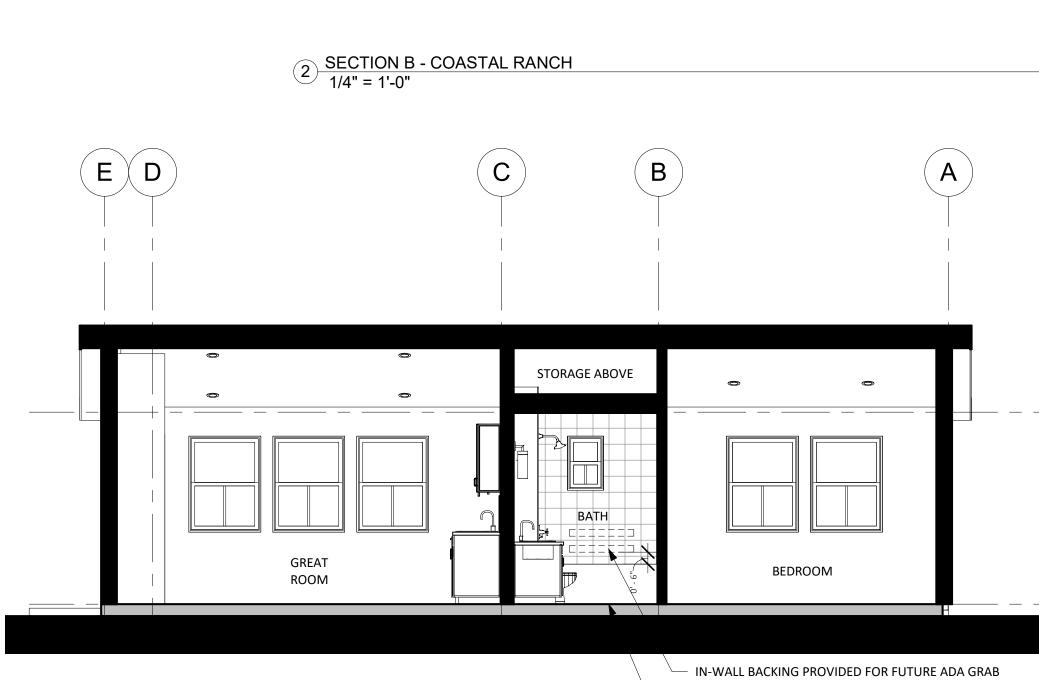
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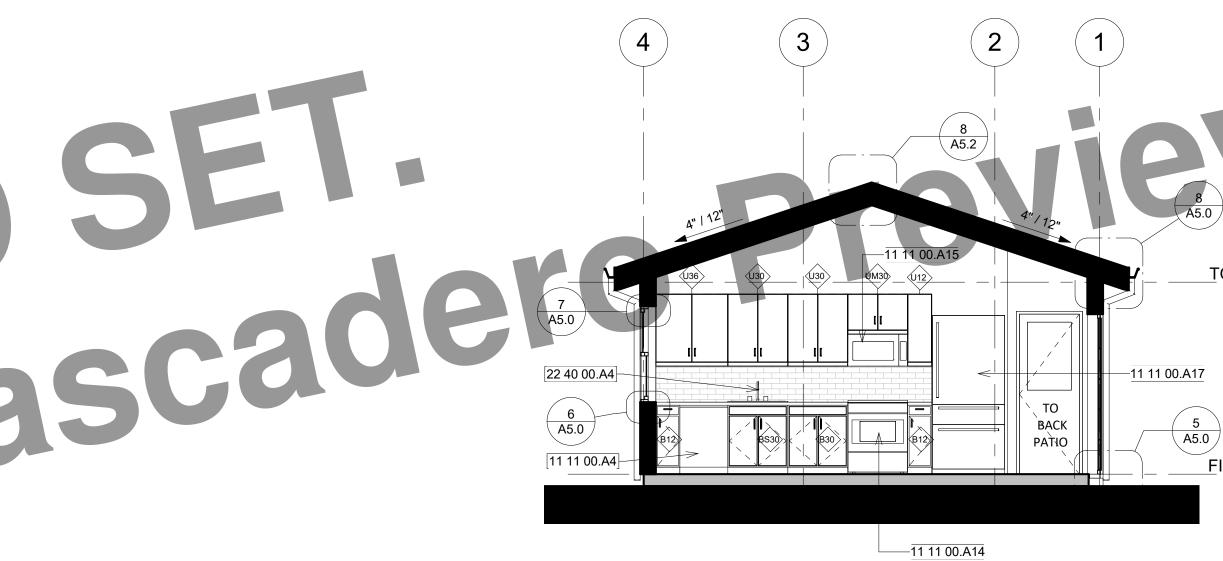
city of Atascade

PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ.

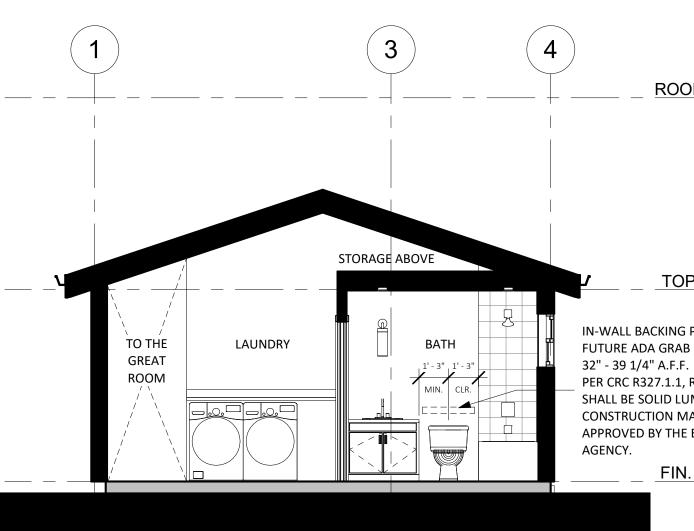
FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F.





3 SECTION C - COASTAL RANCH 1/4" = 1'-0"



KITCHEN LEGEND

DESCRIPTION

12" BASE CABINET

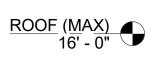
30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

30" BASE CABINET - SINK



IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS



<u>TOP PLATE</u> 8' - 0"

FIN. FLOOR 0' - 0"

TAG

B12

B30

BS30

U12

U30

U36

UM30

CABINET WIDTH

30" UPPER CABINET - ABOVE MICROWAVE 24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



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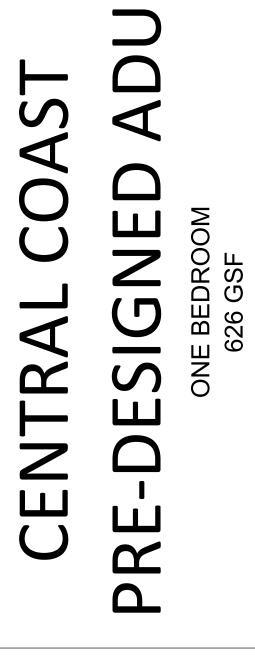
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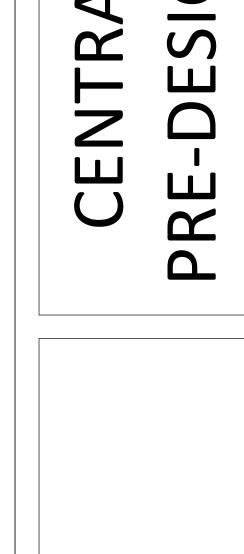
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<u>TOP PLATE</u> 8' - 0"

FIN. <u>FLOOR</u> 0' - 0"



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RANCH - SECTIONS





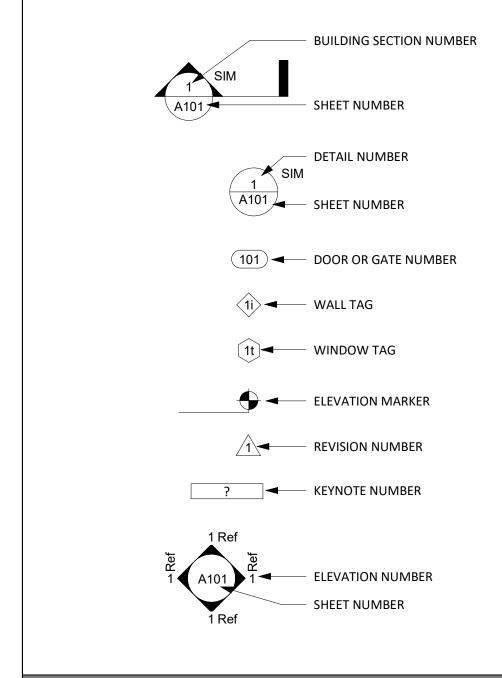
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

— (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

Elevation dimensions are to gridline or centerline of

2. Gridlines are to edge of concrete, centerline of footing, or

3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and

4. Materials indicated are shown generically. Actual

materials are as selected by the Owner.

centerline of structural elements, unless otherwise noted.

ELEVATION NOTES

details.

windows, unless otherwise noted.

OPTIONAL DOOR. COORDINATION

PLATE 8' - 0"

6 🖌 A2.0





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4 S \bigcirc ONE BEDROOM 626 GSF 7 J 4 \mathbf{C} S \bigcirc Ζ ш 2 Δ

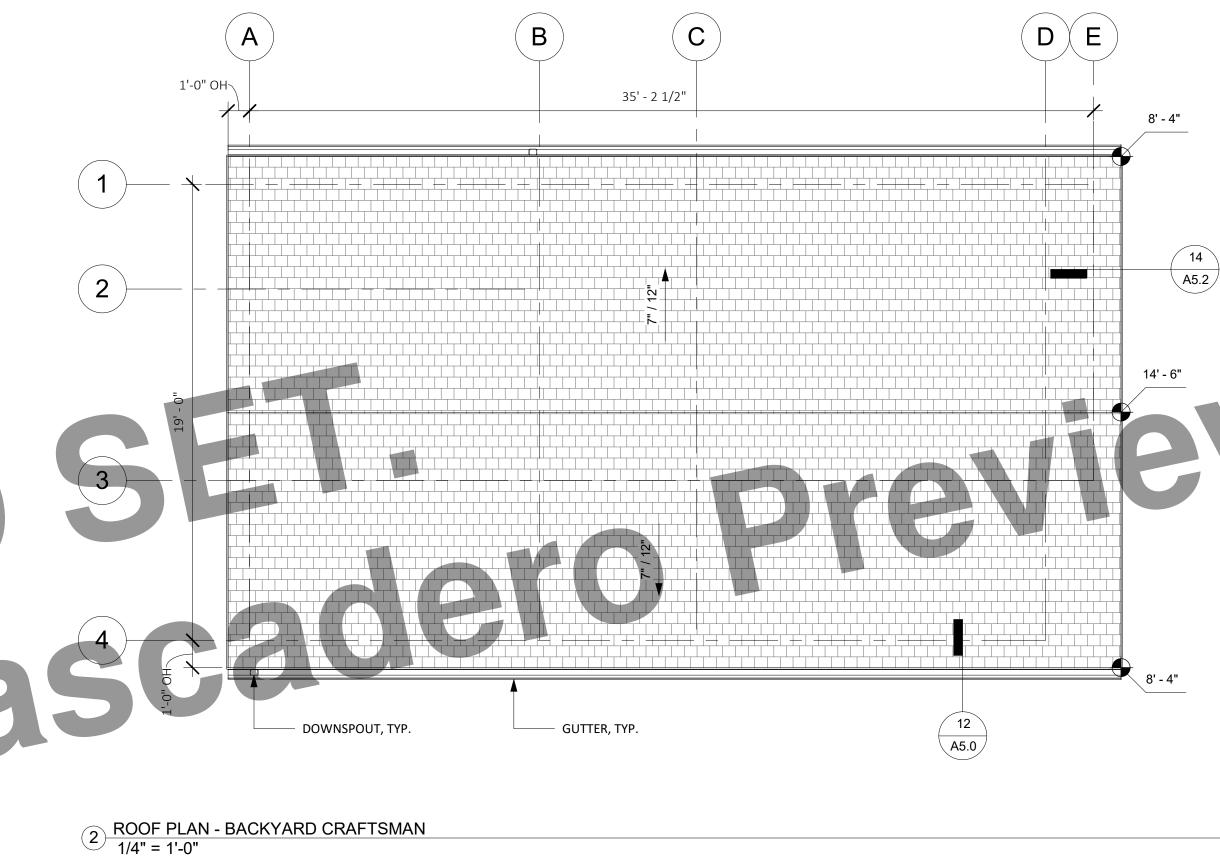
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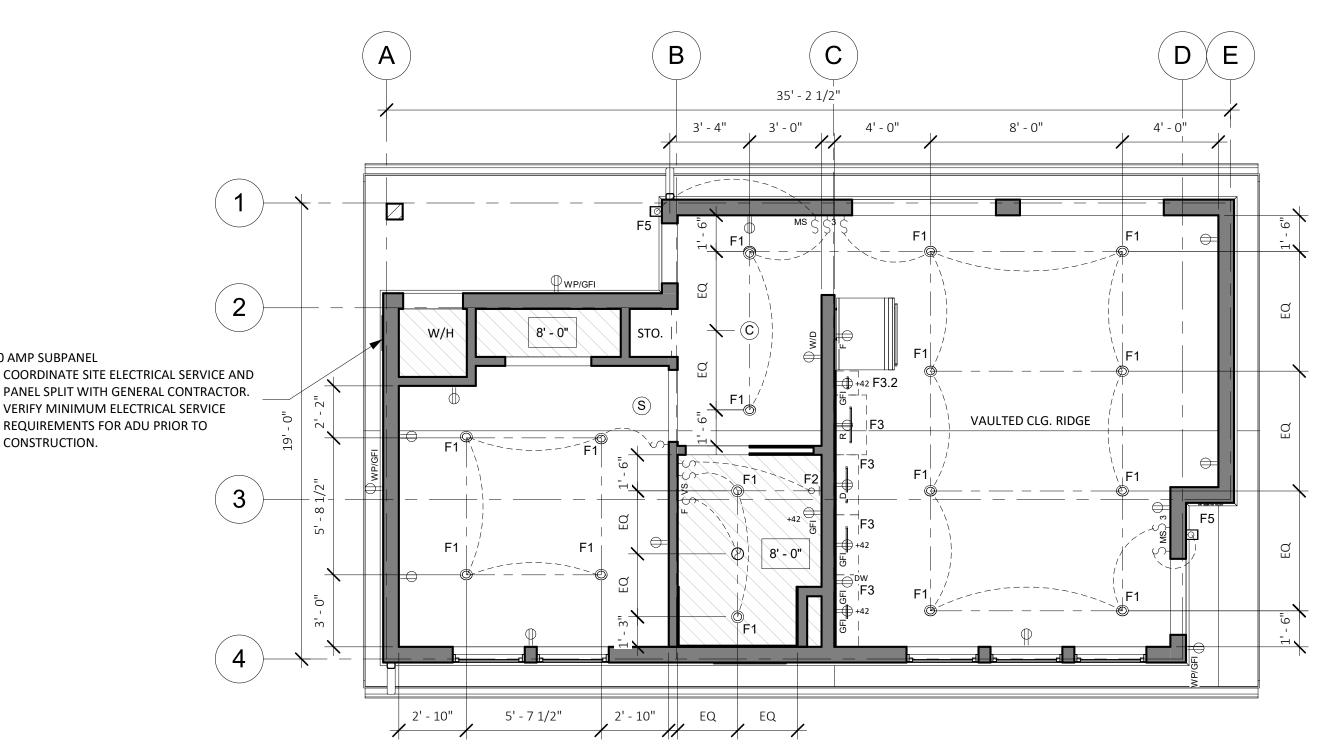
CRAFTSMAN -FLOORPLANS & ELEVATIONS



MIN 100 AMP SUBPANEL COORDINATE SITE ELECTRICAL SERVICE AND 1. PANEL SPLIT WITH GENERAL CONTRACTOR. VERIFY MINIMUM ELECTRICAL SERVICE 2.

CONSTRUCTION.





1 RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- $\stackrel{\text{O}}{=} \bigoplus$ GFCI RECEPTACLE

- 0 RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- SMS MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 🔪 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE (S)

- SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (C) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL 2.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3.
- OUTDOOR AIR QUALITY IS VERY POOR. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4.
- PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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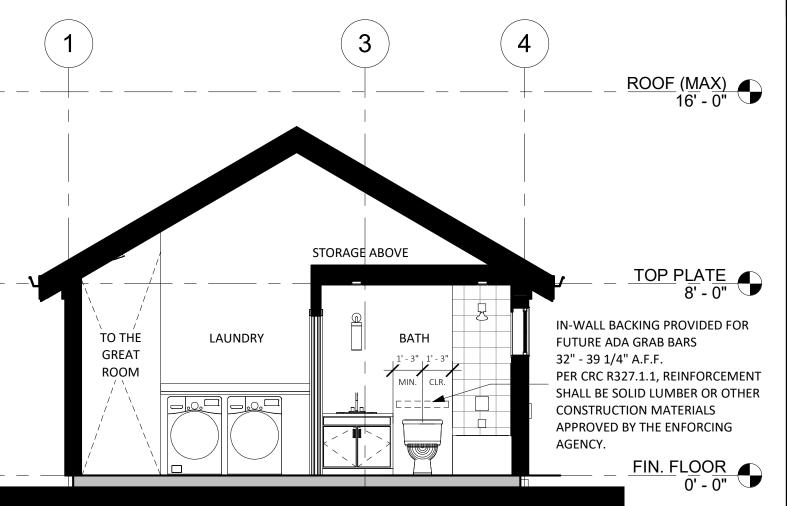
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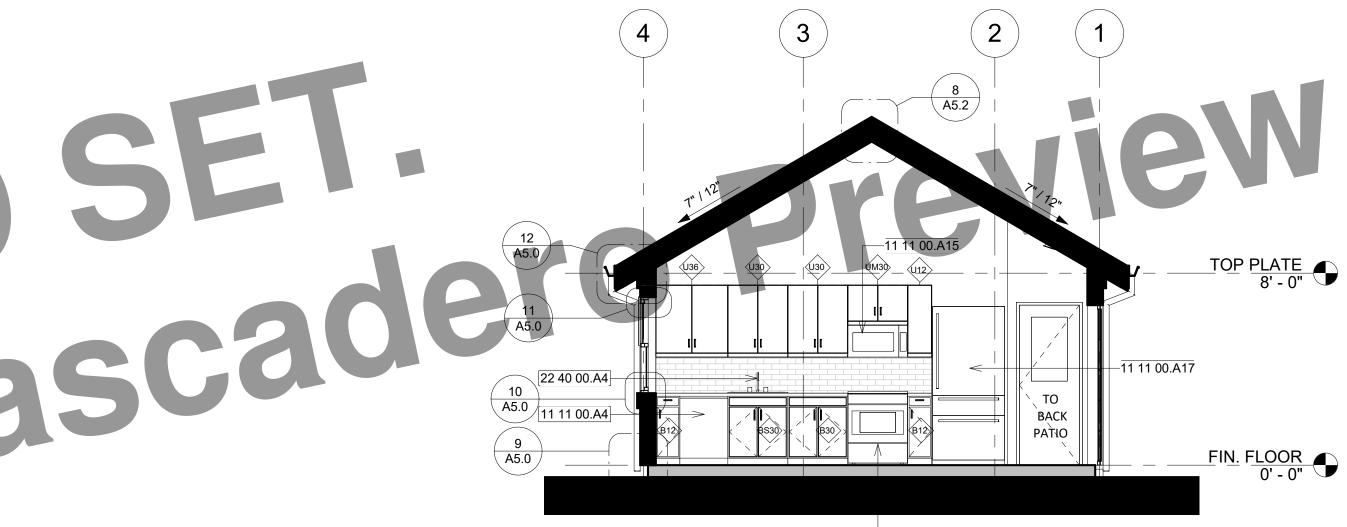
CRAFTSMAN - ROOF PLAN & RCP

A2.1 SCALE : AS NOTED

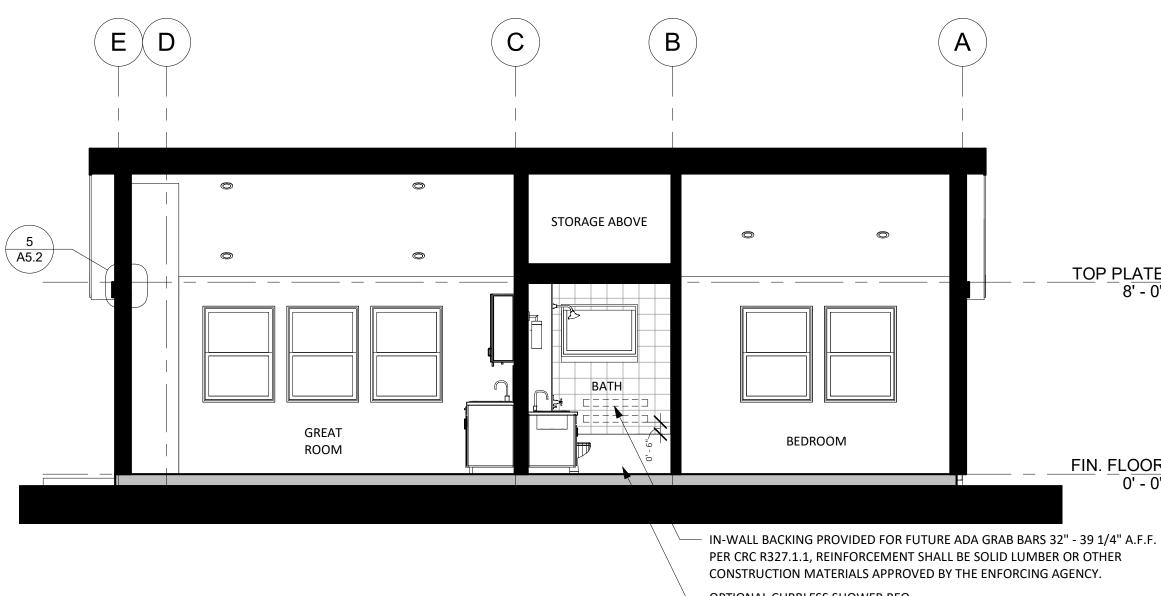
city of Atasca



3 SECTION C - BACKYAD CRAFTSMAN 1/4" = 1'-0"



____<u>11 11 00.A14</u>



2 SECTION B - BACKYARD CRAFTSMAN 1/4" = 1'-0"

OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

KITCHEN	LEGEND
TAG	DESCRIPTION
CABINET WIDTH	

12" BASE CABINET

30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

30" BASE CABINET - SINK

BS30 U12 U30 U36 UM30 APPLIANCES 11 11 00.A4 11 11 00.A14 11 11 00.A15 11 11 00.A17 11 31 00.A2 11 31 00.A1

B12

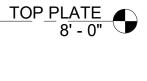
B30

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

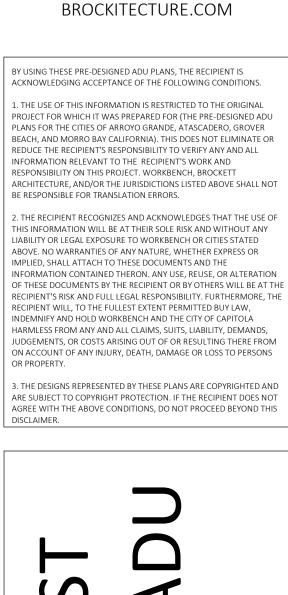
30" UPPER CABINET - ABOVE MICROWAVE

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



FIN. <u>FLOOR</u> 0' - 0"



R

workbench

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SANTA CRUZ, CA 95060

WORKBENCHBUILT.COM

BROCKETT

/ARCHITECT

104 S. MAIN ST UNIT B

TEMPLETON, CA 93465













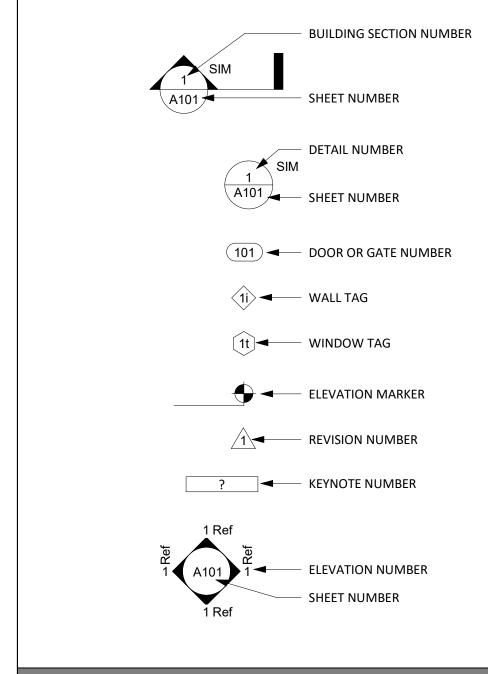
FLOORPLAN LEGEND

(N) PARTITION

–∽– (N) LIGHT SWITCH

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4. See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible
- thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.

1. Elevation dimensions are to gridline or centerline of

3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and

4. Materials indicated are shown generically. Actual

materials are as selected by the Owner.

2. Gridlines are to edge of concrete, centerline of footing, or

centerline of structural elements, unless otherwise noted.

9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

details.

windows, unless otherwise noted.

OPTIONAL DOOR. COORDINATION REQUIRED AT FRAMING



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MODERN -FLOORPLANS & ELEVATIONS

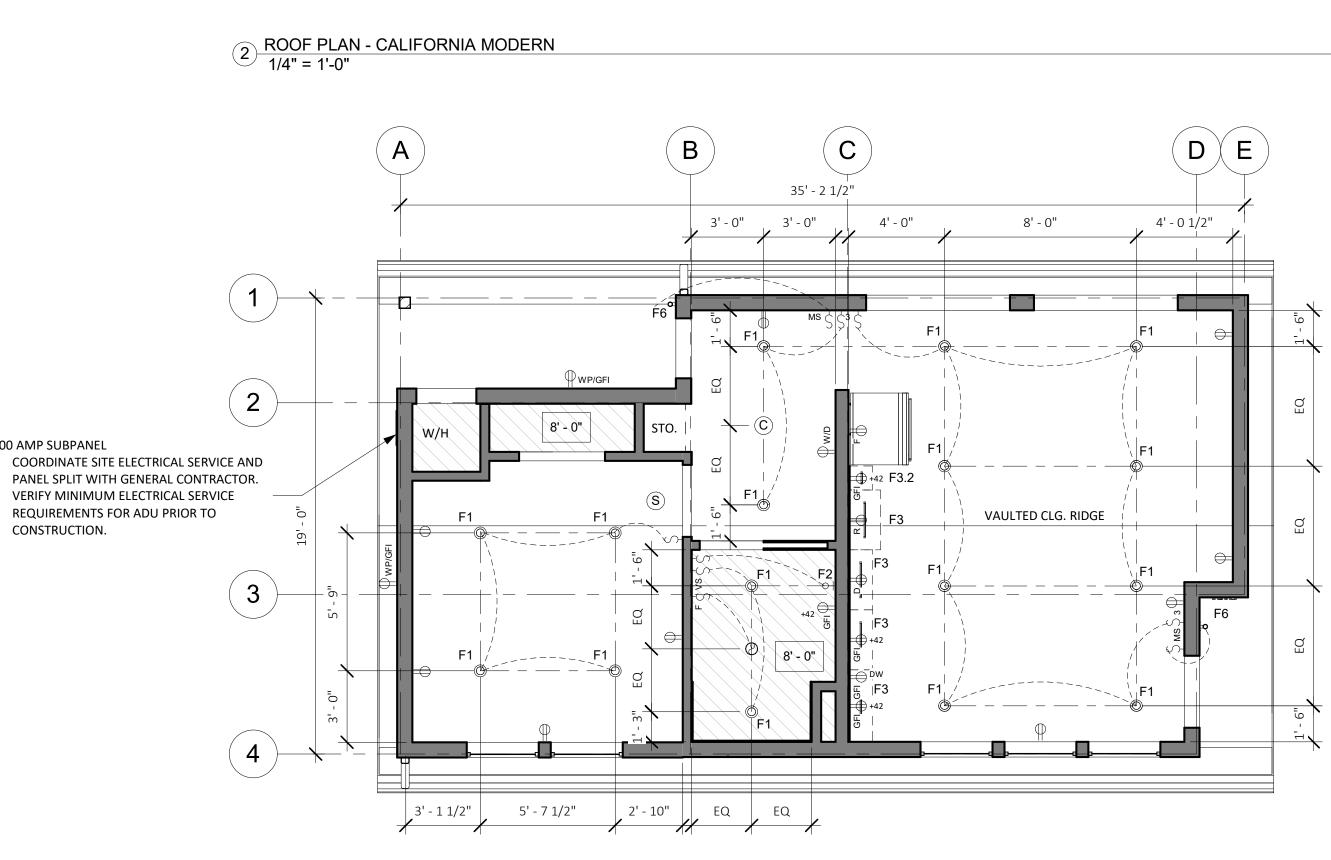


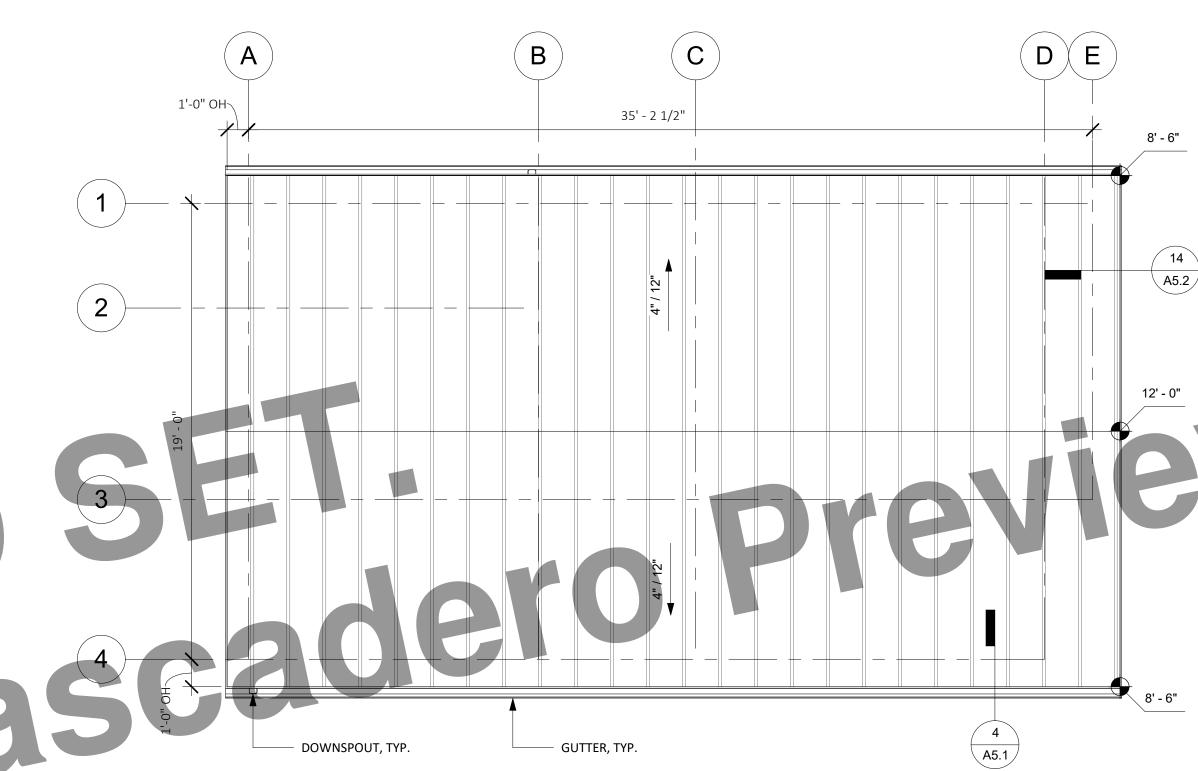
City of Atast

MIN 100 AMP SUBPANEL 1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR. 2.

REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.







ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL
- INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- $\vec{U}_{\mu} \bigoplus$ GFCI RECEPTACLE

- RECESSED LED DOWN LIGHT O
- WALL MOUNT LIGHT \diamond
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- \$_{MS} MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- **FAN SWITCH/HUMIDITY SENSOR**
- 🖉 🚽 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

(S)

(C)

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

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- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2. TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL 5.
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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PRINT DATE XX.XX.XXXX

MODERN - ROOF PLAN & RCP

City of Atascade.

EXD

CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ.

FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

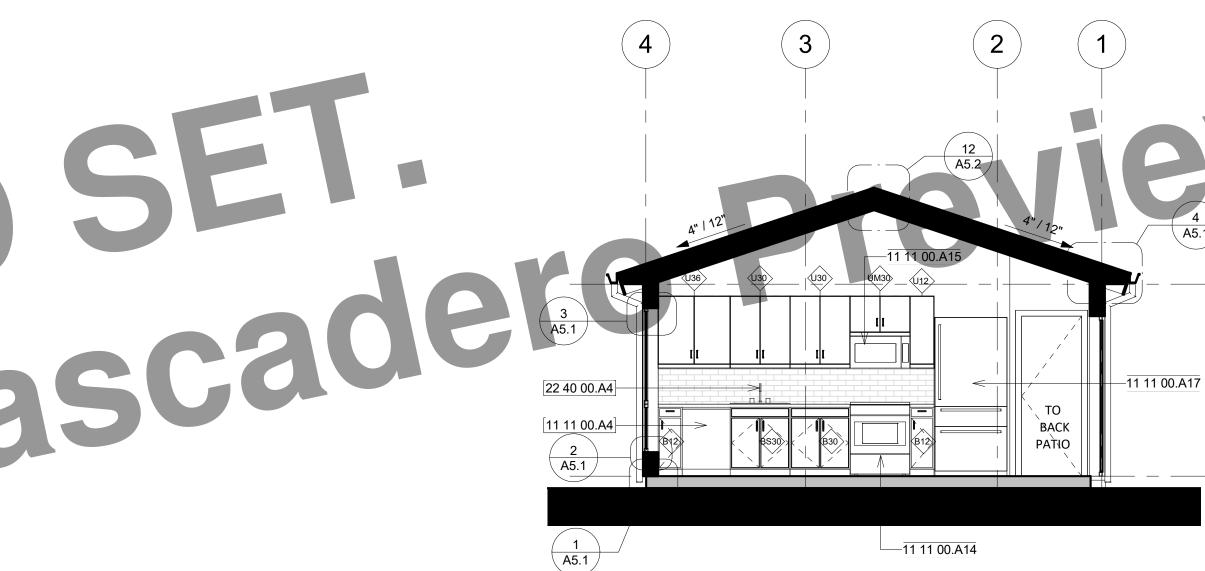
Α

STORAGE ABOVE BATH GREAT BEDROOM ROOM IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER

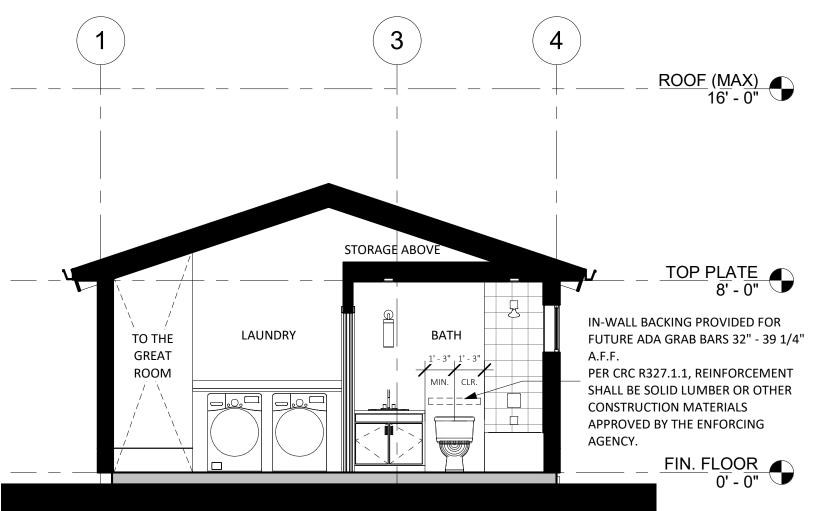
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2 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"

C



3 SECTION C - CALIFORNIA MODERN 1/4" = 1'-0"



KITCHEN LEGE	ND

DESCRIPTION

12" BASE CABINET

30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

30" BASE CABINET - SINK

<u>TOP PLATE</u> 8' - 0"	D
-----------------------------	---

TAG

B12

B30

BS30

U12

U30

U36

UM30

CABINET WIDTH

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

30" UPPER CABINET - ABOVE MICROWAVE

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



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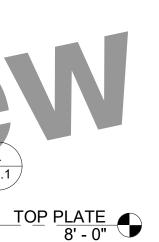
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MODERN - SECTIONS



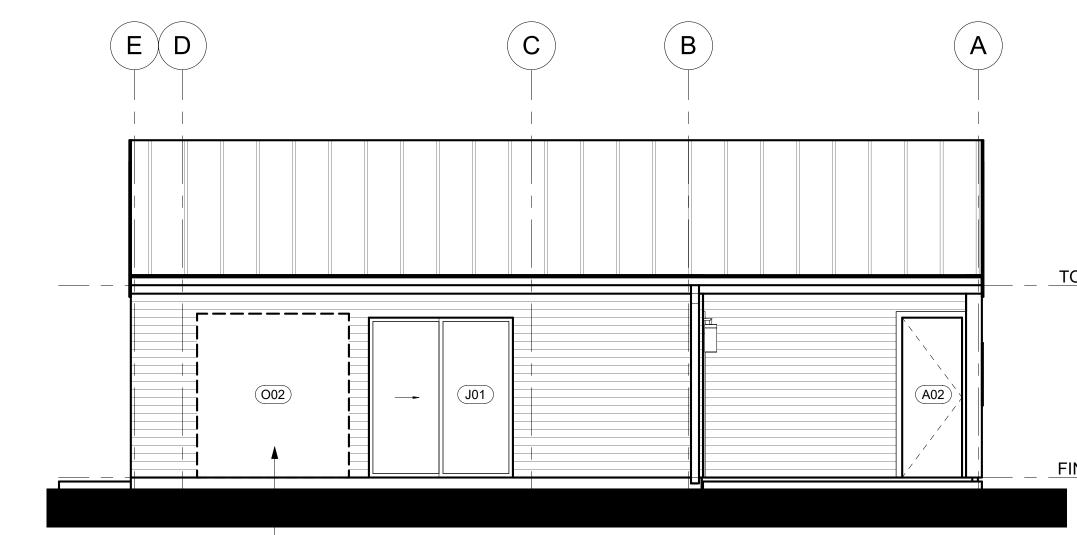




<u>TOP PLATE</u> 8' - 0"

FIN. <u>FLOOR</u> 0' - 0"





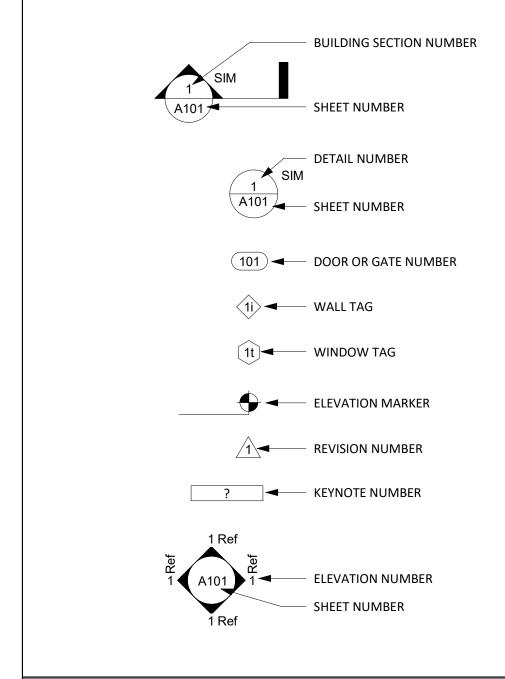
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

– – (N) (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower. 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

Elevation dimensions are to gridline or centerline of

2. Gridlines are to edge of concrete, centerline of footing, or

3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and

4. Materials indicated are shown generically. Actual

materials are as selected by the Owner.

centerline of structural elements, unless otherwise noted.

ELEVATION NOTES

details.

windows, unless otherwise noted.

OPTIONAL DOOR. COORDINATION



ENTRY STOOP NTE 7 3/4" ABOVE FINISHED GRADE



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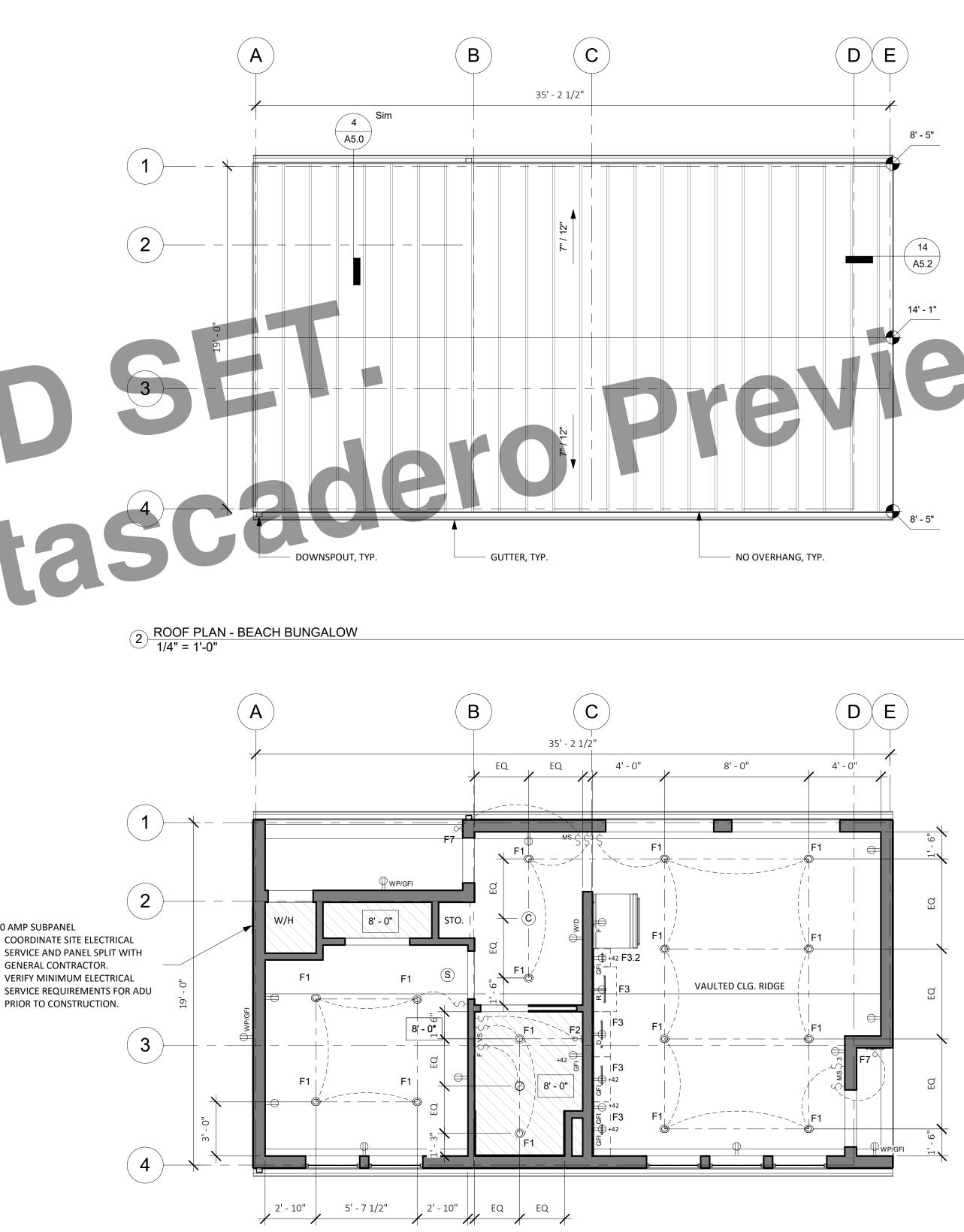
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(4) C C DOWNSPOUT, TYP.

MIN 100 AMP SUBPANEL 1. COORDINATE SITE ELECTRICAL GENERAL CONTRACTOR. 2. VERIFY MINIMUM ELECTRICAL



ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL
- INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- RECESSED LED DOWN LIGHT 0
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- SMS MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🔨 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

(S)

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (C) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2. TOTALS TO BE VERIFIED BY CONTRACTOR. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3.
- OUTDOOR AIR QUALITY IS VERY POOR. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4.
- PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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BUNGALOW - ROOF PLAN & RCP A4.1

City of Atascau

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

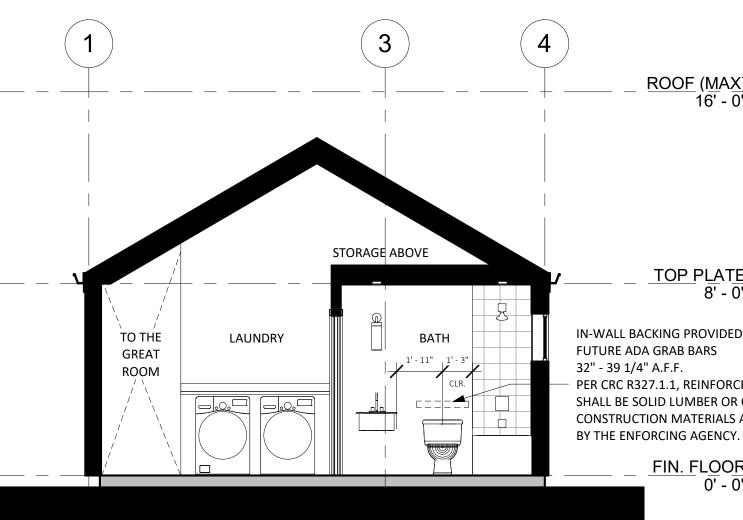
OPTIONAL CURBLESS SHOWER REQ.

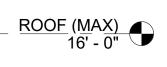


2 SECTION B - BEACH BUNGALOW 1/4" = 1'-0"

3 2 4 <u>TOP PLATE</u> 8' - 0" -11 11 00.A17 \leftarrow 22 40 00.A4 10 A5.0 TO BACK 11 11 00.A4 FIN. FLOOR 0' - 0" 9 A5.0 11 11 00.A14

3 SECTION C - COASTAL BUNGALOW 1/4" = 1'-0"







IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED



24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



workbench

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SANTA CRUZ, CA 95060

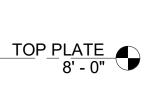
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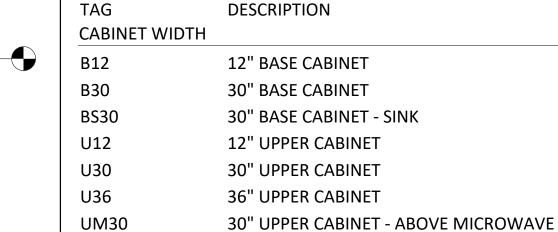


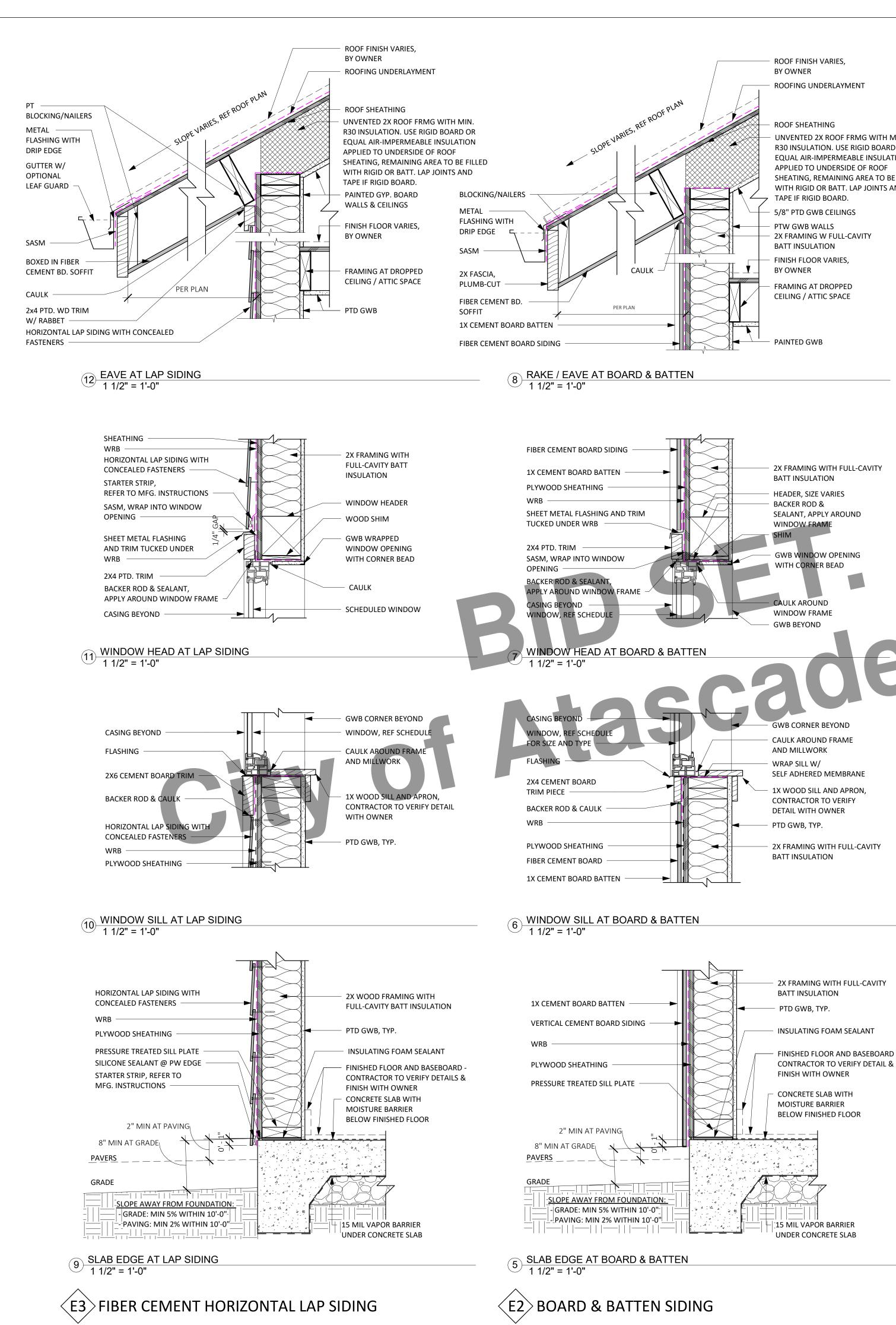


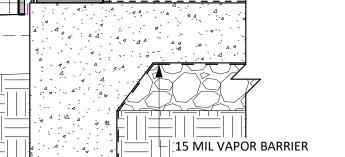
BUNGALOW -

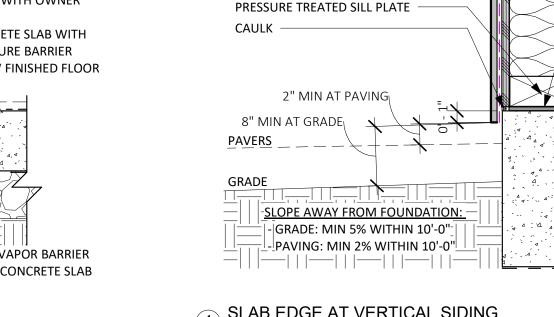
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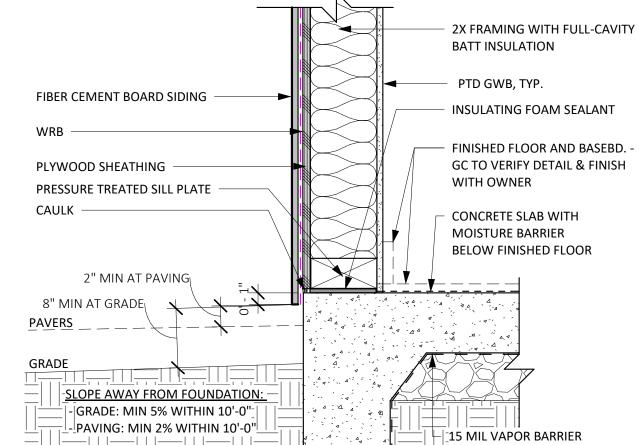




UNDER CONCRETE SLAB

SLAB EDGE AT VERTICAL SIDING 1 1/2" = 1'-0"

(E1) FIBER CEMENT VERTICAL SIDING



2 WINDOW SILL AT VERTICAL SIDING 1 1/2" = 1'-0"

AND MILLWORK WRAP SILL W/

CONTRACTOR TO VERIFY

2X FRAMING WITH MIN. R20

OR EQUAL

FULL-CAVITY BATT INSULATION,

DETAIL WITH OWNER PTD GWB, TYP.

1X WOOD SILL AND APRON

SELF ADHERED MEMBRANE

GWB CORNER BEYOND CAULK AROUND FRAME

WINDOW OPENING WITH CORNER BEAD

HEADER, SIZE VARIES

1/2" GWB WRAPPED

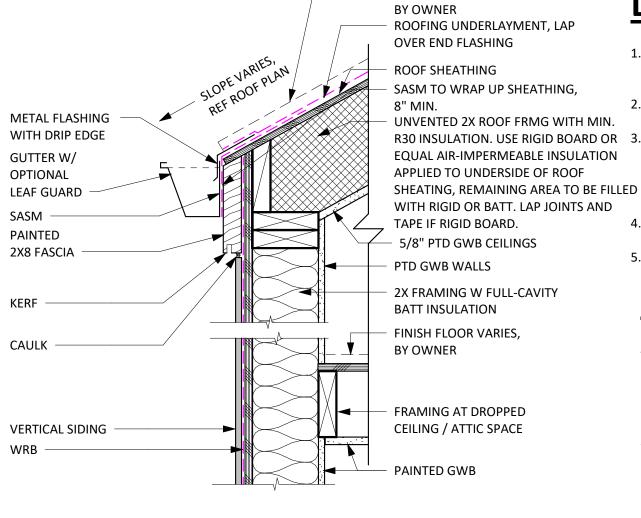
2X FRAMING WITH MIN. R20

OR EQUAL

SHIM

FULL-CAVITY BATT INSULATION,

UNVENTED 2X ROOF FRMG WITH MIN. R30 INSULATION. USE RIGID BOARD OR EQUAL AIR-IMPERMEABLE INSULATION APPLIED TO UNDERSIDE OF ROOF SHEATING, REMAINING AREA TO BE FILLED WITH RIGID OR BATT. LAP JOINTS AND



(4) EAVE WITH ZERO OVERHANG / 1 1/2" = 1'-0"

FIBER CEMENT BOARD SIDING

SHEET METAL FLASHING AND TRIM

PLYWOOD SHEATHING

TUCKED UNDER WRB

SASM, WRAP INTO WINDOW

BACKER ROD & SEALANT,

WINDOW, REF SCHEDULE

APPLY AROUND WINDOW FRAME

WINDOW HEAD AT VERTICAL SIDING 1 1/2" = 1'-0"

2X4 PTD TRIM

CASING BEYOND

CASING BEYOND

FOR SIZE AND TYPE

FLASHING

WRB

WINDOW, REF SCHEDULE

2X3 CEMENT BOARD TRIM

BACKER ROD & CAULK

PLYWOOD SHEATHING

FIBER CEMENT BOARD

OPENING -

WRB –

2X FRAMING W FULL-CAVITY BATT INSULATION FINISH FLOOR VARIES, BY OWNER FRAMING AT DROPPED **CEILING / ATTIC SPACE** PAINTED GWB

OVER END FLASHING ROOF SHEATHING SASM TO WRAP UP SHEATHING, 8" MIN. UNVENTED 2X ROOF FRMG WITH MIN. R30 INSULATION. USE RIGID BOARD OR 3. EQUAL AIR-IMPERMEABLE INSULATION

ROOF FINISH VARIES,

ROOFING UNDERLAYMENT, LAP

DETAIL GENERAL NOTES

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

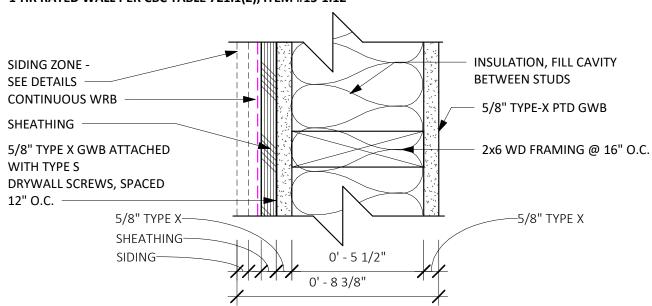
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.129



R workbench

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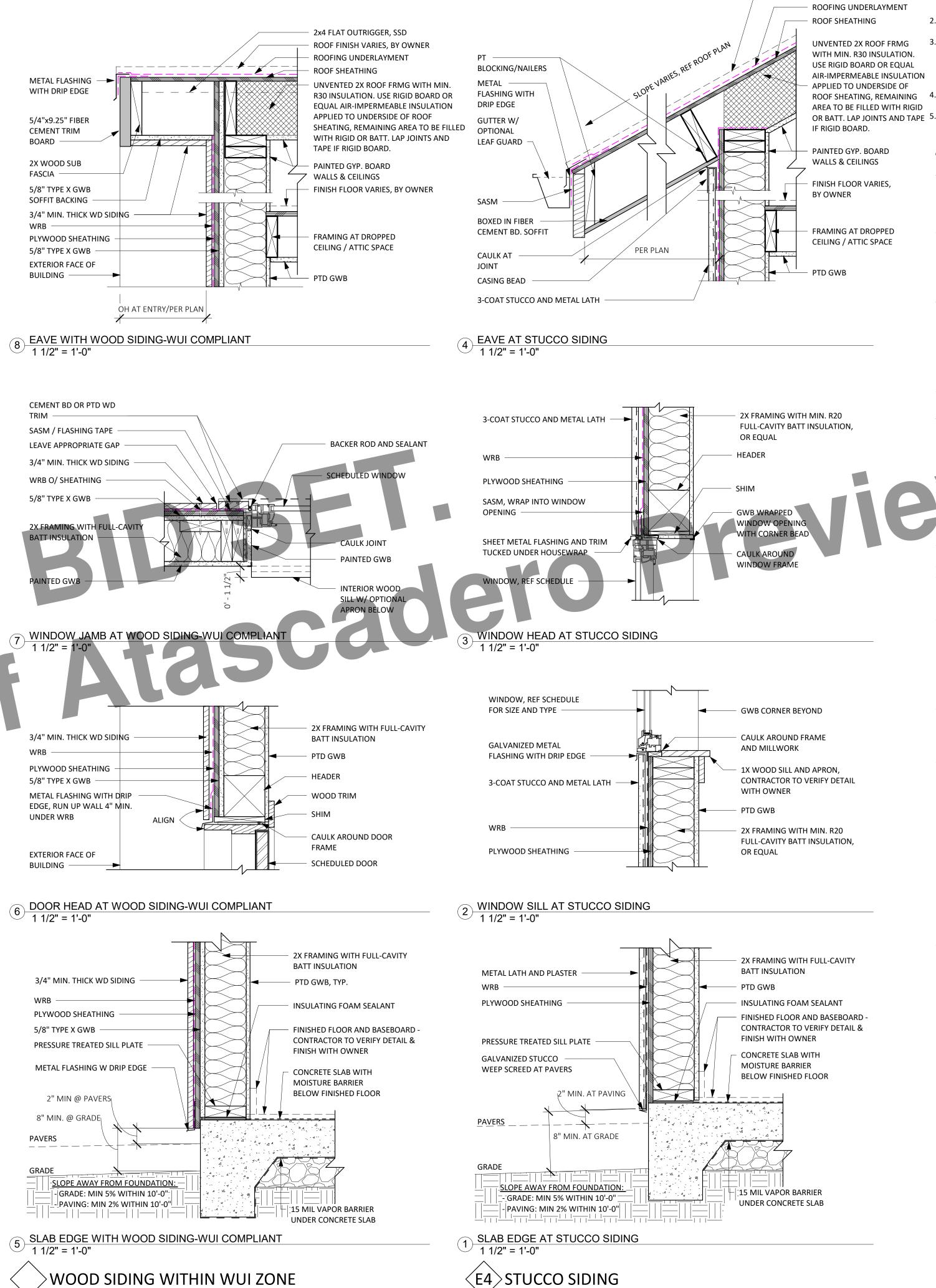


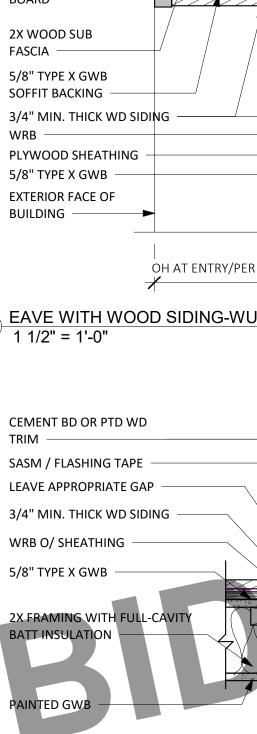
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EXTERIOR WALL ASSEMBLY DETAILS

A5.0





ROOF FINISH VARIES,

BY OWNER

DETAIL GENERAL NOTES

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND MBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI **O AS**TM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS. AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE 4. COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:

1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12^q INSULATION, FILL CAVITY SIDING ZONE -BETWEEN STUDS SEE DETAILS CONTINUOUS WRB 5/8" TYPE-X PTD GWB SHEATHING 5/8" TYPE X GWB ATTACHED 2x6 WD FRAMING @ 16" O.C. WITH TYPE S DRYWALL SCREWS, SPACED 12" O.C. – 5/8" TYPE X— -5/8" TYPE X SHEATHING-SIDING-0' - 5 1/2" XXXXX 0' - 8 3/8" NOT TO SCALE

R workbench

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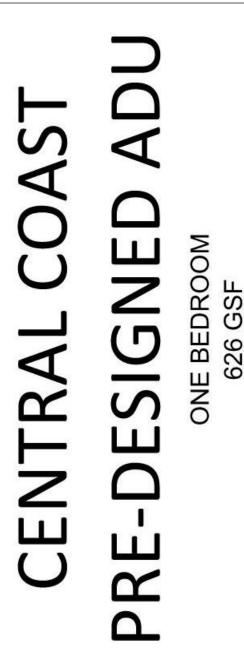


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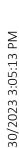


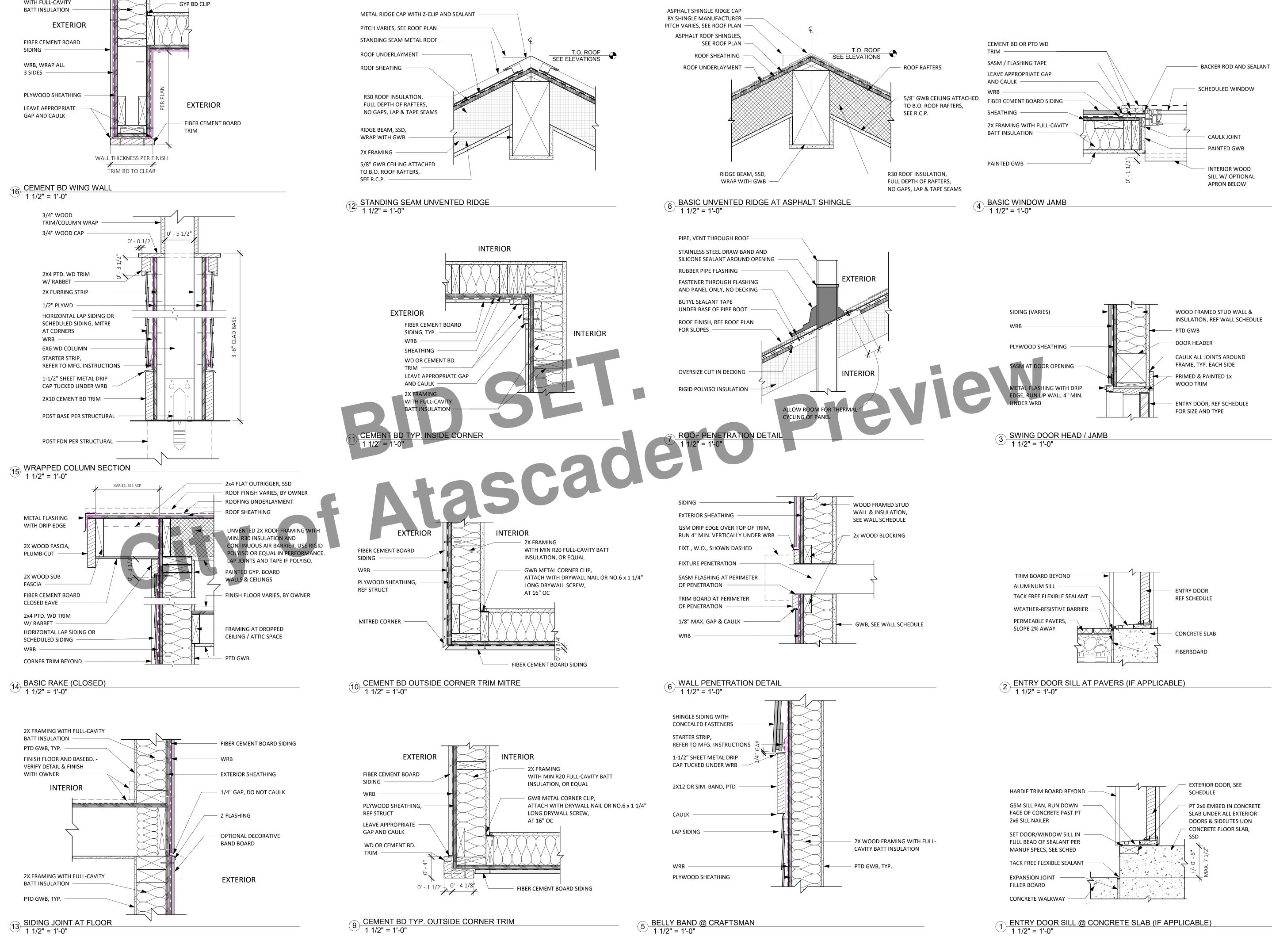
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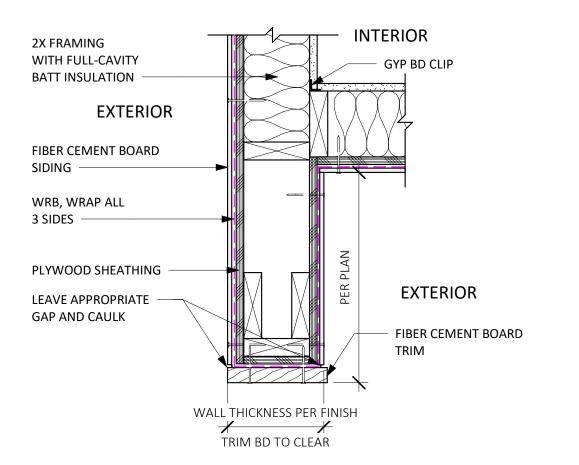
SCALE : AS NOTED



A5.1







EXTERIOR DETAILS A5.2 SCALE : AS NOTED

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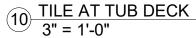
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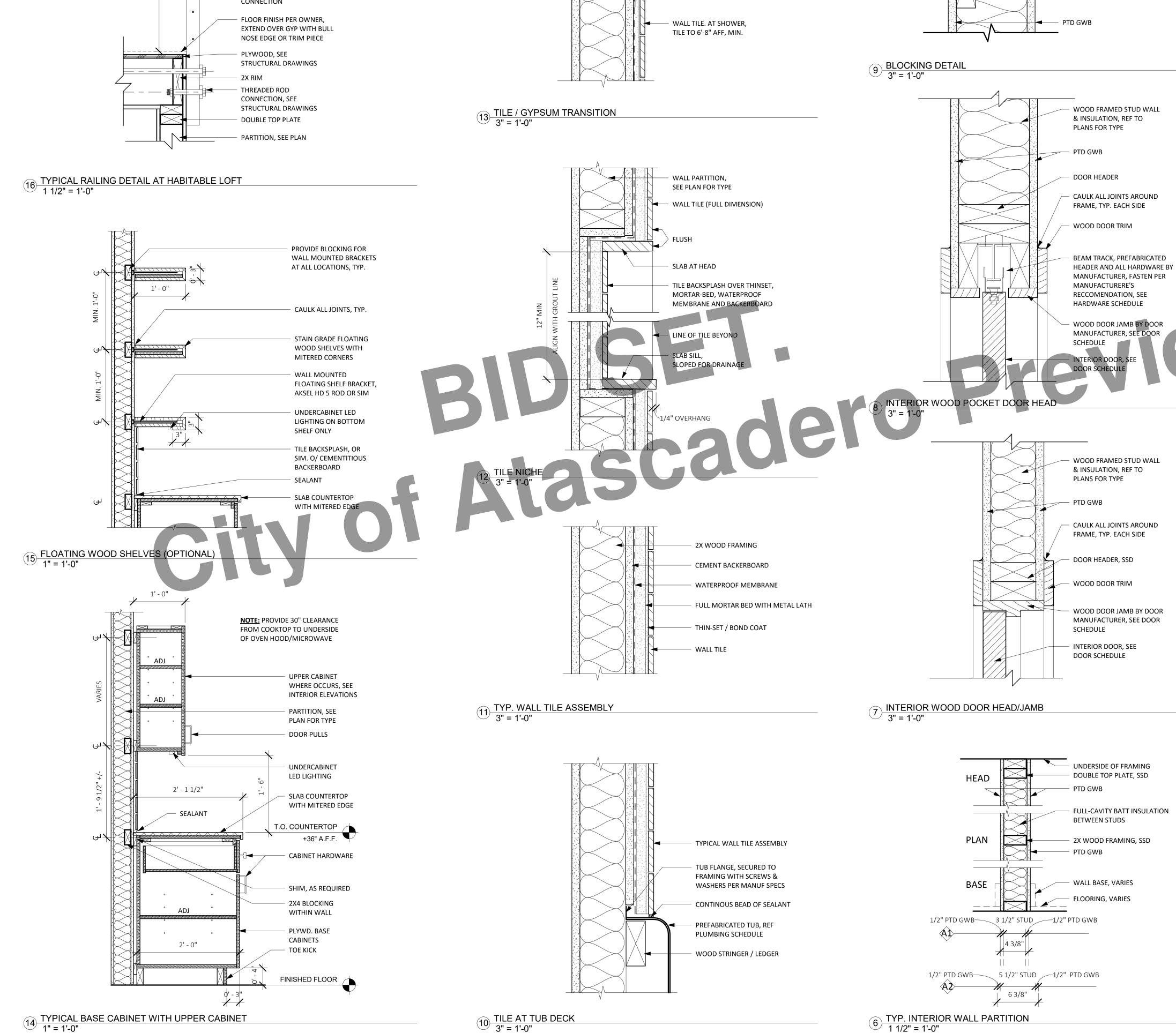
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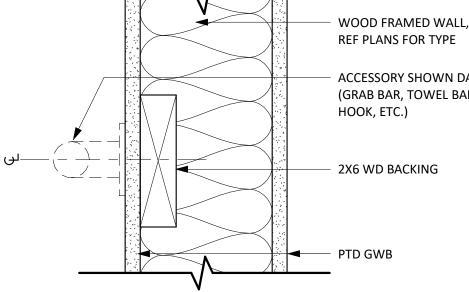
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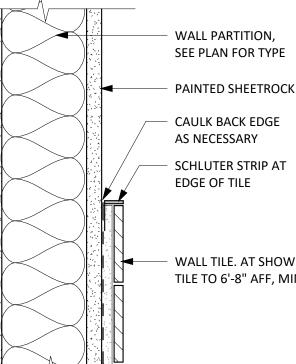




RAILING SELECTED BY OWNER, VERIFY SELECTED RAILING IS COMPATIBLE WITH DETAILED STRUCTURAL CONNECTION

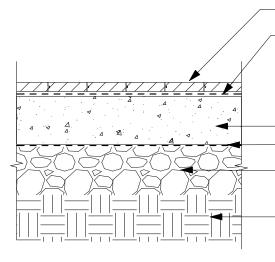


ACCESSORY SHOWN DASHED (GRAB BAR, TOWEL BAR, ROBE



6 TYP. INTERIOR WALL PARTITION 1 1/2" = 1'-0"

1 BASIC WOOD FLOOR AT SLAB 1 1/2" = 1'-0"

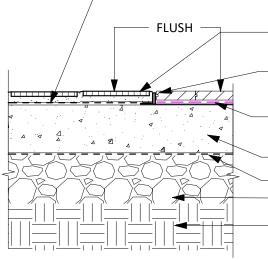


COMPACTED FILL

CONC. SLAB 15 MIL. VAPOR BARRIER GRAVEL, SEE GEOTECH REPORT

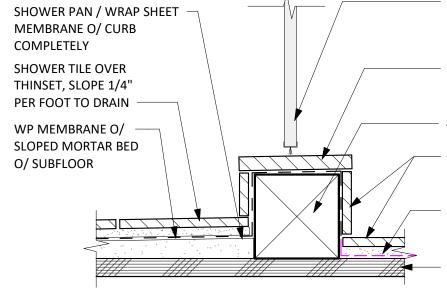
SPECIFIED FLOORING FLOORING UNDERLAYMENT WITH VAPOR BARRIER

2 BASIC TILE TO WOOD FLOOR AT SLAB 1 1/2" = 1'-0"



TRANSITION STRIP SPECIFIED FLOORING O/ UNDERLAYMENT/VAPOR BARRIER CONC. SLAB 15 MIL. VAPOR BARRIER - GRAVEL, SEE GEOTECH REPORT COMPACTED FILL

3 <u>TYP. SHOWER CURB</u> 3" = 1'-0"



(4) CURBLESS SHOWER DOOR AT SLAB (OPTIONAL) 3" = 1'-0"

TILE OVER MORTAR BED OR BACKER BOARD ROLL ON WATERPROOFING/CRACK ISOLATION MEMBRANE PLYWD SUBFLOOR

4x4 FRAMING

ROLL ON WATERPROOFING/CRACK

ISOLATION MEMBRANE

FLOOR TILE OVER THIN SET,

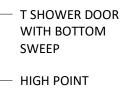
SCHLUTER SCHIENE EDGE

MORTAR BED OR BACKER BOARD

SLAB CURB, SLOPED INTO SHOWER

T SHOWER DOOR WITH BOTTOM SWEEP

- DEPRESSED CONCRETE SLAB FOR SHOWER, SSD



42 SHOWER DRAIN AT CONCRETE $3" = 1'_{-}0"$ 3" = 1'-0"

SHOWER TILE INSTALLED ON THINSET

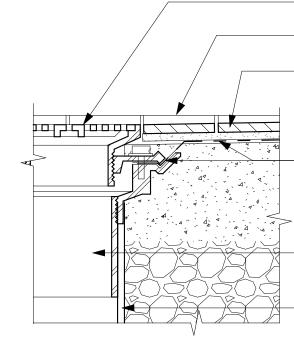
OVER DEPRESSED CONCRETE SLAB,

SLOPED 1/4" PER FOOT TO DRAIN

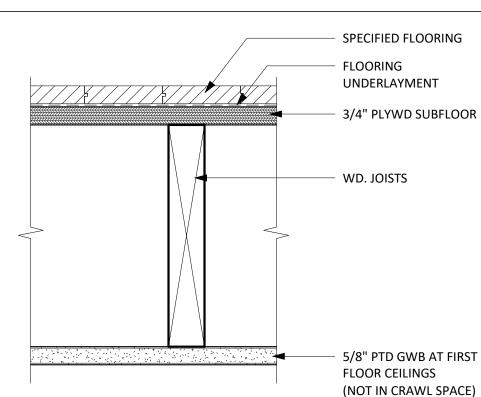
FINISH FLOOR BEYOND, INSTALL

SMALL RISER TILES REQUIRED

AT TRIANGULATED AREAS -



5 TYP. STORAGE LOFT FLOOR ASSEMBLY 3" = 1'-0"3" = 1'-0"



SHOWER DRAIN WITH WEEP HOLES DRAINAGE PIPE

WATERPROOF MEMBRANE TUCKED INTO FLANGE

SHOWER TILE INSTALLED ON THINSET OVER DEPRESSED CONCRETE SLAB, SLOPED 1/4" PER FOOT TO DRAIN

LINE OF FINISH FLOOR BEYOND

SHOWER GRATE TRAY

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FLOOR TILE / RISER

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INTERIOR DETAILS &

WALL PARTITIONS

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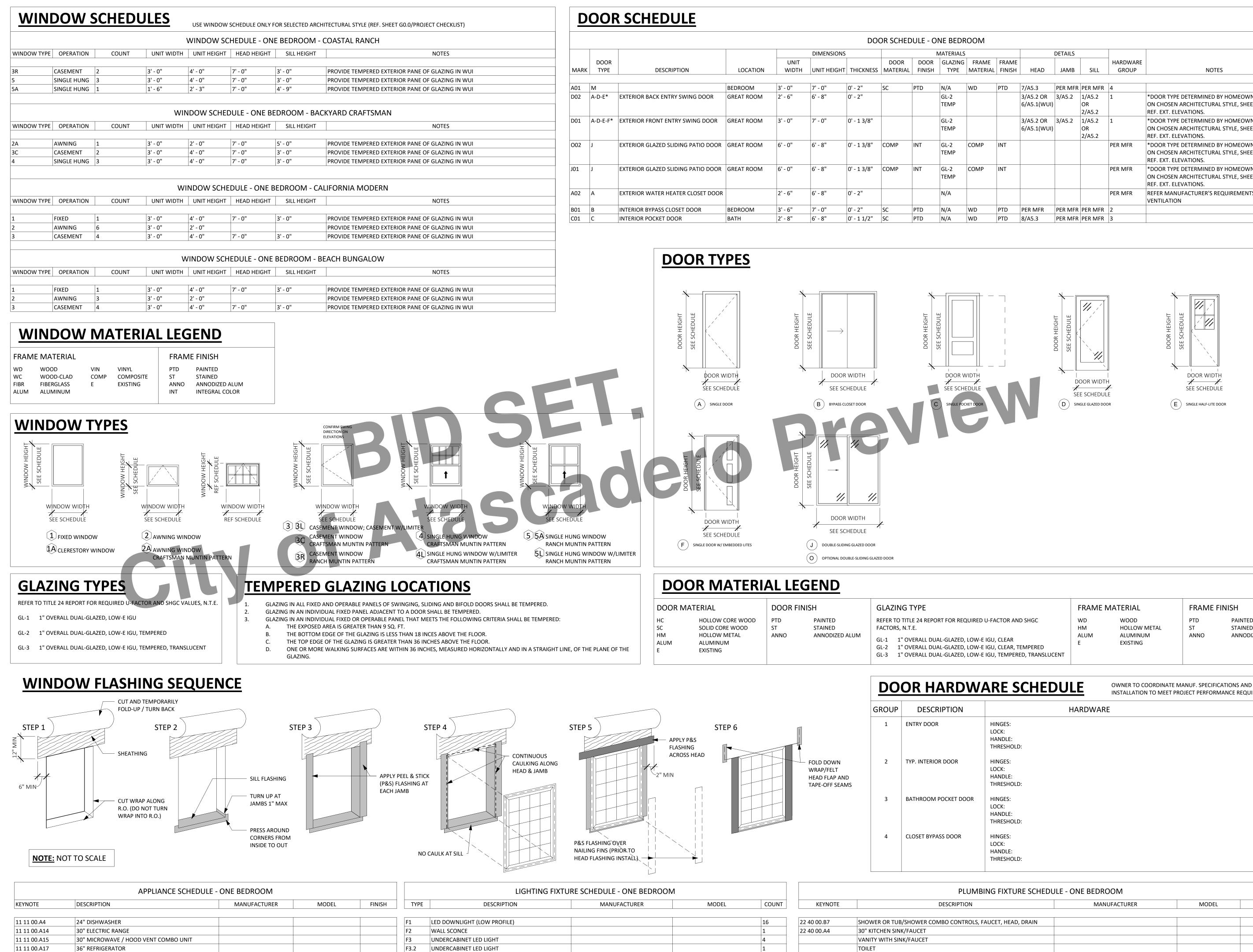
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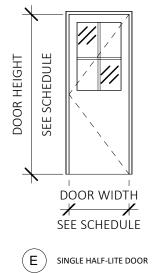
FRONT LOAD DRYER

FRONT LOAD WASHER

F4 EXTERIOR WALL SCONCE

	DOOR SCHEDULE - ONE BEDROOM																
					DIMENSIONS				MATERIALS				DETAILS				
		DOR			UNIT			DOOR	DOOR		FRAME					HARDWARE	
MAR	КТ	YPE	DESCRIPTION	LOCATION	WIDTH	UNIT HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	GROUP	NOTES
A01	Μ			BEDROOM	3' - 0"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	7/A5.3	PER MFR	PER MFR	4	
D02	A-D	-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2' - 6"	6' - 8"	0' - 2"			GL-2			3/A5.2 OR	3/A5.2	1/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
 										TEMP			6/A5.1(WUI)		OR		ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0.
															2/A5.2		REF. EXT. ELEVATIONS.
 D01	A-D	-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3' - 0"	7' - 0''	0' - 1 3/8"			GL-2			3/A5.2 OR	3/A5.2	1/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
										TEMP			6/A5.1(WUI)		OR		ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0.
															2/A5.2		REF. EXT. ELEVATIONS.
 002	J		EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0''	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
										TEMP							ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0.
																	REF. EXT. ELEVATIONS.
J01	J		EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0''	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
										TEMP							ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0.
																	REF. EXT. ELEVATIONS.
A02	А		EXTERIOR WATER HEATER CLOSET DOOR		2' - 6"	6' - 8"	0' - 2"			N/A						PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR
																	VENTILATION
B01	В		INTERIOR BYPASS CLOSET DOOR	BEDROOM	3' - 6"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
 C01	С		INTERIOR POCKET DOOR	BATH	2' - 8"	6' - 8"	0' - 1 1/2"	SC	PTD	N/A	WD	PTD	8/A5.3	PER MFR	PER MFR	3	

TOILET SHOWER OR SHOWER/TUB COMBO



FRAME MATERIAL WOOD HOLLOW METAL ALUMINUM EXISTING

FRAME FINISH PTD ST ANNO

PAINTED STAINED ANNODIZED ALUM

	INSTALLATION TO MEE	T PROJECT PERFORMANCE	REQUIREMENTS
HARI	DWARE		
HINGES:			
.OCK:			
IANDLE:			
HRESHOLD:			
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G FIXTURE SCHEDULE - ONE	BEDROOM		
	MANUFACTURER	MODEL	FINISH
		mobili	



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SCHEDULES- ONE BEDROOM

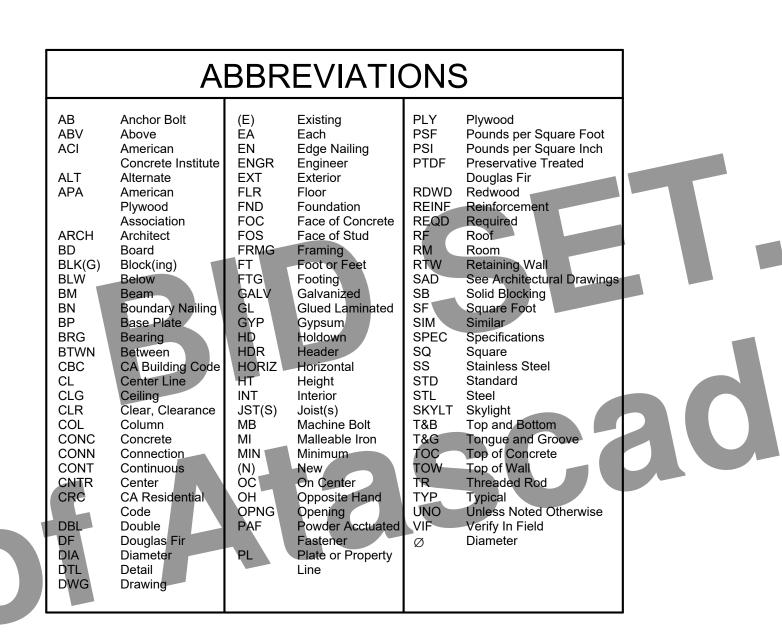


PLYWOOD SHEAR WALL SCHEDULE

MARK	MATERIAL	NAILING OF PANEL EDGES,	FIELD NAILING	TOP PLATE	MINIMUM FND PLATE	BOTTOM PLATE	ANCHOR BOLTS		ALLOWABLE SHEAR (plf)
		COLLECTORS AND TIES (EN)	LLECTORS ((EN) CONNECTION THICKNE		THICKNESS	CONNECTION	SIZE	SPACING (O.C.)	
	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
$\boxed{3}$	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED. 2. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL
- EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS. 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL. 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING. 7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH
- SHEATHING 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE. 9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES





STRUCTURAL NOTES AND SPECIFICATIONS

- A. DESIGN CRITERIA
- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- 2. FLOOR LIVE LOAD = 40 PSF 3. ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA:
- V_{ULT} = 91 MPH (V_{ASD} = 71 MPH), EXPOSURE D 5. SEISMIC DESIGN DATA: SITE CLASS = D (DEFAULT)
- S_S=1.096, S₁=0.403 SEISMIC DESIGN CATEGORY = D
- SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING. BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- 7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

OOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.

- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS .

D. CONCRETE

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

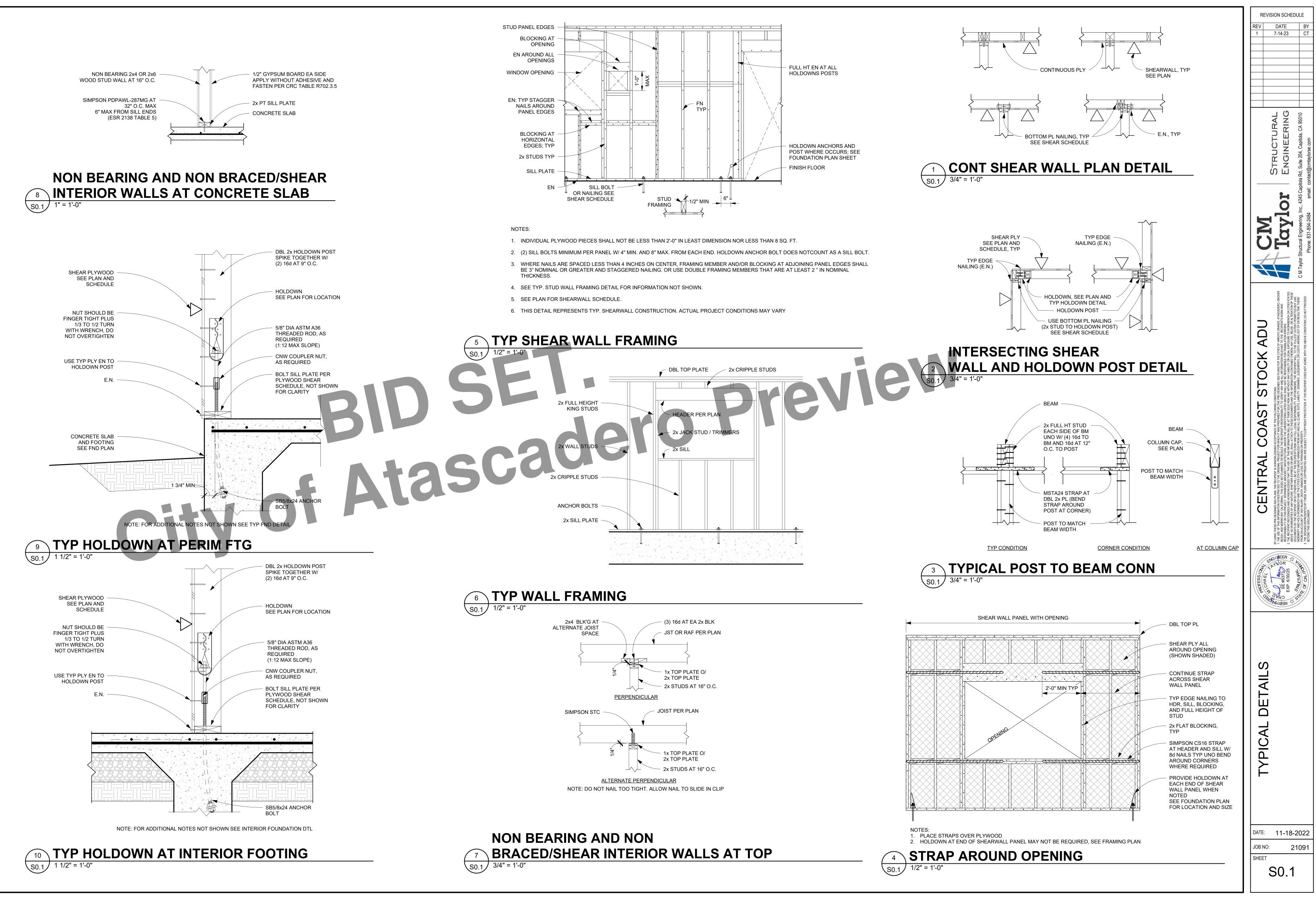
F. WOOD FRAMING (CONTINUED)

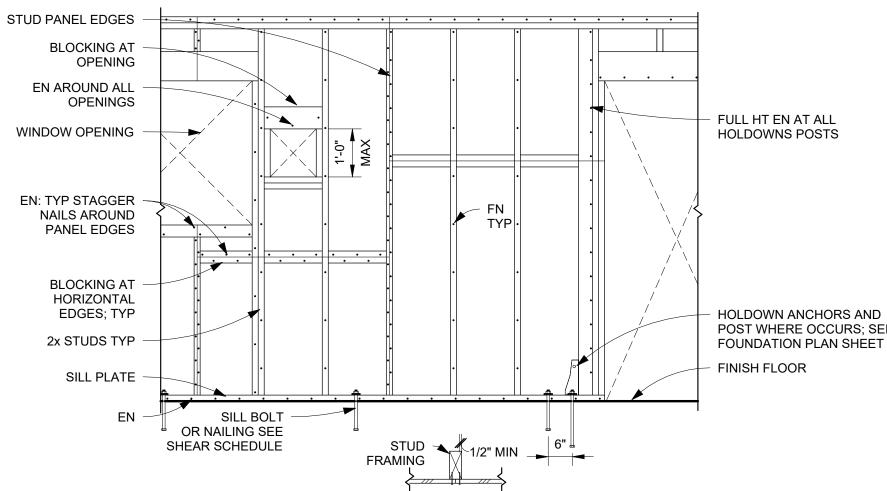
- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH. A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- 5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

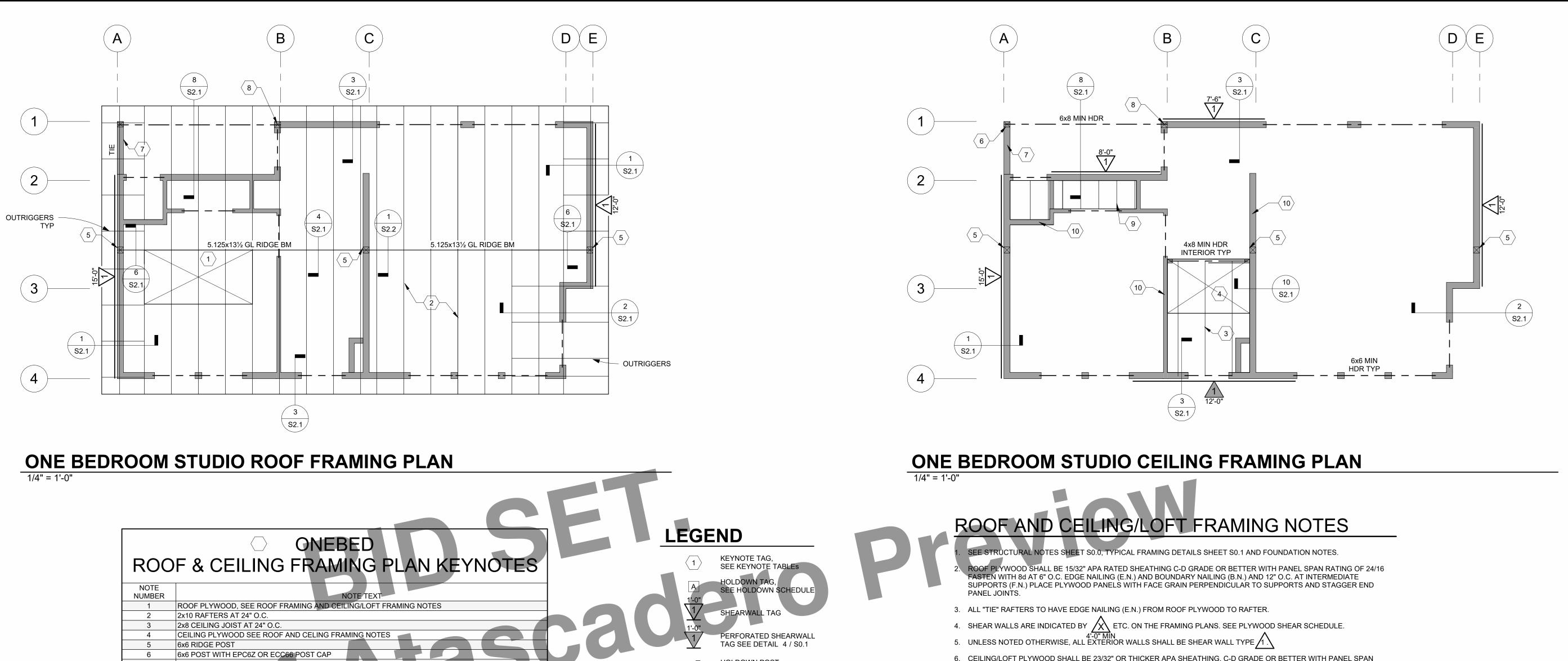
SILLS	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS	UP TO 4x - DF NO. 2
	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTER
POSTS AND DOUBLE TOP PLATES	DF NO. 1
GLULAM BEAMS	DF 24F-V4

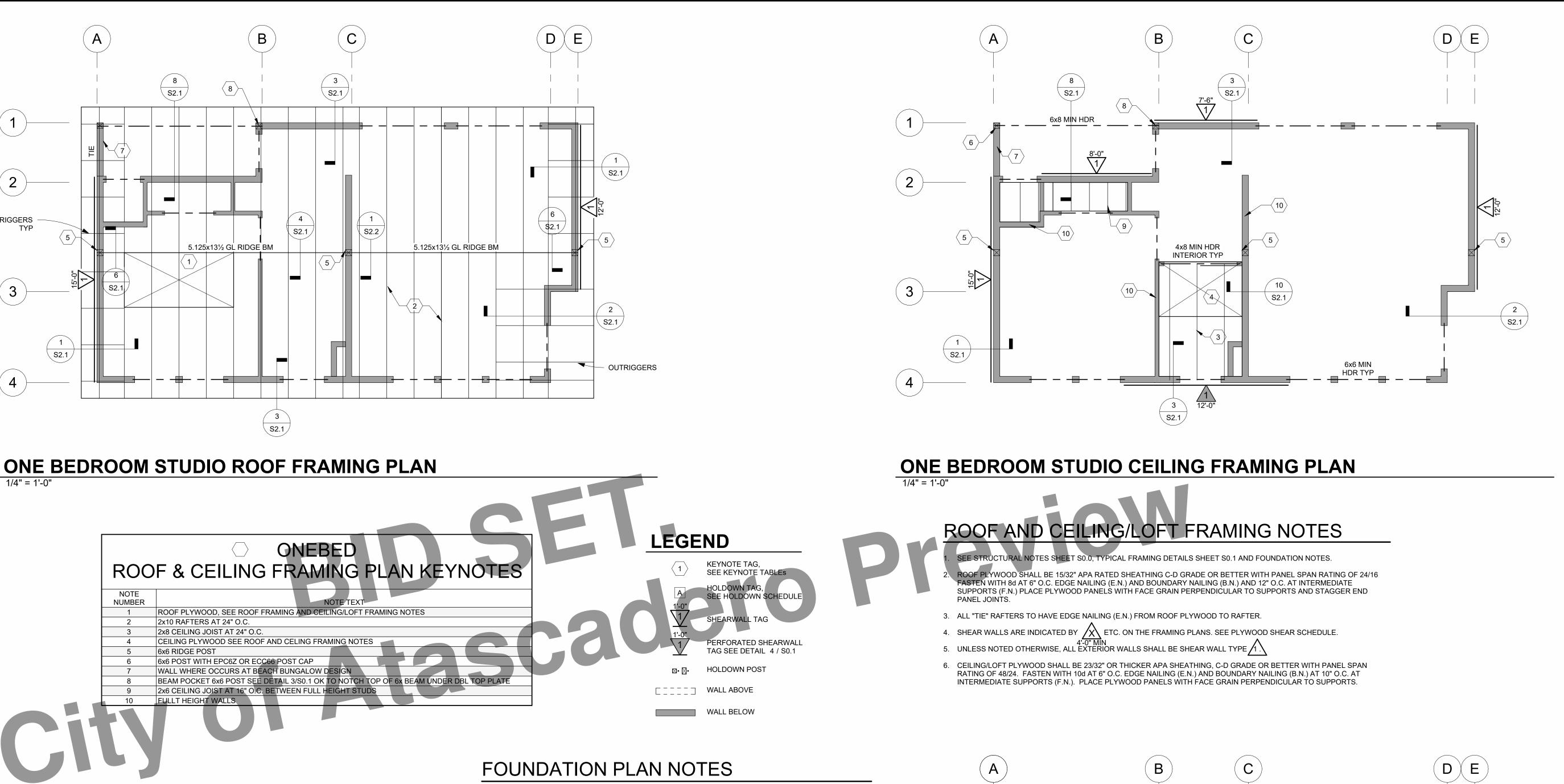
- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 4. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

REVIS	SION SCHEI DATE 7-14-23	DULE BY CT
CM	Taylor Engineering	C M Taylor Structural Engineering, Inc., 4245 Capitola Rd, Suite 204, Capitola, CA 95010 Phone: 831-854-2484 email: contact@cmtaylorse.com
CENTRAL COAST STOCK ADU	BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS REFERENCED TO THE ORGIMAL PRO-DECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER REACH, AND NORRO BAY CALIFORNIA, THIS DOGS NOT ELIMINAL PRO-DECT FOR RECIPIENT'S RESPONSIBILITY TO VERIEY ANY AND ALL INFORMATION IS ELEVANT TO THE RECEIPIENT'S WORK AND RESPONSIBILITY ON THIS PRO-ECT, WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JUNSDICTIONS LUSTED ABOVE SHALL NOT BE RESPONSIBLE FOR ITAMSLATION RELEVANT. TO THE RECEIPIENT'S WORK AND RESPONSIBILITY ON THIS PRO-ECT, WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JUNSDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR ITAMSLATION RERGANS. 2. THE RECOPIENT RECOMMENDEDESS THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE BAS AND WINFLINGUT ANY LIABILITY ON REGAL EXPONSIBLE. FOR IRRANSLATION RERGANS. ABOVE, NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION MILL BE AT THEIR SOLE BAS AND WINFLOW TANY LIABILITY ON REGAL EXPONSIBLE. TO WORKBENCH OR THE STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE INFORMATION CONTAINED THERON ANY USE, REUSE, OR ATTERNOT OF THESE ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE STATED ABOVE. NOT AND THE MINON ANY LIABILITY OR LEGAL EXPONSIBLE. TO WORKBENCH OR THESE STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE MORPANIAND OF THE REPORTING CONTAINED THERON ANY USE, REUSE, OR ALTERATION OF THESE ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE REFORMANTION CONTAINED THERON ANY USE, OR ALTERATION OF THESE ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE INFORMATION CONTAINED THERON ANY USE, REUSE, OR ALTERATION OF THESE ABOVE. NO WARRANTERS OF ANY NATURE, WHETHER EXPRESSION AND THE MORPHANTION CONTAINED THERON ANY USE, REUSE, OR ALTERATION OF THESE ABOVE. NO WARRANTERS OF ANY NATURE, WHETHER EXPRESSION AND THE INFORMATION CONTAINED THERON AN	DOCOMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT SYSK AND LULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE PULIEST EXTENT PERMITTED BUY LAW, NDEMINEY AND HOL WORKBENCH AND FERTIRES STATED ABOVE HARMLESS FROM ANY AND ALL CLAMS, SUITS, LUBILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ARCOUNT OF ANY NUURY, DEATH, DAMAGE OR JOSS TO PERSONS OR PROPERTY. 3. THE DESIGNER REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAMER.
PROFESSION	R C SE #5373 20 11 0 R C SE #5373 20 11 R C SE #5373 20 11 R C SE #5373 2001	03 OTACINEM IF
STRUCTURAL NOTES		
DATE: JOB NO: SHEET	¹¹⁻¹⁸⁻ 2 SO.O	1091







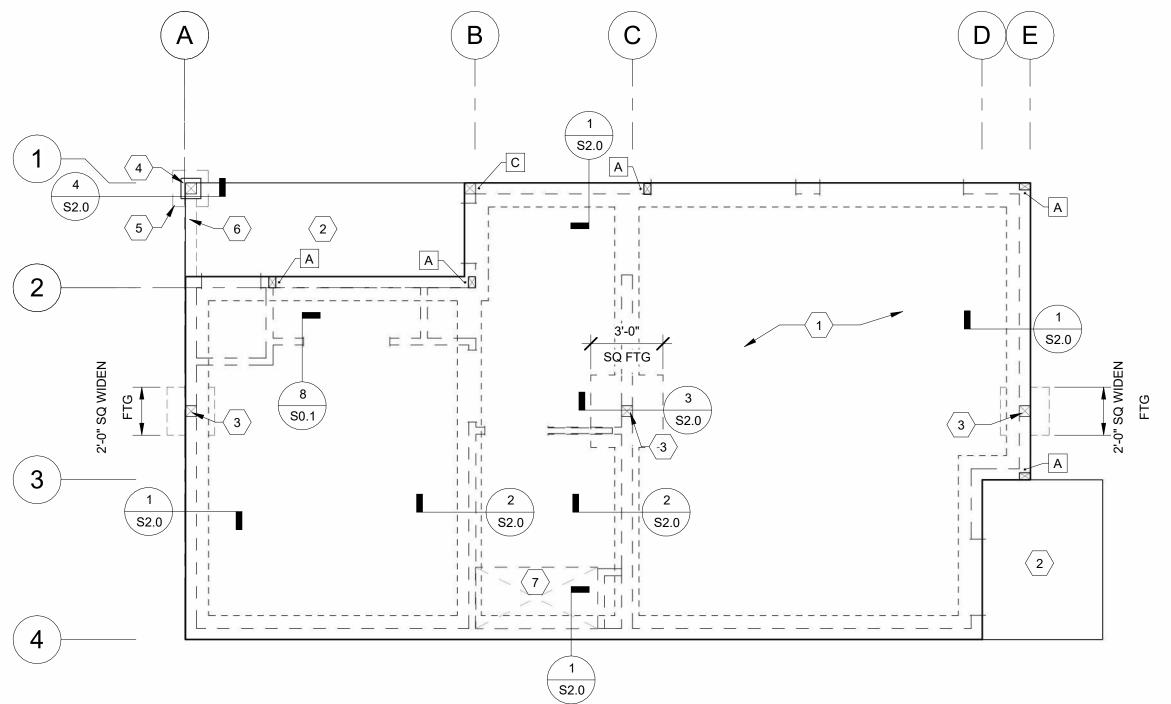


- 1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- 2. DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- 3. HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- 4. INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- 5. CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONEBED \bigcirc FOUNDATION PLAN KEYNOTES

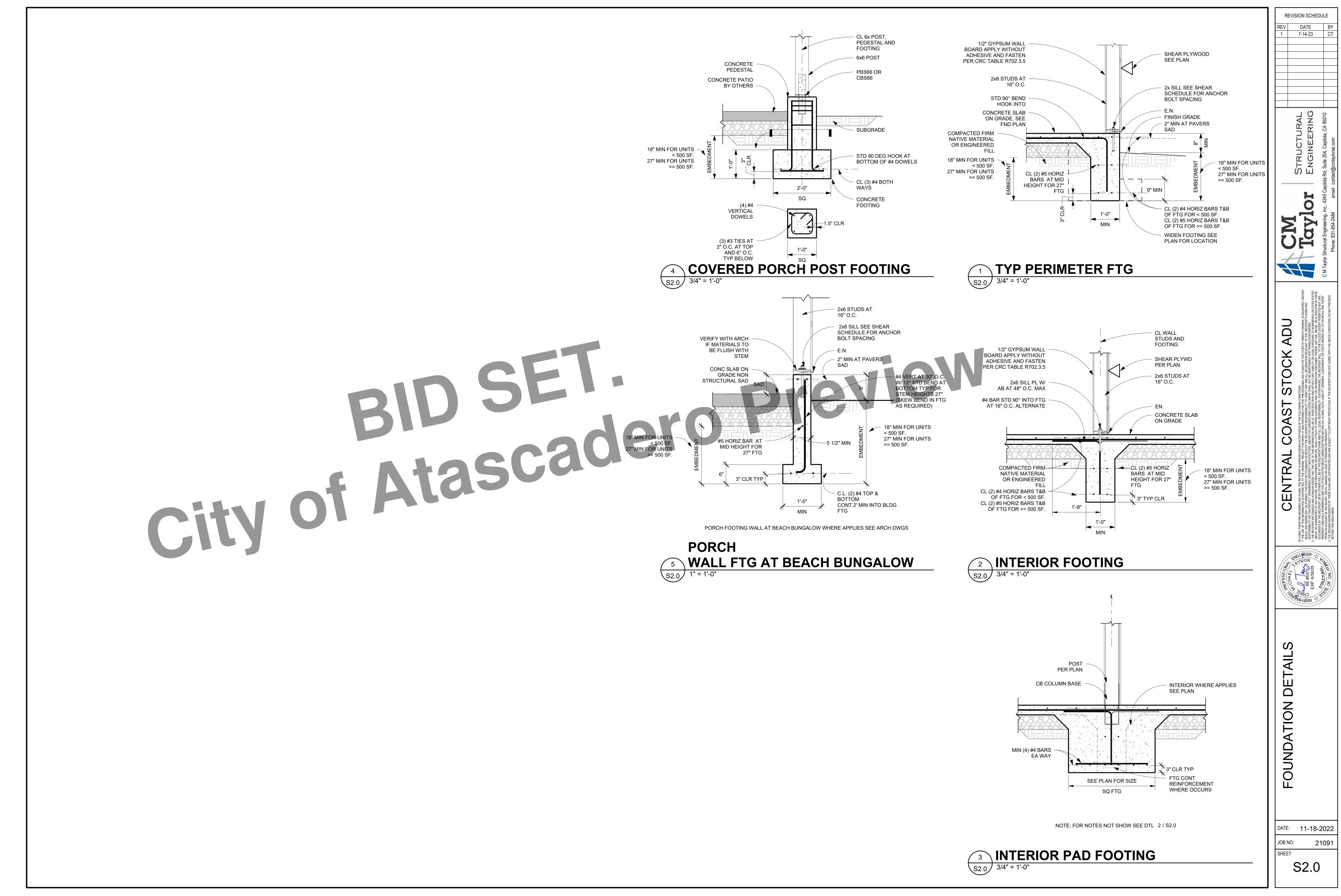
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	6x6 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

	HOL	DOWN	I SCHEDULE	
	HOLDOWN			
MARK	MODEL	POST SIZE	ANCHOR TYPE	DETAIL
Α	HDU2	DBL 2x6	SB5/8x24	9/S0.1
В	HDU4	DBL 2x6	SB5/8x24	9/S0.1
С	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

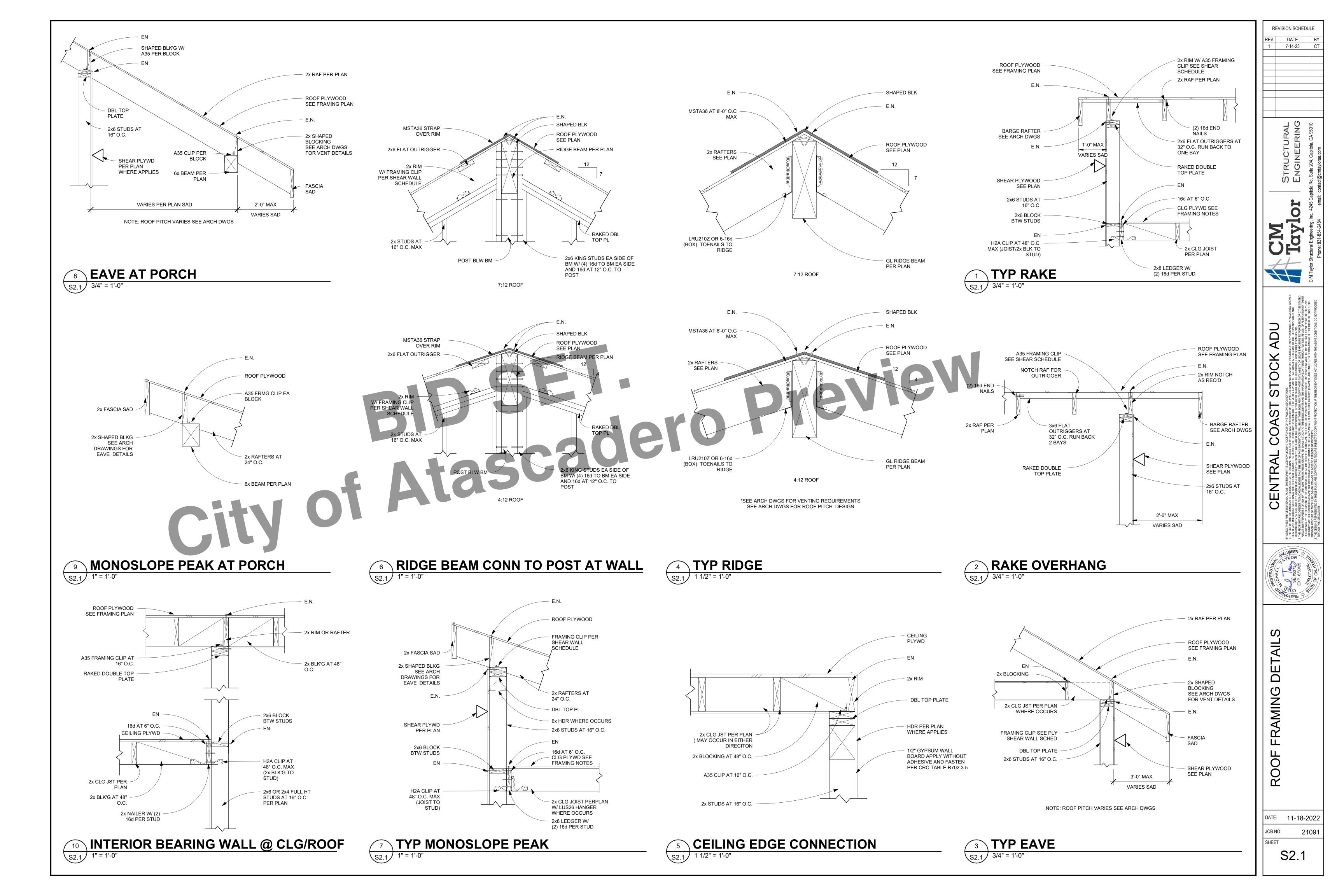


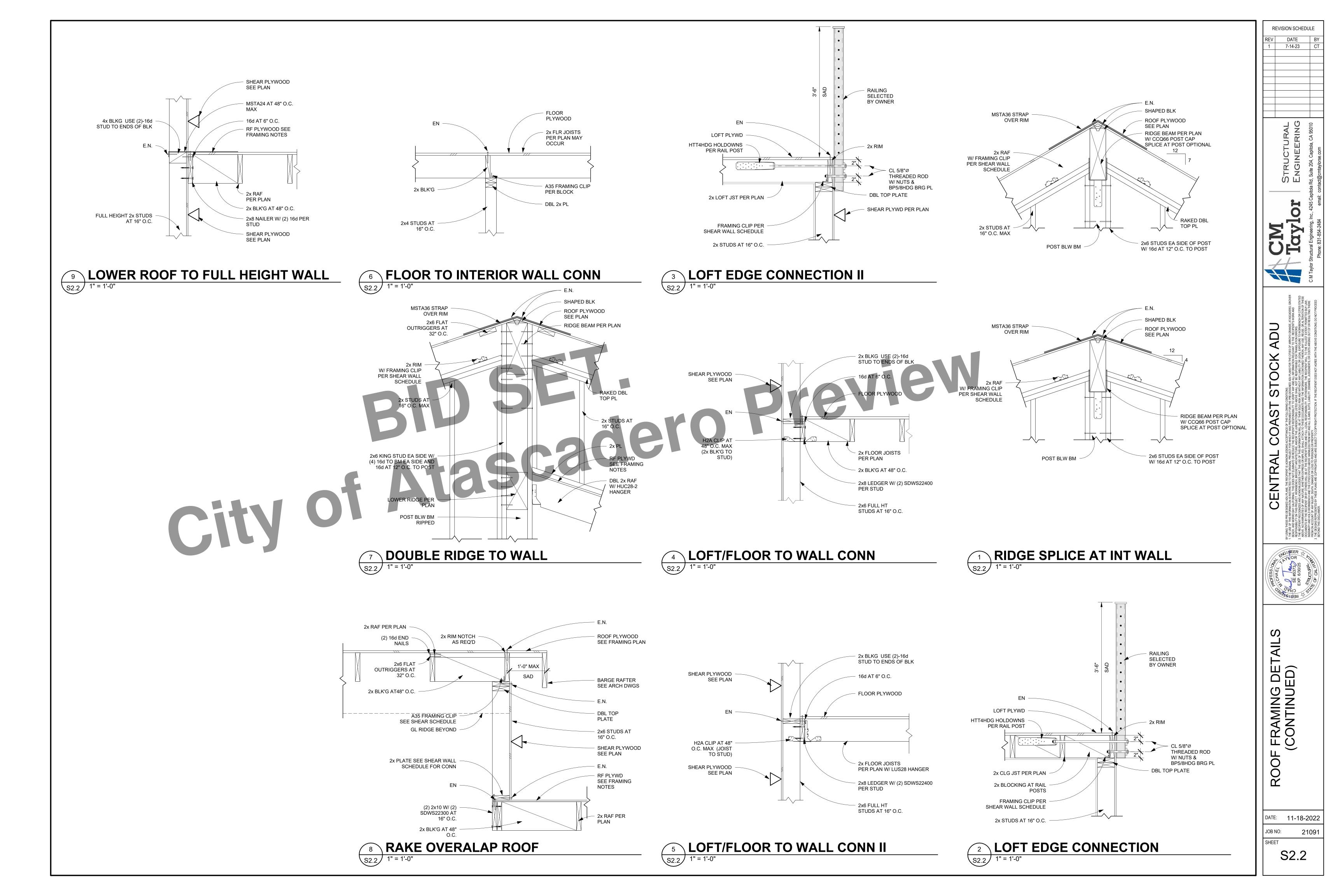
ONE BEDROOM STUDIO FOUNDATION PLAN 1/4" = 1'-0"

REV 1		SCHEE ATE 4-23	DULE BY CT
	STRUCTURAL	Taylor Engineering	C M Taylor Structural Engineering, Inc., 4245 Capitola Rd, Suite 204, Capitola, CA 95010 Phone: 831-854-2484 email: contact@cmtaylorse.com
	BY USING THESE PRE-DESIGNED ADD PLANS, THE RECIPIENT IS ACMOUNDED ON CONDITIONS. BY USING THESE PRE-DESIGNED ADD PLANS, THE RECIPIENT IS ACMOUNDED ON CONDITIONS. 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS REPEARED FOR THE PRE-DESIGNED ADD PLANS FOR THE CITIES OF ARROYO GRAVUE, ATASCADERO, GROVER	BEACH, AND MORRO BY CALIFORNA), THIS DOES NO RESPONSIBILITY ON THIS PROJECT, MORREBICH, BRY 2. THE RECORDIZES AND ACKNOWLEDGEST 2. BUCK. DO WARANTICS OF ANY AND THE WHETHER I	DOUMENTS BIT THE RECEIPTION OF BY OTHER POLICIES NAME AND FULL CLAM. RESOMABILITY, FURTHERMARE, THE RECIPERT PARTING FOR THE RECURLING FOR THE RECIPTION OF AN ADD THE CITIES STATED ABOVE HARM.ESS FROM ANY AND ALL CLAMS, SUITS, LUBGLITY, DEMANDS, JUDGEMENTS, OR COSTS ARSING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY NUURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAMER.
PROFESS/ON	PERS MICHAEL T	₩ 0 SE #5373 20 B	42 OPACINGAN IF
DATE JOB I	: 1 [.]	1-18-	2022









BT	BYPASS TIMER	EC ELECTRICAL CONTRACTOR	I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANI
Ę	CENTER LINE	EDB ENTERING DRY BULB EOD EXTENT OF DEMOLITION	CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION COD
CD	CONDENSATE DRAIN	ECD EXTENTION DEMOLITION ETR EXISTING TO REMAIN	AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
Ø	DIAMETER	EWB ENTERING WET BULB	
	EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWT ENTERING WATER TEMPERATURE °F DEGREES FAHRENHEIT	2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
	EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	FC FLEXIBLE CONNECTION FD FIRE DAMPER	3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPO ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
	EXTENT OF DEMOLITION	FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER FT.HD. FEET HEAD	4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FO
	EXHAUST DUCT UP, DOWN, PENE ≰ DEMO	FTR FLUE THRU ROOF	THE FURNISHED EQUIPMENT. 5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURE
•	FIRE/SMOKE DAMPER	GPM GALLONS PER MINUTE	RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVIC REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
	FIRE DAMPER	HP HORSE POWER	
\bullet	POINT OF CONNECTION	KW KILOWATTS LBS POUNDS	 ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
<u> </u>	P/T PLUG	LWT LEAVING WATER TEMPERATURE	7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PRO
	RETURN OR EXHAUST AIR	MBH I ,000 BTU/HR MC MECHANICAL CONTRACTOR	I " ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
	RETURN DUCT UP, DOWN, PENE ∉ DEMO	(N) NEW	
s ^	SPEED CONTROL SWITCH	NIC NOT IN CONTRACT NTS NOT TO SCALE	 MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLE AND REGISTERS.
X	SPIN-IN EXTRACTOR/DAMPER	OBD OPPOSED BLADE DAMPER	9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE
	SUPPLY DUCT	OSA OUTSIDE AIR PC PLUMBING CONTRACTOR	BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
	UP, DOWN, PENE & DEMO	PENE PENETRATION	IO. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC
	SUPPLY OR OUTSIDE AIR	PD PRESSURE DROP PH PHASE	RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
(\mathbf{T})	THERMOSTAT at + 48"	PH PHASE POC POINT OF CONNECTION	II. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
<u> </u>	TO BE REMOVED	P/N PART NUMBER	I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS
<u></u>	TRANSFER AIR	PRV PRESSURE REDUCING VALVE	THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
-((TURNING VANES	PSI POUNDS PER SQUARE INCH	I 3. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS
]	VOLUME DAMPER	P/T PRESSURE / TEMPERATURE RA RETURN AIR	PRESCRIBED IN CBC SECTION 714.
		RAD RETURN AIR DUCT	14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL
		(RL) RELOCATE	DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL
		RPM REVOLUTIONS PER MINUTE	ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T DRILLING.
AD	ACCESS DOOR	SA SUPPLY AIR SAD SUPPLY AIR DUCT	DRIELING.
AFF	ABOVE FINISH FLOOR	SD SUPPLY DIFFUSER	15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO
AL	ACOUSTICALLY LINED	SP STATIC PRESSURE	FABRICATION OF ANY NEW WORK.
AP	ACCESS PANEL	SS STAINLESS STEEL	I.G. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307.
BD BDD	BALANCING DAMPER BACKDRAFT DAMPER	STD STANDARD	FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITI
BHP	BRAKE HORSE POWER	TV TURNING VANES	OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO
		TYP TYPICAL	WEATHER SHALL BE GALVANIZED.
BJ BTU	BETWEEN JOIST BRITISH THERMAL UNIT	UCD UNDERCUT DOOR	17. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESS
C.	CONDUIT	UON UNLESS OTHERWISE NOTED	DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF
CA	COMBUSTION AIR	V VOLT	REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS
CD	CONDENSATE DRAIN	VD VOLUME DAMPER	WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAIL
CFM	CUBIC FEET PER MINUTE	VIF VERIFY IN FIELD	AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
DEMO	DEMOLITION	W/ WITH	DEI ORE I ROOLLDING WITH THE WORK.
DL	DOOR LOUVER	WC WATER COLUMN	18. ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM TH
(E)	EXISTING	WT WEIGHT	FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVEABLE EQUIPMENT WEIGHING LES
EAD	EXHAUST AIR DUCT	W/O WITH OUT	THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (CCR TITLE 24, PART 2, SECTION 7.125
			EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE

RIBED PER ASCE RCES PRES ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED. DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.

20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).

21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.

22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.

23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC. 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115,

AND 120-129 CEC.

ENERAL MECHANICAL NOTES

ATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL INIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, R APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY

ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL LING PLAN AND ROOM ELEVATIONS.

ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

URBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND L PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR

ALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR

GH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF TIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T CATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND D EQUIPMENT PRIOR TO ALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DING AND PAINTING SHALL BE IN ACCORDA WITH THE LATEST EDITION

FICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY ORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF HOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS NISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DET THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEA

RY OR MOVER SUSPENDED FROM THE ROOF, OLATOR DEVICES (CCR TITLE 24, PART 2, SECTION 7.125 PORTED AND ANCHORED TO RESIST THE ER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF

SYMBOLS & ABBREVIATIONS (PLUMBING)

BALANCING COCK ABOVE FINISH FLOOR ACCESS PANEL BALL VALVE BALL VALVE CAP COMPRESSED AIR PIPING CHECK VALVE CATCH BASIN CONDENSATE CLEANOUT CUBIC FEET PER HOUR CFH DOMESTIC COLD _____ CAST IRON WATER (EXISTING) CHROME PLATED DOMESTIC COLD _____ DCW DOMESTIC COLD WATER WATER (NEW) DHW DOMESTIC HOT WATER ------ DOMESTIC HOT WATER DHWR DOMESTIC HOT WATER RETURN (EXISTING) DCV DETECTOR CHECK VALVE _..._ DOMESTIC HOT WATER (NEW) DOWN DOMESTIC HOT WATER RETURN _____ DOWN SPOUT (EXISTING) DRY STAND PIPE _____ DOMESTIC HOT WATER RETURN EXISTING (NEW) ELECTRICAL CONTRACTOR DIRECTION OF FLOW ELEVATION FIRE SPRINKLER PIPING **DSP** DRY STANDPIPE FLEX CONNECTOR FIRE SPRINKLER PIPING FLOOR CLEANOUT FCO FLANGED UNION FLOOR DRAIN FLOOR DRAIN FIRE LINE FORCE MAIN FLOOR SINK FLOOR SINK FSC FIRE SPRINKLER CONTRACTOR GENERAL CONTRACTOR GAS PIPING (EXISTING) GCO GROUND CLEANOUT GAS PIPING (NEW) GPM GALLONS PER MINUTE GAS COCK _____ _____ HOSE BIBB HB HWS HOT WATER SUPPLY GATE VALVE INVERT ELEVATION GLOBE VALVE LAV LAVATORY HOSE BIBB (3/4" MIN.) _____C__+ MECHANICAL CONTRACTOR NPW NON POTABLE WATER PETES PLUG _____ NEW PIPE (ABOVE THE CEILING) OFD OVERFLOW DRAIN PIPE HANGER PLUMBING CONTRACTOR POST INDICATION VALVE \bigcirc PIPE TURNING UP (RISE) POINT OF CONNECTIO PIPE TURNING DOWN (DROP) <u>(</u>_____ $\overline{\bigcirc}$ PIPE TEE DOWN PRESSURE REDUCING VALVE °RV RELIEF VA BACKFLOW PREVENTOR REDUCED PRESSURE R LEADER (EXISTING) RAIN WATER LEADER W/I STORM DRAIN ER LEADER RAIN WAT SOV SHUTOFF VALVE REDUCER SANITARY SEWER ROOF DRAIN TRAP PRIMER VENT VALVE BOX VERIFY IN FIELD STRAINER VTR VENT THRU ROOF WASTE ---- SUB-SOIL PIPING WATER CLOSET UNION WALL CLEANOUT WCO ----- VENT PIPING (EXISTING) WATER HEATER W/H WATER HAMMER ARRESTOR WHA ---- VENT PIPING (NEW) WM WATER METER --- --- WASTE PIPING (EXISTING) --- (N) WASTE PIPING (NEW) UNDERGROUND (NEW) WSP WSP WET STANDPIPE (NEW) WATERHAMMER ARRESTOR (WHA) TRAP PRIMER (TP)

GENERAL PLUMBING NOTES

I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.

2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.

4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.

6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."

7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS. 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.

10. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

I. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.

12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.

13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.

14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.

15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT ING, PINCHING OR TWISTING OF THE WRIST.

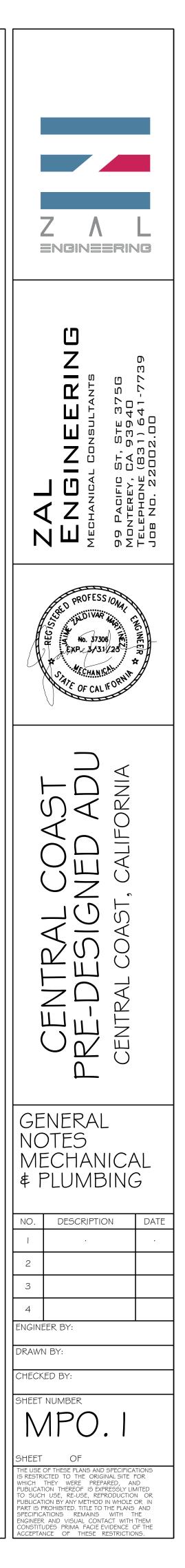
DE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.



OUTDOOR	UNIT											
CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LBS)	LEVELING		SERVED	
OU-I	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	
1				1	1				1			

INDOOR UNIT SCHEDULE

CODE	MFR	MODEL		SUPPLY FAN	1	E	LECTRICA	L			COOLII	NG COIL		Н	EATING CC	DIL				COMMENTS
			CFM	ESP (IN)	BHP	V/PH	MCA	MOCP	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-1	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	-5/8	22	MULTIPLE	1
NOTES:	I. PROVIDE CON	NDENSATE PUMP. RL	JN CD & D	ISCHARGE II	N APPROV	ED LOCATIO	DN.													i

FXHAUST FAN SCHEDULF

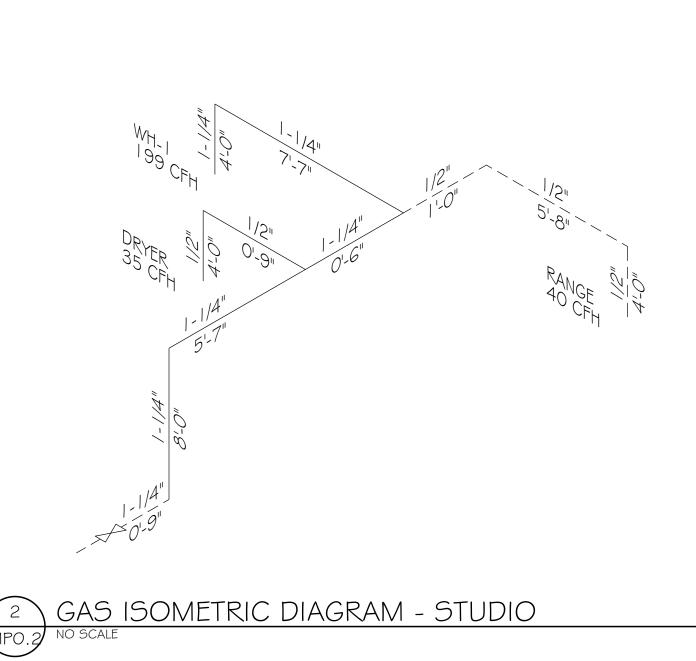
LATIAUUT	I AN SCILLU												
CODE	MFR	MODEL	CFM	ESP (ın)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							HP		ISOLATORS	(LBS)			
EF-I	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	5/	7	9.5	BATHROOMS	0.8	1
NOTES:	I. CONTROLLED BY	HUMIDISTAT. ADD OVER	RIDE SWITCH;	COORDINATE LO	CATION W/ ARC	HITECT.							

PLUMBING FIXTURE SCHEDULE

Lennen							
CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE			MIN. ROUG
			FLOOR	COUNTER TOP	WALL	W	V
L- I	LAVATORY	-	_	-	•	2	/2
BT-I	BATHTUB	-	•	-	-	2	/2
WC-I	WATER CLOSET	-	_	•	-	3	2
SK-I	KITCHEN SINK	-	_	•	-	2	/2
CWB-1	WASHER	_	_	-	•	2	/2
HB-1	HOSE BIB	_	_	-	•		-

WATER HEATER SCHEDULE

CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.	
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	I	64	26.4	RU199e	RINNAI
EWH-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE4OT/OHS45 UO	RHEEM
		C											

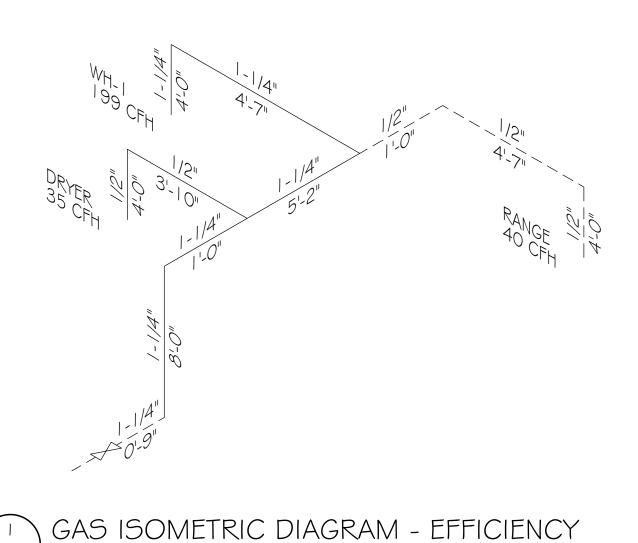




APO.2



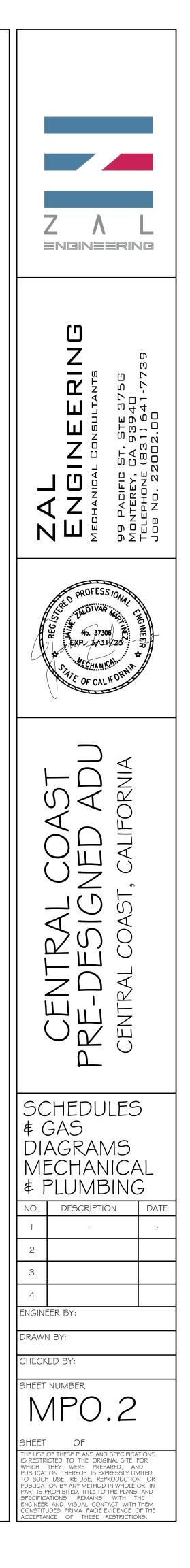
MPO.2

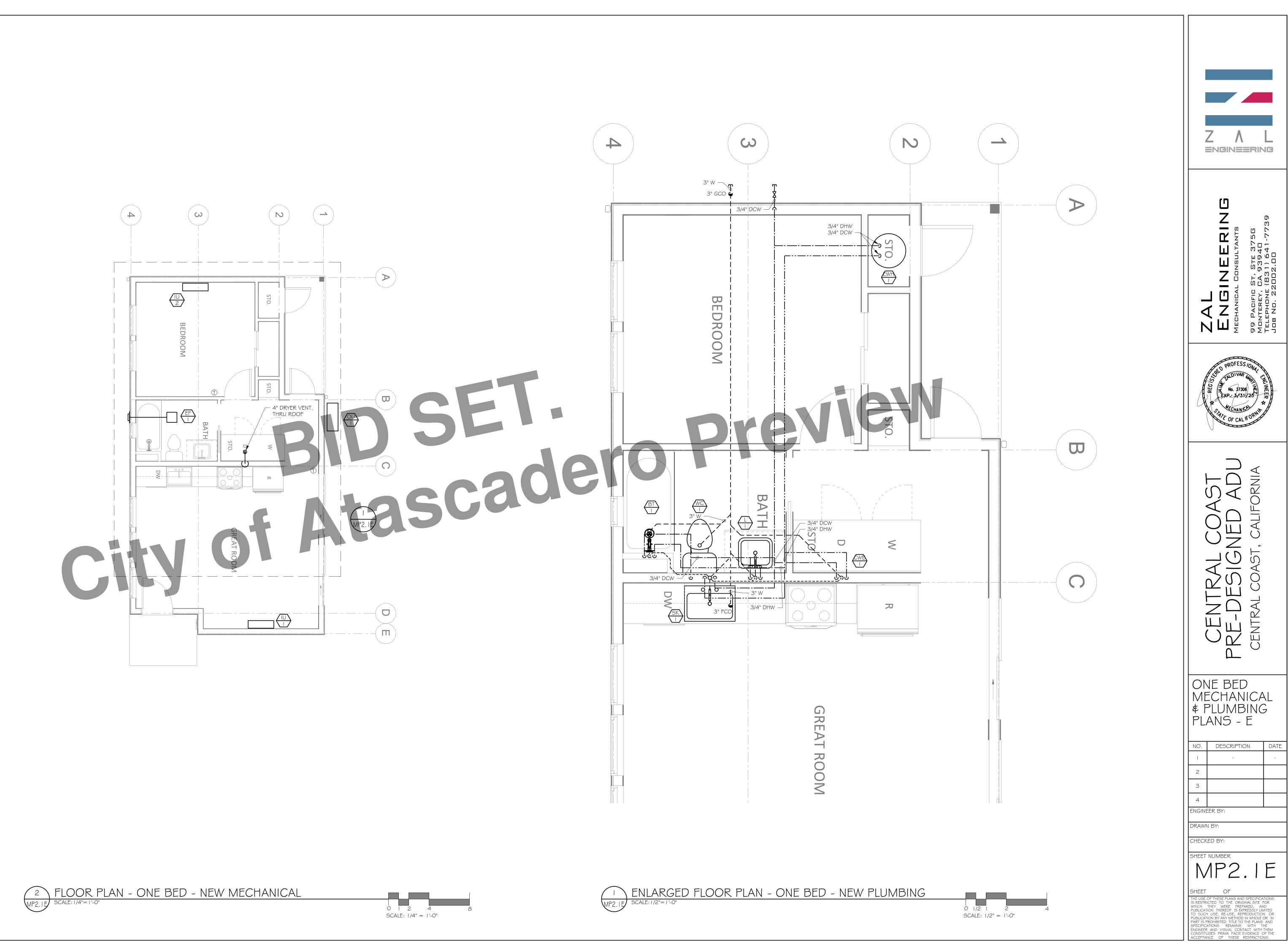


) GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS

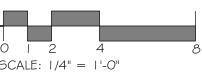
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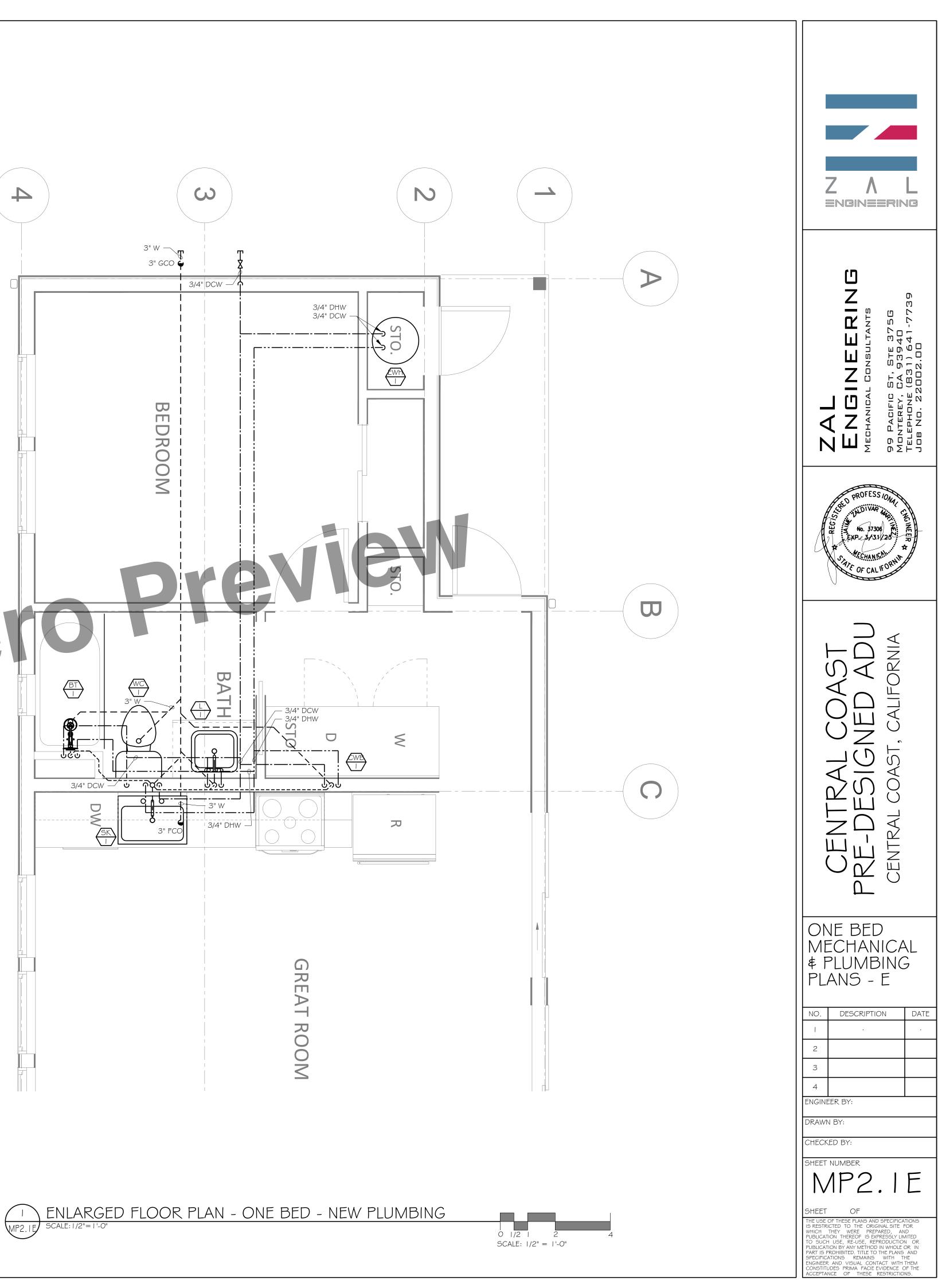
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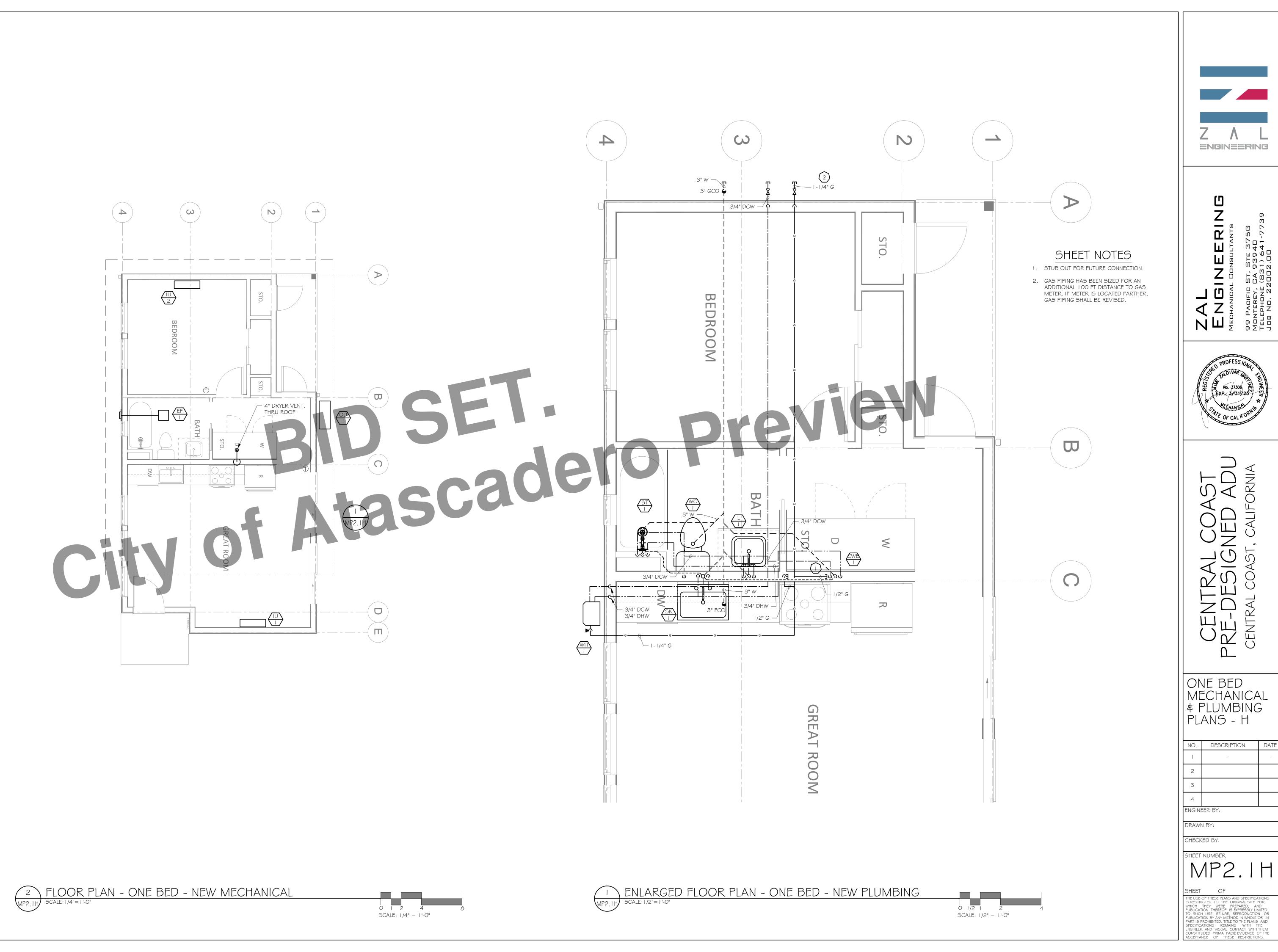




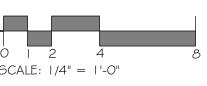












01 02 03 04 05 06 07 08 09 10 11 12 13 14 Window Depth Dist Up Left Excent Flight flip Depth Top Up Dist L Iot Up Depth Top Up Dist L Iot Up Dist Up Left Excent Flip Flip Depth Depth Top Up Dist L Iot Up Depth Top Up Dist Up Dist Up Left Excent Flip Flip Depth Depth O </th <th>Window Window 2 Window 3 Window OP Window OP 2</th> <th>02</th> <th></th> <th></th> <th></th> <th></th> <th>Input F</th> <th>tion Date/ ile Name:</th> <th>3_OB_E_0</th> <th>CZ4.ribd22</th> <th>2x</th> <th></th> <th></th> <th></th> <th></th>	Window Window 2 Window 3 Window OP Window OP 2	02					Input F	tion Date/ ile Name:	3_OB_E_0	CZ4.ribd22	2x				
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Depth Disk Up Left Etern Page III Page III Too Up Dirk L Bor Up Depth Too Up Dirk L Bor Up <thd< th=""><th>Window 2 Window 2 Window 3 Window OP Window OP 2</th><th>Depth</th><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th>-</th><th></th><th></th><th></th><th></th></thd<>	Window 2 Window 2 Window 3 Window OP Window OP 2	Depth									-				
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Cool roof Window overhangs and/or fins Compact distribution system basic credit Recirculating with demand control, occupancy/motion sensor Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed RES FEATURE SUMMARY e following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Addition ail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Quality insulation installation (QII)	Window overham Compact distribut Recirculating with Northwest Energy HERS FEATURE SUMMAI The following is a summ detail is provided in the	ution system basic crec th demand control, occ gy Efficiency Alliance (N ARY mary of the features th e building tables below	cupancy/motion VEEA) rated hea nat must be field	t pump wate	a certified	d HERS Rate	r as a condition	on for meet	ting the mo		gy perform	mance fo	or this comp	uter analysis	. Additional
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Schema Version: rev 20220901 CFIR-PRF- Margin (EDR1) LANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD iget Name: Central Coast ADU OB culation Description: Title 24 Analysis Calculation Date/Time: 2023-08-24T19:21:10-05:00 Input File Name: 3_OB_E_CZ4.ribd22x Energy USE SUMMARY Energy USE SumMARY Compliance Energy (EDR1) (kBtu/ft ² -yr) Standard Design Source Energy (EDR1) (kBtu/ft ² -yr) Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr) Compliance Margin (EDR1) Compliance Margin (EDR1) Space Heating 1.82 12.41 2.41 18.63 -0.59 6.6.22 Space Cooling 0.85 32.55 0.37 20.43 0.48 12.12 IAQ Ventilation 1.01 10.86 0.84 9.03 0.17 1.83 Water Heating 3.77 40.64 2.58 30.06 1.19 10.58 North Facing	BUILDING - FEATURES II 01 Project Name Central Coast ADU Registration Number: 22 CA Building Energy Effic CERTIFICATE OF COM Project Name: Centra Calculation Description ENERGY USE SUMMARY Energy Use Space Heating Space Heating Space Cooling IAQ Ventilation Water Heating Self Utilization/Flexibility Credit North Facing Efficiency Compliance	OB 5 223-P010107155A-000-00 5 iciency Standards - 202 1 IPLIANCE - RESIDEN al Coast ADU OB on: Title 24 Analysis Y Standard Desig Energy (EDR1) (kl 1.82 0.85 1.01 3.77	TIAL PERFORM	MANCE COM Standard De (EDR2) (I 1 3 1 4	er of Dwe Units 1 MPLIANO esign TDV kTDV/ft ² 12.41 32.55 10.86 40.64	Reg Rep Schr	mber of Bedi 1 istration Date ort Version: 2 ema Version: D Calculat Input Fl Proposed D Energy (EDR1 2 0 0 0 2	/Time: 2023-08 022.0.000 rev 202209 tion Date/ ile Name: Design Source 1) (kBtu/ft ² .41 .37 .84 .58	8-25 17:19:50 001 /Time: 202 3_OB_E_(ce Pro	0 23-08-24T CZ4.ribd22 oposed Des (EDR2) (k 11: 21 9 31 31	2x 19:21:10 2x sign TDV E TDV/ft ² - y 8.63 0.43 0.03 0.06 0	ooling Sy 0 HERS Pro Report C I-05:00	Complia Margin (E 0.17 1.19	Heatin	r of Water g Systems 1 CalCERTS 7:21:46 1R-PRF-01 Page 3 of 1 Page 3 of 1 ompliance argin (EDR2 -6.22 12.12 1.83 10.58 0
Schema Version: rev 20220901 CFIR-PRF- Jject Name: Central Coast ADU OB culation Description: Title 24 Analysis Calculation Date/Time: 2023-08-24T19:21:10-05:00 Input File Name: 3_OB_E_C24.ribd22x CFIR-PRF- (Page 3 o Input File Name: 3_OB_E_C24.ribd22x Energy Use Standard Design Source Energy (EDR1) (kBtu/ft ² -yr) Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr) Compliance Energy (EDR1) (kBtu/ft ² -yr) Compliance (Page 3 o Input File Name: 3_OB_E_C24.ribd22x Space Heating 1.82 Compliance Energy (EDR1) (kBtu/ft ² -yr) Compliance Energy (EDR1) (kBtu/ft ² -yr) Compliance (EDR2) (kTDV/ft ² -yr) Compliance Energy (EDR1) (kBtu/ft ² -yr) Compliance (EDR2) (kTDV/ft ² -yr) Compliance Energy (EDR1) (kBtu/ft ² -yr) Compliance (EDR2) (kTDV/ft ² -yr)	BUILDING - FEATURES II 01 Project Name Central Coast ADU Registration Number: 22 CA Building Energy Effic CERTIFICATE OF COM Project Name: Centra Calculation Description ENERGY USE SUMMARY Energy Use Space Heating Space Cooling IAQ Ventilation Water Heating Utilization/Flexibility Credit North Facing Efficiency Compliance Total	OB 5 223-P010107155A-000-00 iciency Standards - 202 IPLIANCE - RESIDEN al Coast ADU OB al Coast ADU OB ion: Title 24 Analysis Y Standard Desig Energy (EDR1) (kl 1.82 0.85 1.01 3.77 a 7.45	TIAL PERFORM	MANCE COM Standard De (EDR2) (I 1 3 1 4	er of Dwe Units 1 MPLIANG ssign TDV kTDV/ft ² 12.41 32.55 10.86 30.64	Reg Rep Schr	mber of Bedi 1 istration Date ort Version: 2 ema Version: D Calcula Input Fi Proposed D Energy (EDR1 2 0 0 0 2	/Time: 2023-04 2022.0.000 rev 202209 tion Date/ ile Name: .esign Source .() (kBtu/ft ² .41 .37 .84 .58	8-25 17:19:50 001 /Time: 202 3_OB_E_(ce Pro	0 23-08-24T CZ4.ribd22 oposed Des (EDR2) (k 1) 21 31 31 31 71 31	19:21:10 2x sign TDV ft ² - y 8.63 0.43 0.06 0 8.15	ooling Sy 0 HERS Pro Report C I-05:00	Complia Margin (E 0.17 1.19	Heatin 023-08-24 : CF (1) C CF (1) CF (1) CF (1) CF (1) CF (1) CF (1) CF (1) CF	r of Water g Systems 1 CalCERTS .7:21:46 1R-PRF-01 Page 3 of 1 Page 3 of 1 Page 3 of 1 -6.22 12.12 1.83 10.58 0 18.31
Schema Version: rev 20220901 CFIR-PRF- Jject Name: Central Coast ADU 08 culation Description: Title 24 Analysis CFIR-PRF- Calculation Date/Time: 2023-08-24T19:21:10-05:00 Input File Name: 3_OB_E_C24.ribd22x Rergy Use Standard Design Source Energy (EDR1) (kBtu/ft ² -yr) Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr) Compliance Margin (EDR1) Compliance Margin (EDR1) Space Heating 1.82 Compliance Energy (EDR1) (kBtu/ft ² -yr) Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr) Compliance Margin (EDR1) Compliance Margin (EDR1) Space Heating 1.82 2.12.41 2.4.41 1.8.63 -0.59 6.2.2 Space Cooling 0.85 32.55 0.37 2.0.43 0.48 1.21 Autor Margin (EDR1) 0 0 0 0 Compliance Margin (EDR1) Compliance Margin (EDR1) Compliance Margin (EDR1) Compliance Margin (EDR1) Compliance Margin (EDR2) Compliance Margin (EDR2) Compliance Margin (EDR	BUILDING - FEATURES II 01 Project Name Central Coast ADU Registration Number: 22 CA Building Energy Effic CERTIFICATE OF COM Project Name: Centra Calculation Description ENERGY USE SUMMARY Energy USE Space Heating Space Heating IAQ Ventilation Water Heating Utilization/Flexibility Credit North Facing Efficiency Compliance Total Space Heating	APLIANCE - RESIDEN al Coast ADU OB fon: Title 24 Analysis Y Standard Desig Energy (EDR1) (kl 1.82 0.85 1.01 3.77	TIAL PERFORM	MANCE CON Standard De (EDR2) (I 1 3 1 4	er of Dwe Units 1 MPLIANG sign TDV kTDV/ft ² 12.41 32.55 10.86 30.64	Reg Rep Schr	mber of Bedi 1 istration Date ort Version: 2 ema Version: D Calcular Input Fi Proposed D Energy (EDR1 2 0 0 0 2	/Time: 2023-08 0222.0.000 rev 202209 tion Date/ ile Name: Design Source 1) (kBtu/ft ² .41 .37 .84 .58	8-25 17:19:50 001 /Time: 202 3_OB_E_(ce Pro	0 23-08-24T CZ4.ribd22 oposed Des (EDR2) (k 11 21 9 31 31 71 71	24	ooling Sy 0 HERS Pro Report C I-05:00	Complia Margin (E 0.17 1.19 1.25 0.13	Heatin	r of Water g Systems 1 CalCERTS .7:21:46 1R-PRF-01 Page 3 of 1 Page 3 of 1 Page 3 of 1 Compliance argin (EDR2 -6.22 12.12 1.83 10.58 0 18.31 -0.83

Registration Date/Time: 2023-08-25 17:19:50 Registration Number: 223-P010107155A-000-000-0000000-0000 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-24 17:21:46 Schema Version: rev 20220901

5.34

96.46

Self Utilization/Flexibility

Credit East Facing Efficiency

Compliance Total

7.45

0

68.2

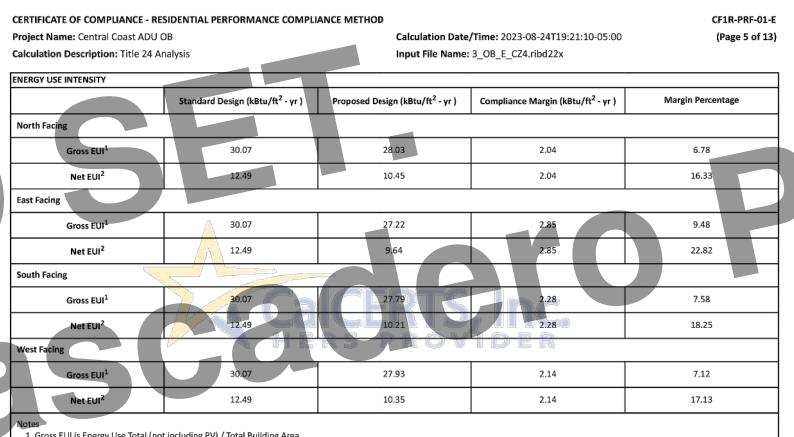
0

28.26

2.11

		E - RESIDENTIAL	PERFORMAN		AINCE IVIE	THOU			(m.	2022	00.04740.0	4.40.05.00		CF1R-PRF-01-
roject Name: C alculation Desc									•		-08-24T19:2	1:10-05:00		(Page 8 of 13
DPAQUE SURFACE		·					Input F	ie Name	: 3_06_	_E_U2	4.ribd22x			
01	02	03	04		05	0	6	07	7		08	09	10	11
Name	Zone	Construction	Azimut	h Orie	ntation	Area	(ft²)	Skyligh (ft		Roo	f Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 4	One Bed	R-38 Roof No Attic	0	F	ront	144	1.48	0			3	0.75	0.85	Yes
ENESTRATION /	GLAZING													
01	02	03	04	05	06	07	08	09	10)	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-fac	tor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Front	0	> 3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Front	0	3	4		12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Left	90	6	7		42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Left	90	R6S	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Right	270	1.5	3	1	4.5	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
PAQUE DOORS														
	01			02					03				04	
	Name			Side of Buildi	ng				Area (f	t²)			U-factor	
	Door			Front Wall					21				0.2	
	Door B	T		Back Wall					17.5				0.2	

Registration Date/Time: 2023-08-25 17:19:50 Registration Number: 223-P010107155A-000-000-000000-0000 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-24 17:21:46 Schema Version: rev 20220901



1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107165A-000-000-0 CA Building Energy Efficiency Standards - 2022 P		Report V	tion Date/Time: 2023-08-25 /ersion: 2022.0.000 Version: rev 20220901	17:19:50	HERS Provider: Report Generated: 2023	CalCERTS inc. I-08-24 17:21:46
CERTIFICATE OF COMPLIANCE - RESIDENTIA Project Name: Central Coast ADU OB Calculation Description: Title 24 Analysis	AL PERFORMANCE CON		Calculation Date/Tim Input File Name: 3_C		10-05:00	CF1R-PRF-01-E (Page 2 of 13)
NERGY DESIGN RATINGS				1		
		Energy Design Ratings			Compliance Margins	
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	30.4	30.9	30.6		•	
		Propose	d Design			
North Facing	28.3	25	27.1	2.1	5.9	3.5
East Facing	27	21.8	25.3	3.4	9.1	5.3
South Facing	27.8	27	28.3	2.6	3.9	2.3
West Facing	28.1	25.2	27.3	2.3	5.7	3.3
¹ Efficiency EDR includes improvements like a be ² Total EDR includes efficiency and demand resp ³ Building complies when source energy, efficien	onse measures such as p	id more efficient equipm hotovoltaic (PV) system a	nd batteries	DER net load hour limits are l	not exceeded	
 Standard Design PV Capacity: 1.70 kWdc 						

Registration Number: 223-P010107155A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-24 17:21:46

Registration Number: 223-P010107155A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OB Calculation Description: Title 24 Analysis

01		02	03	3		04			05		06			07	
Zone Nar	ne	Zone Type	HVAC Syste	em Name	z	one Floor A	rea (ft²)	Avg.	Ceiling Height	Wa	ter Heating Sys	stem 1		Status	
One Bee	ł	Conditioned	OU-	-11	523.99		9		8		DHW Sys 1			New	
AQUE SURFAC	ΈS														
01		02	03			04		05	06		07			08	
Name		Zone	Constructio	n	Az	imuth	Orie	ntation	Gross Area (f	t²)	Window a Area (Tilt (deg)	
Front Wal		One Bed	R-21 Wall			180		Back	143.92		21			90	
Lateral 1 Wa	all	One Bed	R-21 Wall			0	F	ront	128		36			90	
Lateral 2 Wa	all	Qne Bed	R-21 Wall			90		Left	128		84	84		90	
Lateral 2 Wa	ll 2	One Bed	R-21 Wall			90	ar. (*	Left	52.33		0			90	
Back Wall		One Bed	R-21 Wall	<u>)</u>	1	0 _ [F	ront	26.25		17.5	5		90	
Lateral 1 Wa	ll 2	One Bed	R-21 Wall		C.	270	i i	light)	40		4.5			90	
Lateral 1 Wa	3	One Bed	R-21 Wall			270 🍙		light	n (⁹⁰)	2	24			90	
Lateral 2 Wa	3	One Bed	R-21 Wall			180		Back	42.99	10 1	0			90	
Back Wall 2	2	One Bed	R-21 Wall			0	F	ront	93.66		0			90	
PAQUE SURFAC	ES - CATHEDRA	L CEILINGS													
01	02	03	04	0	5	06		07	08		09	10		11	
Name	Zone	Construction	Azimuth	Orient	tation	Area (f	t ²)	Skylight Area (ft ²)	Roof Rise (x 12)		Roof Reflectance	Roof Emi	ttance	Cool Roo	
Roof	One Bed	R-38 Roof No Attic	180	Ba	ck	274.5	2	0	3		0.75	0.85	5	Yes	
Roof 2	One Bed	R-38 Roof No Attic	0	Fro	ont	59.49)	0	3		0.75	0.85	5	Yes	
Roof 3	One Bed	R-38 Roof No Attic	0	Fro	ont	45.5		0	3		0.75	0.85	5	Yes	

Registration Number: 223-P010107155A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Central (Coast ADU OB		Calculation Date/Time	: 2023-08-24T19:21:10-05:00		(Page 4 of 13
Calculation Description	: Title 24 Analysis		Input File Name: 3_OB	_E_CZ4.ribd22x		
ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² - yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.82	12.41	1.85	14.68	-0.03	-2.27
Space Cooling	0.85	32.55	0.58	30.67	0.27	1.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.57	29.98	1.2	10.66
Self Utilization/Flexibility Credit				0		O
South Facing Efficiency Compliance Total	7.45	96.46	5.84	84.36	1.61	12.1
Space Heating	1.82	12.41	2.35	18.8	-0.53	-6.39
Space Cooling	0.85	1 32.55 R S	PROVI	D E 20.9	0.55	11.65
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.59	30.14	1.18	10.5
Self Utilization/Flexibility Credit				0		o
West Facing Efficiency Compliance Total	7.45	96.46	6.08	78.87	1.37	17.59



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE CO
Project Name: Central Coast ADU OB
Calculation Description: Title 24 Analysis

Regist	ration Number: 223-P010107155A-000-000-00000		Registration Date	/Time: 2023-08-25 17:19:50	HERS Provider: CalCERTS inc.
CA Bui	lding Energy Efficiency Standards - 2022 Resid	•	Report Version: 2 Schema Version:		Report Generated: 2023-08-24 17:21:46
CERTIF	ICATE OF COMPLIANCE - RESIDENTIAL P	ERFORMANCE COMPLIANCE METI	нор		CF1R-PRF-01-E
Project	t Name: Central Coast ADU OB		Calcula	tion Date/Time: 2023-08-24T19:21:10	-05:00 (Page 1 of 13)
-	ation Description: Title 24 Analysis		Input F	ile Name: 3_OB_E_CZ4.ribd22x	
			1		
	AL INFORMATION				
01	Project Name	Central Coast ADU OB			
02		Title 24 Analysis			
03	Project Location	-			
04		Atascadero	05	Standards Versio	
06	Zip code		07		n EnergyPro 9.0
08	Climate Zone		09	Front Orientation (deg/ Cardinal	
10	Building Type		11	Number of Dwelling Unit	
12	Project Scope	Newly Constructed	13	Number of Bedroom	s 1
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Storie	s 1
16	Existing Cond. Floor Area (ft ²)	n/a	17	Fenestration Average U-facto	r 0.28
18	Total Cond. Floor Area (ft ²)	523.99	19	Glazing Percentage (%) 28.30%
20	ADU Bedroom Count	n/a			·
	01 Building Complies with Computer			<u>ovider</u>	
			ification by a ce	tified HERS rater under the supervision of	a CEC-approved HERS provider.
	03 This building incorporates one or	more Special Features shown below			

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengıneering.com)

)						CF1R-PRF-01-E			
C	alculation	Date/Ti	me: 2023-08-24T1	19:21	:10-05:00	(Page 7 of 13)			
In	put File Na	le Name: 3_OB_E_CZ4.ribd22x		x					
04			05		06	07			
loor A	rea (ft ²)	Avg	. Ceiling Height	Wa	ter Heating System 1	Status			
523.9	9		8		DHW Sys 1	New			
	05		06		07	08			
	Orienta	ation	Gross Area (ft ²	2)	Window and Door Area (ft2)	Tilt (deg)			
	Bac	k	143.92		21	90			
	Fror	nt	128		36	90			
	Lef	t	128		84	90			

Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS inc. Report Version: 2022.0.000 Report Generated: 2023-08-24 17:21:46 Schema Version: rev 20220901

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-24 17:21:46

Z A L Engineering
ZAL ENGINEERING Mechanical Consultants 99 Pacific St, Ste 375G Monterey, CA 93940 Telephone (B31) 641-7739 Job No. 22002.00
N L STORE OF CALIFORNIA
CENTRAL COAST PRE-DESIGNED ADU CENTRAL COAST, CALIFORNIA
ONE BED T24 FORMS ELECTRIC
NO. DESCRIPTION DATE I . 2 . 3 . 4 . ENGINEER BY: . DRAWN BY: . CHECKED BY: . SHEET NUMBER . T24.9B .
SHEET OF THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUDES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

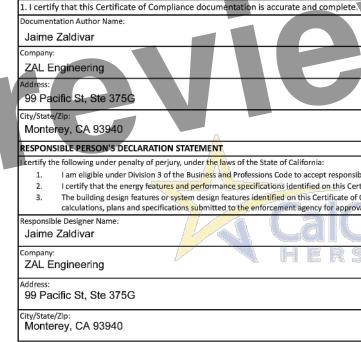
BID SET. BID SET. Atascadero F City of Atascadero F

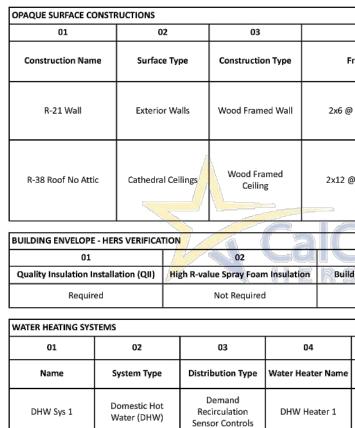
roject Name: Cen	tral Coast ADU OB		GRIMIAN	ICE COMPLIAN		c			-		19:21:10-05	:00		CF1R-PRF-01 (Page 12 of 1
	otion: Title 24 Analy	515					iput Fil	e Name:	3_OB_E_C	.24.11002.	2X			
SPACE CONDITIONIN		1												
01	02	03		04		05			06		07	08		09
Name	System Type	Heating Unit	Name	Heating Equipment Count		Cooling Unit Name		Cooling Equipment Count		t Fa	n Name	Distribution Name		Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump ! 1	System	1		Heat Pump Sys 1			1		n/a	n/a		Setback
IVAC - HEAT PUMPS														
01	02	03	04	05	0	6 07		08	09	10	11	12		13
				Heat	ng			Cooling						
Name	System Type	Number of Units	Efficie Typ	HSPF / HSPF2 / Can 4		47 Cap 1	7 1	iciency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type		ERS Verification
Heat Pump System 1	Ductless MiniSplit HP	V.	HSP	F 11.8 1420		200 9400 E		RSEER	24.6	15.4	Not Zonal	-		eat Pump System 1-hers-htpump
IVAC HEAT PUMPS -	HERS VERIFICATION		1	HEF	SPROVIDI			ER						
01	02	03		04		05		06		07		08		09
Name	Verified Airflow	Airflow Ta	irget	Verified EER/E	ER2	Verified SEER/SEER2		Verified Refrigerant Charge			erified PF/HSPF2	Verified Heating Cap 47		Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Not Require	d	Not Required		Yes			No	Yes		Yes
NDOOR AIR QUALIT	Y (IAQ) FANS													
01	02	03		04		05			06		07	08		09
Dwelling Unit	Airflow (CFM)	Fan Effic (W/CFN		IAQ Fan Typ	e	Includ Heat/En Recove	ergy		Recovery veness - SRE		udes Fault tor Display?	HERS Verification		Status
SFam IAQVentRpt 1-1	66	0.3030	3	Balanced		Yes			83		No	Yes		
Registration Number	_	Registration Date/Time: 2023-08-25 17:19: Report Version: 2022.0.000 Schema Version: rev 20220901				50 HERS Provider: Report Generated: 2023-				CalCERTS i 08-24 17:21:46				

CERTIFICATE OF COM Project Name: Centra Calculation Descriptio	Coast ADU (DB	FORMANCE COMF	LIANCI	E METHOD	CF1R-PRI Calculation Date/Time: 2023-08-24T19:21:10-05:00 (Page 11 Input File Name: 3_OB_E_CZ4.ribd22x								
WATER HEATERS - NEEA	HEAT PUMP													
01	02		03		04 05		06			07	08			
Name	Name # of Units 1		ank Vol. (gal)		Heat Pump NEEA Hea Brand Mod			Tank Locati	on Duct In	let Air Sourc	e Duct Outlet Air Source			
DHW Heater 1	DHW Heater 1 1		40	Ri		RheemXE401 0	[10H22	2U Outside	C	ne Bed	One Bed			
RECIRCULATION LOOPS			·			•		•			·			
01		02		C)3		04			05				
Water Heating System Name Number of			ecirculation Loops	i	oop Insulatio	n Thickness (in)	Recirculation Lo	op Location	Recircul	ation Pump Power (W)			
DHW Sys 1		$ \langle A \rangle$	1		1	.5		Conditio	ned		0			
WATER HEATING - COM	PACT DISTRIBU	JTION		3										
01		02	03		jan j)4	2	05	06		07			
Dwelling Unit type	Water Heating System		Master Bath distance of furthest fixture to Water Heater (ft)		Kitchen distance of furthest fixture to Water Heater (ft)			hest Third furthest re to Water Heater (ft)	Compactnes	s Factor	HERS Verification			
Dwelling	Dł	W Sys 1	n/a		n	n/a		n/a	0.7		n/a			
WATER HEATING - HERS	VERIFICATION	1												
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Registration Number: 223-P010107155A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-24 17:21:46





Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 83|-64|-7739 ZAL (zalengıneerıng.com)

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Py/State/Zip: Monterey, CA 93940 Phone: B31-641-7739 gially signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Image: CalCERTS content of the information. agistration Provider responsibility for the accuracy of the information. Registration Date/Time: 2023-08-25 17:19:0 HERS Provider: CalCERTS content of the information. tegistration Number: 223-0101071654-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:19:0 HERS Provider: CalCERTS content 2023-08-25 17:19:0 Responsibility for the accuracy of the information. A Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022-001 Report Generated: 2023-08-24 17:21:46 Schema Version: rev 20220901 Calculation Date/Time: 2023-08-24T19:21:10-05:00 (Page 10 of 12:11:46 Schema Version: rev 20220901 Input File Name: 3_0B_E_C24.ribd22x (Page 10 of 12:11:46 Schema Version: Title 24 Analysis Input File Name: 3_0B_E_C24.ribd22x (Page 10 of 12:11:46) O1 O2 O3 O4 O5 O5 O7 O8 O1 O2 O3 O4 O5 O5 O7 O8 One Construction Name Surface Type Construction Type Framing Total Cavity R-value
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R-21 Wall Exterior Walls Wood Framed Wall 2x6 @ 16 in. O. C. R-22 5 / None 0.047 Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic Cathedral Ceilings Wood Framed Ceiling 2x12 @ 16 in. O. C. R-39 None / None / None 0.028 Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/decking Radiant Barrier Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board
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Registration Date/Time: 2023-08-25 17:28:18 Registration Number: 223-P010107161A-000-000-000000-0000 HERS Provider: CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

14.91

99.49

110.67

Credit East Facing Efficiency

Compliance Total

17.16

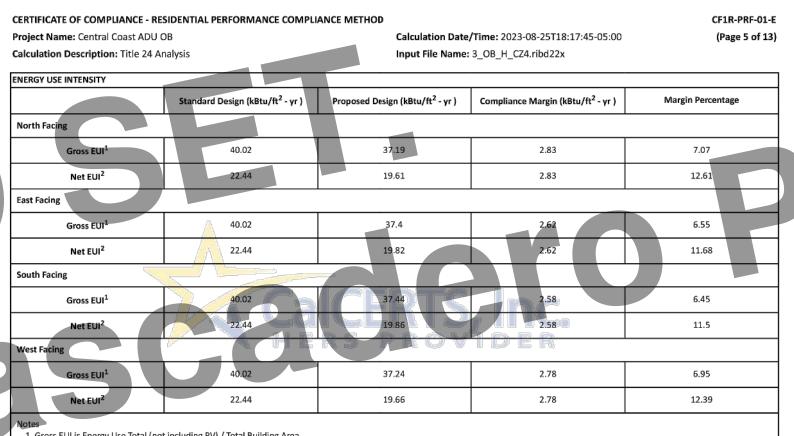
CalCERTS inc. Report Generated: 2023-08-25 16:18:15

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11.18

Project Name: C	entral Coast	ADU OB					Calculat	tion Date	/Time:	2023-0	08-25T18:1	7:45-05:00		(Page 8 of 13
Calculation Desc	cription: Title	24 Analysis					Input Fi	le Name	: 3_OB_	_H_CZ4	.ribd22x			
OPAQUE SURFACI	ES - CATHEDRA	AL CEILINGS												
01	02	03	04		05	0	6	07	,		08	09	10	11
Name	Zone	Construction	Azimut	h Orie	Orientation		Area (ft ²)		Skylight Area (ft ²)		Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 4	IU-1&2	R-38 Roof No Attic	315		n/a	144	1.48	0			3	0.75	0.85	Yes
ENESTRATION /	GLAZING													
01	02	03	04	05	06	07	08	09	10	,	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-fac	tor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall		135	3	4	1	12	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall		135	3	4	1	12	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		135	3	4		12	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall		225	6	7		42	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall		225	R6S	78	1	42	0.2	2	NFRC	0.23	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2		45	1.5	3	1	4.5	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 3		45	3	4	1	12	0.2	7	NFRC	0.23	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3		45	3	4	1	12	0.2	7	NFRC	0.23	NFRC	Bug Screen
DPAQUE DOORS														
	01			02					03				04	
	Name			Side of Buildi	ing				Area (f	t ²)			U-factor	
	Door			Front Wall			21					0.2		
	Door B			Back Wall					17.5				0.5	

Registration Number: 223-P010107161A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:18:15 Schema Version: rev 20220901



1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107161A-000-000-00 CA Building Energy Efficiency Standards - 2022 P		Report	tion Date/Time: 2023-08-25 / Version: 2022.0.000 Version: rev 20220901	17:28:18	HERS Provider: Report Generated: 202:	CalCERTS inc. 3-08-25 16:18:15
CERTIFICATE OF COMPLIANCE - RESIDENTIA Project Name: Central Coast ADU OB Calculation Description: Title 24 Analysis	LL PERFORMANCE COP	MPLIANCE METHOD	Calculation Date/Tim Input File Name: 3_O	le: 2023-08-25T18:17:/ /B_H_CZ4.ribd22x	45-05:00	CF1R-PRF-01-E (Page 2 of 13)
NERGY DESIGN RATINGS		Energy Design Ratings			Compliance Margins	
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	49.9	51.9	43.7			
		Propose	d Design			
North Facing	45.5	44	39.7	4.4	7.9	4
East Facing	46	46.6	41	3.9	5.3	2.7
South Facing	46.1	44.9	40.1	3.8	7	3.6
West Facing	45.7	43.2	39.2	4.2	8.7	4.5
 ¹Efficiency EDR includes improvements like a be ²Total EDR includes efficiency and demand resp ³Building complies when source energy, efficien Standard Design PV Capacity: 1.70 kWdc Proposed PV Capacity Scaling: North (1.70 	onse measures such as p cy and total compliance	d more efficient equpm hotovoltaic (PV) system a margins are greater than	and batteries	DER net load hour limits are r	ot exceeded	

Registration Number: 223-P010107161A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 16:18:15

CA Building Energy Efficiency Standards - 2022 Residential Compliance

NE INFORMA	TION														
01			02	03	3		04			05		06			07
Zone Nar	ne		Zone Type	HVAC Syste	em Name	z	one Floor A	rea (ft²)	Avg. C	Ceiling Height	Wa	ater Heating Sys	tem 1	5	status
IU-1&2	2		Conditioned	OU-	11		523.99)		8		DHW Sys 1			New
AQUE SURFAC	CES														
01			02	03			04	05	;	06		07			08
Name			Zone	Constructio	n	Az	imuth	Orientation		Gross Area (ft ²)	Window ar Area (f			Tilt (deg)
Front Wal	I	ļ	U-1&2	R-21 Wall			315	n/a	a	143.92		21			90
Lateral 1 W	all	I	U-1&2	R-21 Wall			135	n/a		128		36			90
Lateral 2 W	all	ų	U-1&2	R-21 Wall		225		n/a		128		84			90
Lateral 2 Wa	II 2	I	U-1&2	R-21 Wall		225		n/a	a	52.33		0			90
Back Wall		н	U-1&2	R-21 Wall	R-21 Wall		135) n/a	a	26.25		17.5	5		90
Lateral 1 Wa	ll 2	Ц	U-1&2	R-21 Wall	R-21 Wall		45	n/;	\mathbf{a}	40	-10	4.5			90
Lateral 1 Wa	ll 3	1	U-1&2	R-21 Wall			45 🕞	n/a	a Star	P 190 C	2	24			90
Lateral 2 Wa	II 3	I	U-1&2	R-21 Wall			315	n/a	a	42.99	20	0			90
Back Wall	2	I	U-1&2	R-21 Wall			135	n/a	а	93.66		0			90
Interior Surfa	ace	IU-1&	2>>IU-1&2	R-0 Wall			n/a	n/a	a 93.60			0			n/a
PAQUE SURFAC						-			07				40		44
01	<u> </u>	02	03	04	0	5	06		07	08	_	09	10		11
Name	z	one	Construction	n Azimuth	Orien	tation	Area (ft	²) SK	ylight Area (ft ²)	ea Roof Rise (x in 12)		Roof Reflectance	Roof Emitt	Roof Emittance Cool R	
Roof	IU	-1&2	R-38 Roof No Attic	315	n,	/a	274.52	2	0	3		0.75	0.85		Yes
Roof 2	IU	-1&2	R-38 Roof No Attic	315	n,	/a	59.49		0	3		0.75	0.85		Yes
Roof 3	IU	-1&2	R-38 Roof No Attic	315	n,	/a	45.5		0	3		0.75	0.85		Yes
egistration Nui A Building Ene	22		161A-000-000-000 dards - 2022 Re	0000-0000 sidential Compliance	2		Registration Report Vers Schema Ve	ion: 2022.	2023-08-25 1 0.000	17:28:18		HERS Provid Report Gen	der: erated: 2023	-08-25	CalCERTS 16:18:15

Calculation Date/Time: 2023-08-25T18:17:45-05:00

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

alculation	Description:	Title	24	Analysis
	CI IN AN A A DW			

Project Name: Central	Coast ADU OB		Calculation Date/Time	: 2023-08-25T18:17:45-05:00		(Page 4 of 13
Calculation Description	1: Title 24 Analysis		Input File Name: 3_OB	_H_CZ4.ribd22x		
ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² - yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.48	11.01	1.25	9.44	0.23	1.57
Space Cooling	0.73	30.39	0.52	24.51	0.21	5.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
South Facing Efficiency Compliance Total	17,16	110.67	14.96	95.76	2.2	14.91
Space Heating	1.48	11.01		7.48	0.46	3.53
Space Cooling	0.73	1 30.39 R S		D E (22.92	0.22	7.47
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
West Facing Efficiency Compliance Total	17.16	110.67	14.72	92.21	2.44	18.46



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE
Project Name: Central Coast ADU OB

roject Na alculatior	ame: Central Coast ADU OB n Description: Title 24 Analysis NFORMATION Project Name Run Title Project Location	Schema ERFORMANCE COMPLIANCE METHOD Central Coast ADU OB Title 24 Analysis	Calcul	: rev 20220901 ation Date/Time: 2023-08-25T18:17:45- File Name: 3_OB_H_CZ4.ribd22x	CF1R-PRF-01-I 05:00 (Page 1 of 13
roject Na alculation EENERAL IN 01 02 03	ame: Central Coast ADU OB n Description: Title 24 Analysis NFORMATION Project Name Run Title Project Location	Central Coast ADU OB			
roject Na alculation EENERAL IN 01 02 03	ame: Central Coast ADU OB n Description: Title 24 Analysis NFORMATION Project Name Run Title Project Location	Central Coast ADU OB			
roject Na alculation EENERAL IN 01 02 03	ame: Central Coast ADU OB n Description: Title 24 Analysis NFORMATION Project Name Run Title Project Location	Central Coast ADU OB			
ENERAL IN 01 02 03	n Description: Title 24 Analysis NFORMATION Project Name Run Title Project Location				
01 02 03	Project Name Run Title Project Location		-		
01 02 03	Project Name Run Title Project Location				
02 03	Run Title Project Location				
03	Project Location	The ZH Analysis			
	-				
		– Atascadero	05	Standards Version	2022
06	Zip code		07	Software Version	
08	Climate Zone		09	Front Orientation (deg/ Cardinal)	
10	Building Type	Single family	11	Number of Dwelling Units	
12		Newly Constructed	13	Number of Bedrooms	1
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Stories	1
16		n/a	17	Fenestration Average U-factor	0.27
18		523.99	19	Glazing Percentage (%)	28.30%
20	ADU Bedroom Count				
			had y		
	CE RESULTS				
01	Building Complies with Computer			<u>ovider</u>	
02			n by a ce	rtified HERS rater under the supervision of a	a CEC-approved HERS provider.
03	I his building incorporates one or r	nore Special Features shown below			

Report Version: 2022.0.000

Schema Version: rev 20220901

Report Generated: 2023-08-25 16:18:15

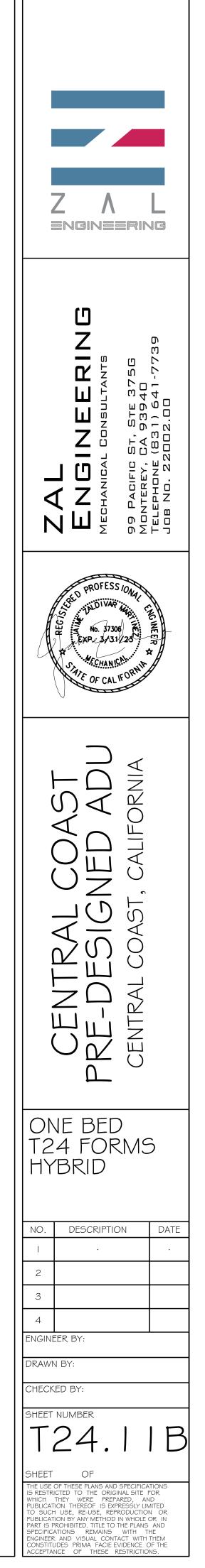
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(Page 7 of 13)

Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



BID SET. City of Atascadero

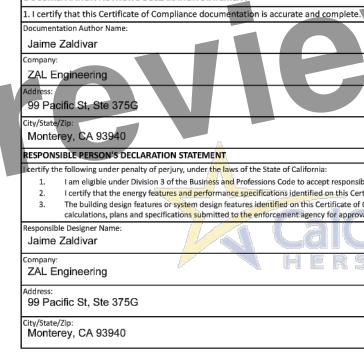
roject Name: Cen	MPLIANCE - RESID tral Coast ADU OB otion: Title 24 Analy		ORMAN	ICE COMPLIA	NCE M	IETHO	Calcu		-	/Time: 202 3_OB_H_(18:17:45-05	:00		CF1R-PRF-01- (Page 12 of 13
PACE CONDITIONIN		515					mpu	- rne	Name.	5_06_H_(.24.11002	28			
01	02	03		04			05			06	1	07	08		09
01	02	03					05					07	08		
Name	System Type	Heating Unit	Name	Heating Equi Count	pment	Coo	ling Unit Na	me	Cooling Equipment Count		Fai	n Name	Distribution N	lame	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump S 1	System	1		Hea	Heat Pump System 1		1			n/a	n/a		Setback
IVAC - HEAT PUMPS							;								
01	02	03	04	05	0	16	07		08	09	10	11	12		13
				Hea	ating					Cooling					
Name	System Type	Number of Units	Efficie Typ	* I HSPE2		p 47	Cap 17		ciency ype	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification	
Heat Pump System 1	Ductless MiniSplit HP	V.	HSF	2F 10	10 22000 15000 EERSEER 20 12.7 Not Zonal Single Speed			Heat Pump System 1-hers-htpump							
IVAC HEAT PUMPS -	HERS VERIFICATION			HE	RS	5	PR	(C	Ň	ΠD	ER				
01	02	03	403	04			05			06	T	07	08		09
Name	Verified Airflow	Airflow Ta	irget	Verified EER	/EER2	s	Verified SEER/SEER2		Verified Refrigerant Charge		Verified HSPF/HSPF2		Verified Heating Cap 47		Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Not Requi	red	Not Required		No			No	Yes		Yes	
NDOOR AIR QUALIT	Y (IAQ) FANS														
01	02	03		04			05			06		07	08		09
Dwelling Unit	Airflow (CFM)	Fan Effic (W/CFN		IAQ Fan T	ype		Includes leat/Energy Recovery?	,	-	Recovery veness - SRE		ides Fault tor Display?	HERS Verifica	tion	Status
SFam IAQVentRpt 1-1	66	0.3030	3	Balance	d		Yes			83		No	Yes		
Registration Number	r: 223-P010107161A-000 :fficiency Standards - 2			liance		Re	gistration D port Versior hema Versio	n: 202	2023-0 2.0.000	8-25 17:28:18 901			S Provider: ort Generated:	2023-(CalCERTS in 08-25 16:18:15

ERTIFICATE	OF COMPLIA	NCE - RESIDE	NTIAL PERFO	RMANCE COM	PLIANCE								1R-PRF-01-E
Project Name	e: Central Coa	ast ADU OB				Calcu	lation Dat	te/Ti	me: 2023-08-2	25T18:17:45-0	05:00	(Pa	age 11 of 13
Calculation D	escription: T	itle 24 Analysi	s			Inpu	t File Nam	e: 3_	OB_H_CZ4.rib	d22x			
WATER HEATE	RS												
01	02	03	04	05	06	6 07	08	08 09		10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heat Efficie Typ	ency Efficiency	Rated In Type		Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneo us	1	o	UE	F 0.93	Btu/H	łr	200000	0	n/a	n/a	
RECIRCULATIO	N LOOPS)2		03				04		05	
Water Hea	ating System N	lame N	lumber of Rec	irculation Loops	1	oop Insulation Thic	kness (in)		Recirculation	Loop Locatio	rculation Pump Power (W)		
[OHW Sys 1			1		1.5 Conditio						0	
							THE			<u>_</u>			
		DISTRIBUTION											
01		02		03				1 h	05		06)7
Dwelling U	Init type	Water Heatin Name	g System	Master Bath dista urthest fixture to Heater (ft)	Water	Kitchen distanc furthest fixture to Heater (ft)			est Third furthe to Water Heat (ft)		actness Factor	HERS Ve	rification
Dwel	ling	DHW Sy	's 1	n/a		n/a			n/a		0.7	n	i/a
	NG - HERS VER	IFICATION											
01		02		03		04			05		06	()7
Nan	ne	Pipe Insul	ation	Parallel Pipir	ıg	Compact Distrib	ution	Comp	act Distribution Type	n Recircu	lation Control	Shower Drain Water Hea Recovery	
							equired Basic					Not Required	

Registration Number: 223-P010107161A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 16:18:15



R-21 Wall	PE - HERS VERIFICATION 1 02 n Installation (QII) High R-value Spray Foam Insulation Bui					
R-38 Roof No Attic	c Cathedra	al Ceilings		2x12 @		
R-0 Wall	Interio	or Walls	Wood Fram	ed Wall	2x4 @	
		1				
BUILDING ENVELOPE	- HERS VERIFICA				<u> </u>	
01			02			
Quality Insulation In	stallation (QII)	High R-v	alue Spray Foan	n Insulation	Build	
Require	ed					
WATER HEATING SYST	TEMS					
01	02		03	04	ı	
Name	System Type	Dist	ribution Type	Water Hea	ter Name	
DHW Sys 1	Domestic Ho Water (DHW)	R	Demand ecirculation nsor Controls	DHW He	eater 1	

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> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

oject Name: Central	LIANCE - RESIDENTIA	L PERFORMANCE CON	APLIANCE M	ETHOD						CF1R-PRF-01-E	
	Coast ADU OB n: Title 24 Analysis				ile Name: 3			:17:45-05	:00	(Page 13 of 13)	
	OR'S DECLARATION STA	TEMENT		mput	The Twallie. 5	_00_11_024	+.11DUZZX				
		umentation is accurate a	nd complete.								
cumentation Author Nam	e:			Docume	ntation Author S	Signature: —	\$-T				
mpany:				Signatur	e Date:		20807				
AL Engineering					-08-25 17:2						
dress: 99 Pacific St, Ste 37	75G			M373	RS Certification I 306	Identification	(If applicab	le):			
y/State/Zip:				Phone:							
Ionterey, CA 93940	0 DECLARATION STATEME	<u>A</u>		831-6	641-7739						
 I am eligible und I certify that the The building des 	er Division 3 of the Busines energy features and perfor ign features or system desi ns and specifications submi	e laws of the State of Califo is and Professions Code to a mance specifications identi gn features identified on thi tted to the enforcement age	ccept responsib fied on this Cert s Certificate of (ificate of Compliance Compliance are consi al with this building p Respons Date Sig	e conform to the stent with the in ermit applicatio ible Designer Sig	requirement: formation pro n. gnature:	s of Title 24	, Part 1 and F		**	
dress: 99 Pacific St, Ste 37	75G			License: M373	306						
y/State/Zip: Nonterey, CA 93940	0			Phone: 831-6	641-7739						
oject Name: Central	Coast ADU OB	L PERFORMANCE CON	APLIANCE M	Calcula	ation Date/Ti	ime: 2023-			:00	CF1R-PRF-01-E (Page 10 of 13)	
lculation Description	n: Title 24 Analysis			Input I	ile Name: 3	_OB_H_CZ4	1.ribd22x				
AQUE SURFACE CONS			1	<u>^</u>	0.5			07		0	
01 Construction Name	02 Surface Type	03 Construction Type	F	04 raming	05 Total Cavity R-value	Interior / Contin	06 nterior / Exterior Continuous R-value		08 Assembly Layers		
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @	24 in. O. C.			4.2 / None 0.0		Inside Finish: Gypsum Board Sheathing / Insulation: R-4.2 Sheath Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco		
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @	9 16 in. O. C.	R-39	None /	None / None		Roof De Siding/sheat Cavity / Fram	f (Asphalt Shingle) :k: Wood hing/decking e: R-39 / 2x12 Gypsum Board	
	Interior Walls	Wood Framed Wall	2x4 @	16 in. O. C.	R-0	None /	None	0.277	Cavity / Frame	Gypsum Board : no insul. / 2x4 n: Gypsum Board	
R-0 Wall					ovi		i R				
ILDING ENVELOPE - H		H					04				
ILDING ENVELOPE - HI 01		02	ion Putt	03	eakage		CENTER			05 EM50	
LDING ENVELOPE - HI 01 vality Insulation Insta		alue Spray Foam Insulat	ion Buik	ling Envelope Air L	eakage		CFM50		c	FM50	
LDING ENVELOPE - HI 01			ion Buik		eakage		СҒМ50 п/а		C		
LDING ENVELOPE - HI 01 Jality Insulation Insta Required	llation (QII) High R-v	alue Spray Foam Insulat	ion Buik	ling Envelope Air L	eakage				c	FM50	
LDING ENVELOPE - H 01 Iality Insulation Insta Required	llation (QII) High R-v	alue Spray Foam Insulat	ion Buik	ling Envelope Air L	eakage 0	6		7	08	FM50	
LDING ENVELOPE - HI 01 uality Insulation Insta Required TER HEATING SYSTEM	Ilation (QII) High R-v	Not Required		ling Envelope Air L N/A	0 Solar H	leating	n/a	pact		FM50 n/a	
UILDING ENVELOPE - HI 01 Quality Insulation Insta Required VATER HEATING SYSTEM 01 Name	Ilation (QII) High R-v	alue Spray Foam Insulat Not Required 03 rribution Type Water H Demand	04	ling Envelope Air L N/A 05	0 Solar H	leating tern	n/a 0 Com	pact oution	08	FM50 n/a 09 Water Heater	

