ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT

- 1. Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on
- 2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.

Create your site plan showing where your ADU will be located on your property.

- Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- 6. If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

- 1. All submitted plan sets must be accompanied by a Building Permit Application.
- 2. All applications must include a site survey.

J SEPTIC SYSTEM (WHERE REQUIRED)

BUILDING DEPARTMENT

- 1. All applications must include a Construction Waste Management Plan.
- 2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

PHOTOVOLTAIC SYSTEM (ALL PROJECTS) RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED) **BUILDING CODES USED - 2022**

1A. Atascadero Municipal Code

1. California Building Code

2. California Residential Code

3. California Electrical Code

4. California Plumbing Code

5. California Mechanical Code

6. California Fire Code

7. California Green Building Standards Code 8. California Energy Efficiency Standards Code

PROJECT INFORMATION

PARCEL INFORMATION APN STREET ADDRESS CITY, STATE, ZIP

EXISTING HOME SIZE (in SF)

LOT SIZE (in SF)

PARCEL OVER 10% SLOPE GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION YES EERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO APPLICABLE SRA FIRE HAZARD

SEVERITY ZONE (WUI) PROJECT INFORMATION

NUMBER OF STORIES ONE (1)

OCCUPANCY GROUP - R3 TYPE OF CONSTRUCTION - STANDARD/TYPE VB

MAIN RESIDENCE HAS

FIRE SPRINKLERS

YES NO

SERVED BY SEPTIC SYSTEM

PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNFORM CODE REQUIREMENTS DEVELOPED BY THE

OFFICE OF THE STATE FIRE MARSHAL (OSFM), REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS

NAME

PROPERTY OWNER

NAME

ADDRESS

CITY, STATE, ZIP

PHONE/EMAIL

ARCHITECTURAL

DRAWING INDEX CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GO.0 COVER SHEET & PROJECT INFORMATION

- G0.1 OWNER PROVIDED SITE PLAN G1.0 GENERAL NOTES
- G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS

G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS

A1.0 RANCH - FLOORPLANS & ELEVATIONS

- A1.1 RANCH ROOF PLAN & RCP
- A1.2 RANCH SECTIONS
- A2.0 CRAFTSMAN FLOORPLANS & ELEVATIONS
- A2.1 CRAFTSMAN ROOF PLAN & RCP
- A2.2 CRAFTSMAN SECTIONS
- A3.0 MODERN FLOORPLANS & ELEVATIONS
- A3.1 MODERN ROOF PLAN & RCP
- A3.2 MODERN SECTIONS
- A4.0 BUNGALOW FLOORPLANS & ELEVATIONS
- A4.1 BUNGALOW ROOF PLAN & RCP
- A4.2 BUNGALOW SECTIONS
- A5.0 EXTERIOR WALL ASSEMBLY DETAILS
- A5.1 EXTERIOR WALL ASSEMBLY DETAILS
- A5.2 EXTERIOR DETAILS
- A5.3 INTERIOR DETAILS & WALL PARTITIONS A6.0 SCHEDULES - ONE BEDROOM PLUS

STRUCTURAL

- SO.O STRUCTURAL NOTES
- TYPICAL DETAILS ROOF/CEILING FRAMING & FOUNDATION PLAN
- FOUNDATION DETAILS
- ROOF FRAMING DETAILS
- S2.2 ROOF FRAMING DETAILS (CONT.) MECHANICAL
- MP0.1 GENERAL NOTES- MECHANICAL AND PLUMBING MP0.2 SCHEDULES & GAS DIAGRAMS
- MP2.1E MECHANICAL & PLUMBING PLANS ELECTRIC MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID

IERGY COMPLIANCE/TITLE 24

- T24.13B TITLE 24 FORMS- ELECTRIC T24.14B TITLE 24 FORMS- ELECTRIC
- T24.15B TITLE 24 FORMS HYBRID T24.16B TITLE 24 FORMS - HYBRID



CENTRAL COAST PRE-DESIGNED ADU

PROJECT DIRECTORY

ARCHITECT OF RECORD CONSULTING ARCHITECT WORKBENCH RYAN BROCKETT ARCHITECT INC. 189 Walnut Avenue Santa Cruz, CA 95060 104 S. Main St. Unit B Templeton, CA 93565 831.227.2217 805.400.3025 info@workbenchbuilt.com info@brockitecture.com

MECHANICAL & PLUMBING ENGINEER STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC ZAL ENGINEERING 4245 Capitola Rd, Suite #204 Capitola, CA 95010 99 Pacific St, Suite #375G Monterey, CA 93940

831.854.2484 831.641.7739 contact@cmtaylorse.com contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 746 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN. THE GREAT ROOM MAY BE DIVIDED TO CREATE A SECOND BEDROOM. REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS

PROJECT CHECKLIST CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE) For this option, use the listed sheets and details **COASTAL RANCH**

- **BACKYARD CRAFTSMAN**
- CALIFORNIA MODERN
- A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4
- For this option, use the listed sheets and details: Roof Details: A5.2
- For this option, use the listed sheets and details: METAL STANDING SEAM Roof Details: A5.2
- APPLICANT REVISION PRIMARY SIDING MATERIAL (SELECT ONE)
- For this option, use the listed sheets and details: VERTICAL PLANK FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E1 For this option, use the listed sheets and details:
- **BOARD & BATTEN FIBER CEMENT** Wall Assembly Details: A5.0 or A5.1 - TYPE E2 For this option, use the listed sheets and details: HORIZONTAL LAP FIBER CEMENT
- Wall Assembly Details: A5.0 or A5.1 TYPE E3 For this option, use the listed sheets and details: SHINGLE FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E4
- For this option, use the listed sheets and details: STUCCO Wall Assembly Details: A5.0 or A5.1 - TYPE E5
- APPLICANT REVISION
- DESIGN OPTIONS (SELECT IF DESIRED) Requires foundation coordination. See detail 4/A5.3 **CURBLESS SHOWER**
- WALL AT GREAT ROOM/DEN
 - Requires framing coordination. See detail 6/A5.3 EXTERIOR SLIDING DOOR AT DEN Requires framing coordination.
- APPLICANT REVISION
- MECHANICAL SYSTEM (SELECT ONE) ALL-ELECTRIC SYSTEM
- HYBRID (ELECTRIC W/ GAS H20 HEATER)

OWNER PROVIDED SITE PLAN COMPLETE

- GAS RANGE REQUIRED COMPLIANCE (CHECK IF APPLICABLE)
- PARCELS WITHIN THE WUI/SRA ZONE MUST USE PARCEL LOCATED WITHIN FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND WILDLAND URBAN INTERFACE MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; WUI/SRA ZONE **USE A5.1 "EXTERIOR DETAILS - WUI ZONES"**
- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL EXTERIOR WALL CLOSER THAN 5' ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL TO PROPERTY LINE AREA. REFERENCE A5.0 "FIRE RATING NOTES" SITE PLAN (REQUIRED)

Complete Sheet GO.1, Owner-Provided Site Plan

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:



EA CALCULATIONS - ONE BEDROOM PLUS







Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H

CITY REVIEW SET

BROCKETT /ARCHITECT

workbench

189 WALNUT AVENUE

SANTA CRUZ, CA 95060

WORKBENCHBUILT.COM

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

S INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY GEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND TH

COVER SHEET & PROJECT INFORMATION -ATASCADERO

LOCATION TO NEAREST FIRE HYDRANT

BIDSCACE Preview By Barbelow Information. This checklist is provided to help guide applicants through the applicants through the plan document published by the Commission Dander.

SITE PLAN INFORMATION	ment published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements. EXPLANATION
NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS INCLUDE PROPANE TANK IF APPLICABLE.
LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
PARKING SPACES, TRAFFIC FLOW DIRECTION	
PLANTED AREAS AND OUTDOOR USE AREAS	
LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	

SITE PLAN LEGEND Use these symbols to draw and annotate your site plan						
N	NORTH ARROW (INDICATES LOCATION OF NORTH)					
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES					
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)					
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS					
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS					
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED					
	ARROW - USE TO POINT TO DRAWING AS NEEDED					

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.129

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT SIKS AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST RE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

OWNER PROVIDED SITE PLAN -ATASCADERO

G0.1

SCALE : AS NOTED

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND **SPECIFICATIONS**
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED

DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE

- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR **DETAILED OTHERWISE**
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF

- EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- $\stackrel{\mathcal{H}}{=} |28$. Contractor shall confine operations at the site to areas permitted BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES OF CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT
- 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- 33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- 1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER. 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH CBC 706A2.1.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5 RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
- ALL JAS COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
 - CEILING RECESSED DOWNLIGHT LUMINARIES
 - LED LUMINARIES WITH INTEGRAL SOURCES
 - PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- **GU-24 BASED LED LIGHT SOURCES**
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE **FOLLOWING REQUIREMENTS:**
 - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST
 - OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH
 - AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3 PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
 - ASTRONOMICAL TIME SWITCH CONTROL
- **ENERGY MANAGEMENT CONTROL SYSTEMS** 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.**
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19. PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD
- OR MICROWAVE/HOOD UNIT PROVIDE SEPARATE CIRCUIT FOR DISWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF **ELECTRIC DRYERS PER CEC 220.54.**
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

ABBREVIATIONS

ANCHOR BOLT

AREA DRAIN

ADJACENT

ALUMINUM

ALTERNATE

AVERAGE

BUILDING

BLOCKING

BOTTOM

BETWEEN

BOTH WAYS

CATCH BASIN

CUBIC FEET

CAULKING

CLEANOUT

COLUMN

CONCRETE

CENTER

DOUBLE

CONTINUOUS

CERAMIC TILE

COLD WATER

DEPARTMENT

DIAMETER

DIAGONAL

DIMENSION

DEAD LOAD

DRAWING

EXISTING

DISHWASHER

EXPANSION BOLT

EXPANSION JOINT

EDGE NAILING

ELECTRICAL PANEL

ENCLOSURE

EQUIPMENT

FLOOR DRAIN

FINISH FLOOR

FLOW LINE

FLASHING

FACE OF CONCRETE FACE OF STUD

FACE OF WALL

FRAMING FOOT

FOOTING

GAUGE

GALVANIZED

HOSE BIB

HOLDOWN

HEADER

HANGER

HOLLOW METAL

HORIZONTAL

HOT WATER

GENERAL CONTRACTOR

GYPSUM WALL BOARD

HEAT/VENTILATION/AIR COND.

FLOOR

FINISH

EXTERIOR

ELECTRIC/ELECTRICAL

ELEVATOR/ELEVATION

DOWN

DOOR

CEILING

CLEAR

CONTROL JOINT

CLEANOUT TO GRADE

BUILT-UP ROOFING

BOARD

ASPHALT CONCRETE

ABOVE FINISH FLOOR

ARCHITECT/ARCHITECTURAL

INCH/INCHES

INFORMATION

INSULATION

INTERIOR

KITCHEN

LAG BOLT

POUNDS

LINEAR FOOT

LIVE LOAD

LAG SCREW

MAXIMUM

MACHINE BOLT

MANUFACTURED

MANUFACTURE

MISCELLANEOUS

NOT IN CONTRACT

NOT APPLICABLE

NOT TO SCALE

ON CENTER

OPENING

PLYWOOD

PAVEMENT

RETURN AIR

ROOF DRAIN

REFERENCE

REQUIRED

REVISION

SCHEDULE

SECTION

STORM DRAIN

SQUARE FOOT

SPECIFICATION

SOLID SURFACE

STANDARD

STRUCTURAL

SUSPENDED

TEMPERED

TYPICAL

VERTICAL

WITH

WOOD

WINDOW

WITHOUT

WATERPROOF

VERIFY IN FIELD

WATER CLOSET

WATER HEATER

TOP OF CURB

SEE ELECTRICAL DRAWINGS

SEE PLUMBING DRAWINGS

SEE STRUCTURAL DRAWINGS

UNLESS OTHERWISE NOTED

VENTILATION/VENTILATOR

REFRIGERATOR

ROUGH OPENING

PAINTED

OVERHEAD/OVERHANG

POUNDS PER LINEAL FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

REFLECTED CEILING PLAN

PRESSURE TREATED

MECHANICAL

MICROWAVE

MINIMUM

MOUNTED

METAL

NEW

OVER

INSUL

MB

MFR

MTL

REQD

STRUCT

UON

- 12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
- 13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- 15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] 16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
- 17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0(s)).
- 18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY. 19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-
- SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
- 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
- 22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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GENERAL NOTES

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 et seg., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development OSHPD Low Rise Additions and Alterations **CHAPTER 4** RESIDENTIAL MANDATORY MEASURES **SECTION 4.102 DEFINITIONS** 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) NCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT
 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106 SITE DEVELOPMENT 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: Water collection and disposal systems French drains Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater **Exception**: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the

proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

overcurrent protective device.

accordance with the California Electrical Code.

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or quest rooms The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all all required EV spaces at a minimum of 40 amperes. e service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. eption: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be by a number equal to the number of EV chargers installed over the five (5) percent required a. Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV EV chargers are installed for use. **2.EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. ception: Areas of parking facilities served by parking lifts. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable 4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options: 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

4.106.4.2.3 EV space requirements.

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch

raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall

originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

proximity to the location or the proposed location of the EV space. Construction documents shall identify the

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. gallons per minute at 80 psi. Showerheads shall be certified to the performance waterSense Specification for Showerheads. **4.303.1.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. **4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A). TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 PRODUCT CLASS MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (≤ 5.0 ozf) Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28 Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, 4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY** 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing 1.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING I.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste Exceptions: Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. I.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be Identify construction methods employed to reduce the amount of construction and demolition waste Specify that the amount of construction and demolition waste materials diverted shall be calculated weight or volume, but not by both. .408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and ion waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates

compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

- 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section
- 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

- 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
 - 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
 - Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major
 - appliances and equipment. b. Roof and yard drainage, including gutters and downspouts
 - c. Space conditioning systems, including condensers and air filters.
 - d. Landscape irrigation systems. e. Water reuse systems
- 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent
- and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve
- 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- 8. Information on required routine maintenance measures, including, but not limited to, caulking,
- painting, grading around the building, etc.
- 9. Information about state solar energy and incentive programs available.
- 10. A copy of all special inspections verifications required by the enforcing agency or this code.
- 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
- 12. Information and/or drawings identifying the location of grab bar reinforcements.
- 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a

building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

workbench

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TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

URINALS

SHOWER HEADS (RESIDENTIAL)

LAVATORY FAUCETS (RESIDENTIAL)

LAVATORY FAUCETS IN COMMON & PUBLIC

FLOW RATE

1.8 GMP @ 80 PSI

MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20

0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

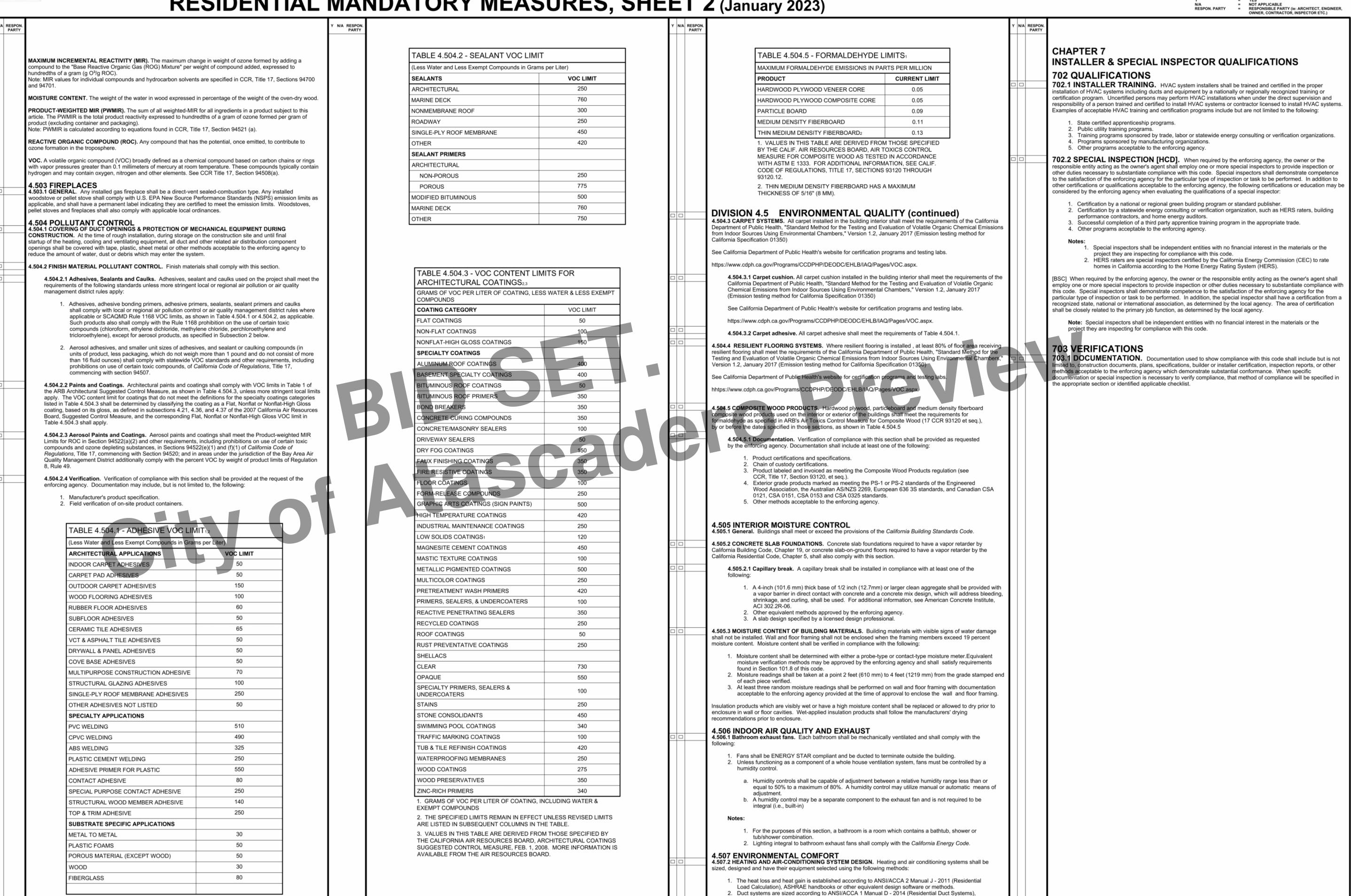
1.28 GAL/FLUSH

0.125 GAL/FLUSH



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



workbench

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1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

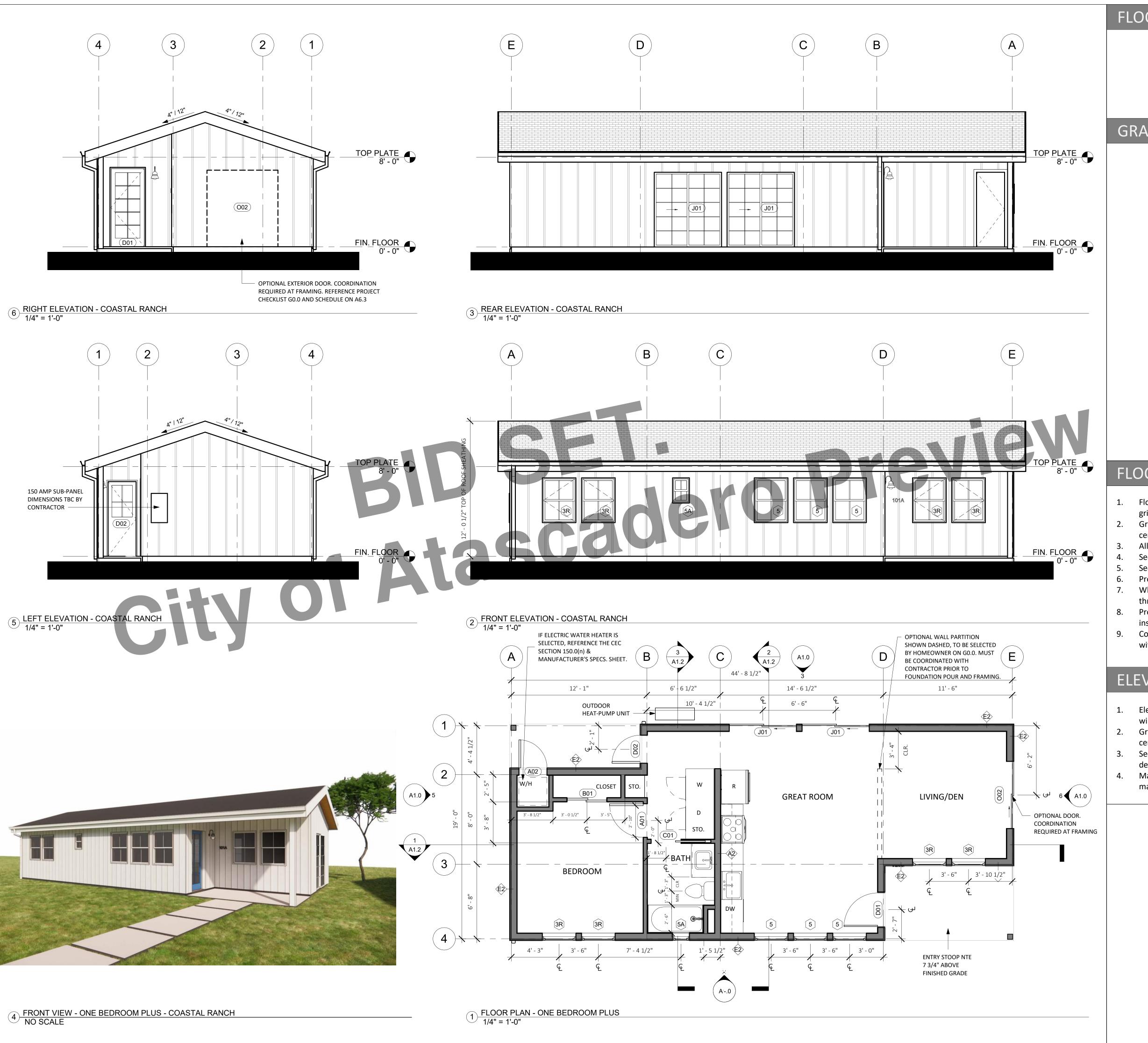
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ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Exception: Use of alternate design temperatures necessary to ensure the system functions are

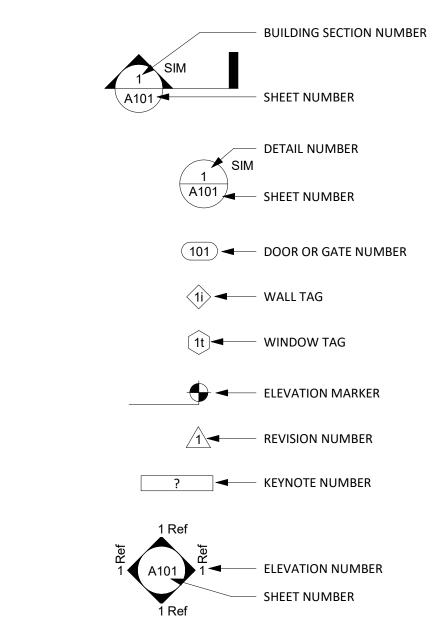


FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

—**∽**–(N) (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.

- thresholds with maximum 1/2" elevation change.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- Materials indicated are shown generically. Actual



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ONE BEDROOM -746 GSF

J

- gridline, unless otherwise noted.
- centerline of structural elements, unless otherwise noted.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- 7. Where thresholds are required, provide accessible
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- details.
- materials are as selected by the Owner.

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RANCH -FLOORPLANS & **ELEVATIONS**

1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- ☐ GFCI RECEPTACLE
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
 - SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- \$MS MOTION-SENSOR SWITCH ⇒vs VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS**

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

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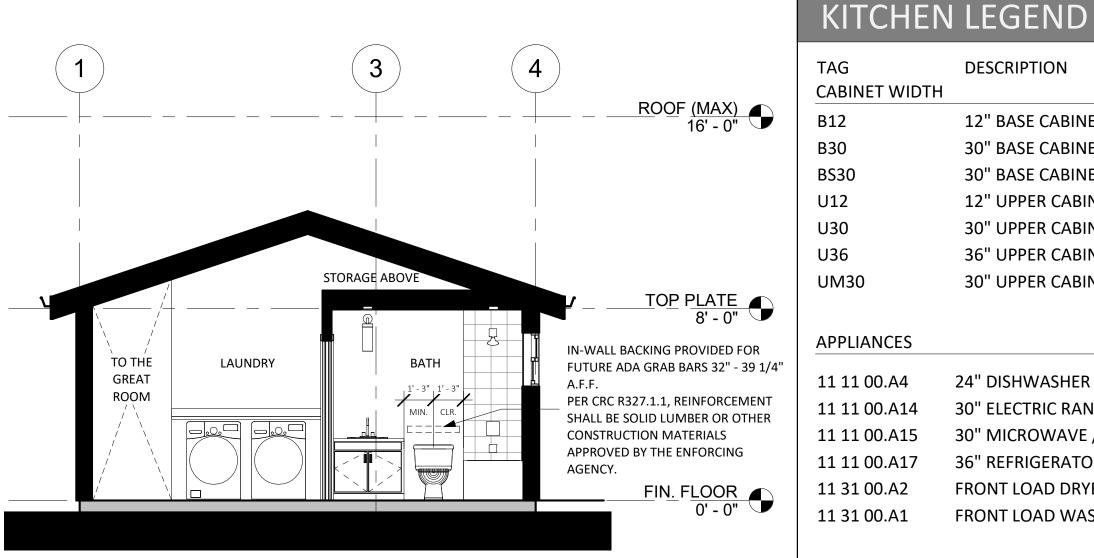
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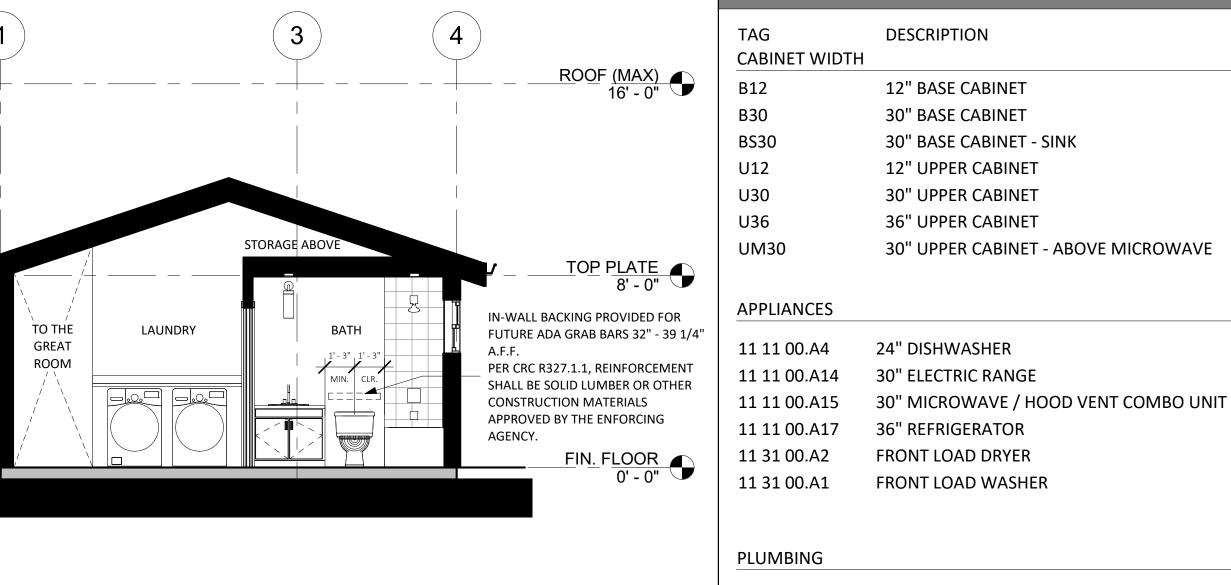
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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

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RANCH - ROOF PLAN & RCP

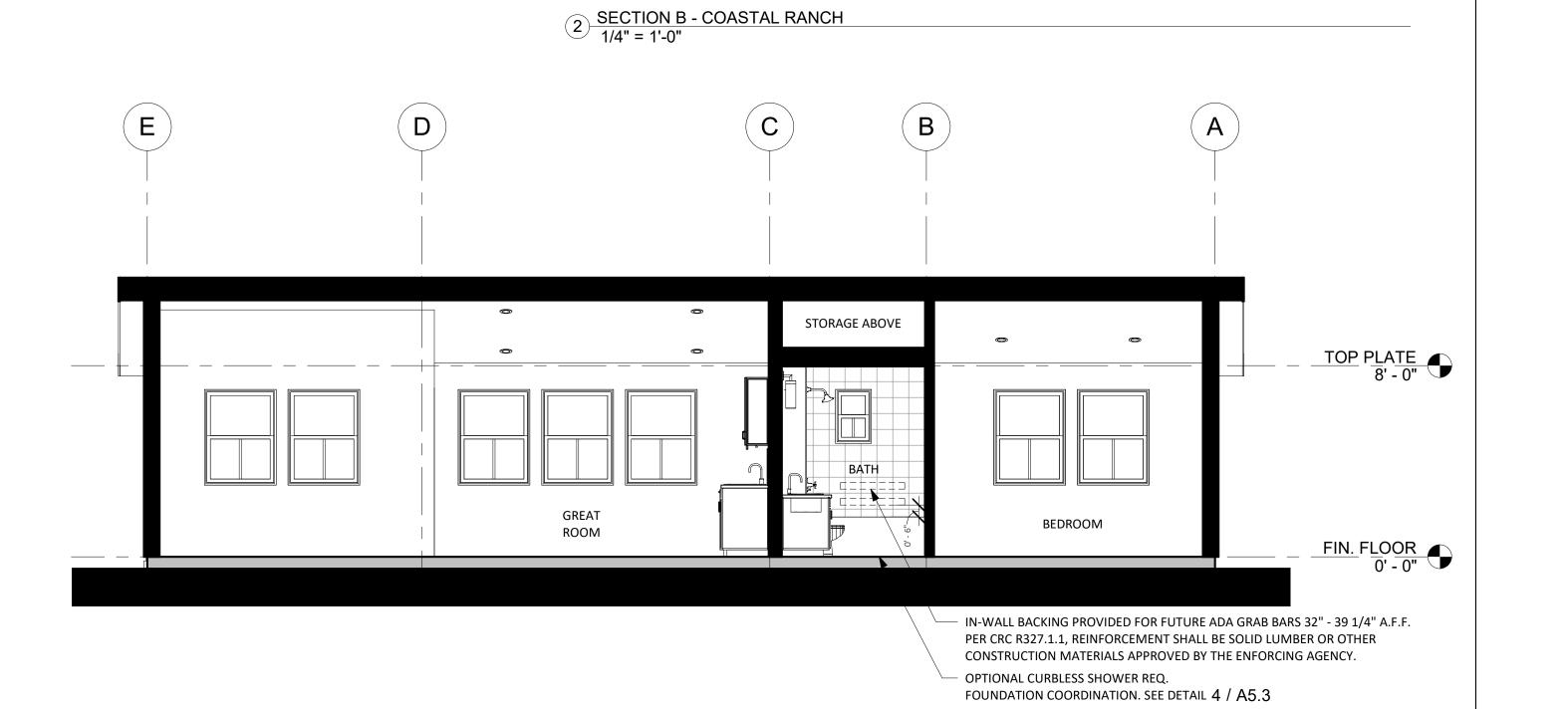




22 40 00.A4 30" KITCHEN SINK WITH FAUCET

City of Atascade TOP PLATE 8' - 0" 6 A5.0 11 11 00.A4 BACK PATIO _[11 11 00.A4]

1 SECTION A - COASTAL RANCH 1/4" = 1'-0"



3 SECTION B - COASTAL RANCH 1/4" = 1'-0"

workbench

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BROCKETT /ARCHITECT

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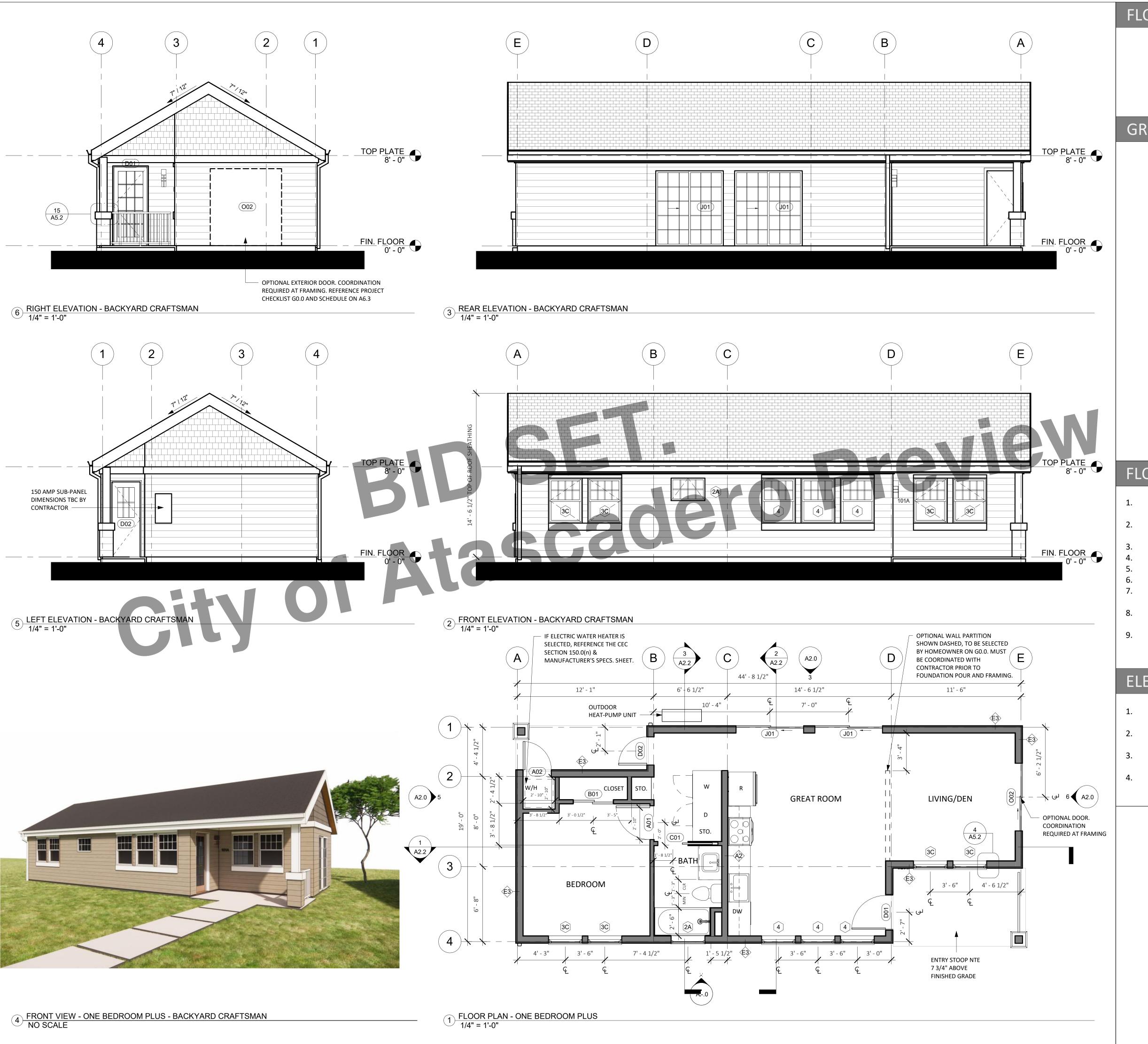
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DE ONE BEDROOM -746 GSF

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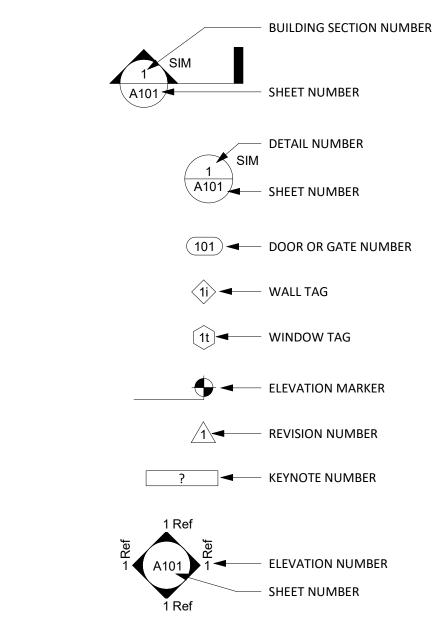
RANCH - SECTIONS



FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**✓**—(N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or

- 8. Provide structural backing in walls to facilitate future

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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ONE BEDROOM -746 GSF

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FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
 - installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

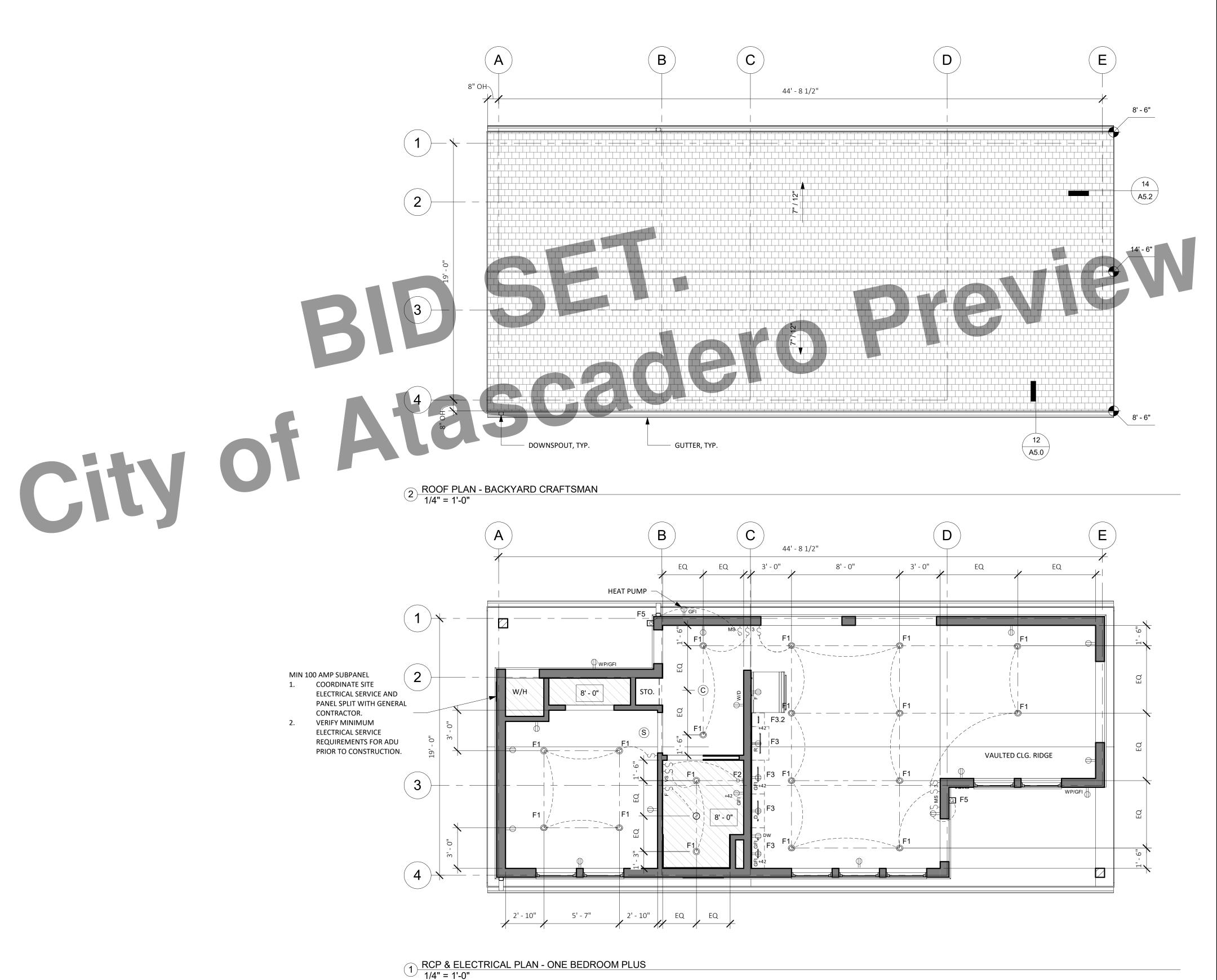
- centerline of structural elements, unless otherwise noted.
- details.

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CRAFTSMAN -FLOORPLANS & **ELEVATIONS**

A2.0



ROOF PLAN NOTES

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- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT \Diamond
- LED STRIP LIGHT
 - SWITCH
 - DIMMER SWITCH 3-WAY SWITCH
- \$_{MS} MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS**

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

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REFLECTED CEILING PLAN NOTES

- FINISH AT WALL
- OUTDOOR AIR QUALITY IS VERY POOR.
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION

OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM

workbench

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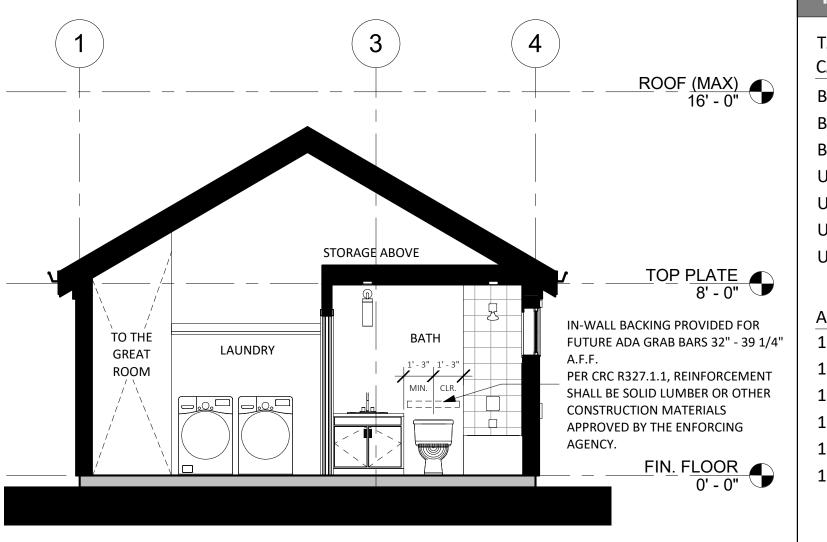
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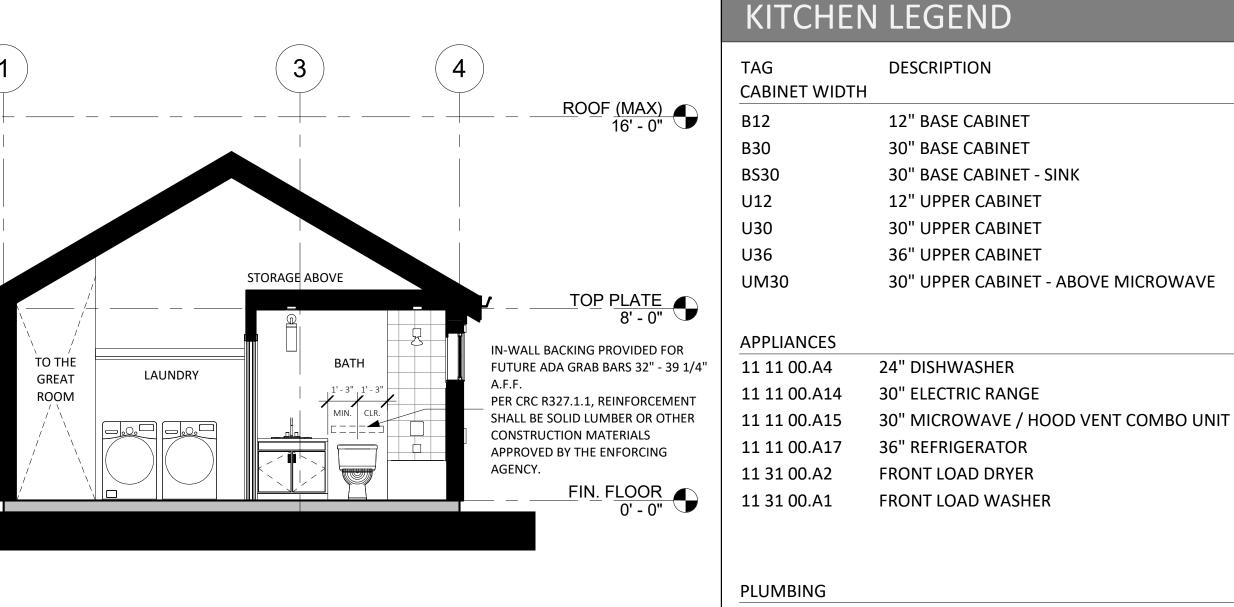
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- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT)
- HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE

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CRAFTSMAN - ROOF PLAN & RCP

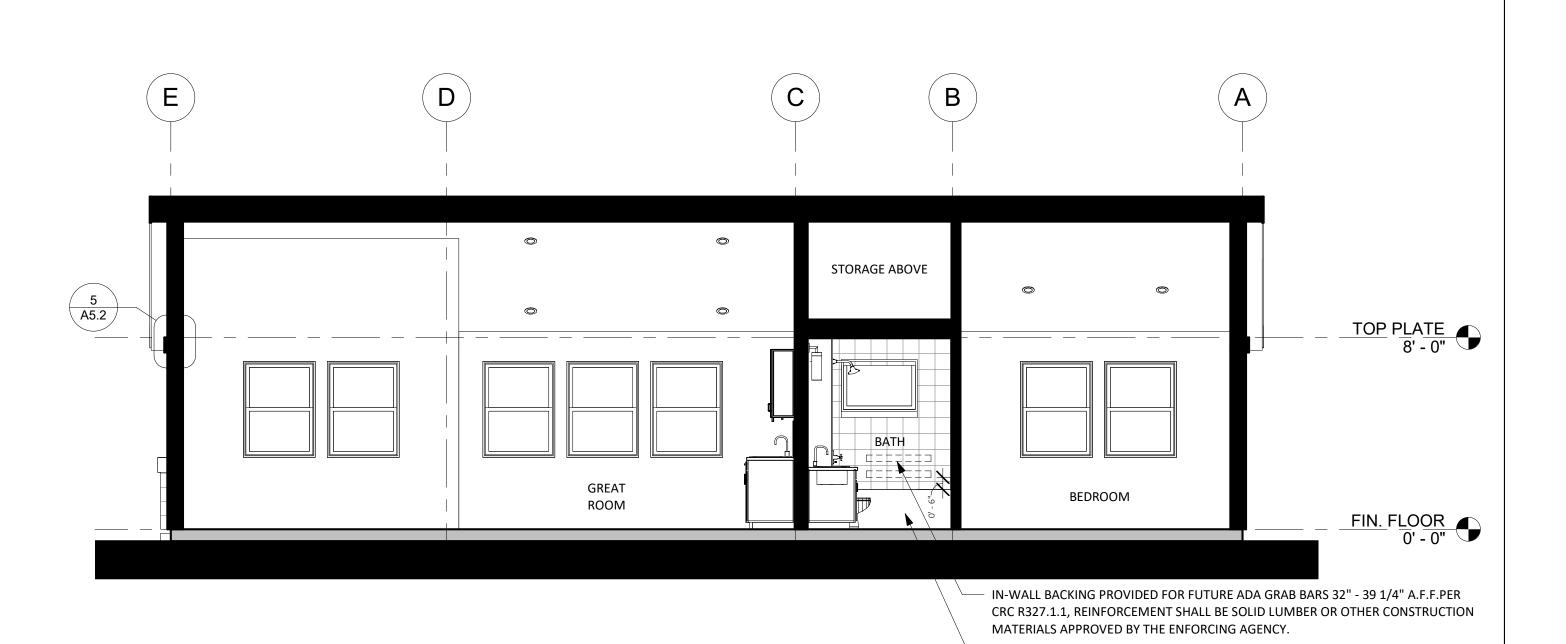




22 40 00.A4 30" KITCHEN SINK WITH FAUCET

City of Atascade. TOP PLATE 8' - 0" —11 11 00.A15 11 11 00.A17 TO BACK PATIO FIN. FLOOR 0' - 0"

1 SECTION A - BACKYARD CRAFTSMAN 1/4" = 1'-0"



OPTIONAL CURBLESS SHOWER REQ.

FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

2 SECTION B - BACKYARD CRAFTSMAN 1/4" = 1'-0"

3 SECTION C - BACKYARD CRAFTSMAN
1/4" = 1'-0"

[/] 1/4" = 1'-0"

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CRAFTSMAN -SECTIONS

A2.2

workbench

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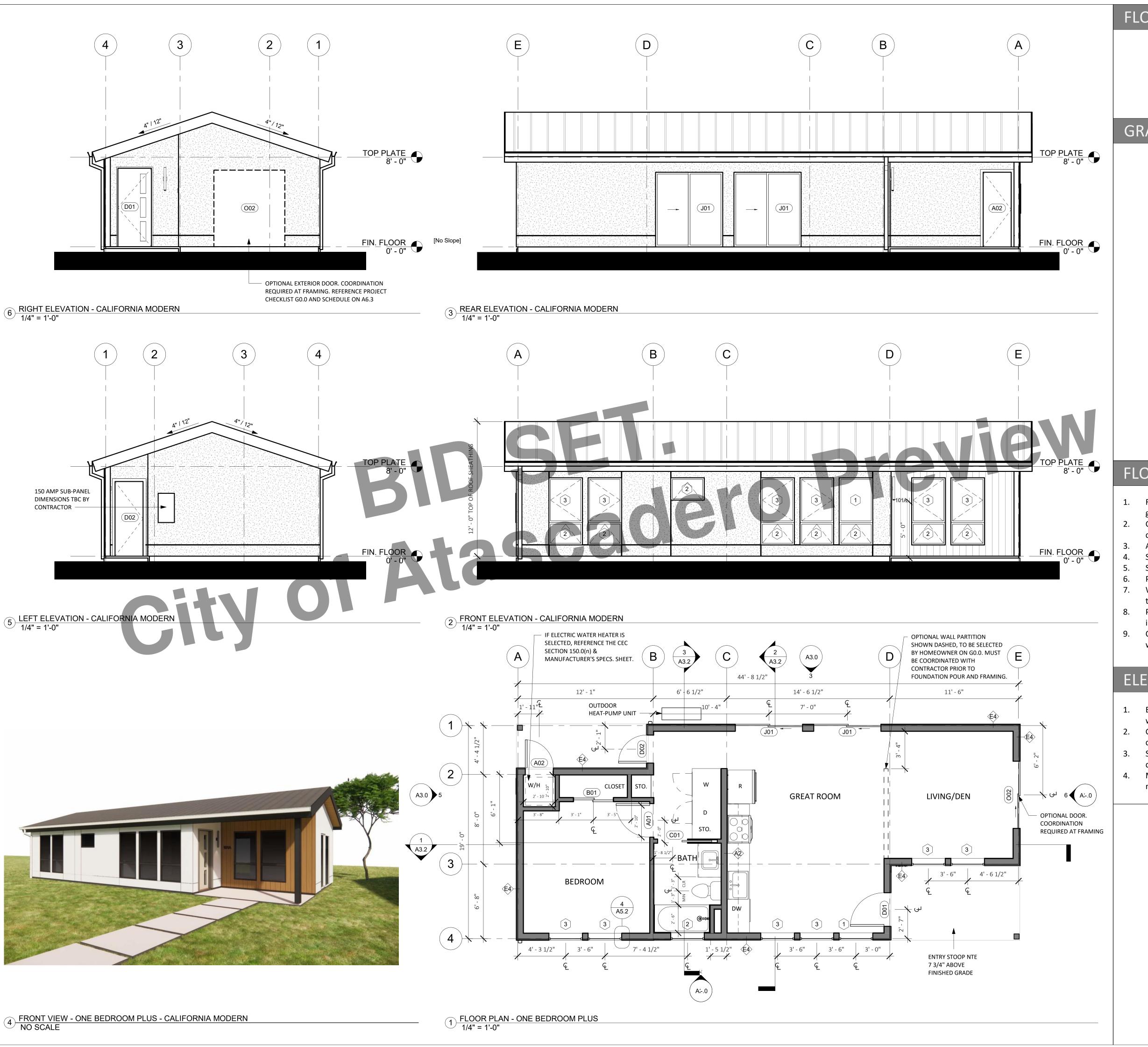
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DEN ONE BEDROOM -746 GSF J

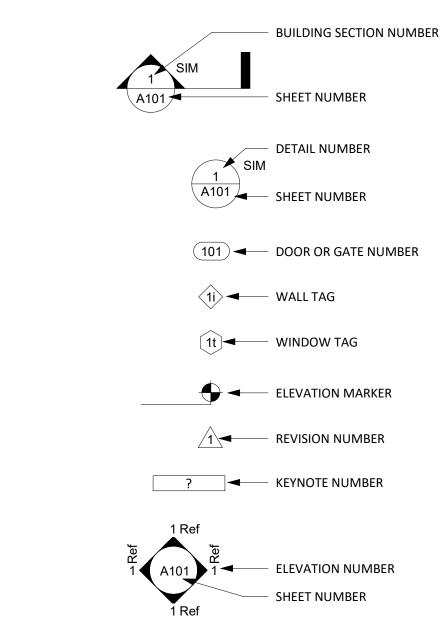


FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

—**✓**—(N) LIGHT SWITCH

GRAPHIC LEGEND



- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.

- thresholds with maximum 1/2" elevation change.
- installation of grab bars at toilet and shower.
- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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J

FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
 - See elevations for transom window types and locations.
 - Provide hanger rod and shelf at wardrobe closet.
 - Where thresholds are required, provide accessible
- 8. Provide structural backing in walls to facilitate future
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

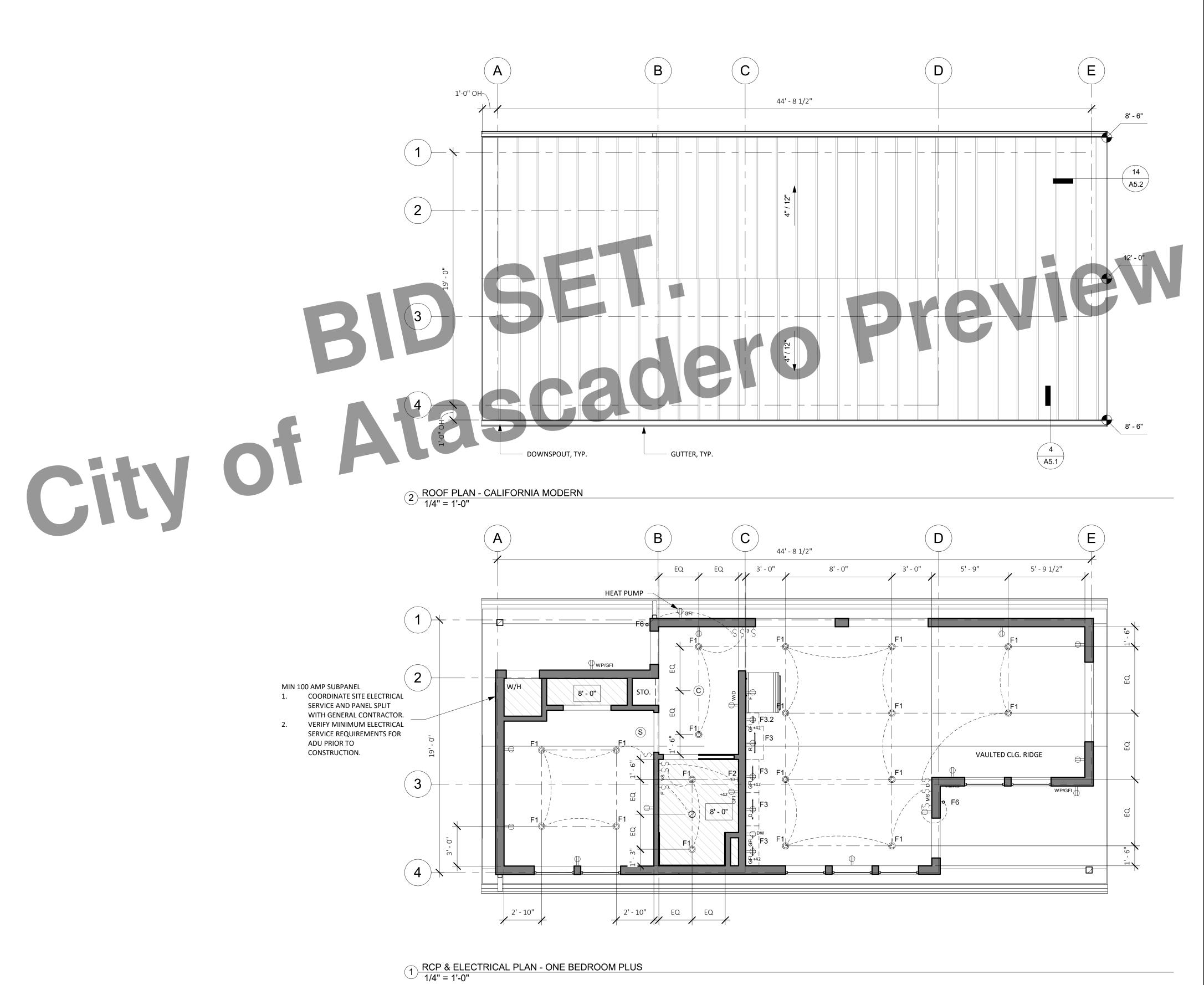
ELEVATION NOTES

PRINT DATE XX.XX.XXXX

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MODERN -FLOORPLANS & **ELEVATIONS**

A3.0



ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET

RECESSED LED DOWN LIGHT

- DEDICATED OUTLET
- WALL MOUNT LIGHT \Diamond
- LED STRIP LIGHT
 - SWITCH DIMMER SWITCH
 - 3-WAY SWITCH
- \$_{MS} MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS**

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- BATHTUB RIM OR SHOWER STALL THRESHOLD. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

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REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

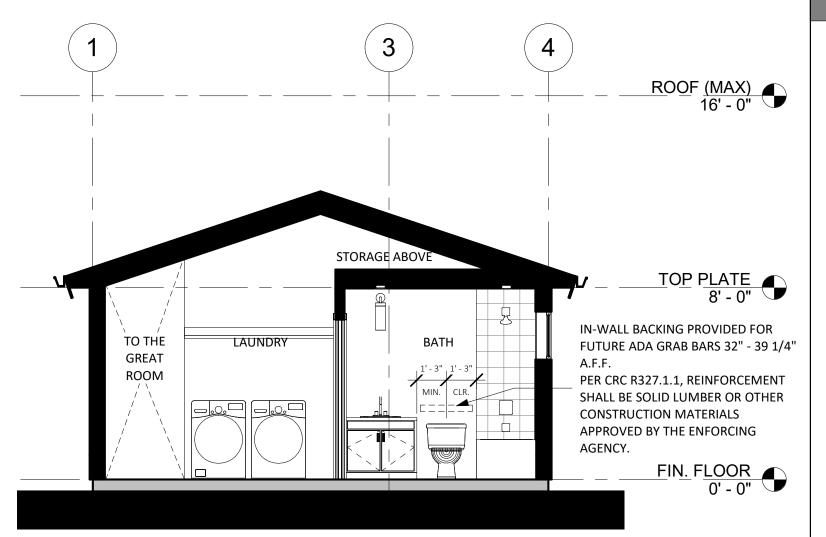
ACCORDANCE WITH THEIR LISTING.

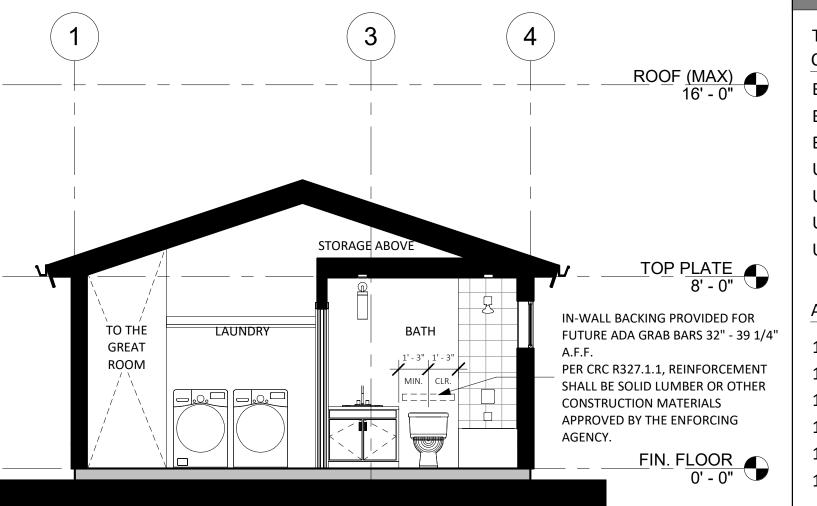
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PRINT DATE XX.XX.XXXX

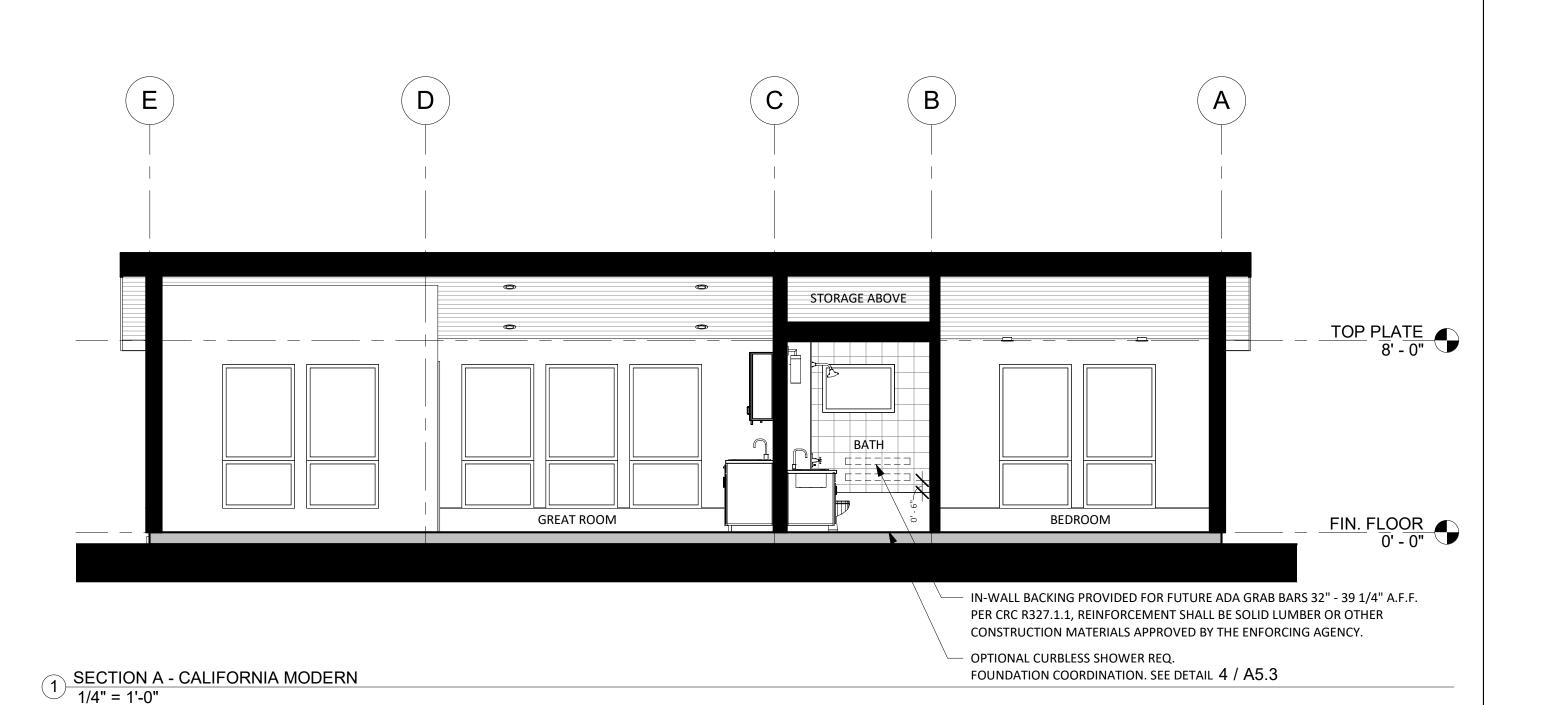
MODERN - ROOF PLAN & RCP





KITCHEN LEGEND TAG DESCRIPTION **CABINET WIDTH** B12 12" BASE CABINET B30 30" BASE CABINET BS30 30" BASE CABINET - SINK U12 12" UPPER CABINET U30 30" UPPER CABINET U36 36" UPPER CABINET UM30 30" UPPER CABINET - ABOVE MICROWAVE APPLIANCES 11 11 00.A4 24" DISHWASHER 11 11 00.A14 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT 11 11 00.A15 11 11 00.A17 36" REFRIGERATOR 11 31 00.A2 FRONT LOAD DRYER 11 31 00.A1 FRONT LOAD WASHER PLUMBING





2 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"

3 SECTION C - CALIFORNIA MODERN 1/4" = 1'-0"

workbench

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30" KITCHEN SINK WITH FAUCET

22 40 00.A4

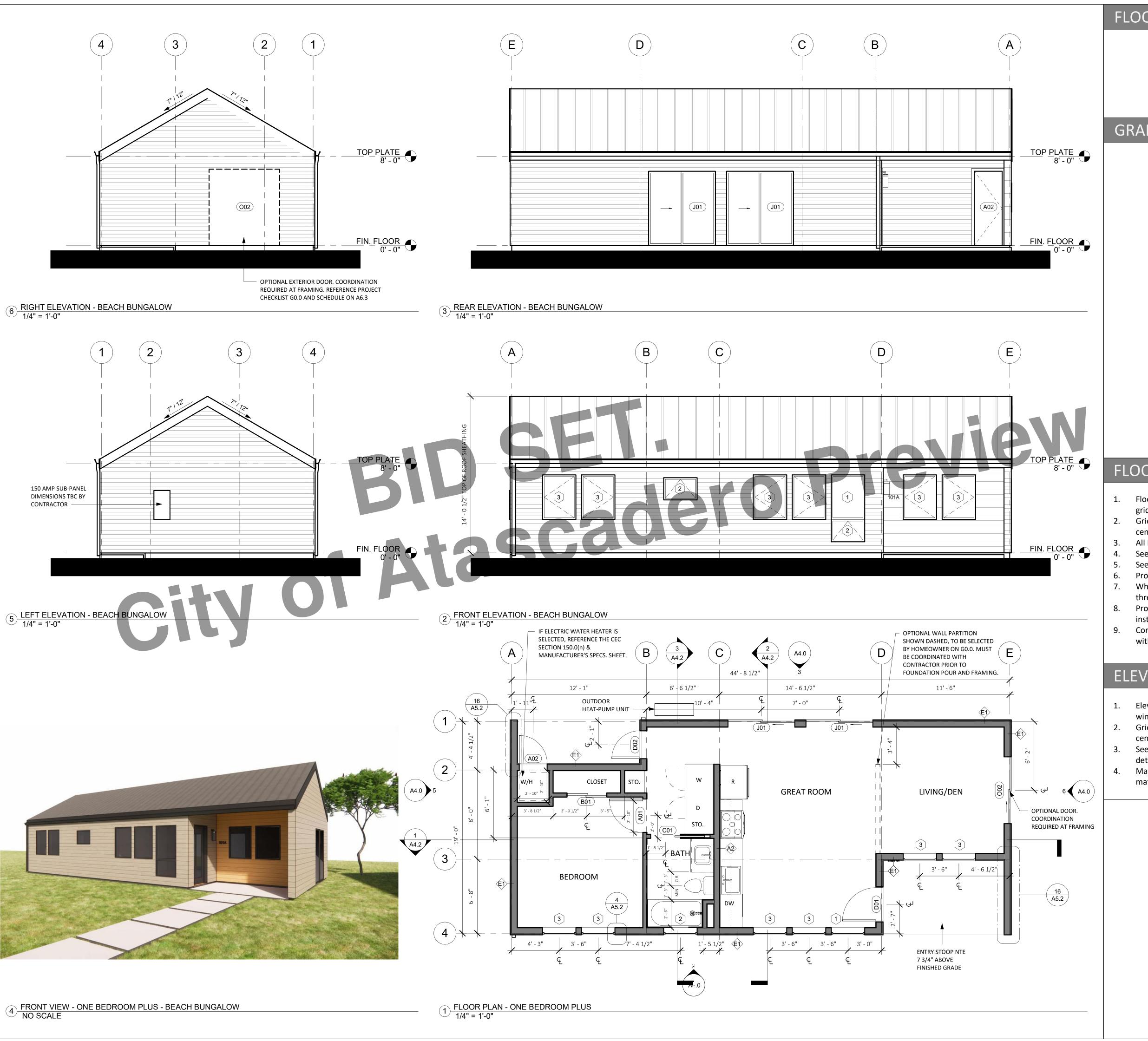
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ONE BEDROOM -746 GSF

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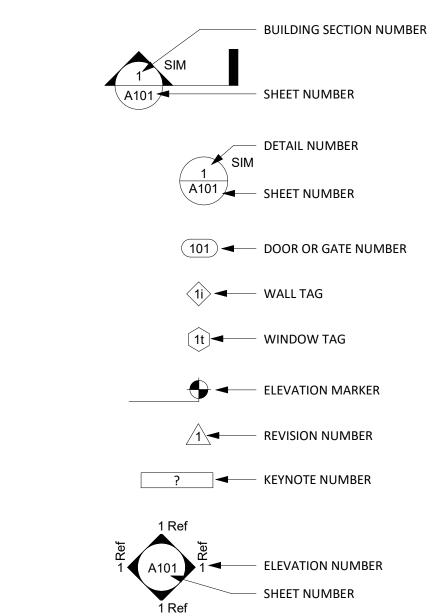
MODERN - SECTIONS



FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**✓**—(N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.

- 7. Where thresholds are required, provide accessible
- installation of grab bars at toilet and shower.

ELEVATION NOTES

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- Materials indicated are shown generically. Actual



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ONE BEDROOM -746 GSF

J

FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future
- 9. Contractor to verify layout, rough framing and finish dims
- with owner's final interior doors and finish selections.

- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.

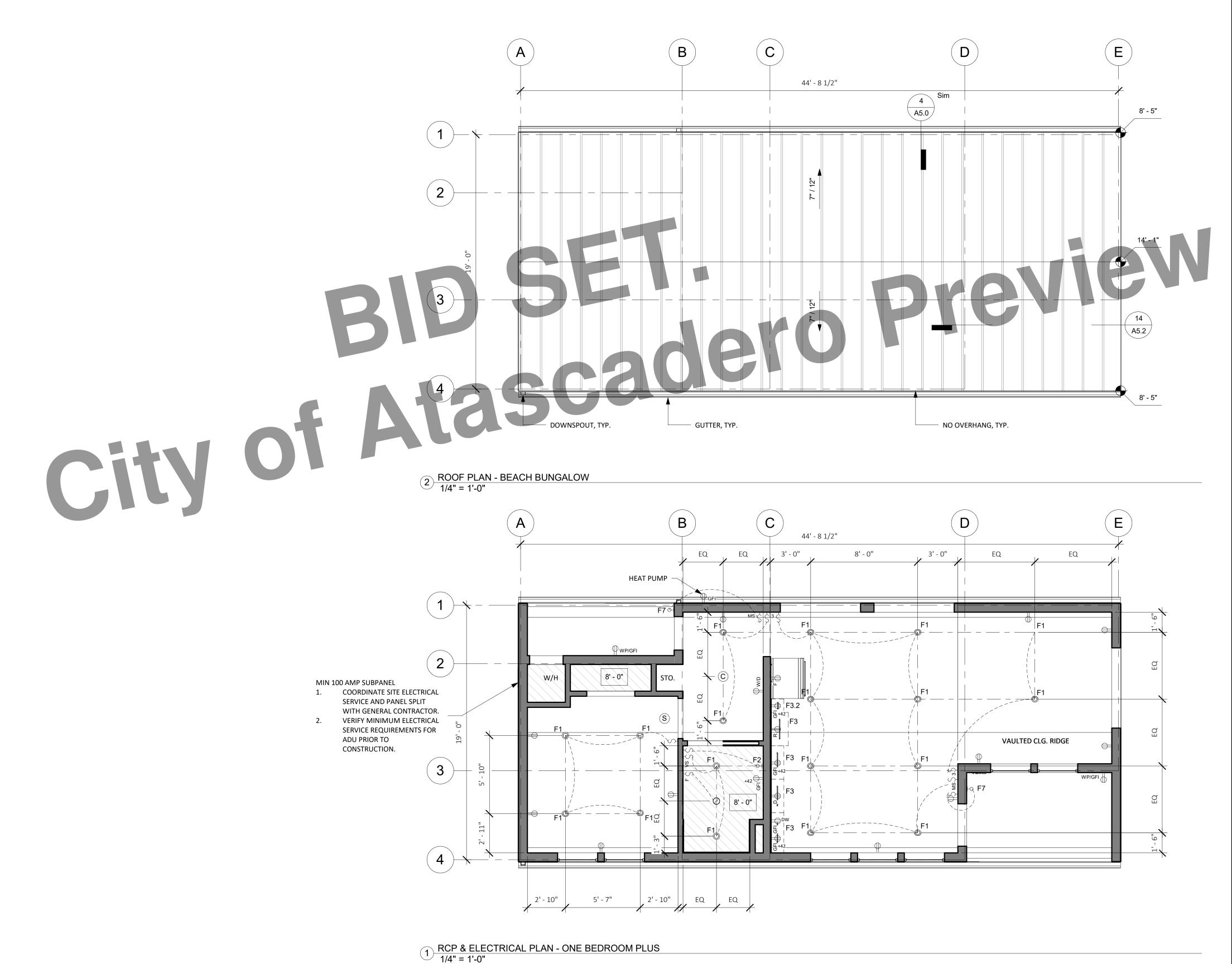
materials are as selected by the Owner.

PRINT DATE XX.XX.XXXX

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BUNGALOW -FLOORPLANS & **ELEVATIONS**

A4.0



ROOF PLAN NOTES

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- LED STRIP LIGHT
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8' - 0" FRAMED CEILING HEIGHT A.F.F.

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workbench

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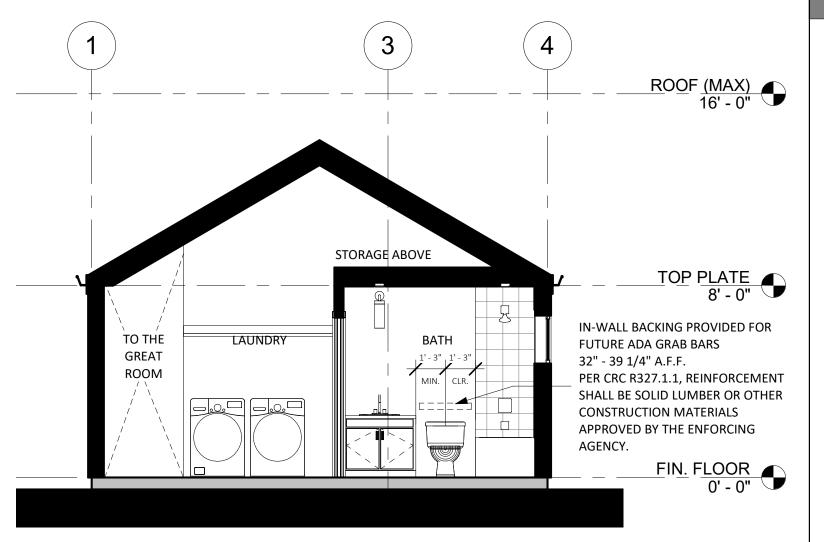
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BUNGALOW - ROOF PLAN & RCP



DESCRIPTION TAG **CABINET WIDTH** B12 12" BASE CABINET B30 30" BASE CABINET BS30 30" BASE CABINET - SINK U12 12" UPPER CABINET U30 30" UPPER CABINET U36 36" UPPER CABINET UM30 APPLIANCES 11 11 00.A4 24" DISHWASHER 30" ELECTRIC RANGE 11 11 00.A14 11 11 00.A15 11 11 00.A17 36" REFRIGERATOR FRONT LOAD DRYER 11 31 00.A2 11 31 00.A1 FRONT LOAD WASHER

City of Atascade. TOP PLATE 8' - 0" -11 11 00.A15 BACK PATIO FIN. FLOOR 0' - 0"

11 11 00.A14

CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

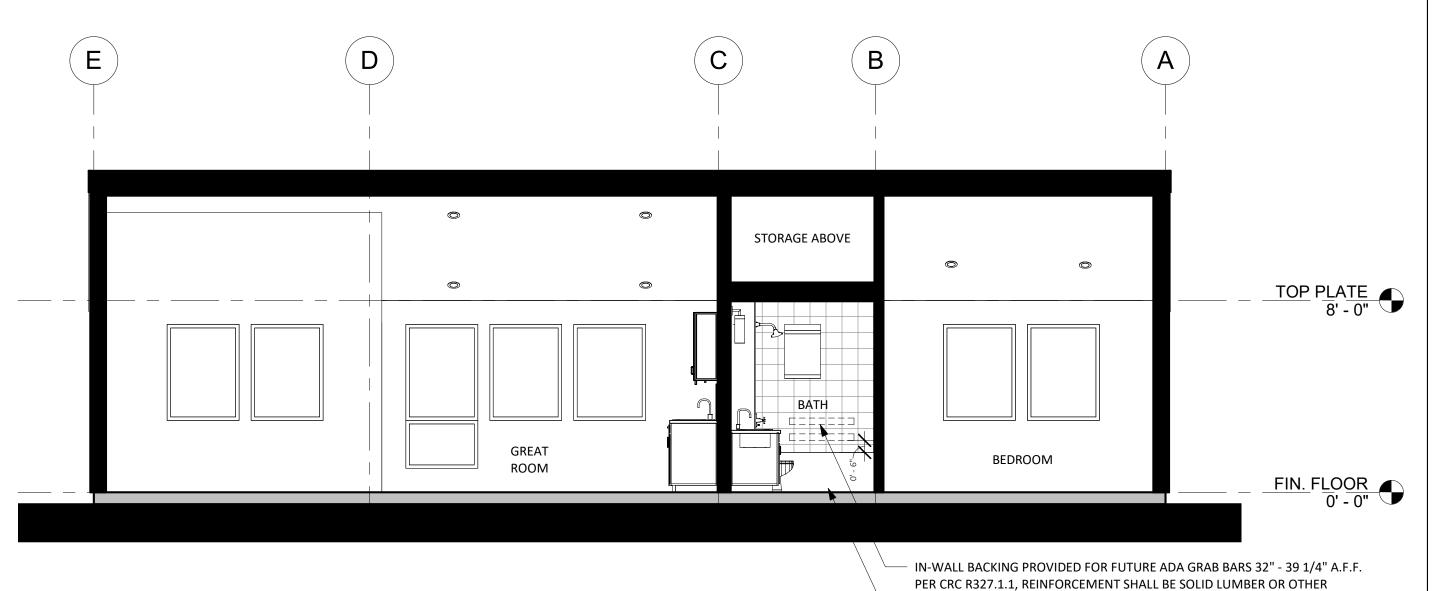
FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

OPTIONAL CURBLESS SHOWER REQ.

2 SECTION B - BEACH BUNGALOW 1/4" = 1'-0"

1 SECTION A - BEACH BUNGALOW 1/4" = 1'-0"

3 SECTION C - COASTAL BUNGALOW 1/4" = 1'-0"



KITCHEN LEGEND

30" UPPER CABINET - ABOVE MICROWAVE

30" MICROWAVE / HOOD VENT COMBO UNIT

PLUMBING

30" KITCHEN SINK WITH FAUCET 22 40 00.A4

workbench

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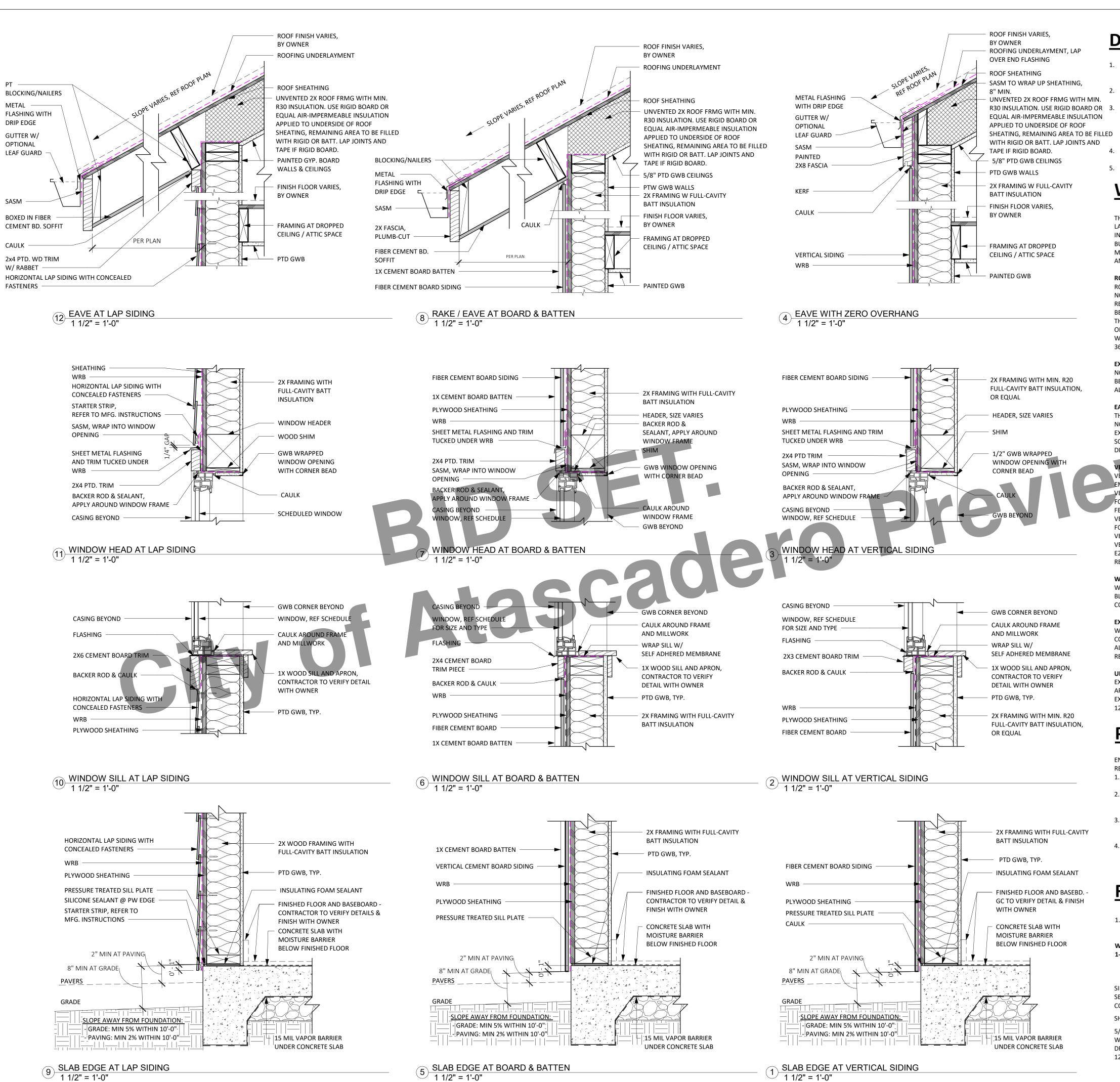
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BUNGALOW -SECTIONS



<E2>BOARD & BATTEN SIDING

<E3>FIBER CEMENT HORIZONTAL LAP SIDING

1 1/2" = 1'-0"

(E1) FIBER CEMENT VERTICAL SIDING

DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
- REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

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PERFORMANCE NOTES

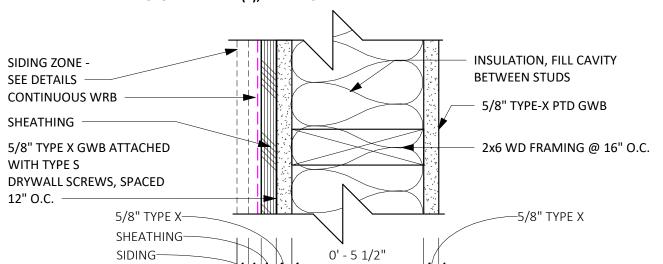
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FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.129



0' - 8 3/8"

workbench

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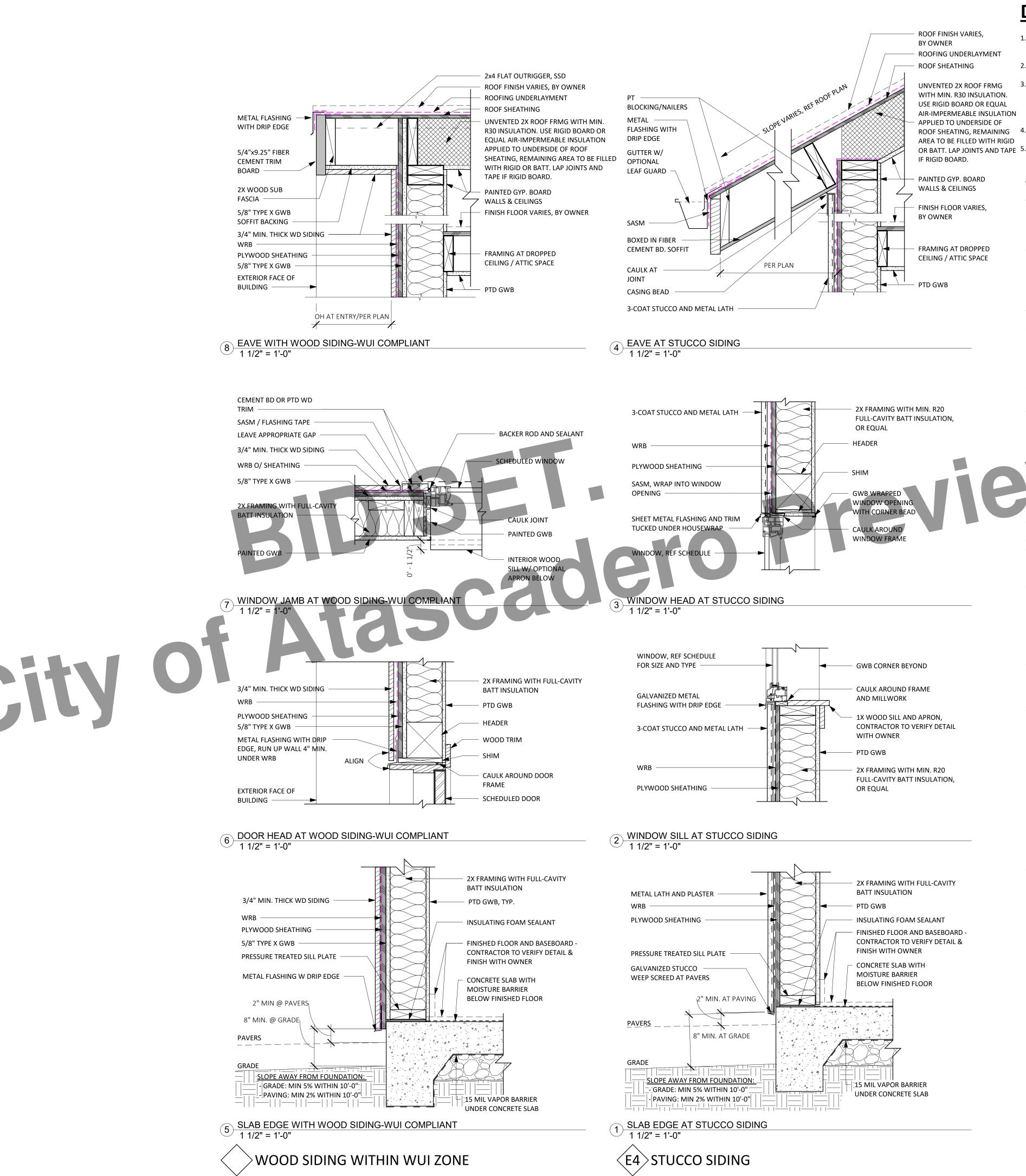
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ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS

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EXTERIOR WALL ASSEMBLY DETAILS



DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING,
- SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.

REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND—URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY — AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

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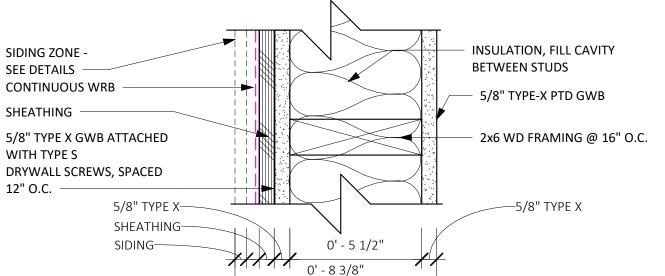
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WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12q



NOT TO SCALE

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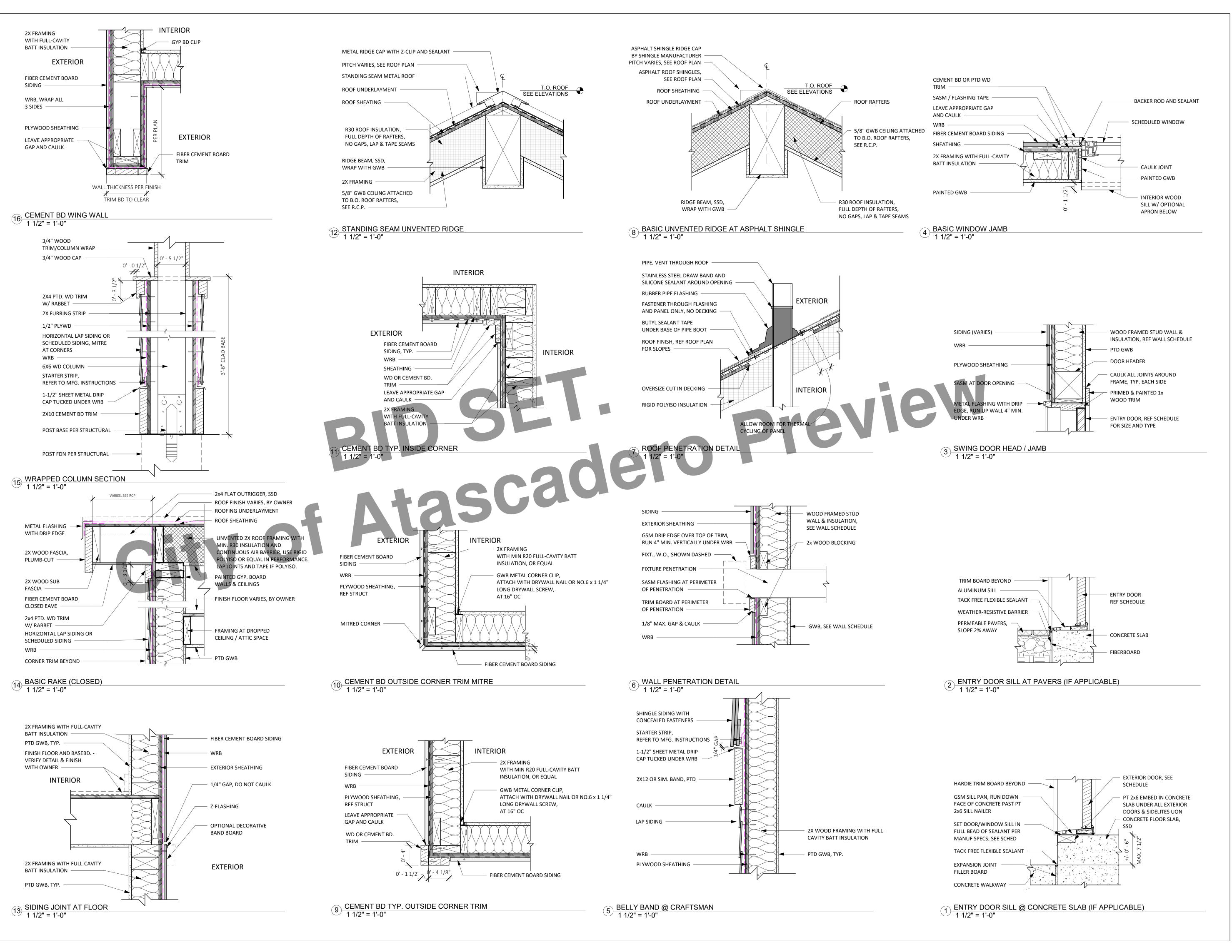
CENTRAL COAST PRE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

: AS NOTED



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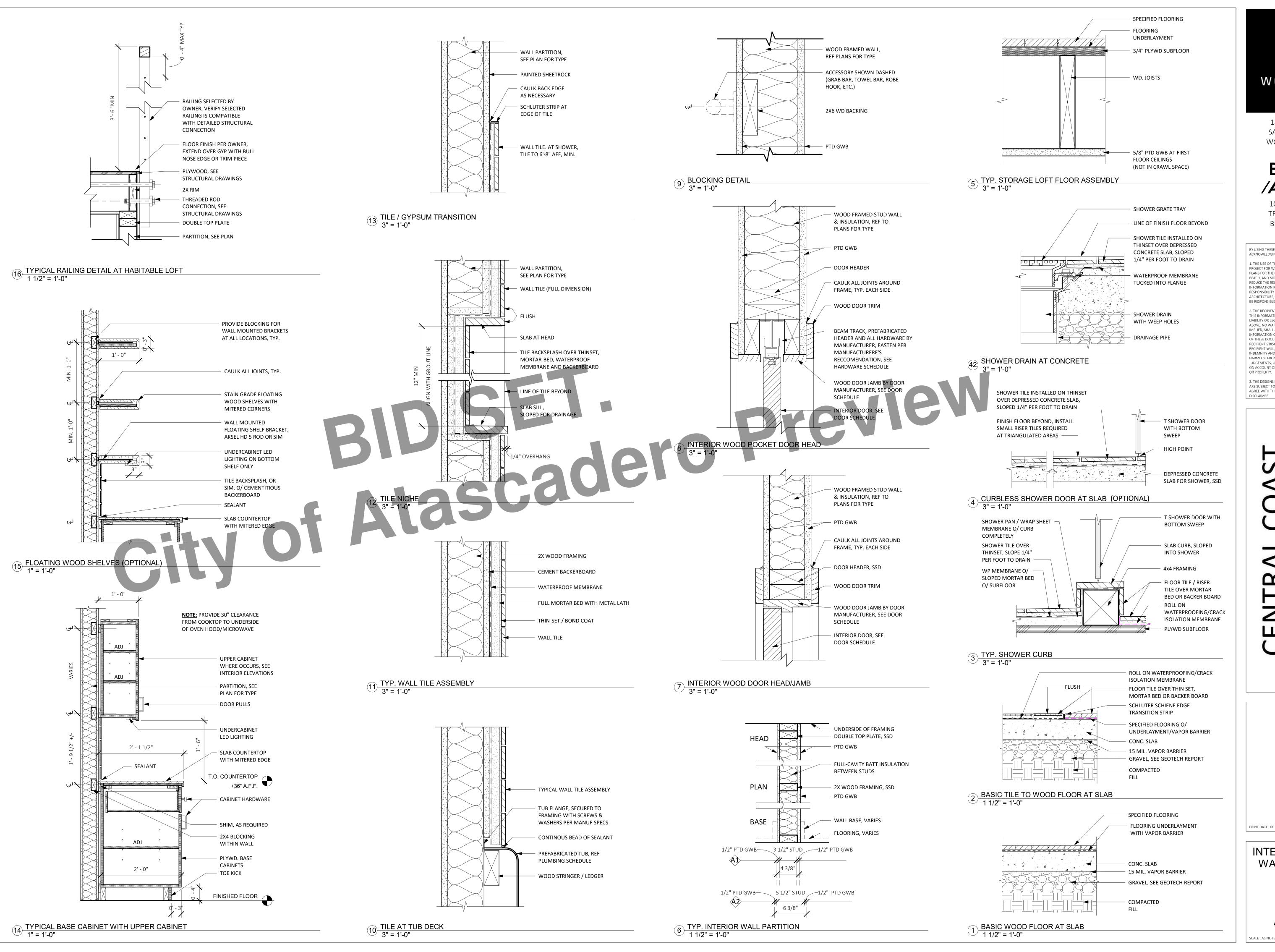
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EXTERIOR DETAILS



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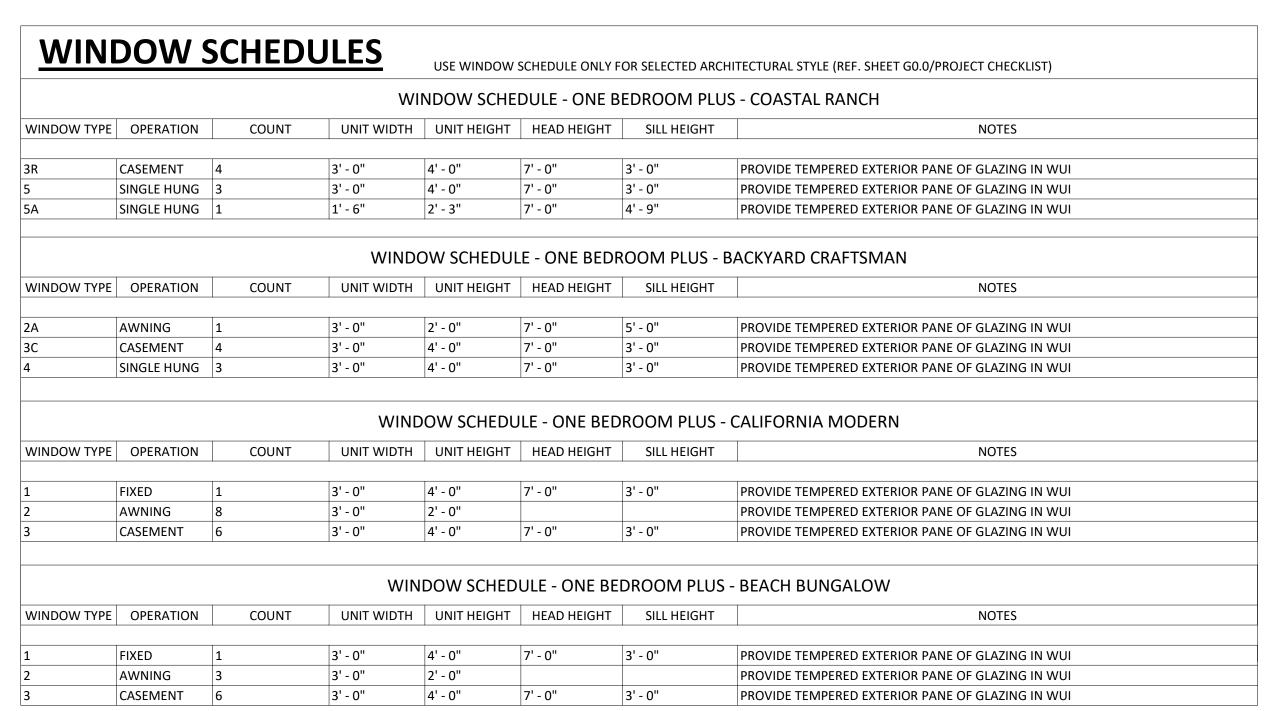
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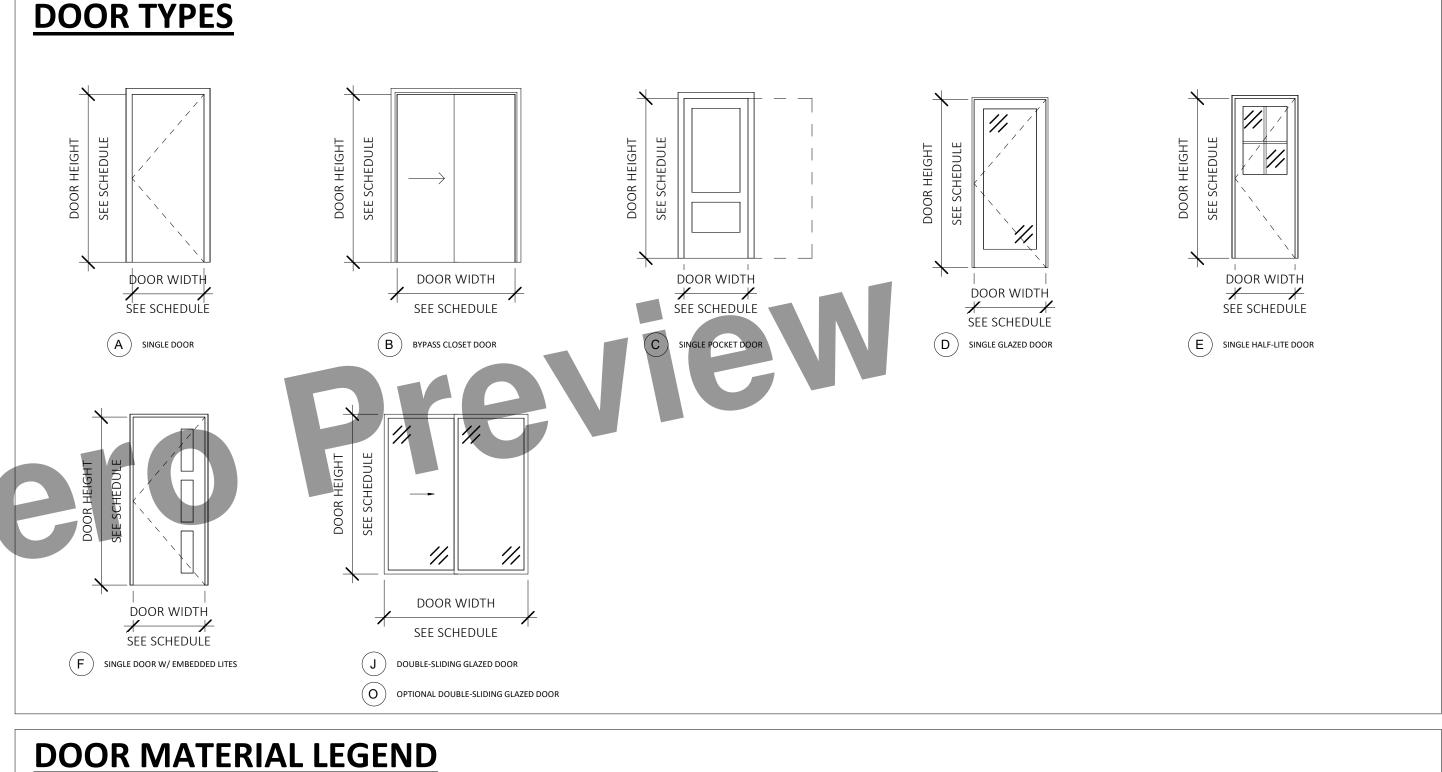
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A5.3



DOOR SCHEDULE DOOR SCHEDULE - ONE BEDROOM PLUS DIMENSIONS MATERIALS DETAILS DOOR DOOR GLAZING FRAME FRAME DOOR **HARDWARE** LOCATION WIDTH UNIT HEIGHT THICKNESS MATERIAL FINISH TYPE MATERIAL FINISH GROUP NOTES MARK TYPE DESCRIPTION JAMB 7/A5.3 PER MFR PER MFR N/A EXTERIOR BACK ENTRY SWING DOOR 6' - 8" D02 A-D-E* **GREAT ROOM** 2' - 6" 3/A5.2 OR 3/A5.2 1/A5.2 OR 1 *DOOR TYPE DETERMINED BY HOMEOWNER GL-2 6/A5.1(WUI) 2/A5.2 BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS. D01 A-D-E-F* EXTERIOR FRONT ENTRY SWING DOOR GREAT ROOM 3/A5.2 OR 3/A5.2 1/A5.2 OR 1 *DOOR TYPE DETERMINED BY HOMEOWNER TEMP 6/A5.1(WUI) 2/A5.2 BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS. J01 EXTERIOR GLAZED SLIDING PATIO DOOR GREAT ROOM 6' - 0" 0' - 1 3/8" | COMP GL-2 COMP *DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS. J01 EXTERIOR GLAZED SLIDING PATIO DOOR GREAT ROOM GL-2 *DOOR TYPE DETERMINED BY HOMEOWNER TEMP BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS. A02 EXTERIOR WATER HEATER CLOSET DOOR 2' - 6" 6' - 8" 0' - 2" REFER MANUFACTURER'S REQUIREMENTS FOR N/A VENTILATION 002 EXTERIOR-OPTIONAL GLAZED SLIDING LIVING/DEN OPTIONAL DOOR. REF "PROJECT CHECKLIST" GL-2 PATIO DOOR SHEET GO.0 B01 B INTERIOR BYPASS CLOSET DOOR 3' - 6" 7' - 0" PTD N/A WD PTD PER MFR PER MFR 2 C01 C INTERIOR POCKET DOOR 2' - 8" 6' - 8'' 0' - 1 1/2" SC PTD 8/A5.3 PER MFR PER MFR PTD N/A WD

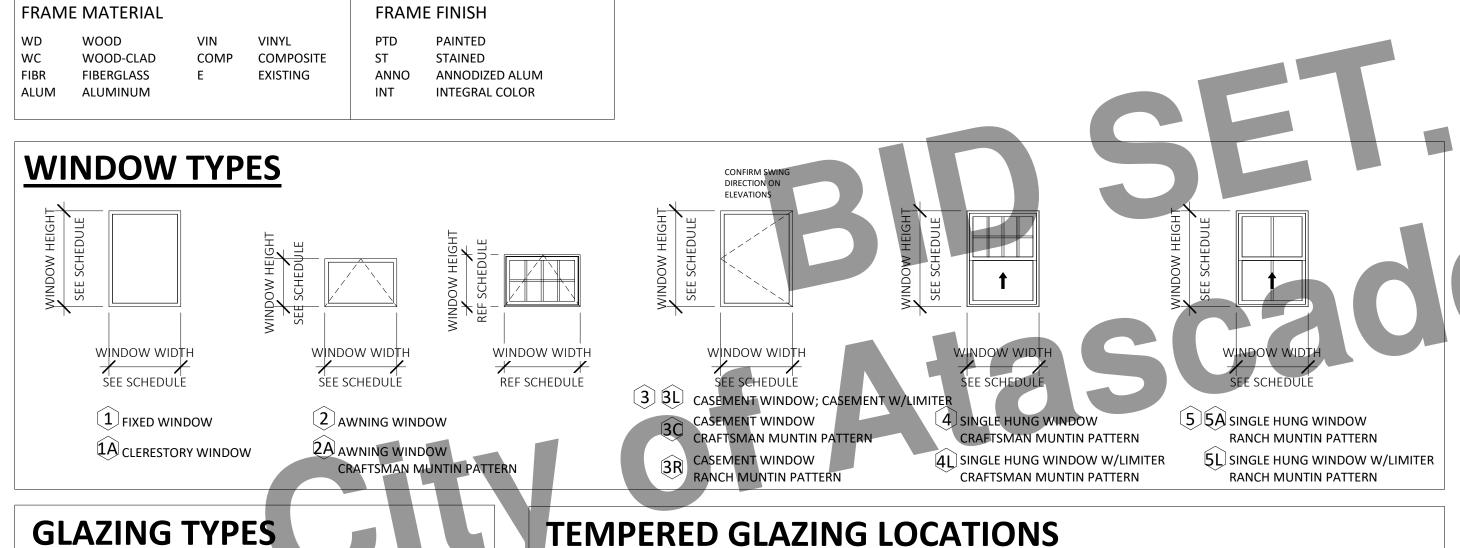


REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC

GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED

1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR



STEP 3

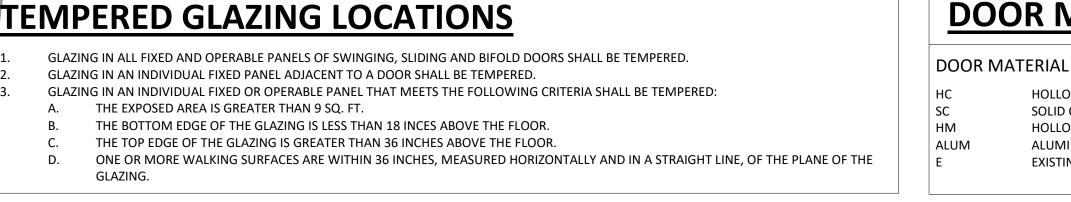
SILL FLASHING

TURN UP AT

JAMBS 1" MAX

PRESS AROUND **CORNERS FROM**

INSIDE TO OUT



STEP 4

NO CAULK AT SILL

APPLY PEEL & STICK

(P&S) FLASHING AT

EACH JAMB

	DO	OR H
	GROUP	DESC
	1	ENTRY DOO
FOLD DOWN WRAP/FELT HEAD FLAP AND TAPE-OFF SEAMS	2	TYP. INTERIO
	3	BATHROOM
	4	CLOSET BYP

GLAZING TYPE

FACTORS, N.T.E.

DOOR FINISH

ANNO

PAINTED

STAINED

ANNODIZED ALUM

HOLLOW CORE WOOD

SOLID CORE WOOD

STEP 6

ACROSS HEAD

HOLLOW METAL

ALUMINUM

EXISTING

<u>DO</u>	OR HARDW	ARE SCHEDULE	OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENT
GROUP	DESCRIPTION	HARDW	ARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	

FRAME MATERIAL

ALUM

WOOD

HOLLOW METAL

ALUMINUM

EXISTING

FRAME FINISH

PAINTED

STAINED

ANNODIZED ALUM

PTD

ST

ANNO

APPLIANCE SCHEDULE - ONE BEDROOM PLUS						
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH		
11 11 00.A4	24" DISHWASHER					
11 11 00.A14	30" ELECTRIC RANGE					
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT					
11 11 00.A17	36" REFRIGERATOR					
11 31 00.A2	FRONT LOAD DRYER					
11 31 00.A1	FRONT LOAD WASHER					

WINDOW MATERIAL LEGEND

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

WINDOW FLASHING SEQUENCE

SHEATHING

- CUT WRAP ALONG

R.O. (DO NOT TURN WRAP INTO R.O.)

 CUT AND TEMPORARILY FOLD-UP / TURN BACK

STEP 2

GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU

NOTE: NOT TO SCALE

6" MIN-

GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED

LIGHTING FIXTURE SCHEDULE - ONE BED PLUS								
	TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT			
	F1	LED DOWNLIGHT (LOW PROFILE)			18	2:		
_	F2	WALL SCONCE			1	2:		
	F3	UNDERCABINET LED LIGHT			4			
	F3.2	UNDERCABINET LED LIGHT			1			
	F4	EXTERIOR WALL SCONCE			2			

P&S FLASHING OVER

NAILING FINS (PRIÒR TO

HEAD FLASHING INSTALL) -

STEP 5

CONTINUOUS CAULKING ALONG HEAD & JAMB

KEYNOTE DESCRIPTION		MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	VANITY WITH SINK/FAUCET			
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

PLUMBING FIXTURE SCHEDULE - ONE BEDROOM PLUS



189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

CKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS

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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AN ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS

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PRINT DATE XX.XX.XXXX

SCHEDULES - ONE **BEDROOM PLUS**

	PLYWOOD SHEAR WALL SCHEDULE										
MARK	NAILING OF FIELD TO		TOP PLATE	MINIMUM FND PLATE	BOTTOM PLATE	ANCHOR BOLT		VABLE R (plf)			
IVIARK	MATERIAL	COLLECTORS AND TIES (EN)	NAILING (FN)	CONNECTION THICKNESS	I CONNECTION I	NINIECTION I	CONNECTION	SIZE	SPACING (O.C.)	ALLOWABLE SHEAR (plf)	
\triangle	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260		
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380		
$\sqrt{3}$	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490		

NOTES

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- 4. STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
 ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH
- SHEATHING

 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.
- 9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES

ABBREVIATIONS								
AB ABV ACI ALT APA ARCH BD BLK(G) BLW BM BN BP BRG BTWN CBC CL CCONC CONC CONT CONT CNTR CRC	Anchor Bolt Above American Concrete Institute Alternate American Plywood Association Architect Board Block(ing) Below Beam Boundary Nailing Base Plate Bearing Between CA Building Code Center Line Ceiling Clear, Clearance Column Concrete Connection Continuous Center CA Residential	(E) EA ENGR EXT FLR FND FOS FRMG FT GALV GYP HDR HORIZ HT INT JST(S) MB MIN (N) OCH	Existing Each Edge Nailing Engineer Exterior Floor Foundation Face of Concrete Face of Stud Framing Foot or Feet Footing Galvanized Glued Laminated Gypsum Holdown Header Horizontal Height Interior Joist(s) Machine Bolt Malleable Iron Minimum New On Center Opposite Hand	PLY PSF PSI PTDF RDWD REINF REQD RF RM SAD SB SF SIM SPEC SQ SS STD STL SKYLT T&B T&G TOW TR TYP	Plywood Pounds per Square Foot Pounds per Square Inch Preservative Treated Douglas Fir Redwood Reinforcement Required Roof Room Retaining Wall See Architectural Drawings Solid Blocking Square Foot Similar Specifications Square Stainless Steel Standard Steel Skylight Top and Bottom Tongue and Groove Top of Concrete Top of Wall Threaded Rod Typical			
DBL DF DIA DTL DWG	Code Double Douglas Fir Diameter Detail Drawing	OPNG PAF PL	Opening Powder Acctuated Fastener Plate or Property Line	UNO VIF Ø	Unless Noted Otherwise Verify In Field Diameter			

STRUCTURAL NOTES AND SPECIFICATIONS

A. DESIGN CRITERIA

- 1. CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- 2. FLOOR LIVE LOAD = 40 PSF 3. ROOF LIVE LOAD = 20 PSF
- 4. WIND DESIGN DATA:
 V_{ULT} = 91 MPH (V_{ASD} = 71 MPH), EXPOSURE D
 5. SEISMIC DESIGN DATA:
- SITE CLASS = D (DEFAULT) $S_S=1.096$, $S_1=0.403$
- SEISMIC DESIGN CATEGORY = D SEISMIC FORCE RESISTING SYSTEM:

LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5 **B. GENERAL**

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC). χ
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- 3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- 5. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- 8. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

- FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

D. CONCRET

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION

F. WOOD FRAMING

- ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE
 "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23
 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- 5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

SILLS	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADE	ERSUP TO 4x - DF NO. 2
, , ,	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTE
POSTS AND DOUBLE TOP PLATES	5DF NO. 1
GLULAM BEAMS	DF 24F-V4

- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 4. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

STRUCTURAL

STRUCTURAL

ENGINEERING

245 Capitola Rd, Suite 204, Capitola, CA 95010

REVISION SCHEDULE

DATE

7-14-23



CENTRAL COOR AND THE COTES OF THE FOLLOWING CONDITIONS.

AND DIPLANS, THE RECIPIENT IS AGKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

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AND FOLLOW THE OTHER OFFICENCY REQUESTED ABOVE SHALL NOT RELEVANT TO THE RECIPIENT'S WORK AND FOLLOW THE CONTRACT THE OTHER OFFICENCY AND FOLLOW THE SOLVE THE RECOVER TO WORKBEINCH OF CHIEF STATED ABOVE SHALL NOT HERE FOR AND WILL SHE FOLLOW THE SOLVE THE RECOVER TO WORKBEINCH OF THE SOLVE THE RECOMBANIES OF THE RECOVER TO WERE THE RECIPIENT WILL. TO THE FOLLOW OF THE PROPERTY OF THE FOLLOW OF THE PROPERTY OF THE PROPERTY OF THE FOLLOW OF THE PROPERTY OF THE FOLLOW OF THE PROPERTY OF THE FOLLOW OF THE PROPERTY OF

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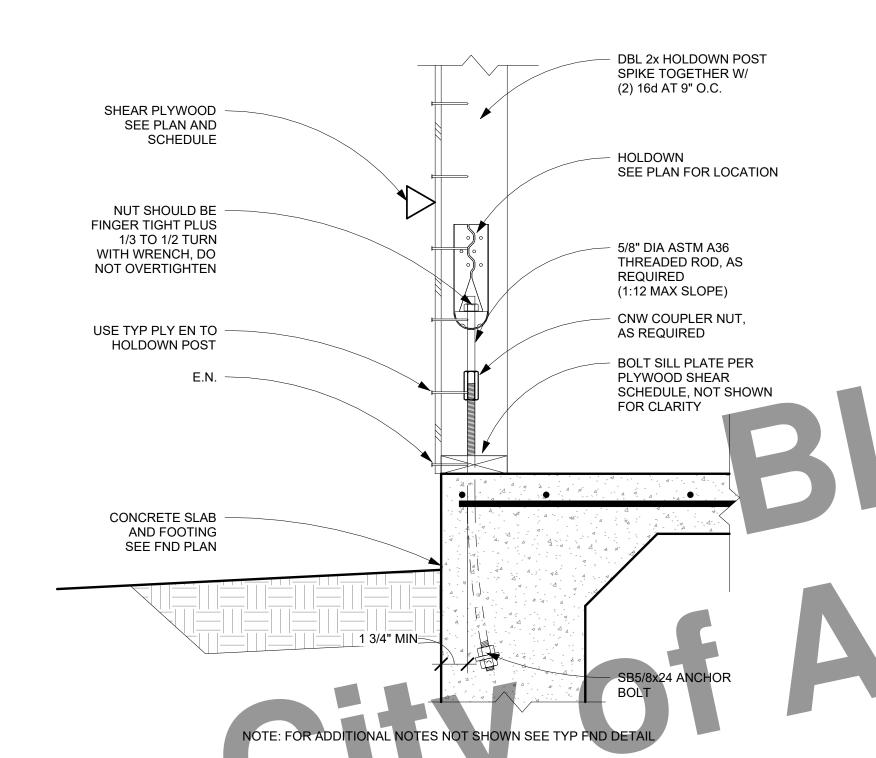
RUCTURAL NOTES

DATE: 11-18-2022 JOB NO: 21091

JOB NO: SHEET

0.0

NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB



STUD PANEL EDGES

BLOCKING AT OPENING

EN AROUND ALL **OPENINGS**

WINDOW OPENING

EN: TYP STAGGER

NAILS AROUND

PANEL EDGES

BLOCKING AT

HORIZONTAL

EDGES; TYP

SILL PLATE

2x STUDS TYP

1. INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.

FRAMING

FULL HT EN AT ALL

HOLDOWNS POSTS

HOLDOWN ANCHORS AND POST WHERE OCCURS; SEE

FOUNDATION PLAN SHEET

FINISH FLOOR

2. (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOTCOUNT AS A SILL BOLT.

STUD 1/2" MIN

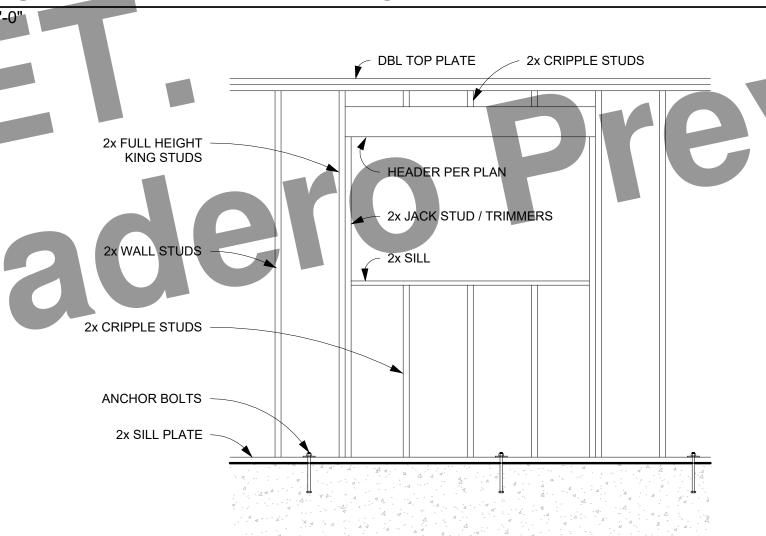
- 3. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL
- 4. SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.

OR NAILING SEE

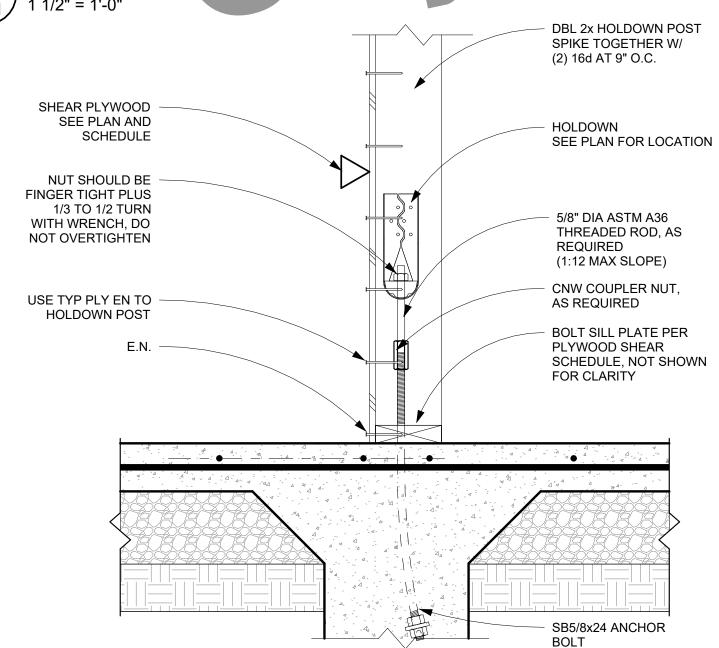
SHEAR SCHEDULE

- 5. SEE PLAN FOR SHEARWALL SCHEDULE.
- 6. THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

TYP SHEAR WALL FRAMING



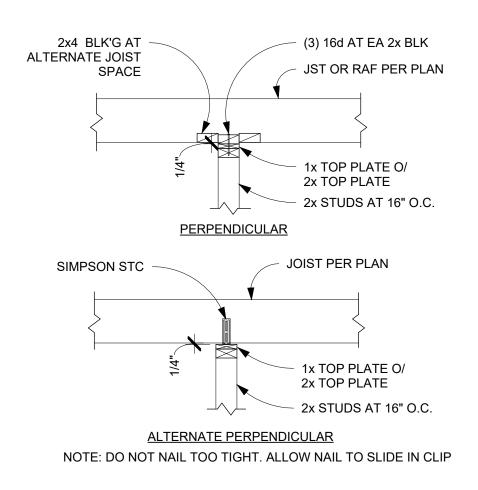
TYP HOLDOWN AT PERIM FTG



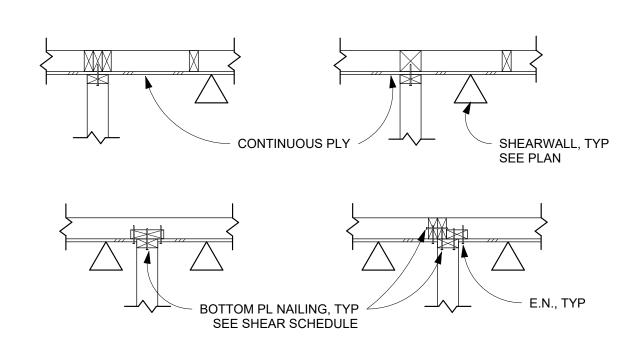
NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE INTERIOR FOUNDATION DTL

TYP HOLDOWN AT INTERIOR FOOTING S_{0.1} 1 1/2" = 1'-0"

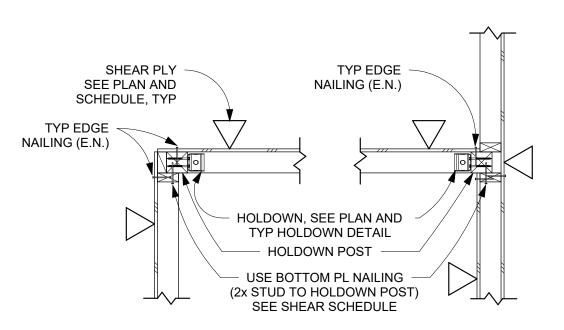
TYP WALL FRAMING



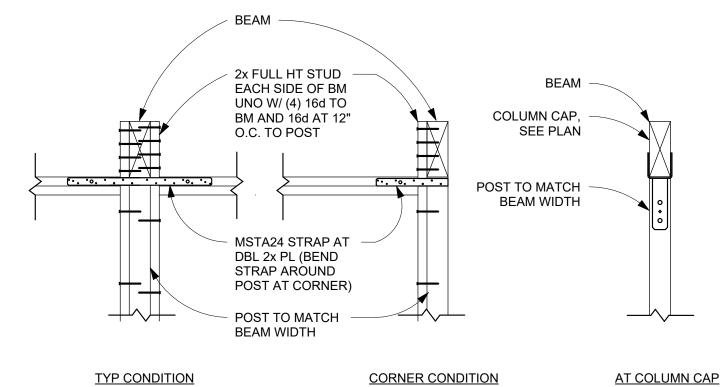
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP S_{0.1} 3/4" = 1'-0"



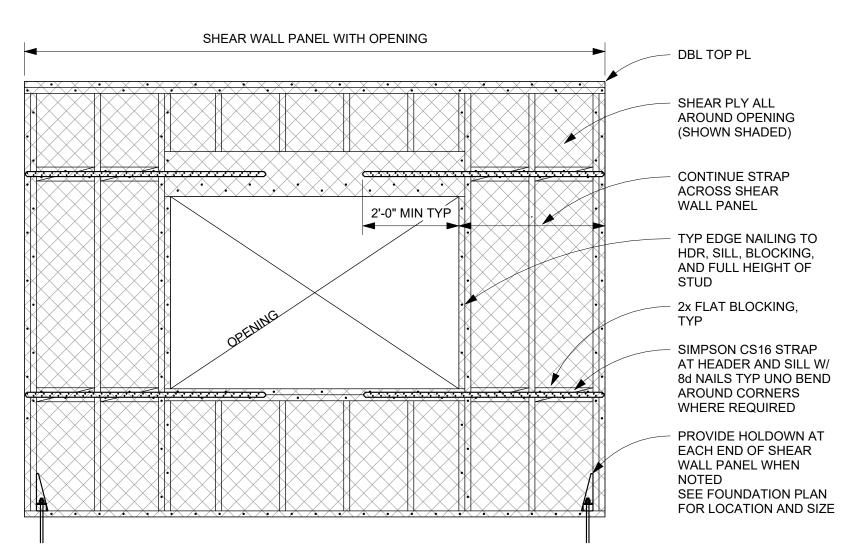
CONT SHEAR WALL PLAN DETAIL



INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL
3/4" = 1'-0"



TYPICAL POST TO BEAM CONN



 PLACE STRAPS OVER PLYWOOD 2. HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

STRAP AROUND OPENING

0 Z W

ADU

REVISION SCHEDULE

DATE

7-14-23

STRUCTURAL

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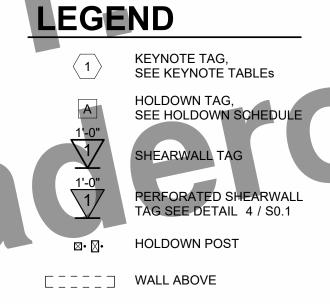
DATE: 11-18-2022

SHEET S_{0.1}

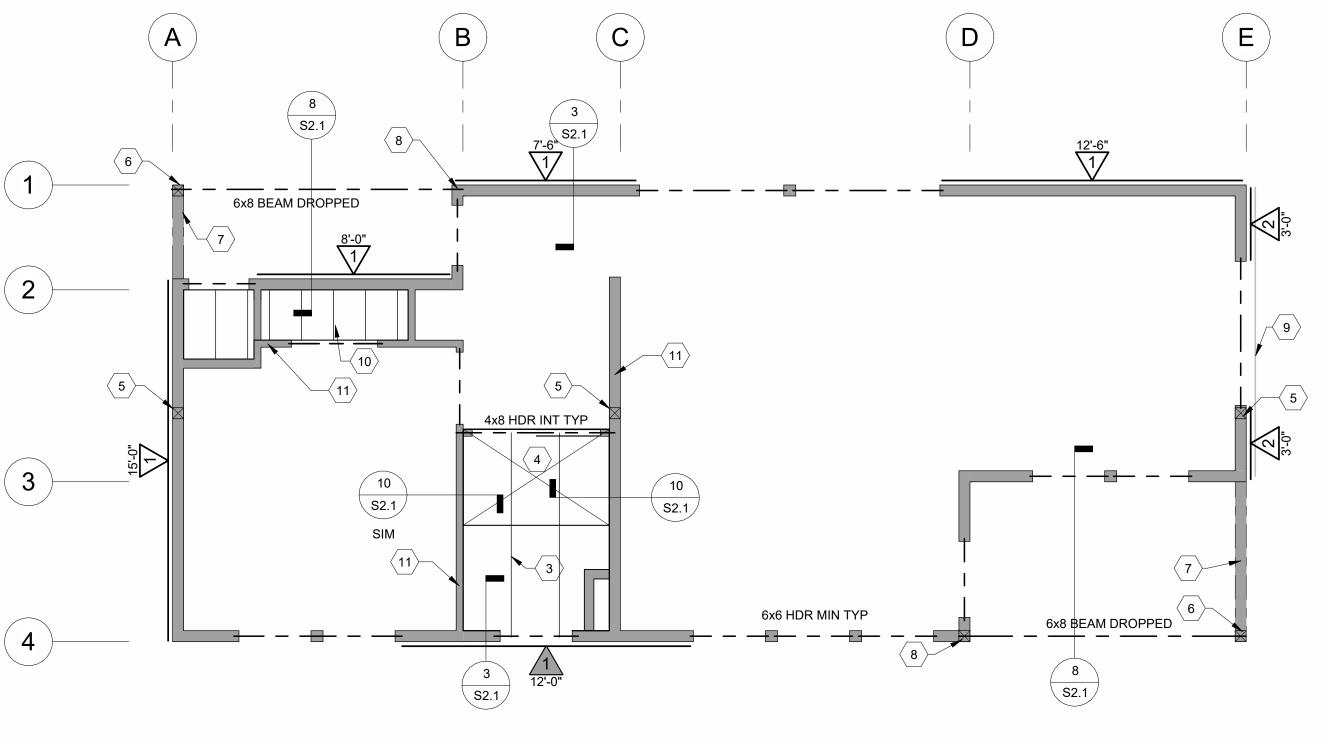
ONE BEDROOM PLUS STUDIO ROOF FRAMING PLAN

ONE BEDROOM PLUS ROOF & CEILING FRAMING PLAN KEYNOTES

NOTE	
NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 16" O.C.
4	CEILING PLYWOOD SEE ROOF AND CELING FRAMING NOTES
5	6x8 RIPPED RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC66 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	6x6 FULL HEIGHT POST
8	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x BEAM UNDER DBL TOP PLATE
9	STRAP ACROSS HEADER WITH CS16 HEADER PROVIDE BLOCKING SEE DETAIL 4/S0.1 SIM
10	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
44	FHILT HEIGHT WALLS



WALL BELOW



ONE BEDROOM PLUS STUDIO CEILING FRAMING PLAN

ROOF AND CEILING/LOFT FRAMING NOTES

1. SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOT

- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/ FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- 3. ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER
- 4. SHEAR WALLS ARE INDICATED BY XX ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULI
- 5. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE 1.
- 6. CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

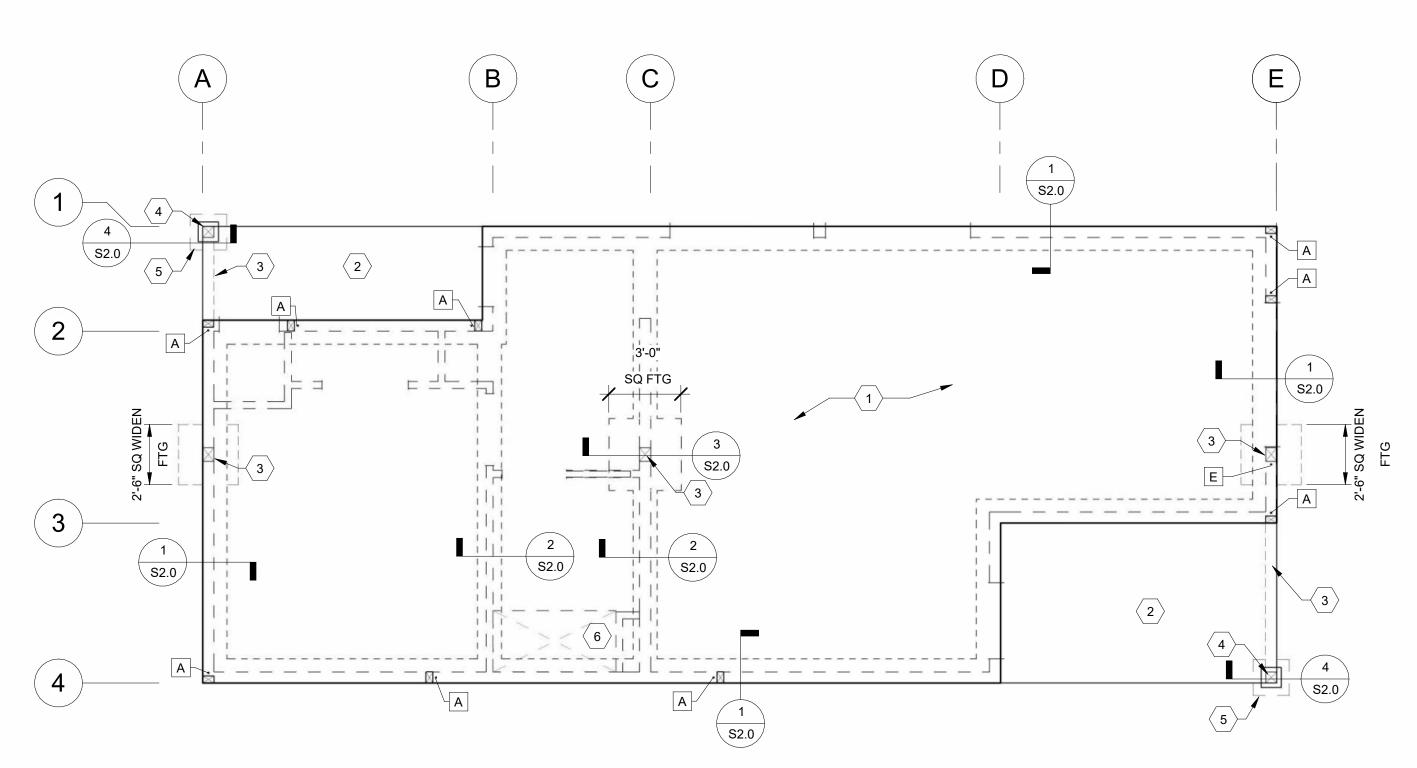
FOUNDATION PLAN NOTES

- 1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- 2. DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- 3. HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- 4. INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- 5. CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONE BEDROOM PLUS FOUNDATION PLAN KEYNOTES NOTE NUMBER NOTE TEXT 1 4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP. 2 ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL 3 POST ABOVE 3 SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW 4 6x6 POST WITH PBS66 OR CBS66 5 ISOLATED PEDESTAL AND FOOTING

OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

	☐ HOLDOWN SCHEDULE								
MARK	HOLDOWN MARK MODEL POST SIZE ANCHOR TYPE DETAIL								
Α	HDU2	DBL 2x6	SB5/8x24	9/S0.1					
В	HDU4	DBL 2x6	SB5/8x24	9/S0.1					
С	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1					
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1					
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1					
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1					



ONE BEDROOM PLUS STUDIO FOUNDATION PLAN 1/4" = 1'-0"

STRUCTURAL
ENGINEERING
tola Rd, Suite 204, Capitola, CA 95010
contact@cmtaylorse.com

REVISION SCHEDULE

DATE 7-14-23

CM Structural Engineering. Inc. 4245 Capitola Rd. 8

CENTRAL COAST STOCK ADU

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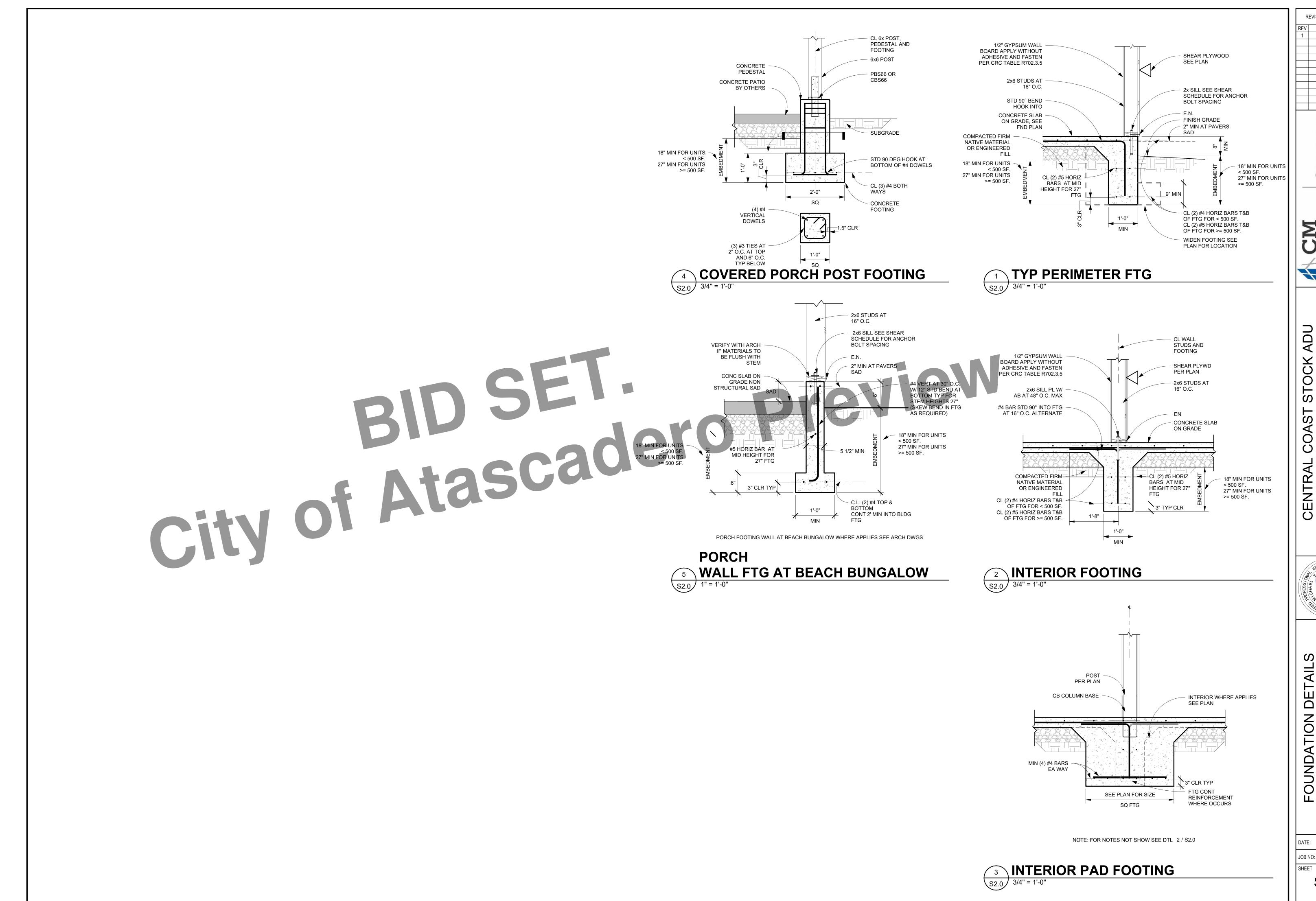
ONE BEDROOM PLUS ROOF/CEILING FRAMING AND FOUNDATION PLAN

DATE: 11-18-2022

JOB NO: 21091

SHEET

S1.0

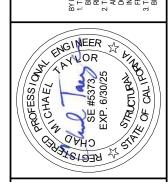


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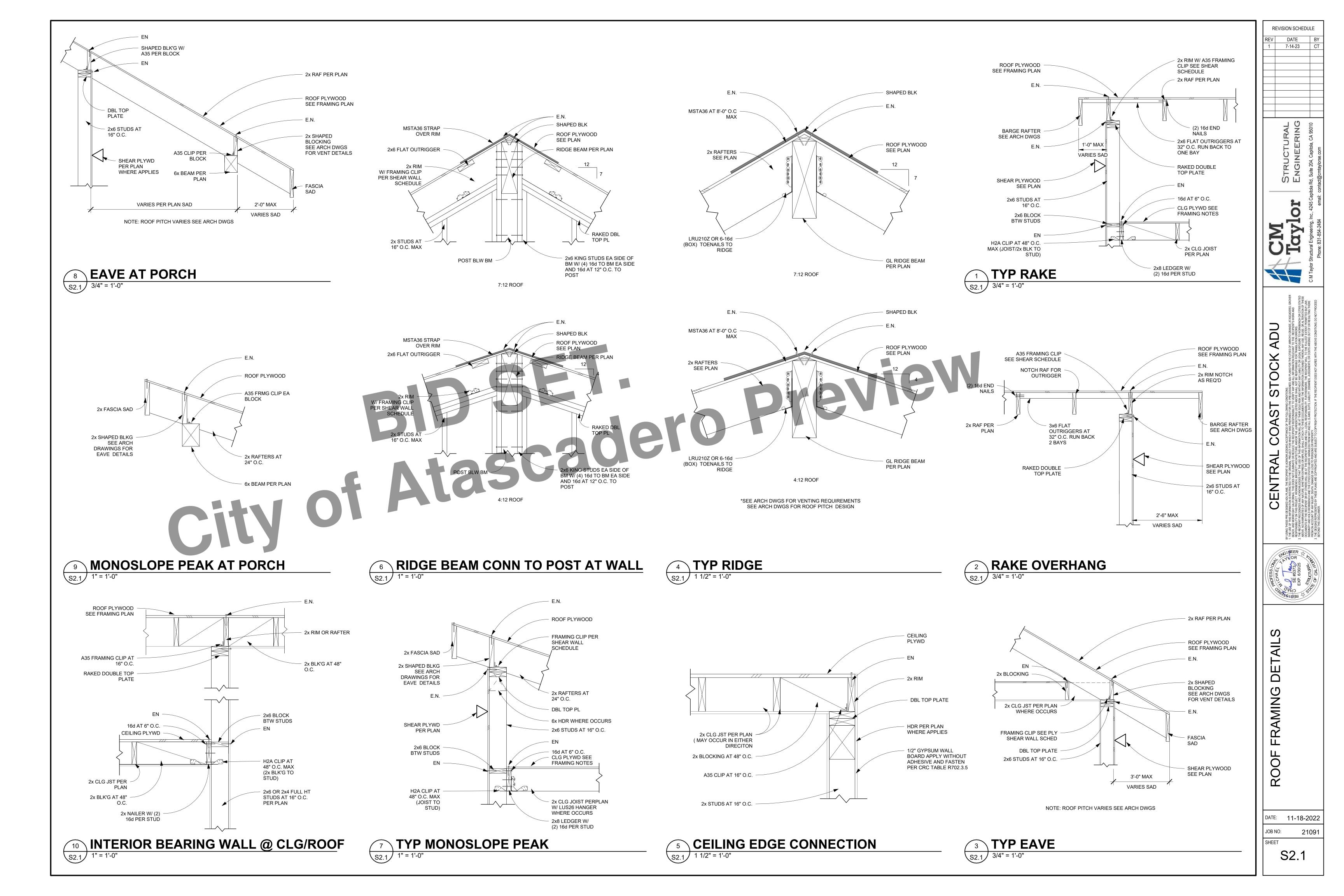
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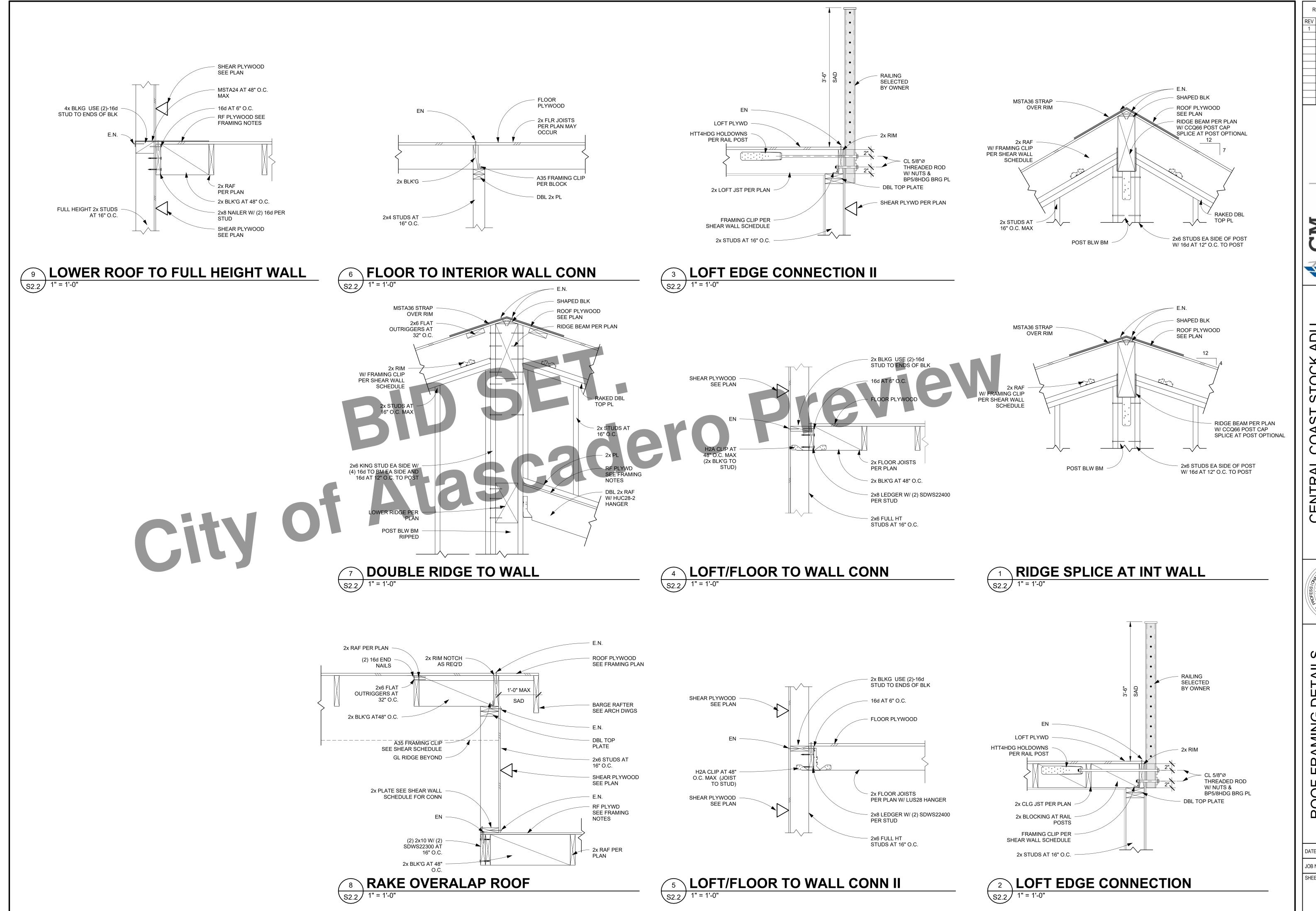


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DATE: 11-18-2022

S2.0





REVISION SCHEDULE DATE B 7-14-23

STRUCTURAL ENGINEERING

ADU TOCK

F FRAMING DETAILS (CONTINUED)

DATE: 11-18-2022 21091 JOB NO: SHEET S2.2

SYMBOLS & ABBREVIATIONS (MECHANICAL) ∕ВТ BYPASS TIMER EC ELECTRICAL CONTRACTOR EDB ENTERING DRY BULB CENTER LINE EOD EXTENT OF DEMOLITION ———CD—— CONDENSATE DRAIN ETR EXISTING TO REMAIN EWB ENTERING WET BULB DIAMETER EWT ENTERING WATER TEMPERATURE EXHAUST, RETURN, SUPPLY DEGREES FAHRENHEIT AIR DUCT (EXISTING) FLEXIBLE CONNECTION EXHAUST, RETURN, SUPPLY FD FIRE DAMPER AIR DUCT (NEW) FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER EXTENT OF DEMOLITION FT.HD. FEET HEAD FTR FLUE THRU ROOF UP, DOWN, PENE & DEMO GC GENERAL CONTRACTOR FIRE/SMOKE DAMPER GPM GALLONS PER MINUTE HORSE POWER FIRE DAMPER KW KILOWATTS POINT OF CONNECTION LBS POUNDS LWT LEAVING WATER TEMPERATURE P/T PLUG MBH 1,000 BTU/HR RETURN OR EXHAUST AIR _____ MC MECHANICAL CONTRACTOR RETURN DUCT (N) NEW UP, DOWN, PENE & DEMO NIC NOT IN CONTRACT NTS NOT TO SCALE SPEED CONTROL SWITCH OBD OPPOSED BLADE DAMPER SPIN-IN EXTRACTOR/DAMPER OSA OUTSIDE AIR SUPPLY DUCT PC PLUMBING CONTRACTOR UP, DOWN, PENE \$ DEMO PENE PENETRATION SUPPLY OR OUTSIDE AIR PD PRESSURE DROP PH PHASE T THERMOSTAT at + 48" POC POINT OF CONNECTION X X X TO BE REMOVED P/N PART NUMBER ____ TRANSFER AIR PRV PRESSURE REDUCING VALVE PSI POUNDS PER SQUARE INCH \leftarrow TURNING VANES P/T PRESSURE / TEMPERATURE VOLUME DAMPER RA RETURN AIR RAD RETURN AIR DUCT (RL) RELOCATE RPM REVOLUTIONS PER MINUTE SUPPLY AIR ACCESS DOOR SAD SUPPLY AIR DUCT ABOVE FINISH FLOOR SD SUPPLY DIFFUSER ACOUSTICALLY LINED SP STATIC PRESSURE ACCESS PANEL 55 STAINLESS STEEL BD BALANCING DAMPER STD STANDARD BDD BACKDRAFT DAMPER TV TURNING VANES BHP BRAKE HORSE POWER TYP TYPICAL BETWEEN JOIST UCD UNDERCUT DOOR BTU BRITISH THERMAL UNIT UON UNLESS OTHERWISE NOTED CONDUIT VOLT CA COMBUSTION AIR VD VOLUME DAMPER CD CONDENSATE DRAIN VIF VERIFY IN FIELD CFM CUBIC FEET PER MINUTE W/ WITH DEMO DEMOLITION WC WATER COLUMN DOOR LOUVER WEIGHT **EXISTING** (E) W/O WITH OUT EAD EXHAUST AIR DUCT

GENERAL MECHANICAL NOTES

- I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES. AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- 2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- 3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- 7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE I " ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR
- 8. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES
- 9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- IO. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- II. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- 13. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS
- PRESCRIBED IN CBC SECTION 714. 14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO
- 15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO
- SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DN, WELDING AND PAINTING SHALL BE IN ACCORDANC STITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO
- VINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- T BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- 20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA
- 21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118
- 22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- 23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

CVMBOIG & ARRDENIATIONS (PILIMBINIC)

SYMBO	LS & ABBREVIAT	IONS	(PLUMBING)
	BALANCING COCK	AFF	ABOVE FINISH FLOOR
——————————————————————————————————————	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
		CA	COMPRESSED AIR PIPING
	CHECK VALVE	CB	CATCH BASIN
	CLEANOUT	CD	CURIC FEET REP. HOUR
	DOMESTIC COLD	CFH CI	CUBIC FEET PER HOUR CAST IRON
	WATER (EXISTING)	CP	CHROME PLATED
	DOMESTIC COLD WATER (NEW)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER	DHW	DOMESTIC HOT WATER
	(EXISTING)	DHWR	DOMESTIC HOT WATER RETU
	DOMESTIC HOT WATER (NEW)	DCV	DETECTOR CHECK VALVE
	DOMESTIC HOT WATER (NEW)	DN	DOWN
	(EXISTING)	DS	DOWN SPOUT
	DOMESTIC HOT WATER RETURN	DSP	DRY STAND PIPE
	(NEW)	(E)	EXISTING
—	DIRECTION OF FLOW	EC EL	ELECTRICAL CONTRACTOR ELEVATION
DSP	DRY STANDPIPE	(F)	FIRE SPRINKLER PIPING
		FC	FLEX CONNECTOR
	FIRE SPRINKLER PIPING	FCO	FLOOR CLEANOUT
	FLANGED UNION	FD	FLOOR DRAIN
	FLOOR DRAIN	FL	FIRE LINE
	FLOOR SINK	FM FS	FORCE MAIN FLOOR SINK
——— FM ———	FORCE MAIN	FSC	FIRE SPRINKLER CONTRACTO
G	GAS PIPING (EXISTING)	GC	GENERAL CONTRACTOR
G	GAS PIPING (NEW)	GCO	GROUND CLEANOUT
<u>T</u>	GAS COCK	GPM	GALLONS PER MINUTE
V		HB HWS	HOSE BIBB HOT WATER SUPPLY
T	GATE VALVE	IE:	INVERT ELEVATION
$\longrightarrow \bigvee$	GLOBE VALVE	LAV	LAVATORY
	HOSE BIBB (3/4" MIN.)	MC	MECHANICAL CONTRACTOR
T	PETES PLUG	NPW	NON POTABLE WATER
	PIPE (ABOVE THE CEILING)	(N)	NEW OVERELOW BRAIN
\times	PIPE HANGER	OFD PC	OVERFLOW DRAIN PLUMBING CONTRACTOR
<u> </u>	PIPE TURNING UP (RISE)	PIV	POST INDICATION VALVE
<u></u>	PIPE TURNING DOWN (DROP)	POC	POINT OF CONNECTION
	PIPE TEE DOWN	POD	POINT OF DEMOLITION
	PRESSURE REDUCING VALVE	PP PRV	PETES PLUG PRESSURE REDUCING VALVE
1	I & PRV RELIEF VALVE	PVC	POLYVINYL CHLORIDE PIPE
	POINT OF CONNECTION	RD	ROOF DRAIN
	TO EXISTING	RPBFP	BACKFLOW PREVENTOR REDUCED PRESSURE
RWL—	RAIN WATER LEADER (EXISTING)	RWL	RAIN WATER LEADER
DWI -	PAIN WATER LEADER	SD	STORM DRAIN

REDUCER

STRAINER

UNDERGROUND (NEW)

WATERHAMMER ARRESTOR

TRAP PRIMER (TP)

UNION

---- VENT PIPING (EXISTING)

---- WASTE PIPING (EXISTING) ---- (N) WASTE PIPING (NEW)

STORM DRAIN (EXISTING)

STORM DRAIN (NEW)

— — — — — SUB-SOIL PIPING

----- VENT PIPING (NEW)

——II——

ROOF DRAIN

STORM DRAIN

TRAP PRIMER

VALVE BOX

VTR VENT THRU ROOF

WASTE

VERIFY IN FIELD

WATER CLOSET

WALL CLEANOUT

WATER HEATER

WATER METER

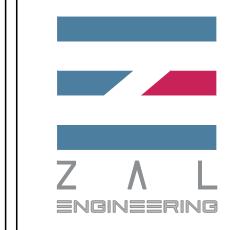
WATER HAMMER ARRESTOR

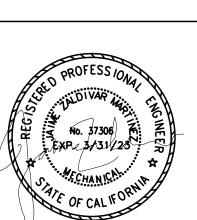
SHUTOFF VALVE

SANITARY SEWER

GENERAL PLUMBING NOTES

- 1. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- 2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- 6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- 7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- IO. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- II. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- 12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS, ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO
- 13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- 14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- 15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.





GENERAL

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	NO.	DESCRIPTION	DATE
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	ENGINE	ER BY:	
	DRAWN	N BY:	

CHECKED BY:

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OUT	DOOR	UNIT											
С	ODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	МОСР	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
				SEER					(LBS)	LEVELING		SERVED	
	DU-I	MITSUBISHI	MXZ-2C2ONA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
C)U-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
C	DU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	

CODE	MFR	MODEL		SUPPLY FAN	1	E	ELECTRICA	L			COOLI	NG COIL		HE	EATING CC	IL				COMMENT
			CFM	ESP (in)	BHP	V/PH	MCA	МОСР	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-I	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	I	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	I	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22		MULTIPLE

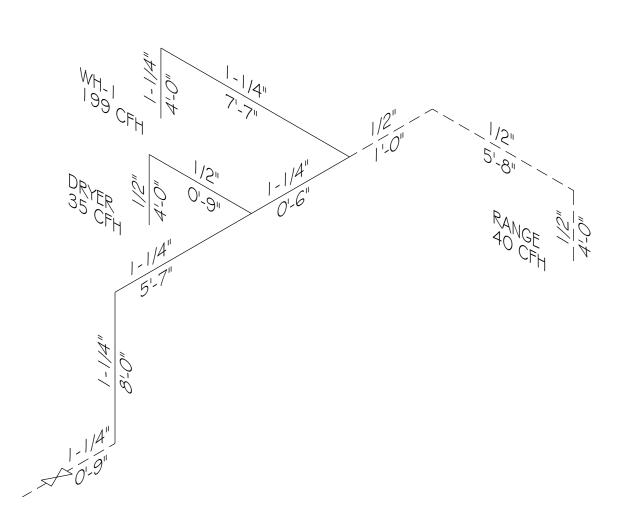
ODE	MFR	MODEL	CFM	ESP (ın)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							HP		ISOLATORS	(LBS)			
EF-I	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	115/1	7	9.5	BATHROOMS	0.8	1

CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE			MIN. ROUGH	-IN CONN (IN)		LOCATION	REMARKS
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW		
L- I	LAVATORY	_	_	-	•	2	11/2	1/2	1/2	BATHROOMS	1.2 GPM
BT-1	BATHTUB	-	•	_	_	2	11/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD
WC-I	WATER CLOSET	-	_	•	_	3	2	1/2	-	BATHROOMS	1.28 GPF
SK-I	KITCHEN SINK	_	_	•	_	2	11/2	1/2	1/2	KITCHENS	I.8 GPM
CWB- I	WASHER	_	_	-	•	2	11/2	1/2	1/2	CLOSETS	W/ WHA
HB-I	HOSE BIB	_	_	_	•			1/2		EXTERIOR WALLS	

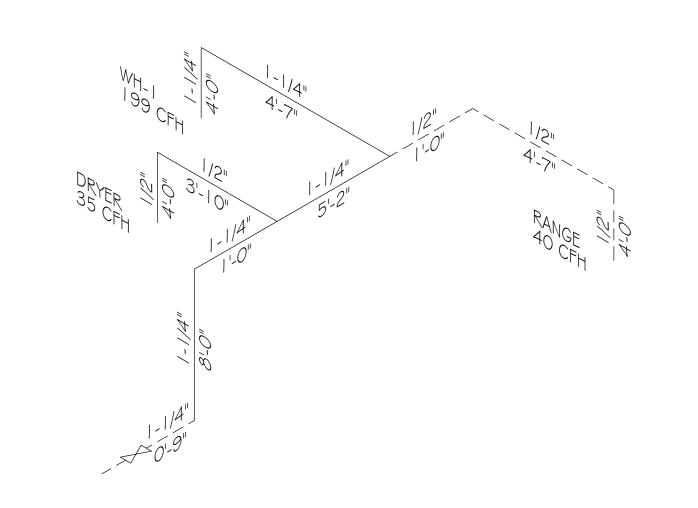
WATER HE	EATER SCHEDU	LE													
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG	REMARKS	
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.			
WH-I	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	I	64	26.4	RU199e	RINNAI	UEF: 0.93	
EWH-I	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE4OT OHS45 UO	RHEEM	DUCT HEAT REJECTION	ON TO OUTSIDE

DRYER OF THE STATE OF THE STATE

GAS ISOMETRIC DIAGRAM - ONE \$ TWO BEDROOMS







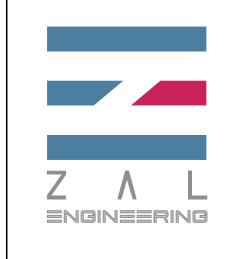
GAS ISOMETRIC DIAGRAM - EFFICIENCY

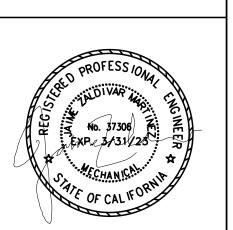
BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

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2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE CITY OF CAPITOLA. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT

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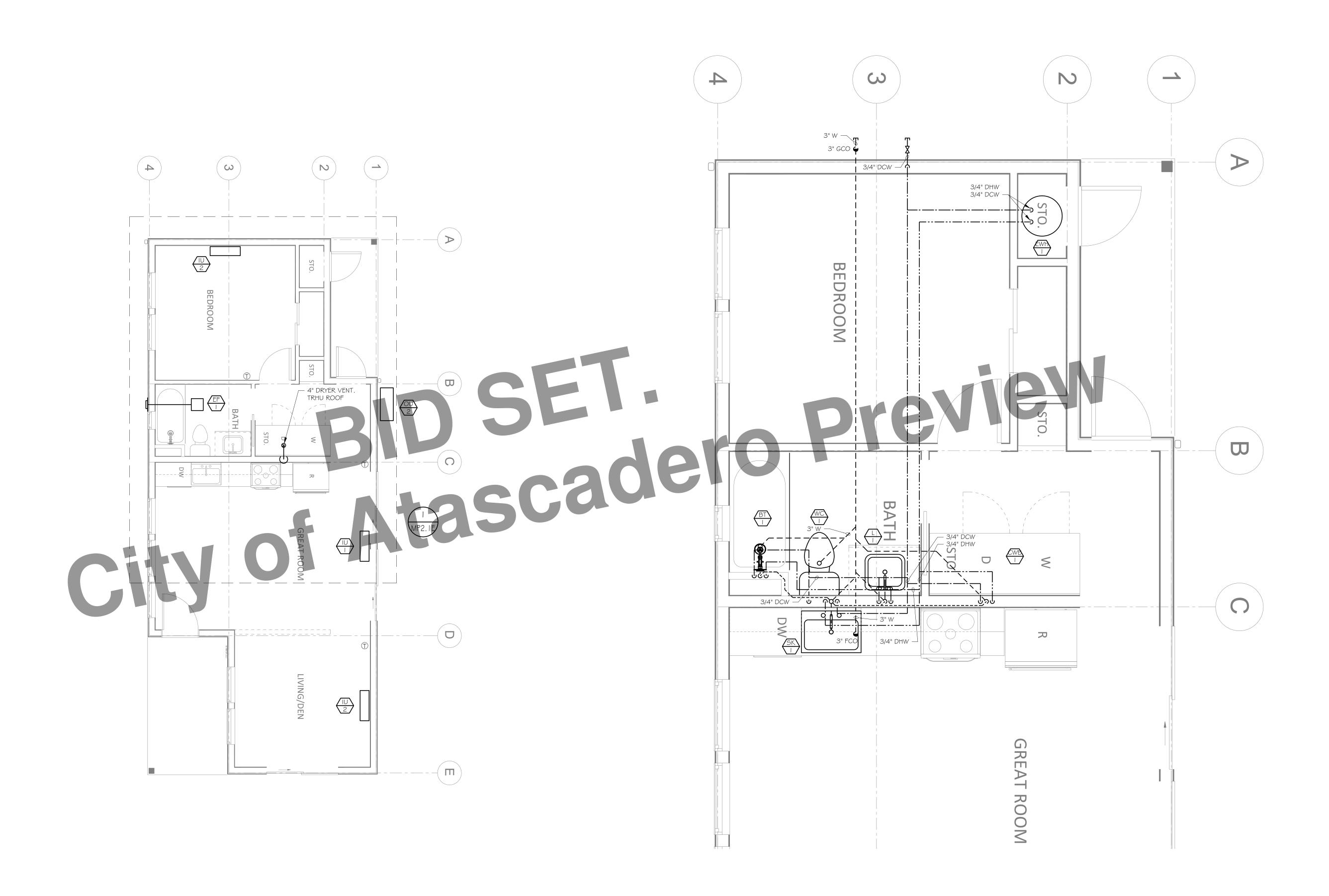


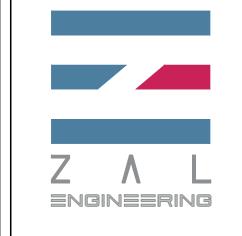
SCHEDULES # GAS DIAGRAMS MECHANICAL & PILIMBING

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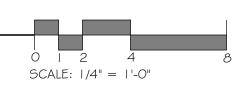


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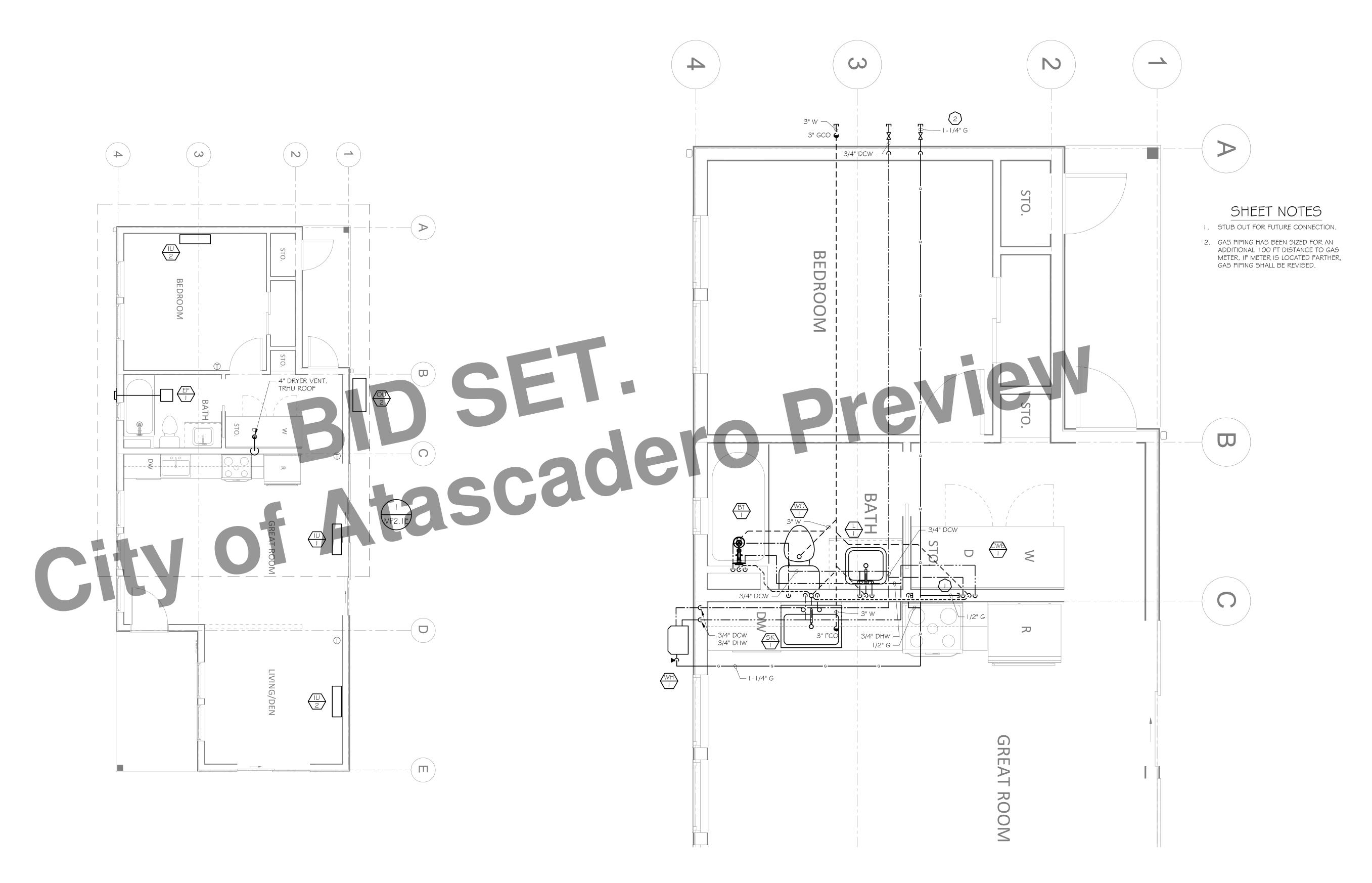
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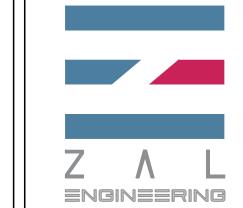






SCALE: 1/2" = 1'-0"





ZAL ENGINEERING



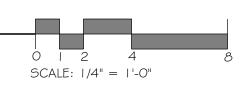


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SCALE: 1/2" = 1'-0"

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldivar, P. contact@zalengineering.co 831-641-773 ZAL (zalengineering.com

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		ZONE INFORMA		e 24 Analysis				Inp	at File Name: 4	4_OBP_E_CZ4.rîbd	22X			
11 Cool Poof		01		02	03			04		05		06		07
Cool Roof		Zone Nar		Zone Type	HVAC Syste		Zon	e Floor Are	a (ft²) A	/g. Ceiling Height	Water Hear		m 1	Status
Yes		One Bed F	rius	Conditioned	OU-	-11		631.65		8	DHV	V Sys 1		New
Yes		OPAQUE SURFA	CES	02	03		04	1	05	06		07		08
Yes		Name		Zone	Construction	n	Azim	uth	Orientation	Gross Area (f	.²) Win	ndow and I Area (ft2)		Tilt (deg)
		Front Wal		One Bed Plus	R-21 Wall		31	5	n/a	48		21		90
14		Lateral 1 W Lateral 2 W		One Bed Plus One Bed Plus	R-21 Wall		22		n/a n/a	112		36 84		90
erior Shading		Front Wall	2	One Bed Plus	R-21 Wall		31	5	n/a	90.67		42		90
ug Screen		Lateral 1 Wa		One Bed Plus One Bed Plus	R-21 Wall		22		n/a n/a	86.75 92		0		90
Bug Screen		Lateral 2 Wa		One Bed Plus	R-21 Wall	200	\$22	1000	n/a	52.33		0		90
Bug Screen		Back Wall Lateral 1 Wa		One Bed Plus One Bed Plus	R-21 Wall R-21 Wall		13		n/a n/a	26.25 40		17.5 4.5		90
lug Screen		Lateral 1 Wa		One Bed Plus One Bed Plus	R-21 Wall R-21 Wall		45 22		n/a n/a	90 42.99		24 0		90 90
Bug Screen		Back Wall		One Bed Plus	R-21 Wall		13		n/a	93.66		0		90
Bug Screen		OPAQUE SURFA	CES - CATHEDE	AL CEILINGS				;						
Bug Screen		01	02	03	04	05	i	06	07 Shulisht	08	09	_	10	11
Bug Screen		Name	Zone	Construction	Azimuth	Orienta	ation	Area (ft ²)	Skylight / (ft ²)	Area Roof Rise (x 12)	in Roo Reflects	IR	oof Emittance	Cool Roof
ug Screen		Roof	One Bed Pl	us R-38 Roof No Attic	135	n/a	a	251.85	0	3	0.75	5	0.85	Yes
ug Screen		Roof 2	One Bed Pl	us R-38 Roof No Attic	135	n/a	a	130.33	0	3	0.75	5	0.85	Yes
CalCERTS inc.		Registration Nu		1107156A-000-000-0000	000 0000		R	egistration		-25 17:19:50	HER	S Provider:	:	CalCERTS in
R-PRF-01-E age 5 of 14)		CERTIFICATE OF Project Name: Calculation Des	Central Coas					Cald	-	Time: 2023-08-257 4_OBP_E_CZ4.ribd		:00		CF1R-PRF-01- (Page 4 of 14
age		Energy Us	En	itandard Design Sou ergy (EDR1) (kBtu/ft		Design TD\ (kTDV/ft ² 17.87			ed Design Source DR1) (kBtu/ft ²	-yr) (EDR2) (I	sign TDV Ener		mpliance rgin (EDR1)	Compliance Margin (EDR2)
		Space Heat Space Cool	-	2.63	1	28.18			0.38		1.26 0.84		0.27	7.34
		IAQ Ventilat		0.92	- 11 - 1	9.85			0.7	:	7.49	_	0.22	2.36
		Water Heat	ing	3.17		34.2			1.96	2	3.67		1.21	10.53
		Self Utilization/Fle: Credit	kibility								0			0
		South Faci Efficiency Com Total		7.37		90.1			4.5	6	3.26		2.87	26.84
		Space Heat	ing	2.63		17.87		Sin	1.48		1.09		1.15	6.78
		Space Cool		0.65	H	9.85	15		0.7		27 7.49		0.11	2.36
		Water Heat		3.17		34.2			1.96		3.61		1.21	10.59
		Self												
		Utilization/Fle: Credit	dbility								0			0
		West Facing Eff Compliance		7.37		90.1			4.68	6	9.19		2.69	20.91
CalCERTS inc. 12:24:51 			223-P010 rgy Efficiency: F COMPLIAN Central Coas		idential Compliance		R Si	chema Versi	2023-08 on: 2022.0.000 on: rev 2022090	-25 17:19:50 01 Time: 2023-08-25T 1_ OBP_E_CZ4.ribd	Repo		: ited: 2023-08-	CalCERTS in 25 12:24:51 CF1R-PRF-01- (Page 1 of 14
		GENERAL INFOR	MATION	Project Name	Central Coast ADI	U OBP								
al ² EDR R2total)		02		Run Title Project Location										
-ELOUBIJ		04		City	Atascadero			05			rds Version 2			
		06		Zip code Climate Zone				07		Softw ont Orientation (deg	are Version E			
4.2		10		Building Type	Single family			11		Number of Dw	elling Units 1			
4.2		12	Addition (Project Scope Cond. Floor Area (ft ²	Newly Constructe 0	ed		13			Bedrooms 1			
1.2		16		Cond. Floor Area (ft ²				17	_	Fenestration Avera				
		18	Total (Cond. Floor Area (ft ²	631.65		=>	19		Glazing Per	entage (%) 3	4.00%		
5.6	1	20		ADU Bedroom Coun	: n/a			SP	FC					
5.6														
5.6		COMPLIANCE RE		pplies with Compute	r Performance			4						

01				02				03			(04	
Name			Side	of Building	•		Ar	ea (ft²)			U-fa	actor	
Door			F	ront Wall	•			21			C).2	
Door B			E	Back Wall				17.5			C).2	
RHANGS AND FINS							,						
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window			Overhang				Left	Fin			Righ	t Fin	
window	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Тор Uр	Dist L	Bot Up	Depth	Тор Uр	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75		0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75		0	O	0	0	0	0	0
Window OP	2.8	0.8	5 🖟	55	0.75				Po	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 7	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 8	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
istration Number:	0107156A-000-0	200 0000000	000		Regis	stration Date		5 17:19:50		HERS Pro	vider:		CalCERTS in

Schema Version: rev 20220901

Calculation Date/Time: 2023-08-25T14:24:10-05:00

Input File Name: 4_OBP_E_CZ4.rîbd22x

CF1R-PRF-01-E

(Page 9 of 14)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

R-38 Roof No

Attic R-38 Roof No

Attic

Attic

02 03 04 05 06

n/a

n/a

n/a

59.49

45.5

144.48

Project Name: Central Coast ADU OBP

Calculation Description: Title 24 Analysis

OPAQUE SURFACES - CATHEDRAL CEILINGS

One Bed Plus

One Bed Plus

One Bed Plus

Window 2 Window Lateral 1 Wall

Window 3 Window Lateral 1 Wall

Window OP Window Lateral 2 Wall

Window OP 2 Window Lateral 2 Wall

Window OP 3 Window Front Wall 2

Window 4 Window Lateral 1 Wall 2

Window 5 Window Lateral 1 Wall 2

Window 6 Window Lateral 1 Wall 3

Window 7 Window Lateral 1 Wall 4

Window 8 Window Lateral 1 Wall 4

Registration Number: 223-P010107156A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107156A-000-000-0000000-0000

Standard Design PV Capacity: 1.72 kWdc

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Window Lateral 1 Wall

Roof 5

Window

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU OBP

Calculation Description: Title 24 Analysis

-	ntral Coast ADU OF					-		14:24:10-05:0	00	(1	Page 6 of 14)
alculation Descri	iption: Title 24 Ana	llysis		Input Fi	ie Name	: 4_OBP_E_C	Z4.ribd2	2x			
REQUIRED PV SYST	EMS										
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
1.72	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	<=7:12	96	98
REQUIRED SPECIAL											
EQUITED STECIAL	LAIGHES										
Indoor air qu IAQ Ventilatio	ality, balanced fan on System: as low as on System Heat Reco	very: minimum 80 SRE ar	nd 83 ASRE				ysis.	1			
Indoor air qu IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie Cool roof Window over Compact dist Recirculating	ality, balanced fan on System: as low as on System Heat Reco on System: supply ou on System: fault indicrhangs and/or fins tribution system basic with demand contro	0.30303 W/CFM very: minimum 80 SRE at tside air/inlet, filter, and ator display	nd 83 ASRE H/ERV cores access	sible per RACM Reference	ce Manual						
Indoor air qu IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie Cool roof Window over Compact dist Recirculating	ality, balanced fan on System: as low as on System Heat Reco on System: supply ou on System: fault indicrhangs and/or fins tribution system basic with demand contronergy Efficiency Alliar	0.30303 W/CFM very: minimum 80 SRE at tside air inlet, filter, and ator display credit	nd 83 ASRE H/ERV cores access	sible per RACM Reference	ce Manual				9		
Indoor air qu IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie IAQ Ventilatie Cool roof Window over Compact dist Recirculating Northwest En	ality, balanced fan on System: as low as on System Heat Reco on System: supply ou on System: fault indicates and/or fins tribution system basic with demand controllergy Efficiency Allian	0.30303 W/CFM very: minimum 80 SRE at tside air inlet, filter, and ator display credit	nd 83 ASRE H/ERV cores access mp. water heater; s ified by a certified	sible per RACM Reference	ce Manual	eting the mode	talled	ay performance	e for this com	puter analysis	Additional

Number of Ventilation

Cooling Systems

HERS Provider:

Report Generated: 2023-08-25 12:24:51

Number of Zones

2023-08-25 17:19:50

Number of Water

Heating Systems

CalCERTS inc.

CERTIFICATE OF COMP	LIANCE - RESIDENTIAL PERFO	RMANCE COMPLIANCE METH	IOD			CF1R-PRF-01-E
Project Name: Central	Coast ADU OBP		Calculation Date/Time	: 2023-08-25T14:24:10-05:00		(Page 3 of 14)
Calculation Description	n: Title 24 Analysis		Input File Name: 4_OB	P_E_CZ4.rîbd22x		Compliance Margin (EDR2) 5.82 1.44 2.36 10.54
ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	
Space Heating	2.63	17.87	1.5	12.05	1.13	5.82
Space Cooling	0.65	28.18	0.5	26.74	0.15	1.44
IAQ Ventilation	0.92	9.85	0.7	7.49	0.22	2.36
Water Heating	3.17	34.2	1.96	23.66	1.21	10.54
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	7.37	90.1	4,66	69.94	2.71	20.16
Space Heating	2,63	17.87	5 1.93	14/41	0.7	3.46

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

-P010107156A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Energy Use	Energy (EDR1) (kBtu/ft ² -yr)	(EDR2) (kTDV/ft ² -yr)	Energy (EDR1) (kBtu/ft ² -yr)	(EDR2) (kTDV/ft ² -yr)	Margin (EDR1)	Margin (EDR2
Space Heating	2.63	17.87	1.5	12.05	1.13	5.82
Space Cooling	0.65	28.18	0.5	26.74	0.15	1.44
IAQ Ventilation	0.92	9,85	0.7	7.49	0.22	2.36
Water Heating	3.17	34.2	1.96	23.66	1.21	10.54
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	131	90.1	4.66	69.94	2.71	20.16
Space Heating	2.63	17.87	1.93	14/41	0.7	3.46
Space Cooling	0.65	28.18	F 13 0.43	D E 524.64	0.22	3.54
IAQ Ventilation	0.92	9.85	0.7	7.49	0.22	2.36
Water Heating	3.17	34.2	1.97	23.78	1.2	10.42
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency	7.37	90.1	5.03	70.32	2.34	19.78

Registration Number:	Registration Date/Time:	HERS Provider:
223-P010107156A-000-000-0000000-0000	2023-08-25 17:19:50	CalCERTS inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000	Report Generated: 2023-08-25 12:24:51
	Schema Version: rev 20220901	

CERTIFICATE OF COMPLIANCE - RE	SIDENTIAL PERFORMANCE COMPLI	ANCE METHOD		CF1R-PRF-01-E
Project Name: Central Coast ADU	OBP	Calculation Date	/Time: 2023-08-25T14:24:10-05:00	(Page 5 of 14)
Calculation Description: Title 24 A	nalysis	Input File Name:	4_OBP_E_CZ4.rîbd22x	
ENERGY USE INTENSITY				
	Standard Design (kBtu/ft² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
North Facing				
Gross EUI ¹	26.24	23.12	3.12	11.89
Net EUI ²	11.49	8.37	3.12	27.15
East Facing				
Gross EUI ¹	26.24	23.23	3.01	11.47
Net EUI ²	11.49	8.49	3	26.11
South Facing				
Gross EUI ¹	26.24	1 22.87	3.37	12.84
Net EUI ²	1149	8.12	3370	29.33
West Facing		NOTATION	IUEK	
Gross EUI ¹	26.24	22.99	3.25	12.39
Net EUI ²	11.49	8.24	3.25	28.29
Notes				

Calculation Date/Time: 2023-08-25T14:24:10-05:00

Skylight Area Roof Rise (x in

0.28

0.28

0.28

0.28

0.28

0.28

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2022.0.000

Schema Version: rev 20220901

42 0.28

12 0.28

07 08 09

0.75

0.75

0.35

0.35

NFRC 0.35

NFRC 0.35

NFRC 0.35

NFRC 0.35

NFRC 0.35

NFRC 0.35

0.85

0.85

NFRC

NFRC

NFRC

NFRC

NFRC

NFRC

NFRC

NFRC

Report Generated: 2023-08-25 12:24:51

HERS Provider:

Report Generated: 2023-08-25 12:24:51

Input File Name: 4_OBP_E_CZ4.rîbd22x

Source Energy (EDR1)	Energy Design Ratings Efficiency ¹ EDR			Compliance Margins	
				Compliance Margins	
	Efficiency ¹ EDR			piionee meegina	
	(EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
30.6	31.7	30.6			
	Propose	d Design			
25.8	24.6	26.4	4.8	7.1	4.2
26.4	24.8	26.4	4.2	6.9	4.2
25.5	22.3	25	5.1	9.4	5.6
25.9	24.4	26.2	4.7	7.3	4.4
	HUE	M 200	Inc		
	26.4 25.5 25.9	25.8 24.6 26.4 24.8 25.5 22.3 25.9 24.4	26.4 24.8 26.4 25.5 22.3 25 25.9 24.4 26.2	25.8 24.6 26.4 4.8 26.4 24.8 26.4 4.2 25.5 22.3 25 5.1 25.9 24.4 26.2 4.7 RESULT ³ : PASS	25.8 24.6 26.4 4.8 7.1 26.4 24.8 26.4 4.2 6.9 25.5 22.3 25 5.1 9.4 25.9 24.4 26.2 4.7 7.3 RESULT ³ : PASS

²Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries

Proposed PV Capacity Scaling: North (1.72 kWdc) East (1.72 kWdc) South (1.72 kWdc) West (1.72 kWdc)

³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2022.0.000

Schema Version: rev 20220901

Registration Number: 223-P010107156A-000-000-00000-0000	Registration Date/Time:	HERS Provider:	CalCER*

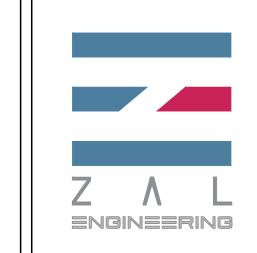
Report Version: 2022.0.000

Schema Version: rev 20220901

			08	Climate Zone 4	09	Front Orientation (deg/ Cardinal) All orientations
Т	7.1	4.2	10	Building Type Single family	11	Number of Dwelling Unit:	s 1
+	7.1	7.2	12	Project Scope Newly Constructed	13	Number of Bedroom:	s 1
	6.9	4.2	14	Addition Cond. Floor Area (ft ²) 0	15	Number of Stories	s 1
	9.4	5.6	16	Existing Cond. Floor Area (ft²) n/a	17	Fenestration Average U-facto	r 0.28
T	7.3	4.4	18	Total Cond. Floor Area (ft²) 631.65	19	Glazing Percentage (%) 34.00%
_			20	ADU Bedroom Count n/a			
			COMPLIANCE	RESULTS			
			01	Building Complies with Computer Performance		OVIDER	
no:	t exceeded		02	This building incorporates features that require field testing a	and/or verification by a co	ertified HERS rater under the supervision of	a CEC-approved HERS provider.
_			03	This building incorporates one or more Special Features show	vn below		
	HERS Provider: Report Generated: 202	CalCERTS inc.	Registration	Number: 223-P010107156A-000-000-000000-0000 Energy Efficiency Standards - 2022 Residential Compliance	Registration Dal Report Version:	2023-08-25 17:19:50	HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

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> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Central Coast ADU OBP Calculation Date/Time: 2023-08-25T14:24:10-05:00 (Page 14 of 14) Input File Name: 4_OBP_E_CZ4.ribd22x Calculation Description: Title 24 Analysis Signature Date: 2023-08-25 17:19:50 A/ HERS Certification Identification (If applicable) M37306 831-641-7739 the following under penalty of perjury, under the laws of the State of California I am eligible under Division 3 of the Business and Professions Code to accept

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information. Registration Number: 223-P010107156A-000-000-0000000-0000 Registration Date/Time: HERS Provider: 2023-08-25 17:19:50

Report Version: 2022.0.000

Schema Version: rev 20220901

at CalCERTS.com CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Easy to Verify

CF1R-PRF-01-E

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD						CF1R-PRF-01-E		CERTIFICATE OF COMPLIANCE - RES	SIDENTIAL PERFORMANCE COMPL	IANCE METHOD	HOD			
•	Project Name: Central Coast ADU OBP			Date/Time: 2023-08-25T ame: 4_OBP_E_CZ4.rîbd2		(Page 12 of 14)		Project Name: Central Coast ADU C Calculation Description: Title 24 Ar			Calculation Date/Time: 2023-08-25T14:24:10-05:00 Input File Name: 4_OBP_E_CZ4.ribd22x			
WATER HEATING - COMPA	WATER HEATING - COMPACT DISTRIBUTION							BUILDING ENVELOPE - HERS VERIFICAT	TION					
01	04	05	06	07		01	02	03	04					

07		01		02		03		04		05	
		Quality Insulation Installation (QII)		High R-value Spray Foam Insulation		Building Envelope Air Lea	kage	CFM50		CFM50	
HERS Verification		Required		Not Required		N/A		n/a		n/a	
n/a					•		•		•		
		WATER HEATING SYS	TEMS								
		01	02	03	04	05	06	07	08	09	
07							Solar Heating	Compact		Water Heater	
Shower Drain Water Heat		Name	System Type	Distribution Type	Water Heater Na	me Number of Units	System	Distribution	HERS Verification	Name (#)	

ł	01	02	us	04	US	00	0/	00	09
$\frac{1}{1}$	Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
}	DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)
1									
l	WATER HEATERS - NEEA HEAT PUMP								
1	01	02	03	04	JEM	05	06	07	08
1		1		NEEA Heat	Pump NEEA H	leat Pump			

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T10H22U 0	One Bed Plus	One Bed Plus	One Bed Plus

Number of Recirculation Loops Loop Insulation Thickness (in)

03

01	02	03	04	05	06	07	80	09	10	11	12	13		RECIRCULATION	ON LOOPS			
				Heati	ng			Cooling							01			
Name	System Type	Number of	Efficiency	HSPF /			Efficiency	SEER /	EER/	Zonally	Compressor	HERS Verification		Water He	eating System Name			
		Units	Type	HSPF2 / COP	Cap 47	Cap 17	Туре	SEER /	EER / CEER	Controlled	Туре	Туре					DHW Sys 1	Τ
				COF					CEEK									
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump						
													'					

Fan Name

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Water Heating System

02

03

Heat Pump System

Name

Dwelling Unit type

Dwelling

SPACE CONDITIONING SYSTEMS

OU-11

HVAC - HEAT PUMPS 01

WATER HEATING - HERS VERIFICATION

DHW Sys 1 - 1/1 Not Required

Heat pump

heating cooling

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

Master Bath distance of Kitchen distance of Furthest Third furthest

Heater (ft)

System Type Heating Unit Name Heating Equipment Cooling Unit Name Count Count

furthest fixture to Water | furthest fixture to Water | fixture to Water Heater

Compact Distribution

04 05 06

Heat Pump System

Heater (ft)

(ft)

05

Compact Distribution

Type

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Shower Drain Water H

Distribution Name

Recovery

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Recirculation Pump Power (W)

Recirculation Loop Location

	entral Coast ADU OBP			Calculation Date/Time: 2023-08-25T14:24:10-05:00					
-					-			(Page 13 of 14	
Calculation Desc	ription: Title 24 Analy	515		input rii	e Name: 4_OBP_E_C	.Z4.110022X			
HVAC HEAT PUMP	S - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09	
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17	
Heat Pump Syster 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes	
INDOOR AIR QUAI	LITY (IAQ) FANS								
01	02	03	04	05	06	07	08	09	
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status	
SFam IAQVentRp	t 66	0.30303	Balanced	Yes	83	No	Yes		
		1	Calc		[5, IT				

Registration Number: 223-P010107156A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

CF1R-PRF-01-E

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP

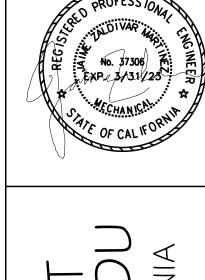
Calculation Date/Time: 2023-08-25T14:24:10-05:00 Input File Name: 4_OBP_E_CZ4.ribd22x Calculation Description: Title 24 Analysis

SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	One Bed Plus	251.85	0.1	none	0	100%	No
Slab-on-Grade 2	One Bed Plus	130.33	0.1	none	0	100%	No
Slab-on-Grade 3	One Bed Plus	59.49	0.1	none	0	100%	No
Slab-on-Grade 4	One Bed Plus	45.5	0.1	none	0	100%	No
Slab-on-Grade 5	One Bed Plus	144.48	0.1	none	0	100%	No

	/						
OPAQUE SURFACE CONSTR	RUCTIONS						
01	02	03	- O4 O	05	.06	07	08
Construction Name	Surface Type	Construction Type	Framing P	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-23	5 / None	0.045	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-23 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 24 in. O. C.	R-40	None / None	0.026	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Radiant Barrier Cavity / Frame: R-40 / 2x12 Inside Finish: Gypsum Board

Registration Number: 223-P010107156A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51



ONE BED PLUS ONE BED PLUS
LOFT
T24 FORMS
ELECTRIC

П		=011(10	
	NO.	DESCRIPTION	DA
	_	٠	
	2		
	3		
	4		
	ENGINE	EER BY:	

DRAWN BY: CHECKED BY:

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CF1R-PRF-01-E

Status

New

Tilt (deg)

90

Yes

CalCERTS inc.

CF1R-PRF-01-E

Margin (EDR2)

5.65

3.6

2.36

16.09

7.83

0.35

4.48

15.02

CalCERTS inc.

CF1R-PRF-01-E

(Page 1 of 14)

CalCERTS inc.

(Page 4 of 14)

Roof Emittance Cool Roof

0.85

0.85

Report Generated: 2023-08-25 13:11:01

Margin (EDR1)

0.74

0.09

0.22

1.27

2.32

1.05

1.27

2.54

Report Generated: 2023-08-25 13:11:01

HERS Provider:

(Page 7 of 14)

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Avg. Ceiling Height

Gross Area (ft²)

52.33

26.25

42.99

93.66

12)

Skylight Area Roof Rise (x in

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Water Heating System 1

Window and Door

Area (ft2)

17.5

08 09 10 11

Reflectance

0.75

0.75

Proposed Design TDV Energy Compliance

(EDR2) (kTDV/ft²-yr)

22.89

44.44

82.76

Standards Version 2022

Front Orientation (deg/ Cardinal) All orientations

Number of Stories

Glazing Percentage (%) 34.00%

Number of Dwelling Units

Number of Bedrooms

Fenestration Average U-factor 0.28

Software Version EnergyPro 9.0

HERS Provider:

Report Generated: 2023-08-25 13:11:01

Input File Name: 4_OBP_H_CZ4.ribd22x

Zone Floor Area (ft²)

Right

Front

Right

Front

06 07

Back

(ft²)

0

2023-08-25 17:28:18

Input File Name: 4_OBP_H_CZ4.ribd22x

Right

270

270

180

180

251.85

130.33

Report Version: 2022.0.000

Schema Version: rev 20220901

12.52

10.41

12.3

Registration Date/Time:

07

09

17

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-08-25 17:28:18

02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

Report Version: 2022.0.000 Schema Version: rev 20220901

2023-08-25 17:28:18

Input File Name: 4_OBP_H_CZ4.ribd22x

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Front

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

HVAC System Name

OU-11

R-21 Wall R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

R-21 Wall

Zone Type

Conditioned

One Bed Plus

R-38 Roof No

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard Design Source Standard Design TDV Energy

12.52

48.92

223-P010107162A-000-000-0000000-0000

Energy (EDR1) (kBtu/ft2 4

1.68

11.68

Registration Number: 223-P010107162A-000-000-0000000-0000

Project Name: Central Coast ADU OBP

GENERAL INFORMATION

Registration Number:

Calculation Description: Title 24 Analysis

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Location

Project Name Central Coast ADU OBP

Run Title Title 24 Analysis

City Atascadero

Zip code 93423

Building Type | Single family

Project Scope Newly Constructed

Building Complies with Computer Performance

Climate Zone 4

Addition Cond. Floor Area (ft2) 0

Existing Cond. Floor Area (ft2) n/a

Total Cond. Floor Area (ft²) 631.65

03 This building incorporates one or more Special Features shown below

223-P010107162A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Central Coast ADU OBP

ZONE INFORMATION

Zone Name

One Bed Plus

OPAQUE SURFACES

Lateral 1 Wall

Lateral 2 Wall

Front Wall 2

Lateral 2 Wall 2

Lateral 2 Wall 3

Back Wall

Lateral 1 Wall 3

Lateral 2 Wall 4

Back Wall 2

Roof

OPAQUE SURFACES - CATHEDRAL CEILINGS

One Bed Plus

One Bed Plus

Project Name: Central Coast ADU OBP

ENERGY USE SUMMARY

South Facing

ficiency Complian Total

Space Heating

Space Cooling

Water Heating

Utilization/Flexibilit Credit

West Facing Efficiency

Compliance Total

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Calculation Description: Title 24 Analysis

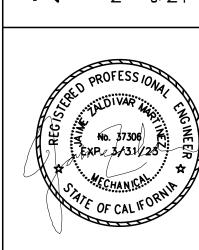
Calculation Description: Title 24 Analysis

contact@ ZAL

Code Documents.	
Jaime Zaldivar, P.E. @zalengineering.com 831-641-7739 (zalengineering.com)	
	Z A L

e Documents.	
ne Zaldıvar, P.E.	
engineering.com	
331-641-7739	
ngineering.com)	
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1)	
	Z A L Engineering



ONE BED PLUS

NO.	DESCRIPTION	DA
_	٠	
2		
3		
4		
ENGINE	EER BY:	
DRAWN	N BY:	

CHECKED BY:

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CERTIFICATE OF	COMPLIANC	E - RESIDENTIAL	PERFORMAN	ICE COMPLIA	ANCE ME	THOD							CF1R-PRF-01-E
Project Name: (Central Coast	ADU OBP					Calcula	tion Date	e/Time: 202	3-08-25T15:	10:25-05:00		(Page 8 of 14)
Calculation Des	cription: Title	24 Analysis					Input Fi	ile Name	: 4_OBP_H_	CZ4.ribd22x			
OPAQUE SURFAC	ES - CATHEDRA	AL CEILINGS											
01	02	03	04		05	0)6	0	7	08	09	10	11
Name	Zone	Construction	Azimut	h Orie	ntation	Area	ı (ft²)	Skyligh (ft	_	of Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 3	One Bed Plu	R-38 Roof No Attic	0	F	ront	59	.49	0)	3	0.75	0.85	Yes
Roof 4	One Bed Plu	s R-38 Roof No Attic	0	F	ront	45	5.5	0)	3	0.75	0.85	Yes
Roof 5	One Bed Plu	R-38 Roof No Attic	0	F	ront	144	4.48	0)	3	0.75	0.85	Yes
FENESTRATION /	GLAZING												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180	3	4		12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
	I .			I	1	I	1	1	1	1	1	I	1 1

CF1R-PRF-01-E

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CF1R-PRF-01-E

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Number of Water

Heating Systems

CalCERTS inc.

CF1R-PRF-01-E

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6.7

Cooling Systems

HERS Provider:

Report Generated: 2023-08-25 13:11:01

Compliance

0.89

Margin (EDR1) Margin (EDR2)

Report Generated: 2023-08-25 13:11:01

U-factor

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Input File Name: 4_OBP_H_CZ4.ribd22x

Area (ft²)

02 03 04 05 06 07 08 09 10 11 12 13 14

Flap Ht. Depth Top Up Dist L Bot Up

Registration Date/Time: 2023-08-25 17:28:18

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Input File Name: 4_OBP_H_CZ4.ribd22x

umber of Bedrooms Number of Zones

2023-08-25 17:28:18

Input File Name: 4_OBP_H_CZ4.ribd22x

Calculation Date/Time: 2023-08-25T15:10:25-05:00

Proposed Design TDV Energy

(EDR2) (kTDV/ft² -yr)

5.82

31.61

44.44

8.52

27.01

44.44

Registration Date/Time:

Report Version: 2022.0.000

Proposed Design Source

Energy (EDR1) (kBtu/ft² -yr)

0.79

0.67

0.7

10.41

1.16

0.55

0.7

10.41

Report Version: 2022.0.000

Schema Version: rev 20220901

5 0.75 0 0

0.75

0.75

Array Type

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for t

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual

detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

2.8 0.8

2.8 0.8

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard (14-17%)

Registration Number: 223-P010107162A-000-000-0000000-0000

Project Name: Central Coast ADU OBP

REQUIRED PV SYSTEMS

DC System Size

(kWdc)

1.72

REQUIRED SPECIAL FEATURES

Indoor air quality, balanced fan

Window overhangs and/or fins Compact distribution system basic credit

Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood

Verified Refrigerant Charge Verified heat pump rated heating capac

Project Name: Central Coast ADU OBP

ENERGY USE SUMMARY

Energy Use

Space Heating

Space Cooling

Water Heating

Self

Utilization/Flexibility

Credit

North Facing

Efficiency Compliance

Space Heating

Space Cooling

IAQ Ventilation

Water Heating

Utilization/Flexibility

East Facing Efficiency

Compliance Total

Calculation Description: Title 24 Analysis

Calculation Description: Title 24 Analysis

02

IAQ Ventilation System: as low as 0.30303 W/CFM

IAQ Ventilation System: fault indicator display

IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE

Recirculating with demand control, occupancy/motion sensor

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Energy (EDR1) (kBtu/ft²-yr)

0.56

11.68

1.68

0.56

0.92

11.68

Standard Design Source Standard Design TDV Energy

(EDR2) (kTDV/ft² -yr)

26.49

9.85

48.92

12.52

26.49

9.85

48.92

97.78

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Side of Building

Front Wall

Back Wall

Project Name: Central Coast ADU OBP

Calculation Description: Title 24 Analysis

Name

Door B

OPAQUE DOORS

OVERHANGS AND FINS

Window

Window 2

Window OP

Window OP 2

Window OP 3

Window 4

Window 7

Window 8

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Back	180	3	4	K	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180	33	4		12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 3	Window	Front Wall 2	Front	0	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Left	90	1.5	3	1	4.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen

CA Building Energy Efficiency Standards - 2022 Residential Compliance								022.0.000 rev 20220			кероп бе	enerated: 2023-08-25	12:11:01
CA Building France		07162A-000-000-0000				0	·:		08-25 17:28:18		D+ C-		CalCERTS in
Registration Num	ber:					Registra	tion Date	/Time:			HERS Prov	rider:	
Window 8	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen

Project Name: 0			PERFURIVIAN	ICE COMPLIA	NINCE IVIE	IHUU	Calculat	ion Date	:/Time: 2023	-08-25T15:10	0:25-05:00		(Page 5 of 14)
CEDTIEICATE OE	COMPLIANC	E - RESIDENTIAL	DEDECORMAN	ICE COMPLIA	NICE ME	THOD							CF1R-PRF-01-E
CA Building Energ	y Efficiency St	andards - 2022 Res	idential Comp	liance				022.0.000 ev 20220			Report Ge	nerated: 2023-08-2	25 13:11:01
Registration Num		07162A-000-000-0000	0000-0000			Registration Date/Time: HERS Provider: 2023-08-25 17:28:18					ider:	CalCERTS inc.	
Window 8	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Left	90	1.5	3	1	4.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen

Calculation Description: Title 24 Ar			4_OBP_H_CZ4.ribd22x	(rage 3 til
ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft² - yr)	Margin Percentage
North Facing				
Gross EUI ¹	33.85	31,47	2.38	7.03
Net EUI ²	19.1	16.72	2.38	12.46
East Facing				
Gross EUI ¹	33.85	31.59	2.26	6.68
Net EUI ²	19.1	16.85	2.25	11.78
South Facing				
Gross EUI ¹	33.85	31.4	2.45	7.24
Net EUI ²	19,1	16.66	2.44	12.77
West Facing		NOTAL		
Gross EUI ¹	33,85	31.27	2.58	7.62
Net EUI ²	19.1	16.52	2.58	13.51
Notes 1. Gross EUI is Energy Use Total (not	including PV) / Total Building Area.			

Registration Number: 223-P010107162A-000-000-000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider: CalCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25 13:11:01

Calculation Date/Time: 2023-08-25T15:10:25-05:00

ERGY DESIGN RATINGS									
	Energy Design Ratings Compliance Margins								
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)			
Standard Design	48	50.3	42.3						
	•	Propose	d Design						
North Facing	43.6	46	40.1	4.4	4.3	2.2			
East Facing	44	45	39.5	4	5.3	2.8			
South Facing	43.5	42.1	37.9	4.5	8.2	4.4			
West Facing	43.1	42.6	38.3	4.9	7.7	4			

South Facing	43.5	42.1	37.9	4.5	8.2	4.4
West Facing	43.1	42.6	38.3	4.9	7.7	4
		RESUL	r³: PASS	Inc		
¹ Efficiency EDR includes improvements like a be	etter building envelope a	nd more efficient equipm	ent			
² Total EDR includes efficiency and demand resp	onse measures such as p	hotovoltaic (PV) system a	and batteries	DER		
³ Building complies when source energy, efficier	ncy and total compliance	margins are greater than	or equal to zero and unn	met load hour limits are n	ot exceeded	
Standard Design PV Capacity: 1.72 kWdc Proposed PV Capacity Scaling: North (1.7)	2 kWdc) East (1.72 kWdc)	South (1.72 kWdc) West	(1.72 kWdc)			

-0.11	-5.12		Standard Design	48	50.3	42.3			
0.22	2.36			'	Propose	d Design			
1.27	4.48		North Facing	43.6	46	40.1	4.4	4.3	2.2
			East Facing	44	45	39.5	4	5.3	2.8
	0		South Facing	43.5	42.1	37.9	4.5	8.2	4.4
2,27	8.42		West Facing	43.1	42.6	38.3	4.9	7.7	4
2.27	8.42				RESULT	3: PASS			
0.52	4		¹ Efficiency EDR includes improvements like a be	etter building envelope a	nd more efficient equipm	ent			
0.01	-0.52		² Total EDR includes efficiency and demand resp ³ Building complies when source energy, efficier				DER	ot exceeded	
0.22	2.36		Standard Design PV Capacity: 1.72 kWdc	icy and total compilance	margins are greater than	or equal to zero and unit	iet load flodi illilits ale fl	ot exceeded	
1.27	4.48		Proposed PV Capacity Scaling: North (1.72)	2 kWdc) East (1.72 kWdc)	South (1.72 kWdc) West	(1.72 kWdc)			
	0								
2.02	10.32								
		'							
don			Pagistertian Number		Po sistem	tion Data/Times		HERS Provider:	
der:	CalCERTS inc.		Registration Number: 223-P010107162A-000-000-0		_	tion Date/Time: 2023-08-25 1	7:28:18		CalCERTS inc.
erated: 2023-08-2	25 13:11:01		CA Building Energy Efficiency Standards - 2022	Residential Compliance		/ersion: 2022.0.000 Version: rev 20220901		Report Generated: 202	3-08-25 13:11:01

223-P0101071624 CA Building Energy Efficiency Standar	A-000-000-0000000-0000 ds - 2022 Residential Compliance	2023-0 Report Version: 2022.0.000 Schema Version: rev 202205		CalCERTS inc. Generated: 2023-08-25 13:11:01
		Schema Version: rev 20220s	901	
CERTIFICATE OF COMPLIANCE - RE	SIDENTIAL PERFORMANCE COMPLI	ANCE METHOD		CF1R-PRF-01-E
Project Name: Central Coast ADU (/Time: 2023-08-25T15:10:25-05:00	(Page 5 of 14)
Calculation Description: Title 24 A	nalysis	Input File Name:	4_OBP_H_CZ4.ribd22x	
ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
North Facing				
Gross EUI ¹	33.85	31,47	2.38	7.03
Net EUI ²	19.1	16.72	2.38	12.46
East Facing				
Gross EUI ¹	33.85	31.59	2,26	6.68
Net EUI ²	19.1	16.85	2.25	11.78
South Facing				
Gross EUI ¹	33.85	31.4	2.45	7.24
Net EUI ²	19,1	16.66	2.44	12.77
West Facing		NOTAL		
Gross EUI ¹	33.85	31.27	2.58	7.62
Net EUI ²	19.1	16.52	2.58	13.51
Notes 1. Gross EUI is Energy Use Total (no 2. Net EUI is Energy Use Total (inclu	ot including PV) / Total Building Area. Iding PV) / Total Building Area.			

		Energy Design Ratings			Compl
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Effic (EDR
Standard Design	48	50.3	42.3		
		Propose	d Design		
North Facing	43.6	46	40.1	4.4	
East Facing	44	45	39.5	4	
South Facing	43.5	42.1	37.9	4.5	
West Facing	43.1	42.6	38.3	4.9	
		RESULT	3: PASS		
¹ Efficiency EDR includes improvements like a be ² Total EDR includes efficiency and demand resp ³ Building complies when source energy, efficien Standard Design PV Capacity: 1.72 kWdc	onse measures such as p	hotovoltaic (PV) system a	nd batteries	DER net load hour limits are n	not excee
 Standard Design PV Capacity: 1.72 kWdc Proposed PV Capacity Scaling: North (1.72 	kWdc) East (1.72 kWdc)	South (1.72 kWdc) West	(1.72 kWdc)		

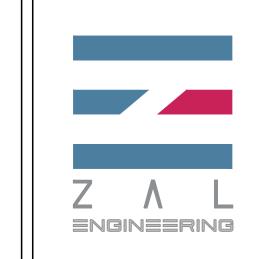
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU OBP

Registration Number: 223-P010107162A-000-00000000000000000000000000000000			
		HERS Provider:	CalCERTS
	CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Generated: 2023-08-25	13:11:01

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



Jaime Zaldivar Company: ZAL Engineering Address: 99 Pacific St, Ste 375G City/state/7p: Monterey, CA 93940

Calculation Date/Time: 2023-08-25T15:10:25-05:00

(ft)

05

Compact Distribution

Type

Compactness Factor

Not Required

HERS Provider:

Report Generated: 2023-08-25 13:11:01

Distribution Name

Fan Name

Input File Name: 4_OBP_H_CZ4.ribd22x

Master Bath distance of Kitchen distance of Furthest Third furthest

Heater (ft)

furthest fixture to Water | furthest fixture to Water | fixture to Water Heater

Heater (ft)

Compact Distribution

Heat Pump System

04 05 06 07 08 09 10 11 12

2023-08-25 17:28:18

HSPF 11.8 14200 9400 EERSEER 24.6 15.4 Not Zonal

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

03 04 05 06

Heating Unit Name Heating Equipment Cooling Unit Name Count Count

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Water Heating System

Name

02

Pipe Insulation

Heat pump Heat Pump System

Number of Units

DHW Sys 1 - 1/1 Not Required

heating cooling

Heat Pump Ductless MiniSplit

Registration Number: 223-P010107162A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Central Coast ADU OBP

Calculation Description: Title 24 Analysis

WATER HEATING - COMPACT DISTRIBUTION

Dwelling Unit type

Dwelling

SPACE CONDITIONING SYSTEMS

OU-11

HVAC - HEAT PUMPS

WATER HEATING - HERS VERIFICATION

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E Project Name: Central Coast ADU OBP Calculation Date/Time: 2023-08-25T15:10:25-05:00 (Page 14 of 14) Calculation Description: Title 24 Analysis Input File Name: 4_OBP_H_CZ4.ribd22x 2023-08-25 17:28:18 A/ HERS Certification Identification (If applicable) M37306 831-641-7739 ONSIBLE PERSON'S DECLARATION STATEMENT the following under penalty of perjury, under the laws of the State of California I am eligible under Division 3 of the Business and Professions Code to accept

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Easy to Verify

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CF1R-PRF-01-E

(Page 12 of 14)

HERS Verification

Shower Drain Water Heat

Recovery

Thermostat Type

Heat Pump System

CalCERTS inc.

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

at CalCERTS.com HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU OBP
Calculation Description: Title 24 Analysis

CF1R-PRF-01-E Calculation Date/Time: 2023-08-25T15:10:25-05:00 (Page 11 of 14) Input File Name: 4_OBP_H_CZ4.ribd22x

	BUILDING ENVELOPE - HERS VERIFICATION										
	01	02	03	04	05						
	Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50						
	Required	Not Required	N/A	n/a	n/a						
WATER HEATING SYSTEMS											

01	1	02	03	04	05	06	07	08	09	
Nar	me	System Type Distribution Type W		Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	
DHW Sys 1		Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)	
WATER HEATERS										
01		02 03	04	05 06	07	08 09	10	11	12 13	

WATER HEATE	RS	1										
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneo us	1	0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a	

RECIRCULATION LOOPS								
01 02		04	05					
Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)					
1	1.5	Conditioned	0					
		Number of Recirculation Loops Loop Insulation Thickness (in)	Number of Recirculation Loops Loop Insulation Thickness (in) Recirculation Loop Location					

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

Project Name: Central Coast ADU OBP Calculation Date/Time: 2023-08-25T15:10:25-05:00 (Page 13 of 14) Calculation Description: Title 24 Analysis Input File Name: 4_OBP_H_CZ4.ribd22x IVAC HEAT PUMPS - HERS VERIFICATION Verified Heating Cap 47 **Verified Heating** Cap 17 Fan Efficacy (W/CFM) IAQ Recovery Includes Fault Heat/Energy Effectiveness - SRE | Indicator Display? SFam IAQVentRpt 0.30303

Registration Number: 223-P010107162A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

CF1R-PRF-01-E

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CF1R-PRF-01-E

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Calculation Date/Time: 2023-08-25T15:10:25-05:00 Calculation Description: Title 24 Analysis Input File Name: 4_OBP_H_CZ4.ribd22x

SLAB FLOORS										
01	02	03	04	05	06	07	08			
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated			
Slab-on-Grade	One Bed Plus	251.85	0.1	none	0	80%	No			
Slab-on-Grade 2	One Bed Plus	130.33	0.1	none	0	80%	No			
Slab-on-Grade 3	One Bed Plus	59.49	0.1	none	0	80%	No			
Slab-on-Grade 4	One Bed Plus	45.5	0.1	none	0	80%	No			
Slab-on-Grade 5	One Bed Plus	144.48	0.1	none	0	80%	No			

	<i>[</i>	100							
DPAQUE SURFACE CONSTRUCTIONS									
01	02	03	O4	05	.06	07	08		
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers		
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-22	8 / None	0.039	Inside Finish: Gypsum Board Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco		
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-40	None / None	0.028	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Radiant Barrier Cavity / Frame: R-40 / 2x12 Inside Finish: Gypsum Board		

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

ONE BED PLUS ONE BED PLUS LOFT T24 FORMS HYBRID

NO.	DESCRIPTION	DA						
	٠							
2								
3								
4								
ENGINE	EER BY:							

DRAWN BY:

CHECKED BY:

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