# ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

# HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options. 

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.

- 2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- 6. If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

# **ADDITIONAL NOTES - ATASCADERO**

PLANNING DEPARTMENT

1. All submitted plan sets must be accompanied by a Building Permit Application. 2. All applications must include a site survey.

BUILDING DEPARTMENT

2. The City will accept schematics for gas line revisions

# **DEFERRED SUBMITTALS - ATASCADERO**

PHOTOVOLTAIC SYSTEM (ALL PROJECTS)

- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)
- SEPTIC SYSTEM (WHERE REQUIRED)

# **BUILDING CODES USED - 2022**

1A. Atascadero Municipal Code 1. California Building Code 2. California Residential Code

3. California Electrical Code

4. California Plumbing Code

# **PROJECT INFORMATION**

PARCEL II	NFORMATION		
APN			
STREET A	DDRESS		
CITY, STA	TE, ZIP		
LOT SIZE	( in SF)		
EXISTING	HOME SIZE (in SF)		
PARCEL C	VER 10% SLOPE	YES	NO
SRA FIRE SEVERITY	HAZARD ZONE (WUI)	PROJECTS LOCATED W OFFICE OF THE STATE I	ITHIN SRA ZONES AI
PROJECT	INFORMATION		
NUMBER	OF STORIES	ONE (1)	
	NCY GROUP - R3	TYPE OF CO	ONSTRUC
MAIN RES	SIDENCE HAS NKLERS	YES	NO
SERVED B	Y SEPTIC SYSTEM	YES	NO
PROPERT	Y OWNER		
NAME			
ADDRESS	TE, ZIP		
PHONE/E	MAIL		
PROJECT	CONTRACTOR		
NAME			
ADDRESS	TE, ZIP	3	5
PHONE/E	MAIL	-	
DRA	WING IND	ЕХ снеск	BOXES FOR T
GENERAL	SHEETS		
G0.0	COVER SHEET & PROJECT		
G0.1 G1.0	OWNER PROVIDED SITE I GENERAL NOTES	PLAN	
G2.0	CAL GREEN/GREEN BUILI	DING REQUIREM	ENTS
G2.1	CAL GREEN/GREEN BUILI	DING REQUIREM	ENTS
ARCHITEC	CTURAL		
A1.0	RANCH - FLOORPLANS &		
A1.1	RANCH - LOFT FLOOR PL/ RANCH - SECTIONS	AN, ROUF PLAN (	& RCP
A2.0	CRAFTSMAN - FLOORPLA	NS & ELEVATION	۱S
A2.1	CRAFTSMAN - LOFT FLOO	OR PLAN, ROOF P	LAN & RCP
A2.2	CRAFTSMAN - SECTIONS MODERN - FLOORPLANS	& FI EVATIONS	
A3.1	MODERN - LOFT FLOOR F	PLAN, ROOF PLAI	N & RCP
A3.2	MODERN - SECTIONS		
A4.0	BUNGALOW - FLOORPLA BUNGALOW - LOFT FLOO		
A4.2	BUNGALOW - SECTIONS	·	
A5.0 A5.1	EXTERIOR WALL ASSEMB	_	
A5.1 A5.2	EXTERIOR WALL ASSEMB		
A5.3	INTERIOR DETAILS & WA		
A6.0	SCHEDULES - ONE BEDRO	DOM PLUS LOFT	
STRUCTU			
S0.0 S0.1	STRUCTURAL NOTES		
50.1 S1.0	ROOF/CEILING FRAMING	& FOUNDATION	I PLAN
52.0			

51.0	ROUF/CEILING FRAMING & FOUN
S2.0	FOUNDATION DETAILS
S2.1	ROOF FRAMING DETAILS

2.2	ROOF FRAMING DETAILS (CONT.)
2.1	NOOT TRAMING DETAILS

MECHANIC

V		ICAL
	MP0.1	GENERAL NOTES
	MP0.2	SCHEDULES & GAS DIAGRAM & PLUMBING
	MP2.1E	MECHANICAL & PLUMBING PLANS - ELECTRIC
	MP2.1H	MECHANICAL & PLUMBING PLANS - HYBRID
Ξſ	NERGY (	COMPLIANCE/TITLE 24
	T24.13B	TITLE 24 FORMS- ELECTRIC
	T24.14B	TITLE 24 FORMS- ELECTRIC
	T24.15B	TITLE 24 FORMS - HYBRID
	T24.16B	TITLE 24 FORMS - HYBRID

- 5. California Mechanical Code
- 6. California Fire Code

- 7. California Green Building Standards Code
- 8. California Energy Efficiency Standards Code



# **CENTRAL COAST PRE-DESIGNED ADU CITY REVIEW SET**

### OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE **PROJECT DIRECTORY** ARCHITECT OF RECORD CONSULTING ARCHITECT WORKBENCH RYAN BROCKETT ARCHITECT INC. 189 Walnut Avenue Santa Cruz, CA 95060 104 S. Main St. Unit B Templeton, CA 93565 831.227.2217 805.400.3025 info@workbenchbuilt.com info@brockitecture.com MECHANICAL & PLUMBING ENGINEER STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 831.641.7739 contact@zalengineering.com PROJECTS ON GREATER THAN 10% SLOPE SHALL REOUIRE A contact@cmtaylorse.com GEOTECHNICAL REPORT WITHIN THEIR APPLICATION FOUNDATION NEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO **SCOPE OF WORK** NOT APPLICABLE OCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNFORM CODE REQUIREMENTS DEVELOPED BY THE HE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS CONSTRUCTION OF A NEW, ONE-STORY, DETACHED 927 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, A GREAT ROOM WITH A KITCHEN, AND A OF CONSTRUCTION - STANDARD/TYPE VB 181 GSF HABITABLE LOFT. THE GREAT ROOM MAY BE DIVIDED TO CREATE A SECOND BEDROOM. REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS. **PROJECT CHECKLIST** PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL CLEARLY MARK THE BOX FOR EACH SELECTION REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMEN ARCHITECTURAL STYLE (SELECT ONE) For this option, use the listed sheets and detail COASTAL RANCH A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1 BACKYARD CRAFTSMAN CALIFORNIA MODERN For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4 FCT ONF) For this option, use the listed sheets and details: ASPHALT SHING Roof Details: A5.2 For this option, use the listed sheets and details: METAL STANDING SEAM Roof Details: A5.2 APPLICANT REVISION PRIMARY SIDING MATERIAL (SELECT ONE) For this option, use the listed sheets and details: VERTICAL PLANK FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E1 For this option, use the listed sheets and details: **BOARD & BATTEN FIBER CEMENT** Wall Assembly Details: A5.0 or A5.1 - TYPE E2 CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST For this option, use the listed sheets and details: HORIZONTAL LAP FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E3 For this option, use the listed sheets and details: SHINGLE FIBER CEMENT Wall Assembly Details: A5.0 or A5.1 - TYPE E4 For this option, use the listed sheets and details: STUCCO Wall Assembly Details: A5.0 or A5.1 - TYPE E5 APPLICANT REVISION DESIGN OPTIONS (SELECT IF DESIRED) Requires foundation coordination. See detail 4/A5.3 CURBLESS SHOWER Requires framing coordination. See detail 6/A5.3 WALL AT GREAT ROOM/DEN EXTERIOR SLIDING DOOR AT DEN Requires framing coordination. APPLICANT REVISION MECHANICAL SYSTEM (SELECT ONE) For this option, use the listed sheets and details: ALL-ELECTRIC SYSTEM Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E For this option, use the listed sheets and details: HYBRID (ELECTRIC W/ GAS H20 HEATER Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H GAS RANGE REQUIRED COMPLIANCE (CHECK IF APPLICABLE) PARCELS WITHIN THE WUI/SRA ZONE MUST USE PARCEL LOCATED WITHIN FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND WILDLAND URBAN INTERFACE MATERIALS IN COMPLIANCE WITH CBC 7A. **REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES;** WUI/SRA ZONE USE A5.1 "EXTERIOR DETAILS - WUI ZONES"

EXTERIOR WALL CLOSER THAN 5'

OWNER PROVIDED SITE PLAN COMPLETE

TO PROPERTY LINE

SITE PLAN (REQUIRED)

### A CALCULATIONS - ONE BEDROOM PLUS LOFT DWELLING UNIT TOTAL - 927 GSF (MAIN FLOOR= 746 GSF; LOFT = 181 GSF) EXT. COVERED PORCHES - 59 GSF

COASTAL RANCH EXTERIOR - PERSPECTIVE VIEW

ALIFORNIA MODERN - PERSPECTIVE VIEW

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL

ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL

AREA. REFERENCE A5.0 "FIRE RATING NOTES"

Complete Sheet G0.1, Owner-Provided Site Plan











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Y USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS WI EDGING ACCEPTANCE OF THE FOLLOWING CONDIT THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINA FCT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED AD FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVI ACH, AND MORRO BAY CALIFORNIA), THIS DOES NOT ELIMINATE ( DUCE THE RECIPIENT'S RESPONSIBILITY TO VERIEY ANY AND A FORMATION RELEVANT TO THE RECIPIENT'S WORK AND SPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKET HITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL

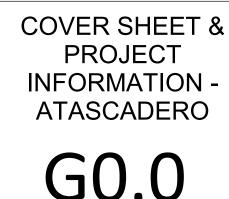
THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE LISE S INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY BILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED IPLIED, SHALL ATTACH TO THESE DOCUMENTS AND TH ORMATION CONTAINED THERON ANY USE REUSE OR ALTERAT THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT TH CIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY, FURTHERMORE, 1 MNIEY AND HOLD WORKBENCH AND THE CITY OF CAPITO SS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMAND SEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSON

THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED A ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND TH DISCLAIMER

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RINT DATE XX.XX.XXXX

SCALE : AS NOTE



<sup>1.</sup> All applications must include a Construction Waste Management Plan.

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	ining the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. nent published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improveme
SITE PLAN INFORMATION	EXPLANATION
NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUT
SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINE
EASEMENTS (IF SUCH EXIST)	WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS,
LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	INCLUDE PROPANE TANK IF APPLICABLE.
LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED A
DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HA BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
	Including length, width, and slope of driveway
PARKING SPACES, TRAFFIC FLOW DIRECTION	
PLANTED AREAS AND OUTDOOR USE AREAS	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
LOCATION OF ALL EXISTING TREES	
NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
LOCATION TO NEAREST FIRE HYDRANT	

HOMEOWNER PROVIDED SITE PLAN INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.

# BID SET. preview ascadero Preview

SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU

D THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR

E LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. ANK IF APPLICABLE.

DPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS

LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. ON BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO I HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS



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BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.



# SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

N	NORTH ARROW (INDICATES LOCATION OF NORTH)
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

# **FIRE RATING NOTES**

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12<sup>q</sup>

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

OWNER PROVIDED SITE PLAN -ATASCADERO

G0.

# GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND **REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK**
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- 13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY **REQUIREMENTS.**
- 16. MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD. 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE
- MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND <u>.</u> 27. ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. 28. CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED
- BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 30.
- 31.
- APPROVED BY THE ENFORCING AGENCY.

# **WUI NOTES**

CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5 PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5 ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1 FOLLOWING:

- 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3 WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6 THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

### **VENTS. CBC 706A / CRC R337.6**

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

## WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5 RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9 WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8 EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED. ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL

APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT 4 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS

33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

# THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING

## VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE

1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

# LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE STA GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONT BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT L MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMI DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0 ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS S CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSE
- 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K) A. CEILING RECESSED DOWNLIGHT LUMINARIES
- LED LUMINARIES WITH INTEGRAL SOURCES
- PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.) C
- D. GU-24 BASED LED LIGHT SOURCES
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOV FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. T SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPE CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWIT SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CA OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING F LIGHTING SYSTEMS CEC150.0(K)2L
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL FOLLOWING REQUIREMENTS:
  - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANC CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIO RECOGNIZED TESTING/RATING LABORATORY; AND
  - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WIT LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDAN ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIR CERTIFIED AIRTIGHT; AND
  - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN C AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAU
  - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALL D. OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY. BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUI CUTTING OF HOLES IN THE CEILING; AND
  - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
  - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCE APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQU AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFEREN APPENDIX JA8.

3. IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY SENSOR.

- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/ AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- ASTRONOMICAL TIME SWITCH CONTROL
- ENERGY MANAGEMENT CONTROL SYSTEMS D. 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

# ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL **KITCHEN COUNTERTOPS, BATHROOM** COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.** KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET. 3. PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN. PROVIDE SEPARATE CIRCUIT FOR ELECTRIC 4 RANGE AS REQUIRED BY CEC 210.19.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT
- PROVIDE SEPARATE CIRCUIT FOR DISWASHER. 6. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- 9. PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
- CEC406.12. THAN 32 KG (70 LB). 20.

AB	BREVIATIONS
AB	ANCHOR BOLT

	ABB
ART MH, HPS, . SOURCE, ETC.)	AB AC AD ADJ AFF
TAIN SCREW- LIGHT SOURCES IINARIES ARE D(K)G SHALL BE ETS LESS THAN	AL ALUM ALT ARCH AVG BD BLDG BLKG BTM BTWN BUR BW
	CB CF
E THE FINISHED THESE BOXES ED CONTROL.	CJ CLKG CLG CLR CO COTG
CHED AN BE TURNED	COL CONC CONT CT
ROM OTHER	CTR CW
OF THE	DBL DEPT
CE INSULATION ONALLY	DIA DIAG DIM DL
H AIR LEAKAGE NCE WITH RED TO BE	DN DR DWG DW
E HOUSING CONDITIONED ULK; AND OW BALLAST ACCESSIBLE TO RING THE	(E) EA EB EJ ELEC ELEV EN ENCL EP EQUIP EXT
	FD FF
IREMENTS, CE JOINT	FIN FL FLSHG
A VACANCY	FLR FOC FOS
OFF SWITCH	FOS FOW FRMG FT FTG
RELABELLED	GA GALV GC GWB HB

ASPHALT CONCRETE AREA DRAIN ADJACENT ABOVE FINISH FLOOR ALIGN ALUMINUM ALTERNAT ARCHITECT/ARCHITECTURAL AVERAGE BOARD BUILDING BLOCKING BOTTOM BETWEEN **BUILT-UP ROOFING** BOTH WAYS CATCH BASIN CUBIC FEET CONTROL JOINT CAULKING CEILING CLEAR CLEANOUT **CLEANOUT TO GRADE** COLUMN CONCRETE CONTINUOUS **CERAMIC TILE** CENTER COLD WATER DOUBLE DEPARTMENT DIAMETER DIAGONAL DIMENSION DEAD LOAD DOWN DOOR DRAWING DISHWASHER **EXISTING** FACH **EXPANSION BOLT EXPANSION JOINT** ELECTRIC/ELECTRICA ELEVATOR/ELEVATION EDGE NAILING ENCLOSURE ELECTRICAL PANEL EQUIPMENT EXTERIOR FLOOR DRAIN **FINISH FLOOR** FINISH FLOW LINE FLASHING FLOOR FACE OF CONCRETI FACE OF STUD FACE OF WALL FRAMING FOOT FOOTING GAUGE GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD HOSE BIB HOLDOWN HEADER HANGER HOLLOW METAL

INSUL INSULATION INTERIOR INT JOINT **KITCHEN** LAG BOLT POUNDS LINEAR FOOT LIVE LOAD LAG SCREW MAX MAXIMUM MB MACHINE BOLT MECH MECHANICAL MFD MANUFACTURED MFR MANUFACTURER MICRO MICROWAVE MIN MINIMUM MISC MISCELLANEOUS MTD MOUNTED MTL METAL NEW NOT APPLICABLE NTS NOT TO SCALE OVER ON CENTER OPNG OPENING PI ATF **PLYWD** PLYWOOD PTD PAINTED **PVMT** PAVEMENT **RETURN AIR** RCP **ROOF DRAIN** REFERENCE REFR REFRIGERATOR REQD REQUIRED REV REVISION ROOM **ROUGH OPENING** SCHED SCHEDULE STORM DRAIN SECTION SED SQUARE FOOT SPEC **SPECIFICATION** SPD SSD SOLID SURFACE STANDARD STD STEEL STRUCT STRUCTURAL SUSP SUSPENDED TEMPERED TOP OF CURB TOC TYP TYPICAL UNLESS OTHERWISE NOTED UON ENT VERT VERTICAL VERIFY IN FIELD WITH WATER CLOSET WOOD WD WATER HEATER WINDOW WITHOUT w/o

**INCH/INCHES** 

INFORMATION

INFC

KIT

LB

LBS

(N)

NIC

NA

0/

OC

OH

PI F

PSF

RA

RD

REF

RM

RO

SD

SEC

STL

VIF

NOT IN CONTRACT OVERHEAD/OVERHANG POUNDS PER LINEAL FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED REFLECTED CEILING PLAN SEE ELECTRICAL DRAWINGS SEE PLUMBING DRAWINGS SEE STRUCTURAL DRAWINGS

VENTILATION/VENTILATOR WATERPROOF WEIGHT

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

HEAT/VENTILATION/AIR COND.

HORIZONTAL

HOT WATER

HEIGHT

HGR

HORIZ

HVA

HW/

12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT.

13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS. 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.

15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] 16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.

17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).

18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.

19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE

PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION. 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH

CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.

22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



**189 WALNUT AVENUE** SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM



104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

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PRINT DATE XX.XX.XXXX

GENERAL NOTES



# California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 1** (January 2023)

Y N/A RESPON.		Y	N/A	RESPON.	
PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL			PARTY	<b>4.106.4.2 New multifamily dwelling</b> When parking is provided, parking s requirements of Sections 4.106.4.2.1 whole pumber A parking space sen
	<b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.				whole number. A parking space serves space shall count as at least one state applicable minimum parking space r for further details.
	<b>301.1.1 Additions and alterations. [HCD]</b> The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the				4.106.4.2.1Multifamily development than 20 sleeping units or guest ro The number of dwelling units, sleeping this section.
	specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.				1.EV Capable. Ten (10) perce of parking facilities, shall be e EVSE. Electrical load calculat system, including any on-site EVs at all required EV spaces
	<b>Note:</b> Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.				The service panel or subpane for future EV charging purpos
	<b>Note:</b> On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and				Exceptions: 1.When EV chargers (Leve of EV capable spaces.
	other important enactment dates. <b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</b> The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential				2.When EV chargers (Leve spaces, the number of EV chargers installed. Notes:
	buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.				a.Construction documents future EV charging.
	SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building				b.There is no requirement EV chargers are installed f
	shall comply with the specific green building measures applicable to each specific occupancy. Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall				2.EV Ready. Twenty-five (25) Level 2 EV charging receptach dwelling unit when more than
	comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of <i>CAL</i> Green, live/work units, complying with Section 419 of the <i>California Building Code</i> , shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.				Exception: Areas of parking fa 4.106.4.2.2 Multifamily developme sleeping units or guest rooms.
	DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS:				The number of dwelling units, sleepi this section.
	HCD       Department of Housing and Community Development         BSC       California Building Standards Commission         DSA-SS       Division of the State Architect, Structural Safety         OSHPD       Office of Statewide Health Planning and Development         LR       Low Rise				1.EV Capable. Ten (10) perce of parking facilities, shall be el EVSE. Electrical load calculati system, including any on-site EVs at all required EV spaces
	HR     High Rise       AA     Additions and Alterations       N     New				The service panel or subpane for future EV charging purpos
	CHAPTER 4 RESIDENTIAL MANDATORY MEASURES				Exception: When EV charge parking spaces required by reduced by a number equa Notes:
	SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)				a.Construction documents
	<b>FRENCH DRAIN.</b> A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.				EV chargers are installed f <b>2.EV Ready.</b> Twenty-five (25) Level 2 EV charging recepted
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.				dwelling unit when more than Exception: Areas of parking
	<ul> <li>4.106 SITE DEVELOPMENT</li> <li>4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.</li> </ul>				<b>3.EV Chargers.</b> Five (5) perce Where common use parking is area and shall be available for
	<b>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</b> Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.				When low power Level 2 EV of an automatic load manageme capacity to each space served shall have sufficient capacity to served by the ALMS. The bran have a capacity of not less that capacity to the required EV ca
	<ol> <li>Retention basins of sufficient size shall be utilized to retain storm water on the site.</li> <li>Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.</li> </ol>				4.106.4.2.2.1 Electric vehicle charging stations
	<ol> <li>Compliance with a lawfully enacted storm water management ordinance.</li> <li>Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.</li> </ol>				Exception: Electric vehicle char shall not be required to comply requirements.
	(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)				4406 4 0 0 4 4 1 4 4 4
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:</li> </ul>				EVCS shall comply with at least of 1.The charging space shall the California Building Code
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> </ol> </li> </ul>				EVCS shall comply with at least of 1.The charging space shall I the California Building Code 2.The charging space shall Chapter 2, to the building. Exception: Electric vehicle c Building Code, Chapter 11B
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> </ul>				EVCS shall comply with at least of 1.The charging space shall the the California Building Code 2.The charging space shall the Chapter 2, to the building. Exception: Electric vehicle of Building Code, Chapter 11B 4.106.4.2.2.1.2 Electric vehicle
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> <li>Exception: Additions and alterations not altering the drainage path.</li> </ul> 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply				<ul> <li>EVCS shall comply with at least of 1. The charging space shall the California Building Code 2. The charging space shall I Chapter 2, to the building.</li> <li>Exception: Electric vehicle c Building Code, Chapter 11B 4.106.4.2.2.1.2, Item 3.</li> <li>4.106.4.2.2.1.2 Electric vehicle The charging spaces shall be d 1. The minimum length of each I</li> </ul>
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> <li>Exception: Additions and alterations not altering the drainage path.</li> </ul> 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625. Exceptions: <ol> <li>On a case-by-case basis, where the local enforcing agency has determined EV charging and</li> </ol>				<ul> <li>EVCS shall comply with at least of 1. The charging space shall the California Building Code 2. The charging space shall Chapter 2, to the building.</li> <li>Exception: Electric vehicle of Building Code, Chapter 11B 4.106.4.2.2.1.2, Item 3.</li> <li>4.106.4.2.2.1.2 Electric vehicle of The charging spaces shall be do 1. The minimum length of each 12. The minimum width of each 12. The minimum width of each 13. One in every 25 charging spaces are aisle. A 5-foot (1524 mm) wide</li> </ul>
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> <li>Exception: Additions and alterations not altering the drainage path.</li> </ul> 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625. Exceptions: <ol> <li>On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: <ol> <li>Where there is no local utility power supply or the local utility is unable to supply adequate power.</li> <li>Where there is evidence suitable to the local enforcing agency substantiating that additional</li> </ol> </li> </ol>				<ul> <li>EVCS shall comply with at least of 1. The charging space shall the California Building Code 2. The charging space shall Chapter 2, to the building.</li> <li>Exception: Electric vehicle of Building Code, Chapter 11B 4.106.4.2.2.1.2, Item 3.</li> <li>4.106.4.2.2.1.2 Electric vehicle The charging spaces shall be do 1. The minimum length of each 12. The minimum width of each 13. One in every 25 charging spaces are assued as 12. The minimum width of each 12. The minimum width of each 12. The minimum width of each 13. One in every 25 charging spaces are assued as 12. The minimum width of each 13. One in every 25 charging spaces are assued as 12. The minimum width of each 13. One in every 25 charging spaces are assued as 12. The minimum width of each 13. One in every 25 charging spaces are assued as 12. The minimum width of each 13. One in every 25 charging spaces are assued as 14. The minimum width of each 14. The minimum width 04. The minimum width 05. The minimum wid</li></ul>
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	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> <li>Exception: Additions and alterations not altering the drainage path.</li> </ul> 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625. Exceptions: <ol> <li>On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: <ol> <li>Where there is no local utility power supply or the local utility is unable to supply adequate power.</li> <li>Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.</li> </ol> </li> </ol>				<ul> <li>EVCS shall comply with at least of 1. The charging space shall the California Building Code 2. The charging space shall I Chapter 2, to the building.</li> <li>Exception: Electric vehicle of Building Code, Chapter 11B 4.106.4.2.2.1.2, Item 3.</li> <li>4.106.4.2.2.1.2 Electric vehicle The charging spaces shall be d 1. The minimum length of each I 2. The minimum width of each E 3. One in every 25 charging spaaisle. A 5-foot (1524 mm) wide 12 feet (3658 mm).</li> <li>a. Surface slope for this EV spaapercent slope) in any direction.</li> <li>4.106.4.2.2.1.3 Accessible EV so In addition to the requirements in comply with the accessibility provispaces and EVCS in multifamily 1109A.</li> <li>4.106.4.2.3 EV space required. Instacircuit. The raceway shall not be originate at the main service or s proximity to the location or the praceway termination point, recepinate at 40-ampere minimum dedition.</li> </ul>
	<ul> <li>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol> </li> <li>Exception: Additions and alterations not altering the drainage path.</li> </ul> <li>4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections <ul> <li>4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i>, Article 625.</li> </ul> </li> <li>Exception: <ul> <li>1.0 An acase-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: <ul> <li>1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.</li> <li>1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section <ul> <li>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate inch a listed circuit and space(s) reserved to permit installation of a branch circuit at 800 and spaces.</li> </ul> </li> </ul></li></ul></li>				<ul> <li>EVCS shall comply with at least of 1. The charging space shall be the California Building Code 2. The charging space shall be Chapter 2, to the building.</li> <li>Exception: Electric vehicle of Building Code, Chapter 11B 4.106.4.2.2.1.2, Item 3.</li> <li>4.106.4.2.2.1.2 Electric vehicle of The charging spaces shall be de 1. The minimum length of each Be 2. The minimum width of each Be 3. One in every 25 charging spaces are spaced as a size. A 5-foot (1524 mm) wide 12 feet (3658 mm).</li> <li>a. Surface slope for this EV space percent slope) in any direction.</li> <li>4.106.4.2.2.1.3 Accessible EV so In addition to the requirements in comply with the accessibility provispaces and EVCS in multifamily of the space percent slope.</li> </ul>

			Exce	otion: A raceway is not required if a minimum	1 40-ampere 208/240-volt dedicated EV branch circu	uit is
re botale and motale and new residential parking facilities	Y N/A	RESPON. PARTY	instal		roposed location of the EV space at the time of origin	
<b>gs, hotels and motels and new residential parking facilities.</b> paces for new multifamily dwellings, hotels and motels shall meet the 1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest				Identification. panel or subpanel circuit directory shall ider	tify the overcurrent protective device space(s) reser	rved for
ved by electric vehicle supply equipment or designed as a future EV charging andard automobile parking space only for the purpose of complying with any			future EV ch	harging purposes as "EV CAPABLE" in acco		
equirements established by a local jurisdiction. See Vehicle Code Section 22511.2 Int projects with less than 20 dwelling units; and hotels and motels with less			Electric vehi	ations Policy Directive 13-01 (Zero Emission	ige or pavement markings, in compliance with Caltra Vehicle Signs and Pavement Markings) or its	ans
oms. ng units or guest rooms shall be based on all buildings on a project site subject to			4.106.4.3 Elect multifamily bu		erations of parking facilities serving existing	
ent of the total number of parking spaces on a building site, provided for all types lectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical distribution transformer(s), have sufficient capacity to simultaneously charge all at a minimum of 40 amperes			When new paltered and	barking facilities are added, or electrical system the work requires a building permit, ten (10)	ems or lighting of existing parking facilities are adde percent of the total number of parking spaces added aces) capable of supporting future Level 2 EVSE.	
at a minimum of 40 amperes. I circuit directory shall identify the overcurrent protective device space(s) reserved			1.Construc EV chargir		e the project's capability and capacity for facilitating	future
es as "EV CAPABLE" in accordance with the California Electrical Code.				-	cted or available until EV chargers are installed for u	use.
el 2 EVSE) are installed in a number equal to or greater than the required number			4.201 GEN		fficiency standards in this code, the California Energ	IV.
el 2 EVSE) are installed in a number less than the required number of EV capable EV capable spaces required may be reduced by a number equal to the number of				on will continue to adopt mandatory standard		<i>ay</i>
			DIVISION		ICY AND CONSERVATION	
are intended to demonstrate the project's capability and capacity for facilitating			4.303.1 WATE	and fittings (faucets and showerheads) shall	<b>ND FITTINGS.</b> Plumbing fixtures (water closets and comply with the sections 4.303.1.1, 4.303.1.2, 4.303	
for EV spaces to be constructed or available until receptacles for EV charging or or use.			Note: All	noncompliant plumbing fixtures in any resid	ential real property shall be replaced with water-con	
percent of the total number of parking spaces shall be equipped with low power les. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.			Co Du	mpletion, certificate of occupancy, or final periode Section 1101.1, et seq., for the definition ildings affected and other important enactment		civil ntial
acilities served by parking lifts.			flush. Ta		e of all water closets shall not exceed 1.28 gallons p e performance criteria of the U.S. EPA WaterSense	
nt projects with 20 or more dwelling units, hotels and motels with 20 or more ng units or guest rooms shall be based on all buildings on a project site subject to			No		toilets is defined as the composite, average flush vo	olume
ent of the total number of parking spaces on a building site, provided for all types lectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical distribution transformer(s), have sufficient capacity to simultaneously charge all			The effe	<ol> <li>2 Urinals. The effective flush volume of wa ctive flush volume of all other urinals shall no</li> <li>3 Showerheads.</li> </ol>	Il mounted urinals shall not exceed 0.125 gallons per ot exceed 0.5 gallons per flush.	er flush.
at a minimum of 40 amperes. I circuit directory shall identify the overcurrent protective device space(s) reserved es as "EV CAPABLE" in accordance with the California Electrical Code.			ga		ads shall have a maximum flow rate of not more than all be certified to the performance criteria of the U.S	
pers (Level 2 EVSE) are installed in a number greater than five (5) percent of y Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be			sh	owerhead, the combined flow rate of all the	ne shower. When a shower is served by more than showerheads and/or other shower outlets controlled	i by
al to the number of EV chargers installed over the five (5) percent required.				single valve shall not exceed 1.8 gallons per ow one shower outlet to be in operation at a <b>Note</b> : A hand-held shower shall be con		o only
shall show locations of future EV spaces. for EV spaces to be constructed or available until receptacles for EV charging or				4 Faucets.		1 10 100
or use.			nc	t exceed 1.2 gallons per minute at 60 psi. T	The maximum flow rate of residential lavatory faucet he minimum flow rate of residential lavatory faucets	
percent of the total number of parking spaces shall be equipped with low power les. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.			<b>4</b> . fa	ucets installed in common and public use are	nd Public Use Areas. The maximum flow rate of la eas (outside of dwellings or sleeping units) in resider	
g facilities served by parking lifts.				ildings shall not exceed 0.5 gallons per minu 303.1.4.3 Metering Faucets. Metering fauc		deliver
ent of the total number of parking spaces shall be equipped with Level 2 EVSE. s provided, at least one EV charger shall be located in the common use parking r use by all residents or guests.	<ul> <li>4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.</li> <li>4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not</li> </ul>					
charging receptacles or Level 2 EVSE are installed beyond the minimum required, int system (ALMS) may be used to reduce the maximum required electrical d by the ALMS. The electrical system and any on-site distribution transformers to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) inch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall an 30 amperes. ALMS shall not be used to reduce the minimum required electrical			to mi No	exceed 2.2 gallons per minute at 60 psi, and nute at 60 psi.	d must default to a maximum flow rate of 1.8 gallons	per
apable spaces. narging stations (EVCS).			W		the California Code of Regulations, Title 20 (Applia)	
required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. ging stations serving public accommodations, public housing, motels and hotels			(d	)(7) and shall be equipped with an integral a		
with this section. See California Building Code, Chapter 11B, for applicable			Co		and code section have been reprinted from the Callency Regulations),Section 1605.1 (h)(4) and Section	
one of the following options:			Г	ABLE H-2		
be located adjacent to an accessible parking space meeting the requirements of , Chapter 11A, to allow use of the EV charger from the accessible parking space.			5	STANDARDS FOR COMMERCIA	AL PRE-RINSE SPRAY	
be located on an accessible route, as defined in the California Building Code,				ALUES MANUFACTURED ON		
harging stations designed and constructed in compliance with the California , are not required to comply with Section 4.106.4.2.2.1.1 and Section				RODUCT CLASS spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)	
			l É	Product Class 1 (≤ 5.0 ozf)	1.00	
charging stations (EVCS) dimensions. esigned to comply with the following:			- Co	Product Class 2 (> 5.0 ozf and $\leq$ 8.0 ozf)	1.20	
EV space shall be 18 feet (5486 mm).				roduct Class 3 (> 8.0 ozf) tle 20 Section 1605.3 (h)(4)(A): Commercial	1.28 prerinse spray values manufactured on or after Janu	uarv
V space shall be 9 feet (2743 mm). ces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum			1,	2006, shall have a minimum spray force of r	not less than 4.0 ounces-force (ozf)[113 grams-force	e(gf)]
minimum aisle shall be permitted provided the minimum width of the EV space is			buildings.		ng units in mixed-used residential/commercial e of individual rental dwelling units in accordance wit	th the
ce and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083			California	a Plumbing Code.	-	
paces.			accordance wit	ards for plumbing fixtures and fittings. Pl h the California Plumbing Code, and shall m california Plumbing Code.	umbing fixtures and fittings shall be installed in eet the applicable standards referenced in Table	
Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall visions for EV chargers in the California Building Code, Chapter 11B. EV ready developments shall comply with California Building Code, Chapter 11A, Section			NOTE:	annaise san ann an stairdhi		
der significate ender compty war callornia building code, chapter TTA, Section				BLE COMPILES THE DATA IN SECTION 4 NIENCE FOR THE USER.	I.303.1, AND IS INCLUDED AS A	_
ents. all a listed raceway capable of accommodating a 208/240-volt dedicated branch less than trade size 1 (nominal 1-inch inside diameter). The raceway shall				- MAXIMUM FIXTURE WATER		_
ubpanel and shall terminate into a listed cabinet, box or enclosure in close oposed location of the EV space. Construction documents shall identify the			SHOWER	TYPE R HEADS (RESIDENTIAL)	1 8 GMP @ 80 PSI	-
tacle or charger location, as applicable. The service panel and/ or subpanel shall cated branch circuit, including branch circuit overcurrent protective device					1.8 GMP @ 80 PSI MAX_1.2 GPM @ 60 PSI_MIN_0.8 GPM @ 20	
permit installation of a branch circuit overcurrent protective device. Juired if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is					MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	
e location or the proposed location of the EV space, at the time of original the California Electrical Code.			LAVATOR USE ARE	RY FAUCETS IN COMMON & PUBLIC	0.5 GPM @ 60 PSI	
onstruction documents shall indicate the raceway termination point and the				FAUCETS	1.8 GPM @ 60 PSI	_
spaces, receptacles or EV chargers. Construction documents shall also provide lled or future receptacles or EVSE, raceway method(s), wiring schematics and design shall be based upon a 40-ampere minimum branch circuit. Required			WATER O	IG FAUCETS CLOSET	0.2 GAL/CYCLE 1.28 GAL/FLUSH	-
ts that are planned to be installed underground, enclosed, inaccessible or in Il be installed at the time of original construction.			URINALS		0.125 GAL/FLUSH	

	Y = YES N/A = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)	workbench
	<ul> <li>4.304 OUTDOOR WATER USE</li> <li>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.</li> <li>NOTES:</li> </ul>	189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM
	<ol> <li>The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/</li> </ol>	BROCKETT
1 - 21	DIVISION 4.4       MATERIAL CONSERVATION AND RESOURCE         EFFICIENCY       4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE         4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	<b>/ARCHITECT</b> 104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM
	<ul> <li>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</li> <li>4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.</li> </ul>	BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.
	Exceptions:	1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL
	<ol> <li>Excavated soil and land-clearing debris.</li> <li>Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.</li> <li>The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</li> </ol>	PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
	4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.	2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE
	<ol> <li>Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.</li> <li>Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).</li> <li>Identify diversion facilities where the construction and demolition waste material collected will be taken.</li> <li>Identify construction methods employed to reduce the amount of construction and demolition waste generated.</li> </ol>	INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
V	<ul> <li>5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.</li> <li>4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and</li> </ul>	3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.
1	demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waster materials will be diverted by a waster management company.	
1	materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined	
	weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1	
	<b>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1	A A A
	<b>4.408.5 DOCUMENTATION</b> . Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4	$\Box \Box \Box$
	Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code	
	<ol> <li>Sample forms found in 'A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.</li> <li>Mixed construction and demolition debris (C &amp; D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).</li> </ol>	
	<ul> <li>4.410 BUILDING MAINTENANCE AND OPERATION</li> <li>4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:</li> </ul>	
	<ol> <li>Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.</li> <li>Operation and maintenance instructions for the following:         <ul> <li>Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.</li> <li>Roof and yard drainage, including gutters and downspouts.</li> <li>Space conditioning systems, including condensers and air filters.</li> <li>Landscape irrigation systems.</li> <li>Water reuse systems.</li> </ul> </li> <li>Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.</li> </ol>	
	<ol> <li>Public transportation and/or carpool options available in the area.</li> <li>Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.</li> <li>Information about water-conserving landscape and irrigation design and controllers which conserve water.</li> <li>Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.</li> <li>Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.</li> </ol>	D R C
	<ol> <li>Information about state solar energy and incentive programs available.</li> <li>A copy of all special inspections verifications required by the enforcing agency or this code.</li> <li>Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.</li> <li>Information and/or drawings identifying the location of grab bar reinforcements.</li> </ol>	
	<b>4.410.2 RECYCLING BY OCCUPANTS.</b> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.	
	Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.	
	DIVISION 4.5 ENVIRONMENTAL QUALITY	

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. PRINT DATE XX.XX.XXXX

> CAL GREEN/GREEN BUILDING REQUIREMENTS

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COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

The following terms are defined in Chapter 2 (and are included here for reference)

SECTION 4.501 GENERAL

SECTION 4.502 DEFINITIONS

4.501.1 Scope

5.102.1 DEFINITIONS

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

G2. SCALE : AS NOTED

# California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023)

N/A RESPON. PARTY

TABLE 4.504.2 MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to (Less Water and Les SEALANTS Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 ARCHITECTURAL MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. MARINE DECK PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE R article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of ROADWAY Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). SINGLE-PLY ROOF REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to OTHER SEALANT PRIMER VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings ARCHITECTURAL with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). NON-POROUS POROUS 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed MODIFIED BITUMIN woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, MARINE DECK OTHER 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. **TABLE 4.504** 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the ARCHITECTI requirements of the following standards unless more stringent local or regional air pollution or air quality GRAMS OF VOC COMPOUNDS 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks COATING CATEG shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and NON-FLAT COATI tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in SPECIALTY COA units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including UMINUM ROO prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of JMINOUS R the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits UMINOUS R apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in ONCRETE CI ONCRETE/MAS 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR DRIVEWAY SEAL Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATI Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation FAUX FINISHING 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: TEMPERAT INDUSTRIAL MAIN LOW SOLIDS CO MAGNESITE CEM VOC LIMIT MASTIC TEXTURE METALLIC PIGME MULTICOLOR CO 150 PRETREATMENT 100 PRIMERS, SEALE 60 REACTIVE PENET 50 RECYCLED COAT 65 ROOF COATINGS 50 RUST PREVENTA 50 SHELLACS 50 CLEAR 70 OPAQUE 100 SPECIALTY PRIN 250 UNDERCOATERS STAINS STONE CONSOLI 510 SWIMMING POOL 490 TRAFFIC MARKIN 325 TUB & TILE REFIN 250 WATERPROOFING 550 WOOD COATING WOOD PRESER\ 80 250 ZINC-RICH PRIME 140 1. GRAMS OF VO EXEMPT COMPOUNDS 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY 30 THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 50 SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. 50 30 80 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR

N/A RESPO

hundredths of a gram (g O3/g ROC).

ozone formation in the troposphere.

4.503 FIREPLACES

product (excluding container and packaging).

management district rules apply:

Table 4.504.3 shall apply.

8. Rule 49.

pellet stoves and fireplaces shall also comply with applicable local ordinances.

reduce the amount of water, dust or debris which may enter the system.

commencing with section 94507.

 Manufacturer's product specification. Field verification of on-site product containers

ARCHITECTURAL APPLICATIONS

INDOOR CARPET ADHESIVES

OUTDOOR CARPET ADHESIVES

WOOD FLOORING ADHESIVES

RUBBER FLOOR ADHESIVES

SUBFLOOR ADHESIVES

COVE BASE ADHESIVES

CERAMIC TILE ADHESIVES

VCT & ASPHALT TILE ADHESIVES

DRYWALL & PANEL ADHESIVES

STRUCTURAL GLAZING ADHESIVES

OTHER ADHESIVES NOT LISTED

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

WOOD

FIBERGLASS

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

PVC WELDING

CPVC WELDING

ABS WELDING

MULTIPURPOSE CONSTRUCTION ADHESIVE

SINGLE-PLY ROOF MEMBRANE ADHESIVES

CARPET PAD ADHESIVES

TABLE 4.504.1 - ADHESIVE VOC I

(Less Water and Less Exempt Compounds in Grams per Liter

and 94701.

2 - SEALANT VOC LIMIT							
ss Exempt Compounds in Grams per Liter)							
	VOC LIMIT						
	250						
	760						
ROOF	300						
	250						
F MEMBRANE	450						
	420						
RS							
	250						
	775						
NOUS	500						
	760						
	750						

PER LITER OF COATING, LES	S WATER & LESS EXEMPT	
GORY	VOC LIMIT	
	50	
INGS	100	
GLOSS COATINGS	150	
TINGS		
F COATINGS	400	
CIALTY COATINGS	400	
OF COATINGS	50	
OF PRIMERS	350	
s	350	
ING COMPOUNDS	350	
ONRY SEALERS	100	
ERS	50	
NGS	150	
COATINGS	350	
COATINGS	350	
S	100	
COMPOUNDS	250	
COATINGS (SIGN PAINTS)	500	
URE COATINGS	420	
NTENANCE COATINGS	250	
ATINGS1	120	
IENT COATINGS	450	
E COATINGS	100	
ENTED COATINGS	500	
DATINGS	250	
WASH PRIMERS	420	
ERS, & UNDERCOATERS	100	
TRATING SEALERS	350	
TINGS	250	
3	50	
ATIVE COATINGS	250	
	730	
	550	
1ERS, SEALERS & S	100	
	250	
IDANTS	450	
L COATINGS	340	
NG COATINGS	100	
NISH COATINGS	420	
IG MEMBRANES	250	
S	275	1
/ATIVES	350	1

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE. DUE TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE FULL CODE.

E		<b>2</b> (January 2023)		
Y	N/A RESPON PARTY		Y	P
			L	
		TABLE 4.504.5 - FORMALDEHYDE LIMITS	L	
		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION PRODUCT CURRENT LIMIT	L	
		HARDWOOD PLYWOOD VENEER CORE 0.05		1 [
		HARDWOOD PLYWOOD COMPOSITE CORE 0.05 PARTICLE BOARD 0.09	L	
		MEDIUM DENSITY FIBERBOARD 0.11	L	
		THIN MEDIUM DENSITY FIBERBOARD2 0.13	L	
		1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL	L	
		MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.		
		2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).	L	
		DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.		
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	L	
		<ul> <li>4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</li> <li>See California Department of Public Health's website for certification programs and testing labs.</li> </ul>		
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	L	
		<b>4.504.3.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1.		
		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 2. January 2017 (Emission testing method for California Department of 01250)		
		Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.		
		hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		
		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for	L	
		formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5	L	
		<b>4.504.5.1 Documentation.</b> Verification of compliance with this section shall be provided as requested by the optimized as requested by the optimized as the following:	L	
		by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications.	L	
		<ol> <li>Chain of custody certifications.</li> <li>Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).</li> <li>Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.</li> <li>Other methods acceptable to the enforcing agency.</li> </ol>		
		<b>4.505 INTERIOR MOISTURE CONTROL</b> <b>4.505.1 General.</b> Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i> .		
		<b>4.505.2 CONCRETE SLAB FOUNDATIONS.</b> Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the		
		California Residential Code, Chapter 5, shall also comply with this section. 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the		
		<ol> <li>following:</li> <li>A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.</li> </ol>		
		<ol> <li>Other equivalent methods approved by the enforcing agency.</li> <li>A slab design specified by a licensed design professional.</li> </ol>		
		<b>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.</b> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:		
		<ol> <li>Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.</li> <li>Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.</li> </ol>		
		<ol><li>At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.</li></ol>		
		Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.		
		<ul> <li>4.506 INDOOR AIR QUALITY AND EXHAUST</li> <li>4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:</li> </ul>		
		<ol> <li>Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.</li> <li>Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.</li> </ol>		
		<ul> <li>a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.</li> <li>b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)</li> </ul>		
		Notes:		
		<ol> <li>For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.</li> <li>Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>.</li> </ol>		
		4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be		
	_	sized, designed and have their equipment selected using the following methods:		
		<ol> <li>The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.</li> </ol>		
		<b>Exception:</b> Use of alternate design temperatures necessary to ensure the system functions are acceptable.		

### NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, ESPON PARTY OWNER, CONTRACTOR, INSPECTOR ETC.)

### CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs. Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.
- 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.
- 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

# 703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



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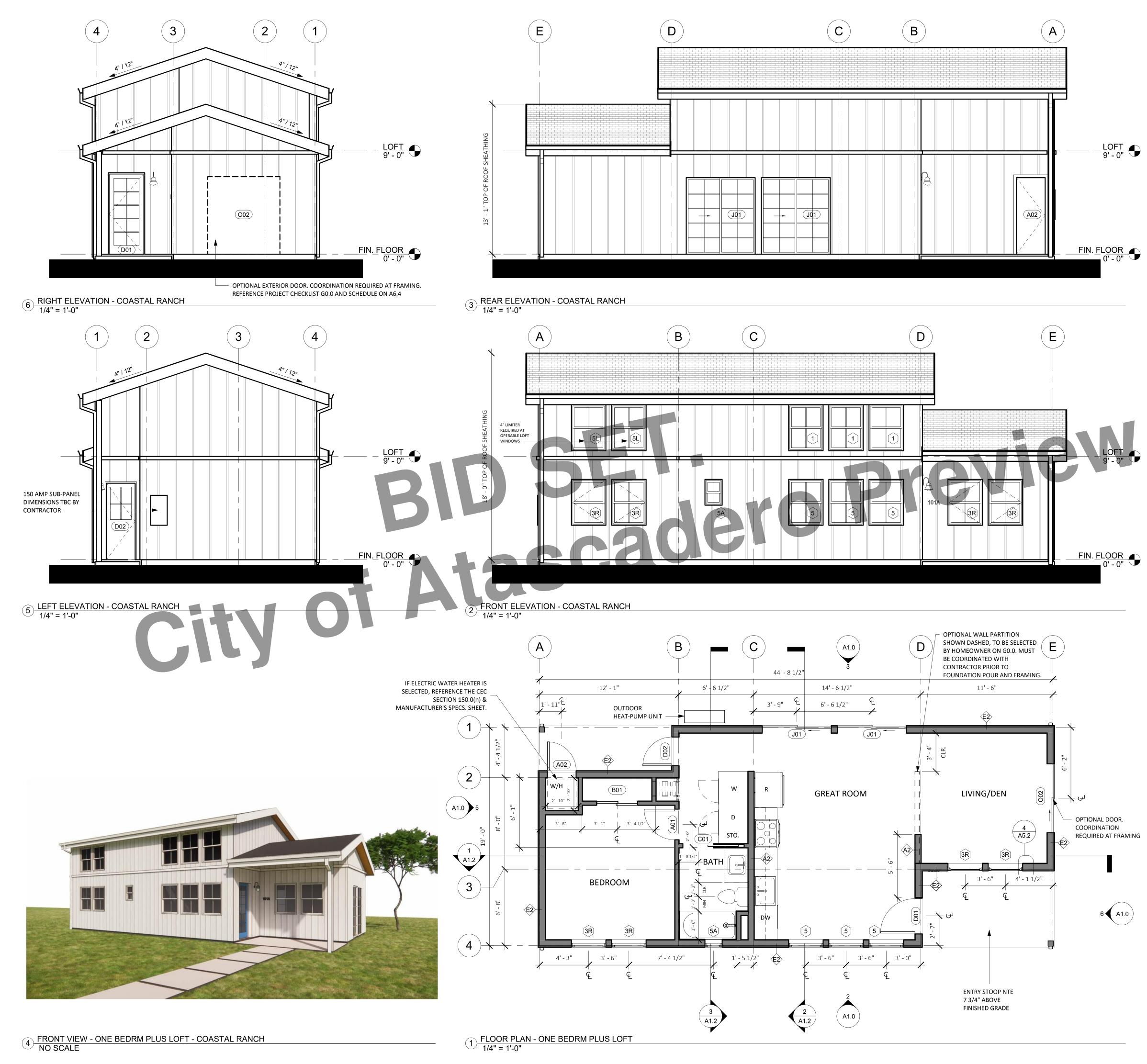
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SCALE : AS NOTED

CAL GREEN/GREEN BUILDING REQUIREMENTS



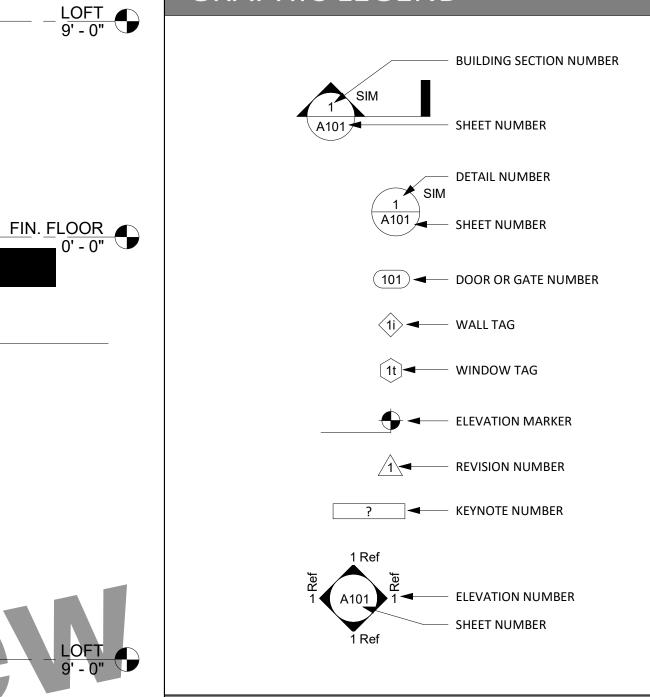
# FLOORPLAN LEGEND

### (N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

–∽– (N) LIGHT SWITCH

# **GRAPHIC LEGEND**



# FLOOR PLAN NOTES

' - 0" 🔍

6 A1.0

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower. 9. Contractor to verify layout, rough framing and finish dims

# with owner's final interior doors and finish selections.

# **ELEVATION NOTES**

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- details. 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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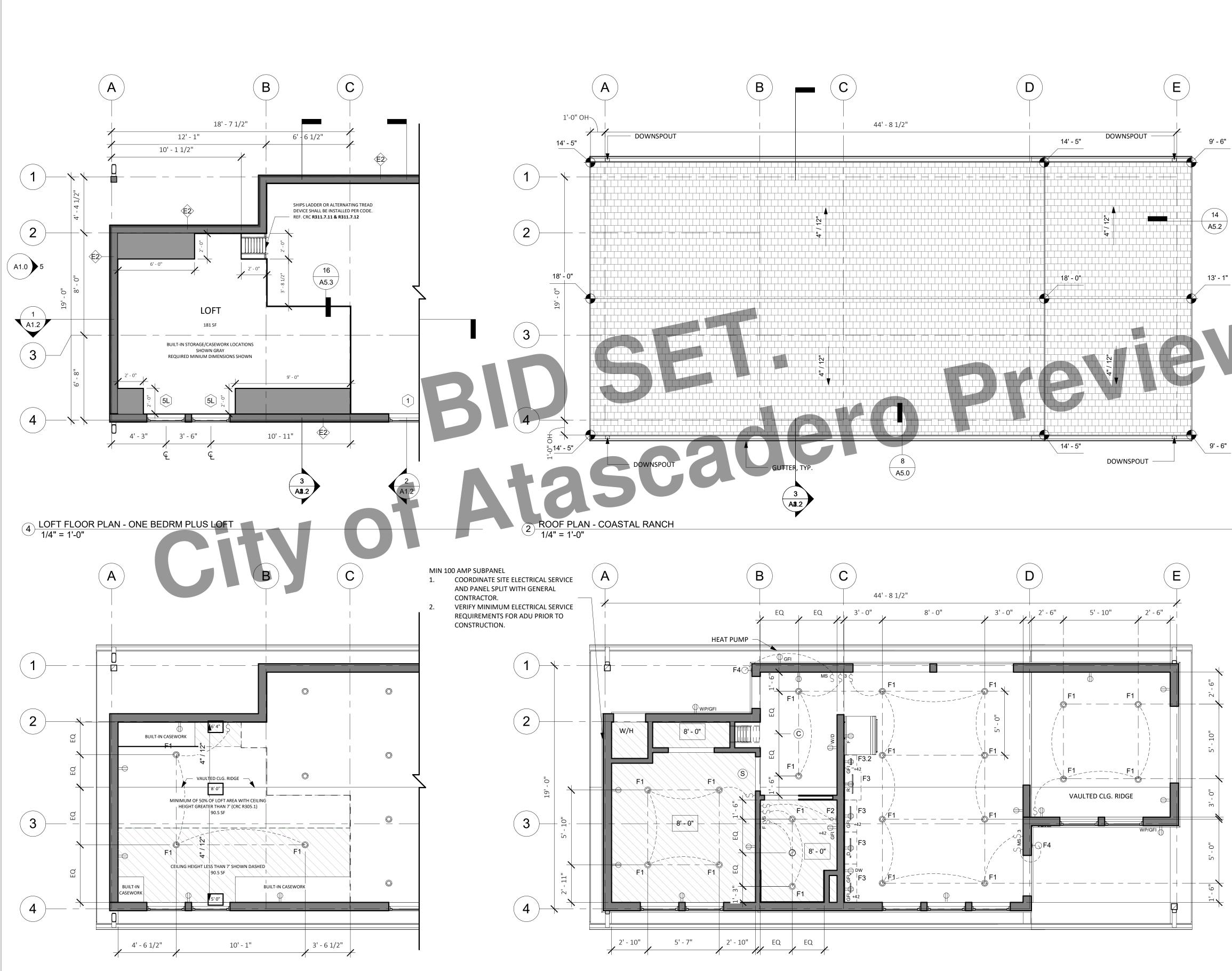
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 $\bigcirc 1/4" = 1'-0"$ 

# ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4. ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

# ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- $\frac{O}{C} \bigoplus$  GFCI RECEPTACLE

- 0 RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT Ó
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- $S_{MS}$  MOTION-SENSOR SWITCH
- S VACANCY SWITCH
- ↓F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE  $\odot$ 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

# REFLECTED CEILING PLAN LEGEND



8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

# **REFLECTED CEILING PLAN NOTES**

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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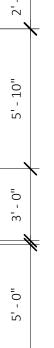
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RANCH - LOFT FLOOR PLAN, ROOF PLAN & RCP



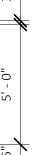


9' - 6"

14 \rightarrow

9' - 6"

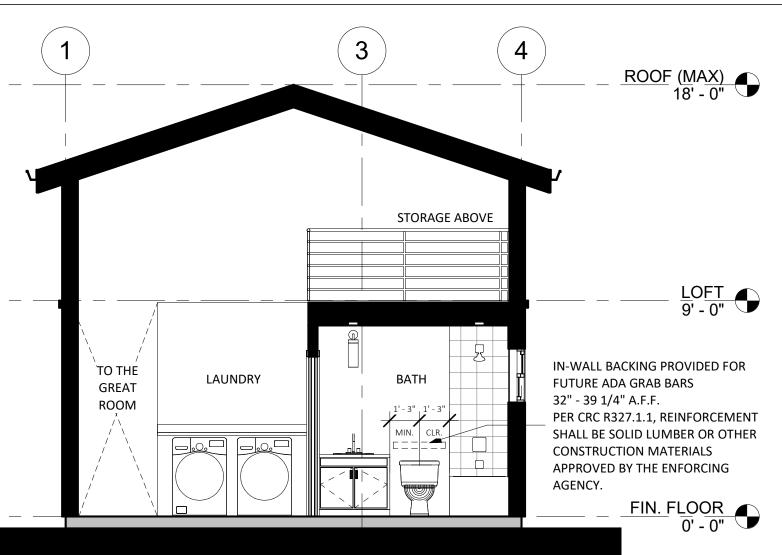




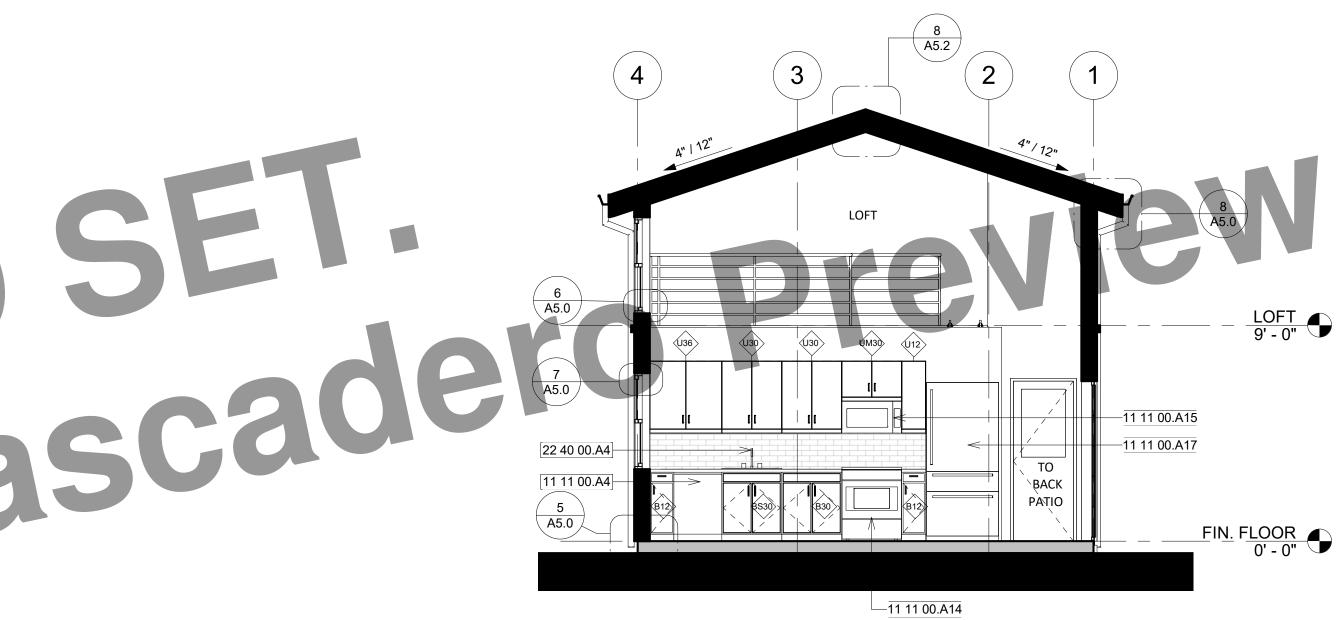


# City of Atascau

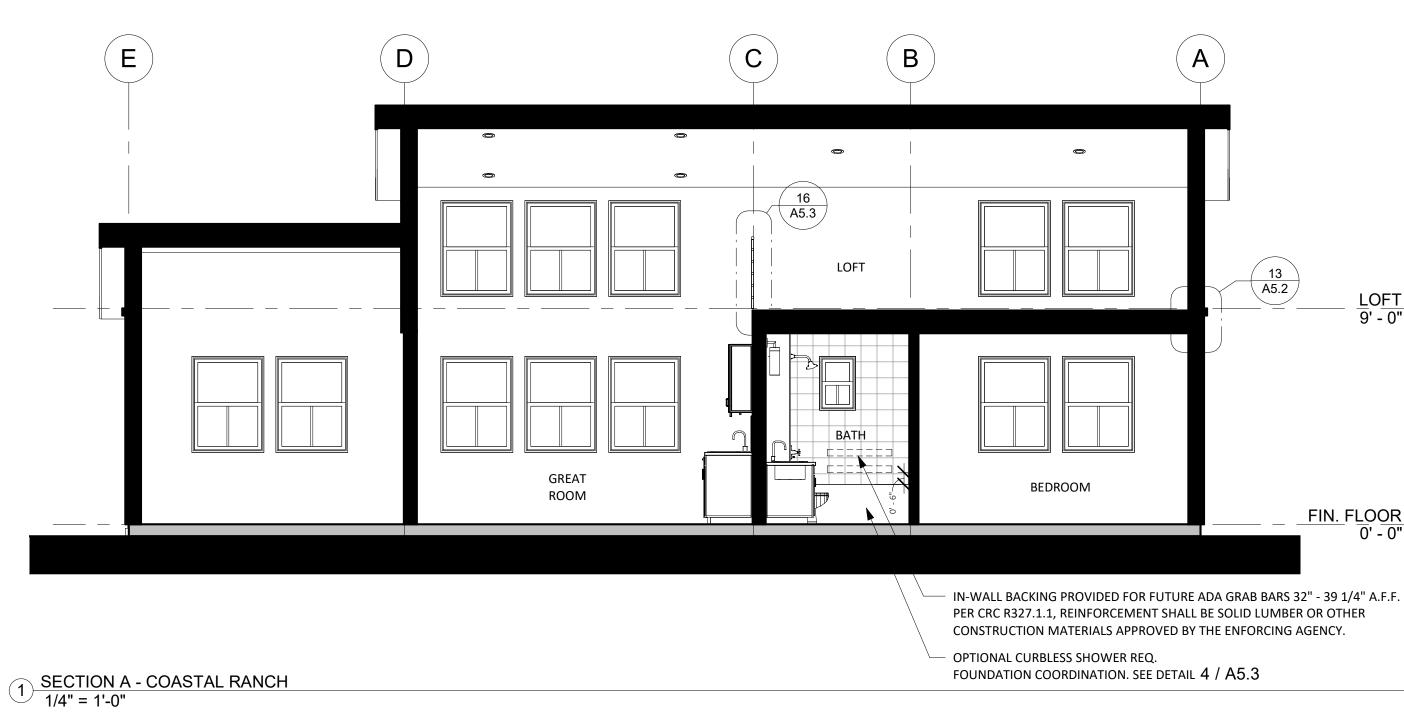
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3 <u>SECTION C - COASTAL RANCH</u> 1/4" = 1'-0"



2 SECTION B - COASTAL RANCH 1/4" = 1'-0"



	KITCH	HEN LEGEND	
<u>X)</u>	TAG	DESCRIPTION	

12" BASE CABINET

**30" BASE CABINET** 

12" UPPER CABINET

**30" UPPER CABINET** 

36" UPPER CABINET

30" BASE CABINET - SINK

<u>ROOF</u> ( <u>MAX)</u> 18' - 0"	•

0' - 0"

LOFT 9' - 0"

B12 B30 BS30 U12 U30 U36 LOFT 9' - 0" UM30

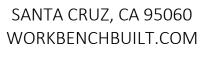
CABINET WIDTH

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT 36" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

30" UPPER CABINET - ABOVE MICROWAVE

22 40 00.A4 PLUMBING

30" KITCHEN SINK WITH FAUCET



189 WALNUT AVENUE

workbench



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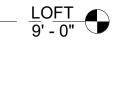
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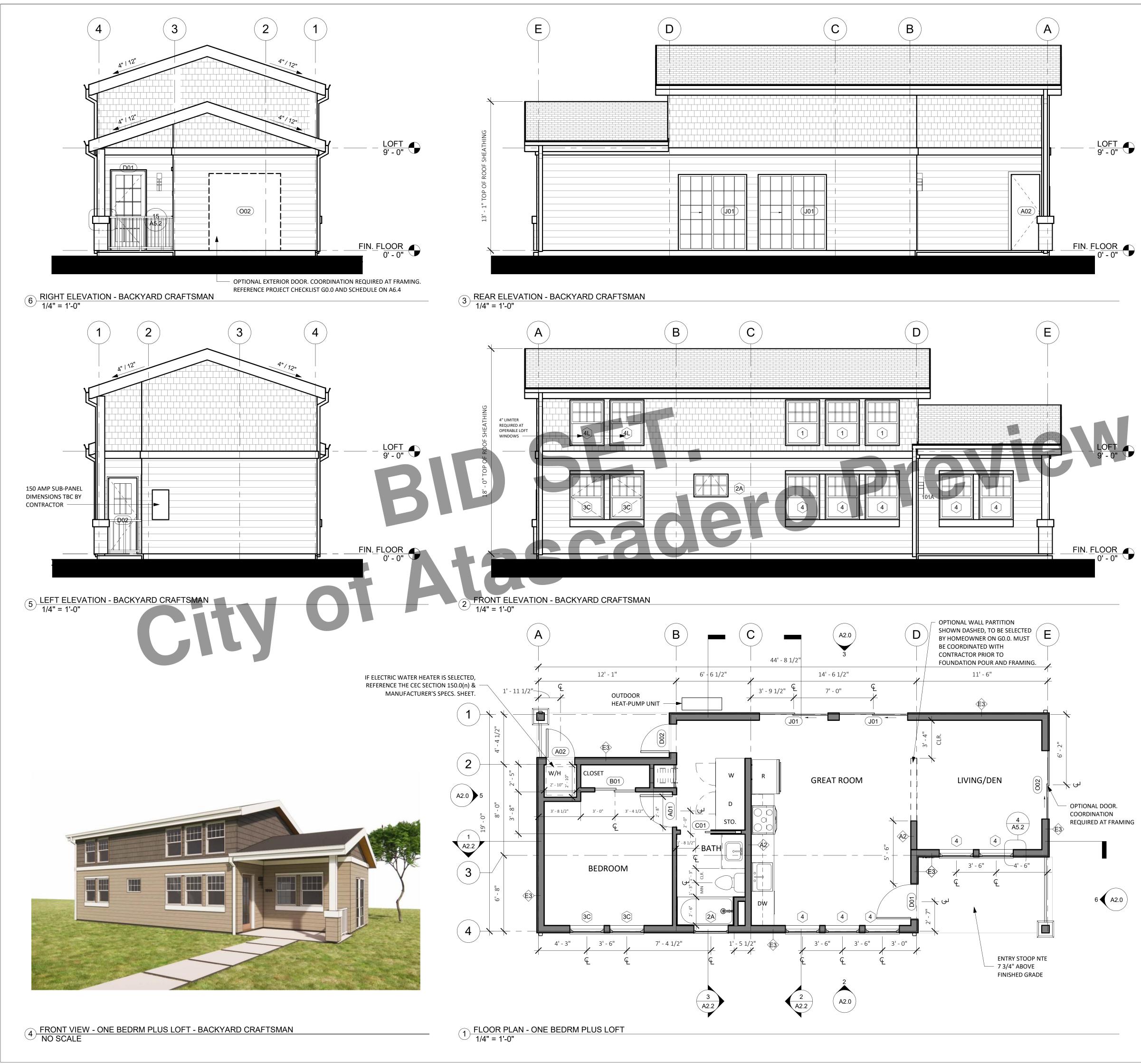
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**RANCH - SECTIONS** 

A1.2 SCALE : AS NOTED



FIN. FLOOR 0' - 0"



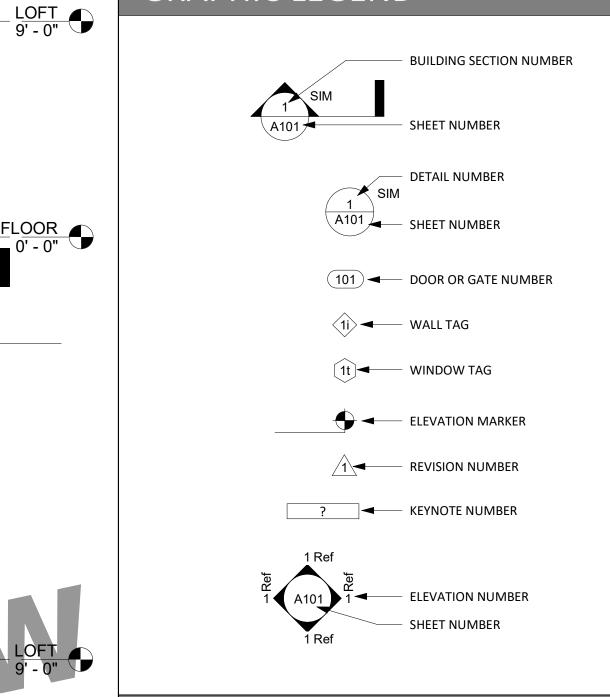
# FLOORPLAN LEGEND

## (N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

–∽– (N) LIGHT SWITCH

# **GRAPHIC LEGEND**



# FLOOR PLAN NOTES

' - 0" 🔍

6 A2.0

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
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- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

# **ELEVATION NOTES**

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
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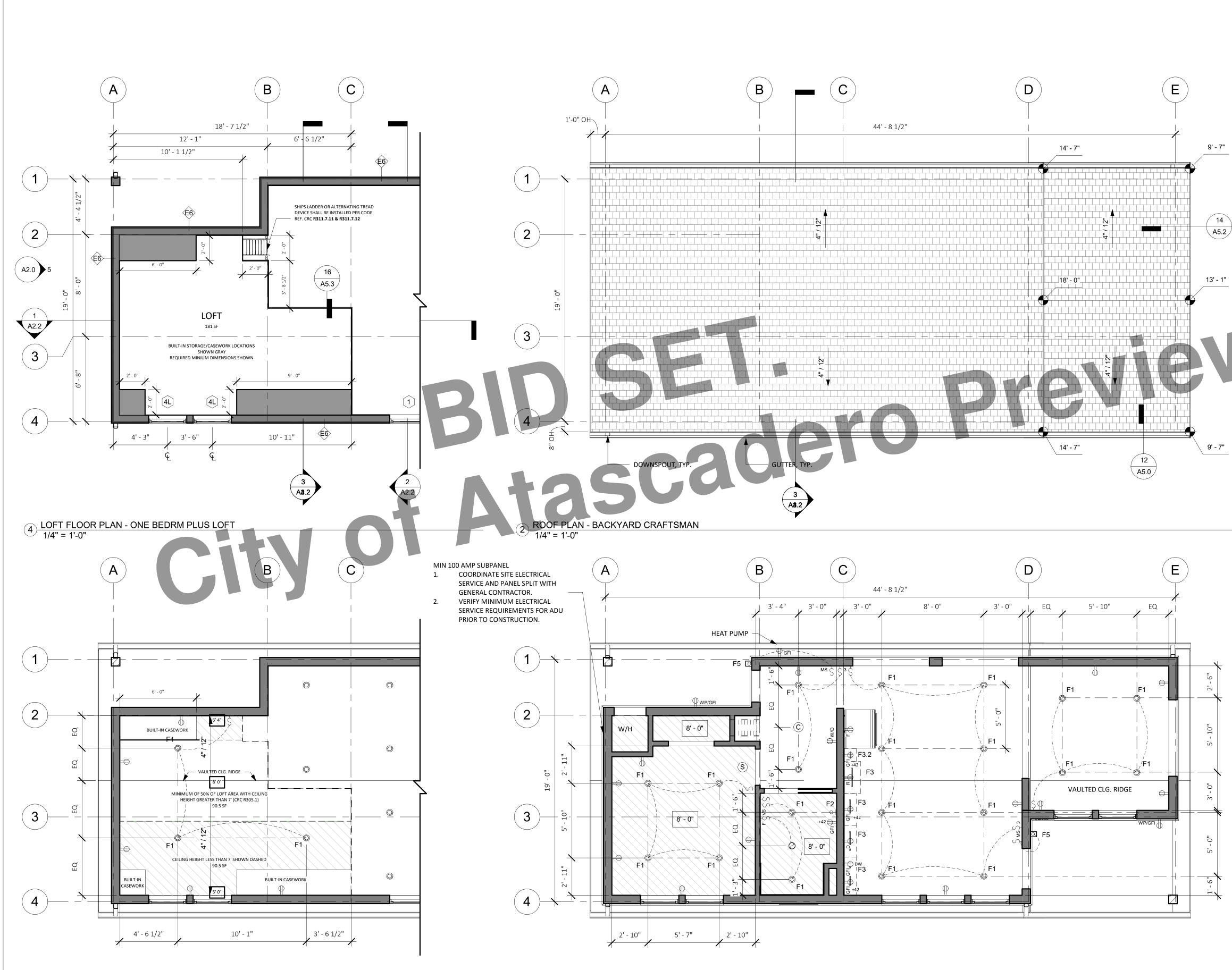
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1/4" = 1'-0"

# ROOF PLAN NOTES

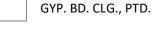
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- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4. ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

# ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE

- 0 RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- $S_{MS}$  MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE
- $\odot$ 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

# REFLECTED CEILING PLAN LEGEND



8'-0" FRAMED CEILING HEIGHT A.F.F.

(S)

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR  $(\mathbf{C})$ COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

# **REFLECTED CEILING PLAN NOTES**

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- 2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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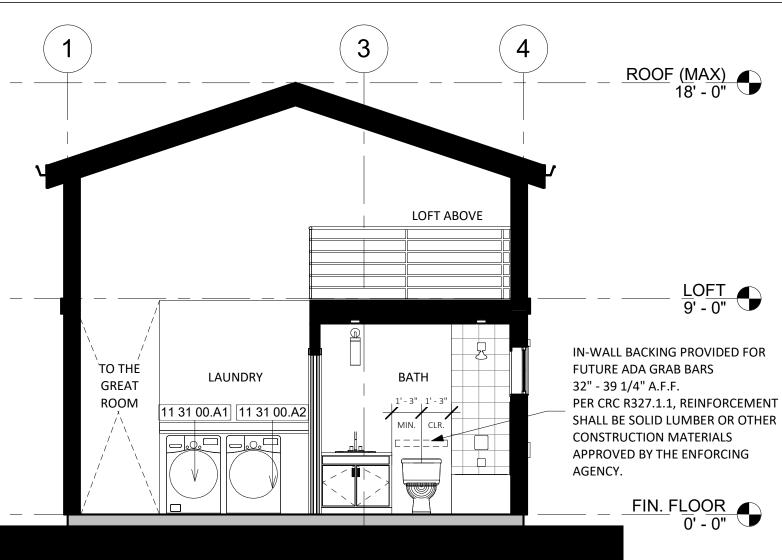
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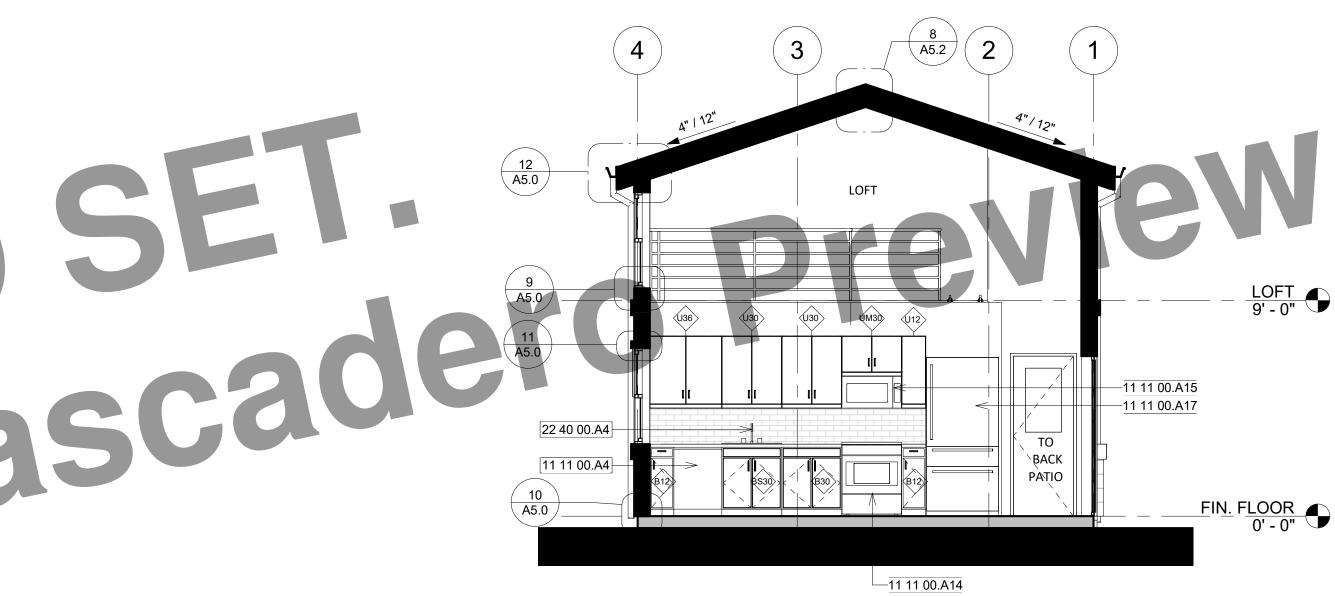
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**CRAFTSMAN - LOFT** FLOOR PLAN, ROOF PLAN & RCP

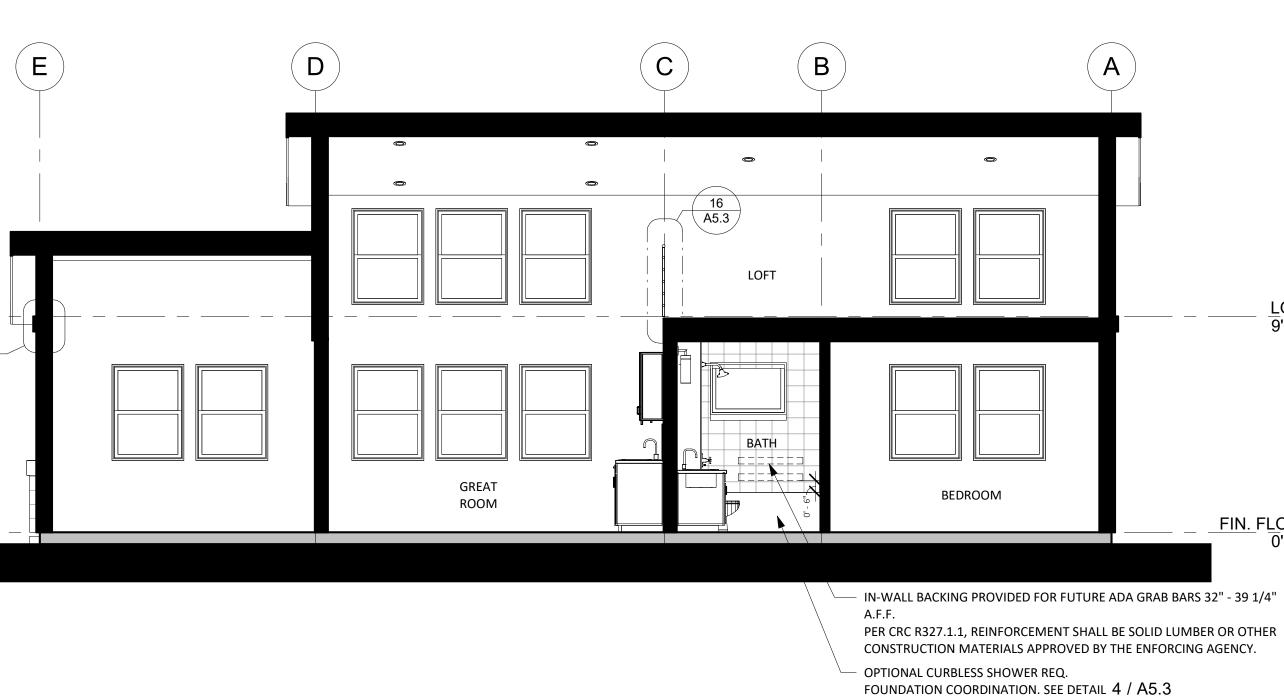
# BID S-Gity of Atascade



3 SECTION C - BACKYARD CRAFTSMAN 1/4" = 1'-0"



2 SECTION B - BACKYARD CRAFTSMAN 1/4" = 1'-0"



1 SECTION A - BACKYARD CRAFTSMAN 1/4" = 1'-0"

\_\_\_\_\_

5 A5.2

# KITCHEN LEGEND

DESCRIPTION

12" BASE CABINET

**30" BASE CABINET** 

12" UPPER CABINET

**30" UPPER CABINET** 

36" UPPER CABINET

30" BASE CABINET - SINK

LOFT	

LOFT 9' - 0"

TAG

B12

B30

BS30

U12

U30

U36

UM30

CABINET WIDTH

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

30" UPPER CABINET - ABOVE MICROWAVE

22 40 00.A4 PLUMBING

**30" KITCHEN SINK WITH FAUCET** 

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A2.2

**CRAFTSMAN** -

SECTIONS

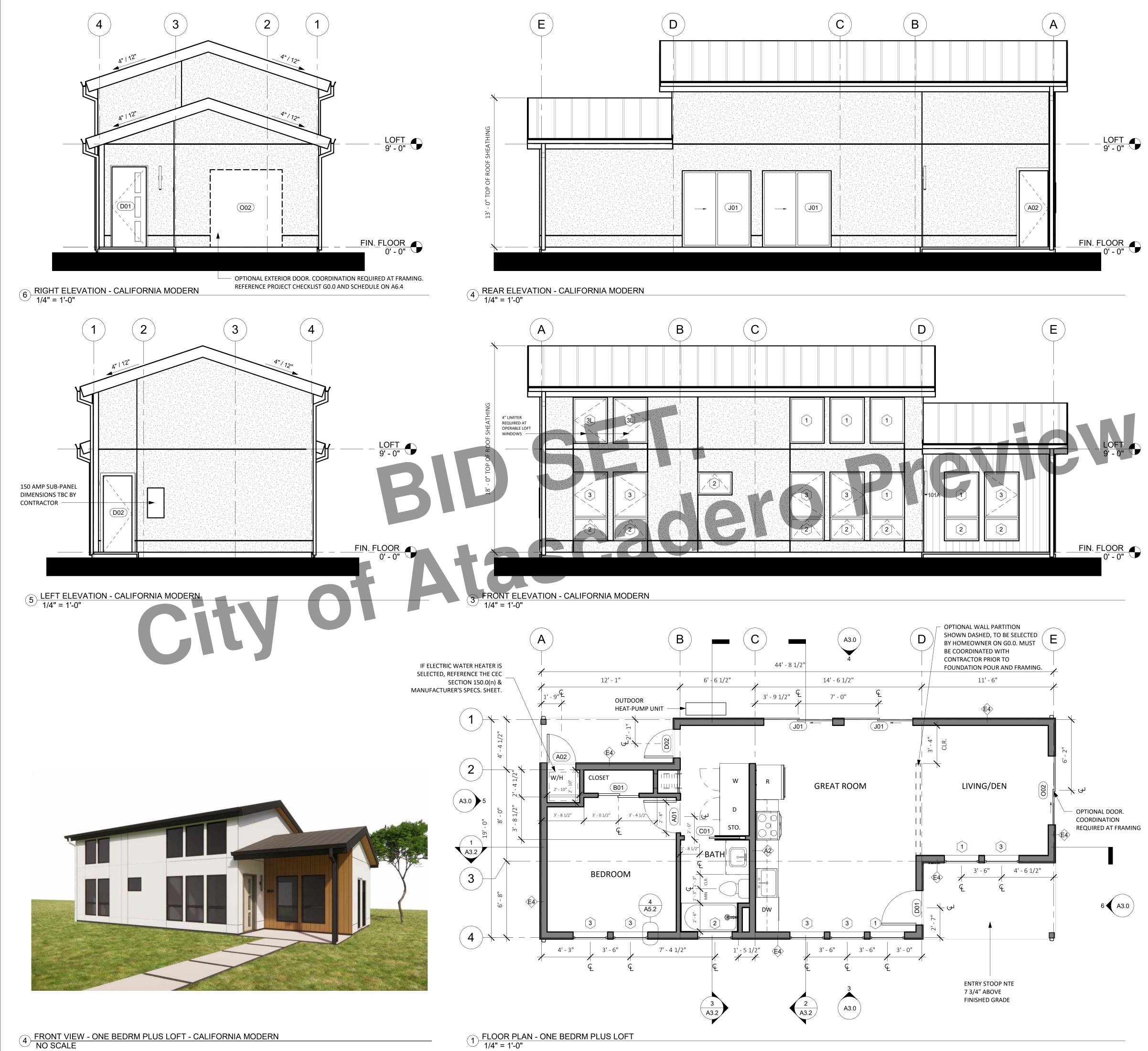
PRINT DATE XX.XX.XXXX

SCALE : AS NOTED



FIN. FLOOR 0' - 0"

LOFT 9' - 0"

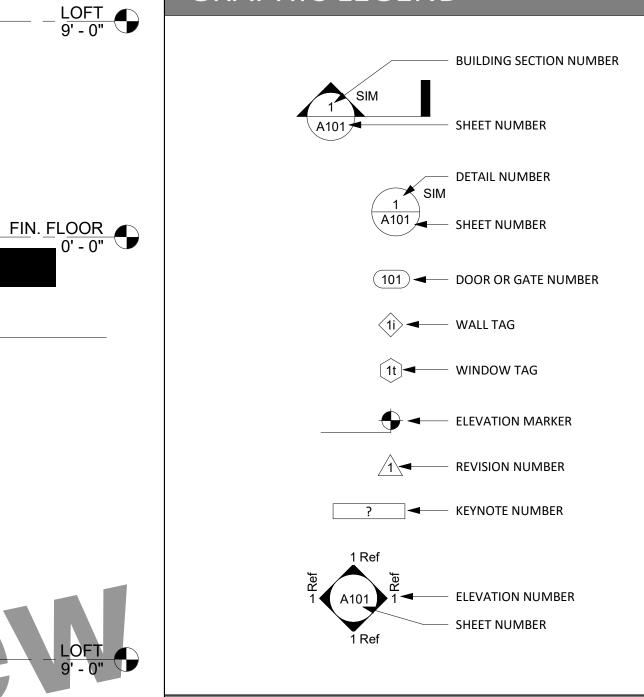


# FLOORPLAN LEGEND

## (N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N –∽– (N) LIGHT SWITCH

**GRAPHIC LEGEND** 



# FLOOR PLAN NOTES

- 0" 🔍

6 A3.0

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. 4.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- Where thresholds are required, provide accessible 7. thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

# **ELEVATION NOTES**

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and 3.
- details. 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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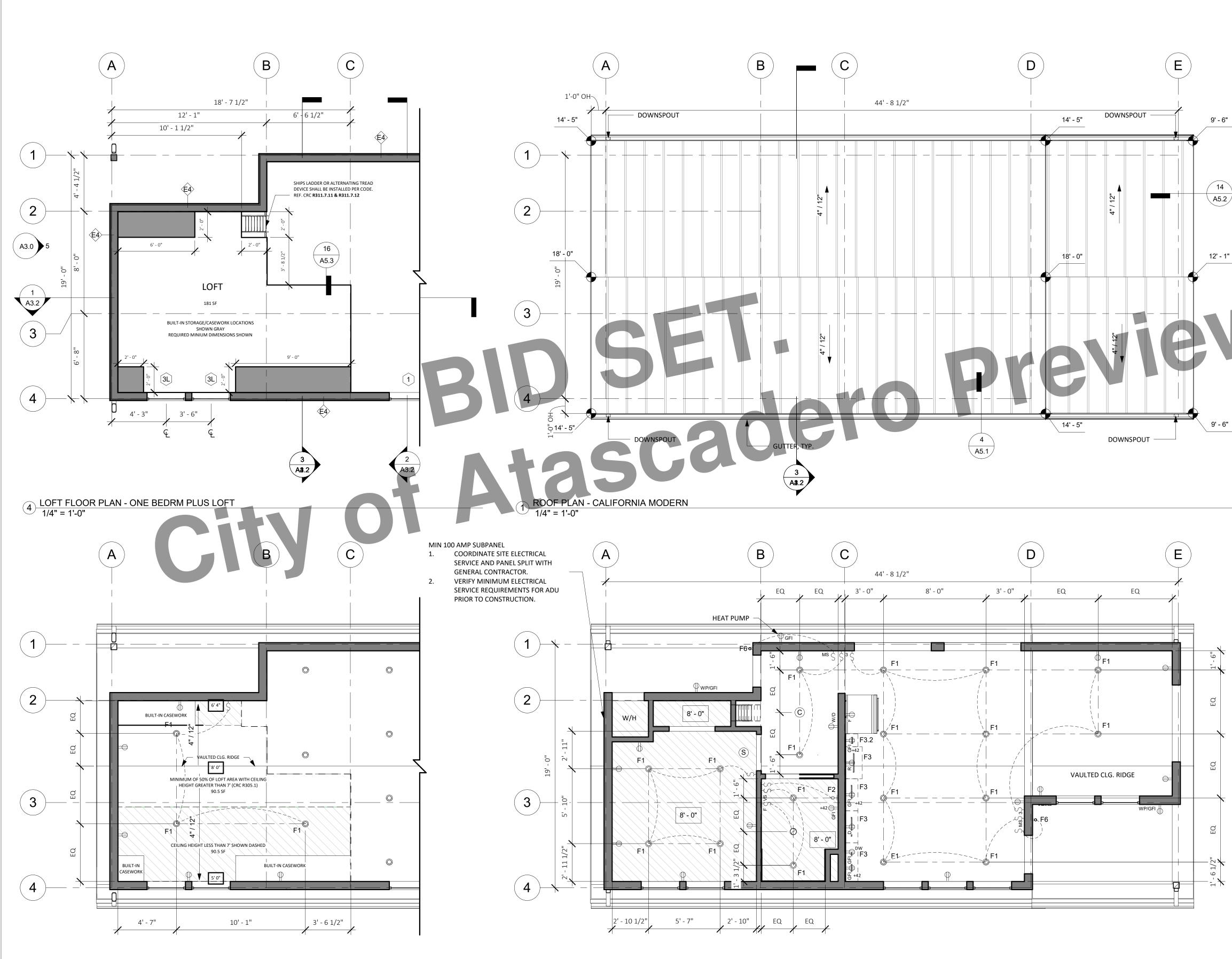
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3 LOFT RCP & ELECTRICAL PLAN - ONE BEDRM PLUS LOFT 1/4" = 1'-0"

1/4" = 1'-0"

# ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4. ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

# ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- $\frac{O}{C} \bigoplus$  GFCI RECEPTACLE

- $\bigcirc$ RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- $S_{MS}$  MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ↓F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE
- $\odot$ 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

# REFLECTED CEILING PLAN LEGEND



GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE (S) SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN
- CARBON MONOXIDE DETECTOR  $(\mathbf{C})$ COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

# **REFLECTED CEILING PLAN NOTES**

ACCORDANCE WITH THEIR LISTING.

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- 2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

**MODERN - LOFT** FLOOR PLAN, ROOF PLAN & RCP

A3.1

# BID SEI. BID SEI. Gity of Atascade

E

1 SECTION A - CALIFORNIA MODERN 1/4" = 1'-0"

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D

- IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

A



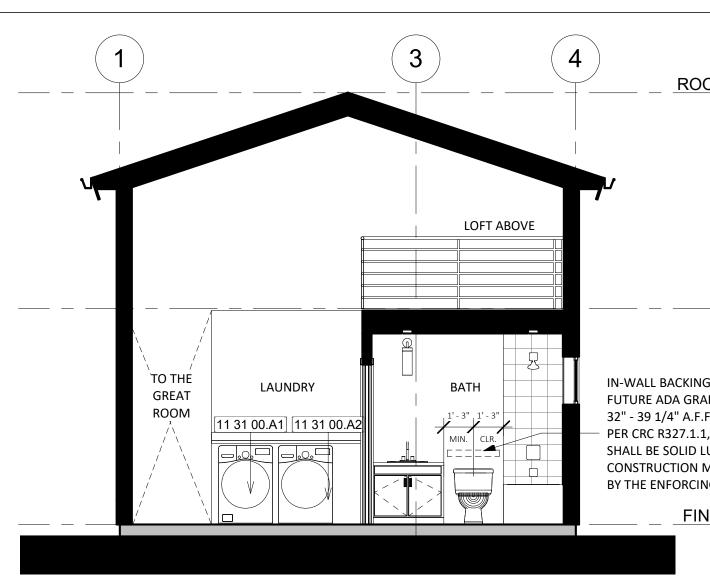
2 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"

( C )

B

4"/12" -11 11 00.A15 —11 11 00.A17  $\leftarrow$ TO EACK \_\_\_\_<u>11 11 00.A14</u>

3 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"



	KITCHEN LEGEND	
<u>ROOF (MAX)</u> 18' - 0"	TAG DESCRIPTION CABINET WIDTH	
	B1212" BASE CABINETB3030" BASE CABINET	workbench
	BS3030" BASE CABINET - SINKU1212" UPPER CABINET	WUINDEIICH
	U3030" UPPER CABINETU3636" UPPER CABINET	189 WALNUT AVENUE
<u> </u>	UM30 30" UPPER CABINET - ABOVE MICROWAVE	SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM
BACKING PROVIDED FOR	APPLIANCES 11 11 00.A4 24" DISHWASHER	BROCKETT
DA GRAB BARS /4" A.F.F. 327.1.1, REINFORCEMENT SOLID LUMBER OR OTHER	11 11 00.A1430" ELECTRIC RANGE11 11 00.A1530" MICROWAVE / HOOD VENT COMBO UNIT	/ARCHITECT
CTION MATERIALS APPROVED	11 11 00.A17 36" REFRIGERATOR 11 31 00.A2 FRONT LOAD DRYER	104 S. MAIN ST UNIT B
FIN. FLOOR 0' - 0"	11 31 00.A1 FRONT LOAD WASHER	TEMPLETON, CA 93465 BROCKITECTURE.COM
	22 40 00.A4 30" KITCHEN SINK WITH FAUCET PLUMBING	BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.
	PLOWBING	1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL
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<u>LOFT</u>		
9' - 0"		
<u>15</u> 17		
FIN. FLOOR 0' - 0"		FRAL C ESIGNE BEDROOM + DEN 946 GSF
0' - 0"		AL C DOM + DE 946 GSF
<u>LOFT</u> 9' - 0"		
		PRINT DATE XX.XX.XXXX
		MODERN - SECTIONS
FIN. FLOOR 0' - 0"		

A3.2 SCALE : AS NOTED



4 FRONT VIEW - ONE BEDRM PLUS LOFT - BEACH BUNGALOW NO SCALE

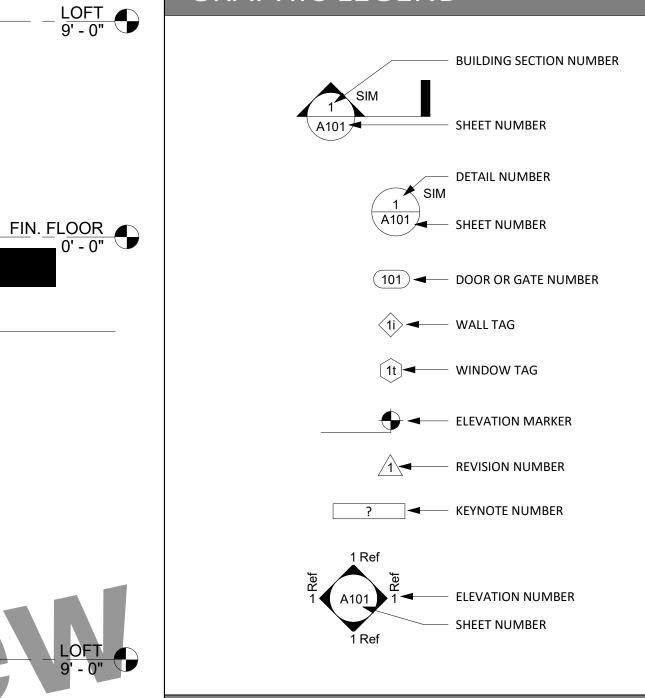
# FLOORPLAN LEGEND

## (N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

— (N) LIGHT SWITCH

# **GRAPHIC LEGEND**



# FLOOR PLAN NOTES

- 0" 🔍

6 ( A4.0 )

16 A5.2

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- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- Where thresholds are required, provide accessible 7. thresholds with maximum 1/2" elevation change. 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower. 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

# **ELEVATION NOTES**

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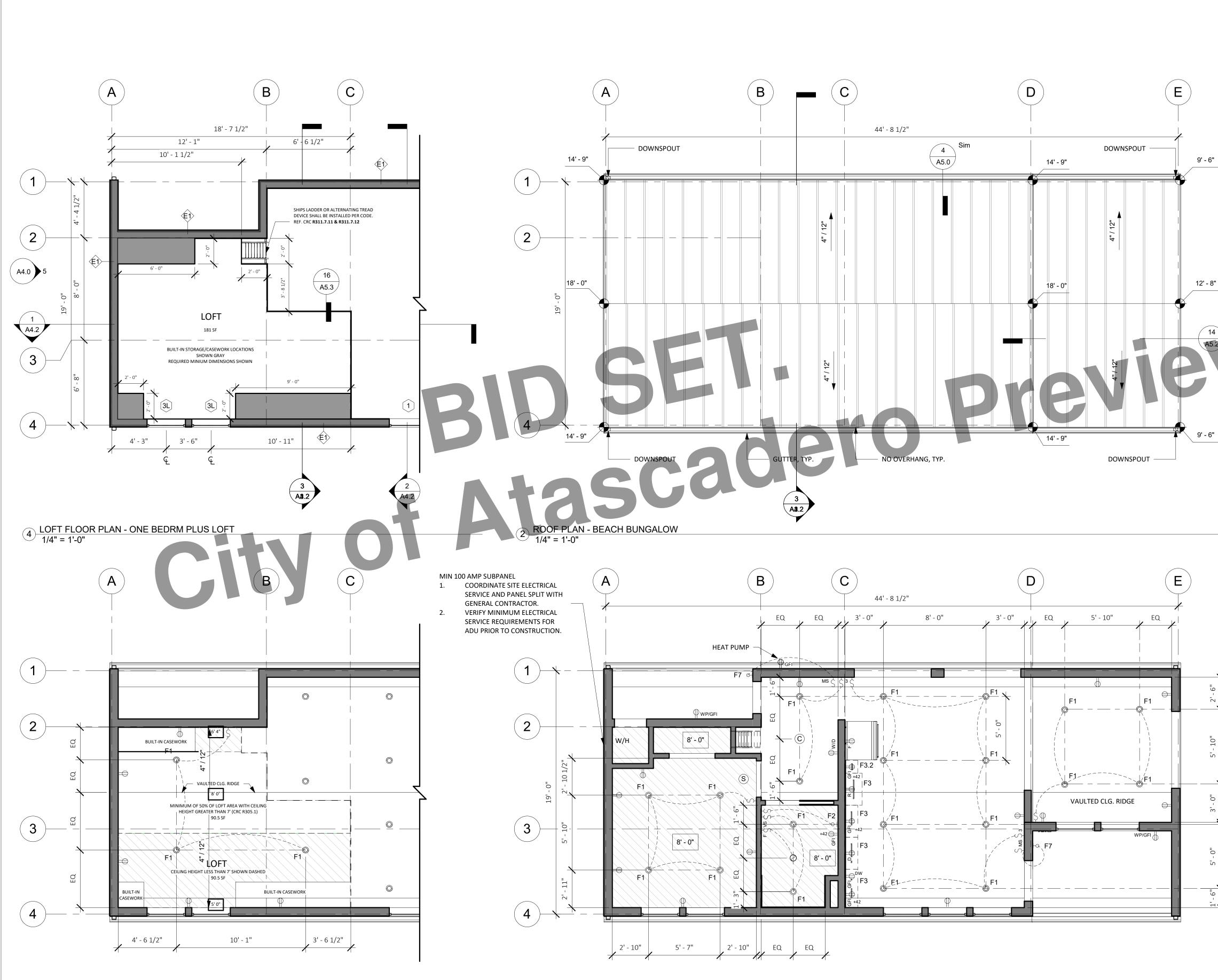
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PRINT DATE XX.XX.XXXX







1/4" = 1'-0"

# ROOF PLAN NOTES

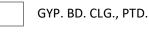
- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6. 7.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV 8. ROOF CLIPS.

# ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- $\frac{O}{C} \bigoplus$  GFCI RECEPTACLE

- O RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- $S_{MS}$  MOTION-SENSOR SWITCH
- S VACANCY SWITCH
- ↓F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🔍 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE  $\odot$ 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S
  - SPECIFICATIONS

# REFLECTED CEILING PLAN LEGEND



8'-0" FRAMED CEILING HEIGHT A.F.F.

(S)

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

# **REFLECTED CEILING PLAN NOTES**

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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**BUNGALOW - LOFT** FLOOR PLAN, ROOF PLAN, & RCP

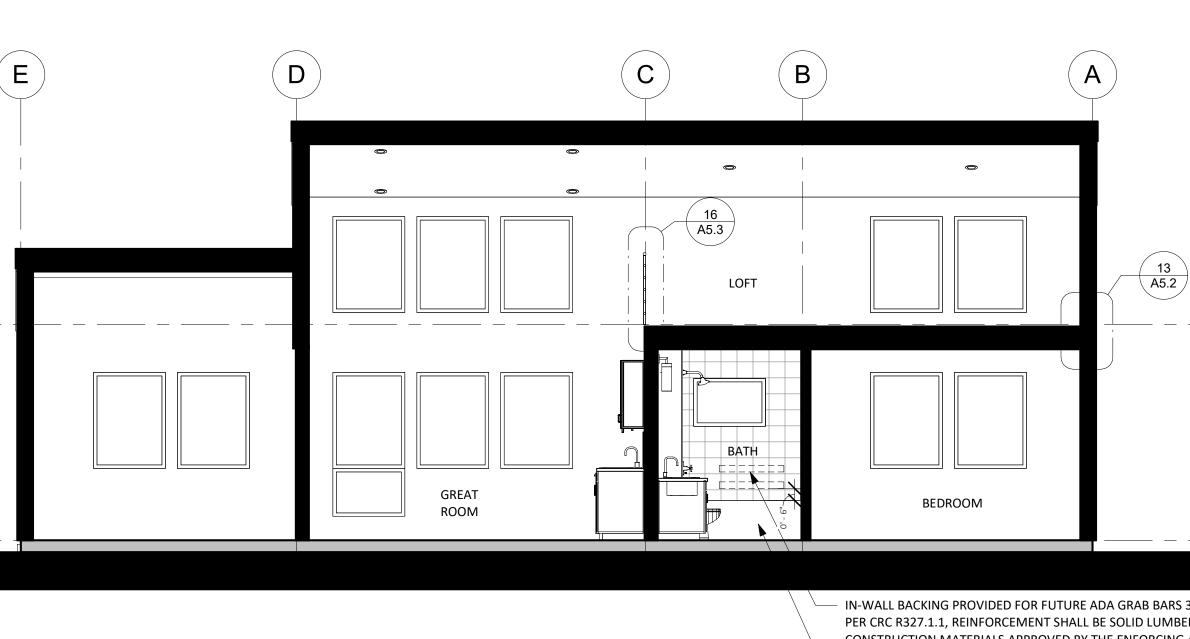
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# 4 A5.0 4"/12" BID SE. City of Atascador -11 11 00.A15 —11 11 00.A17 TO É BACK 11 11 00.A4 \_\_\_\_\_11 11 00.A14

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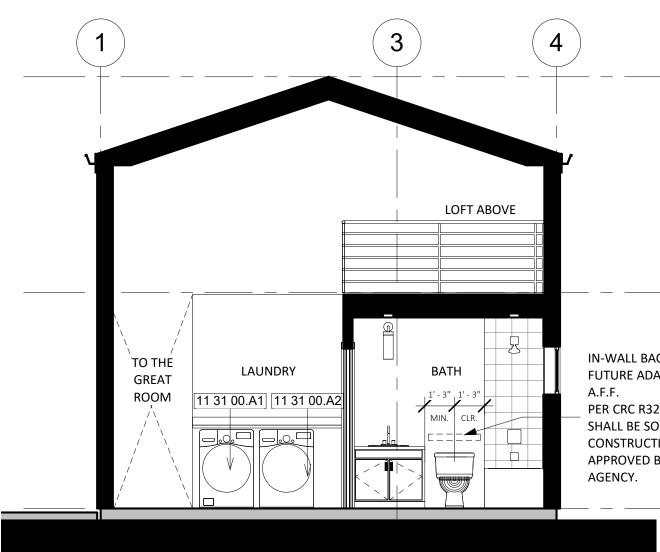
1 SECTION A - BEACH BUNGALOW 1/4" = 1'-0"

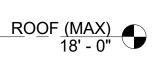
IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3



2 SECTION B - BEACH BUNGALOW 1/4" = 1'-0"

3 SECTION C - COASTAL BUNGALOW 1/4" = 1'-0"





# KITCHEN LEGEND

DESCRIPTION

12" BASE CABINET

**30" BASE CABINET** 

12" UPPER CABINET

**30" UPPER CABINET** 

36" UPPER CABINET

30" BASE CABINET - SINK

LOFT 9' - 0"

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" PER CRC R327.1.1, REINFORCEMENT

LOFT 9' - 0"

FIN. FLOOR 0' - 0"

CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING

SHALL BE SOLID LUMBER OR OTHER FIN. FLOOR 0' - 0"

TAG

B12

B30

BS30

U12

U30

U36

UM30

CABINET WIDTH

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

30" UPPER CABINET - ABOVE MICROWAVE

22 40 00.A4 PLUMBING

**30" KITCHEN SINK WITH FAUCET** 

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A4.2

**BUNGALOW** -

SECTIONS

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED



FIN. FLOOR 0' - 0"



SASM TO WRAP UP SHEATHING, UNVENTED 2X ROOF FRMG WITH MIN. R30 INSULATION. USE RIGID BOARD OR 3. EQUAL AIR-IMPERMEABLE INSULATION APPLIED TO UNDERSIDE OF ROOF SHEATING, REMAINING AREA TO BE FILLED WITH RIGID OR BATT. LAP JOINTS AND

# **DETAIL GENERAL NOTES**

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

# **WUI NOTES**

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

### EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

### VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT. NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

# **PERFORMANCE NOTES**

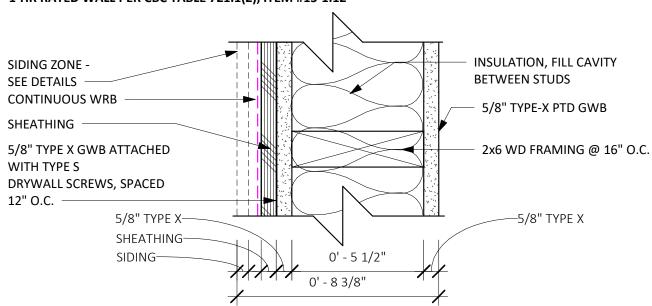
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

# FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.129





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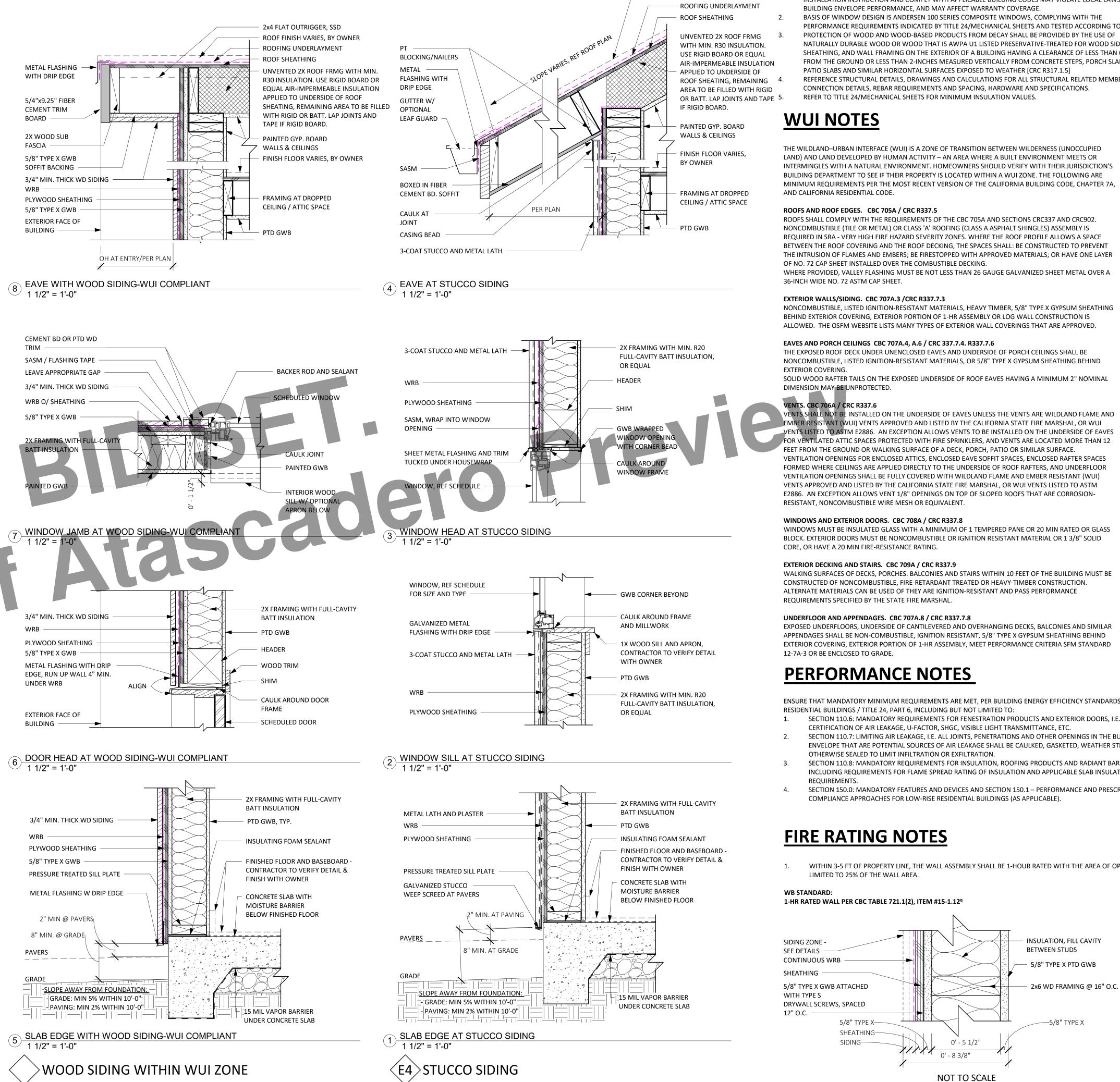
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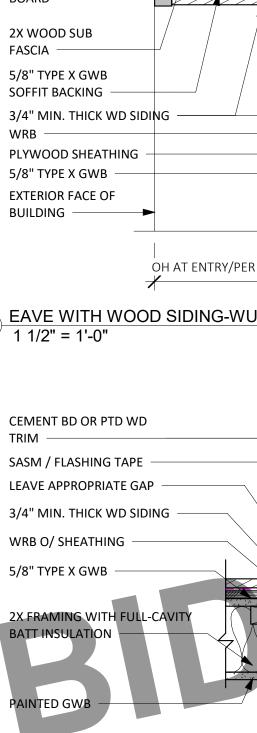
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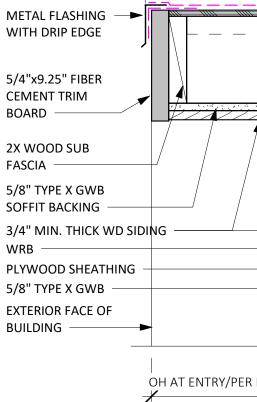
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**EXTERIOR WALL** ASSEMBLY DETAILS

A5.0







ROOF FINISH VARIES,

BY OWNER

# **DETAIL GENERAL NOTES**

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ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E.
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- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS

# **F**i workbench

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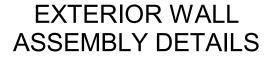
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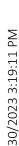
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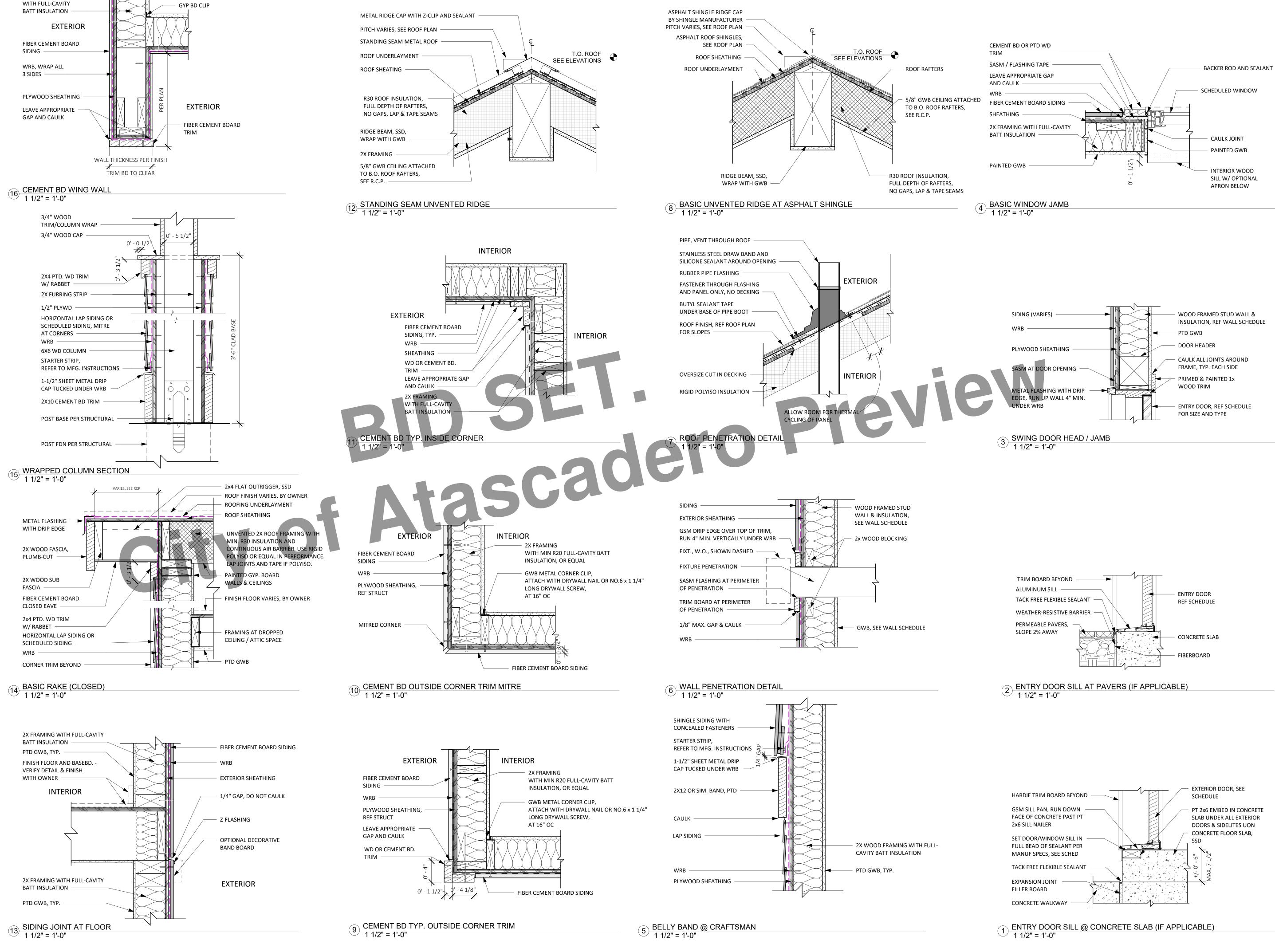
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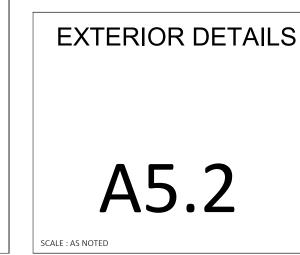
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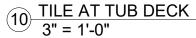


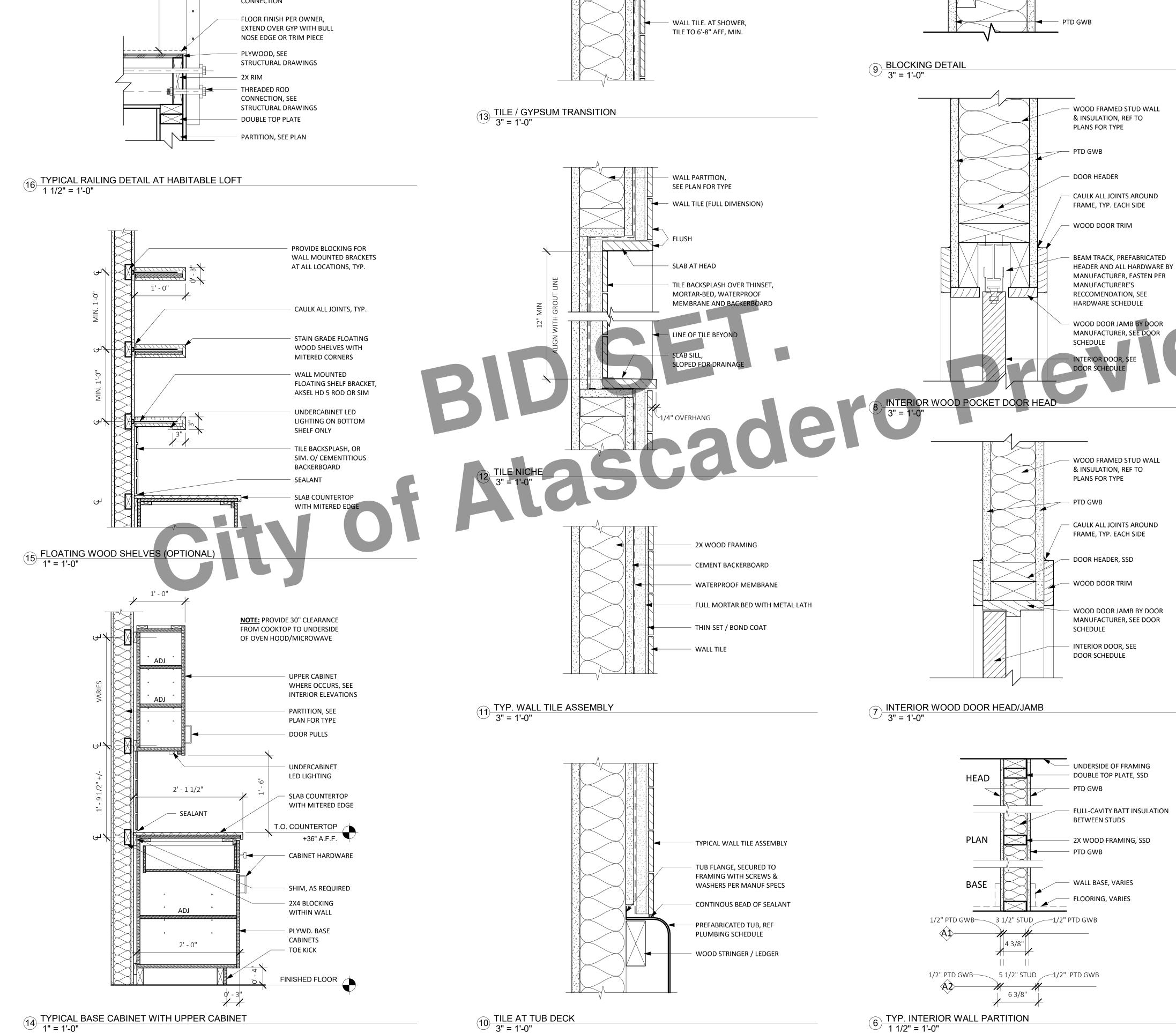
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**F**ì

workbench

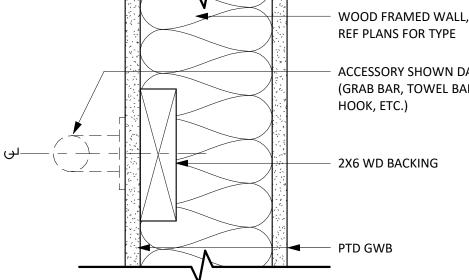




CONNECTION

RAILING SELECTED BY OWNER, VERIFY SELECTED RAILING IS COMPATIBLE WITH DETAILED STRUCTURAL

WALL PARTITION, SEE PLAN FOR TYPE PAINTED SHEETROCK CAULK BACK EDGE AS NECESSARY SCHLUTER STRIP AT EDGE OF TILE

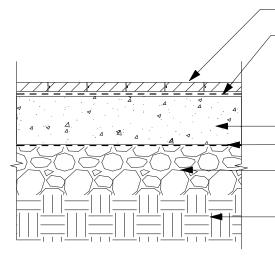


ACCESSORY SHOWN DASHED (GRAB BAR, TOWEL BAR, ROBE

HOOK, ETC.)

6 TYP. INTERIOR WALL PARTITION 1 1/2" = 1'-0"

# 1 BASIC WOOD FLOOR AT SLAB 1 1/2" = 1'-0"

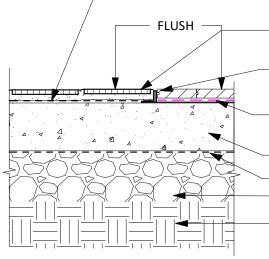


COMPACTED FILL

CONC. SLAB 15 MIL. VAPOR BARRIER GRAVEL, SEE GEOTECH REPORT

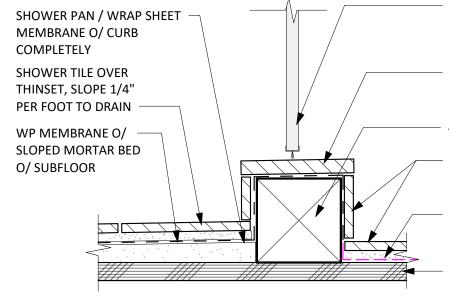
SPECIFIED FLOORING FLOORING UNDERLAYMENT WITH VAPOR BARRIER

2 BASIC TILE TO WOOD FLOOR AT SLAB 1 1/2" = 1'-0"



SCHLUTER SCHIENE EDGE TRANSITION STRIP SPECIFIED FLOORING O/ UNDERLAYMENT/VAPOR BARRIER CONC. SLAB 15 MIL. VAPOR BARRIER - GRAVEL, SEE GEOTECH REPORT COMPACTED FILL

3 <u>TYP. SHOWER CURB</u> 3" = 1'-0"



FLOOR TILE / RISER TILE OVER MORTAR BED OR BACKER BOARD ROLL ON WATERPROOFING/CRACK ISOLATION MEMBRANE PLYWD SUBFLOOR

4x4 FRAMING

ROLL ON WATERPROOFING/CRACK

ISOLATION MEMBRANE

FLOOR TILE OVER THIN SET,

MORTAR BED OR BACKER BOARD

SLAB CURB, SLOPED INTO SHOWER

T SHOWER DOOR WITH BOTTOM SWEEP

- DEPRESSED CONCRETE

SLAB FOR SHOWER, SSD

- T SHOWER DOOR

WITH BOTTOM

HIGH POINT

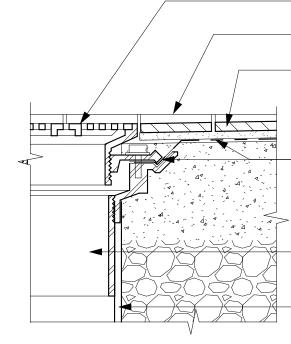
SWEEP

(4) CURBLESS SHOWER DOOR AT SLAB (OPTIONAL) 3" = 1'-0"

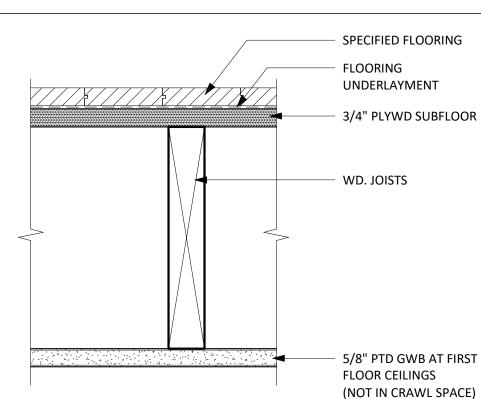


SHOWER TILE INSTALLED ON THINSET OVER DEPRESSED CONCRETE SLAB, SLOPED 1/4" PER FOOT TO DRAIN

42 SHOWER DRAIN AT CONCRETE  $3" = 1'_{-}0"$ 3" = 1'-0"



5 TYP. STORAGE LOFT FLOOR ASSEMBLY 3" = 1'-0"3" = 1'-0"



SHOWER DRAIN WITH WEEP HOLES DRAINAGE PIPE

WATERPROOF MEMBRANE TUCKED INTO FLANGE

SHOWER TILE INSTALLED ON THINSET OVER DEPRESSED CONCRETE SLAB, SLOPED 1/4" PER FOOT TO DRAIN

LINE OF FINISH FLOOR BEYOND

SHOWER GRATE TRAY

BROCKETT /ARCHITECT

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PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

**INTERIOR DETAILS &** 

WALL PARTITIONS

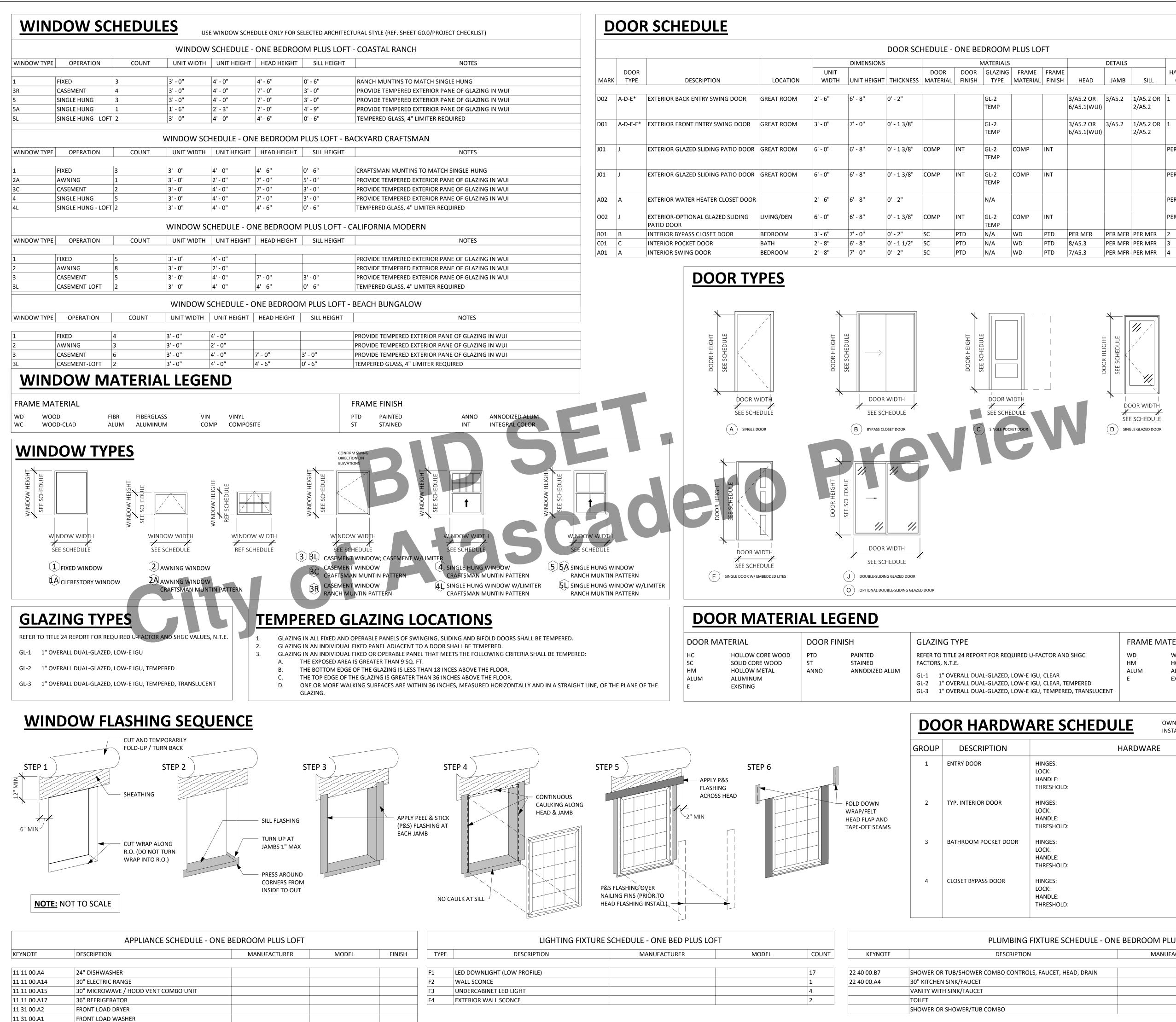
A5.3

AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER. ш S C כ 927 r  $\cap$ В Ш NO ш ()R Δ

BE RESPONSIBLE FOR TRANSLATION ERRORS. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

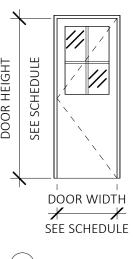
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LIGHTING FIXTURE SCHEDULE - ONE BED PLUS LOFT				PLUMBING FIXTURE SCHEDULE - ONE BEDROOM PLUS LOFT					
DESCRIPTION	MANUFACTURER	MODEL	COUNT	KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	
T (LOW PROFILE)			17	22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN				
			1	22 40 00.A4	30" KITCHEN SINK/FAUCET				
LED LIGHT			4		VANITY WITH SINK/FAUCET				
			2		TOILET				
SCONCE			-						

LO	FT					
			DETAILS			
ME	FRAME				HARDWARE	
RIAL	FINISH	HEAD	JAMB	SILL	GROUP	NOTES
	1	1	1	1	1	1
		3/A5.2 OR	3/A5.2	1/A5.2 OR	1	*DOOR TYPE DETERMINED BY HOMEOWNER
		6/A5.1(WUI)		2/A5.2		BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
		3/A5.2 OR	3/A5.2	1/A5.2 OR	1	*DOOR TYPE DETERMINED BY HOMEOWNER
		6/A5.1(WUI)		2/A5.2		BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET
						GO.O. REF. EXT. ELEVATIONS.
	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER
						BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER
						BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
					PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR
						VENTILATION
	INT				PER MFR	OPTIONAL DOOR. REF "PROJECT CHECKLIST"
						SHEET GO.0
	PTD	PER MFR	PER MFR	PER MFR	2	
	PTD	8/A5.3	PER MFR	PER MFR	3	
	PTD	7/A5.3	PER MFR	PER MFR	4	



(E) SINGLE HALF-LITE DOOR

### FRAME MATERIAL WOOD HOLLOW METAL ALUMINUM EXISTING

### FRAME FINISH PTD ST ANNO

PAINTED STAINED ANNODIZED ALUM

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

HINGES: LOCK: HANDLE: THRESHOLD:
HINGES: LOCK: HANDLE: THRESHOLD:
HINGES: LOCK: HANDLE: THRESHOLD:
HINGES: LOCK: HANDLE: THRESHOLD:



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S Ο ZШ 7 Пμ С С BEDROOM 946 G J 5 M ONE Ζ Δ

PRINT DATE XX.XX.XXXX

SCHEDULES - ONE **BEDROOM PLUS** LOFT

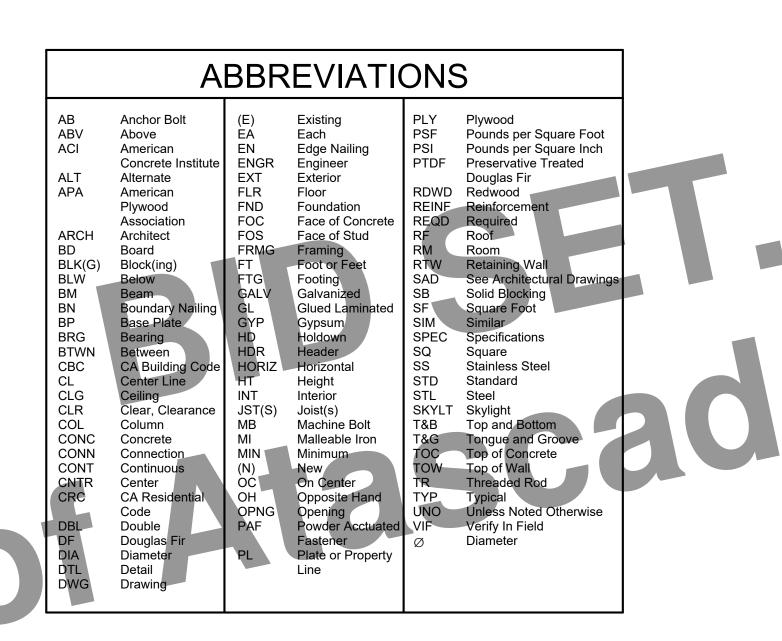


# PLYWOOD SHEAR WALL SCHEDULE

MARK	MATERIAL	NAILING OF PANEL EDGES,	FIELD NAILING	TOP PLATE MINIMUM FND PLATE		BOTTOM PLATE	ANCHOR BOLTS		ALLOWABLE SHEAR (plf)
		COLLECTORS AND TIES (EN)	(FN)	CONNECTION	THICKNESS	CONNECTION	SIZE	SPACING (O.C.)	ALLOV SHEAF
	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
$\boxed{3}$	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED. 2. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL
- EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS. 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL. 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING. 7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH
- SHEATHING 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE. 9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES





# **STRUCTURAL NOTES AND SPECIFICATIONS**

- A. DESIGN CRITERIA
- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- 2. FLOOR LIVE LOAD = 40 PSF 3. ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA:
- V<sub>ULT</sub> = 91 MPH (V<sub>ASD</sub> = 71 MPH), EXPOSURE D 5. SEISMIC DESIGN DATA: SITE CLASS = D (DEFAULT)
- S<sub>S</sub>=1.096, S<sub>1</sub>=0.403 SEISMIC DESIGN CATEGORY = D
- SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING. BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- 7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

### C. EARTHWORK

OOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.

- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS .

### **D. CONCRETE**

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

### E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

### F. WOOD FRAMING

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

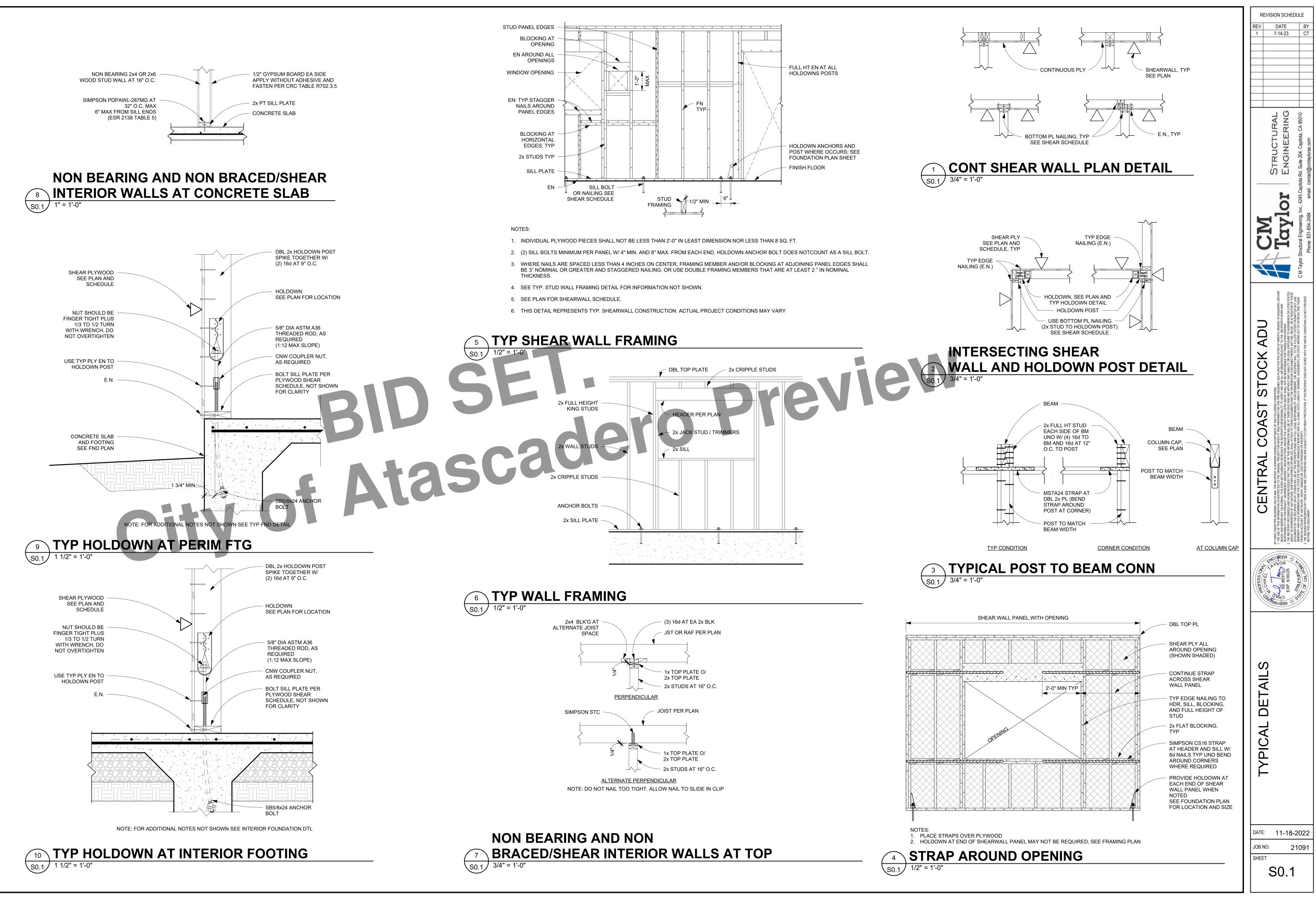
### F. WOOD FRAMING (CONTINUED)

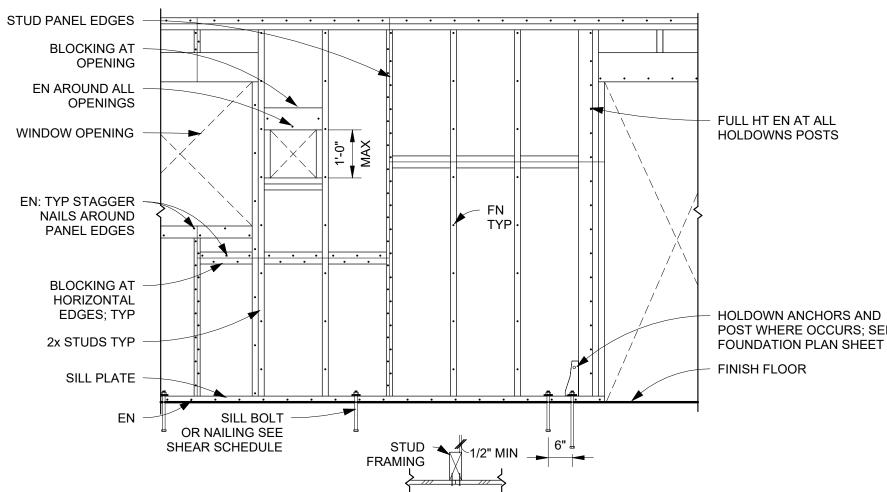
- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH. A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- 5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

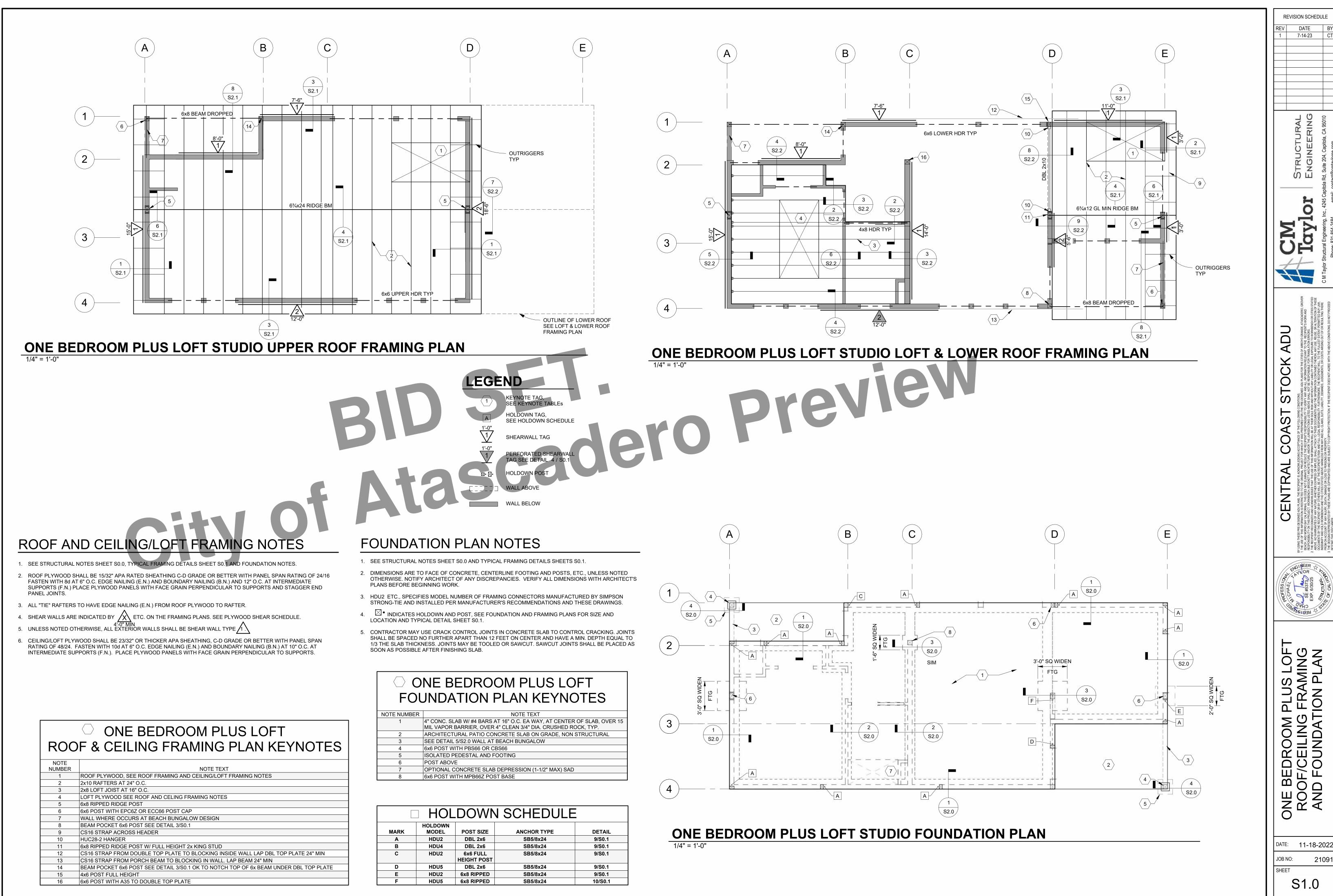
SILLS	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS	UP TO 4x - DF NO. 2
	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTEF
POSTS AND DOUBLE TOP PLATES	DF NO. 1
GLULAM BEAMS	DF 24F-V4

- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 4. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

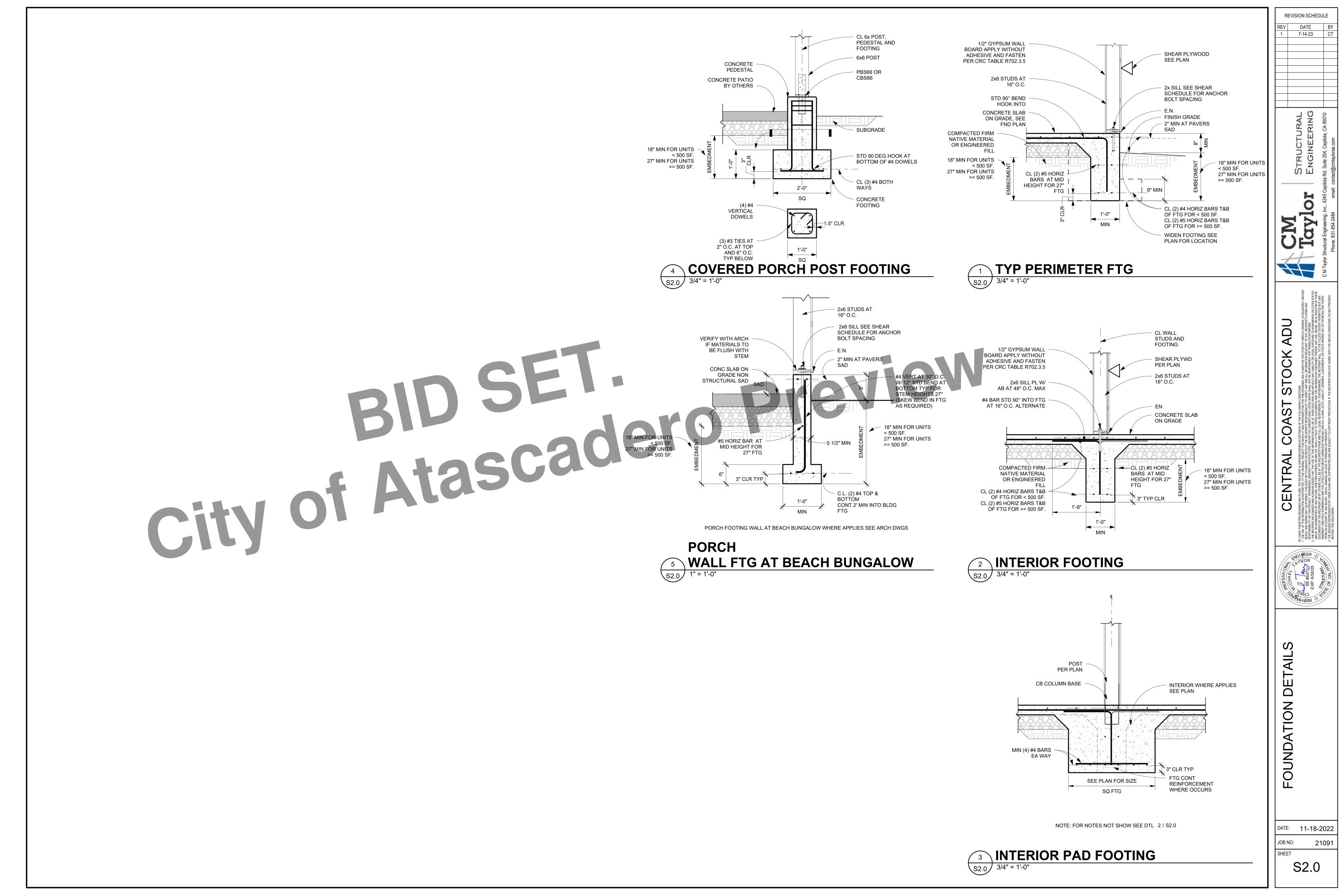
REVIS	SION SCHEI DATE 7-14-23	DULE BY CT
CM	Taylor Engineering	C M Taylor Structural Engineering, Inc., 4245 Capitola Rd, Suite 204, Capitola, CA 95010 Phone: 831-854-2484 email: contact@cmtaylorse.com
CENTRAL COAST STOCK ADU	BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, AT ASCADERO, GROVER BEACH, AND MORPO BY CALIFORMUA, THIS DOES NOT ELUMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIEY AND ALLI INFORMATION RELEVANT. TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKENCH, IRROVENT TARCHITECTURE, ANDOR THE JURDSICTIONS USTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION BRROWD RESPONSIBILITY ON THIS PROJECT. WORKENCH, IRROVENT TRANSLECTURE, ANDOR THE JURDSICTIONS USTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION BRROKS. THE RECIPIENT RECONJECTS AND ADORNOWLEDES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHONT ANY LUBLILTY OR LEGAL EXPOSIBLE TO REPOSIBLE FOR TRANSLATION BRROKS. ABOVE. NO WARRANTING AND ADORNOWLEDES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE REVIEW AND WITHONT OR LEGAL EXPOSIBLE TO REPOSIBLE FOR TRANSLATION BRROKS. ABOVE. NO WARRANTINGS OR MPLIED, SHALL ATTACH TO THESE DOCUMENTS AND WITHONT ON AND LUBLICT OR AND VISION FOR AND AND AND VISION FOR AND VISION FOR AND AND VISION FOR AND	DOCUMENTS BY THE RECIPIENT OR BY OTHERS WITHE RECIPIENTS RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE. THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW. INDEMINY AND HOLD WORGBENCH AND THE CITES STATED ABOVE HARMLESS FROM ANY AND ALL CLAMIS, JUDGEMENTS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON A COCOUNT OF ANY INJURY. DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.
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STRUCTURAL NOTES		
DATE: JOB NO: SHEET	<sup>11-18-</sup> 2 <b>SO.C</b>	1091



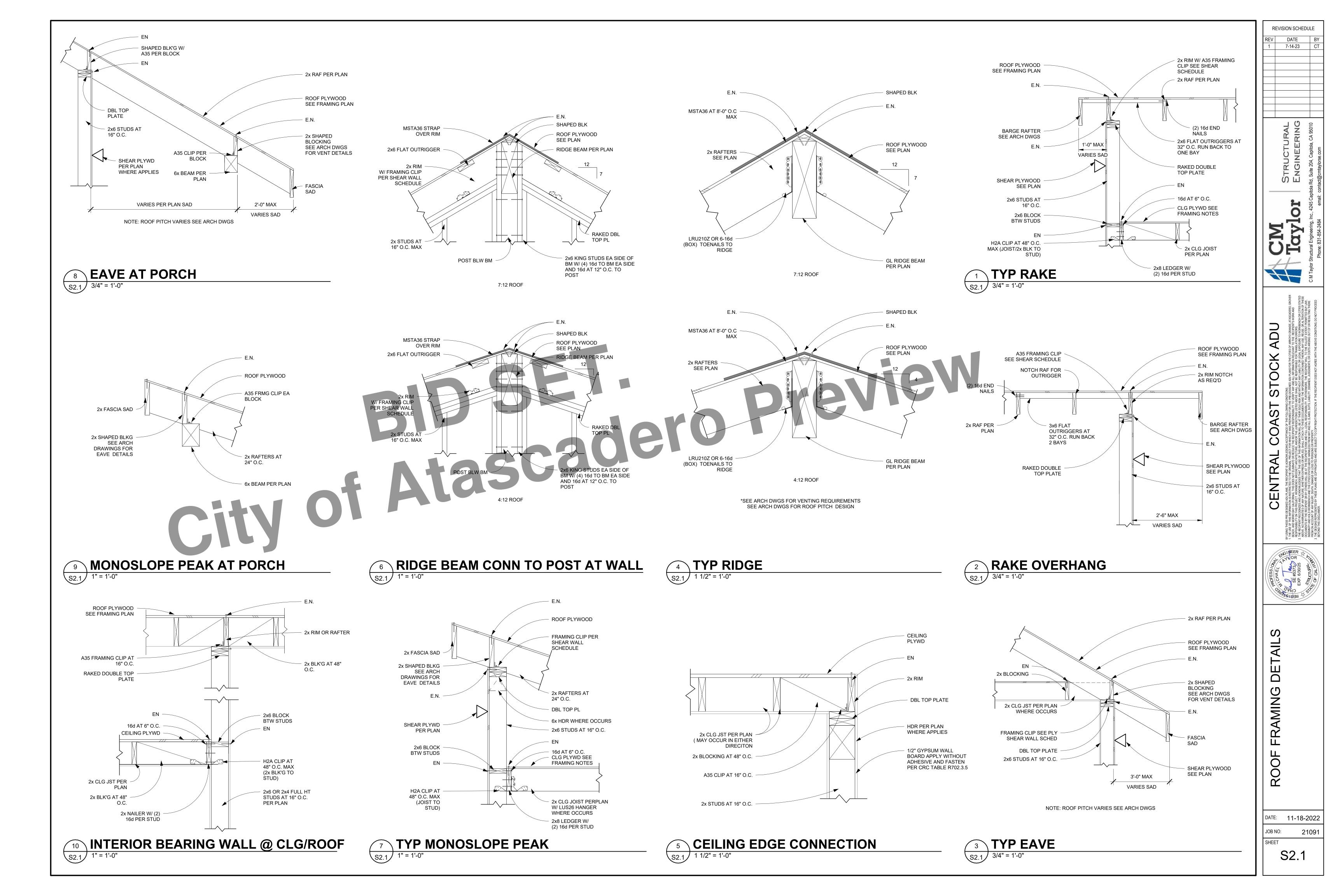


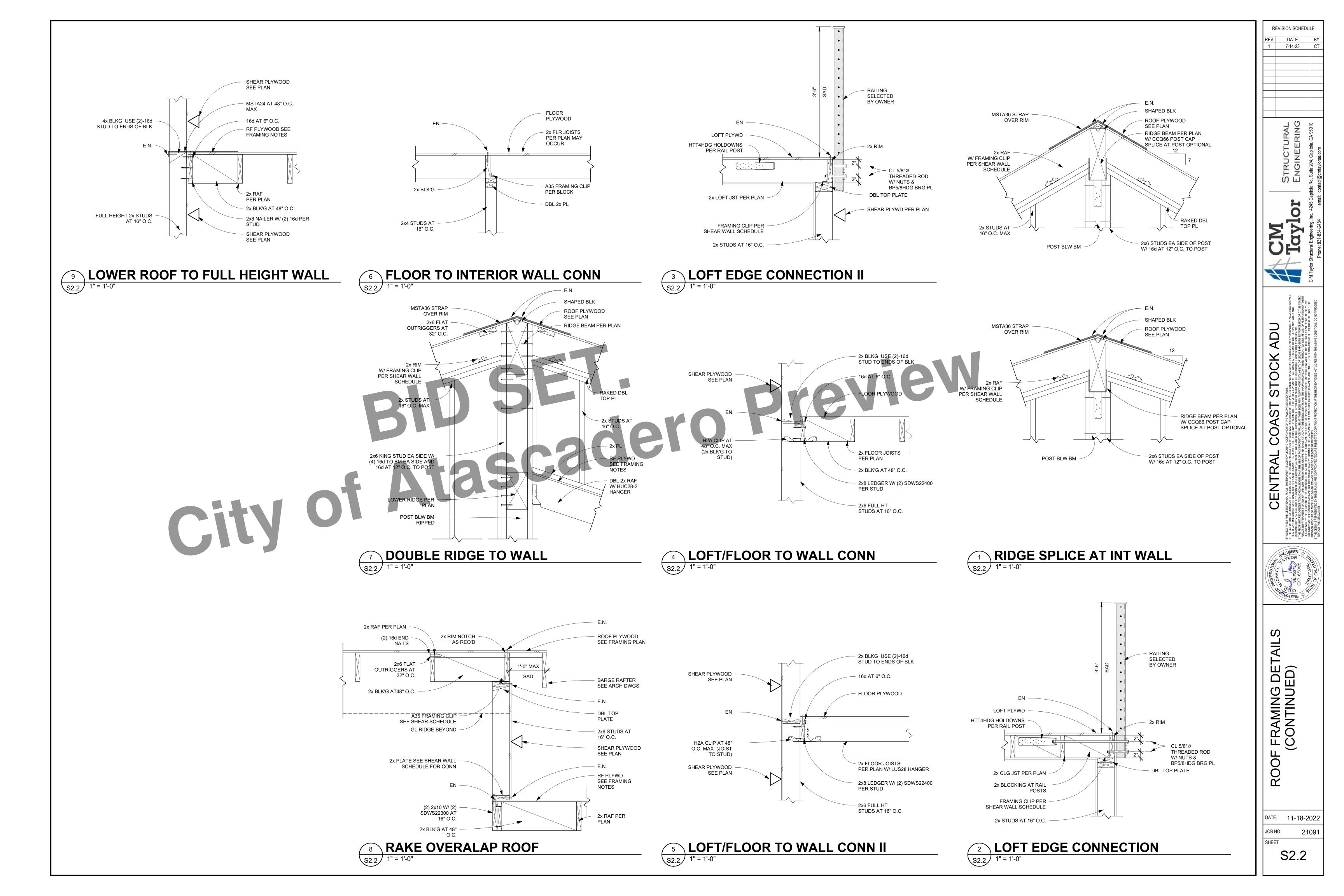


DOWN			
DEL	POST SIZE	ANCHOR TYPE	DETAIL
DU2	DBL 2x6	SB5/8x24	9/S0.1
)U4	DBL 2x6	SB5/8x24	9/S0.1
0U2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
0U5	DBL 2x6	SB5/8x24	9/S0.1
0U2	6x8 RIPPED	SB5/8x24	9/S0.1
0U5	6x8 RIPPED	SB5/8x24	10/S0.1









BT	BYPASS TIMER	EC ELECTRICAL CONTRACTOR EDB ENTERING DRY BULB	I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANI
Ę	CENTER LINE	EDD EXTENT OF DEMOLITION	CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION COE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY
CD	CONDENSATE DRAIN	ETR EXISTING TO REMAIN	CONSERVATION STANDARDS OF TITLE 24.
Ø	DIAMETER	EWB ENTERING WET BULB	2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTU
	EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWT ENTERING WATER TEMPERATURE °F DEGREES FAHRENHEIT	REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
	EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	FC FLEXIBLE CONNECTION FD FIRE DAMPER	3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPO ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
	EXTENT OF DEMOLITION	FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER FT.HD. FEET HEAD	4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FO
	EXHAUST DUCT UP, DOWN, PENE ≰ DEMO	FTR FLUE THRU ROOF	THE FURNISHED EQUIPMENT.
• <u>•</u>	FIRE/SMOKE DAMPER	GC GENERAL CONTRACTOR GPM GALLONS PER MINUTE	<ol> <li>ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURE RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVIC</li> </ol>
	FIRE DAMPER	HP HORSE POWER	REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
$\bullet$	POINT OF CONNECTION	KW KILOWATTS LBS POUNDS	6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
———	P/T PLUG	LWT LEAVING WATER TEMPERATURE	
	RETURN OR EXHAUST AIR	MBH I ,000 BTU/HR MC MECHANICAL CONTRACTOR	7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PRO I "ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR
	RETURN DUCT	(N) NEW	INTERIOR.
	UP, DOWN, PENE & DEMO	NIC NOT IN CONTRACT	8. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLE
\$	SPEED CONTROL SWITCH	NTS NOT TO SCALE	AND REGISTERS.
X	SPIN-IN EXTRACTOR/DAMPER	OBD OPPOSED BLADE DAMPER OSA OUTSIDE AIR	9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
	SUPPLY DUCT UP, DOWN, PENE & DEMO	PC PLUMBING CONTRACTOR	
	SUPPLY OR OUTSIDE AIR	PENE PENETRATION PD PRESSURE DROP	I O. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
	THERMOSTAT at $+$ 48"	PH PHASE	RESTRAINTS OF MECHANICAL STOTEMS AND FEDMIDING FITTING STOTEMS.
$\bigcup_{\mathbf{v}}$		POC POINT OF CONNECTION	I I. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
x x x		P/N PART NUMBER	I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS
	TRANSFER AIR	PRV PRESSURE REDUCING VALVE PSI POUNDS PER SQUARE INCH	THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
-((	TURNING VANES	P/T PRESSURE / TEMPERATURE	I 3. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS
	VOLUME DAMPER	RA RETURN AIR	PRESCRIBED IN CBC SECTION 714.
		RAD RETURN AIR DUCT	14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS, ALL
		(RL) RELOCATE RPM REVOLUTIONS PER MINUTE	DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T
. –		SA SUPPLY AIR	DRILLING.
AD AFF	ACCESS DOOR	SAD SUPPLY AIR DUCT	
AFF AL	ABOVE FINISH FLOOR ACOUSTICALLY LINED	SD SUPPLY DIFFUSER	15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
AP	ACCESS PANEL	SP STATIC PRESSURE	TADRICATION OF ANTINEW WORK.
BD	BALANCING DAMPER	SS STAINLESS STEEL	I.G. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307.
BDD	BACKDRAFT DAMPER	STD STANDARD	FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDIT
BHP	BRAKE HORSE POWER	TV TURNING VANES	OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
BJ	BETWEEN JOIST	TYP TYPICAL	WERTHER OTH REDE ONE WRITED.
BTU	BRITISH THERMAL UNIT	UCD UNDERCUT DOOR	I 7. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESS
С.	CONDUIT	UON UNLESS OTHERWISE NOTED	DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS
CA	COMBUSTION AIR	V VOLT VD VOLUME DAMPER	WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAI
CD	CONDENSATE DRAIN	VD VOLUME DAMPER VIF VERIFY IN FIELD	AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM
CFM	CUBIC FEET PER MINUTE	W/ WITH	BEFORE PROCEEDING WITH THE WORK.
DEMO	DEMOLITION	WC WATER COLUMN	18. ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM TH
DL	DOOR LOUVER	WT WEIGHT	FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVEABLE EQUIPMENT WEIGHING LESS
(E) EAD	EXISTING	W/O WITH OUT	THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOM
LAU	EXHAUST AIR DUCT		WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (CCR TITLE 24, PART 2, SECTION 7.125

RIBED PER ASCE RCES PRES ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED. DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.

20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).

21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.

22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.

23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC. 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115,

AND 120-129 CEC.

# ENERAL MECHANICAL NOTES

ATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL INIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, R APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY

ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL LING PLAN AND ROOM ELEVATIONS.

ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

URBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND L PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR

ALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR

GH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF TIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

### HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T CATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND D EQUIPMENT PRIOR TO ALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DING AND PAINTING SHALL BE IN ACCORDA WITH THE LATEST EDITION

FICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY ORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF HOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS NISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DET THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEA

RY OR MOVER SUSPENDED FROM THE ROOF, OLATOR DEVICES (CCR TITLE 24, PART 2, SECTION 7.125 PORTED AND ANCHORED TO RESIST THE ER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF

# SYMBOLS & ABBREVIATIONS (PLUMBING)

BALANCING COCK ABOVE FINISH FLOOR ACCESS PANEL BALL VALVE BALL VALVE CAP COMPRESSED AIR PIPING CHECK VALVE CATCH BASIN CONDENSATE CLEANOUT CUBIC FEET PER HOUR CFH DOMESTIC COLD \_\_\_\_\_ CAST IRON WATER (EXISTING) CHROME PLATED DOMESTIC COLD \_\_\_\_\_ DCW DOMESTIC COLD WATER WATER (NEW) DHW DOMESTIC HOT WATER ------ DOMESTIC HOT WATER DHWR DOMESTIC HOT WATER RETURN (EXISTING) DCV DETECTOR CHECK VALVE \_...\_ DOMESTIC HOT WATER (NEW) DOWN DOMESTIC HOT WATER RETURN \_\_\_\_\_ DOWN SPOUT (EXISTING) DRY STAND PIPE \_\_\_\_\_ DOMESTIC HOT WATER RETURN EXISTING (NEW) ELECTRICAL CONTRACTOR DIRECTION OF FLOW ELEVATION FIRE SPRINKLER PIPING **DSP** DRY STANDPIPE FLEX CONNECTOR FIRE SPRINKLER PIPING FLOOR CLEANOUT FCO FLANGED UNION FLOOR DRAIN FLOOR DRAIN FIRE LINE FORCE MAIN FLOOR SINK FLOOR SINK FSC FIRE SPRINKLER CONTRACTOR GENERAL CONTRACTOR GAS PIPING (EXISTING) GCO GROUND CLEANOUT GAS PIPING (NEW) GPM GALLONS PER MINUTE GAS COCK \_\_\_\_\_ \_\_\_\_\_ HOSE BIBB HB HWS HOT WATER SUPPLY GATE VALVE INVERT ELEVATION GLOBE VALVE LAV LAVATORY HOSE BIBB (3/4" MIN.) \_\_\_\_\_C\_\_+ MECHANICAL CONTRACTOR NPW NON POTABLE WATER PETES PLUG \_\_\_\_\_ NEW PIPE (ABOVE THE CEILING) OFD OVERFLOW DRAIN PIPE HANGER PLUMBING CONTRACTOR POST INDICATION VALVE  $\bigcirc$ PIPE TURNING UP (RISE) POINT OF CONNECTIO PIPE TURNING DOWN (DROP) <u>(</u>\_\_\_\_\_  $\overline{\bigcirc}$ PIPE TEE DOWN PRESSURE REDUCING VALVE °RV RELIEF VA BACKFLOW PREVENTOR REDUCED PRESSURE R LEADER (EXISTING) RAIN WATER LEADER W/I STORM DRAIN ER LEADER RAIN WAT SOV SHUTOFF VALVE REDUCER SANITARY SEWER ROOF DRAIN TRAP PRIMER VENT VALVE BOX VERIFY IN FIELD STRAINER VTR VENT THRU ROOF WASTE ---- SUB-SOIL PIPING WATER CLOSET UNION WALL CLEANOUT WCO ----- VENT PIPING (EXISTING) WATER HEATER W/H WATER HAMMER ARRESTOR WHA ---- VENT PIPING (NEW) WM WATER METER --- --- WASTE PIPING (EXISTING) --- (N) WASTE PIPING (NEW) UNDERGROUND (NEW) WSP WSP WET STANDPIPE (NEW) WATERHAMMER ARRESTOR (WHA) TRAP PRIMER (TP)

# GENERAL PLUMBING NOTES

I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.

2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.

4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.

6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."

7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS. 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.

10. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

I. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.

12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.

13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.

14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.

15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT ING, PINCHING OR TWISTING OF THE WRIST.

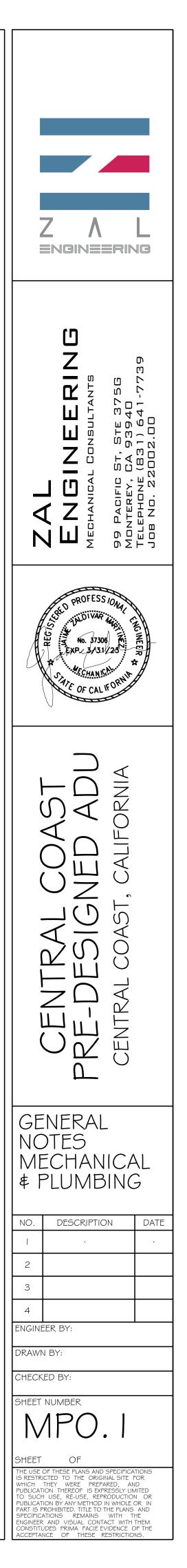
DE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.



OUTDOOR	UNIT											
CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LBS)	LEVELING		SERVED	
OU-I	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	
1				1	1				1			

### INDOOR UNIT SCHEDULE

CODE	MFR	MODEL	SUPPLY FAN ELECTRICAL					COOLII	NG COIL		Н	EATING CC	DIL				COMMENTS			
			CFM	ESP (IN)	BHP	V/PH	MCA	MOCP	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-1	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	-5/8	22	MULTIPLE	1
NOTES:	I. PROVIDE CON	NDENSATE PUMP. RL	JN CD & D	ISCHARGE II	N APPROV	ED LOCATIO	DN.													<b>i</b>

### FXHAUST FAN SCHEDULF

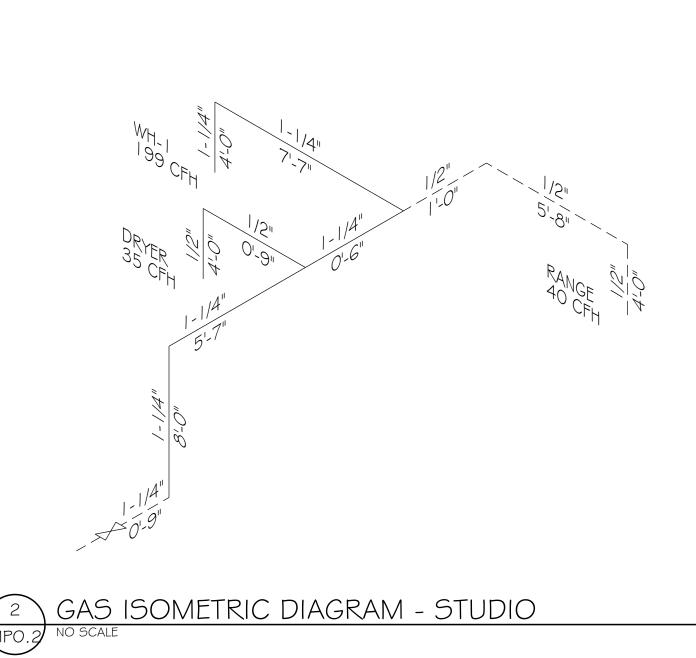
LATINOUT													
CODE	MFR	MODEL	CFM	ESP (ın)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							HP		ISOLATORS	(LBS)			
EF-1	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	5/	7	9.5	BATHROOMS	0.8	1
NOTES:	I. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.												

### PLUMBING FIXTURE SCHEDULE

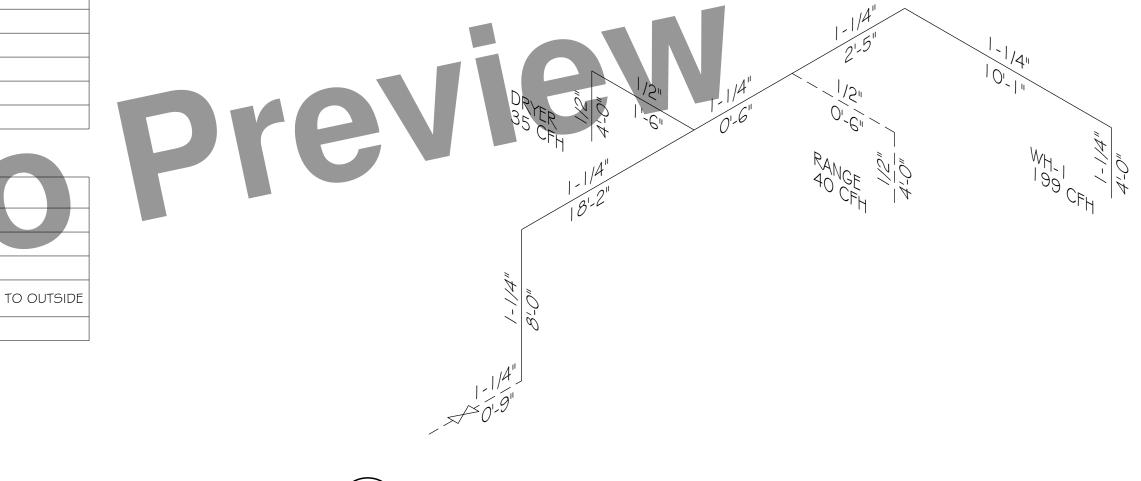
Lennen							
CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE			MIN. ROUG
			FLOOR	COUNTER TOP	WALL	W	V
L- I	LAVATORY	-	_	-	•	2	/2
BT-I	BATHTUB	-	•	-	-	2	/2
WC-I	WATER CLOSET	-	_	•	-	3	2
SK-I	KITCHEN SINK	-	_	•	-	2	/2
CWB-1	WASHER	_	_	_	•	2	/2
HB-1	HOSE BIB	_	_	_	•		-

### WATER HEATER SCHEDULE

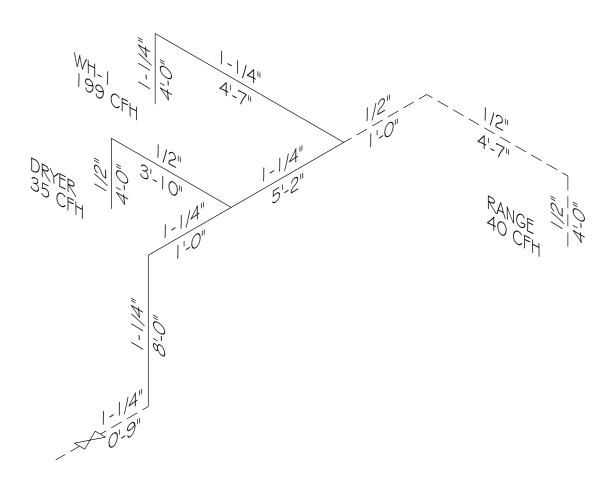
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.	
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	I	64	26.4	RU199e	RINNAI
EWH-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE4OT I OHS45 UO	RHEEM
		C											







MPO.2

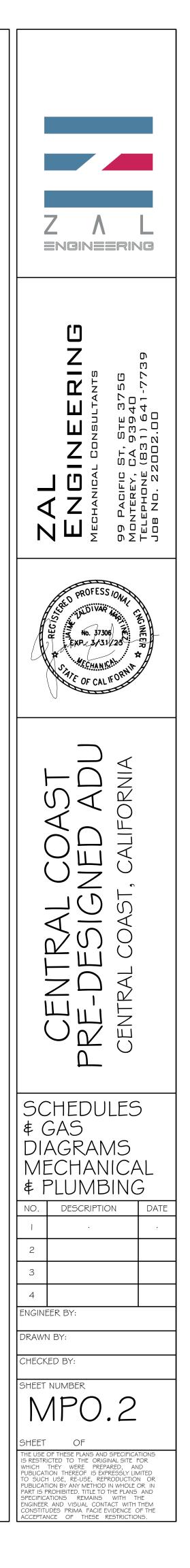


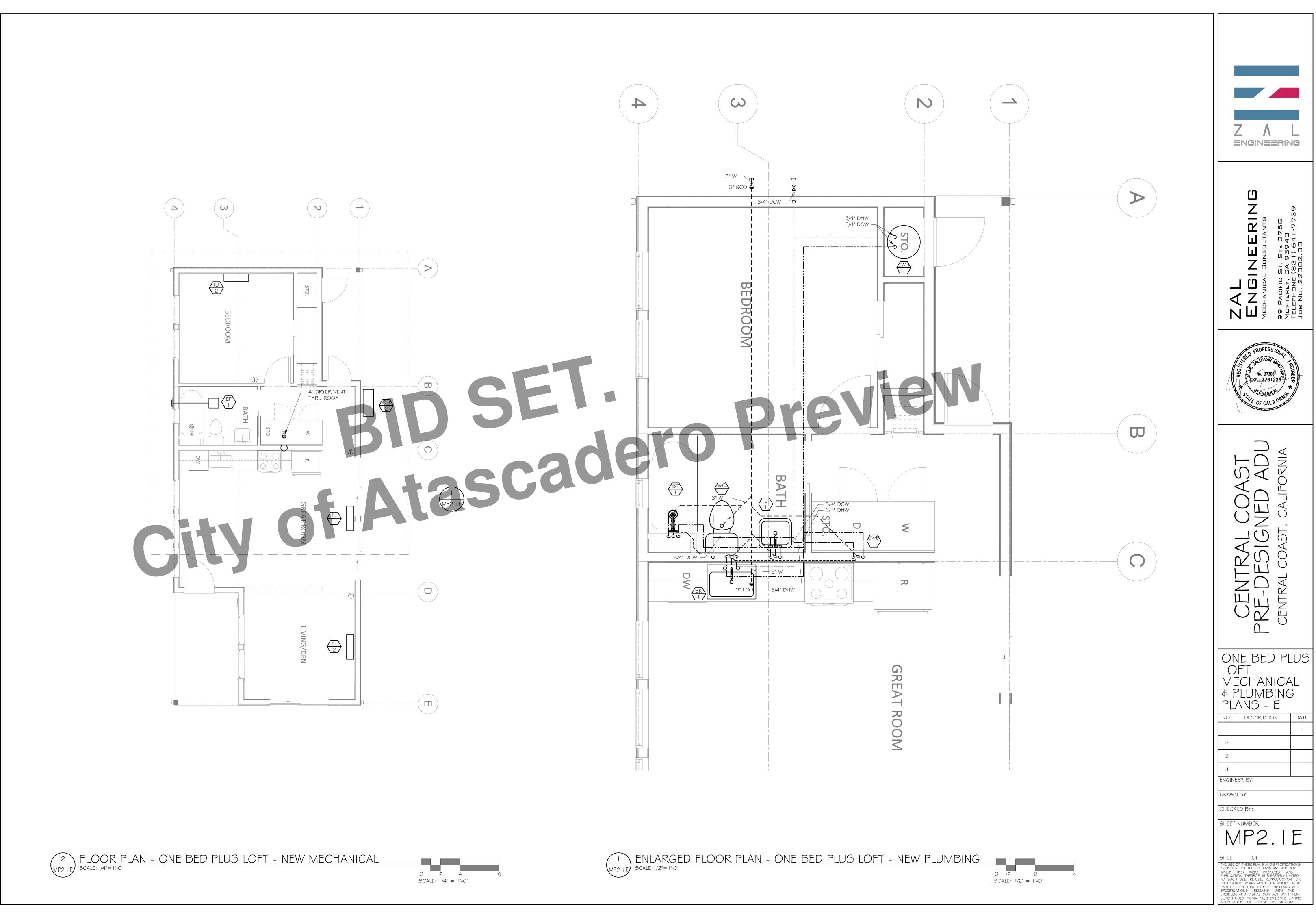
GAS ISOMETRIC DIAGRAM - EFFICIENCY APO.2

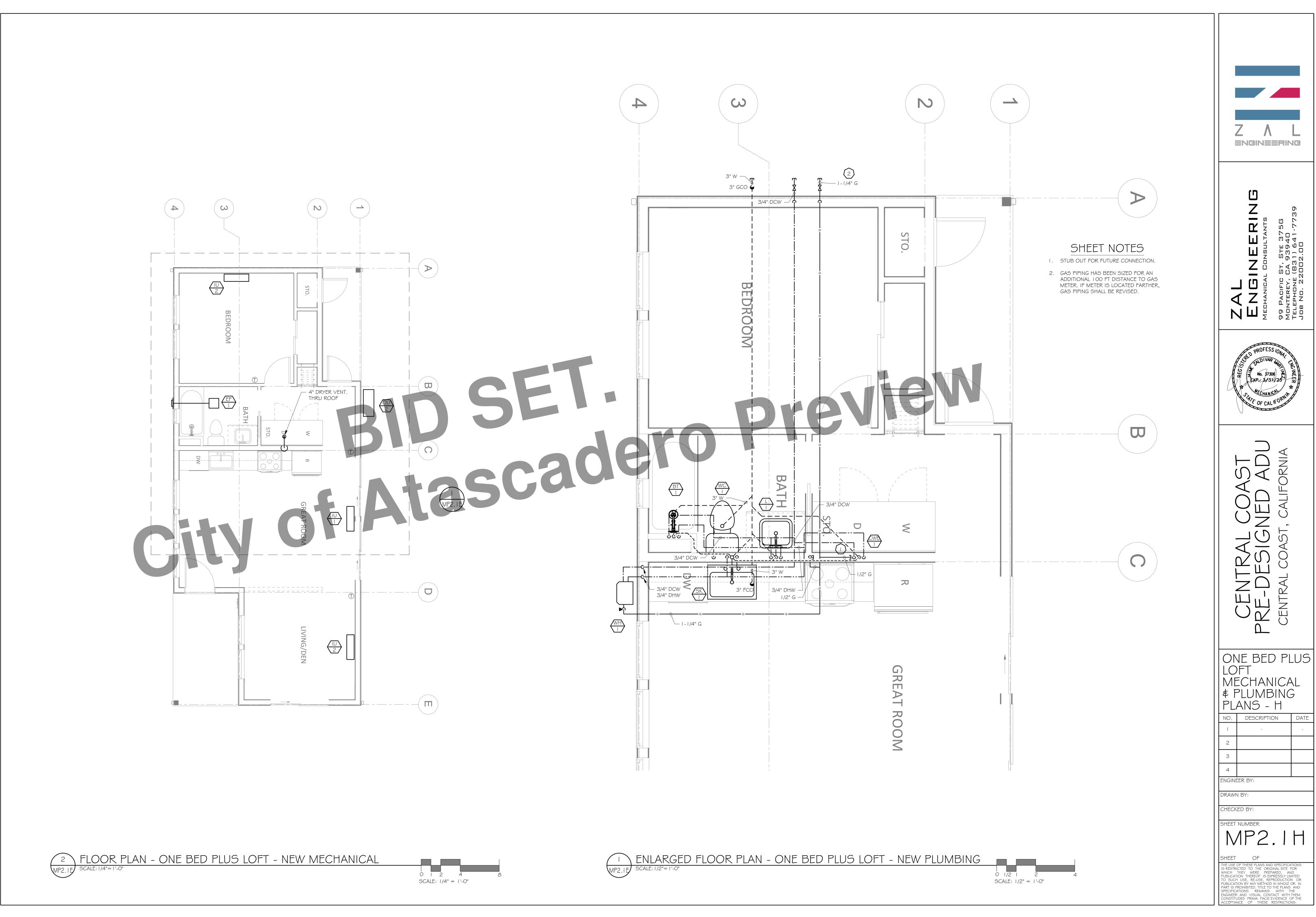
# ) GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS

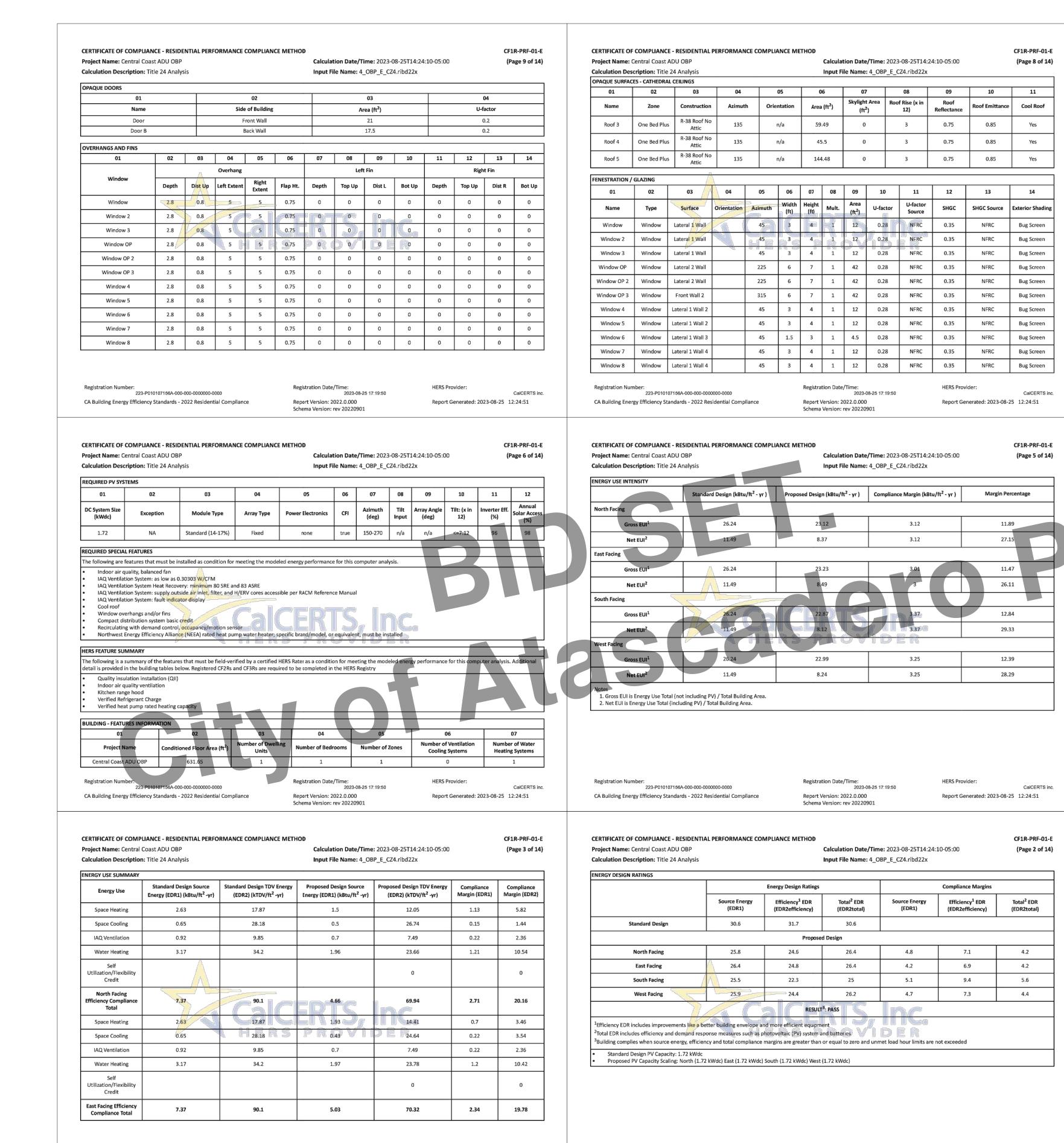
BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF CAPITOLA CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH AND/OR THE CITY OF CAPITOLA SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE CITY OF CAPITOLA. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY, FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.









Registration Number: 223-P010107156A-000-00000000-0000 Registration Date/Time: HERS Provider: 2023-08-25 17:19:50 CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 12:24:51 Schema Version: rev 20220901

CERTIFICATE OF	COMPLIANC	E - RESIDENTIAL I	PERFORMAN	ICE COMPLI	ANCE ME	THOD								CF1R-PRF-01
Project Name:	Central Coast	ADU OBP					Calcula	tion Date	e/Time:	2023	-08-25T14:	24:10-05:00		(Page 8 of 1
Calculation Des	cription: Title	24 Analysis					Input F	ile Name	: 4_OBF	P_E_C	Z4.ribd22x			
OPAQUE SURFAC	ES - CATHEDRA	L CEILINGS												
01	02	03	04		05	0	)6	07	7		08	09	10	11
Name	Zone	Construction	Azimut	h Orie	ntation	Area	a (ft <sup>2</sup> )	Skyligh (ft		Roo	f Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 3	One Bed Plu	R-38 Roof No Attic	135		n/a	59	.49	0			3	0.75	0.85	Yes
Roof 4	One Bed Plu	s R-38 Roof No Attic	135		n/a	45	5.5	0			3	0.75	0.85	Yes
Roof 5	One Bed Plu	R-38 Roof No Attic	135		n/a	144	4.48	0			3	0.75	0.85	Yes
		<u>P</u>												
FENESTRATION /	GLAZING		<u>\</u>											
01	02	03	04	05	06	07	08	09	10		11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-fac	tor	U-factor Source	SHGC	SHGC Source	Exterior Shadi
Window	Window	Lateral 1 Wall	1	45-	3	4	ť	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	1 a	45	∂ <sup>3</sup> ≤	4		12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall		225	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall		225	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP 3	Window	Front Wall 2		315	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3		45	1.5	3	1	4.5	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 4		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Registration Nur		071564-000-000-0000	000-0000			Registra	tion Date		08-25 17.	10-50		HERS Prov	ider:	CalCERTS

Registration Number: 223-P010107156A-000-00-00 CA Building Energy Efficiency Standards - 2022 F		Report V	tion Date/Time: 2023-08-25 1 /ersion: 2022.0.000 Version: rev 20220901	HERS Provider: CalCER Report Generated: 2023-08-25 12:24:51			
CERTIFICATE OF COMPLIANCE - RESIDENTIA Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis	AL PERFORMANCE COM		Calculation Date/Tim Input File Name: 4_0		10-05:00	CF1R-PRF-01-E (Page 2 of 14)	
NERGY DESIGN RATINGS							
	Source Energy (EDR1)	Energy Design Ratings Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Compliance Margins Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	
Standard Design	30.6	31.7	30.6				
		Propose	d Design				
North Facing	25.8	24.6	26.4	4.8	7.1	4.2	
East Facing	26.4	24.8	26.4	4.2	6.9	4.2	
South Facing	25.5	22.3	25	5.1	9.4	5.6	
West Facing	25.9	24.4	26.2	4.7	7.3	4.4	
<sup>1</sup> Efficiency EDR includes improvements like a be <sup>2</sup> Total EDR includes efficiency and demand resp <sup>3</sup> Building complies when source energy, efficien Standard Design PV Capacity: 1.72 kWdc Proposed PV Capacity Scaling: North (1.72	onse measures such as p ocy and total compliance	d more efficient equipm hotovoltaic (PV) system a margins are greater than	or equal to zero and unn	DER net load hour limits are r	not exceeded		

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

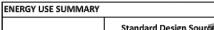
Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP

NE INFORMAT	ION													
01		02	03	i		04			05	06			07	
Zone Nam	ne	Zone Type	HVAC Syste	m Name	Zone Flo	or Area (f	t <sup>2</sup> ) Av	g. Cei	ling Height	Water Heating Sy	rstem 1		Status	
One Bed P	lus	Conditioned	OU-:	11	63	31.65			8	DHW Sys 1			New	
PAQUE SURFAC	ES													
01		02	03		04		05		06	07	,		08	
Name	:	Zone	Construction	n	Azimuth	nuth Orienta		ation Gross Area (ft <sup>2</sup> )		Window a Area			Tilt (deg)	
Front Wall	ont Wall One Bed Plus R-21 Wall					315 n/a			48	2:	L		90	
Lateral 1 Wa	ll One	Bed Plus	R-21 Wall		45		n/a		112	36	5		90	
Lateral 2 Wa	ll One	Bed Plus	R-21 Wall		225		n/a		112	84	t I		90	
Front Wall 2	2 One	Bed Plus	R-21 Wall		315		n/a	90.67		42	2		90	
Lateral 1 Wal	l 2 One	Bed Plus	R-21 Wall		45		n/a		86.75	24			90	
Lateral 2 Wal	l 2 One	Bed Plus	R-21 Wall		225		n/a)	7	92	0		90		
Lateral 2 Wal	l 3 One	Bed Plus	R-21 Wall		225		_n/a		52.33	0			90	
Back Wall	One	Bed Plus	R-21 Wall		135	6.6	n/a		26.25	17	.5		90	
Lateral 1 Wal	13 One	Bed Plus	R-21 Wall		45		n/a		40	4.	4.5		90	
Lateral 1 Wal	l 4 One	Bed Plus	R-21 Wall		45		n/a		90	24	24		90	
Lateral 2 Wal	l4 One	Bed Plus	R-21 Wall		225		n/a		42.99	0			90	
Back Wall 2	One	Bed Plus	R-21 Wall		135		n/a		93.66	0			90	
	ES - CATHEDRAL (						1			1				
01	02	03	04	05		06	07		08	09	10		11	
Name	Zone	Construction	Azimuth	Orientat	ion Are	ea (ft <sup>2</sup> )	Skylight A (ft <sup>2</sup> )	rea	Roof Rise (x in 12)	Roof Reflectance	Roof Emit	tance	Cool Root	
Roof	One Bed Plus	R-38 Roof No Attic	135	n/a	25	51.85	0		3	0.75	0.85		Yes	
Roof 2	One Bed Plus	R-38 Roof No Attic	135	n/a	13	30.33	0		3	0.75	0.85		Yes	
egistration Nun	223-P0101071	56A-000-000-00000 dards - 2022 Resic			-	ation Dat	e/Time: 2023-08-3 2022.0.000	25 17:"	19:50	HERS Prov	ider: nerated: 202	2.09.25	CalCERTS	

Calculation Date/Time: 2023-08-25T14:24:10-05:00

### CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE ME Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis







CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE C
Project Name: Central Coast ADU OBP
Calculation Description: Title 24 Analysis
GENERAL INFORMATION

Regist	tration Number: 223-P010107156A-000-000-00000		ation Dat	e/Time: 2023-08-25 17:19:50	HERS Provider: CalCERTS inc.
CA Bu	uilding Energy Efficiency Standards - 2022 Resid	dential Compliance Report			Report Generated: 2023-08-25 12:24:51
	FICATE OF COMPLIANCE - RESIDENTIAL P	ERFORMANCE COMPLIANCE METHOD	Coloui	ation Date/Time: 2023-08-25T14:24:10	CF1R-PRF-01-E
-	:t Name: Central Coast ADU OBP lation Description: Title 24 Analysis			File Name: 4_OBP_E_CZ4.ribd22x	0-05:00 (Page 1 of 14)
Laicul	ation Description. The 24 Analysis		input	File Name: 4_06F_E_024.110022X	
GENER	RAL INFORMATION				
01	Project Name	Central Coast ADU OBP			
02	Run Title	Title 24 Analysis			
03	Project Location	-			
04	City	Atascadero	05	Standards Versio	n 2022
06	Zip code	93423	07	Software Versio	n EnergyPro 9.0
08	Climate Zone	4	09	Front Orientation (deg/ Cardina	I) All orientations
10	Building Type	Single family	11	Number of Dwelling Uni	ts 1
12	Project Scope	Newly Constructed	13	Number of Bedroon	ns 1
14	Addition Cond. Floor Area (ft <sup>2</sup> )	0	15	Number of Storie	28 1
16	Existing Cond. Floor Area (ft <sup>2</sup> )	n/a	17	Fenestration Average U-facto	or 0.28
18	Total Cond. Floor Area (ft <sup>2</sup> )	631.65	19	Glazing Percentage (%	6) 34.00%
20	ADU Bedroom Count				
			and of		
	01 Building Complies with Computer 02 This building incorporates feature	s that require field testing and/or verificatio		OVIDER	fo CEC approved LIEBS provider
	UZ I I I II S DUIIDINE INCORDORALES TEALURE	s that require held testing and/or vernicatio	п ру а се	rtified HERS rater under the supervision o	ra CEC-approved HERS provider.
		more Special Features shown below			1

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

CF1R-PRF-01-E

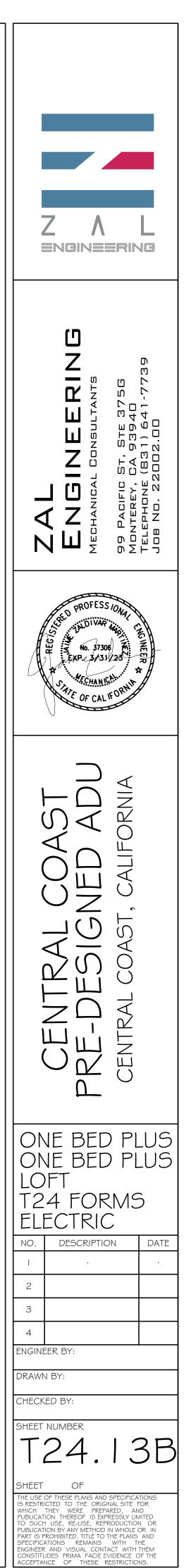
(Page 7 of 14)

Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

/IETH	OD			CF1R-PRF-01-E
	Calculation Date/Time	: 2023-08-25T14:24:10-05:00		(Page 4 of 14)
	Input File Name: 4_OB	P_E_CZ4.rîbd22x		
rgy	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
	1,46	11.26	1.17	6.61
	0.38	20.84	0.27	7.34
	0.7	7.49	0.22	2.36
	1.96	23.67	1.21	10.53
		0		O
	4.5	63.26	2.87	26.84
	1.48	11.09	1.15	6.78
5		$D \in \mathbb{R}^{27}$	0.11	1.18
	0.7	7.49	0.22	2.36
	1.96	23.61	1.21	10.59
		0		O
	4.68	69.19	2.69	20.91

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51



# Particular <t

-	ntral Coast ADU OBP ption: Title 24 Analy							•		23-08-25T _CZ4.ribd2	14:24:10-05	:00		(Page 12 of 14
actuation Desch	ption: The 24 Analy	515				inpu	it rile Na	me: 4_0	/or_c	_C24.11007	228			
ATER HEATING - C	OMPACT DISTRIBUTIO	)N												
01	02	2	03	3		04			05			06		07
Dwelling Unit ty	vpe Water Heat Nar		Master Bath furthest fixtu Heate	re to Water		hen distand st fixture to Heater (ft)	Water			furthest er Heater	Compact	iness Factor	н	ERS Verification
Dwelling	DHW	Sys 1	n/a	a		n/a			n/a			0.7		n/a
ATER HEATING - H	IERS VERIFICATION													
01	02	2	03	3		04			05			06		07
Name	Name Pipe Insulation		Parallel	Com	oact Distrib	bution Com		Compact Distribution Type		Recircula	tion Control	Shower Drain Water Heat Recovery		
DHW Sys 1 - 1/	1 Not Red	quired	Not Rec	quired	N	lot Require	d		Basic		Not F	lequired		Not Required
PACE CONDITIONI		-42												
01	02	.03		04		05		<b>06</b>			07	08		09
Name	System Type	Heating Uni	t Name Heat	ting Equipme Count	int Coo	ling Unit N	ame Co	oling Equ Coun	ipmen t	t Fai	n Name	Distribution N	lame	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump 1	System		Hea	t Pump Sys 1	stem	1	D		n/a	n/a		Setback
VAC - HEAT PUMP	s													
01	02	03	04	05	06	07	08		09	10	11	12		13
				Heating	3			Cool	ing					
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficien Type		ER / ER2	EER / EER / CEER	Zonally Controlled	Compressor Type	н	ERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEE	ER 2	4.6	15.4	Not Zonal	Single Speed		eat Pump System 1-hers-htpump

Registration Date/Time: 2023-08-25 17:19:50 Registration Number: 223-P010107156A-000-000-0000000-0000 HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

Registration Number:	Registration Date/Time:
223-P010107156A-000-000-0000000-0000	2023-08-2
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000
	Schema Version: rev 20220901

-08-25 17:19:50 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Input File Name: 4_OBP_E_C24.rlbd22x       G ENVELOPE - HERS VERIFICATION       01     02     03     04     05       Insulation Insulation       Building Envelope Air Leakage       CFM50       OI     02     03     04     05     06     07     08     09       HEATING SYSTEMS       OI     02     03     04     05     06     07     08     09       Itame     System Type     Distribution Type     Water Heater Name     Number of Units     Solar Heating System     Distribution     HERS Verification     Water Heater Name (#)       M Sys 1     Domestic Hot Water (DHW)     Demand Recirculation     DHW Heater 1     1     n/a     Basic     n/a     DHW Heater 1(1)       MEATERS - NEEA HEAT PUMP       OI     OI     OI <th>ERTIFICATE OF CO</th> <th>OMPLIANCE - RES</th> <th>SIDENTIAL PERFORMA</th> <th>NCE COMPL</th> <th>IANCE M</th> <th>IETHOD</th> <th></th> <th></th> <th></th> <th></th> <th></th> <th></th> <th>CF1R-PRF-01-E</th>	ERTIFICATE OF CO	OMPLIANCE - RES	SIDENTIAL PERFORMA	NCE COMPL	IANCE M	IETHOD							CF1R-PRF-01-E	
G ENVELOPE - HERS VERIFICATION         01       02       03       04       05         Insulation Installation (QII)       High R-value Spray Foam Insulation       Building Envelope Air Leakage       CFM50       CFM50         Required       Not Required       N/A       n/a       n/a       n/a         MEATING SYSTEMS         OI       02       03       04       05       06       07       08       09         HEATING SYSTEMS         OI       02       03       04       05       06       07       08       09         HEATING SYSTEMS         OI istribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         M Sys 1       Domestic Hot Water (DHW)       Demand Recruiculation       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         A get of Units       System Type         OI       03       04       05       06       07       08         OI       01       02       03       04       05       06 <th>oject Name: Cer</th> <th>ntral Coast ADU C</th> <th>BP</th> <th></th> <th></th> <th>Ca</th> <th>alculation [</th> <th>Date/Ti</th> <th><b>me:</b> 2023</th> <th>3-08-25T14:24:1</th> <th>.0-05:00</th> <th></th> <th>(Page 11 of 14)</th>	oject Name: Cer	ntral Coast ADU C	BP			Ca	alculation [	Date/Ti	<b>me:</b> 2023	3-08-25T14:24:1	.0-05:00		(Page 11 of 14)	
01     02     03     04     05       rinsulation Installation (QII)     High R-value Spray Foam Insulation     Building Envelope Air Leakage     CFM50       Required     Not Required     N/A     n/a     n/a       01     02     03     04     05     06     07     08     09       HEATING SYSTEMS     01     02     03     04     05     06     07     08     09       Iame     System Type     Distribution Type     Water Heater Name     Number of Units     Solar Heating System     Compact Distribution     HERS Verification     Water Heater       Name     Domestic Hot Water (DHW)     Demand Recirculation Series Controls     DHW Heater 1     1     n/a     Basic     n/a     DHW Heater 1 (1)       HEATERS - NEEA HEAT PUMP     Image: Series Controls     DHW Heater 1     1     n/a     Basic     n/a     DHW Heater 1 (1)       HEATERS - NEEA HEAT PUMP     Image: Series Controls     Image: Series Controls     Image: Series Controls     Duct Inlet Air Source     Duct Outlet Air Source       Name     # of Units     Tank Vol. (ga)     Image: Series Controls     Image: Series Controls     One Bed Plus     One Bed Plus     One Bed Plus       Name     # of Units     Tank Vol. (ga)     Image: Series Controls <td< td=""><td>alculation Descri</td><td>ption: Title 24 Ar</td><td>alysis</td><td></td><td></td><td>In</td><td>put File Na</td><td>ame: 4_</td><td>OBP_E_C</td><td>CZ4.rîbd22x</td><td></td><td></td><td></td></td<>	alculation Descri	ption: Title 24 Ar	alysis			In	put File Na	ame: 4_	OBP_E_C	CZ4.rîbd22x				
Insulation Installation (QII)       High R-value Spray Foam Insulation       Building Envelope Air Leakage       CFM50       CFM50         Required       Not Required       N/A       n/a       n/a       n/a         HEATING SYSTEMS         01       02       03       04       05       06       07       08       09         Iame       System Type       Distribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         W Sys 1       Domestic Hot Water (DHW)       Demand Recirculation Besign Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP         01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (ga)       NEEA Heat Pump Brand       NEEA Heat Pump Wodel       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus         Intertuning System Name       Number	UILDING ENVELOP	E - HERS VERIFICAT	ION											
Required       Not Required       N/A       n/a       n/a         HEATING SYSTEMS         01       02       03       04       05       06       07       08       09         HEATING SYSTEMS         OI       02       03       04       05       06       07       08       09         Hame       System Type       Distribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         M Sys 1       Domestic Hot Water (DHW)       Demand Recirculation       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP         01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (ga)       NEEA Heat Pump Brand       NEEA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         NAME         NEEA Heat Pump Model       One Bed Plus       One Bed Plus       One Bed Plus         Name       Rheem       Rheem	01		02			03				04			05	
HEATING SYSTEMS         01       02       03       04       05       06       07       08       09         Iame       System Type       Distribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         W Sys 1       Domestic Hot Water (DHW)       Demand Recirculation Sensor Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP         01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (ga)       NEEA Heat Pump Brand       NEEA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Bed Plus       One Bed Plus         ILATION LOOPS       01       02       03       04       05         er Heating System Name       Number of Recirculation Loops       Loop Insulation Thickness (in)       Recirculation Loop Location       Recirculation Pump Power (W)	Quality Insulation	Installation (QII)	High R-value Spray Foar	n Insulation	Buik	ding Envelope	e Air Leakage	e		CFM50			CFM50	
01       02       03       04       05       06       07       08       09         Iame       System Type       Distribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         W Sys 1       Domestic Hot Water (DHW)       Demand Recirculation Sensor Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP       02       03       04       05       06       07       08         01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (gal)       NEEA Heat Pump Brand       NEEA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Sectoreation Pump Power (W)         ILATION L	Requi	red	Not Require	b		N/A				n/a			n/a	
Image: System Type       Distribution Type       Water Heater Name       Number of Units       Solar Heating System       Compact Distribution       HERS Verification       Water Heater Name (#)         M Sys 1       Domestic Hot Water (DHW)       Demand Recirculation Sensor Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP       0       0       04       05       06       07       08         Name       # of Units       Tank Vol. (ga)       NEEA Heat Pump       NEEA Heat Pump       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U       One Bed Plus       O	ATER HEATING SYS	STEMS												
Iame       System Type       Distribution Type       Water Heater Name       Number of Units       System       Distribution       HERS Verification       Name (#)         W Sys 1       Domestic Hot Water (DHW)       Demand Rectrculation Sensor Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP       01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (gal)       NEEA Heat Pump Brand       NEEA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Bed Plus       One Bed Plus       One Bed Plus         ULATION LOOPS       01       02       03       03       04       05	01	02	03	04		05		06	i	07		08	09	
W Sys 1       Domestic Hot Water (DHW)       Recirculation Sensor Controls       DHW Heater 1       1       n/a       Basic       n/a       DHW Heater 1 (1)         HEATERS - NEEA HEAT PUMP       O	Name	System Type	Distribution Type	Water Heat	er Name	Number of	Units				, н	ERS Verification		
01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (gail)       NEFA Heat Pump Brand       NEFA Heat Pump Model       NEFA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Bed Plus       One Bed Plus       One Bed Plus         JLATION LOOPS         01       02       03       04       05         01       02       03       04       05         Recirculation Loops         1       1       05	DHW Sys 1		Recirculation	DHW He	ater 1	1		n/s	a	Basic		n/a	DHW Heater 1 (1)	
01       02       03       04       05       06       07       08         Name       # of Units       Tank Vol. (gail)       NEFA Heat Pump Brand       NEFA Heat Pump Model       NEFA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Bed Plus       One Bed Plus       One Bed Plus         JLATION LOOPS         01       02       03       04       05         01       02       03       04       05         Recirculation Loops         1       1       05			~ ~										•	
Name       # of Units       Tank Vol. (gal)       NEEA Heat Pump Brand       NEEA Heat Pump Model       Tank Location       Duct Inlet Air Source       Duct Outlet Air Source         V Heater 1       1       40       Rheem       RheemXE40T10H22U 0       One Bed Plus       One Bed Plus       One Bed Plus       One Bed Plus         ULATION LOOPS         01       02       03       04       05         Recirculation Loops         Loop Insulation Thickness (in)         Recirculation Loop Location	ATER HEATERS - N	EEA HEAT PUMP		6	$-\Gamma$		ЯR	5						
Name     # or Units     I ank vol. (gail     Brand     Model     I ank Location     Duct inter Air Source     Duct outer Air Source       V Heater 1     1     40     Rheem     RheemXE40T10H22U 0     One Bed Plus     One Bed Plus     One Bed Plus     One Bed Plus       ULATION LOOPS       01     02     03     04     05       Recirculation Loops       Loop Insulation Thickness (in)       Recirculation Loop Location	01	02	03		04		05	$\mathcal{D}_{R}$	10	06		07	08	
W Heater 1     1     40     Rneem     0     One Bed Plus     One Bed Plus     One Bed Plus       Olar     0 <td< td=""><td>Name</td><td># of Un</td><td>its Tank Vol. (</td><td>gal)–  E<sup>r</sup></td><td></td><td></td><td></td><td></td><td>Та</td><td>nk Location</td><td>Duct In</td><td>let Air Source</td><td>Duct Outlet Air Source</td></td<>	Name	# of Un	its Tank Vol. (	gal)–  E <sup>r</sup>					Та	nk Location	Duct In	let Air Source	Duct Outlet Air Source	
01     02     03     04     05       ver Heating System Name     Number of Recirculation Loops     Loop Insulation Thickness (in)     Recirculation Loop Location     Recirculation Pump Power (W)	DHW Heater 1	1	40		Rhee	em R		T10H22U	2U One Bed Plus		One Bed Plus		One Bed Plus	
eer Heating System Name Number of Recirculation Loops Loop Insulation Thickness (in) Recirculation Loop Location Recirculation Pump Power (W)	ECIRCULATION LOC	OPS												
	01		02			03				04			05	
DHW Svs 1 1 15 Conditioned 0	Water Heating S	System Name	Number of Recirculat	ion Loops	Loo	p Insulation Ti	hickness (in)	)	Recircu	lation Loop Loca	tion	Recirculation	on Pump Power (W)	
	DHW S	iys 1	1		1	1.5				Conditioned			0	

# Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU OBP

Registration Number: 223-P010107156A-000-000-000000-0000

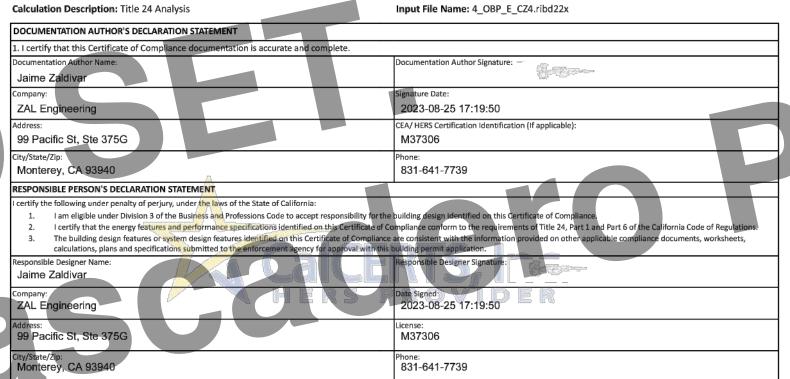
CA Building Energy Efficiency Standards - 2022 Residential Compliance



CalCERTS inc.

HERS Provider:

Report Generated: 2023-08-25 12:24:51



Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-08-25 17:19:50

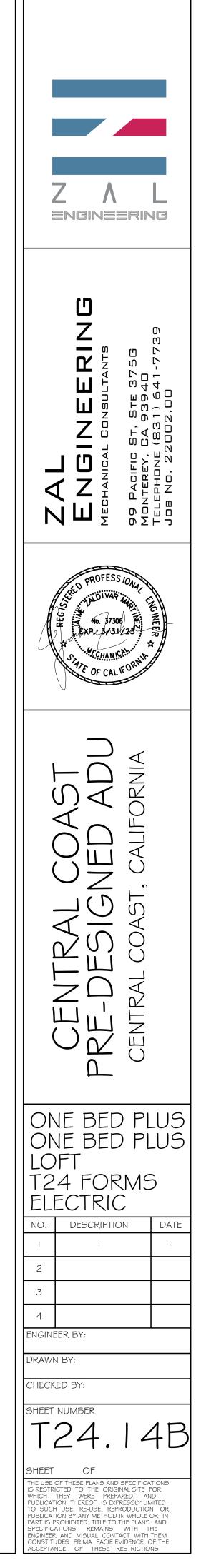
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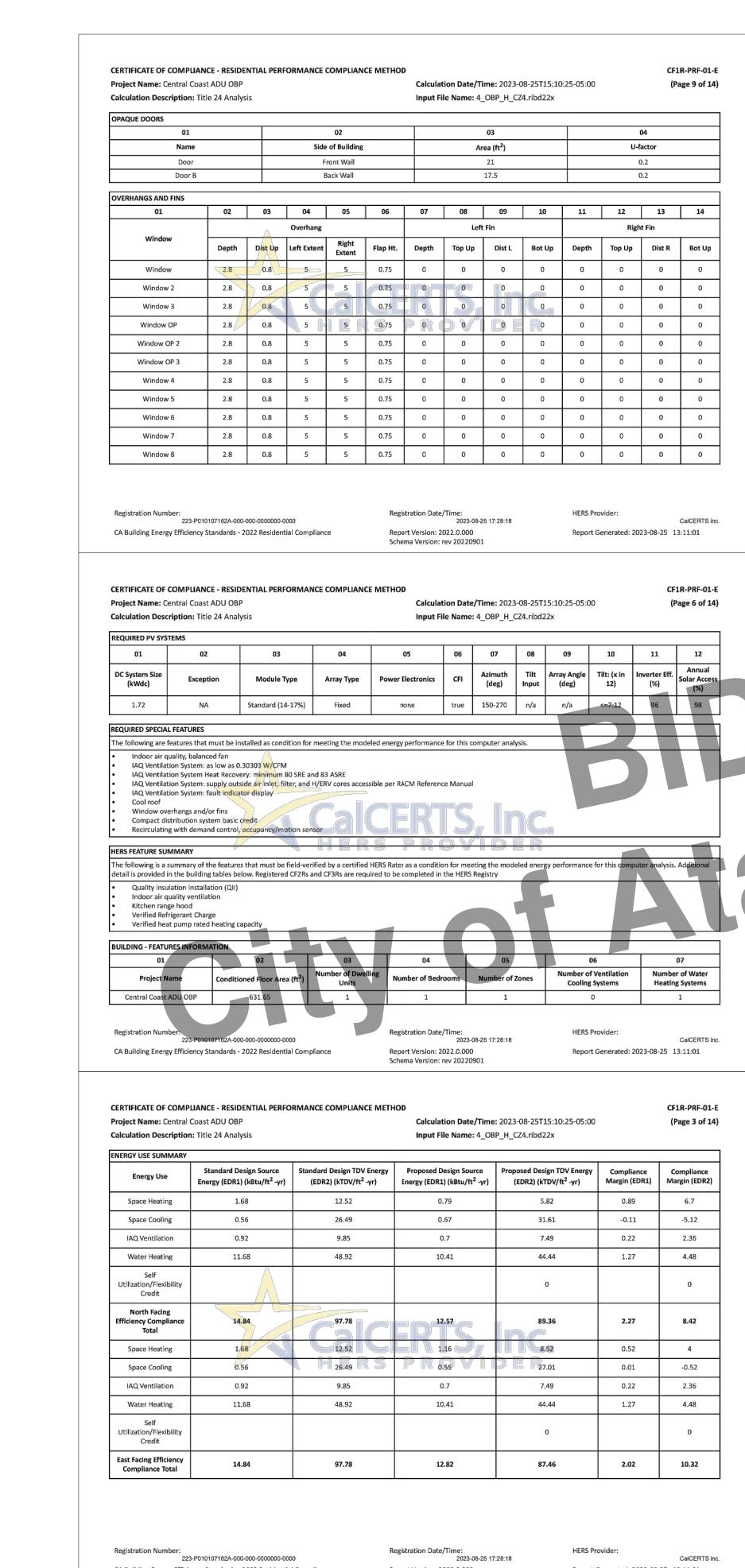
## CF1R-PRF-01-E (Page 14 of 14) Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis HVAC HEAT PUMPS - HERS VERIFICATION 01 Name

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 83|-64|-7739 ZAL (zalengineering.com)

C HEAT PUMPS - HEF 01 Name V t Pump System hers-htpump DOR AIR QUALITY (IA 01	02 ferified Airflow Not Required AQ) FANS 02	0 N 03 Fan Efficacy (W/CFM)	04 fied EER/EER2 ot Required 04 Q Fan Type	05 Verified SEER/SEER2 Not Required	File Name: 4_0	rigerant	07			
01 Name V t Pump System hers-htpump DOR AIR QUALITY (IA 01 Welling Unit Im IAQVentRpt	02 Verified Airflow Not Required (Q) FANS 02 Airflow (CFM)	0 Normal Contraction Normal Norma Normal Normal Norma Normal Normal Norm	fied EER/EER2 ot Required 04 Q Fan Type	Verified SEER/SEER2	Verified Ref Charg	rigerant	07			
t Pump System hers-htpump OOR AIR QUALITY (IA 01 welling Unit m IAQVentRpt	Not Required AQ) FANS 02 Airflow (CFM)	0 Normal Contraction Normal Norma Normal Normal Norma Normal Normal Norm	fied EER/EER2 ot Required 04 Q Fan Type	SEER/SEER2	Charg				08	09
hers-htpump OOR AIR QUALITY (IA 01 welling Unit	Q) FANS 02 Airflow (CFM)	03 Fan Efficacy (W/CFM)	04 Q Fan Type			se	Verified		Verified Heating	Verified Heating
hers-htpump OOR AIR QUALITY (IA 01 welling Unit	Q) FANS 02 Airflow (CFM)	03 Fan Efficacy (W/CFM)	04 Q Fan Type	Not Required	Yes		HSPF/HSPF	2	Cap 47	Cap 17
01 welling Unit	02 Airflow (CFM)	Fan Efficacy (W/CFM)	Q Fan Type				No		Yes	Yes
welling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	Q Fan Type							
m IAQVentRpt		(W/CFM)		05	06		07		08	09
	66	0.30303		Includes Heat/Energy Recovery?	IAQ Reco Effectivene		Includes Faundicator Disp		HERS Verification	Status
	Ľ		Balanced	Yes	83	_	No		Yes	
uilding Energy Effici		0000000-0000 Residential Compliance		Registration Data Report Version: 3 Schema Version:	2023-08-25 2022.0.000	17:19:50			Provider: rt Generated: 2023-	CalCERTS inc 08-25 12:24:51
				ETHOD						CF1R-PRF-01-E
ect Name: Central	Coast ADU OBP n: Title 24 Analysis			Calcula	ation Date/Tin File Name: 4_C			10-05:(	00	CF1R-PRF-01-E (Page 10 of 14)
ect Name: Central ulation Description		03	04	Calcula	-	DBP_E_CZ4		10-05:(	00 07	
ect Name: Central ulation Description B FLOORS	n: Title 24 Analysis	03 Area (ft <sup>2</sup> )	04 Perimete	Calcula Input F	ile Name: 4_0 05 Insul. R-value	DBP_E_CZ4	.ribd22x 06 ul. R-value			(Page 10 of 14)
ect Name: Central ulation Description B FLOORS 01 Name	n: Title 24 Analysis 02 Zone	Area (ft <sup>2</sup> )	Perimete	Calcula Input F	File Name: 4_0 05 Insul. R-value Ind Depth	DBP_E_CZ4	.ribd22x 06 ul. R-value Depth		07 peted Fraction	(Page 10 of 14) 08 Heated
ect Name: Central ulation Description B FLOORS 01 Name Slab-on-Grade	n: Title 24 Analysis 02 Zone One Bed Plus	Area (ft <sup>2</sup> ) 251.85	Perimete 0.1	Calcula Input F	ile Name: 4_0 05 Insul. R-value Ind Depth	DBP_E_CZ4 Edge Ins and	ribd22x 06 ul. R-value Depth 0		07 peted Fraction 100%	(Page 10 of 14) 08 Heated No
ect Name: Central ulation Description FLOORS 01 Name Slab-on-Grade lab-on-Grade 2	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33	0.1 0.1	Calcula Input F	<b>05</b> <b>Insul. R-value</b> <b>none</b> none	DBP_E_CZ4	ribd22x D6 ul. R-value Depth 0 0		07 peted Fraction 100% 100%	(Page 10 of 14)
ct Name: Central Ilation Description FLOORS 01 Name Iab-on-Grade ab-on-Grade 2 ab-on-Grade 3	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49	Perimete           0.1           0.1           0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0		07 peted Fraction 100% 100%	(Page 10 of 14)
tt Name: Central lation Description FLOORS 01 Name lab-on-Grade ab-on-Grade 2 ab-on-Grade 3 ab-on-Grade 4	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49 45.5	Perimete 0.1 0.1 0.1 0.1 0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0 0		07 peted Fraction 100% 100% 100%	(Page 10 of 14)
ct Name: Central lation Description FLOORS 01 Name lab-on-Grade ab-on-Grade 2 ab-on-Grade 3 ab-on-Grade 4	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49	Perimete           0.1           0.1           0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0		07 peted Fraction 100% 100%	(Page 10 of 14)
Idation Description         FLOORS         01         Name         lab-on-Grade         ab-on-Grade 2         ab-on-Grade 4         ab-on-Grade 5	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49 45.5 144.48	Perimete 0.1 0.1 0.1 0.1 0.1 0.1 0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0 0 0	Car	07 peted Fraction 100% 100% 100% 100%	(Page 10 of 14)
t Name: Central ation Description CLOORS 01 Name ab-on-Grade b-on-Grade 2 b-on-Grade 3 b-on-Grade 4 b-on-Grade 5	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49 45.5	Perimete 0.1 0.1 0.1 0.1 0.1 0.1 0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0 0 0 0		07 peted Fraction 100% 100% 100% 100%	(Page 10 of 14)
ect Name: Central ulation Description FLOORS 01 Name Slab-on-Grade 2 lab-on-Grade 2 lab-on-Grade 3 lab-on-Grade 4 lab-on-Grade 5 QUE SURFACE CONS 01	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus One Bed Plus One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49 45.5 144.48	Perimete 0.1 0.1 0.1 0.1 0.1 0.1 0.1	Calcula Input F	File Name: 4_0	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0 0 0 0 0 0 0 0	Car	07 peted Fraction 100% 100% 100% 100%	(Page 10 of 14)
ect Name: Central ulation Description B FLOORS 01 Name Slab-on-Grade 2 lab-on-Grade 2 lab-on-Grade 3 lab-on-Grade 4 lab-on-Grade 5 QUE SURFACE CONS	n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus	Area (ft <sup>2</sup> ) 251.85 130.33 59.49 45.5 144.48 03 Construction Type	Perimete 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1	Calcula Input F	File Name: 4_C	DBP_E_CZ4	ribd22x 06 ul. R-value Depth 0 0 0 0 0 0 0 0 0 0 0 0 0	Car	07 peted Fraction 100% 100% 100% 100% 100% 100% Sheathing / Insula Cavity / Frar	(Page 10 of 14)





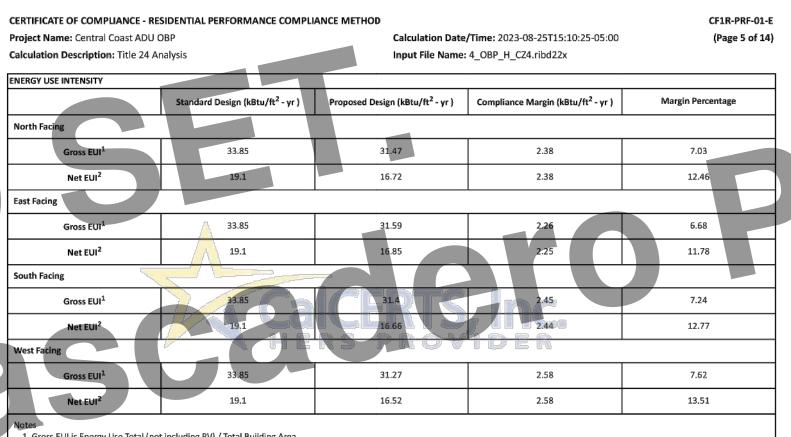
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

alculation Des	cription: Title	24 Analysis					Input Fi	ile Name	: 4_OBP	_H_C	Z4.ribd22x			
PAQUE SURFAC														
01	02	03	04		05	0	6	07			08	09	10	11
Name	Zone	Construction	Azimut	h Orie	ntation	Area	(ft²)	Skyligh (ft <sup>2</sup>		Roof	Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 3	One Bed Plus	R-38 Roof No Attic	o	F	ront	59	.49	0			3	0.75	0.85	Yes
Roof 4	One Bed Plu	R-38 Roof No Attic	0	F	ront	45	5.5	0			3	0.75	0.85	Yes
Roof 5	One Bed Plu	R-38 Roof No Attic	0	F	ront	144	1.48	0			3	0.75	0.85	Yes
ENESTRATION /	GLAZING					· ·			· · · · ·					
01	02	03	04	05	06	07	08	09	10		11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-fact	tor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Back	180-	3	4	P.	12	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180		4		12	0.28		NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window OP 3	Window	Front Wall 2	Front	0	6	7	1	42	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Left	90	1.5	3	1	4.5	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	3	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	3	NFRC	0.35	NFRC	Bug Screen

223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Report Version: 2022.0.000 Schema Version: rev 20220901

CalCERTS inc. Report Generated: 2023-08-25 13:11:01



. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107162A-000-000-0 CA Building Energy Efficiency Standards - 2022 f		Report	tion Date/Time: 2023-08-25 /ersion: 2022.0.000 Version: rev 20220901	17:28:18	HERS Provider: CalCER Report Generated: 2023-08-25 13:11:01		
CERTIFICATE OF COMPLIANCE - RESIDENTIA Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis	AL PERFORMANCE COM	MPLIANCE METHOD	Calculation Date/Tim Input File Name: 4_0		25-05:00	CF1R-PRF-01-E (Page 2 of 14)	
VERGT DESIGN RATINGS		Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>1</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	
Standard Design	48	50.3	42.3		• •		
		Propose	d Design				
North Facing	43.6	46	40.1	4.4	4.3	2.2	
East Facing	44	45	39.5	4	5.3	2.8	
South Facing	43.5	42.1	37.9	4.5	8.2	4.4	
West Facing	43.1	42.6	38.3	4.9	7.7	4	
<sup>1</sup> Efficiency EDR includes improvements like a be <sup>2</sup> Total EDR includes efficiency and demand resp <sup>3</sup> Building complies when source energy, efficien Standard Design PV Capacity: 1.72 kWdc Proposed PV Capacity Scaling: North (1.72	onse measures such as p acy and total compliance	nd more efficient equpm hotovoltaic (PV) system a margins are greater than	or equal to zero and unn	DER net load hour limits are n	not exceeded		

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

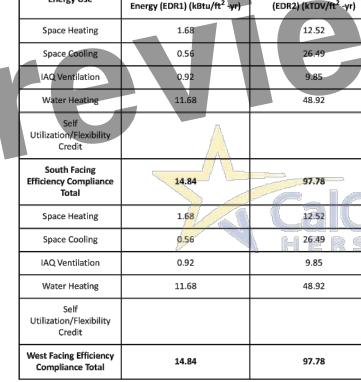
Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP Colculation Description: Title 24 Applysi

	scription: Title 24					ipar ne la	ue. 4_0	BP_H_CZ4.ribd2	mi / 1.			
ONE INFORMA	TION											
01		02	03	1	04			05	06			07
Zone Nar	me	Zone Type	HVAC Syste	em Name	Zone Floor A	rea (ft <sup>2</sup> )	Avg. C	eiling Height	Water Heating S	ystem 1	5	Status
One Bed F	Plus	Conditioned	OU-:	11	631.6	5		8	DHW Sys :	1		New
PAQUE SURFA	CES											
01		02	03		04	05	,	06	01	7		08
Name	:	Zone	Construction	n	Azimuth	Orienta	ation	Gross Area (ft <sup>2</sup>	} Window a Area		I	Filt (deg)
Front Wal	l One	Bed Plus	R-21 Wall		0	Froi	nt	48	2	1		90
Lateral 1 W	all One	Bed Plus	R-21 Wall		180	Bac	k	112	3	6		90
Lateral 2 W	all One	Bed Plus	R-21 Wall		270	Right		112	84	4		90
Front Wall	2 One	Bed Plus	R-21 Wall		0	Front		90.67	4:	42		90
Lateral 1 Wa	ll 2 One	Bed Plus	R-21 Wall		180			86.75	24	4		90
Lateral 2 Wa	ill 2 One	Bed Plus	R-21 Wall		270	Righ	nt) 🕜	92	C	)		90
Lateral 2 Wa	ll 3 One	Bed Plus	R-21 Wall		270	Righ	nt 🖉	52.33	0	)		90
Back Wall	One	Bed Plus	R-21 Wall		180	Bac	:k	26.25	17	.5		90
Lateral 1 Wa	ll 3 One	Bed Plus	R-21 Wall		90	Lef	t	40	4.	5		90
Lateral 1 Wa	ll 4 One	Bed Plus	R-21 Wall		90	Lef	ť	90	24	4		90
Lateral 2 Wa	ll 4 One	Bed Plus	R-21 Wall		0	Fro	nt	42.99	C	)		90
Back Wall	2 One	Bed Plus	R-21 Wall		180	Bac	k	93.66	0	)		90
PAQUE SURFAC	CES - CATHEDRAL C	EILINGS									,	
01	02	03	04	05	06		07	08	09	10		11
Name	Zone	Construction	Azimuth	Orientat	ion Area (f	t <sup>2</sup> ) Sk	ylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Reflectance	Roof Emit	tance	Cool Roo
Roof	One Bed Plus	R-38 Roof No Attic	0	Front	251.8	5	0	3	0.75	0.85		Yes
Roof 2	One Bed Plus	R-38 Roof No Attic	° 0	Front	130.3	3	0	3	0.75	0.85		Yes
egistration Number: 223-P010107162A-000-00000000-0000 A Building Energy Efficiency Standards - 2022 Residential Compliance					-	on Date/Time: 2023-08-25 17:28:18 rsion: 2022.0.000		7:28:18	HERS Provider: Report Generated: 20		3-08-25	CalCERT: 13:11:01

### CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis





Registration Number:								
-	223-P01	01071	62A-	000-	000	-000	0000-	0000

-	ration Number: 223-P010107162A-000-000-0000 ilding Energy Efficiency Standards - 2022 Res	000-0000 idential Compliance Report		2023-08-25 17:28:18	HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01				
CERTIF	FICATE OF COMPLIANCE - RESIDENTIAL	PERFORMANCE COMPLIANCE METHOD			CF1R-PRF-01-E				
Projec	t Name: Central Coast ADU OBP		Calcul	ation Date/Time: 2023-08-25T15:10:25	-05:00 (Page 1 of 14)				
Calcula	ation Description: Title 24 Analysis		Input	File Name: 4_OBP_H_CZ4.ribd22x					
GENER	ALINFORMATION								
01	Project Name	Central Coast ADU OBP							
	,								
02	02 Run Title 24 Analysis 03 Project Location								
04		- Atascadero	05	Standards Version	2022				
06	Zip code		07	Software Version					
08	Climate Zone		09	Front Orientation (deg/ Cardinal					
10		Single family	11	Number of Dwelling Unit	,				
12	•	Newly Constructed	13	Number of Bedroom					
14	Addition Cond. Floor Area (ft <sup>2</sup>		15	Number of Storie	s 1				
16	Existing Cond. Floor Area (ft <sup>2</sup>		17	Fenestration Average U-facto	r 0.28				
				Glazing Percentage (%					
18	Total Cond. Floor Area (ft <sup>2</sup>		19	Glazing Percentage (%	1 54.00%				
20	ADU Bedroom Coun								
COMPL									
	01 Building Complies with Compute	r Performance		AVI B B B					
	02 This building incorporates featur	es that require field testing and/or verification	on by a c	ertified HERS rater under the supervision of	a CEC-approved HERS provider.				
	03 This building incorporates one of	more Special Features shown below							
L									

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

CF1R-PRF-01-E

CF1R-PRF-01-E

Compliance

5.65

3.6

2.36

4.48

0

16.09

Margin (EDR2)

(Page 4 of 14)

(Page 7 of 14)

Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

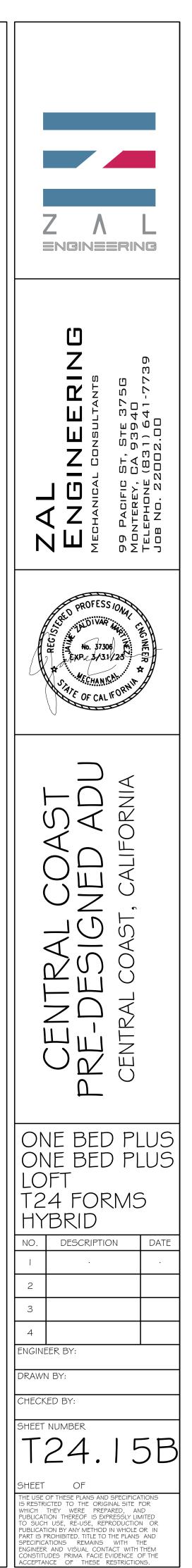
Calculation Date/Time: 2023-08-25T15:10:25-05:00 Input File Name: 4\_OBP\_H CZ4.ribd22x Proposed Design TDV Energy Compliance (EDR2) (kTDV/ft<sup>2</sup> -yr) Margin (EDR1) 6.87 0.74 22.89 0.09 0.22 7.49 44.44 1.27 10.41 0 12.52 81.69 2.32

Calculation Date/Time: 2023-08-25T15:10:25-05:00

_		4.69	1.05	7.83
		26.14	0	0.35
	0.7	7.49	0.22	2.36
	10.41	44.44	1.27	4.48
		0		0
	12.3	82.76	2.54	15.02

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01



CalCERTS inc. Report Generated: 2023-08-25 13:11:01

# 2023-08-25 17:28:18 M37306 831-641-7739 DNSIBLE PERSON'S DECLARATION STATEMENT the following under penalty of perjury, under the laws of the State of California Leven and the second se I am eligible under Division 3 of the Business and Professions Code to accept 2023-08-25 17:28:18 License: M37306 Phone: 831-641-7739 Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information. Registration Number: 223-P010107162A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18

roject Name: Cen	tral Coast ADU OBP	<b>,</b>				Calc	ulation [	Date/	<b>Time:</b> 202	3-08-251	15:10:25-05	:00		(Page 12 of 14
alculation Descrip	otion: Title 24 Analy	/sis				Inpu	ıt File Na	ame: 4	4_OBP_H	_CZ4.ribd	22x			
ATER HEATING - CO	OMPACT DISTRIBUTIO	DN												
01	0:	2	03	3		04			05			06		07
Dwelling Unit typ	pe Water Heat Nar		Master Bath furthest fixtu Heate	re to Water		hen distan stfixture to Heater (ft)	Water		thest Third ure to Wate (ft)		Compact	ness Factor	н	IERS Verification
Dwelling	DHW	Sys 1	n/a	a		n/a			n/a			0.7		n/a
ATER HEATING - HE	FRS VERIFICATION													
01		2	03	3		04			05			06		07
Name	Pipe Ins	ulation	Parallel	Piping	Com	pact Distrib	ution	Со	mpact Dist Type	ribution	Recircula	tion Control	Show	er Drain Water Hea Recovery
DHW Sys 1 - 1/1	L Not Red	quired	Not Rec	quired	N	lot Require	d		Basic		Not F	lequired		Not Required
PACE CONDITIONIN		-111												
01	02	.03		04		05			06		.07	08		09
01	02	03						have				08		
Name	System Type	Heating Uni	t Name	ting Equipm Count	Coo	ling Unit N	ame G	C	Equipment ount	Fa	n Name	Distribution N	lame	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump 1	System		Hea	at Pump Sys 1	tem	V	1		n/a	n/a		Setback
VAC - HEAT PUMPS	i													
01	02	03	04	05	06	07	08		09	10	11	12		13
				Heatir	g	L		Ċ	Cooling					
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficier Type		SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	н	ERS Verification
Heat Pump	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSE	ER	24.6	15.4	Not Zonal	Single Speed		eat Pump System 1-hers-htpump

Registration Date/Time: 2023-08-25 17:28:18 Registration Number: 223-P010107162A-000-000-0000000-0000 HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

	Heating	/		Tank Vol.	Heating	PR	Rated Input	Input Rating	Insulation	Standby Loss	1st Hr. Rating	Tank		
Name	Element Type	Tank Type	# of Units	(gal)	Efficiency Type	Efficiency	Туре	or Pilot	R-value (Int/Ext)	or Recovery Eff	or Flow Rate	Location		R-21 Wall
DHW	Gas	Consume Instantane		0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a			
Heater 1		us												
RECIRCULATIO	ON LOOPS													R-38 Roof No Attic
	01		02			03			04		05			
Water He	ating System N	ame	Number of Recir	culation Loops	Loop In	sulation Thickr	ness (in)	Recirculatio	n Loop Locatio	n Reci	rculation Pump	Power (W)		
I	DHW Sys 1		1			1.5		Cond	ditioned		0			
													-	
Registration N		10107162A-00	-000-0000000-0000		I	Registration Da		25 17:28:18	н	ERS Provider:		CalCERTS inc		Registration Number: 223-
CA Building E	nergy Efficiency	/ Standards -	2022 Residential	Compliance	1	Report Version:	2022.0.000		R	eport Generate	d: 2023-08-25	13:11:01		CA Building Energy Efficie

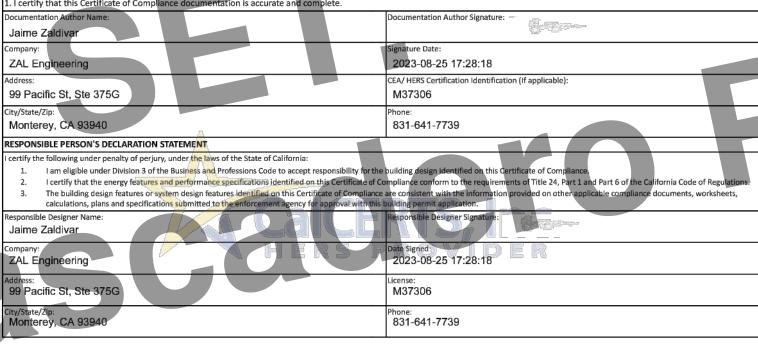
CA Building Er			- 2022 Residential Co	ompliance		Report Version: 2 Schema Version:	022.0.000	)1	R	leport G	enerated	d: 2023-0	8-25 1	3:11:01
CERTIFICATE ( Project Name Calculation D	: Central Coa	ast ADU OB		IANCE COMPL	IANCE MI	Calcula	-		-08-25T15:10:25- Z4.ribd22x	05:00				LR-PRF-01-E ge 11 of 14)
BUILDING ENV	ELOPE - HERS	VERIFICATIO	N											
	01		02			03			04				05	
Quality Insula	ation Installati	on (QII)	High R-value Spray F	oam Insulation	Build	ing Envelope Air Le	eakage		CFM50			CF	FM50	
I	Required		Not Requ	ired		N/A			n/a				n/a	
	0.000000.00	i					•							
WATER HEATIN	IG SYSTEMS													
01		02	03	04	,	05	_	06	07		08			09
Name	Sys	tem Type	Distribution Typ	e Water Heat	ter Name	Number of Units		Heating stern	Compact Distribution	HE	RS Verifi	cation		er Heater ame (#)
DHW Sys :	1 1	nestic Hot ter (DHW)	Demand Recirculation Sensor Controls	DHW He	ater 1	1	r	n/a	Basic		n/a		DHW	Heater 1 (1)
WATER HEATEI	26													
01	02	03	04	05	06		08	09	_10		11	12		13
Name	Heating Element Type	Tank Typ	e # of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rat or Pilo		or Re	by Loss covery Eff	1st Hr. R or Flow		Tank Location
DHW Heater 1	Gas	Consum Instantan us		0	UEF	0.93	Btu/Hr	20000	0 0	r	n/a	n/a	3	
RECIRCULATIO	N LOOPS													
	01		02			03			04				05	
Water Hea	iting System N	lame	Number of Recircu	lation Loops	Loop	Insulation Thickne	ess (in)	Recircu	lation Loop Locatio	n	Recir	culation	Pump P	ower (W)

Schema Version: rev 20220901



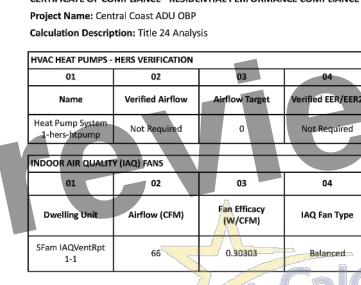
CalCERTS inc.

HERS Provider:





# Project Name: Central Coast ADU OBP



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> Jaime Zaldıvar, P.E. contact@zalengineering.com 83|-64|-7739 ZAL (zalengineering.com)

LET FUINDES - HEIS VERIFICATION       1 <th>ALT PULMES - HEBS VERTICATION         Op         <thop< th="">         Op         Op         &lt;</thop<></th> <th>TIFICATE OF COMP ject Name: Central culation Description</th> <th>Coast ADU OBP</th> <th>AL PERFORMANCE CO</th> <th>WIPLIANCE M</th> <th>Calcul</th> <th>ation Date/Tin File Name: 4_(</th> <th></th> <th></th> <th>25-05:00</th> <th>)</th> <th>(Page 13 of 14</th>	ALT PULMES - HEBS VERTICATION         Op         Op <thop< th="">         Op         Op         &lt;</thop<>	TIFICATE OF COMP ject Name: Central culation Description	Coast ADU OBP	AL PERFORMANCE CO	WIPLIANCE M	Calcul	ation Date/Tin File Name: 4_(			25-05:00	)	(Page 13 of 14
0.1       0.2       0.3       0.4       0.5       0.6       0.7       0.8       0.9         Name       Verified Alrilow       Jurified Target       Werified Refigerant       Verified Refigerant       Verified Alrilow       Verified Hasting       Cap 47       Ca	or.         62         63         64         65         67         68         67         68         67           Name         Weinder Akrhov         Aufword Trait         Weinder CR001         Weinder Akrhov											
Name:     Verified Annow     Mining for the concerns     SEER/SEER/SEER/SEER/SEER/SEER/SEER/SEER	Market         Market         Market         Market         Market         Care of Care of			03	04	05	06		07		08	09
-Intersection       O       Notestande       No.       No. </th <th>Corp. Section         Control Control         Control Control         Contro         Co</th> <th></th> <th>/erified Airflow</th> <th></th> <th></th> <th>Verified</th> <th></th> <th></th> <th>Verified</th> <th></th> <th></th> <th>-</th>	Corp. Section         Control Control         Control Control         Contro         Co		/erified Airflow			Verified			Verified			-
O1     O2     O3     O4     O5     O6     O7     O8     O9       welling Unit     Airflow (CFM)     Fin FffCary (W/CFM)     IAQ Fan Type     Includes Hetz/Energy Recovery?     IAQ Recovery Effectiveness - SRE     Includes Fault Includes Fault Includes Table?     HERS Verification     Status       Im IAQVentRpt 1.1     66     0.30303     Balanced     Yes     83     No     Yes       Status     CARCERS IN DECOVERS     0.30303     Balanced     Yes     83     No     Yes	No.         Q2         Q3         Q4         Q5         Q6         Q7         Q8         Q9           stim Den         Antroy (CM)         Fight Recy (M)         MQ feer Type         Includes (M)         Includes Fisht         Includes Fisht         Includes Fisht         Includes Fisht         Includes Fisht         Status           MQ investor         66         0.0031         Interced         Vis         83         No         Vis         Status           MQ investor         66         0.0031         Interced         Vis         83         No         Vis         Status           MQ investor         66         0.0031         Interced         Vis         83         No         Vis         Status           MQ investor         66         0.0031         Interced         Vis         83         No         Vis         Status           MQ investor         66         0.0031         Interced         Vis         83         No         Vis         Calcidition           MQ investor         66         0.0031         Interced         Vis         Status         Calcidition         Status         Calcidition         Vis         Calcidition         Vis         Calcidition         Status <t< td=""><td></td><td>Not Required</td><td>0 No</td><td>t Required</td><td>Not Required</td><td>Yes</td><td>;</td><td>No</td><td></td><td>Yes</td><td>Yes</td></t<>		Not Required	0 No	t Required	Not Required	Yes	;	No		Yes	Yes
Intelling Unit       Airflow (CFM)       Fan Efficacy (W/CFM)       IAQ Fan Type       Includes Heat/Energy       IAQ Recovery Effectiveness - SR       Includes Fault Indicator Display?       HERS Verification       Status         Im IAQVentRpt 1-1       66       0.30303       Balanced       Ves       83       No       Ves       10         CARCER Society 2000         DECENSION COLSPAN         CARCER Society 2000         Status         Status         Intervention of the second se	ation builder: La und unflow (21M Fight/DM AQ Fan Type Haddbergy Hadd Recovery fight/Recovery f											1
jaration Number: 222-P010107162A-000-00000000000 Building Energy Effective Data - 2022 Residential Compliance Registration Date/Time: 222-P010107162A-000-0000000000000 Registration Date/Time: 2020-025 17:28:18 Registration Date/Time: 2	And weither         And weither			Fan Efficacy		Includes						09
1.1 DE U.J.J.J. BABIGICECT FEB ES NO FES CARCEROSOCIOCES ALERSONOCIONAL ALERSONOCIONAL ALERSONOCIONICONOCIONOCIONICONOCIONOCIONOCIO	1         0         0.0001         Mainteent         No         No         No         No           ration hundrer:         222-P018/9760A000 00000000000000000000000000000000	-	Airflow (CFM)		Q Fan Type					- I H	IERS Verification	Status
gistration Number: 223-P010107162A-000-00000000000000000000000000000000	nation Number:         Registration Date/Time:         HEIS Provider:         CacCETTS Inc.           String Energy Efficiency Standards - 2023 Residential Compliance         Report Version: 2023 0001         Report Generated: 2023 68: 55 13:11.01           Schema Version: rev 20230901         Report Generated: 2023 68: 55 13:11.01         Report Generated: 2023 68: 55 13:11.01           CKATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD         Calculation Date/Time: 2023 08: 25115:10.25: 05:00         (Page 10 of 14)           Name: Central Coast ADU 08P         Calculation Date/Time: 2023 08: 25115:10.25: 05:00         (Page 10 of 14)           Name: Central Coast ADU 08P         Calculation Date/Time: 2023 08: 25115:10.25: 05:00         (Page 10 of 14)           Name: Central Coast ADU 08P         Calculation Date/Time: 2023 08: 25115:10.25: 05:00         (Page 10 of 14)           Nome: Central Coast ADU 08P         Schema Version: rev 2023 08: 25115:10.25: 05:00         (Page 10 of 14)           Nome: Central Coast ADU 08P         Cancel Coast ADU 08P         Carpeted Fraction         Heated           0.1         0.0         80%         No         No         No           0.0         0.0         80%         No         No         No           0.0         0.0         80%         No         No         No         No           0.0         80% </td <td></td> <td>66</td> <td>0.30303</td> <td>Balanced</td> <td>Yes</td> <td>83</td> <td></td> <td>No</td> <td></td> <td>Yes</td> <td></td>		66	0.30303	Balanced	Yes	83		No		Yes	
	Name:       Calculation Date/Time:       2023-08-25T15:10:25-07:       (Popt 04)         nume:       Interfiel Name:       4.00P_H_C24.ribd22x         LOORS       O       O       O       O         Name       Zone       Area (fr. <sup>2</sup> )       Perimeter (ft)       Edge Insul. R-value and Depth       Edge Insul. R-value and Depth       Edge Insul. R-value and Depth       Carpeted Fraction       Heated         Non-Grade       One Bed Plus       251.85       O.1       none       O       80%       No         Son-Grade 2       One Bed Plus       130.33       O.1       none       O       80%       No         Son-Grade 3       One Bed Plus       130.33       O.1       none       O       80%       No         Son-Grade 4       One Bed Plus       140.48       O.1       none       O       80%       No         Don-Grade 5       One Bed Plus       144.48       O.1       none       O       80%       No         Demo-Grade 5       One Bed Plus       144.48       O.1       none       O       80%       No         Result       Surface Type       Construction Type       Fraining       Total Cavity       Marce       V-Scor       Assembly Layers											
Anne: Central Coast ADU OBP       Calculation Date/Time: 2023-08-25T15:10:25-05:00       (Page 10 of 14         ulation Description: Title 24 Analysis       Input File Name: 4_OBP_H_CZ4.ribd22x	NameZoneArea (ft <sup>2</sup> )Perimeter (ft)Edge Insul. R-value and DepthEdge Insul. R-value and DepthCarpeted FractionHeatedib-on-GradeOne Bed Plus251.850.1none080%Nob-on-Grade 2One Bed Plus130.330.1none080%Nob-on-Grade 3One Bed Plus59.490.1none080%Nob-on-Grade 4One Bed Plus45.50.1none080%Nob-on-Grade 5One Bed Plus144.480.1none080%Nob-on-Grade 5One Bed Plus144.480.1none080%NoESURFACE CONSTRUCTIONSTE SURFACE CONSTRUCTIONSResultInside Finish: Gypsum BoardR-21 WallExterior WallsWood Framed Wall2x6 @ 24 in. 0. C.R-228 / None0.039Inside Finish: Gypsum Board Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco88 Roof No AtticCathedral CeilingsWood Framed Ceiling2x12 @ 16 in. 0. C.R-40None / NoneRoof Roof Rev / Rod Exterior Cavity / Frame: R-40 / 2x12	223 Building Energy Efficie	ency Standards - 2022	Residential Compliance		Report Version: Schema Version	2023-08-25 2022.0.000	17:28:18				08-25 13:11:01
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idab-on-Grade 3     One Bed Plus     59.49     0.1     none     0     80%     No       idab-on-Grade 4     One Bed Plus     45.5     0.1     none     0     80%     No       idab-on-Grade 5     One Bed Plus     144.48     0.1     none     0     80%     No	Surface type       Construction type       Framing       R-value       Continuous       O-factor       Assembly Layers         R-21 Wall       Exterior Walls       Wood Framed Wall       2x6 @ 24 in. O. C.       R-22       8 / None       0.039       Inside Finish: Gypsum Board         Sheathing / Insulation: R-8 Sheathing       Cavity / Frame: R-22 / 2x6       Exterior Finish: 3 Coat Stucco       Sheathing / Insulation: R-8 Sheathing       Cavity / Frame: R-22 / 2x6         8 Roof No Attic       Cathedral Ceilings       Wood Framed Ceiling       2x12 @ 16 in. O. C.       R-40       None / None       0.028       Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Radiant Barrier Cavity / Frame: R-40 / 2x12	223 Building Energy Efficient TIFICATE OF COMP ect Name: Central ulation Description 3 FLOORS 01 Name Slab-on-Grade 2 ilab-on-Grade 2 ilab-on-Grade 3 ilab-on-Grade 4 ilab-on-Grade 5	ency Standards - 2022 PLIANCE - RESIDENTI Coast ADU OBP n: Title 24 Analysis 02 Zone One Bed Plus One Bed Plus One Bed Plus One Bed Plus	AL PERFORMANCE CO AL PERFORMANCE CO CO CO CO CO CO CO CO	04 Perimet 0.1 0.1 0.1	Report Version: Schema Version ETHOD Calcula Input er (ft) Edge	2023-08-25 2022.0.000 :: rev 20220901 ation Date/Tin File Name: 4_0 05 : Insul. R-value and Depth none none none none	ne: 2023-08- DBP_H_CZ4.1 Edge Insul and D C C C C C C C C	ribd22x 16 11. R-value Depth D D D D D D D D D D D D D	Report 25-05:00	Generated: 2023-	08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08 Heated No No No No
Iab-on-Grade 3       One Bed Plus       59,49       0.1       none       0       80%       No         Iab-on-Grade 4       One Bed Plus       45.5       0.1       none       0       80%       No         Iab-on-Grade 5       One Bed Plus       45.5       0.1       none       0       80%       No         Iab-on-Grade 5       One Bed Plus       144.48       0.1       none       0       80%       No         QUE SURFACE CONSTRUCTIONS       O1       02       03       04       05       06       07       08         Dastruction Name       Surface Tune       Construction Name       Famine       Total Cavity       Interior / Exterior       Assembly Layers	R-21 Wall       Exterior Walls       Wood Framed Wall       2x6 @ 24 in. O. C.       R-22       8 / None       0.039       Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco         A8 Roof No Attic       Cathedral Ceilings       Wood Framed Ceiling       2x12 @ 16 in. O. C.       R-40       None / None       0.028       Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Radiant Barrier Cavity / Frame: R-40 / 2x12	223 Building Energy Efficient TIFICATE OF COMP ect Name: Central Julation Description FLOORS 01 Name Slab-on-Grade 2 lab-on-Grade 2 lab-on-Grade 3 lab-on-Grade 4 lab-on-Grade 5 QUE SURFACE CONST 01	ency Standards - 2022 PLIANCE - RESIDENTI. Coast ADU OBP n: Title 24 Analysis Ote Bed Plus One Bed Plus	O3           Al PERFORMANCE CO           03           Area (ft²)           251.85           130.33           59.49           45.5           144.48	04 Perimet 0.1 0.1 0.1 0.1	Report Version: Schema Version ETHOD Calcul: Input er (ft) Edge	2023-08-25 2022.0.000 :: rev 20220901 ation Date/Tin File Name: 4_0 05 : Insul. R-value and Depth none none none none none none none non	ne: 2023-08- DBP_H_CZ4.1 Edge Insul and D C C C C C C C C C C C C C C C C C C C	ribd22x 6 6 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Report 25-05:00 Carpe	Generated: 2023- 07 2ted Fraction 80% 80% 80% 80% 80% 80%	08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08 Heated No No No No No No No
ab-on-Grade 3     One Bed Plus     59.49     O.1     none     O     80%     No       ab-on-Grade 4     One Bed Plus     45.5     O.1     none     O     80%     No       ab-on-Grade 5     One Bed Plus     144.48     O.1     none     O     80%     No       ab-on-Grade 5     One Bed Plus     144.48     O.1     none     O     80%     No       QUE SURFACE CONSTRUCTIONS     O     O     O     O     O     No       O1     O2     O3     O4     O5     D6     07     O8       onstruction Name     Surface Type     Construction Type     Framing     Total Cavity     Interior / Exterior Continuous     U-factor     Assembly Layers	18 Roof No Attic Cathedral Ceilings Wood Framed Ceiling 2x12 @ 16 in. O. C. R-40 None / None	223 suilding Energy Efficient IFICATE OF COMP ect Name: Central in Ilation Description FLOORS 01 Name Slab-on-Grade 2 ab-on-Grade 2 ab-on-Grade 3 ab-on-Grade 4 ab-on-Grade 5 QUE SURFACE CONST 01	ency Standards - 2022 PLIANCE - RESIDENTI. Coast ADU OBP n: Title 24 Analysis Ote Bed Plus One Bed Plus	O3           Al PERFORMANCE CO           03           Area (ft²)           251.85           130.33           59.49           45.5           144.48	04 Perimet 0.1 0.1 0.1 0.1	Report Version: Schema Version ETHOD Calcul: Input er (ft) Edge	2023-08-25 2022.0.000 :: rev 20220901 ation Date/Tin File Name: 4_0 05 : Insul. R-value and Depth none none none none none none none non	ne: 2023-08- DBP_H_CZ4.1 Edge Insul and D C C C C C C C C C C C C C C C C C C C	ribd22x 16 11. R-value Depth D D D D D D D D D D D D D	Report 25-05:00 Carpe	Generated: 2023- 07 eted Fraction 80% 80% 80% 80% 80% 80% 80% 80% 80% 80%	08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08 Heated No No No No No No No No No
ab-on-Grade 3       One Bed Plus       59.49       0.1       none       0       80%       No         ab-on-Grade 4       One Bed Plus       45.5       0.1       none       0       80%       No         ab-on-Grade 5       One Bed Plus       144.48       0.1       none       0       80%       No         QUE SURFACE CONSTRUCTIONS       O1       02       03       04       05       06       07       08         nnstruction Name       Surface Type       Construction Type       Framing       Total Cavity R-value       Interior / Exterior Continuous       U-factor       Assembly Layers         B-21 Wall       Exterior Walls       Wood Eramed Wall       2Y6 @ 24 in 0.0       B-22       8 / None       0.030       Inside Finish: Gypsum Board Sheathing / Insulation: R-8 Sheathing	18 Roof No Attic Cathedral Ceilings Wood Framed Ceiling 2x12 @ 16 in. O. C. R-40 None / None	223 uilding Energy Efficie IFICATE OF COMP ct Name: Central lation Description FLOORS 01 Name lab-on-Grade 2 ab-on-Grade 3 ab-on-Grade 4 ab-on-Grade 5 UE SURFACE CONST 01 nstruction Name	ency Standards - 2022 PLIANCE - RESIDENTI. Coast ADU OBP n: Title 24 Analysis One Bed Plus One B	AL PERFORMANCE CO	04 Perimet 0.1 0.1 0.1 0.1	Report Version: Schema Version ETHOD Calcul: Input er (ft) Edge	2023-08-25 2022.0.000 :: rev 20220901 ation Date/Tim File Name: 4_0 05 Insul. R-value and Depth none none none none none none none	ne: 2023-08- DBP_H_CZ4.r Edge Insui and D C C C C C C C C C C C C C C C C C C C	ribd22x 16 10. R-value Depth 0 0 0 0 0 0 0 0 0 0 0 0 0	Report 25-05:00 Carpe	Generated: 2023- 07 2ted Fraction 80% 80% 80% 80% 80% 80% 80% 1 Sheathing / Insula	08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08 Heated No No No No No No Solut Layers Gypsum Board ntion: R-8 Sheathing
ab-on-Grade 3       One Bed Plus       59.49       O.1       none       O       80%       No         ab-on-Grade 4       One Bed Plus       45.5       O.1       none       O       80%       No         ab-on-Grade 5       One Bed Plus       144.48       O.1       none       O       80%       No         NUE SURFACE CONSTRUCTIONS         O1       O2       O3       O4       O5       O5       O7       O8         INTERCISION SUCCIONS         D1       O2       O3       O4       O5       O5       O7       O8         Instruction Name       Surface Type       Construction Type       Framing       Total Cavity R-value       Interior / Exterior Constructor       Surface Type       Assembly Layers         R-21 Wall       Exterior Walls       Wood Framed Wall       2x6 @ 24 in. O. C.       R-22       8 / None       0.039       Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco		223 uilding Energy Efficie IFICATE OF COMP ct Name: Central lation Description FLOORS 01 Name lab-on-Grade 2 ab-on-Grade 3 ab-on-Grade 4 ab-on-Grade 5 UE SURFACE CONST 01 nstruction Name	ency Standards - 2022 PLIANCE - RESIDENTI. Coast ADU OBP n: Title 24 Analysis One Bed Plus One B	AL PERFORMANCE CO	04 Perimet 0.1 0.1 0.1 0.1	Report Version: Schema Version ETHOD Calcul: Input er (ft) Edge	2023-08-25 2022.0.000 :: rev 20220901 ation Date/Tim File Name: 4_0 05 Insul. R-value and Depth none none none none none none none	ne: 2023-08- DBP_H_CZ4.r Edge Insui and D C C C C C C C C C C C C C C C C C C C	ribd22x 16 10. R-value Depth 0 0 0 0 0 0 0 0 0 0 0 0 0	Report 25-05:00 Carpe	Generated: 2023- 07 eted Fraction 80% 80% 80% 80% 80% 80% 80% 80% 80% 80%	08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08 Heated No No No No No No No Solution: R-8 Sheathing me: R-22 / 2x6 n: 3 Coat Stucco of (Asphalt Shingle)

