

ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR PERMIT

- Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.
- Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

- All submitted plan sets must be accompanied by a Building Permit Application.
- All applications must include a site survey.

BUILDING DEPARTMENT

- All applications must include a Construction Waste Management Plan.
- The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

- ☐ PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
☐ RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)
☐ SEPTIC SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

1A. Atascadero Municipal Code

- | | |
|--------------------------------|--|
| 1. California Building Code | 5. California Mechanical Code |
| 2. California Residential Code | 6. California Fire Code |
| 3. California Electrical Code | 7. California Green Building Standards Code |
| 4. California Plumbing Code | 8. California Energy Efficiency Standards Code |

PROJECT INFORMATION

OWNER/APPLICANT:
ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION

APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE (in SF)	
EXISTING HOME SIZE (in SF)	
PARCEL OVER 10% SLOPE	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.</small>
SRA FIRE HAZARD SEVERITY ZONE (WUI)	<input type="checkbox"/> APPLICABLE <input type="checkbox"/> NOT APPLICABLE <small>PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.</small>

PROJECT INFORMATION

NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO
SERVED BY SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON SEPTIC SYSTEMS MAY BE SUBJECT TO ADDITIONAL REPORTS OR PERMIT APPLICATIONS. REFER TO PLANNING DEPARTMENT TO DETERMINE SPECIFIC REQUIREMENTS. SUBMIT PROJECT.</small>

PROPERTY OWNER

NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GENERAL SHEETS

- | | |
|------|---------------------------------------|
| G0.0 | COVER SHEET & PROJECT INFORMATION |
| G0.1 | OWNER PROVIDED SITE PLAN |
| G1.0 | GENERAL NOTES |
| G2.0 | CAL GREEN/GREEN BUILDING REQUIREMENTS |
| G2.1 | CAL GREEN/GREEN BUILDING REQUIREMENTS |

ARCHITECTURAL

- | | | |
|--------------------------|------|-------------------------------------|
| <input type="checkbox"/> | A1.0 | RANCH - FLOORPLAN & ELEVATIONS |
| <input type="checkbox"/> | A1.1 | RANCH - ROOF PLAN & RCP |
| <input type="checkbox"/> | A1.2 | RANCH - SECTIONS |
| <input type="checkbox"/> | A2.0 | CRAFTSMAN - FLOORPLANS & ELEVATIONS |
| <input type="checkbox"/> | A2.1 | CRAFTSMAN - ROOF PLAN & RCP |
| <input type="checkbox"/> | A2.2 | CRAFTSMAN - SECTIONS |
| <input type="checkbox"/> | A3.0 | MODERN - FLOORPLANS & ELEVATIONS |
| <input type="checkbox"/> | A3.1 | MODERN - ROOF PLAN & RCP |
| <input type="checkbox"/> | A3.2 | MODERN - SECTIONS |
| <input type="checkbox"/> | A4.0 | BUNGALOW - FLOORPLANS & ELEVATIONS |
| <input type="checkbox"/> | A4.1 | BUNGALOW - ROOF PLAN & RCP |
| <input type="checkbox"/> | A4.2 | BUNGALOW - SECTIONS |
| <input type="checkbox"/> | A5.0 | EXTERIOR WALL ASSEMBLY DETAILS |
| <input type="checkbox"/> | A5.1 | EXTERIOR WALL ASSEMBLY DETAILS |
| <input type="checkbox"/> | A5.2 | EXTERIOR DETAILS |
| <input type="checkbox"/> | A5.3 | INTERIOR DETAILS & WALL PARTITIONS |
| <input type="checkbox"/> | A6.0 | SCHEDULES - TWO BEDROOM PLUS |

STRUCTURAL

- | | |
|------|--|
| S0.1 | STRUCTURAL NOTES |
| S1.0 | TYPICAL DETAILS |
| S1.0 | ROOF/CEILING FRAMING & FOUNDATION PLAN |
| S2.0 | FOUNDATION DETAILS |
| S2.1 | ROOF FRAMING DETAILS |
| S2.2 | ROOF FRAMING DETAILS (CONT.) |

MECHANICAL

- | | | |
|--------------------------|--------|--|
| <input type="checkbox"/> | MP0.1 | GENERAL NOTES |
| <input type="checkbox"/> | MP0.2 | SCHEDULES & GAS DIAGRAM & PLUMBING |
| <input type="checkbox"/> | MP2.1E | MECHANICAL & PLUMBING PLANS - ELECTRIC |
| <input type="checkbox"/> | MP2.1H | MECHANICAL & PLUMBING PLANS - HYBRID |

ENERGY COMPLIANCE/TITLE 24

- | | | |
|--------------------------|---------|--------------------------|
| <input type="checkbox"/> | T24.17B | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> | T24.18B | TITLE 24 FORMS- ELECTRIC |
| <input type="checkbox"/> | T24.19B | TITLE 24 FORMS - HYBRID |
| <input type="checkbox"/> | T24.20B | TITLE 24 FORMS - HYBRID |



CENTRAL COAST PRE-DESIGNED ADU

CITY REVIEW SET

PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
CM TAYLOR STRUCTURAL ENGINEERING, INC. 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 998 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF TWO BEDROOMS, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN. THE GREAT ROOM MAY BE DIVIDED TO CREATE A THIRD BEDROOM, SECOND BATHROOM, OR BOTH. REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/> COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
<input type="checkbox"/> BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2
<input type="checkbox"/> CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
<input type="checkbox"/> BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4
ROOFING MATERIAL (SELECT ONE)	
<input type="checkbox"/> ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> APPLICANT REVISION	
PRIMARY SIDING MATERIAL (SELECT ONE)	
<input type="checkbox"/> VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
<input type="checkbox"/> BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
<input type="checkbox"/> HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
<input type="checkbox"/> SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
<input type="checkbox"/> STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
<input type="checkbox"/> APPLICANT REVISION	

DESIGN OPTIONS (SELECT IF DESIRED)

<input type="checkbox"/> CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.3
<input type="checkbox"/> ADDITIONAL (3RD) BEDROOM	Requires coordination ahead of foundation pour and framing. See detail 6/A5.3
<input type="checkbox"/> ADDITIONAL (2ND) BATHROOM	Homeowner to provide fixture layout with application. Requires coordination ahead of foundation pour and framing. See detail 6/A5.3
<input type="checkbox"/> APPLICANT REVISION	

MECHANICAL SYSTEM (SELECT ONE)

<input type="checkbox"/> ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
<input type="checkbox"/> HYBRID (ELECTRIC W/ GAS H2O HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H

<input type="checkbox"/> GAS RANGE	
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REQUIRED COMPLIANCE (CHECK IF APPLICABLE)

<input type="checkbox"/> PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
<input type="checkbox"/> EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"

SITE PLAN (REQUIRED)

<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan
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AREA CALCULATIONS - TWO BEDROOM PLUS

DWELLING UNIT - 998 GSF
COVERED PORCH - 47.5 GSF
SEMI-ENCLOSED COURTYARD - 133.5 GSF

COASTAL RANCH EXTERIOR - PERSPECTIVE VIEW



BACKYARD CRAFTSMAN EXTERIOR - PERSPECTIVE VIEW



CALIFORNIA MODERN - PERSPECTIVE VIEW



BEACH BUNGALOW EXTERIOR - PERSPECTIVE VIEW



workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET &
PROJECT
INFORMATION -
ATASCADERO

G0.0

SCALE: AS NOTED

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**
104 S. MAIN ST UNIT B
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CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

OWNER PROVIDED
SITE PLAN -
ATASCADERO

G0.1

SCALE: - AS NOTED

SITE PLAN CHECKLIST

The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12³

GENERAL NOTES

1.
- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
2.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
3.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
4.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
5.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
6.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
7.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
8.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
9.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
10.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
11.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
12.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
13.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
14.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
15.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
16.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
17.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
18.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
19.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
20.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
21.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
22.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
23.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
24.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
25.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
26.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
27.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
28.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

29.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
30.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
31.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
32.
- PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
33.
- PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5
PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1
VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

1.

VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

2.

THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.

3.

THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3
WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8
WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9
WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A
GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

1.
- ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
2.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES). CEC150.0(K)G
3.
- ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
- A.
- CEILING RECESSED DOWNLIGHT LUMINARIES
- B.
- LED LUMINARIES WITH INTEGRAL SOURCES
- C.
- PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- D.
- GU-24 BASED LED LIGHT SOURCES
4.
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. CEC 150.0(K)8.
5.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
6.
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
7.
- ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
- A.
- BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
- B.
- HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
- C.
- BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
- D.
- FOR LUMINARIES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
- E.
- SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
- F.
- SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
9.
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- A.
- PHOTOCONTROL AND MOTION SENSOR
- B.
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- C.
- ASTRONOMICAL TIME SWITCH CONTROL
- D.
- ENERGY MANAGEMENT CONTROL SYSTEMS
10.
- ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
11.
- ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

1.
- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
2.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
3.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
4.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
5.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
6.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
7.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
8.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
9.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
10.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
11.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
12.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
13.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
14.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
15.
- ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A]
16.
- GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
17.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).
18.
- PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.
19.
- PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
20.
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
21.
- PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
22.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI's FOR PROTECTION FOR PERSONNEL.

ABBREVIATIONS

AB	ANCHOR BOLT	IN	INFO	INCH/INCHES
AC	ASPHALT CONCRETE	INSUL	INSUL	INSULATION
AD	AREA DRAIN	INT	INT	INTERIOR
ADJ	ADJACENT	JT	JT	JOINT
AFF	ABOVE FINISH FLOOR			
AL	ALIGN	KIT	KIT	KITCHEN
ALUM	ALUMINUM			
ALT	ALTERNATE	LB	LB	LAG BOLT
ARCH	ARCHITECT/ARCHITECTURAL	LBS	LBS	POUNDS
AVG	AVERAGE	LF	LF	LINEAR FOOT
BD	BOARD	LL	LL	LIVE LOAD
BLDG	BUILDING	LS	LS	LAG SCREW
BLKG	BLOCKING			
BTM	BOTTOM	MAX	MAX	MAXIMUM
BTWN	BETWEEN	MB	MB	MACHINE BOLT
BUR	BUILT-UP ROOFING	MECH	MECH	MECHANICAL
BW	BOTH WAYS	MFD	MFD	MANUFACTURED
		MFR	MFR	MANUFACTURER
CB	CATCH BASIN	MICRO	MICRO	MICROWAVE
CF	CUBIC FEET	MIN	MIN	MINIMUM
CJ	CONTROL JOINT	MISC	MISC	MISCELLANEOUS
CLKG	CAULKING	MTD	MTD	MOUNTED
CLG	CEILING	MTL	MTL	METAL
CLR	CLEAR			
CO	CLEANOUT	(N)	(N)	NEW
COTTG	CLEANOUT TO GRADE	NIC	NIC	NOT IN CONTRACT
COL	COLUMN	NA	NA	NOT APPLICABLE
CONC	CONCRETE	NTS	NTS	NOT TO SCALE
CONT	CONTINUOUS			
CT	CERAMIC TILE	O/	O/	OVER
CTR	CENTER	OC	OC	ON CENTER
CW	COLD WATER	OH	OH	OVERHEAD/OVERHANG
		OPNG	OPNG	OPENING
DBL	DOUBLE	PL	PL	PLATE
DEPT	DEPARTMENT	PLF	PLF	POUNDS PER LINEAL FOOT
DIA	DIAMETER	PLYVWD	PLYVWD	PLYWOOD
DIAG	DIAGONAL	PTD	PTD	PAINTED
DIM	DIMENSION	PSF	PSF	POUNDS PER SQUARE FOOT
DL	DEAD LOAD	PSI	PSI	POUNDS PER SQUARE INCH
DN	DOWN	PT	PT	PRESSURE TREATED
DR	DOOR	PVMT	PVMT	PAVEMENT
DWG	DRAWING			
DW	DISHWASHER	RA	RA	RETURN AIR
(E)	EXISTING	RCP	RCP	REFLECTED CEILING PLAN
EA	EACH	RD	RD	ROOF DRAIN
EB	EXPANSION BOLT	REF	REF	REFERENCE
EJ	EXPANSION JOINT	REFR	REFR	REFRIGERATOR
ELEC	ELECTRIC/ELECTRICAL	REQD	REQD	REQUIRED
ELEV	ELEVATOR/ELEVATION	REV	REV	REVISION
EN	EDGE NAILING	RM	RM	ROOM
ENCL	ENCLOSURE	RO	RO	ROUGH OPENING
EP	ELECTRICAL PANEL			
EQUIP	EQUIPMENT	SCHED	SCHED	SCHEDULE
EXT	EXTERIOR	SD	SD	STORM DRAIN
FD	FLOOR DRAIN	SEC	SEC	SECTION
FF	FINISH FLOOR	SED	SED	SEE ELECTRICAL DRAWINGS
FIN	FINISH	SF	SF	SQUARE FOOT
FL	FLOW LINE	SPEC	SPEC	SPECIFICATION
FLSHG	FLASHING	SPD	SPD	SEE PLUMBING DRAWINGS
FLR	FLOOR	SSD	SSD	SEE STRUCTURAL DRAWINGS
FOC	FACE OF CONCRETE	SS	SS	SOLID SURFACE
FOS	FACE OF STUD	STD	STD	STANDARD
FOW	FACE OF WALL	STL	STL	STEEL
FRMG	FRAMING	STRUCT	STRUCT	STRUCTURAL
FT	FOOT	SUSP	SUSP	SUSPENDED
FTG	FOOTING	SYS	SYS	SYSTEM
		T	T	TEMPERED
GA	GAUGE	TOC	TOC	TOP OF CURB
GALV	GALVANIZED	UON	UON	TYPICAL
GC	GENERAL CONTRACTOR			UNLESS OTHERWISE NOTED
GWB	GYPSUM WALL BOARD	ENT	ENT	VENTILATION/VENTILATOR
HB	HOSE BIB	VERT	VERT	VERTICAL
HD	HOLDOWN	VIF	VIF	VERIFY IN FIELD
HDR	HEADER	W/	W/	WITH
HGR	HANGER	WC	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WD	WOOD
HORIZ	HORIZONTAL	WH	WH	WATER HEATER
HT	HEIGHT	WDW	WDW	WINDOW
HVAC	HEAT/VENTILATION/AIR COND.	W/O	W/O	WITHOUT
HW	HOT WATER	WP	WP	WATERPROOF
		WT	WT	WEIGHT



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT
/ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

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CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

GENERAL NOTES

G1.0

SCALE: AS NOTED



(January 2023)

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**BROCKETT
/ARCHITECT**

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS
ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

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PRINT DATE XX.XX.XXXX

CAL GREEN/GREEN BUILDING REQUIREMENTS

G2.0

SCALE : AS NOTED



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y
N/A
RESPON- PARTY
PARTY

YES
NOT APPLICABLE
RESPONSIBLE PARTY (w/ ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.)

<p>MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.</p> <p>MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.</p> <p>PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).</p> <p>REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p>VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).</p> <p>4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.</p> <p>4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.</p> <p>4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.</p> <p>4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none">Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i>, Title 17, commencing with section 94507. <p>4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p> <p>4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROG in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of <i>California Code of Regulations</i>, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</p> <p>4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:</p> <ol style="list-style-type: none">Manufacturer's product specification.Field verification of on-site product containers.	<p>TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)</p> <table><thead><tr><th>SEALANTS</th><th>VOC LIMIT</th></tr></thead><tbody><tr><td>ARCHITECTURAL</td><td>250</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>NONMEMBRANE ROOF</td><td>300</td></tr><tr><td>ROADWAY</td><td>250</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE</td><td>450</td></tr><tr><td>OTHER</td><td>420</td></tr></tbody></table> <p>SEALANT PRIMERS</p> <table><thead><tr><th>ARCHITECTURAL</th><th></th></tr></thead><tbody><tr><td>NON-POROUS</td><td>250</td></tr><tr><td>POROUS</td><td>775</td></tr><tr><td>MODIFIED BITUMINOUS</td><td>500</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>OTHER</td><td>750</td></tr></tbody></table>	SEALANTS	VOC LIMIT	ARCHITECTURAL	250	MARINE DECK	760	NONMEMBRANE ROOF	300	ROADWAY	250	SINGLE-PLY ROOF MEMBRANE	450	OTHER	420	ARCHITECTURAL		NON-POROUS	250	POROUS	775	MODIFIED BITUMINOUS	500	MARINE DECK	760	OTHER	750	<p>TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS.^{2,3}</p> <table><thead><tr><th>GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS</th><th></th></tr></thead><tbody><tr><td>COATING CATEGORY</td><td>VOC LIMIT</td></tr><tr><td>FLAT COATINGS</td><td>50</td></tr><tr><td>NON-FLAT COATINGS</td><td>100</td></tr><tr><td>NONFLAT-HIGH GLOSS COATINGS</td><td>150</td></tr><tr><td>SPECIALTY COATINGS</td><td></td></tr><tr><td>ALUMINUM ROOF COATINGS</td><td>400</td></tr><tr><td>BASEMENT SPECIALTY COATINGS</td><td>400</td></tr><tr><td>BITUMINOUS ROOF COATINGS</td><td>50</td></tr><tr><td>BITUMINOUS ROOF PRIMERS</td><td>350</td></tr><tr><td>BOND BREAKERS</td><td>350</td></tr><tr><td>CONCRETE CURING COMPOUNDS</td><td>350</td></tr><tr><td>CONCRETE/MASONRY SEALERS</td><td>100</td></tr><tr><td>DRIVEWAY SEALERS</td><td>50</td></tr><tr><td>DRY FOG COATINGS</td><td>150</td></tr><tr><td>EAUX FINISHING COATINGS</td><td>350</td></tr><tr><td>FIRE-RESISTIVE COATINGS</td><td>350</td></tr><tr><td>FLOOR COATINGS</td><td>100</td></tr><tr><td>FORM-RELEASE COMPOUNDS</td><td>250</td></tr><tr><td>GRAPHIC ARTS COATINGS (SIGN PAINTS)</td><td>500</td></tr><tr><td>HIGH TEMPERATURE COATINGS</td><td>420</td></tr><tr><td>INDUSTRIAL MAINTENANCE COATINGS</td><td>250</td></tr><tr><td>LOW SOLIDS COATINGS¹</td><td>120</td></tr><tr><td>MAGNESITE CEMENT COATINGS</td><td>450</td></tr><tr><td>MASTIC TEXTURE COATINGS</td><td>100</td></tr><tr><td>METALLIC PIGMENTED COATINGS</td><td>500</td></tr><tr><td>MULTICOLOR COATINGS</td><td>250</td></tr><tr><td>PRETREATMENT WASH PRIMERS</td><td>420</td></tr><tr><td>PRIMERS, SEALERS, & UNDERCOATERS</td><td>100</td></tr><tr><td>REACTIVE PENETRATING SEALERS</td><td>350</td></tr><tr><td>RECYCLED COATINGS</td><td>250</td></tr><tr><td>ROOF COATINGS</td><td>50</td></tr><tr><td>RUST PREVENTATIVE COATINGS</td><td>250</td></tr><tr><td>SHELLACS</td><td></td></tr><tr><td>CLEAR</td><td>730</td></tr><tr><td>OPAQUE</td><td>550</td></tr><tr><td>SPECIALTY PRIMERS, SEALERS & UNDERCOATERS</td><td>100</td></tr><tr><td>STAINS</td><td>250</td></tr><tr><td>STONE CONSOLIDANTS</td><td>450</td></tr><tr><td>SWIMMING POOL COATINGS</td><td>340</td></tr><tr><td>TRAFFIC MARKING COATINGS</td><td>100</td></tr><tr><td>TUB & TILE REFINISH COATINGS</td><td>420</td></tr><tr><td>WATERPROOFING MEMBRANES</td><td>250</td></tr><tr><td>WOOD COATINGS</td><td>275</td></tr><tr><td>WOOD PRESERVATIVES</td><td>350</td></tr><tr><td>ZINC-RICH PRIMERS</td><td>340</td></tr></tbody></table> <p>1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS</p> <p>2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.</p> <p>3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.</p>	GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		COATING CATEGORY	VOC LIMIT	FLAT COATINGS	50	NON-FLAT COATINGS	100	NONFLAT-HIGH GLOSS COATINGS	150	SPECIALTY COATINGS		ALUMINUM ROOF COATINGS	400	BASEMENT SPECIALTY COATINGS	400	BITUMINOUS ROOF COATINGS	50	BITUMINOUS ROOF PRIMERS	350	BOND BREAKERS	350	CONCRETE CURING COMPOUNDS	350	CONCRETE/MASONRY SEALERS	100	DRIVEWAY SEALERS	50	DRY FOG COATINGS	150	EAUX FINISHING COATINGS	350	FIRE-RESISTIVE COATINGS	350	FLOOR COATINGS	100	FORM-RELEASE COMPOUNDS	250	GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	HIGH TEMPERATURE COATINGS	420	INDUSTRIAL MAINTENANCE COATINGS	250	LOW SOLIDS COATINGS ¹	120	MAGNESITE CEMENT COATINGS	450	MASTIC TEXTURE COATINGS	100	METALLIC PIGMENTED COATINGS	500	MULTICOLOR COATINGS	250	PRETREATMENT WASH PRIMERS	420	PRIMERS, SEALERS, & UNDERCOATERS	100	REACTIVE PENETRATING SEALERS	350	RECYCLED COATINGS	250	ROOF COATINGS	50	RUST PREVENTATIVE COATINGS	250	SHELLACS		CLEAR	730	OPAQUE	550	SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	STAINS	250	STONE CONSOLIDANTS	450	SWIMMING POOL COATINGS	340	TRAFFIC MARKING COATINGS	100	TUB & TILE REFINISH COATINGS	420	WATERPROOFING MEMBRANES	250	WOOD COATINGS	275	WOOD PRESERVATIVES	350	ZINC-RICH PRIMERS	340	<p>TABLE 4.504.5 - FORMALDEHYDE LIMITS:</p> <table><thead><tr><th>PRODUCT</th><th>CURRENT LIMIT</th></tr></thead><tbody><tr><td>HARDWOOD PLYWOOD VENEER CORE</td><td>0.05</td></tr><tr><td>HARDWOOD PLYWOOD COMPOSITE CORE</td><td>0.05</td></tr><tr><td>PARTICLE BOARD</td><td>0.09</td></tr><tr><td>MEDIUM DENSITY FIBERBOARD</td><td>0.11</td></tr><tr><td>THIN MEDIUM DENSITY FIBERBOARD²</td><td>0.13</td></tr></tbody></table> <p>1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.</p> <p>2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).</p>	PRODUCT	CURRENT LIMIT	HARDWOOD PLYWOOD VENEER CORE	0.05	HARDWOOD PLYWOOD COMPOSITE CORE	0.05	PARTICLE BOARD	0.09	MEDIUM DENSITY FIBERBOARD	0.11	THIN MEDIUM DENSITY FIBERBOARD ²	0.13	<p>CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS</p> <p>702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:</p> <ol style="list-style-type: none">State certified apprenticeship programs.Public utility training programs.Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.Programs sponsored by manufacturing organizations.Other programs acceptable to the enforcing agency. <p>702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:</p> <ol style="list-style-type: none">Certification by a national or regional green building program or standard publisher.Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.Successful completion of a third party apprentice training program in the appropriate trade.Other programs acceptable to the enforcing agency. <p>Notes:</p> <ol style="list-style-type: none">Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). <p>[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.</p> <p>Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</p>	<p>703 VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.</p>
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workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT
/ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

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CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

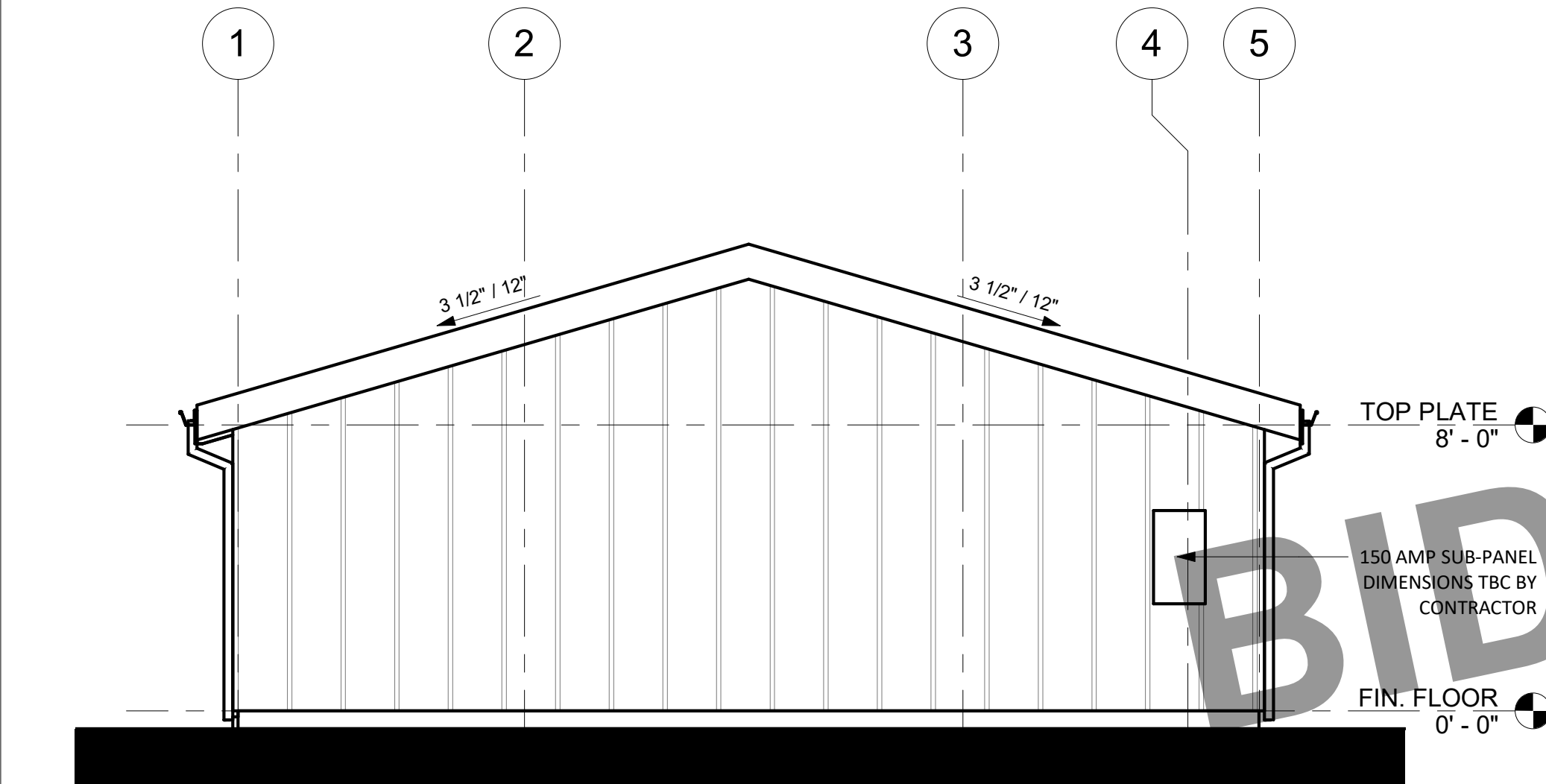
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CAL GREEN/GREEN
BUILDING
REQUIREMENTS

G2.1

SCALE: AS NOTED

RIGHT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



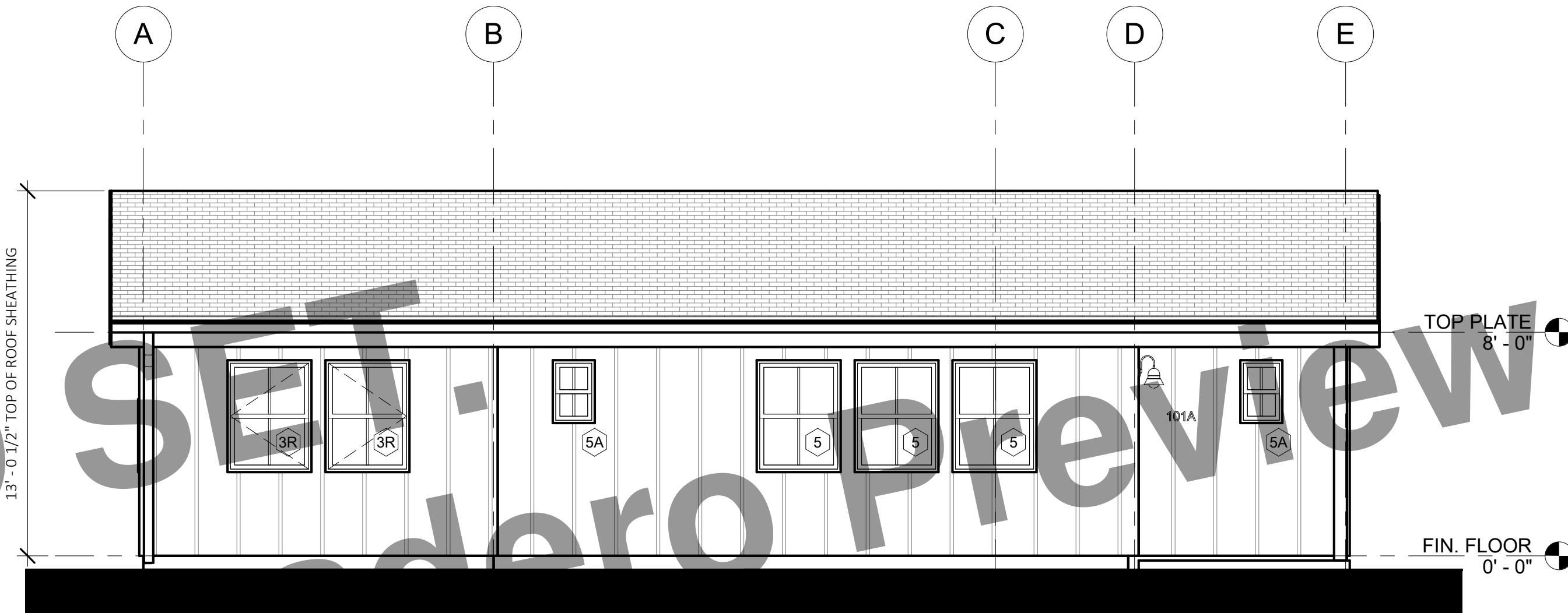
LEFT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



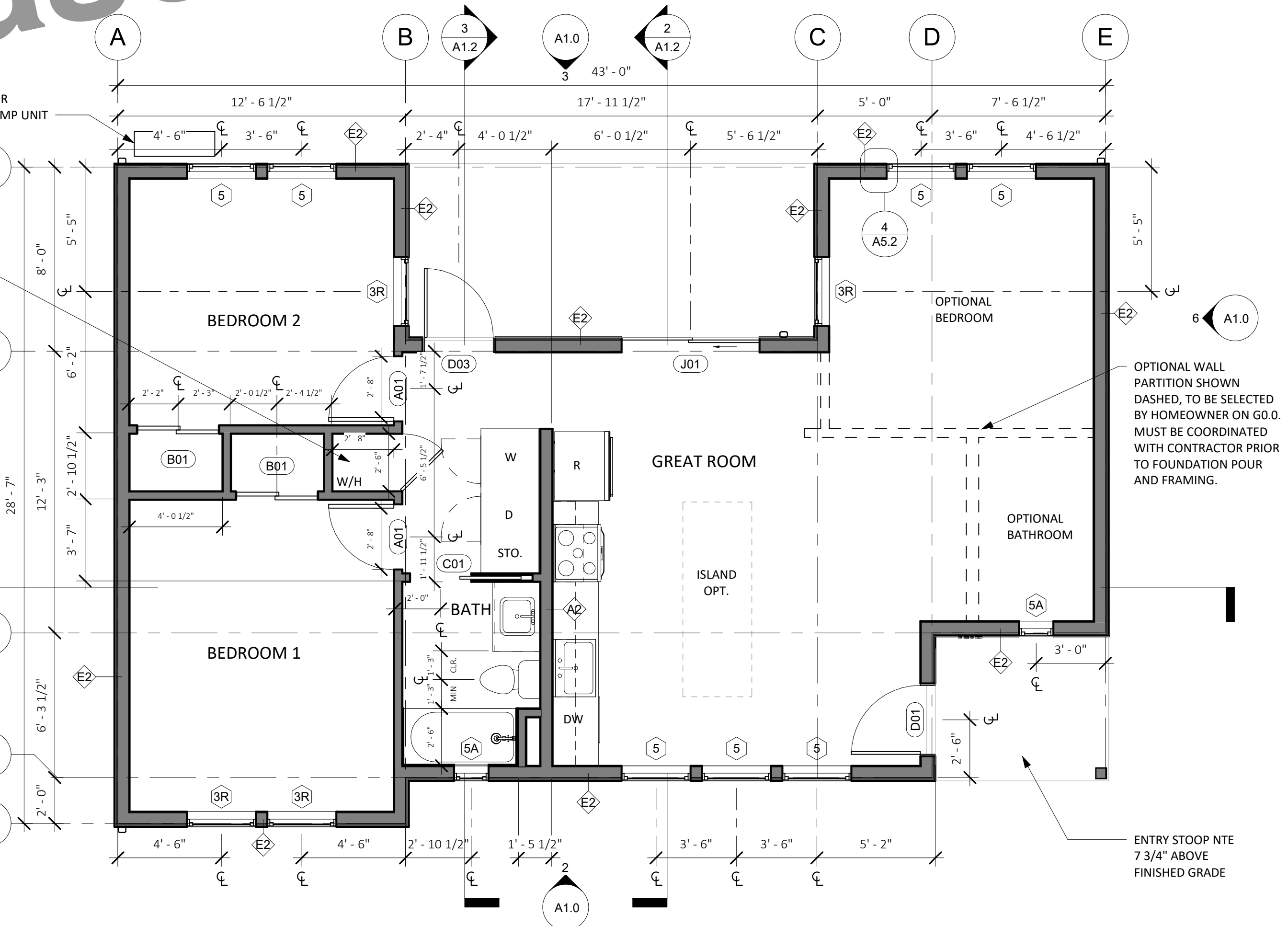
FRONT VIEW - TWO BEDROOM PLUS - COASTAL RANCH
NO SCALE



REAR ELEVATION - COASTAL RANCH
1/4" = 1'-0"



FRONT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

**RANCH - FLOORPLAN
& ELEVATIONS**

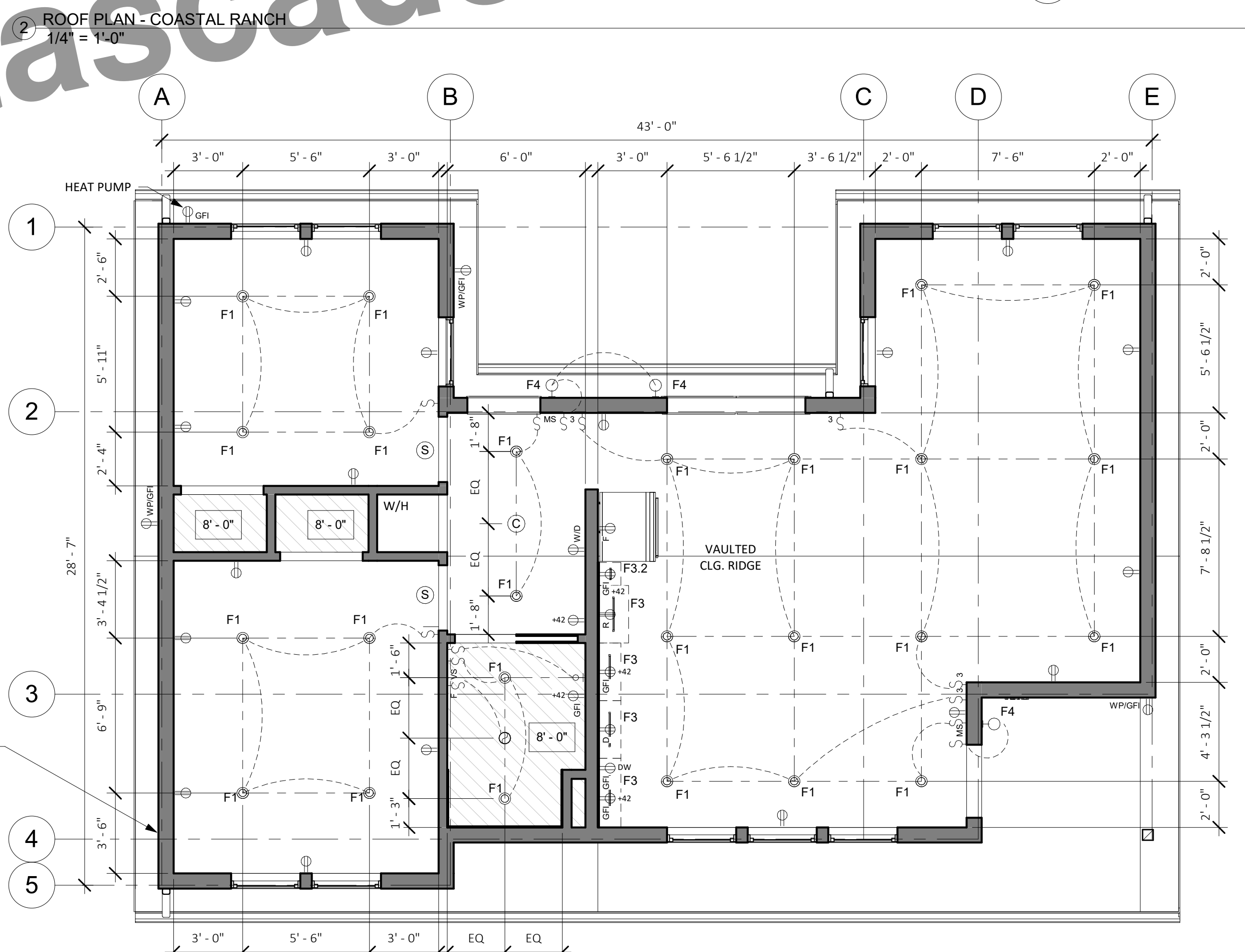
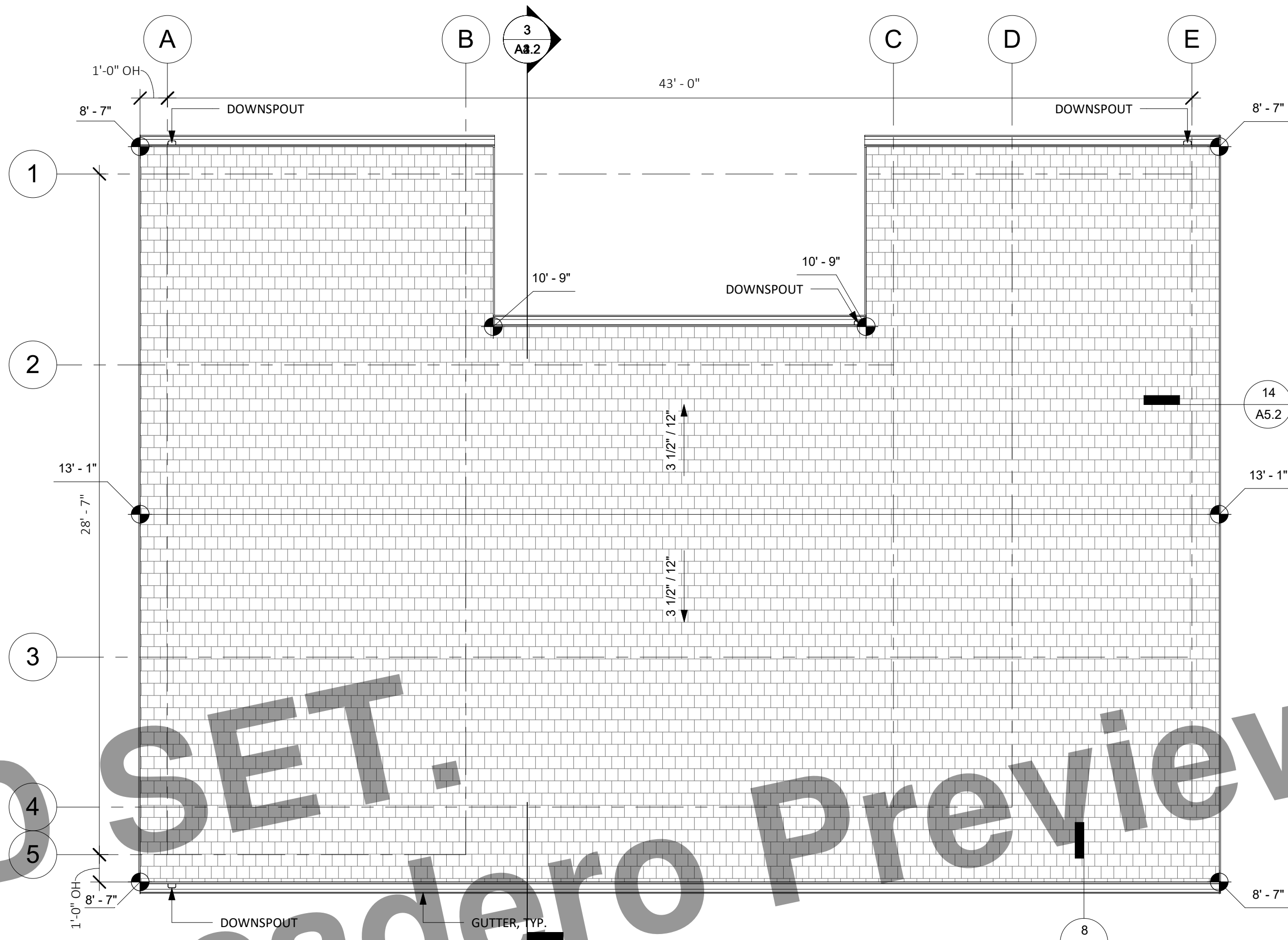
A1.0

SCALE: AS NOTED

BID SET.

City of Atascadero

Preview



1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

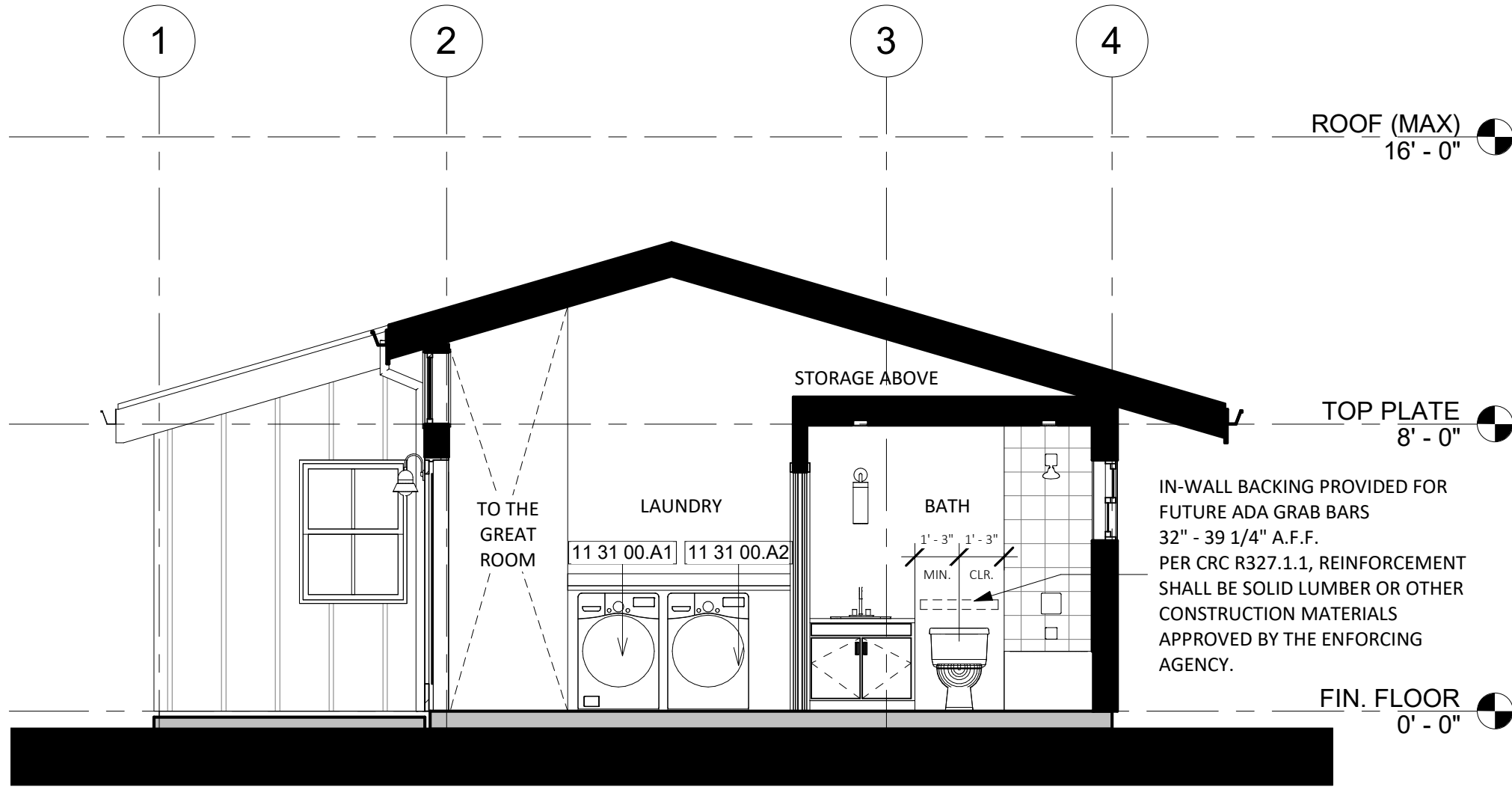
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**RANCH - ROOF PLAN
& RCP**

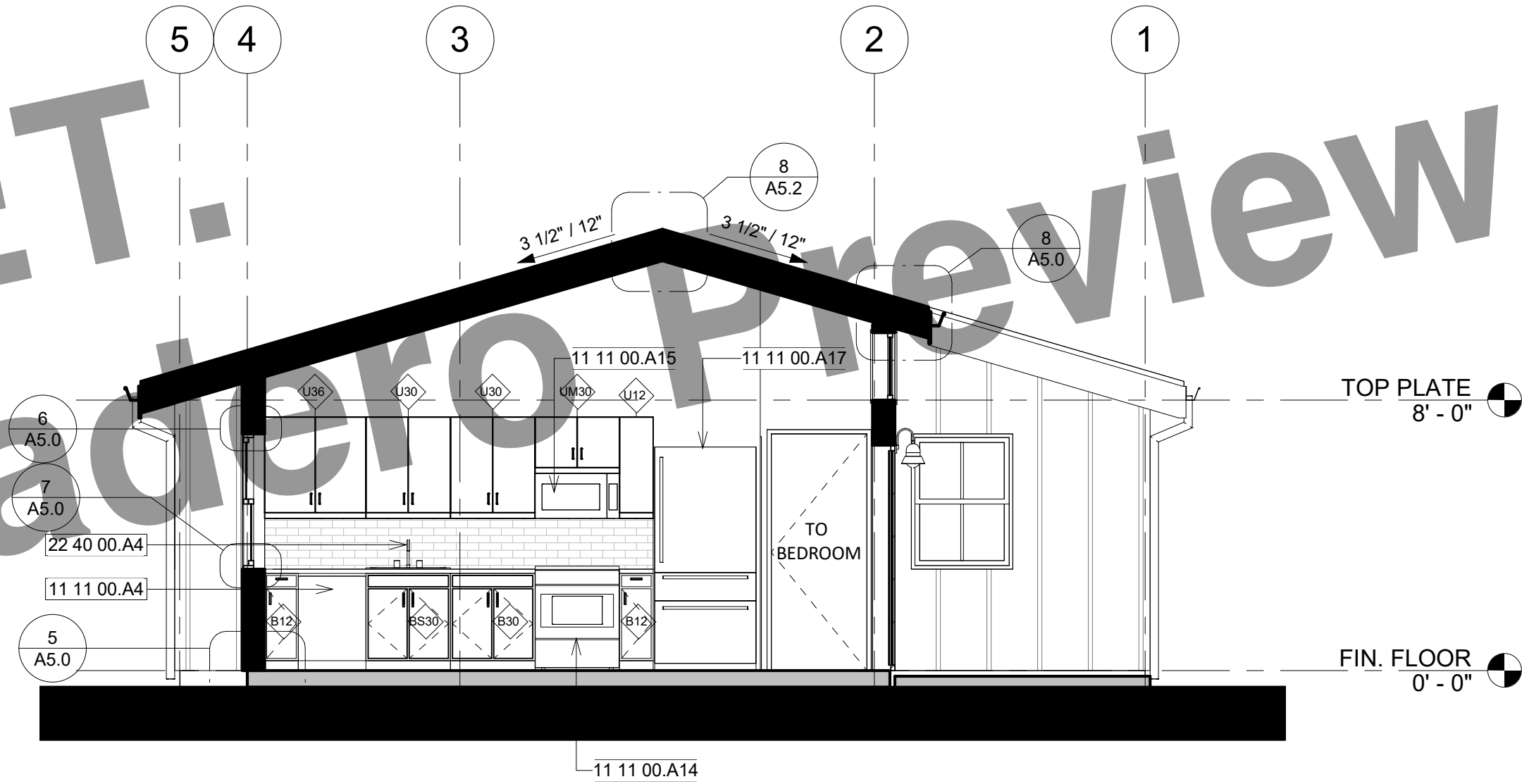
A1.1

SCALE: AS NOTED

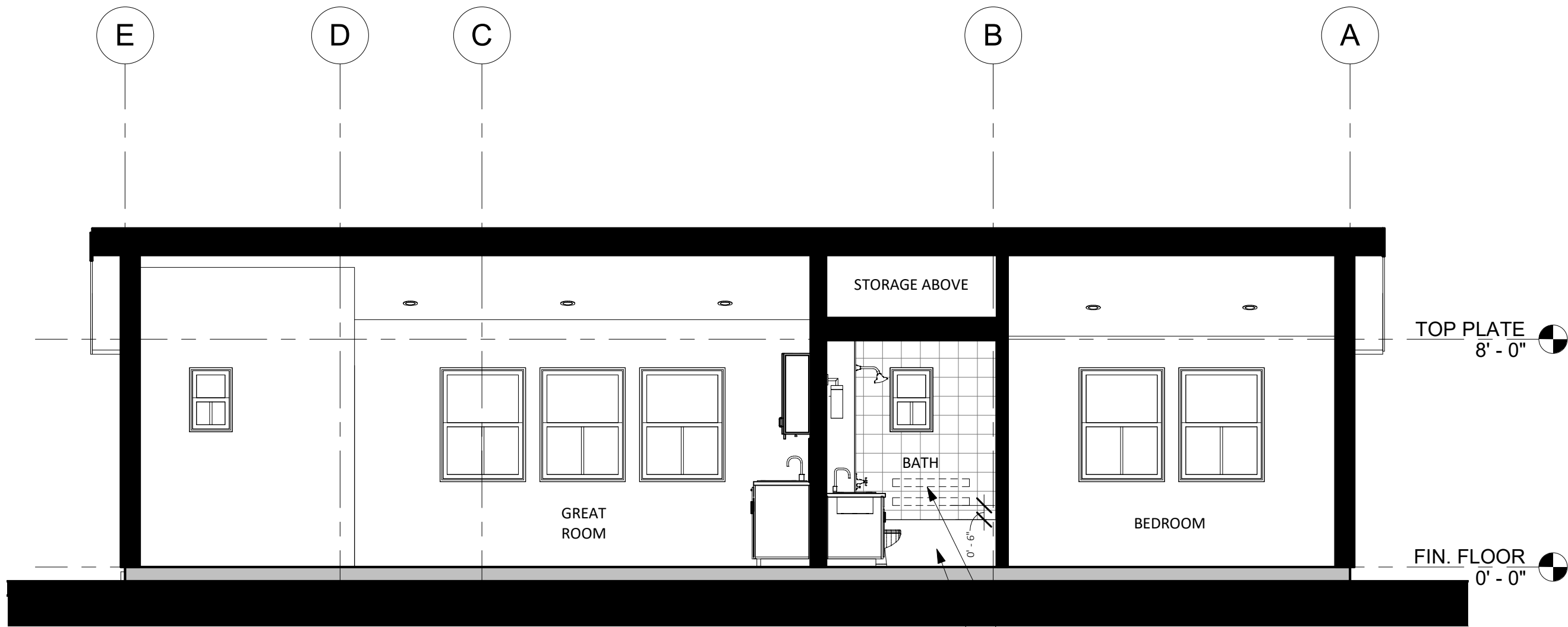
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City of Atascadero



3 SECTION C - COASTAL RANCH
1/4" = 1'-0"



2 SECTION B - COASTAL RANCH
1/4" = 1'-0"



1 SECTION A - COASTAL RANCH
1/4" = 1'-0"

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4 PLUMBING	30" KITCHEN SINK WITH FAUCET
----------------------	------------------------------



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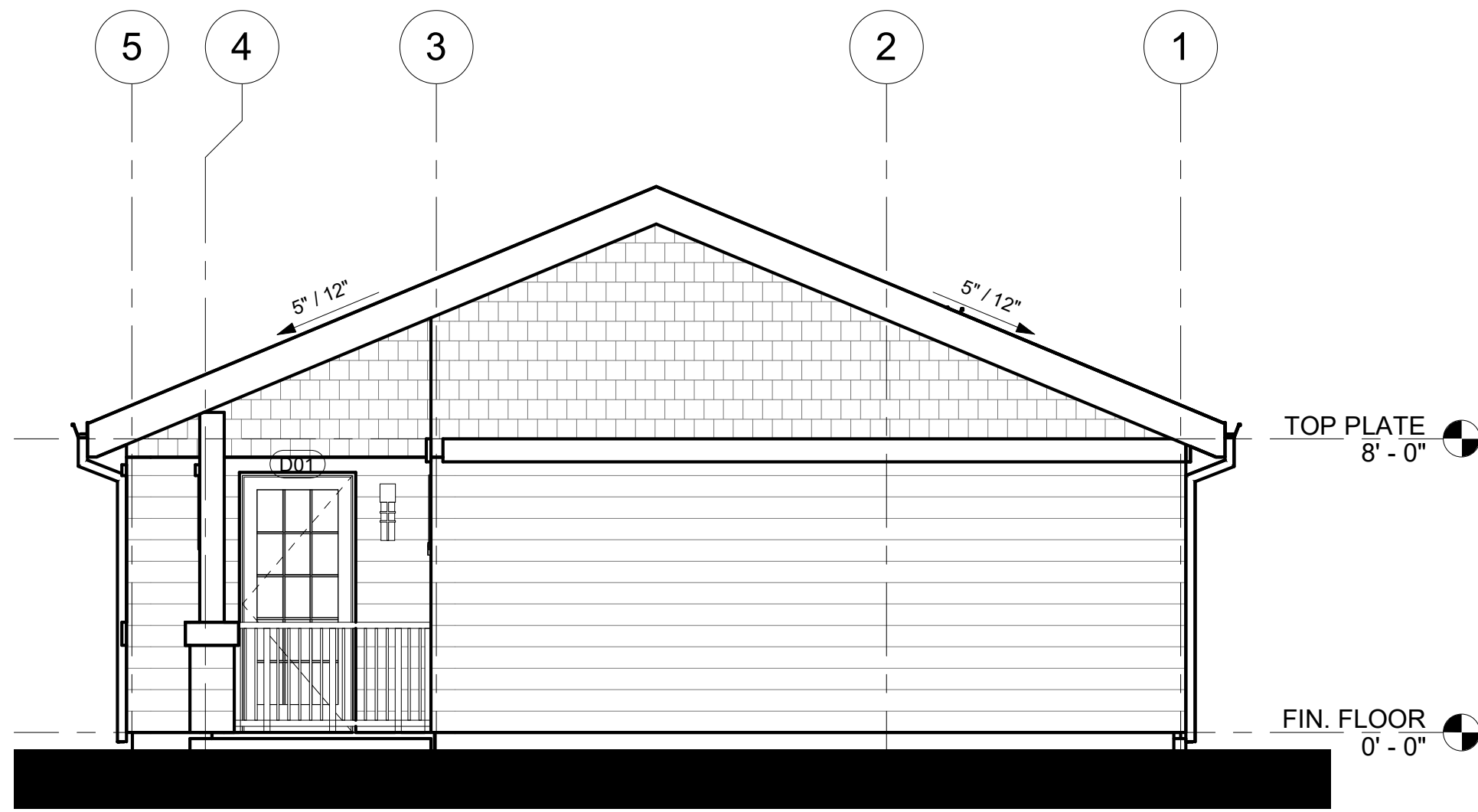
CENTRAL COAST PRE-DESIGNED ADU TWO BEDROOM + OPTIONS 998 GSF

PRINT DATE: XX.XX.XXXX

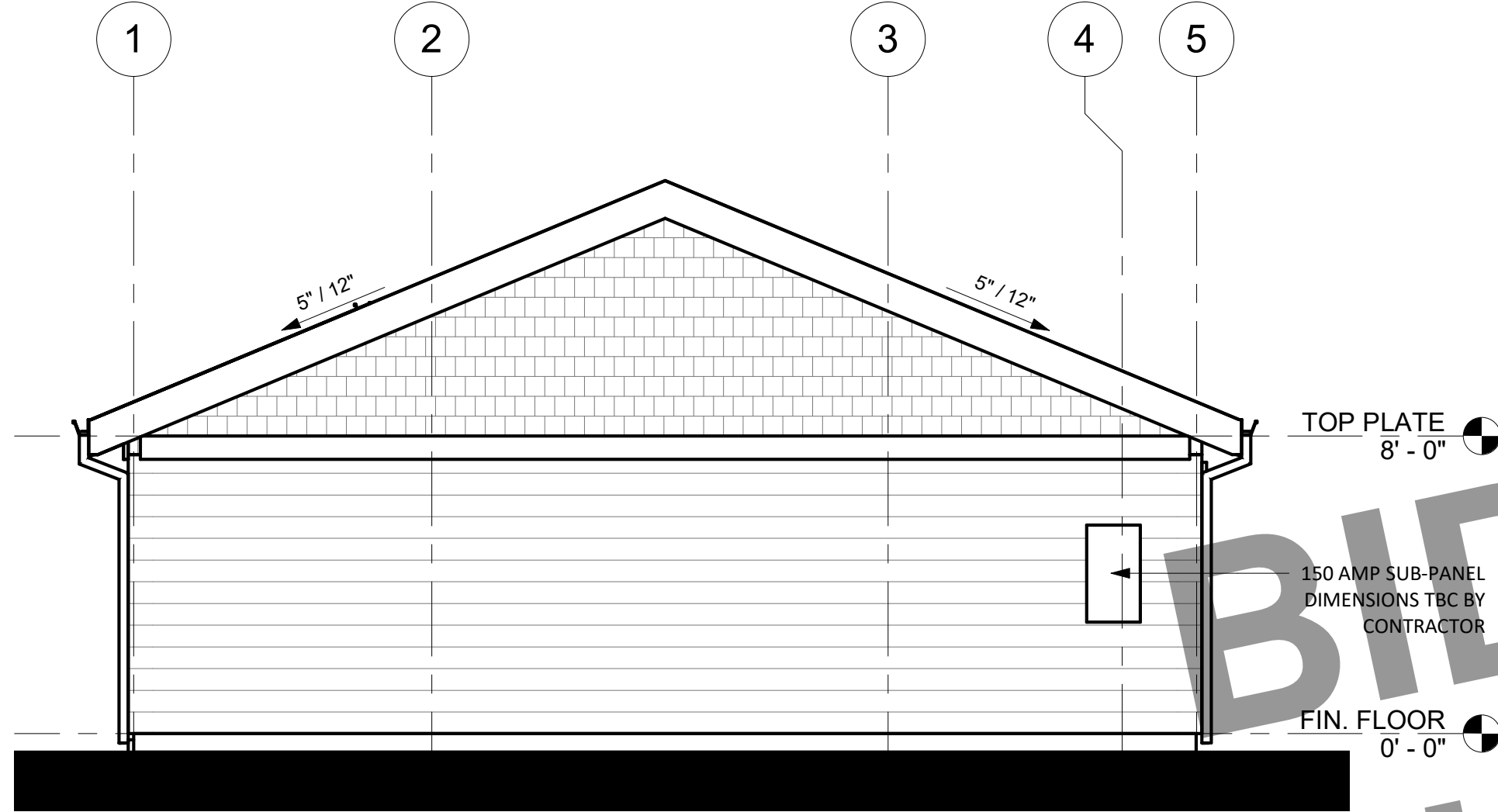
RANCH - SECTIONS

A1.2

SCALE: AS NOTED



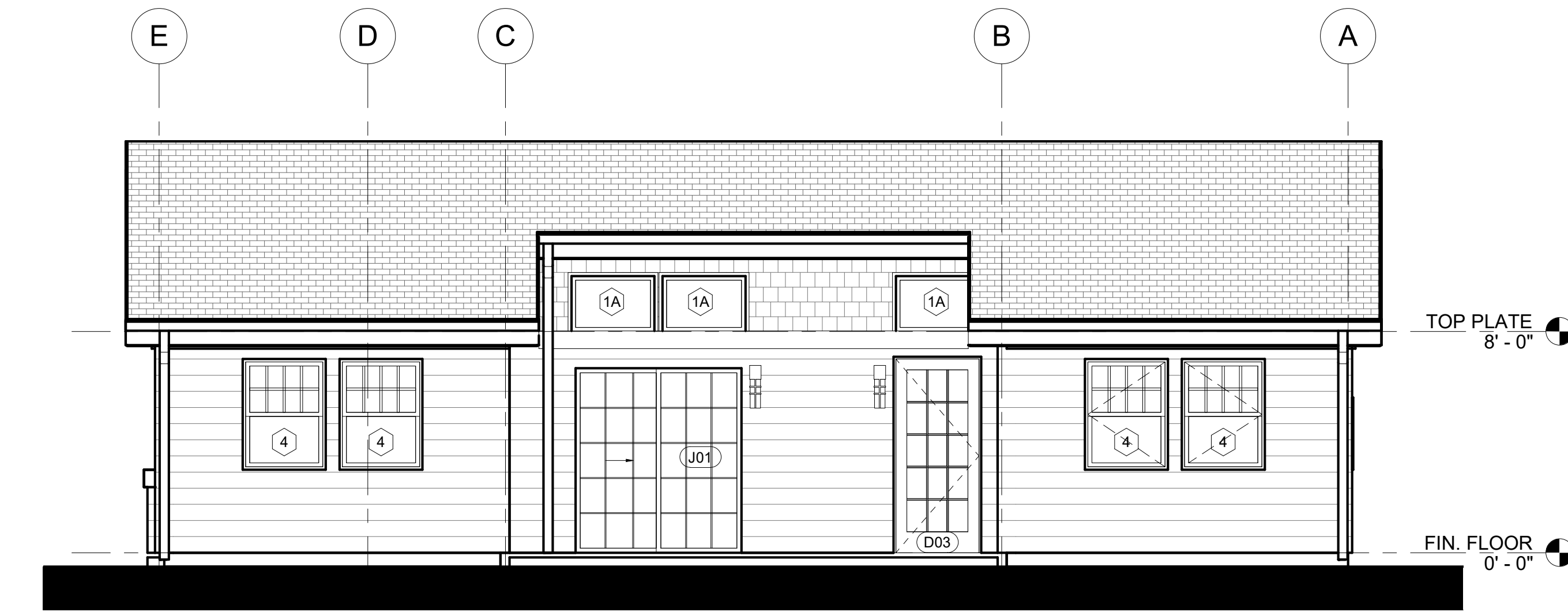
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



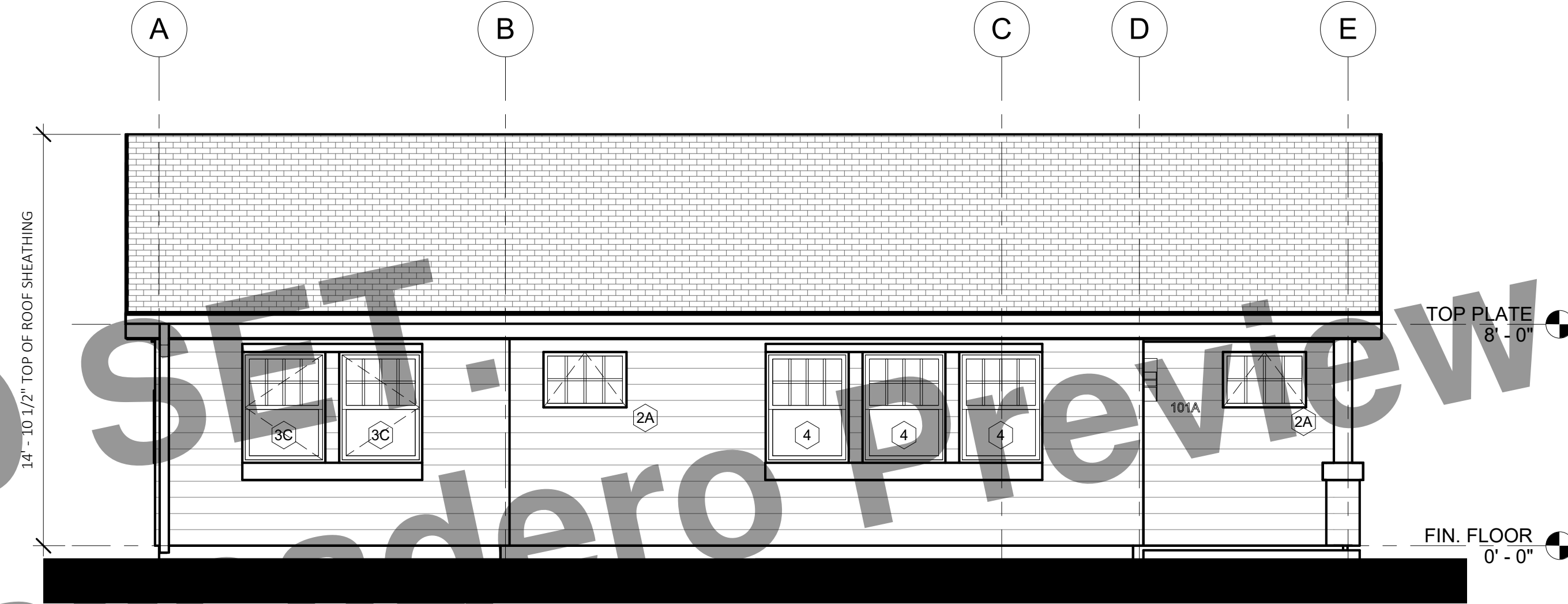
5 LEFT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



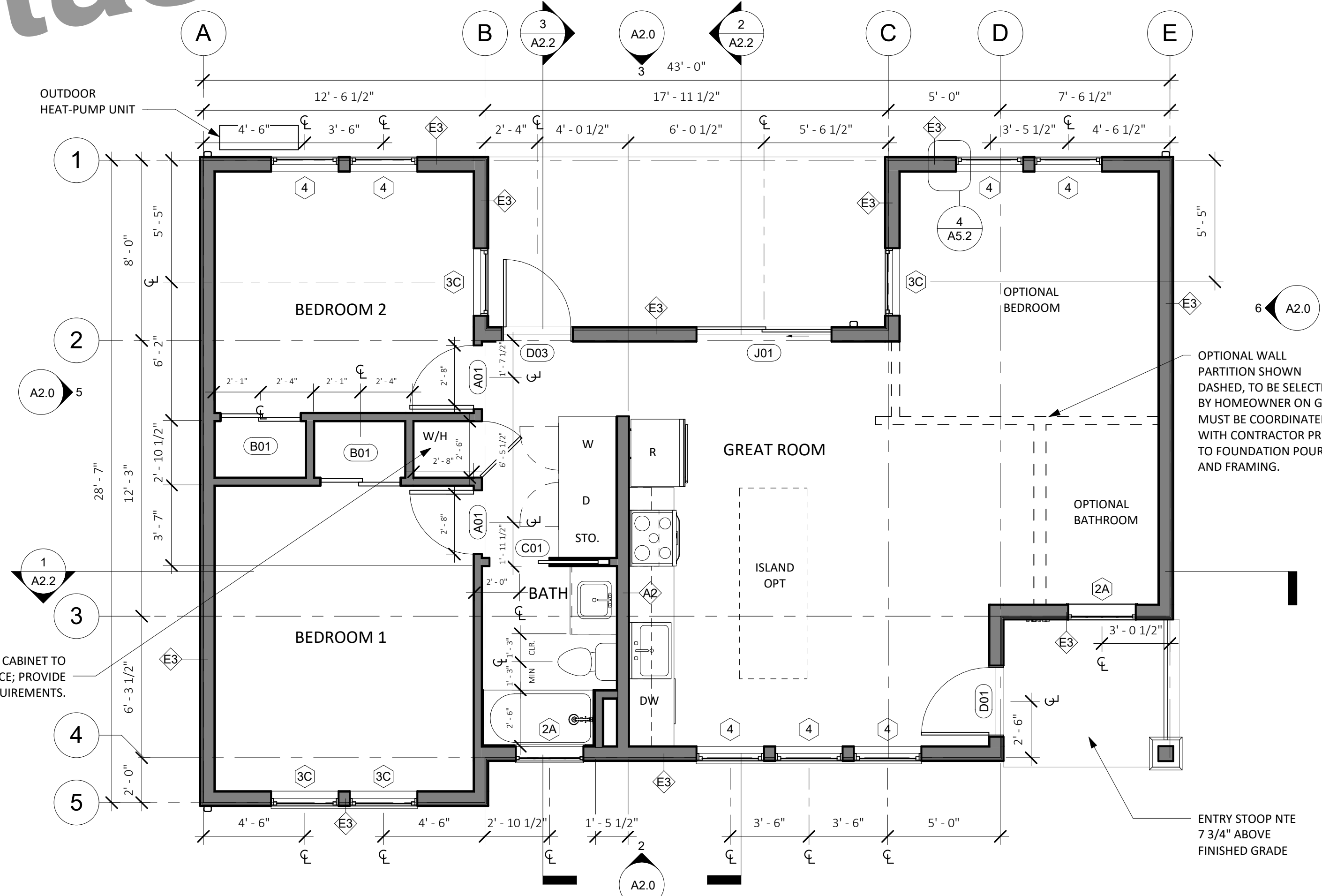
4 FRONT VIEW - TWO BEDROOM PLUS - BACKYARD CRAFTSMAN
NO SCALE



3 REAR ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



2 FRONT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
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- ELEVATION NUMBER
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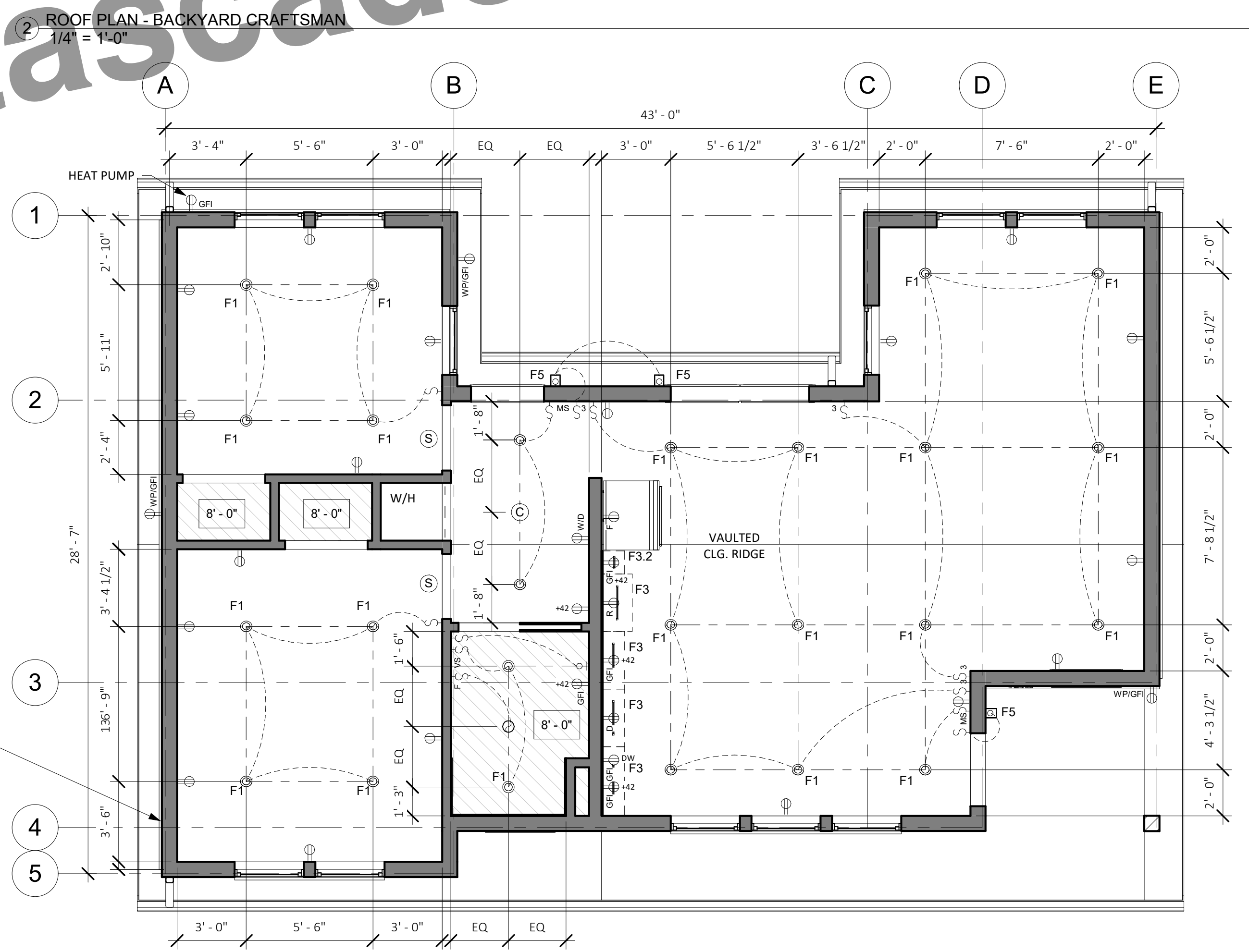
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**CRAFTSMAN -
FLOORPLANS &
ELEVATIONS**

A2.0

SCALE: AS NOTED

BID SET.
City of Atascadero



MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
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5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

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- RECESSED LED DOWN LIGHT
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- LED STRIP LIGHT
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REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
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- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
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REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

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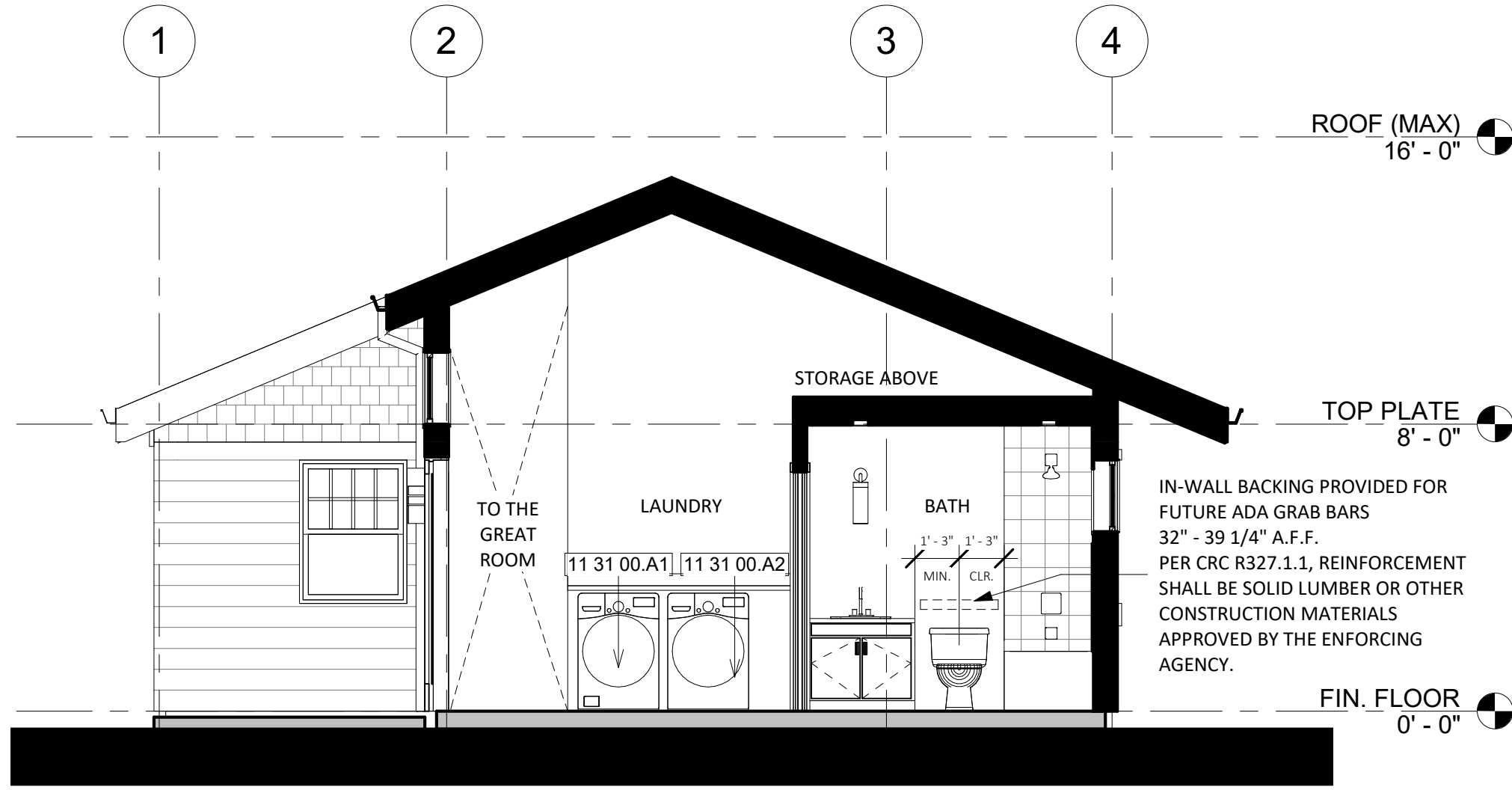
**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

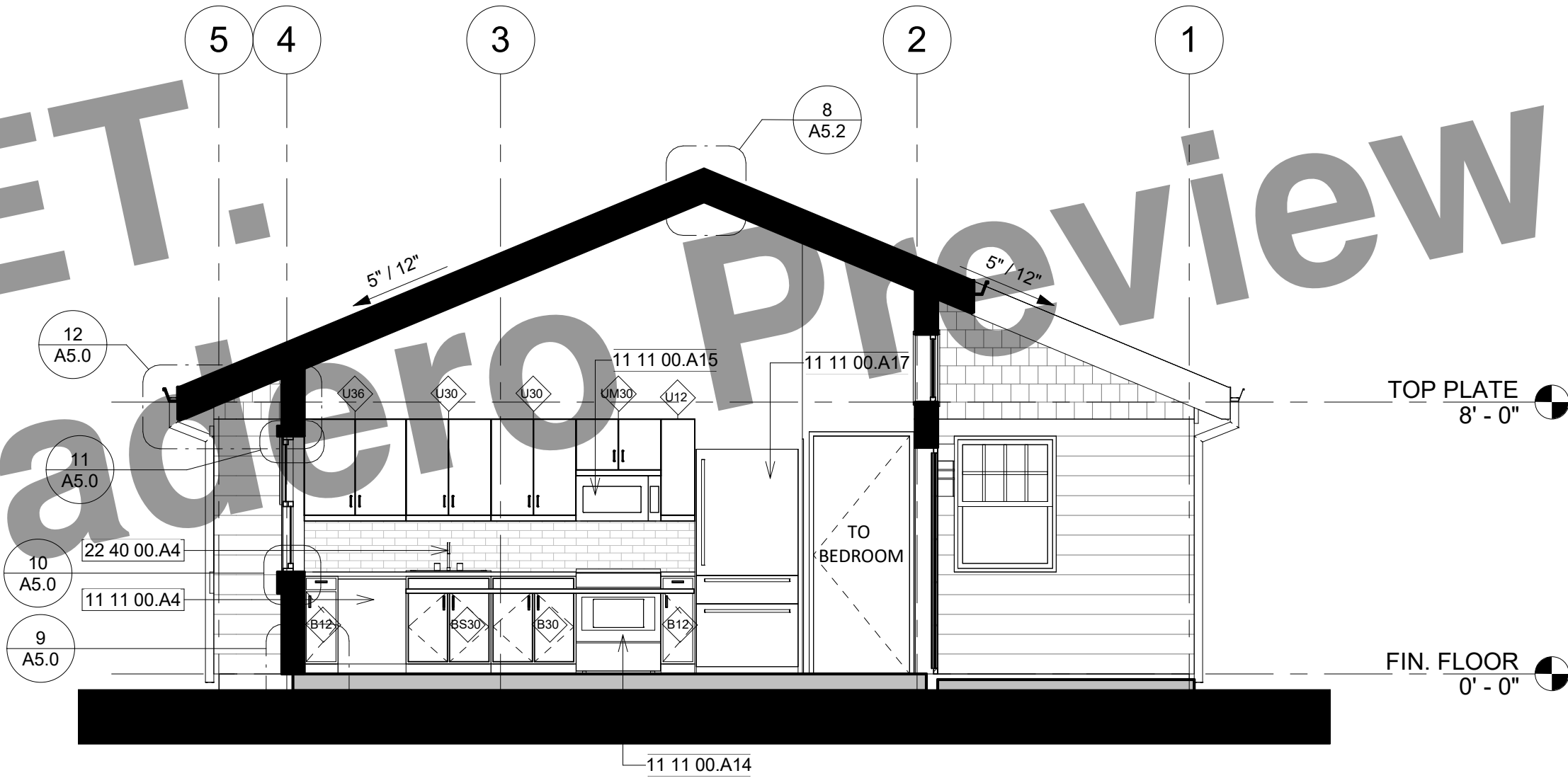
**CRAFTSMAN - ROOF
PLAN & RCP**

A2.1

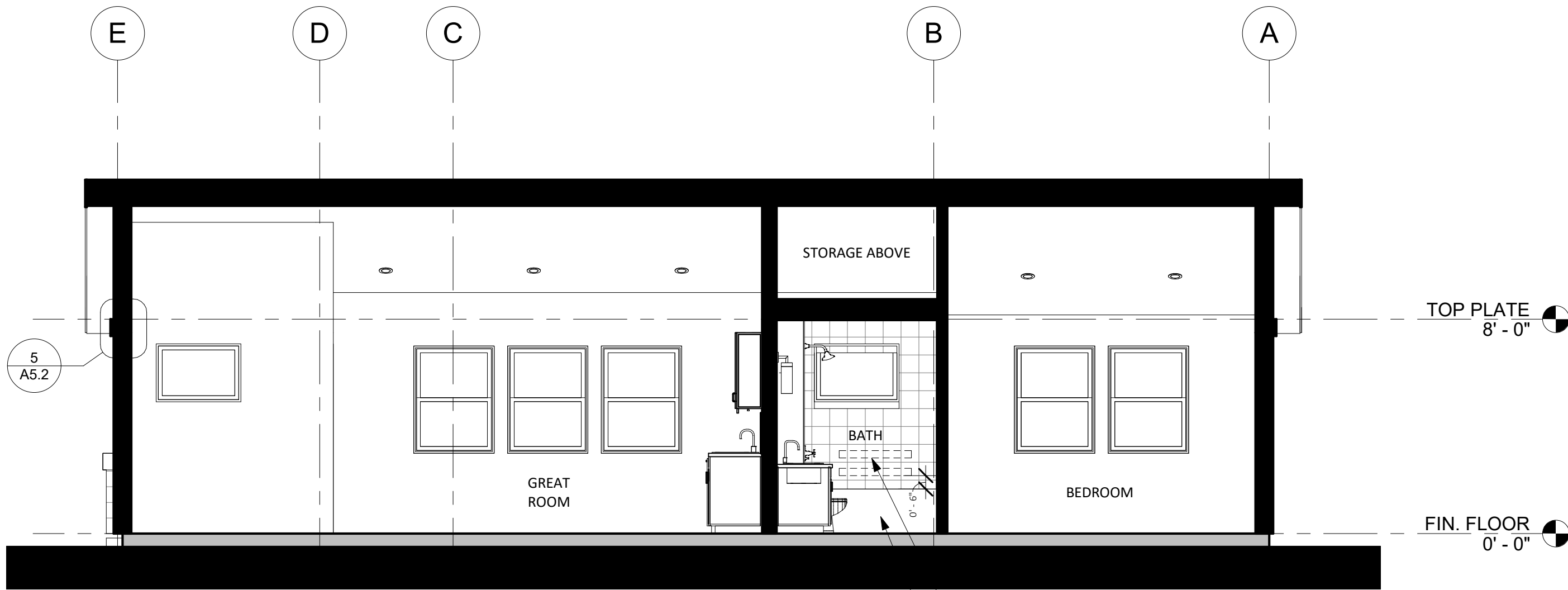
SCALE: AS NOTED



③ SECTION C - BACKYARD CRAFTSMAN
1/4" = 1'-0"



② SECTION 2 - BACKYARD CRAFTSMAN
1/4" = 1'-0"



① SECTION 1 - BACKYARD CRAFTSMAN
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4 PLUMBING	30" KITCHEN SINK WITH FAUCET
----------------------	------------------------------



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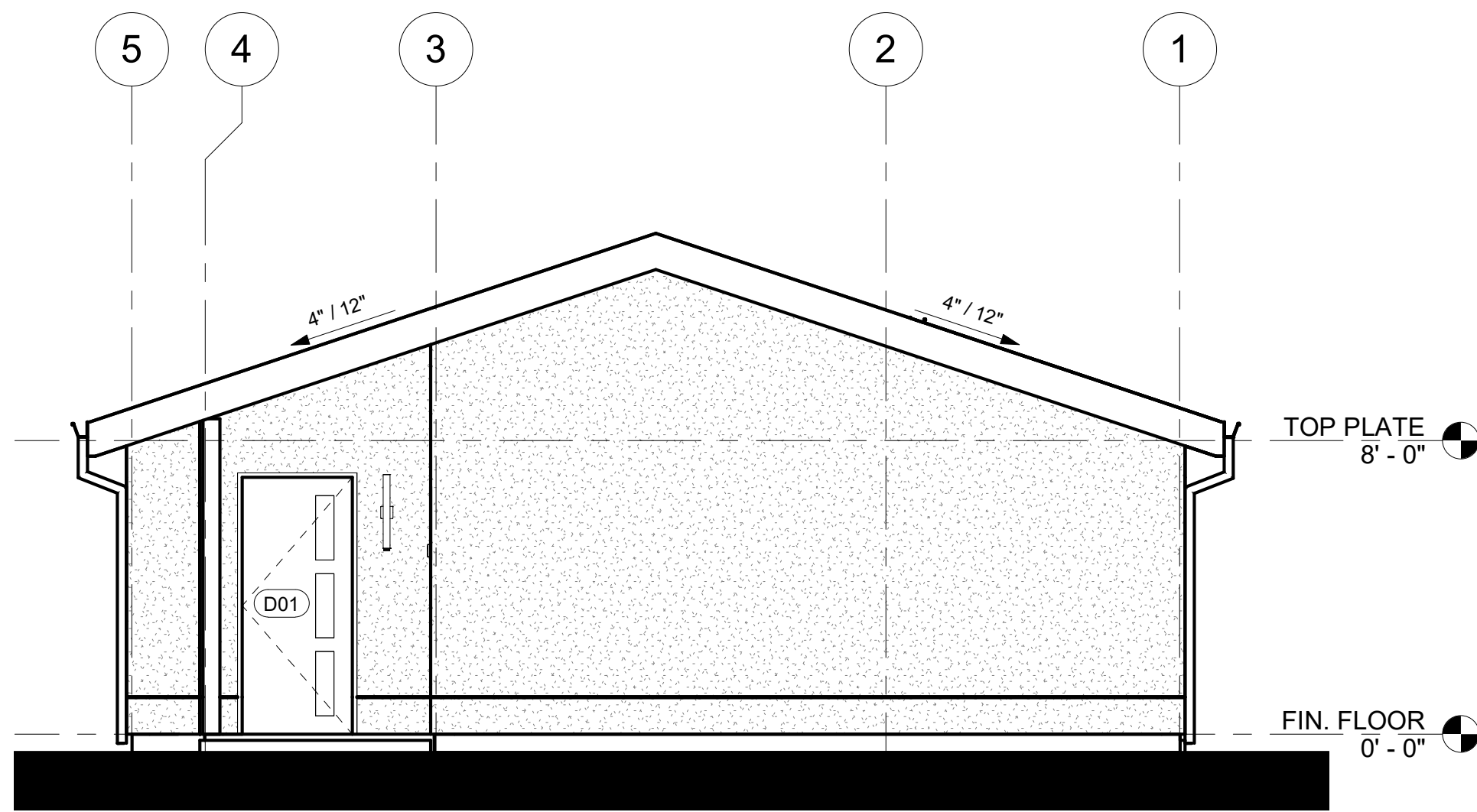
CENTRAL COAST PRE-DESIGNED ADU TWO BEDROOM + OPTIONS 998 GSF

PRINT DATE: XX.XX.XXXX

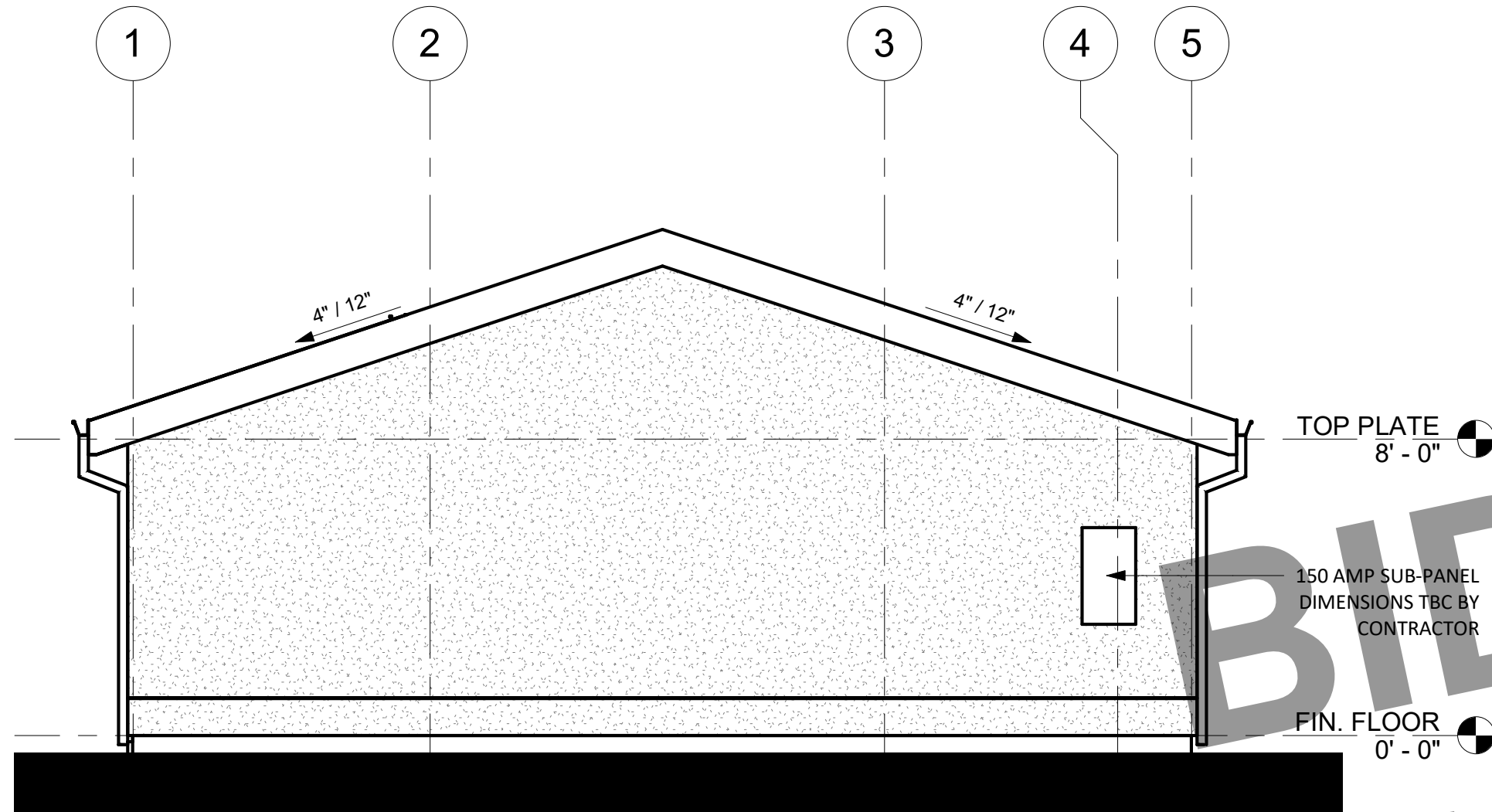
CRAFTSMAN - SECTIONS

A2.2

SCALE: AS NOTED



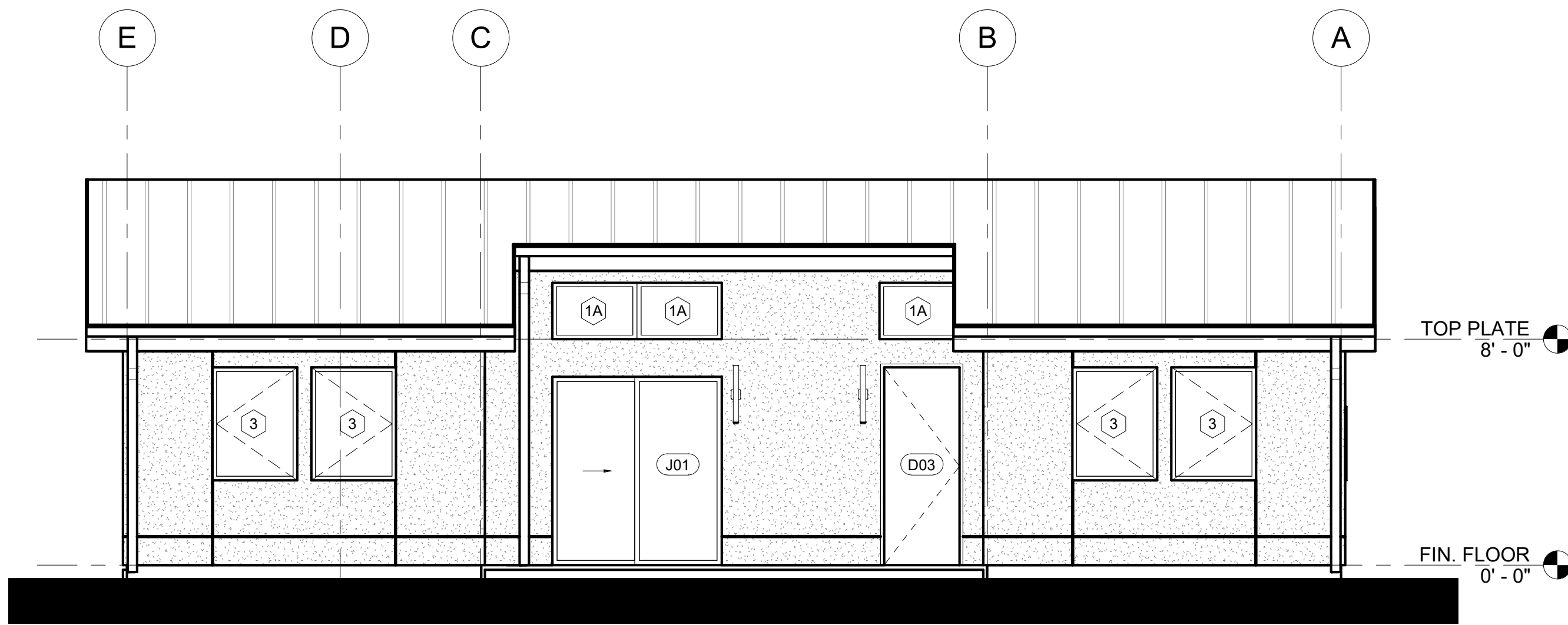
6 RIGHT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



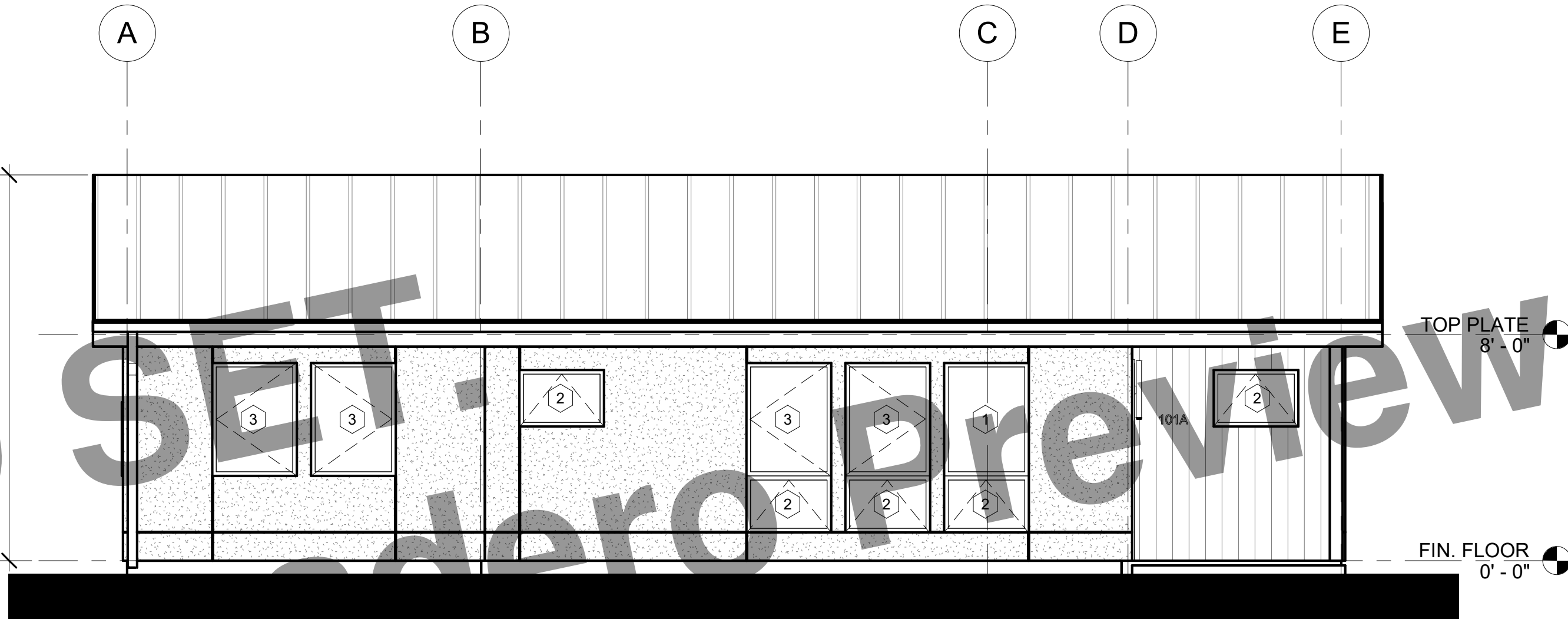
5 LEFT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



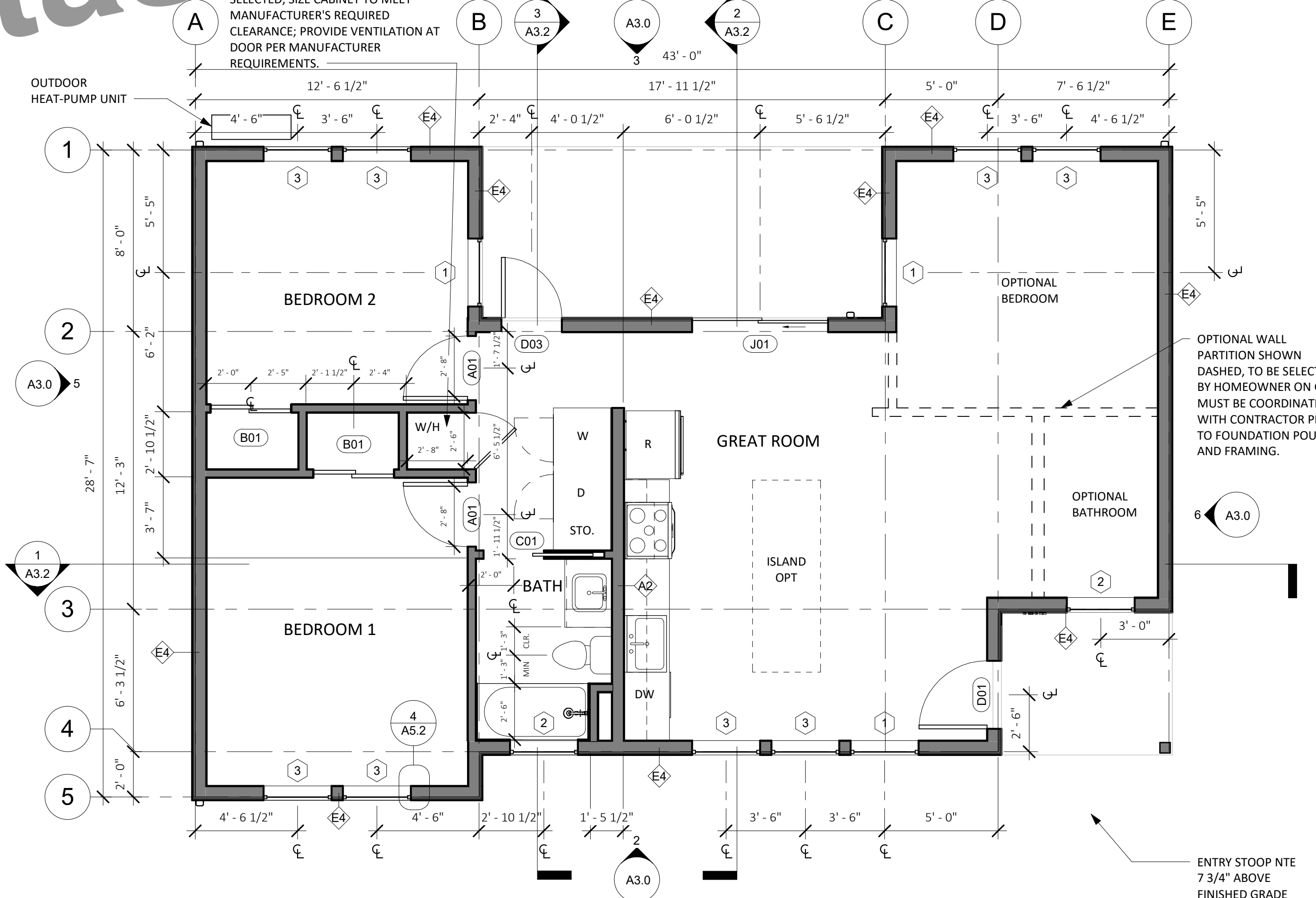
4 FRONT VIEW - TWO BEDROOM PLUS - CALIFORNIA MODERN
NO SCALE



3 REAR ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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**CENTRAL COAST
PRE-DESIGNED ADU**

TWO BEDROOM + OPTIONS
998 GSF

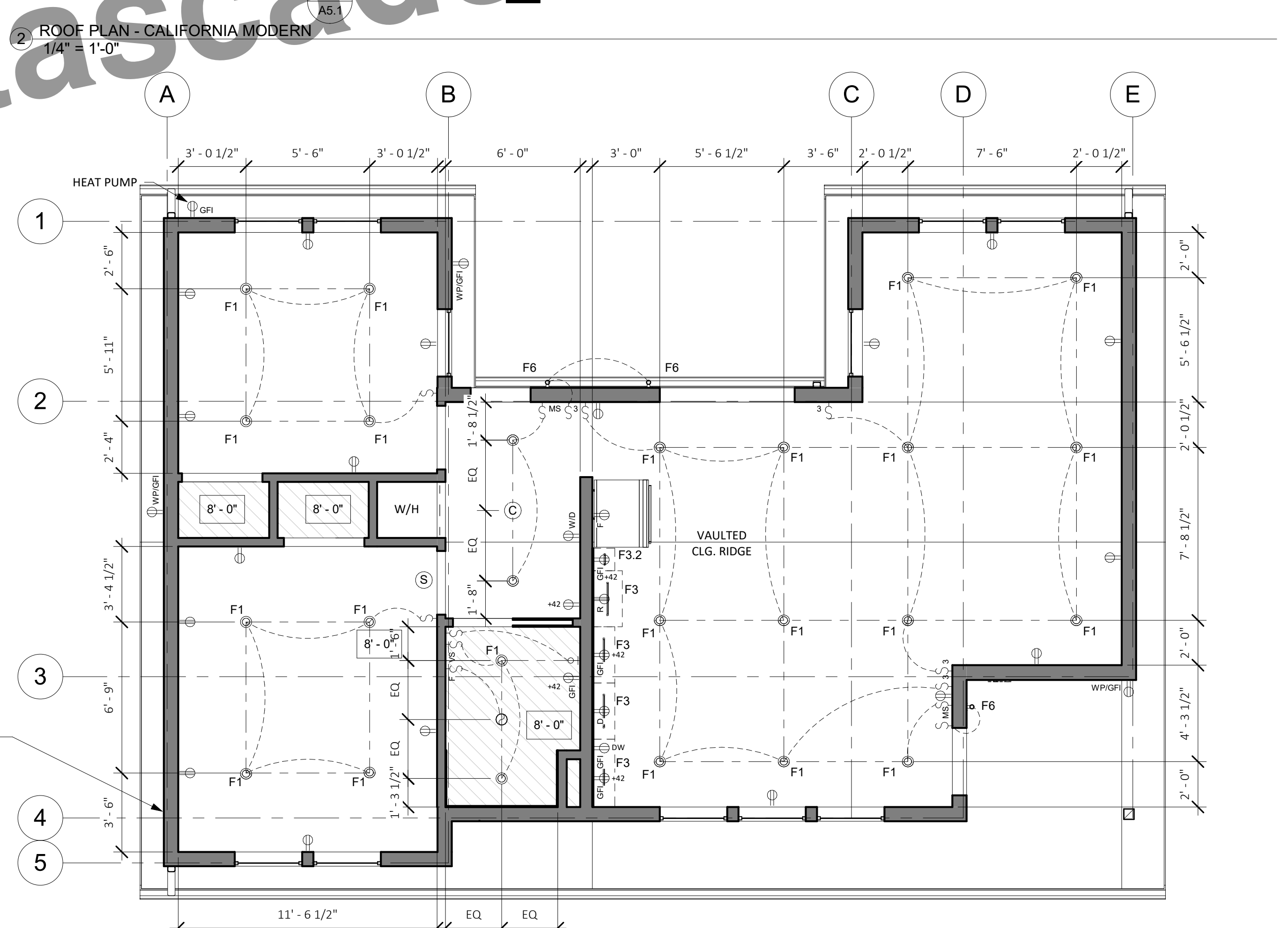
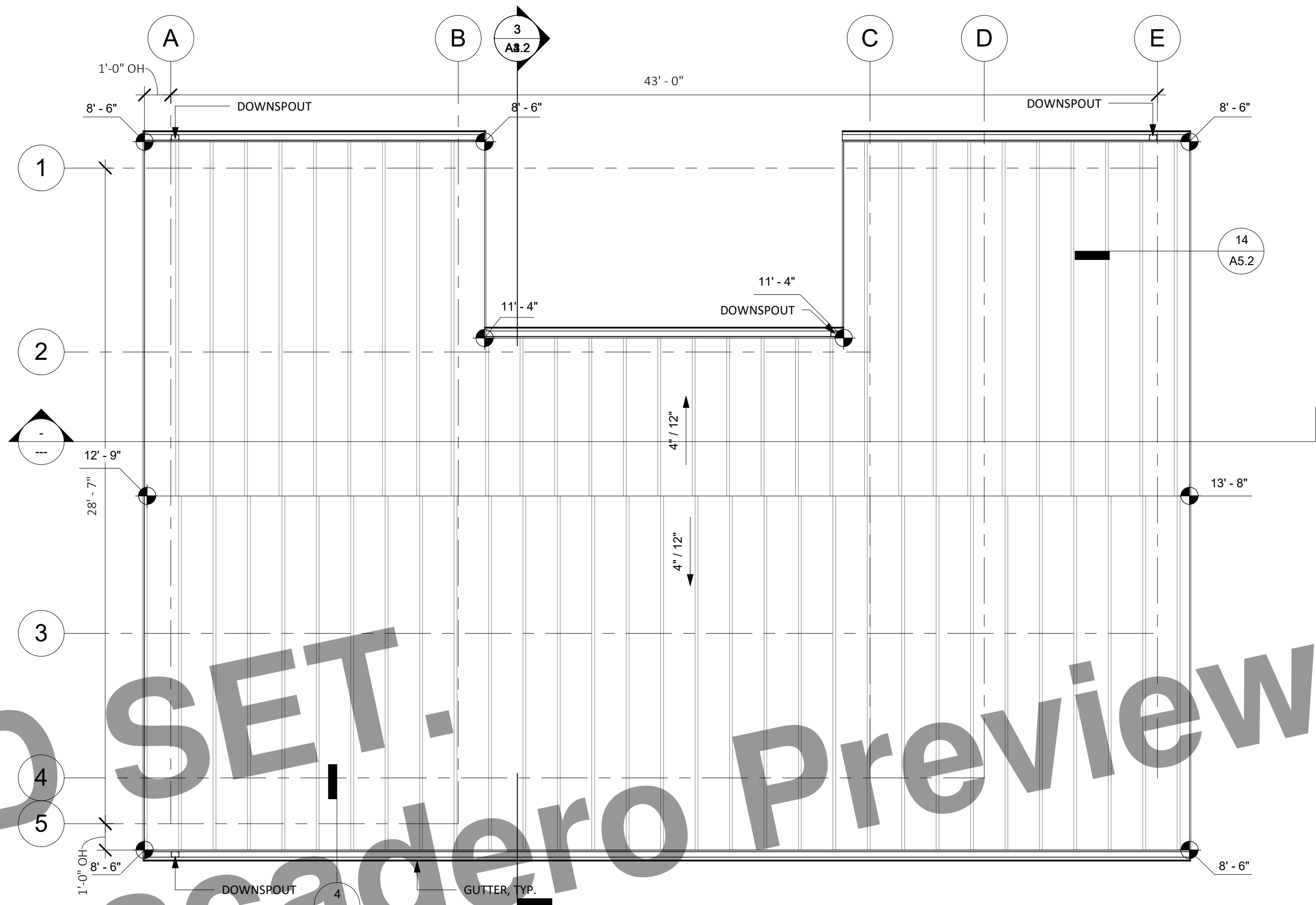
PRINT DATE: XX.XX.XXXX

**MODERN -
FLOORPLANS &
ELEVATIONS**

A3.0

SCALE: AS NOTED

BID SET.
City of Atascadero
Preview



- MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

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2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

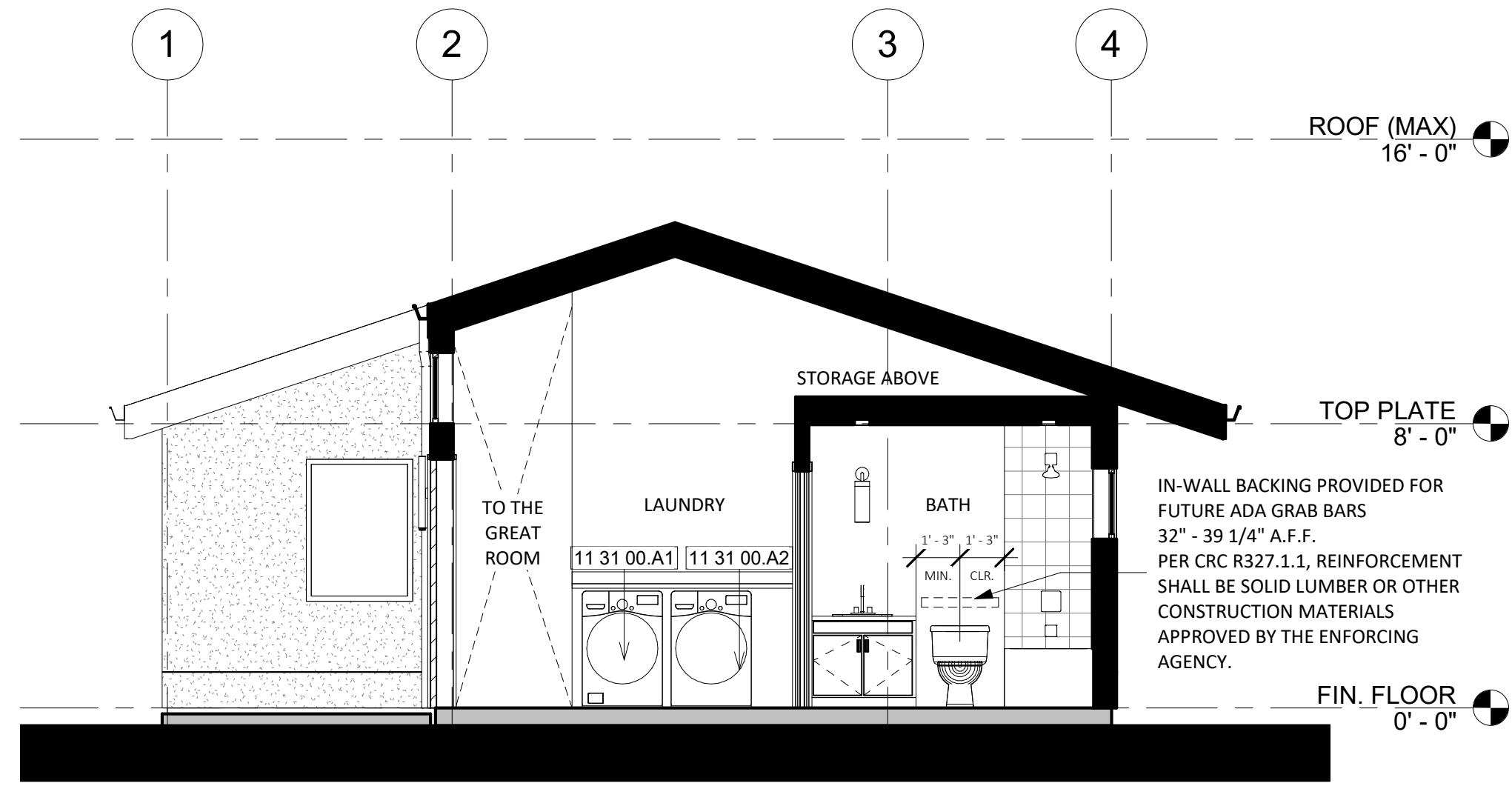
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**MODERN - ROOF
PLAN & RCP**

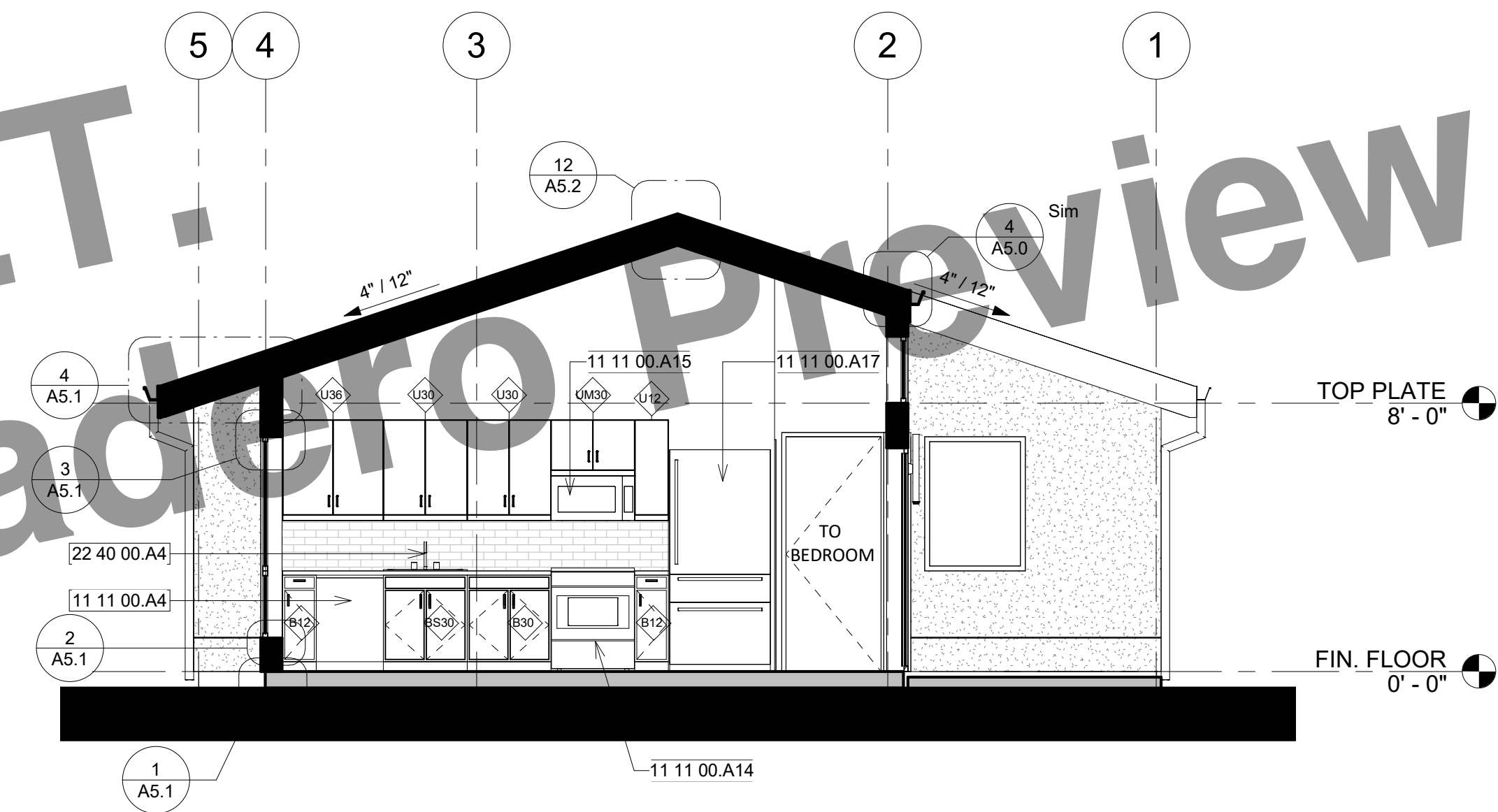
A3.1

SCALE: AS NOTED

BID SET.
City of Atascadero Preview



③ SECTION C - CALIFORNIA MODERN
1/4" = 1'-0"



② SECTION B - CALIFORNIA MODERN
1/4" = 1'-0"



① SECTION A - CALIFORNIA MODERN
1/4" = 1'-0"

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
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11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4 PLUMBING	30" KITCHEN SINK WITH FAUCET
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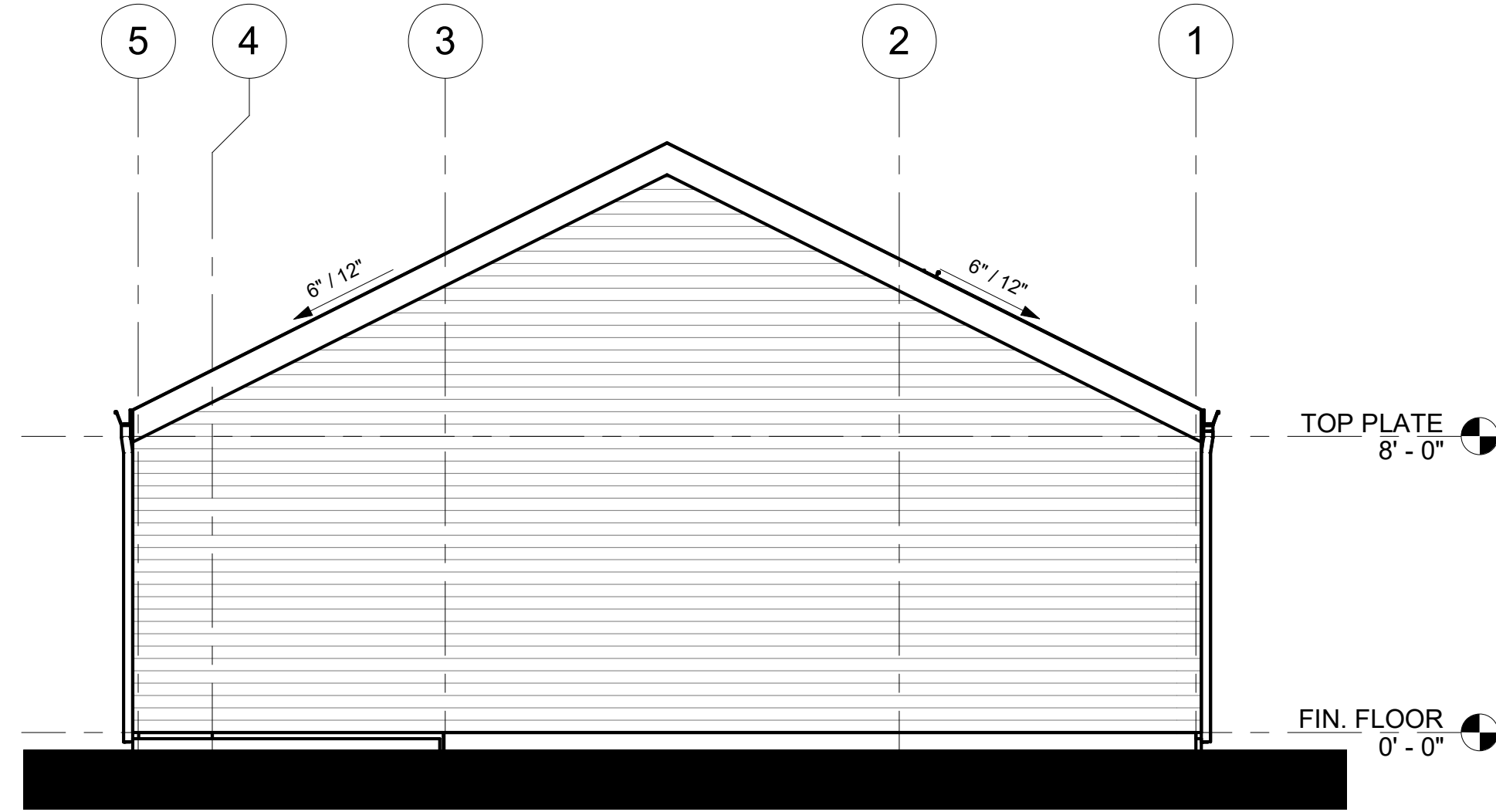
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PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

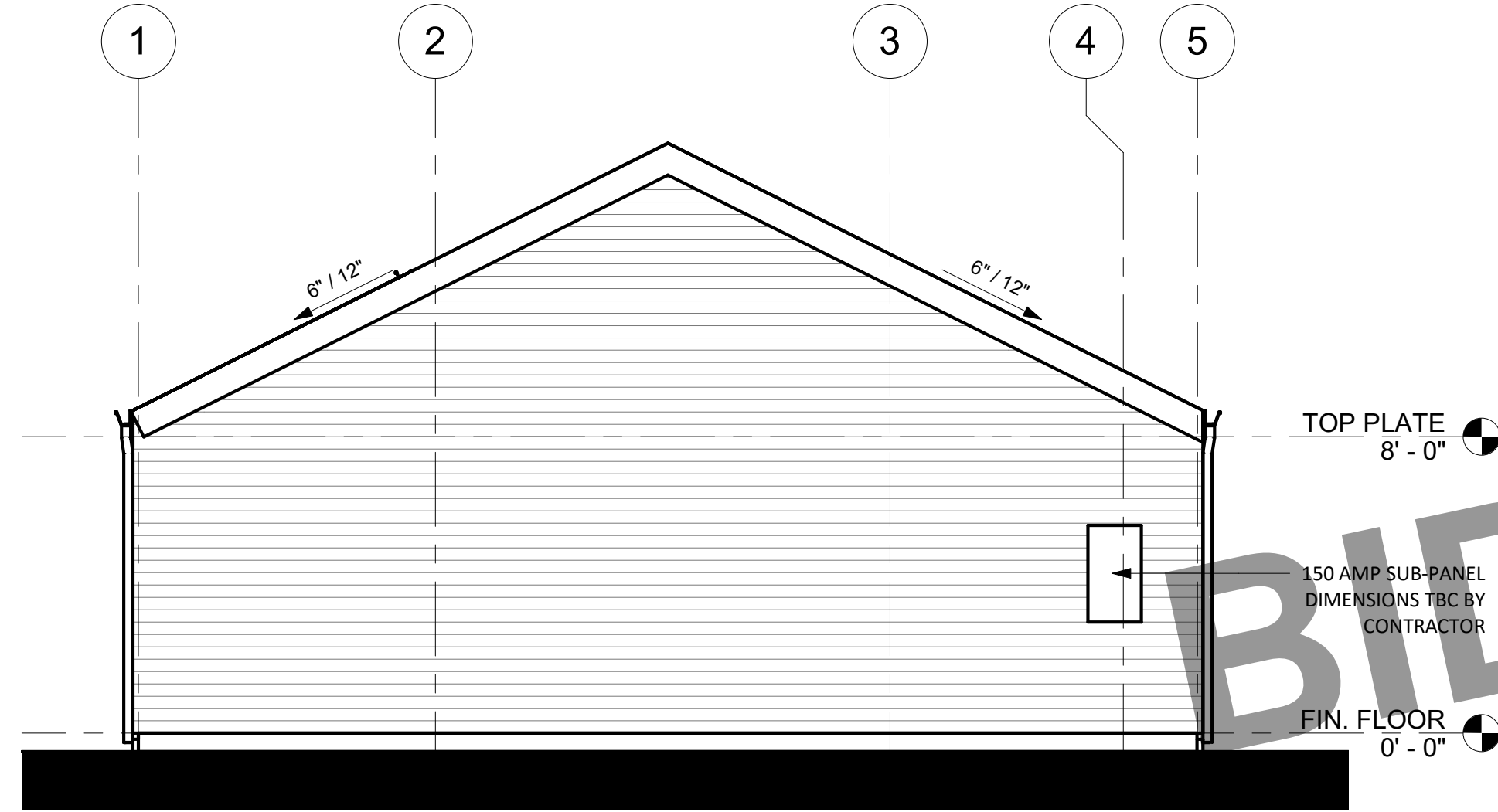
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MODERN - SECTIONS

A3.2
SCALE: AS NOTED



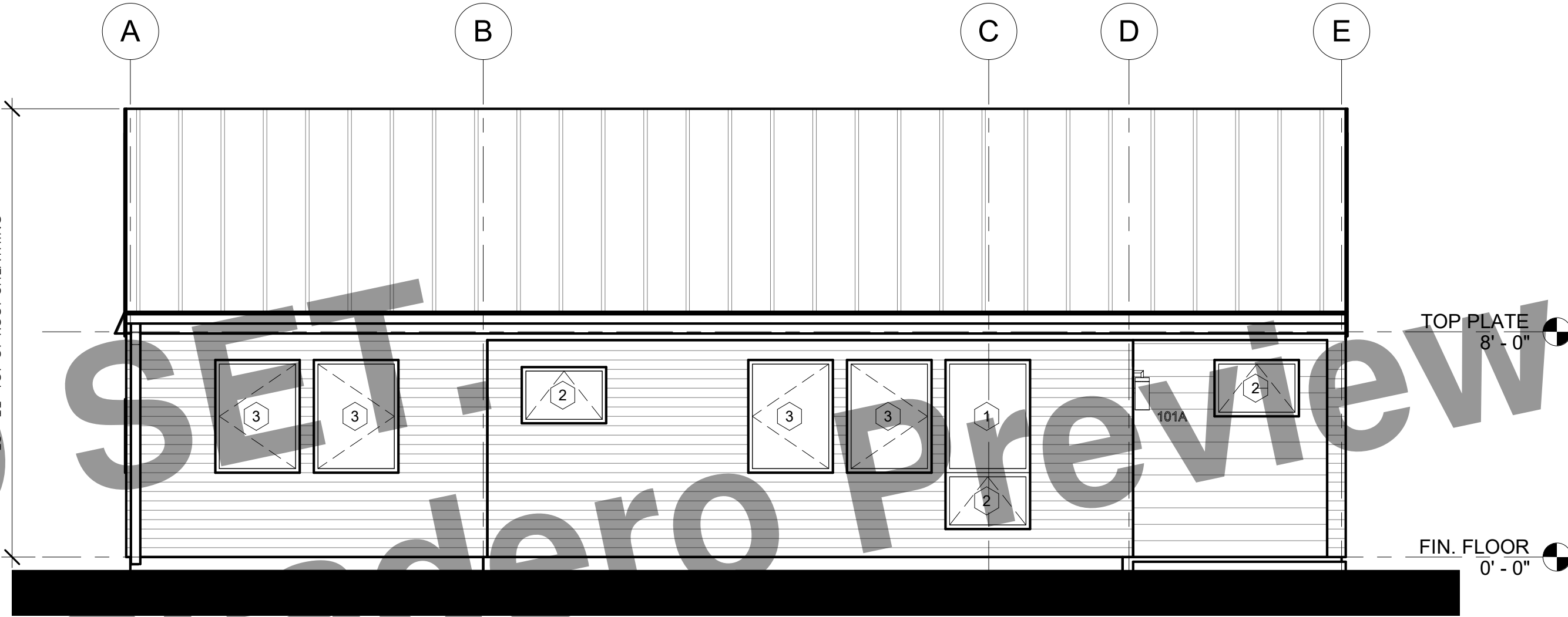
6 RIGHT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



5 LEFT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"

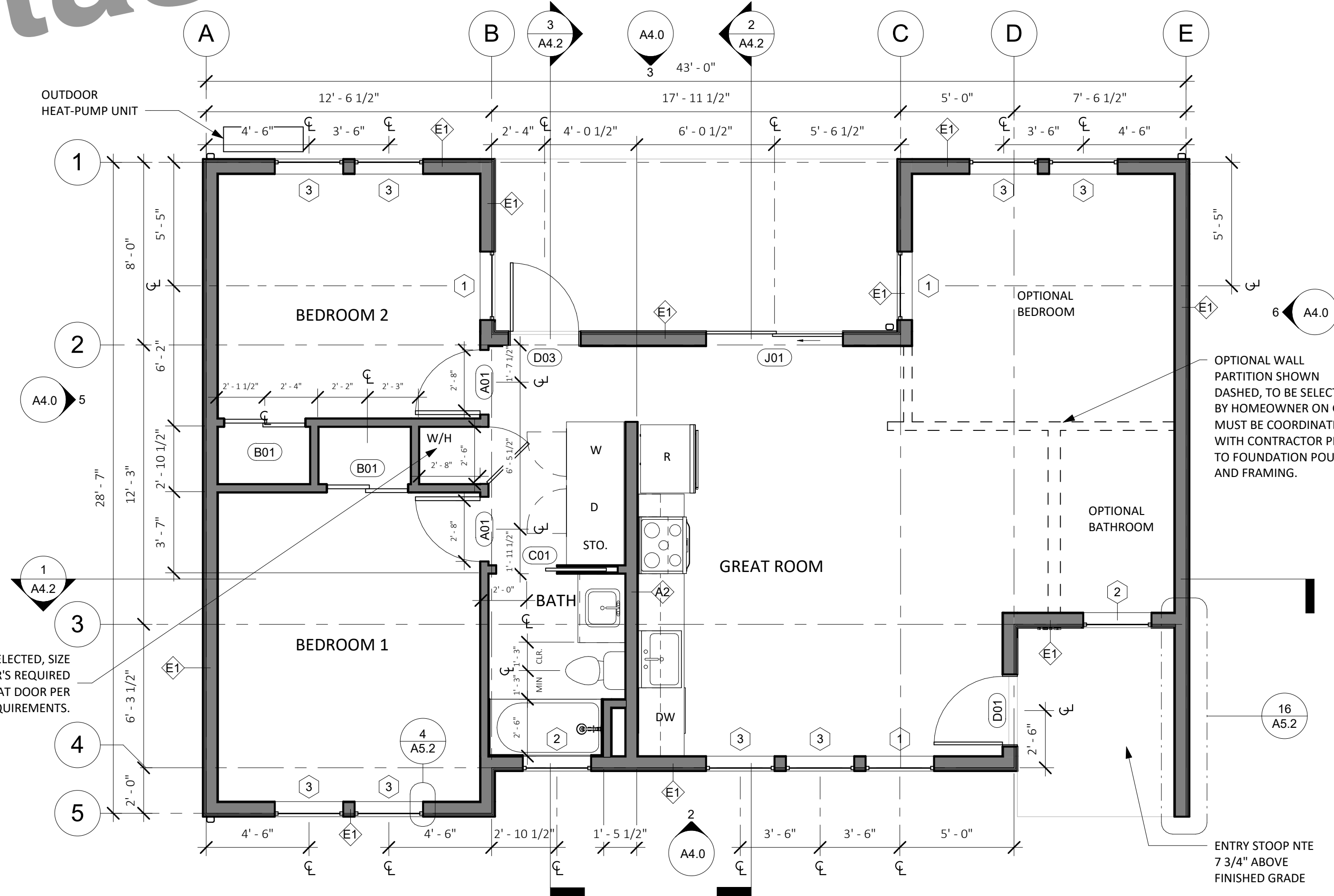


2 FRONT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



4 FRONT VIEW - TWO BEDROOM PLUS - BEACH BUNGALOW
NO SCALE

IF ELECTRIC WATER HEATER IS SELECTED, SIZE CABINET TO MEET MANUFACTURER'S REQUIRED CLEARANCE; PROVIDE VENTILATION AT DOOR PER MANUFACTURER REQUIREMENTS.



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
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- SHEET NUMBER

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- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

**BUNGALOW -
FLOORPLANS &
ELEVATIONS**

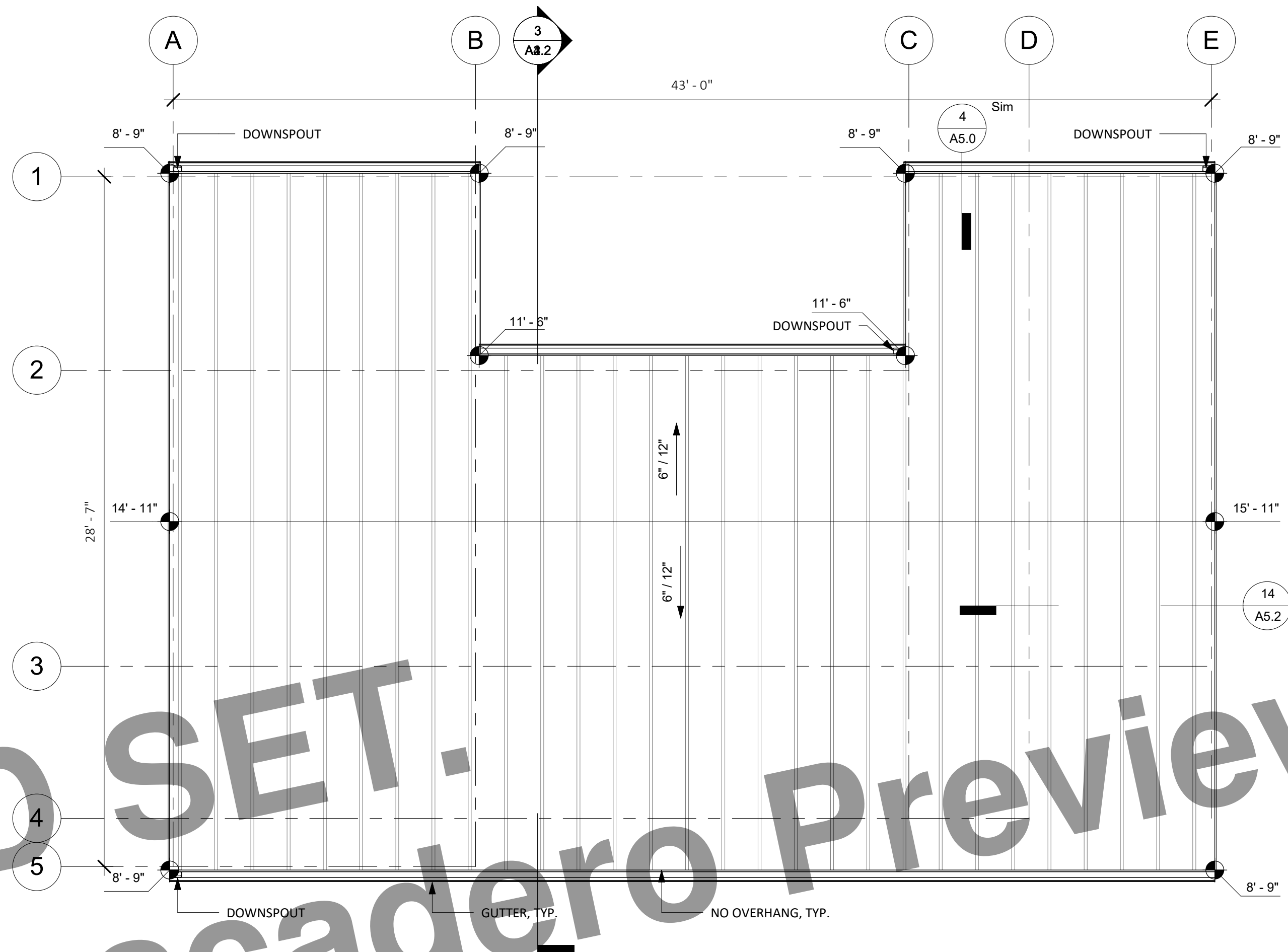
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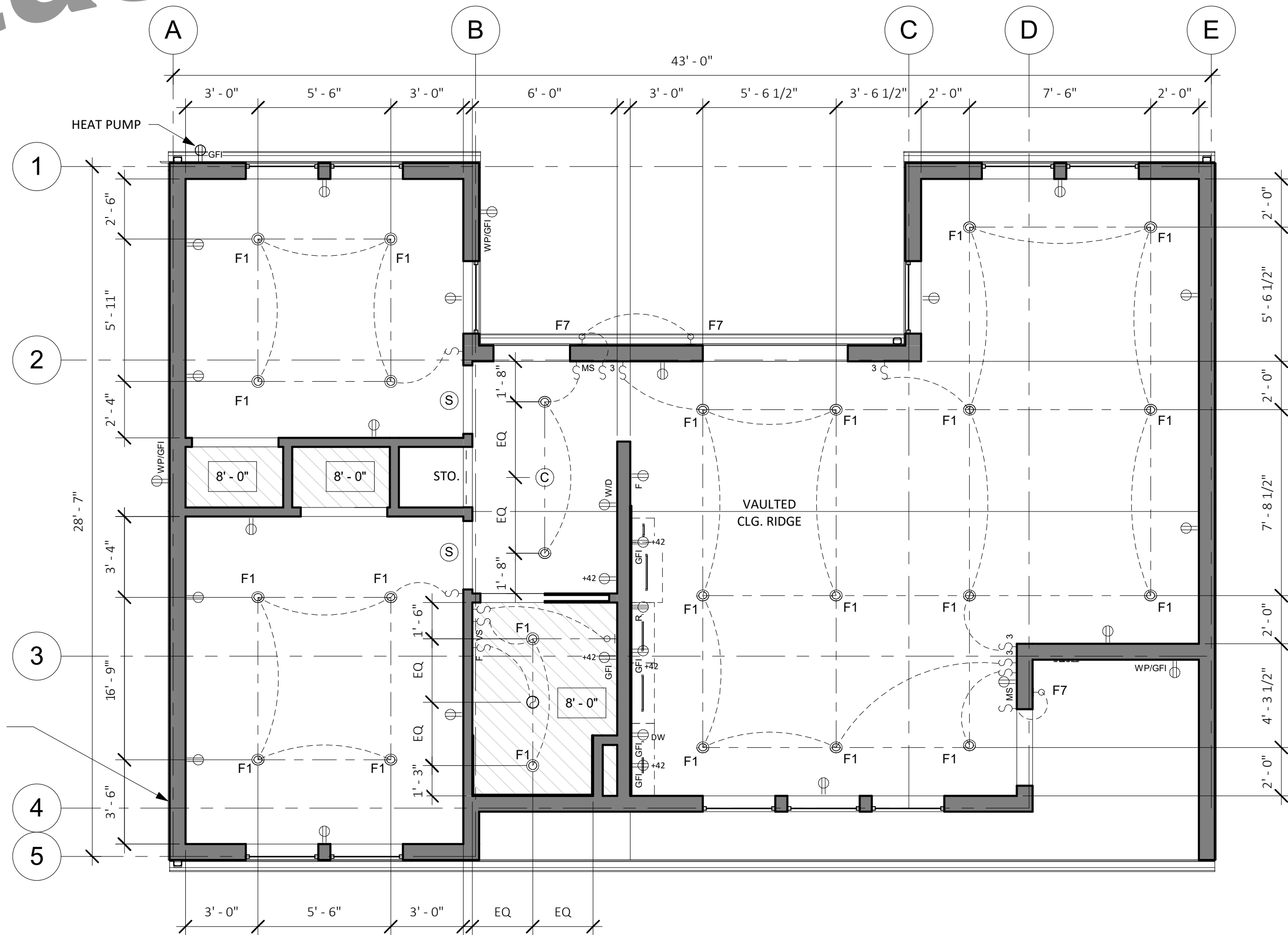
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City of Atascadero

Preview



2 ROOF PLAN - BEACH BUNGALOW
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

- MIN 100 AMP SUBPANEL
- COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 - VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench

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WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

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TEMPLETON, CA 93465
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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

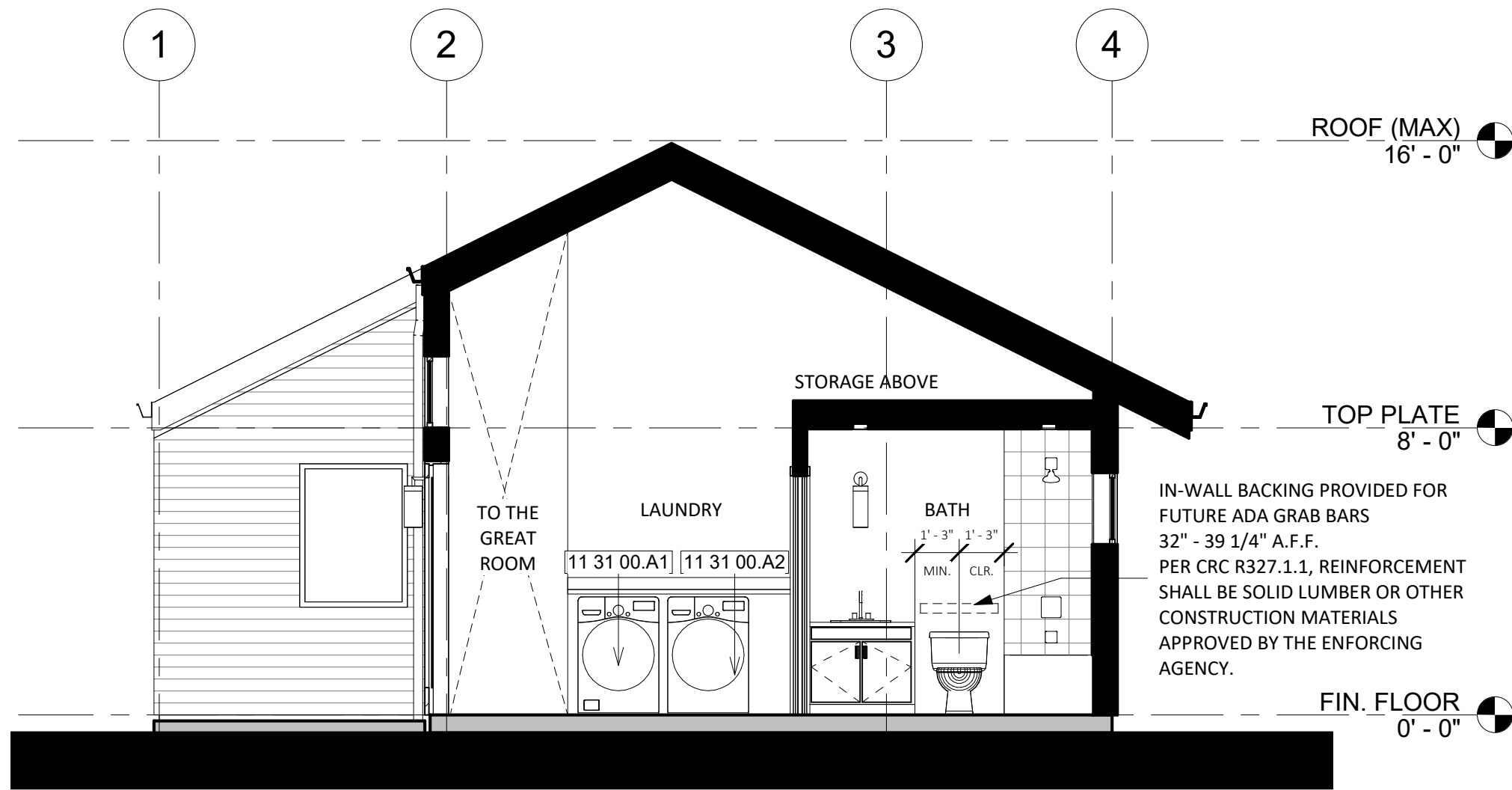
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**BUNGALOW - ROOF
PLAN & RCP**

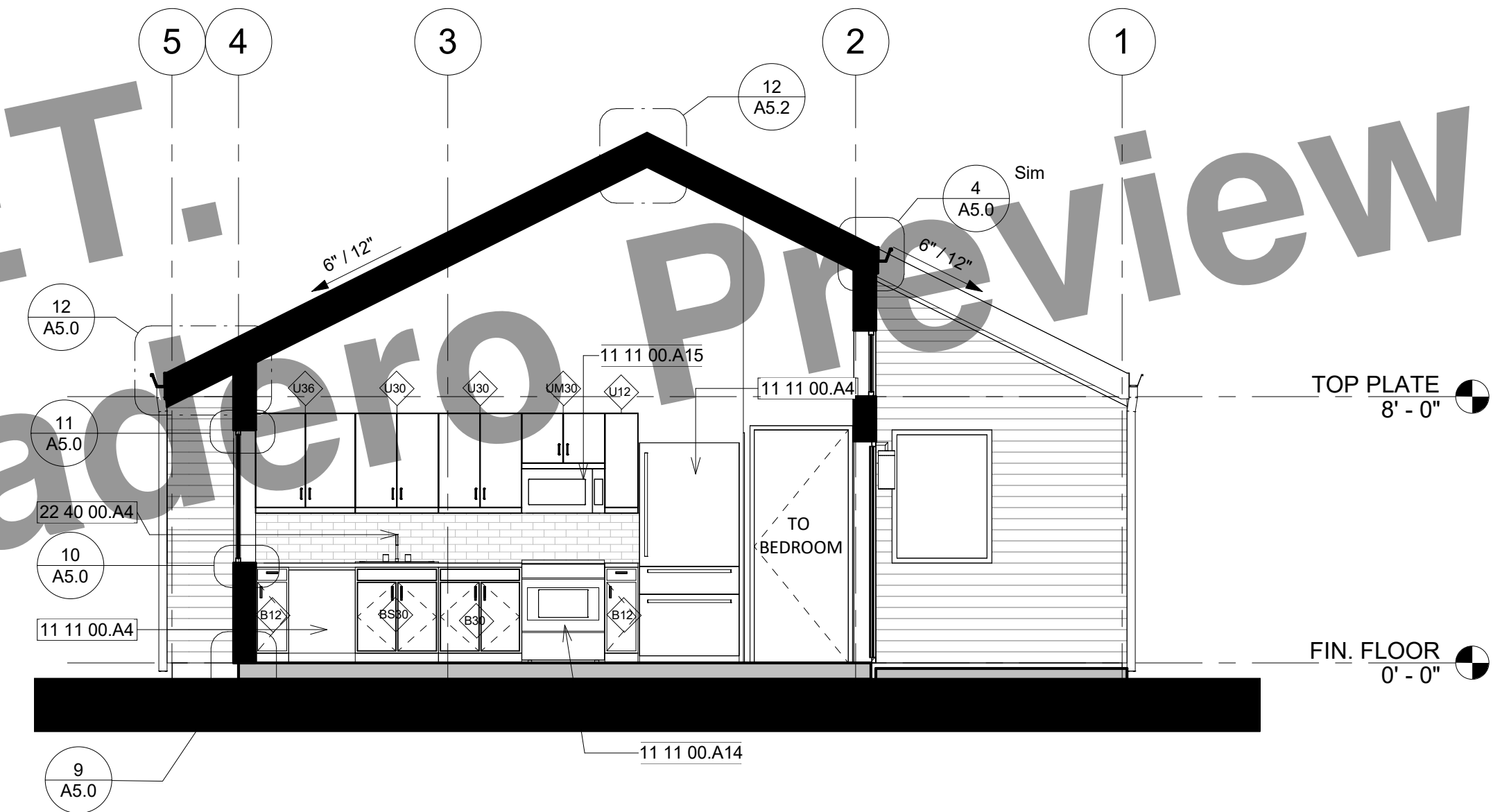
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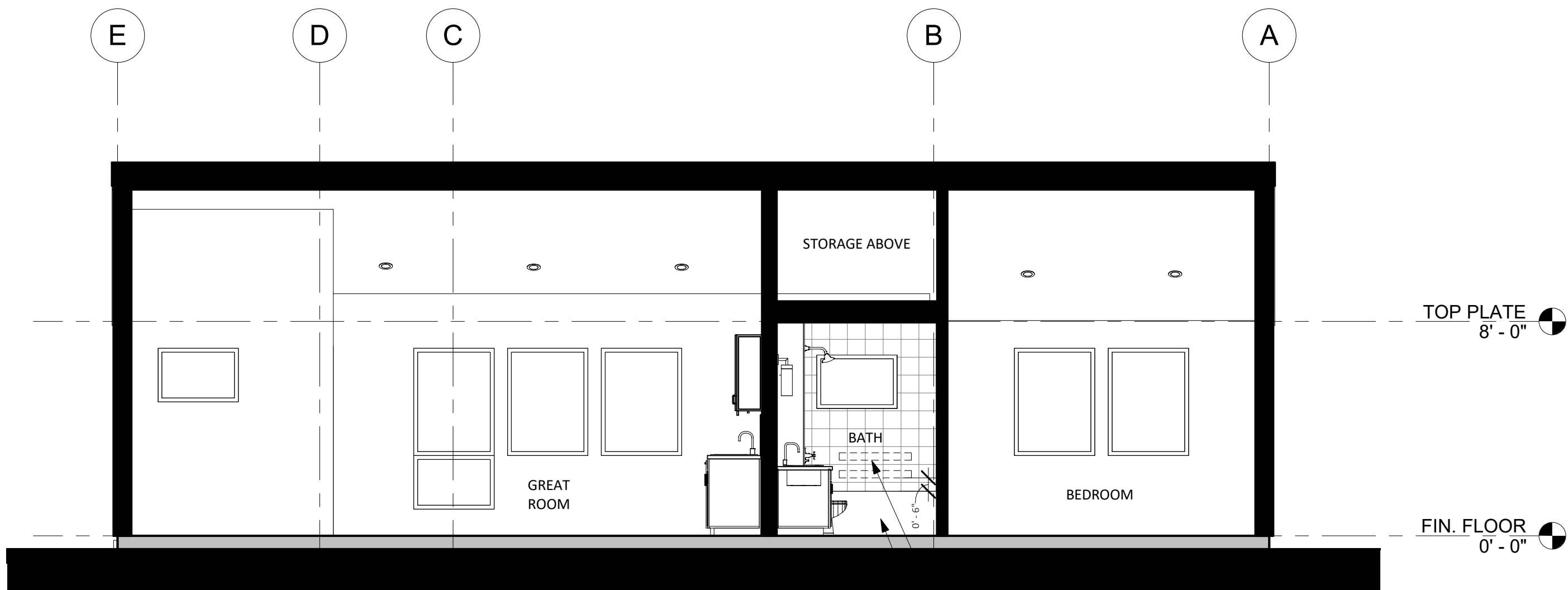
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SECTION C - COASTAL BUNGALOW
1/4" = 1'-0"



SECTION B - BEACH BUNGALOW
1/4" = 1'-0"



SECTION A - BEACH BUNGALOW
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4 PLUMBING	30" KITCHEN SINK WITH FAUCET
----------------------	------------------------------



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BUNGALOW - SECTIONS

A4.2

SCALE: AS NOTED



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TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.0

SCALE: AS NOTED

DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

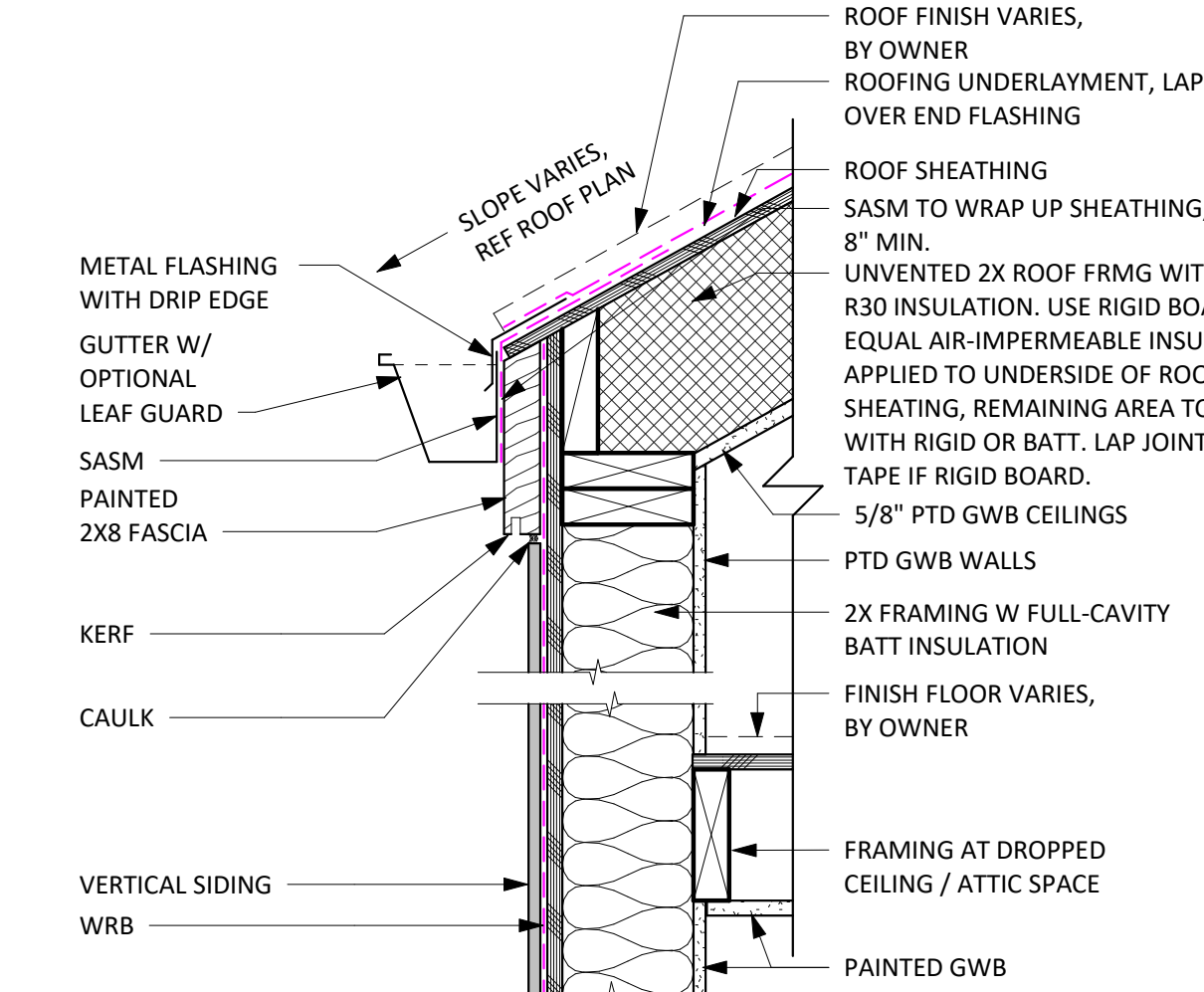
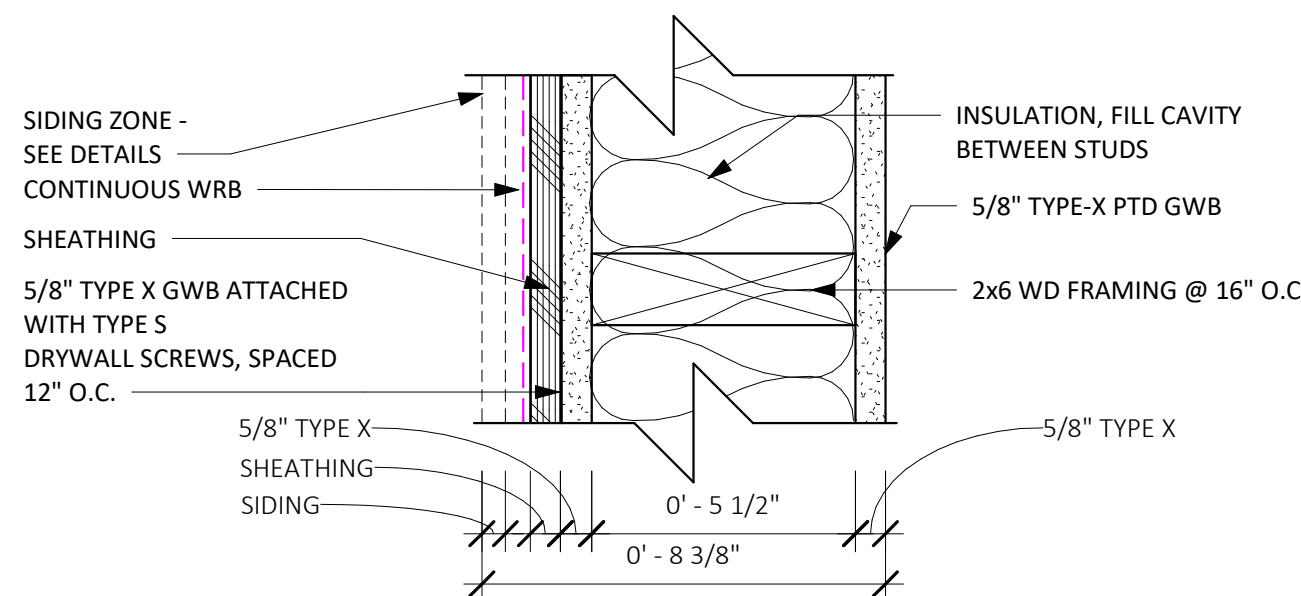
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATINGS OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

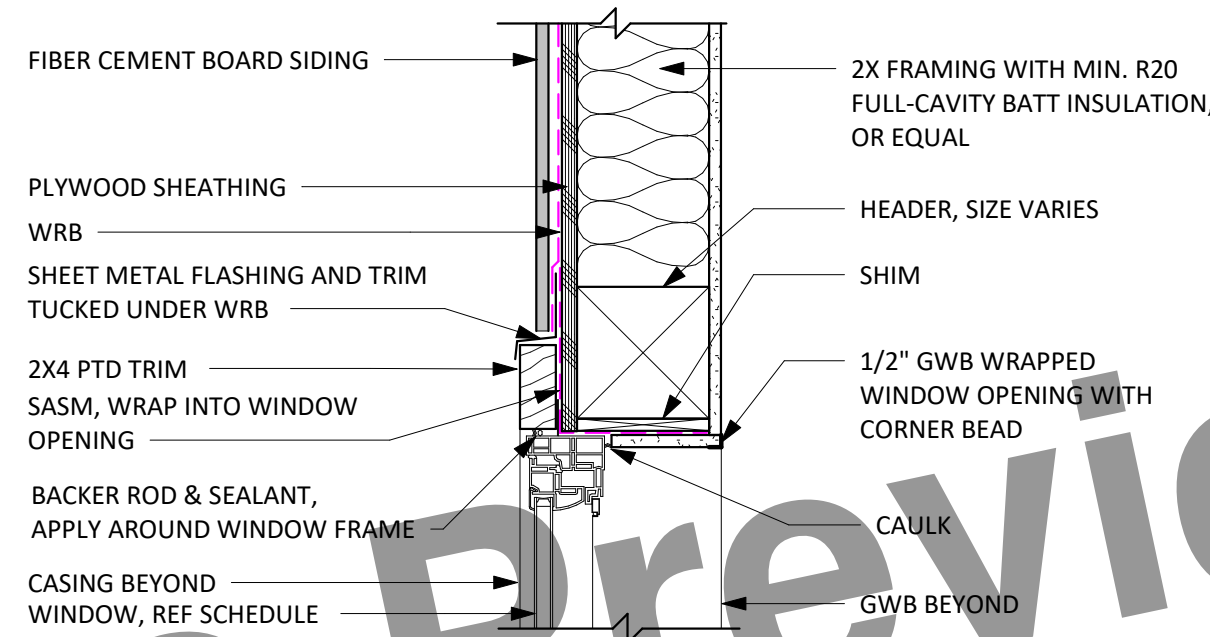
FIRE RATING NOTES

- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

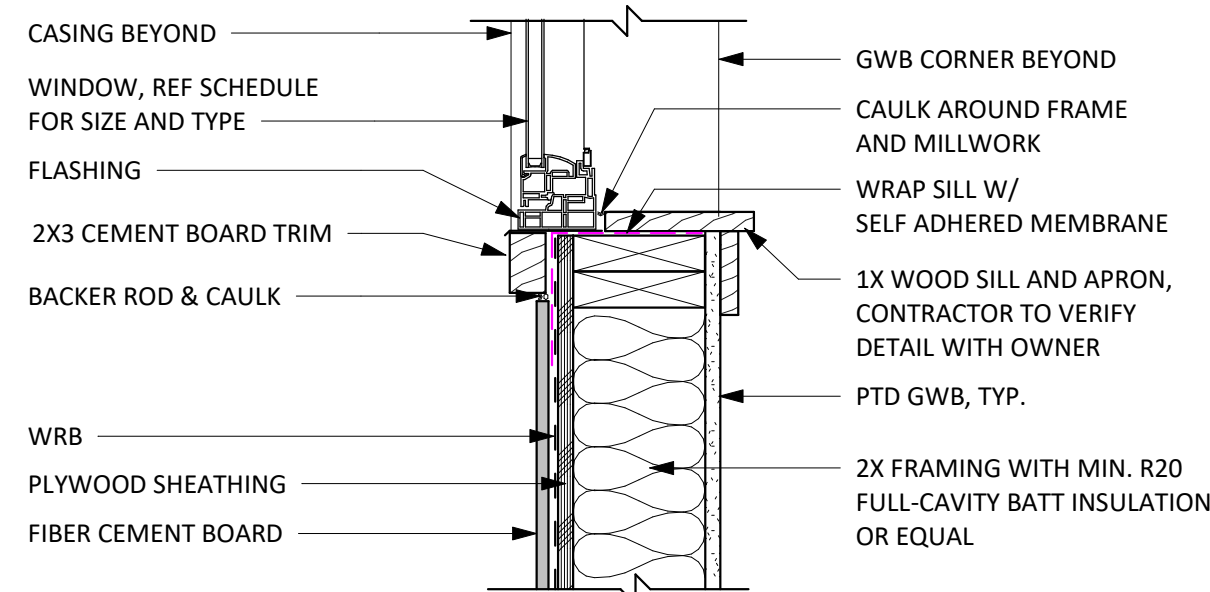
WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12*



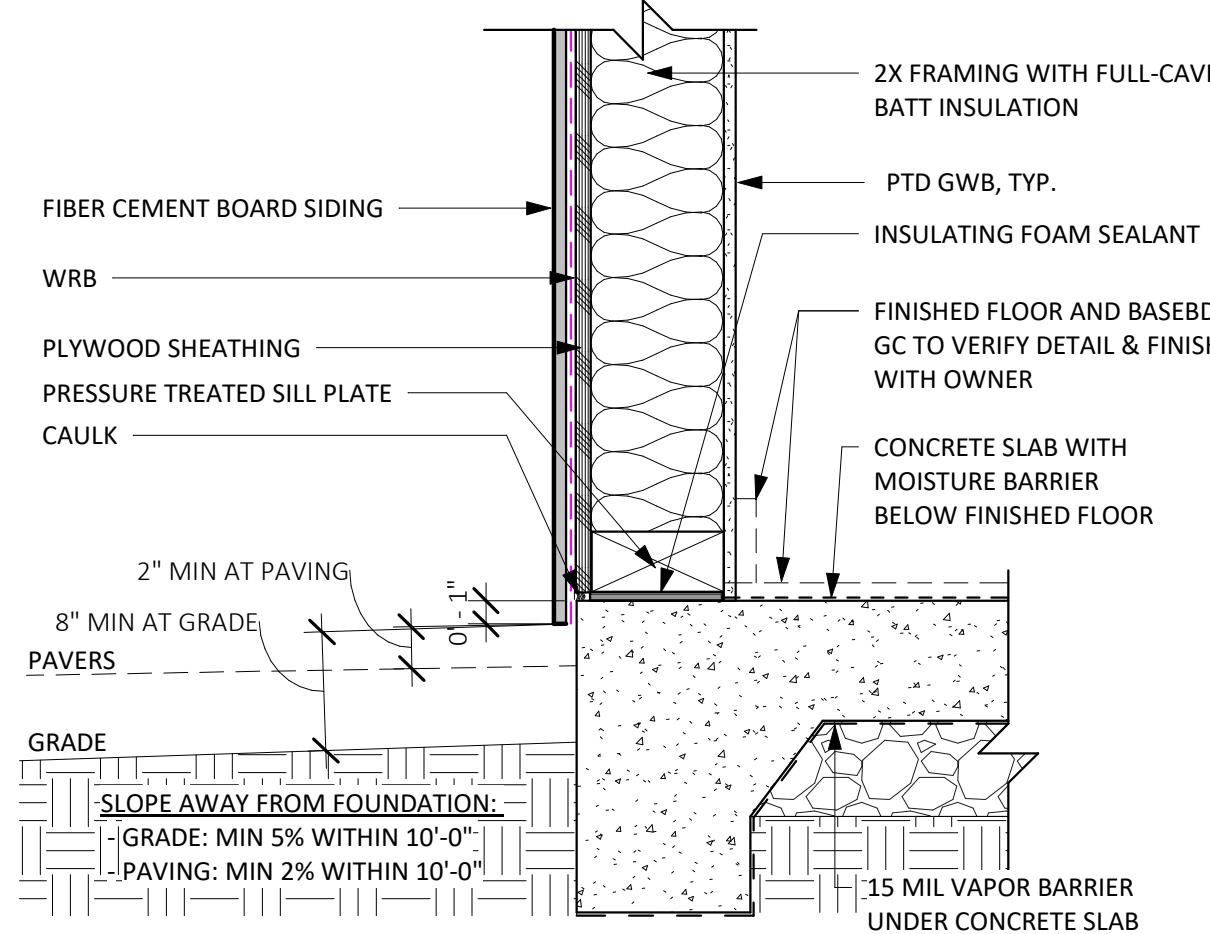
4 EAVE WITH ZERO OVERHANG
1 1/2" = 1'-0"



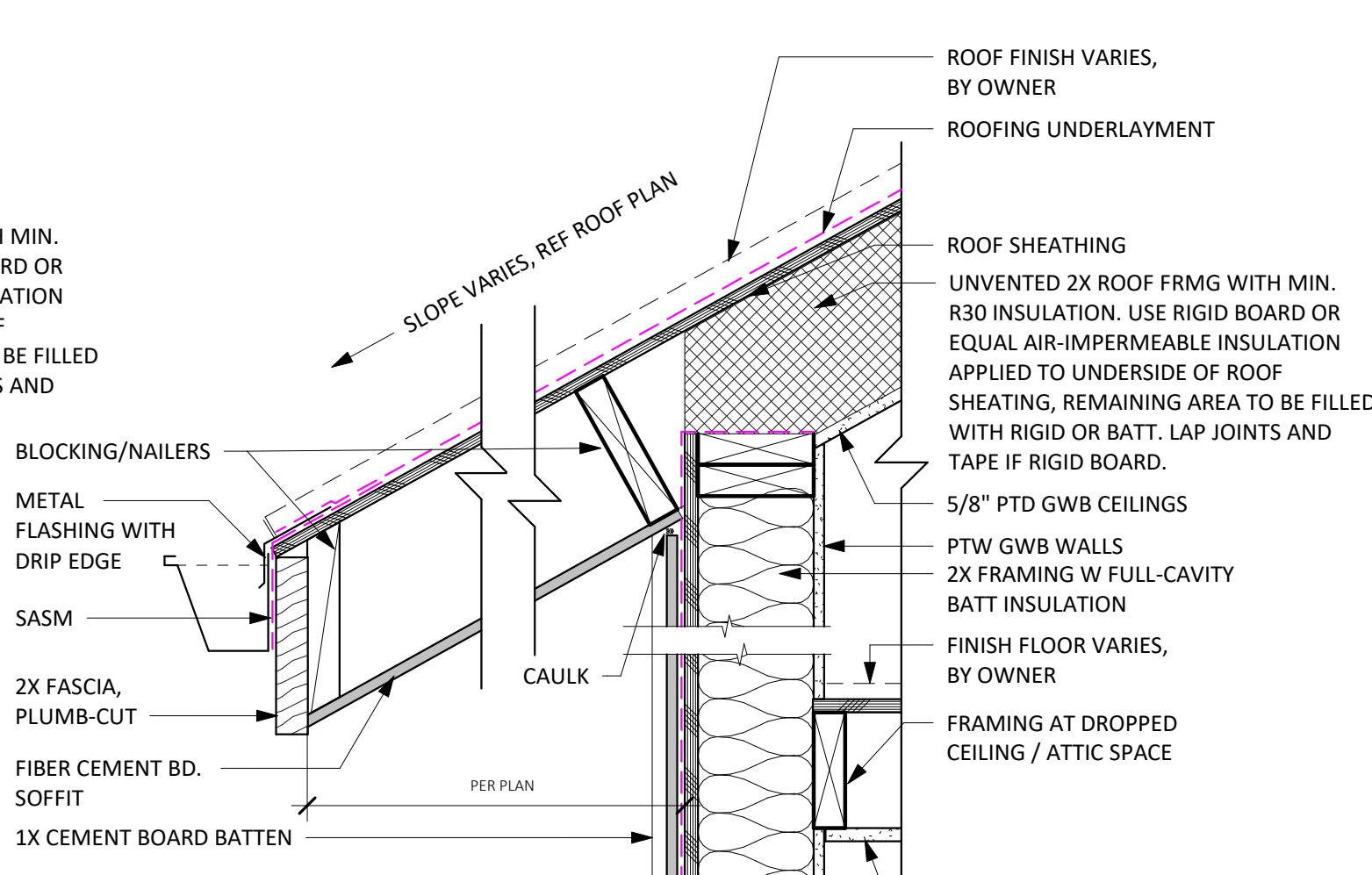
3 WINDOW HEAD AT VERTICAL SIDING
1 1/2" = 1'-0"



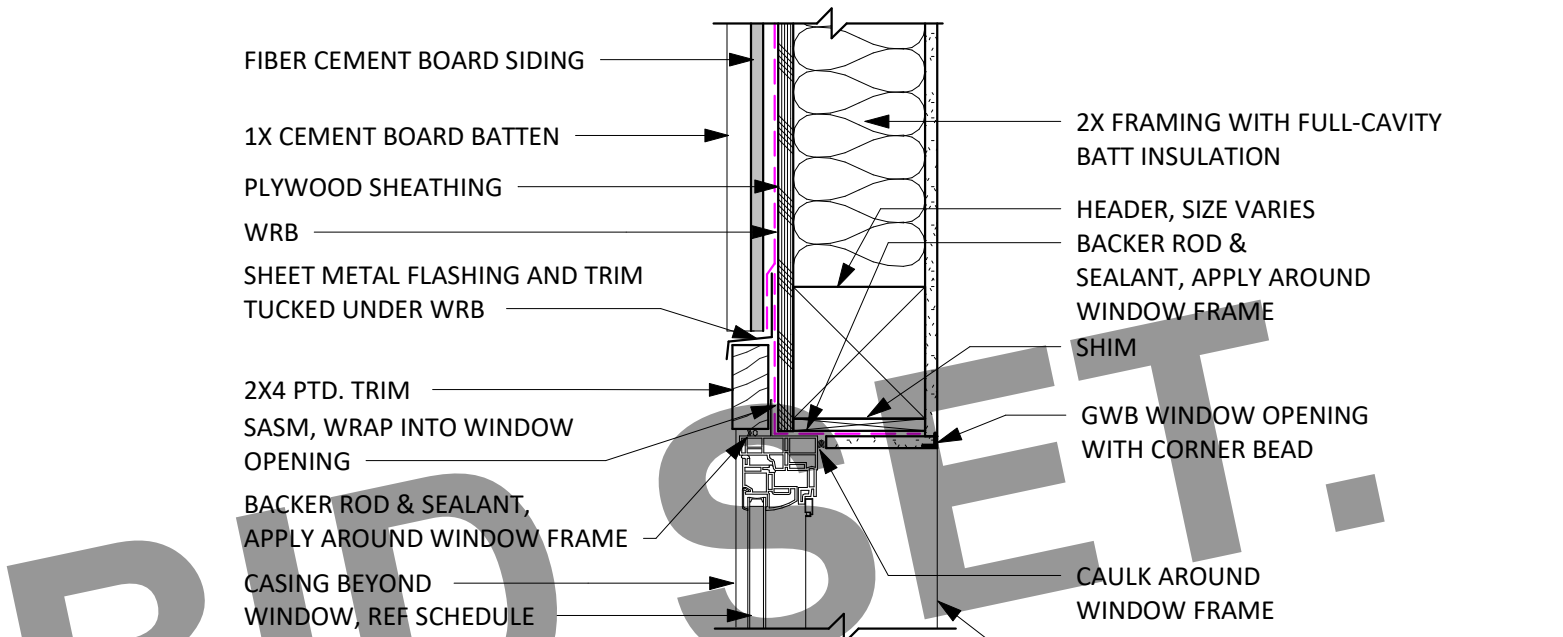
2 WINDOW SILL AT VERTICAL SIDING
1 1/2" = 1'-0"



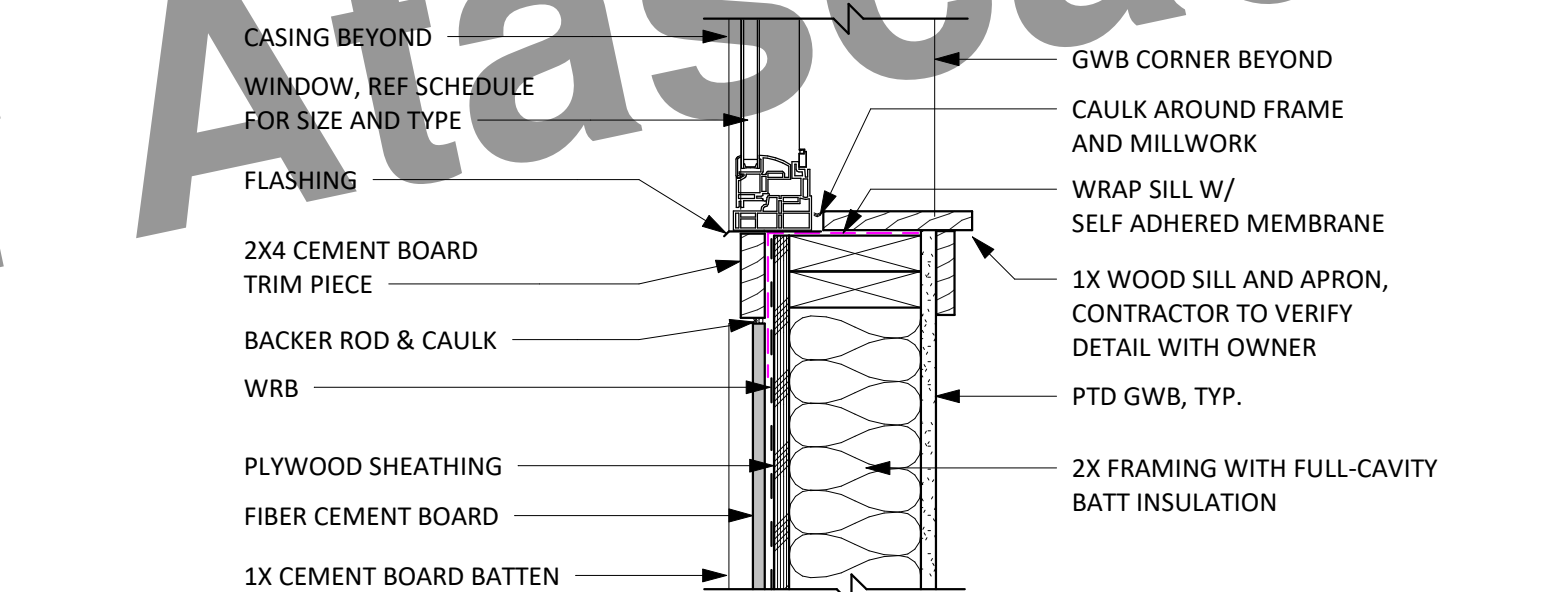
1 SLAB EDGE AT VERTICAL SIDING
1 1/2" = 1'-0"



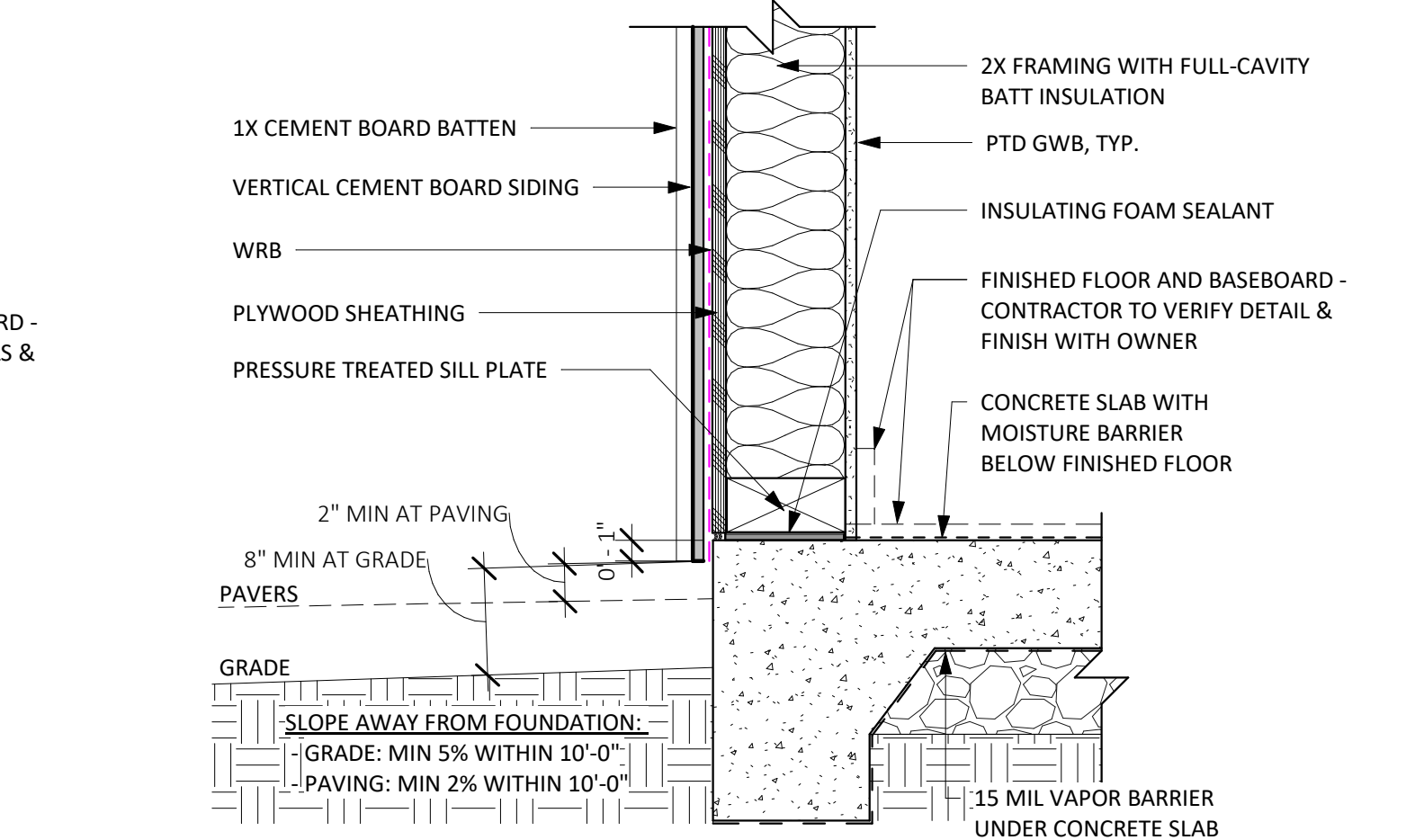
8 RAKE / EAVE AT BOARD & BATTEN
1 1/2" = 1'-0"



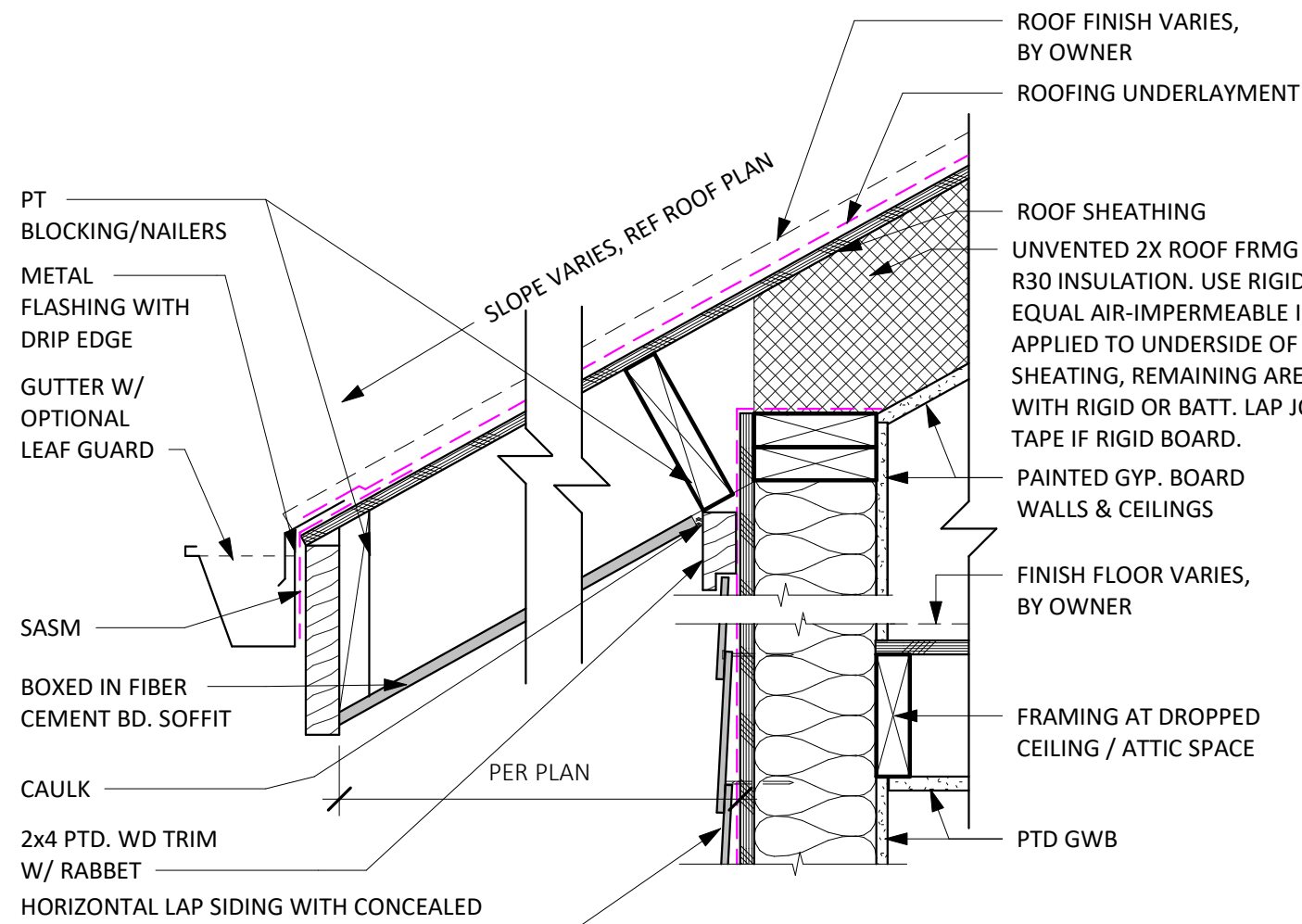
7 WINDOW HEAD AT BOARD & BATTEN
1 1/2" = 1'-0"



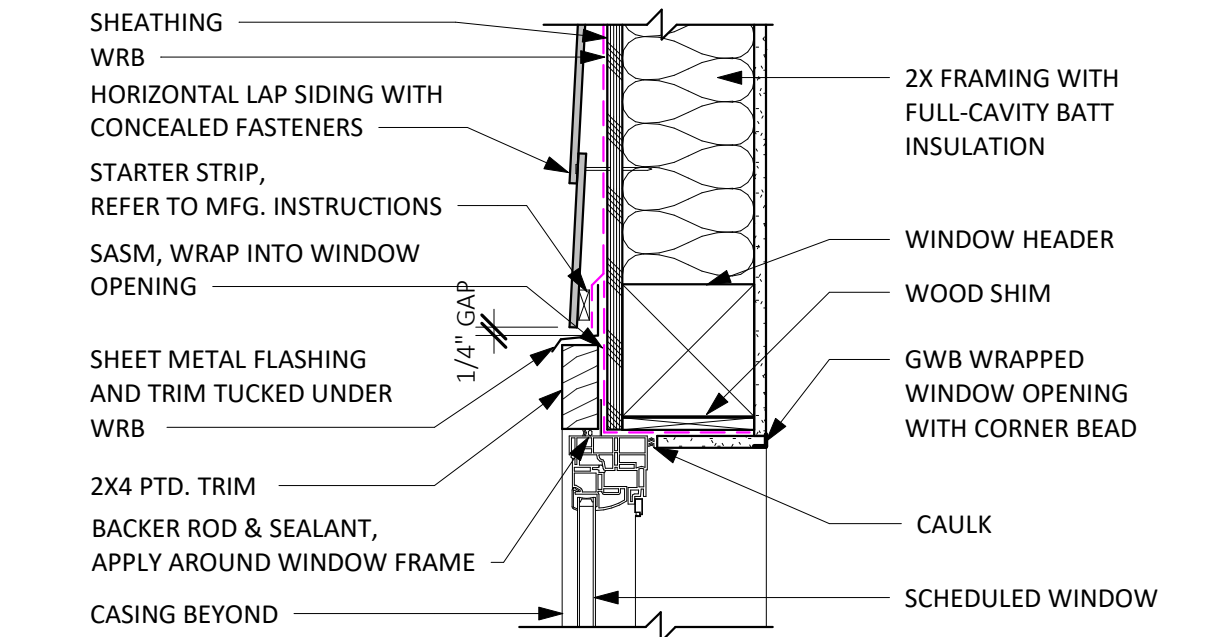
6 WINDOW SILL AT BOARD & BATTEN
1 1/2" = 1'-0"



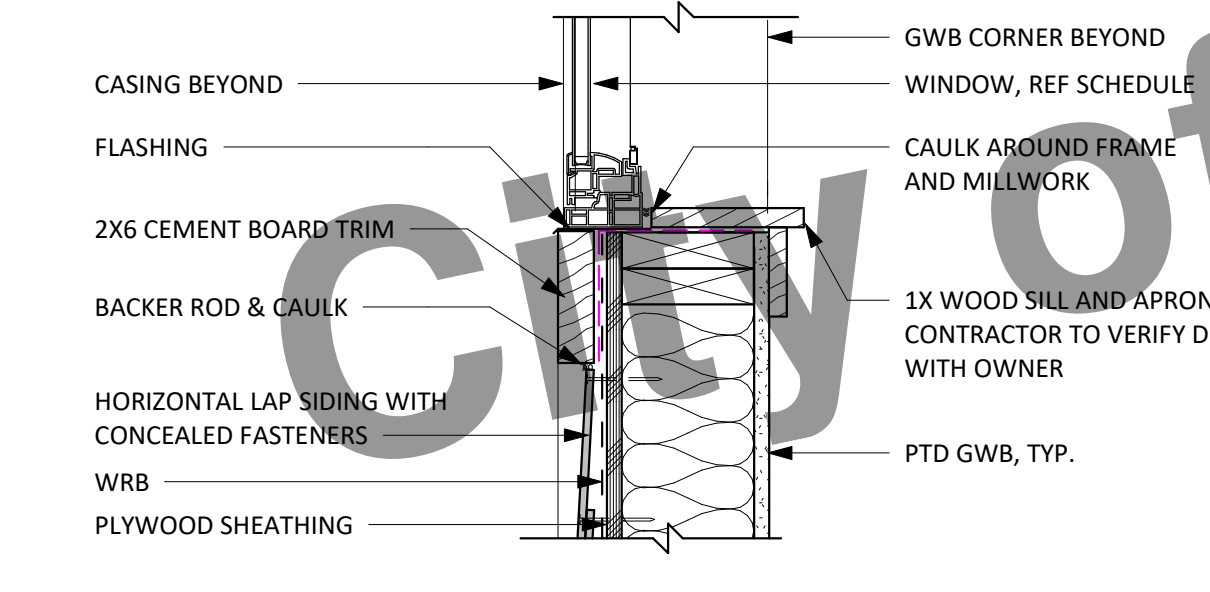
5 SLAB EDGE AT BOARD & BATTEN
1 1/2" = 1'-0"



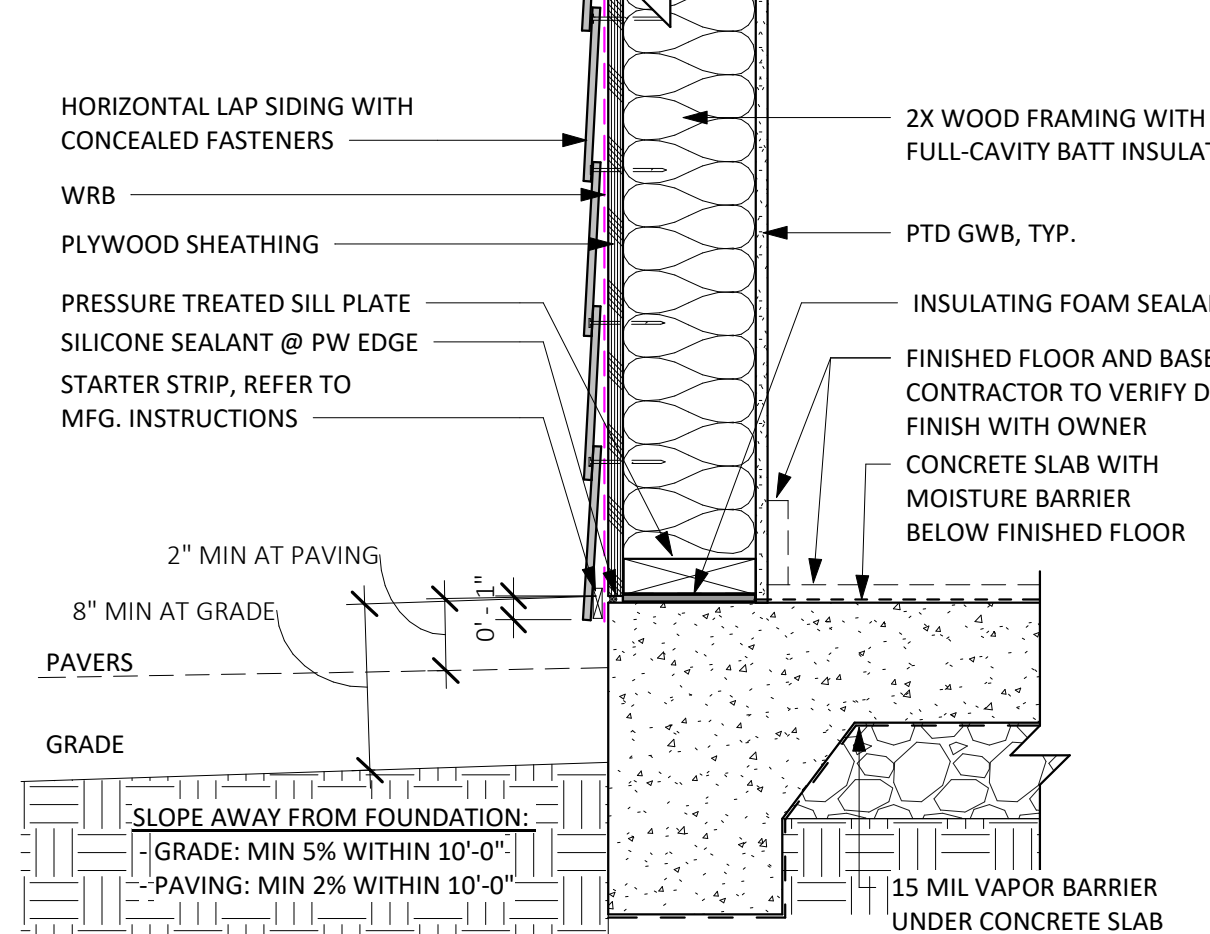
12 EAVE AT LAP SIDING
1 1/2" = 1'-0"



11 WINDOW HEAD AT LAP SIDING
1 1/2" = 1'-0"



10 WINDOW SILL AT LAP SIDING
1 1/2" = 1'-0"



9 SLAB EDGE AT LAP SIDING
1 1/2" = 1'-0"

E3 FIBER CEMENT HORIZONTAL LAP SIDING

E2 BOARD & BATTEN SIDING

E1 FIBER CEMENT VERTICAL SIDING



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/ARCHITECT**

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998 GSE

PRINT DATE XX.XX.XXXX

A5.1

SCALE : AS NOTED

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
3. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, AND FINISHING, AND THE USE OF A MINIMUM OF A 1/2" CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 3 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [ARC 317.3.1.5].
4. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
5. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS "A" ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING. THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE IGNITION OF OR COMBUSTION OF THE ROOF DECKING WITH APPROVED MATERIALS, OR HAVE ONE LAYER OF NO. 72 CP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
WHERE PROVIDED, VAILING FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING
BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS
ALLOWED. THE OSMF WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.
SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CIRC 706A / CRC 8337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMER WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8
WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709.4 / CRC R337.9
WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

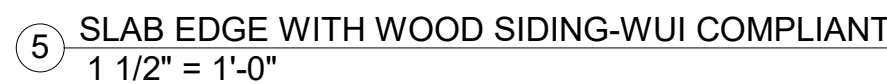
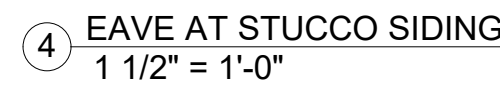
UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

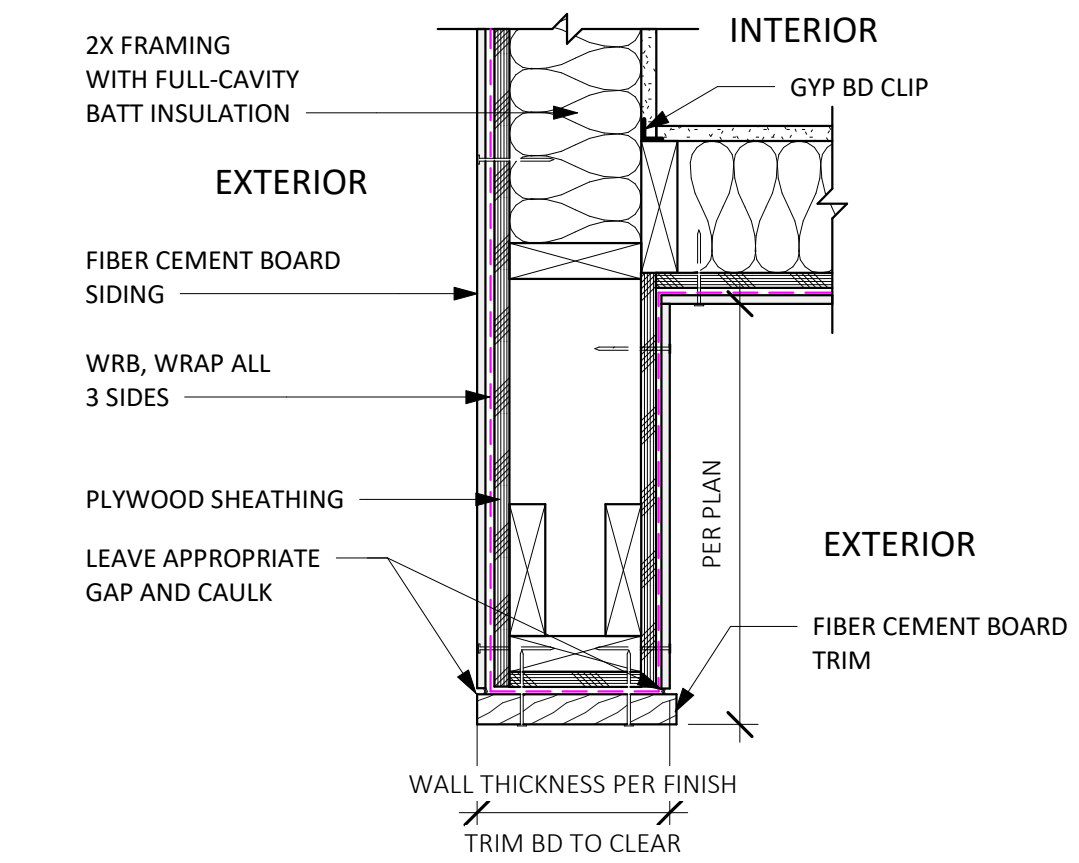
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR PENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 – PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

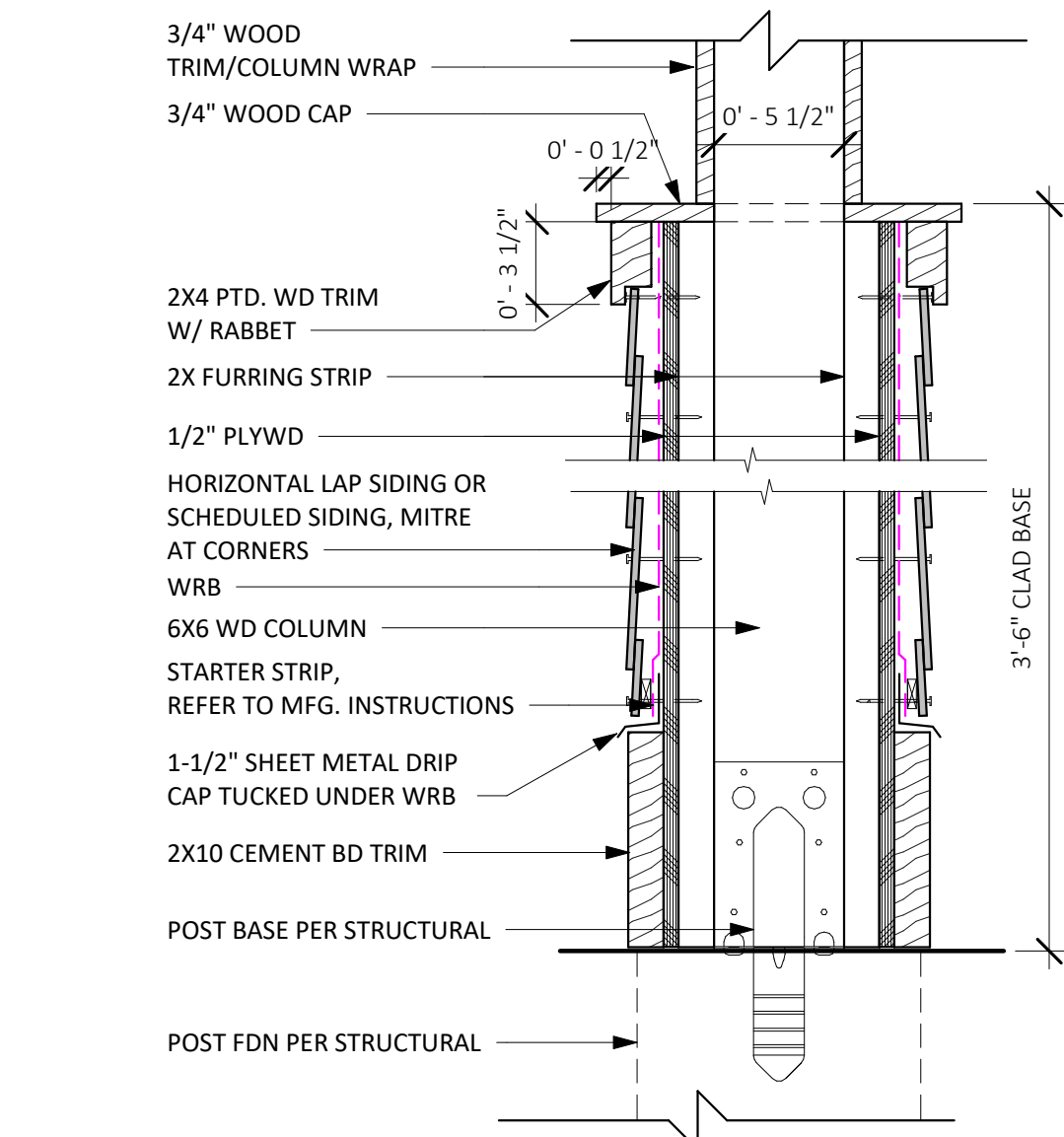
WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12



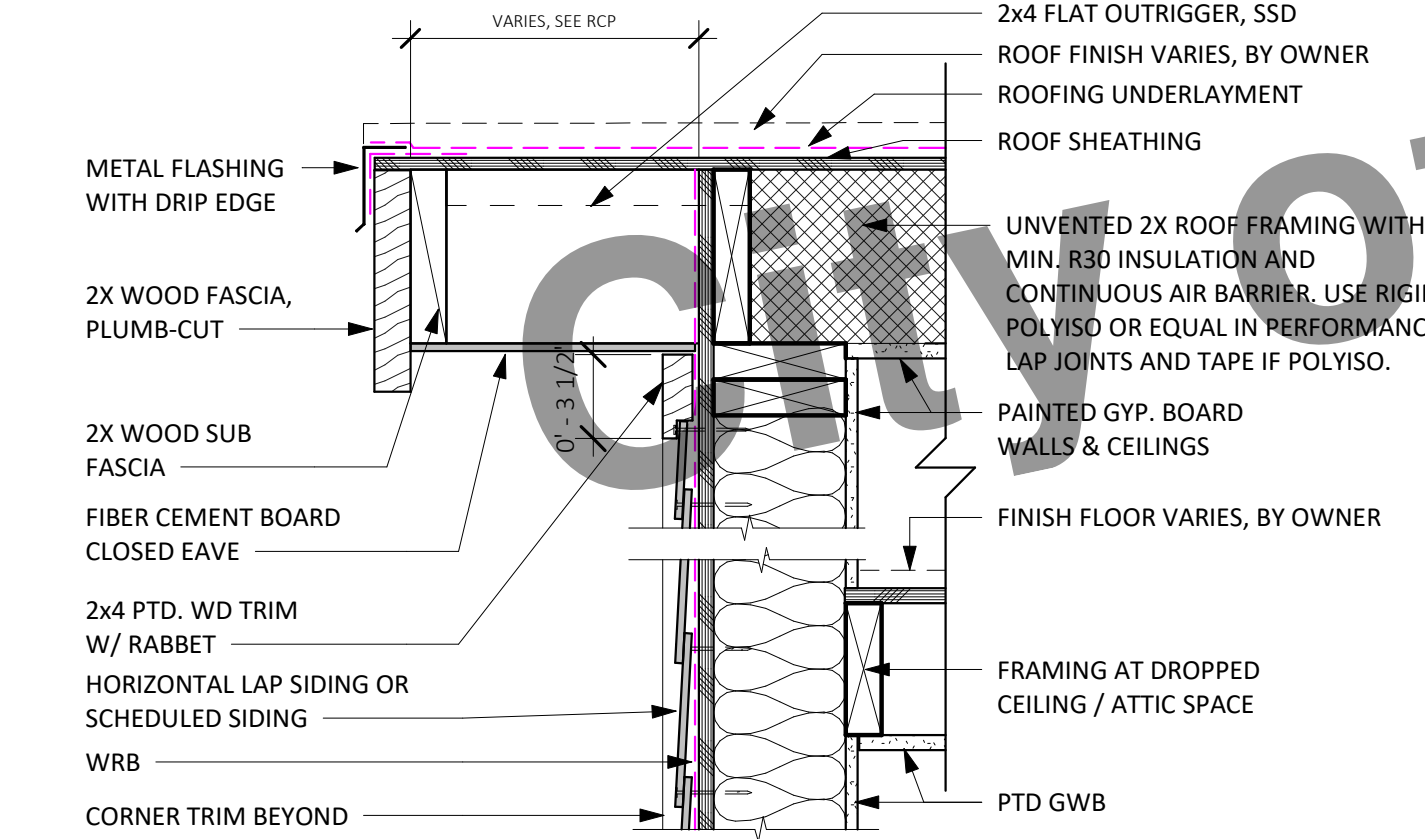
E4



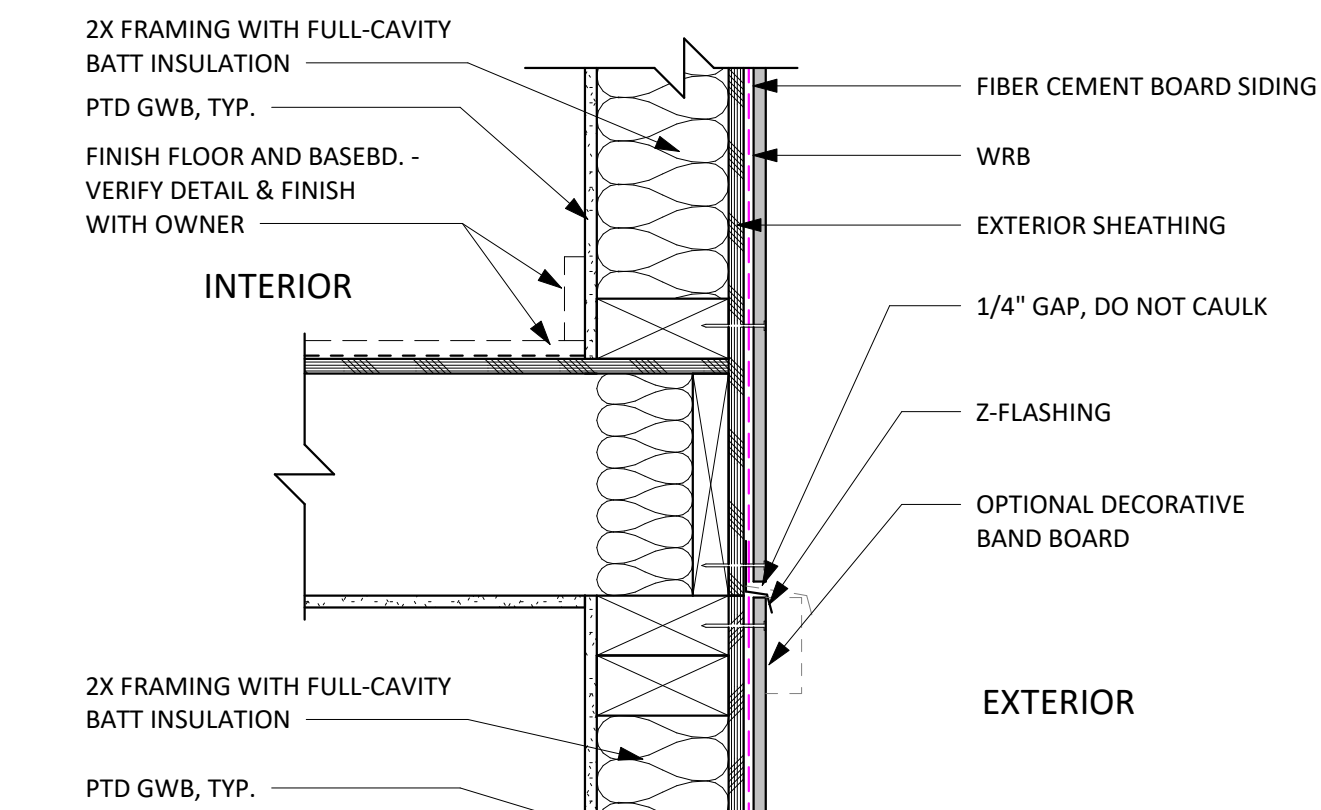
16 CEMENT BD WING WALL
1 1/2" = 1'-0"



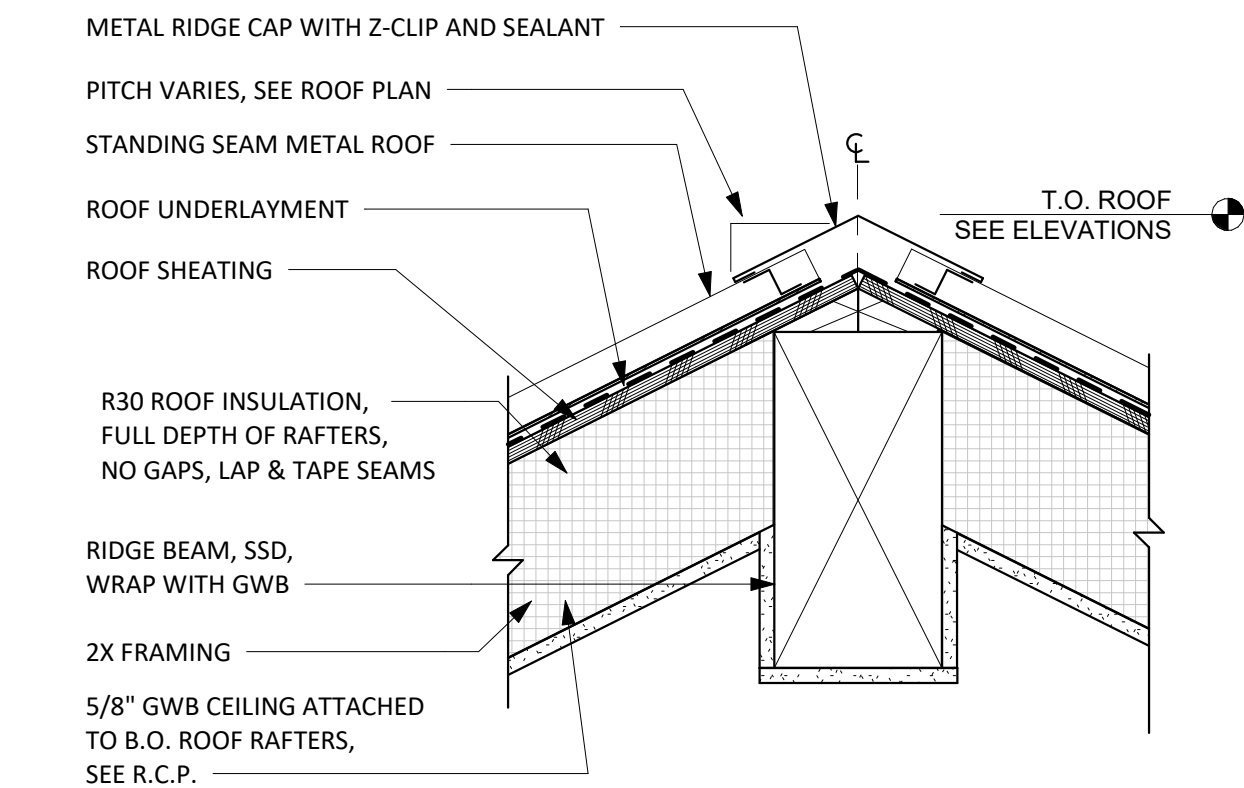
15 WRAPPED COLUMN SECTION
1 1/2" = 1'-0"



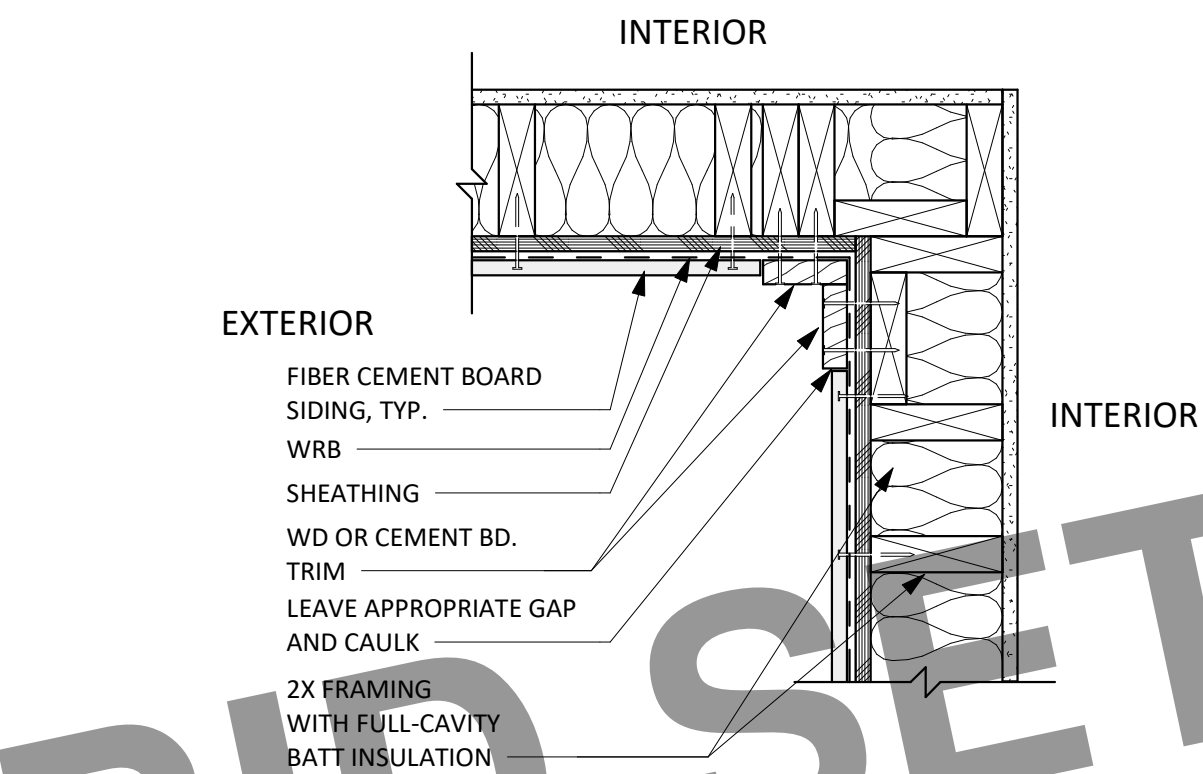
14 BASIC RAKE (CLOSED)
1 1/2" = 1'-0"



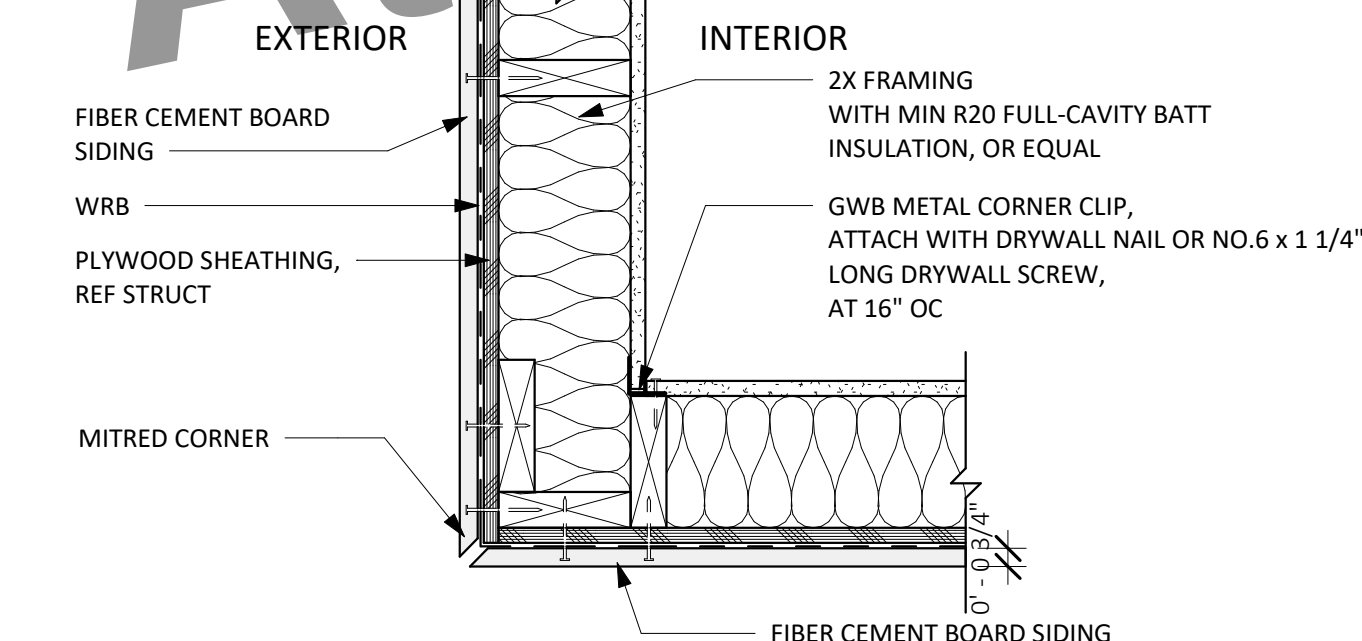
13 SIDING JOINT AT FLOOR
1 1/2" = 1'-0"



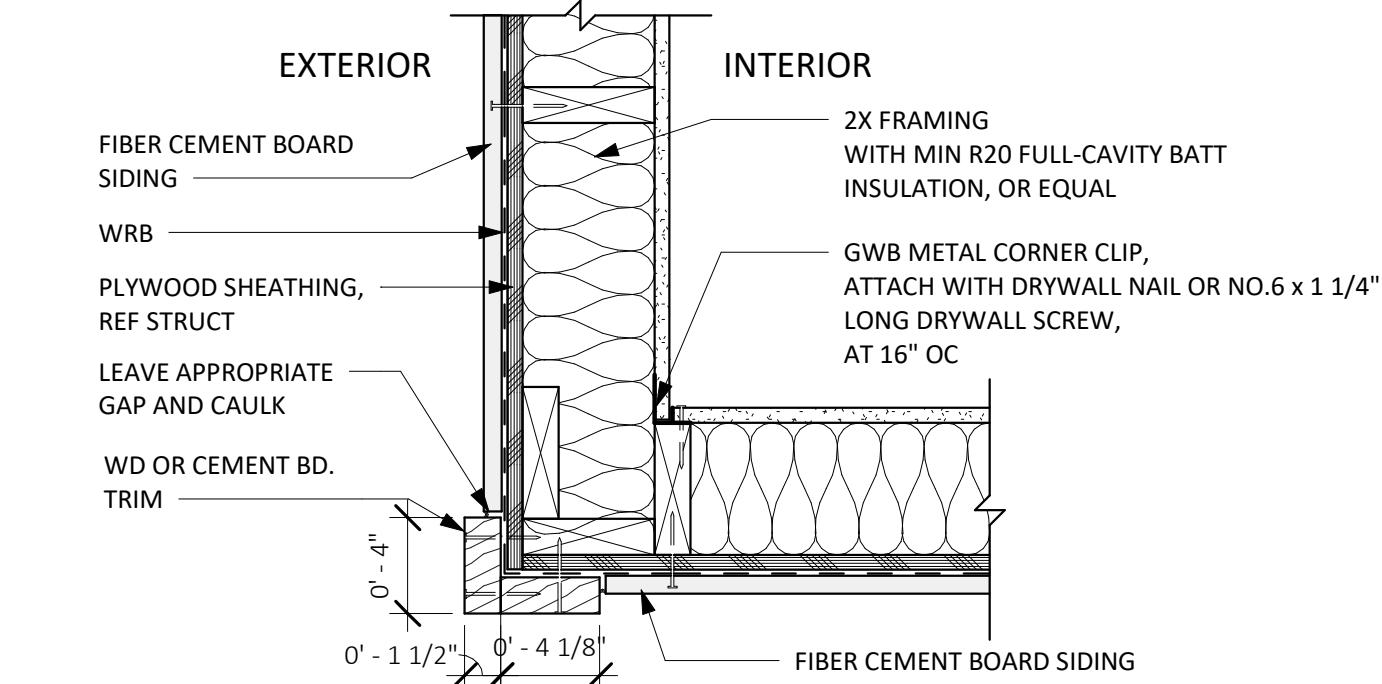
12 STANDING SEAM UNVENTED RIDGE
1 1/2" = 1'-0"



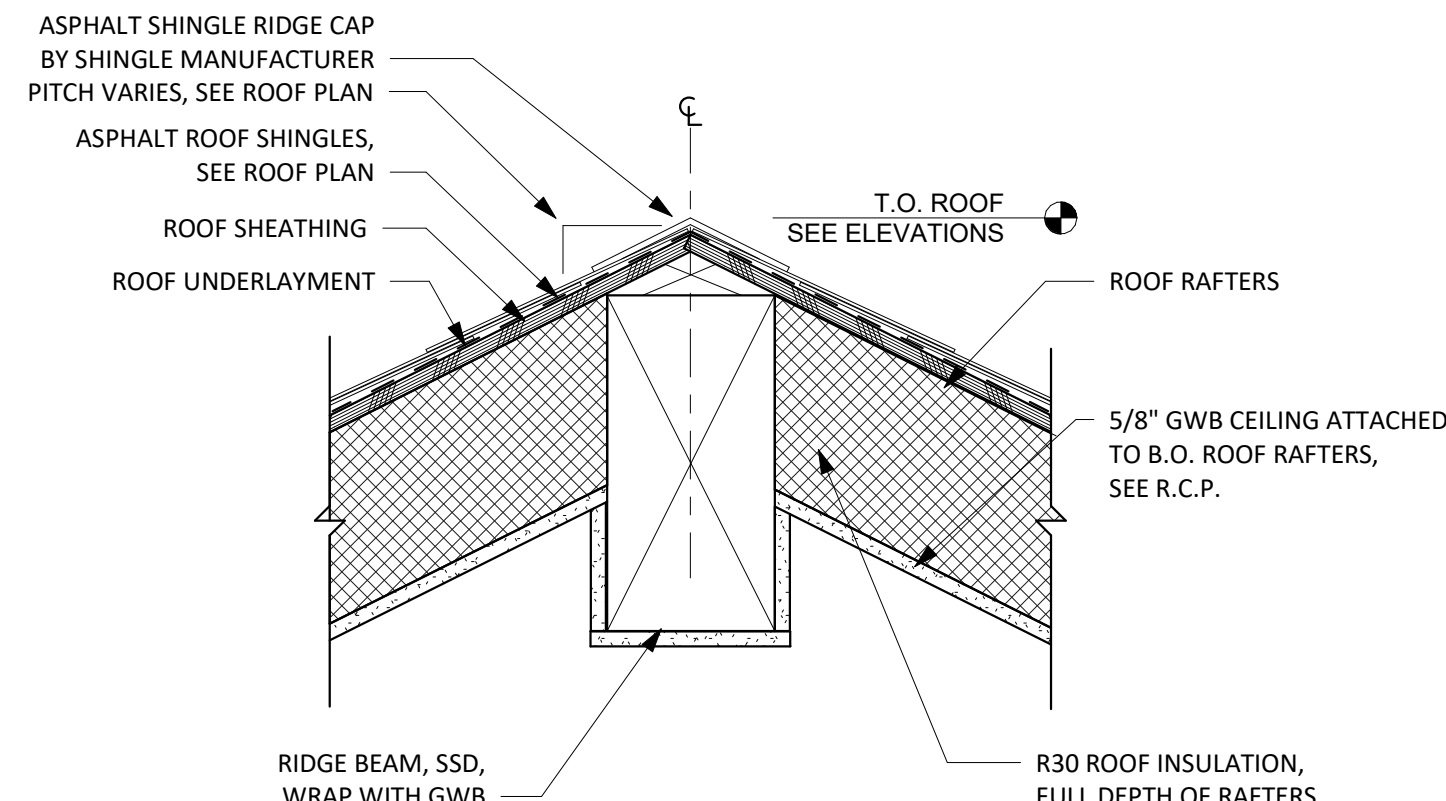
11 CEMENT BD TYP. INSIDE CORNER
1 1/2" = 1'-0"



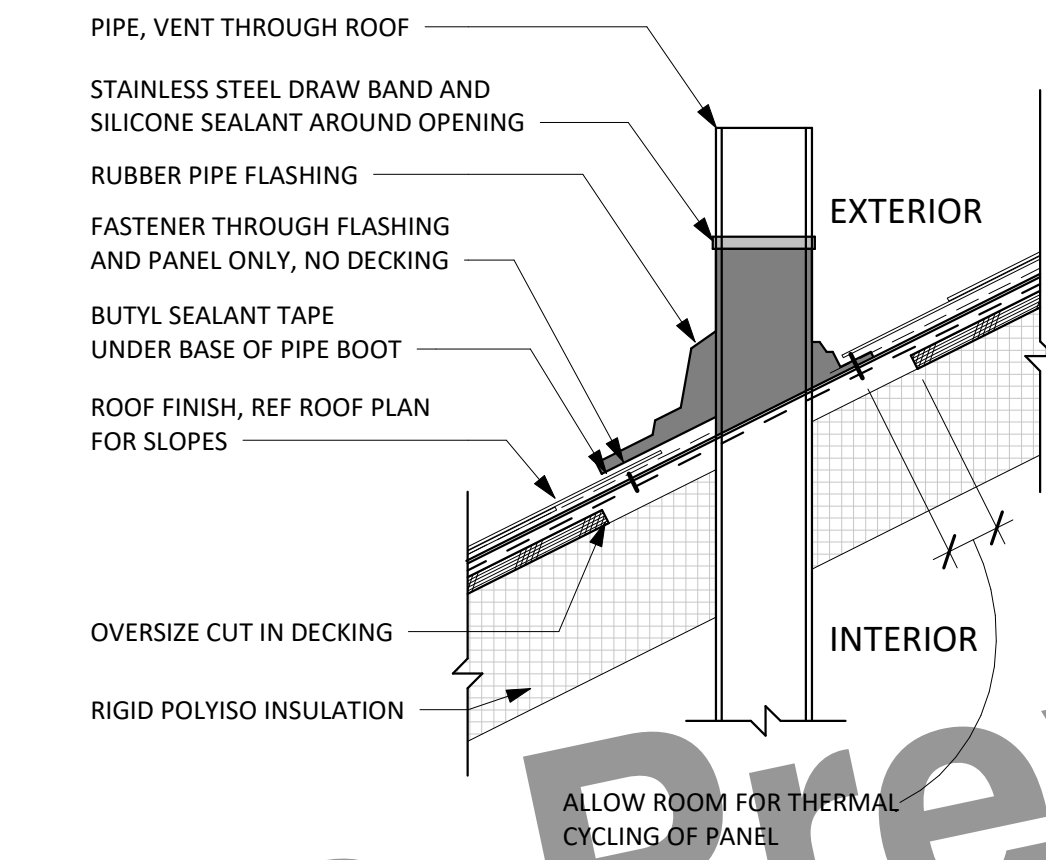
10 CEMENT BD OUTSIDE CORNER TRIM MITRE
1 1/2" = 1'-0"



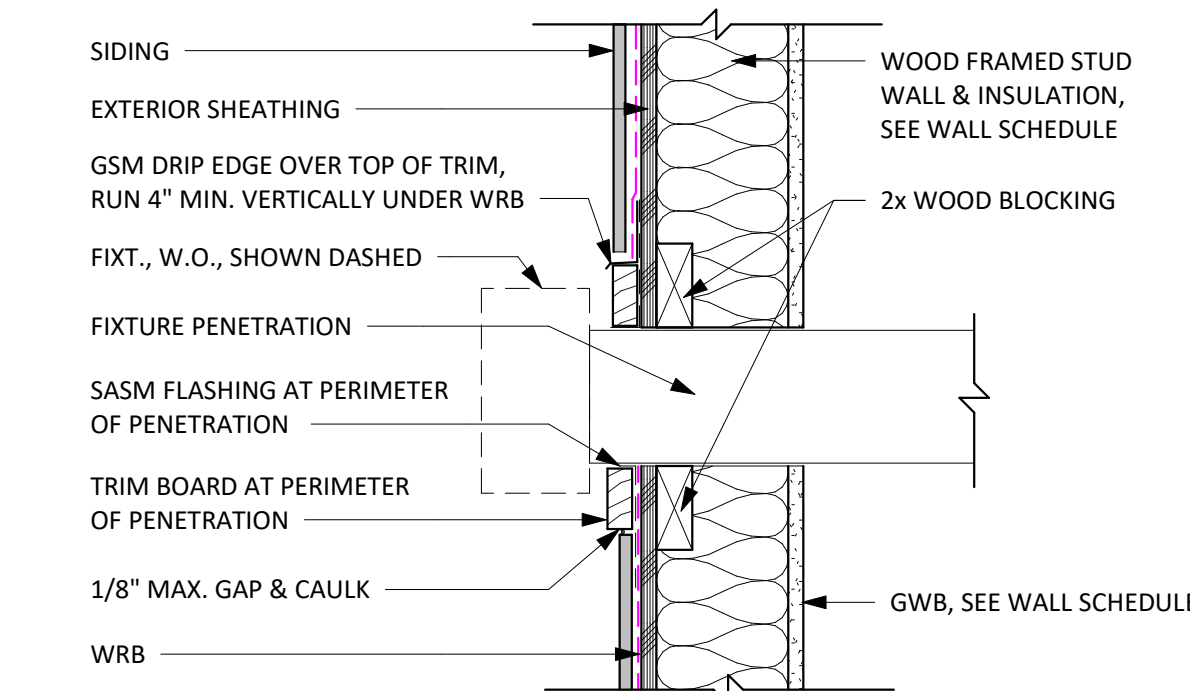
9 CEMENT BD TYP. OUTSIDE CORNER TRIM
1 1/2" = 1'-0"



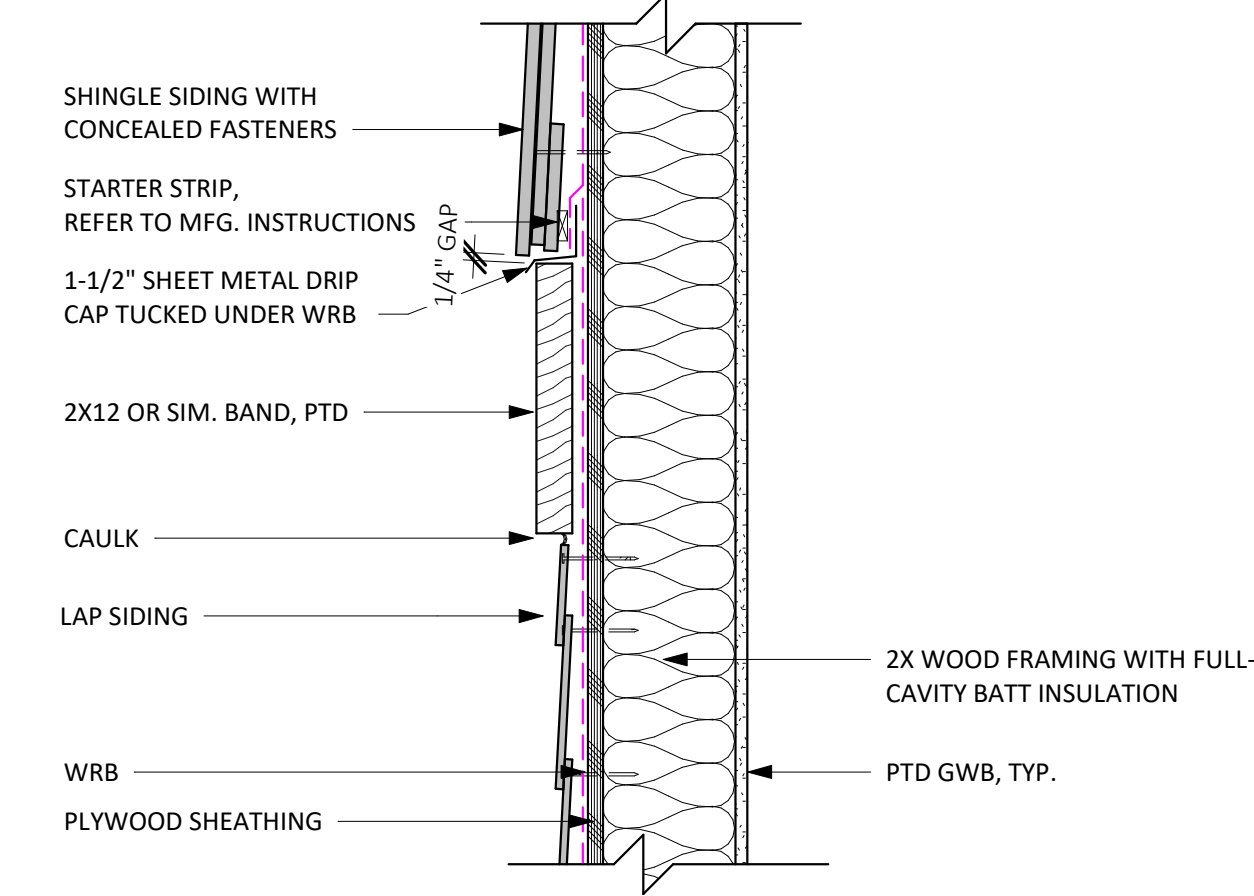
8 BASIC UNVENTED RIDGE AT ASPHALT SHINGLE
1 1/2" = 1'-0"



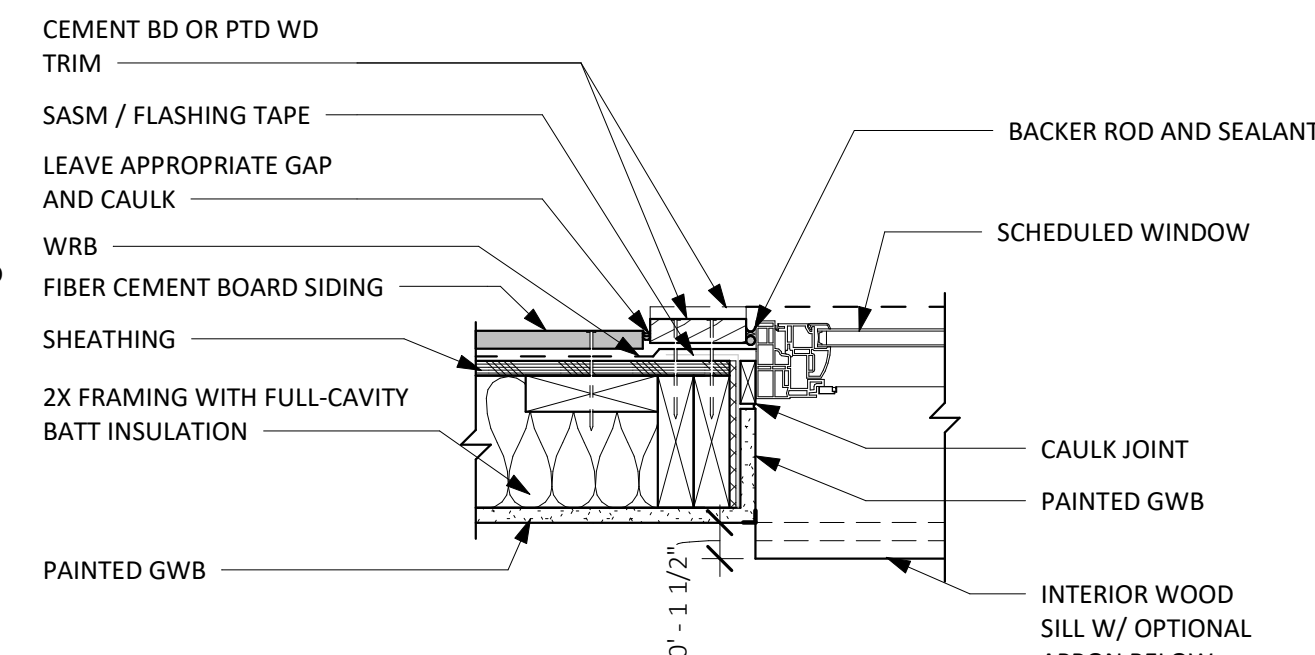
7 ROOF PENETRATION DETAIL
1 1/2" = 1'-0"



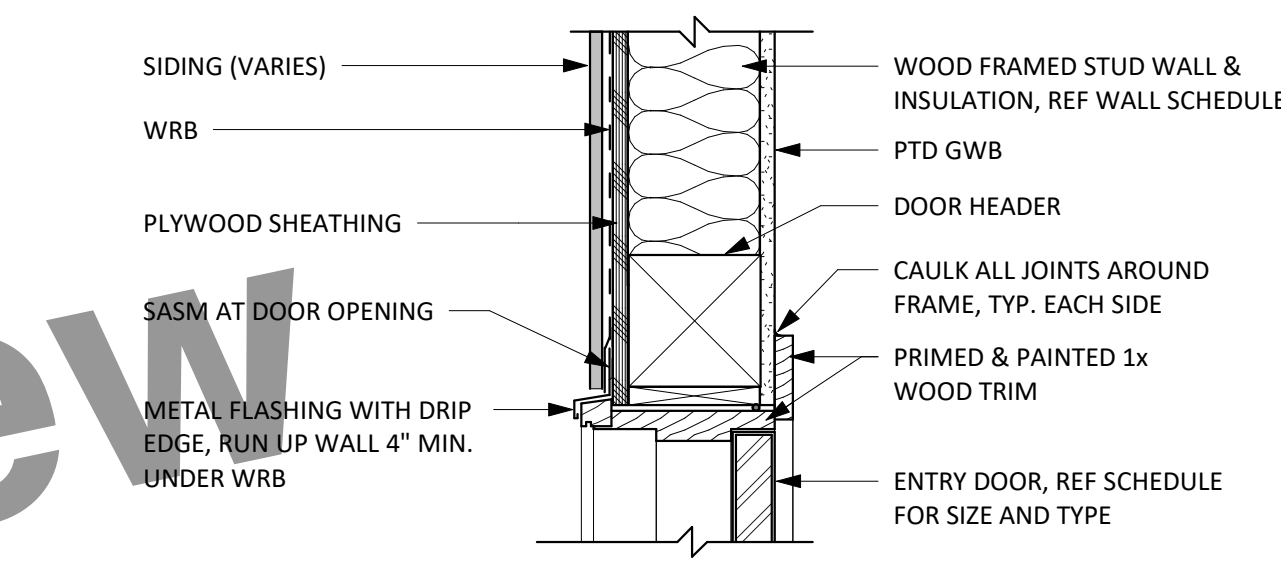
6 WALL PENETRATION DETAIL
1 1/2" = 1'-0"



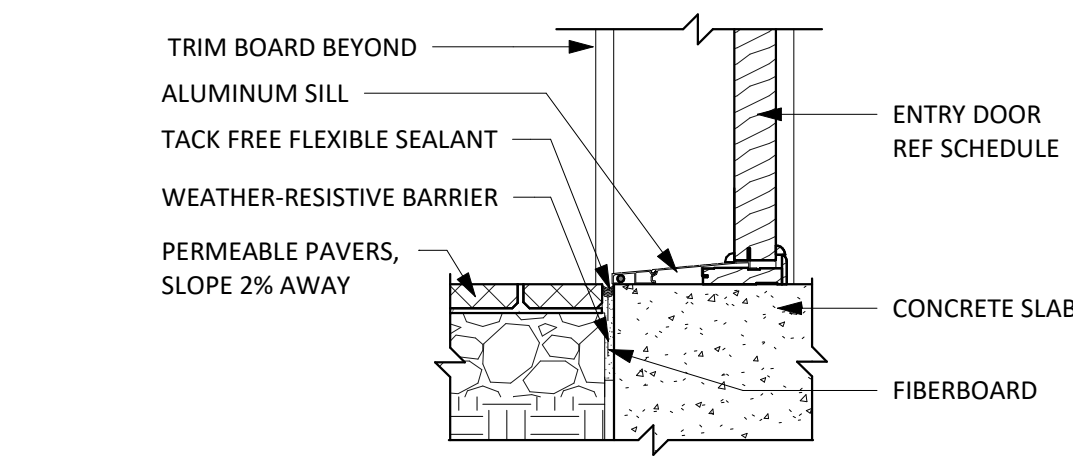
5 BELLY BAND @ CRAFTSMAN
1 1/2" = 1'-0"



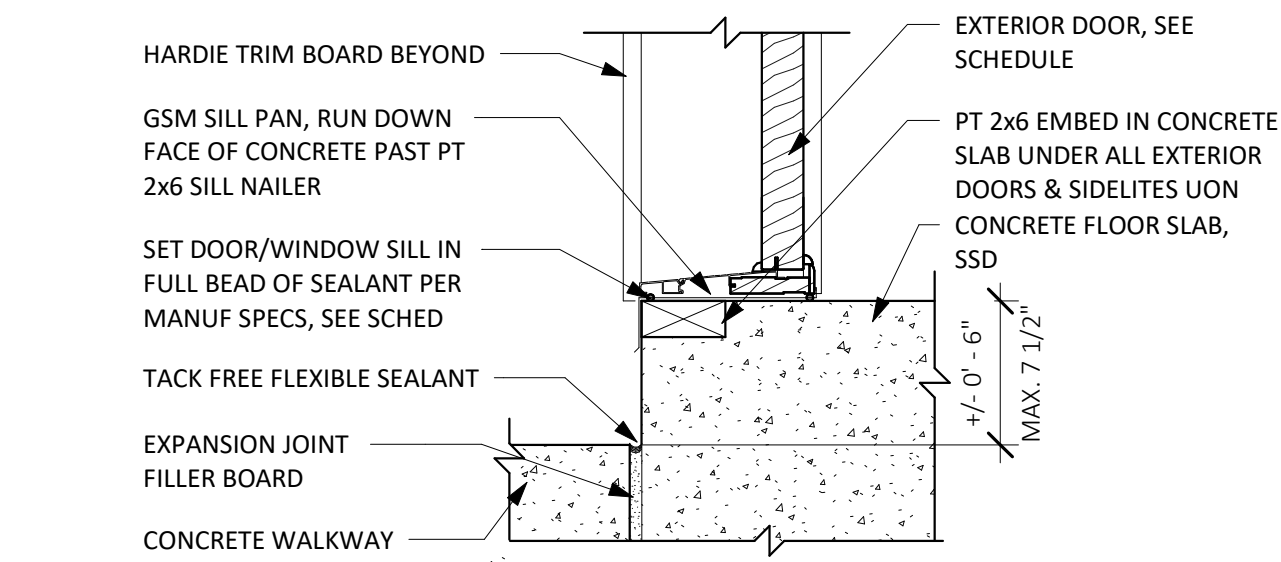
4 BASIC WINDOW JAMB
1 1/2" = 1'-0"



3 SWING DOOR HEAD / JAMB
1 1/2" = 1'-0"



2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)
1 1/2" = 1'-0"



1 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)
1 1/2" = 1'-0"



workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

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**CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF**

PRINT DATE: XX.XX.XXXX

EXTERIOR DETAILS

A5.2

SCALE: AS NOTED



**BROCKETT
/ARCHITECT**

[illegible]

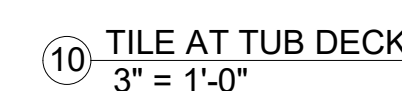
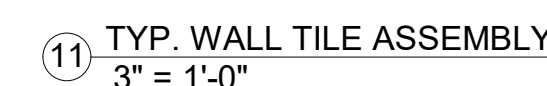
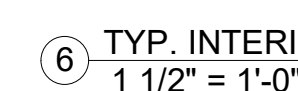
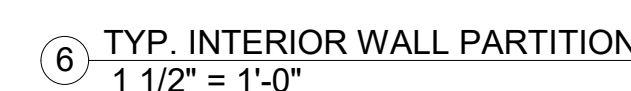
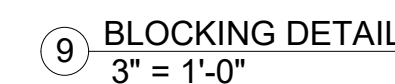
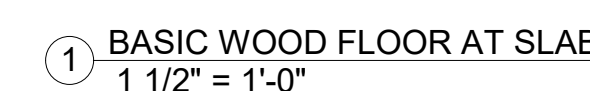
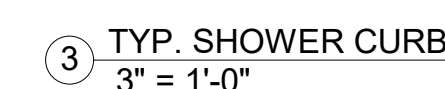
CENTRAL COAST
PRE-DESIGNED ADU

TWO BEDROOM + OPTIONS
009 CSE

INTERIOR DETAILS & WALL PARTITIONS

A5.3

SCALE : AS NOTED



3/30/2023 3:25:54 PM

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

WINDOW MATERIAL LEGEND			
FRAME MATERIAL		FRAME FINISH	
WD	WOOD	VIN	PTD
WC	WOOD-CLAD	COMP	ST
FIBR	FIBERGLASS	EXISTING	ANNO
ALUM	ALUMINUM		INT
			PAINTED STAINED ANNODIZED ALUM INTEGRAL COLOR

The diagram illustrates three window types with their respective dimensions and references:

- 1A CLERESTORY WINDOW:** A rectangular window. Dimensions include **WINDOW HEIGHT** (SEE SCHEDULE) and **WINDOW WIDTH** (SEE SCHEDULE).
- 2A AWNING WINDOW:** A window with a triangular awning. Dimensions include **WINDOW HEIGHT** (SEE SCHEDULE) and **WINDOW WIDTH** (SEE SCHEDULE).
- 2B CRAFTSMAN MUNTIN PATTERN:** A window with a muntin pattern. Dimensions include **WINDOW HEIGHT** (REF SCHEDULE) and **WINDOW WIDTH** (REF SCHEDULE).

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

1. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
2. GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - A. THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - C. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - D. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

STEP 1

CUT AND TEMPORARILY FOLD-UP / TURN BACK

12" MIN

6" MIN

SHEATHING

CUT WRAP ALONG R.O. (DO NOT TURN WRAP INTO R.O.)

STEP 2

SILL FLASHING

TURN UP AT JAMBS 1" MAX

PRESS AROUND CORNERS FROM INSIDE TO OUT

STEP 3

APPLY PEEL & STICK (P&S) FLASHING AT EACH JAMB

STEP 4

CONTINUOUS CAULKING ALONG HEAD & JAMB

NO CAULK AT SILL

NOTE: NOT TO SCALE

APPLIANCE SCHEDULE - TWO BEDROOM PLUS				
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

DOOR SCHEDULE - TWO BEDROOM PLUS

The image displays eight architectural symbols for different door types, each with a label and a corresponding diagram. The diagrams include dimensions for door height, door width, and door schedule.

- A SINGLE DOOR**: A simple rectangular door with a dashed diagonal line indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- B BYPASS CLOSET DOOR**: A door with a horizontal arrow indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- C SINGLE POCKET DOOR**: A door with a horizontal arrow indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- D SINGLE GLAZED DOOR**: A door with a diagonal line and hatching indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- E SINGLE HALF-LITE DOOR**: A door with a horizontal line and hatching indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- F SINGLE DOOR W/ EMBEDDED LITES**: A door with two small rectangular lites and a dashed diagonal line indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- J DOUBLE-SLIDING GLAZED DOOR**: A door with two vertical sliding panels and a horizontal arrow indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.
- O OPTIONAL DOUBLE-SLIDING GLAZED DOOR**: A door with two vertical sliding panels and a horizontal arrow indicating the swing. Dimensions: DOOR HEIGHT, SEE SCHEDULE, DOOR WIDTH, SEE SCHEDULE.

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 2.4 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E. GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND
INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:

PLUMBING FIXTURE SCHEDULE - TWO BEDROOM PLUS

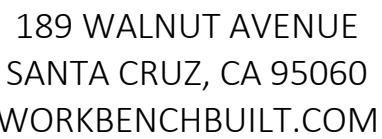
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	SHOWER OR SHOWER/TUB COMBO			
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN TOILET			
	VANITY WITH SINK/FAUCET			

LIGHTING FIXTURE SCHEDULE - TWO BEDROOM PLUS

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			25
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			3

APPLIANCE SCHEDULE - TWO BEDROOM PLUS

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			



104 S. MAIN ST UNIT B
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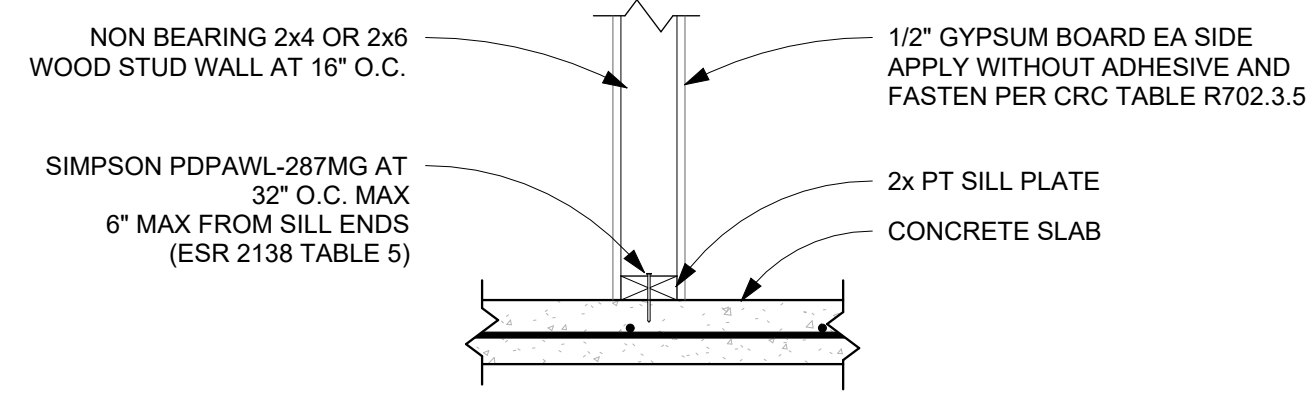
CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE XX.XX.XXXX

SCHEDULES - TWO BEDROOM PLUS

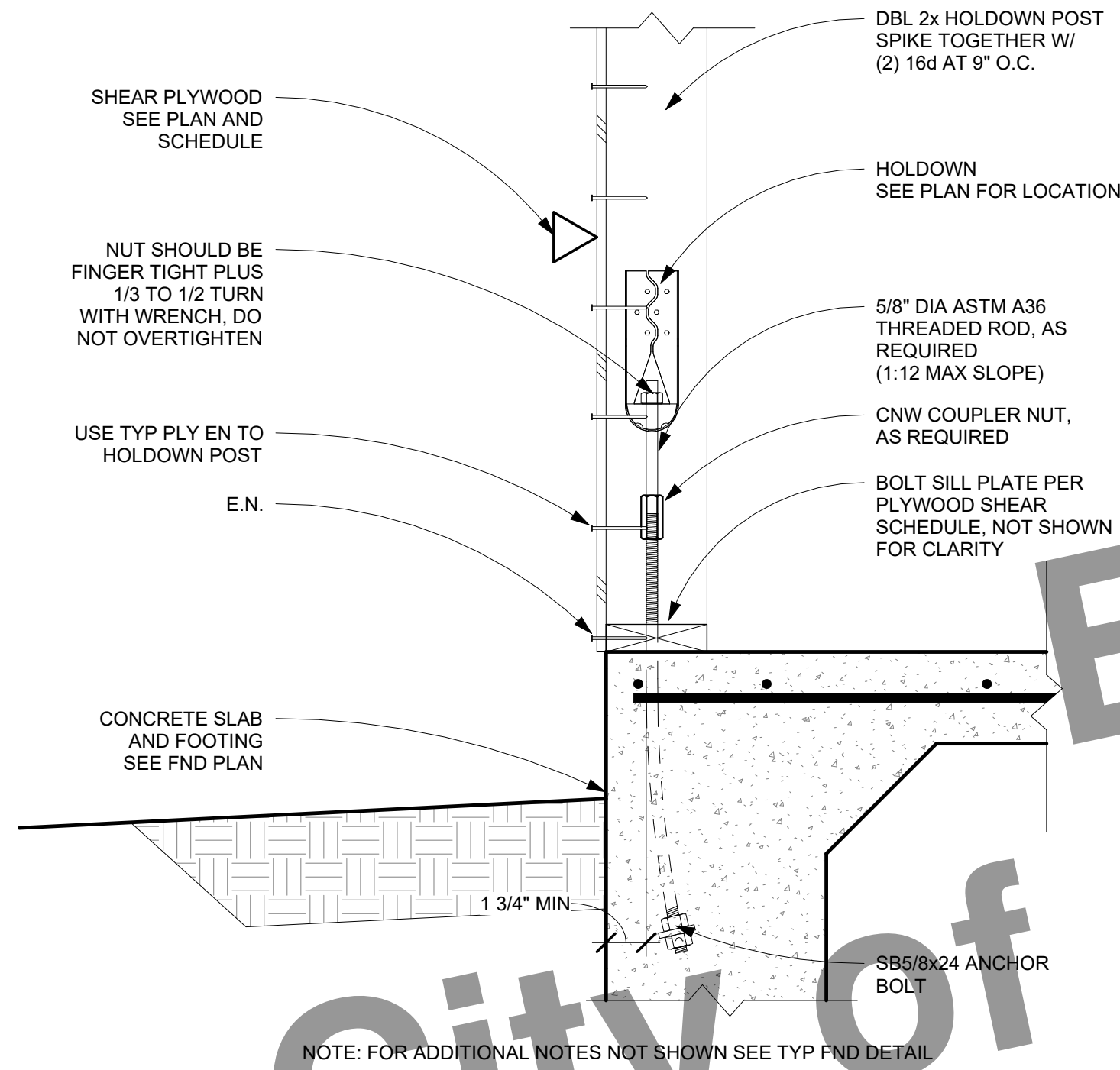
A6.0

SCALE : AS NOTED



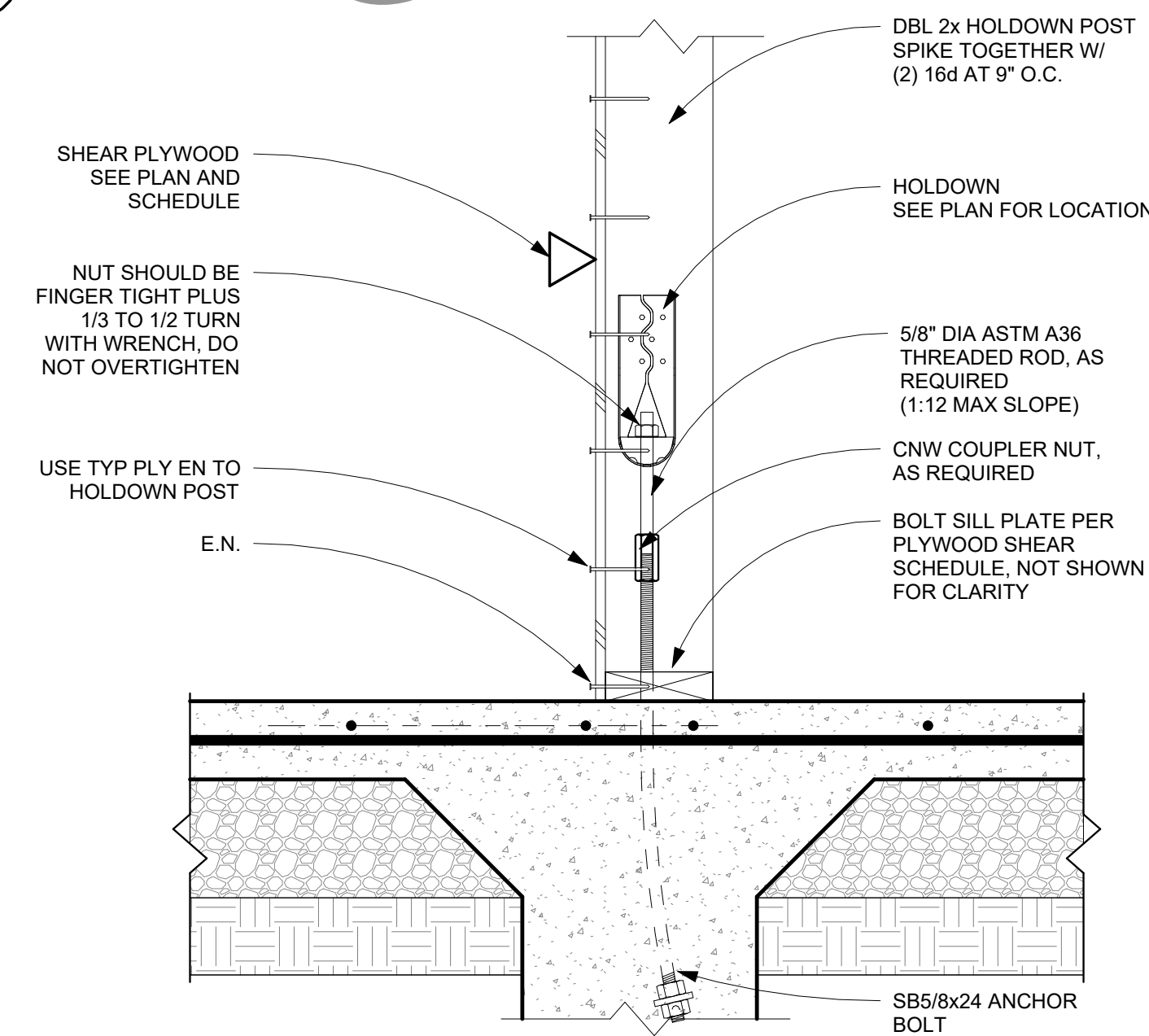
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB

8
S0.1 1" = 1'-0"



TYP HOLDOWN AT PERIM FTG

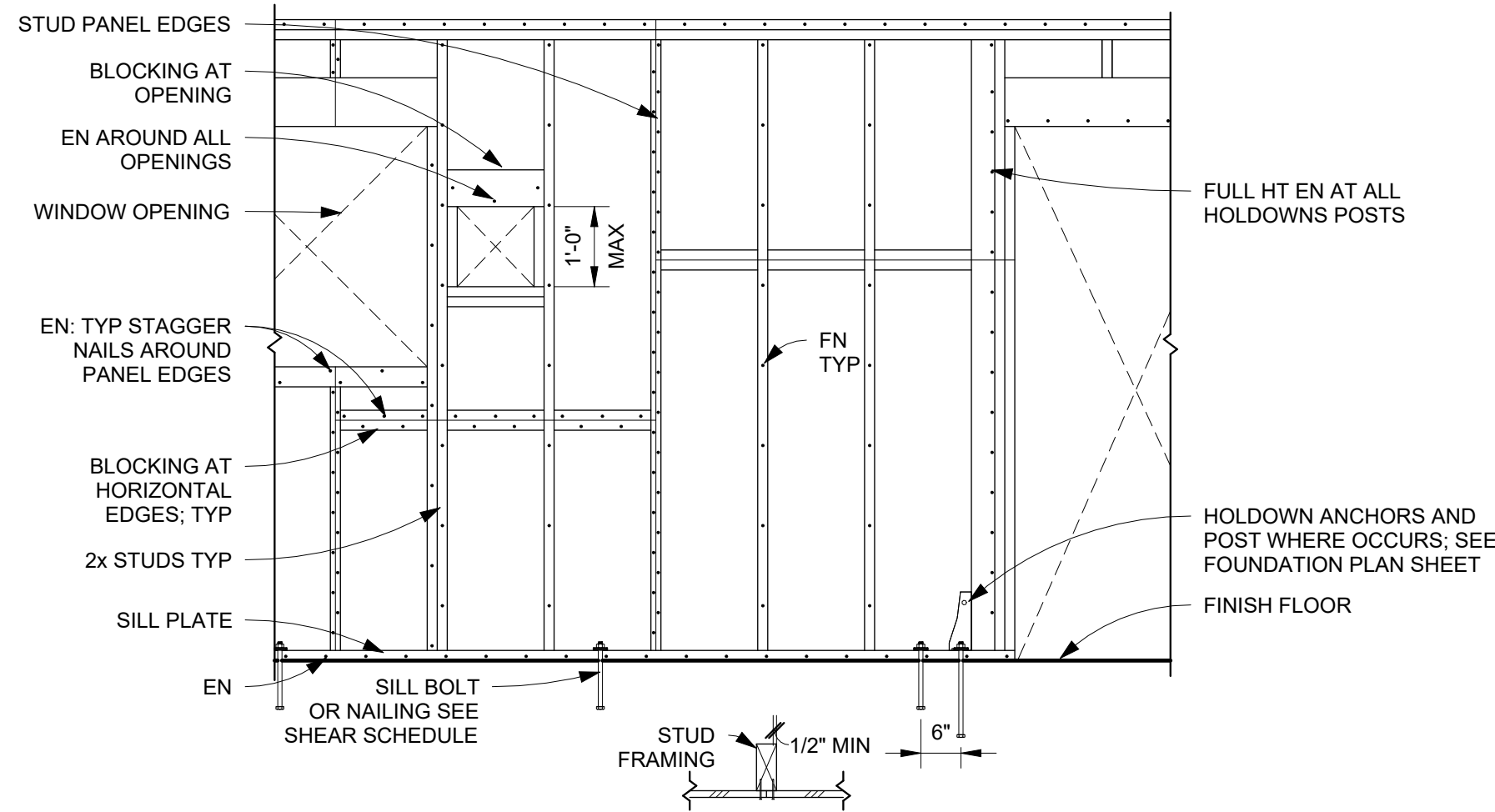
9
S0.1 1 1/2" = 1'-0"



NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE INTERIOR FOUNDATION DTL

TYP HOLDOWN AT INTERIOR FOOTING

10
S0.1 1 1/2" = 1'-0"

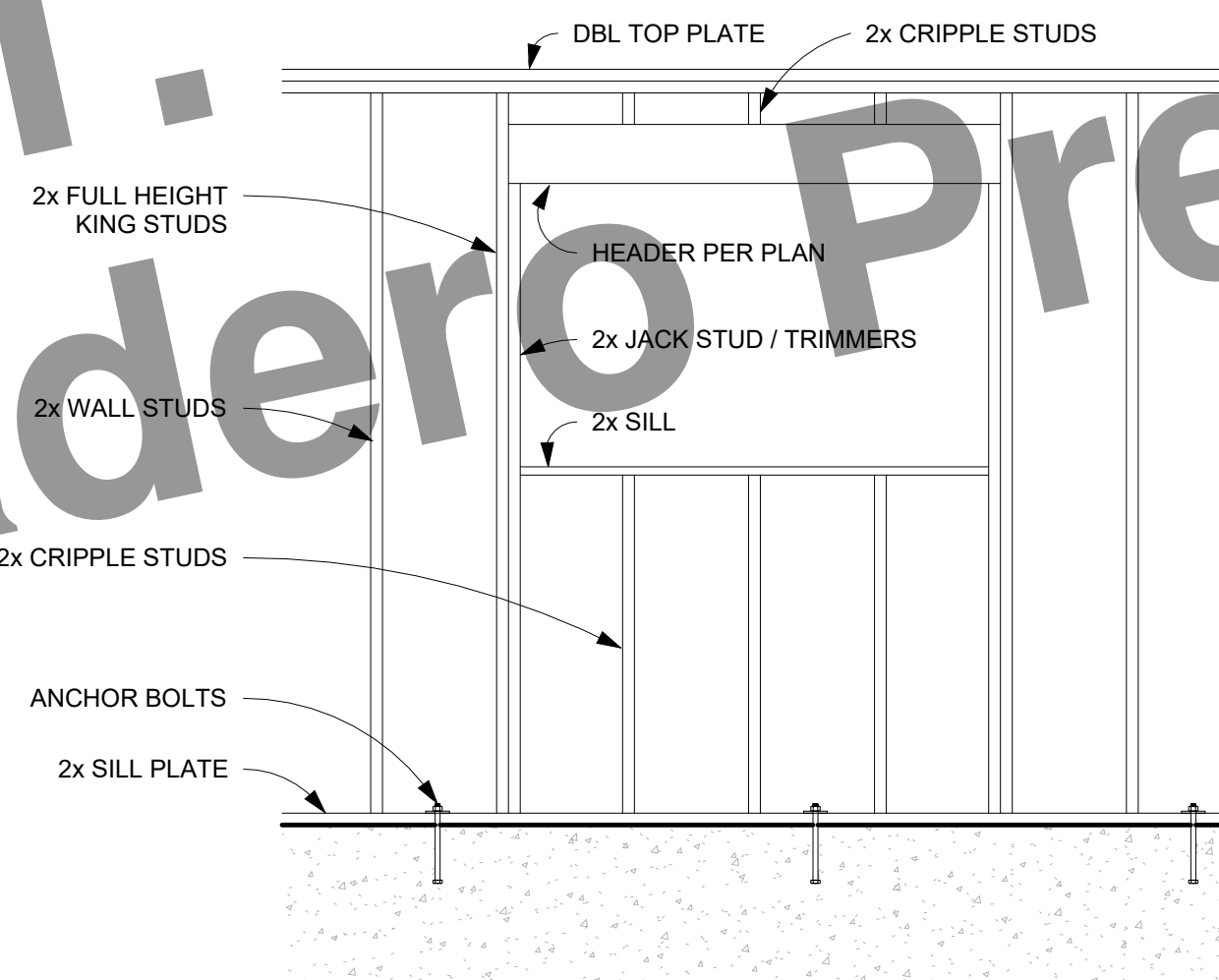


NOTES:

- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
- (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
- SEE PLAN FOR SHEARWALL SCHEDULE.
- THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

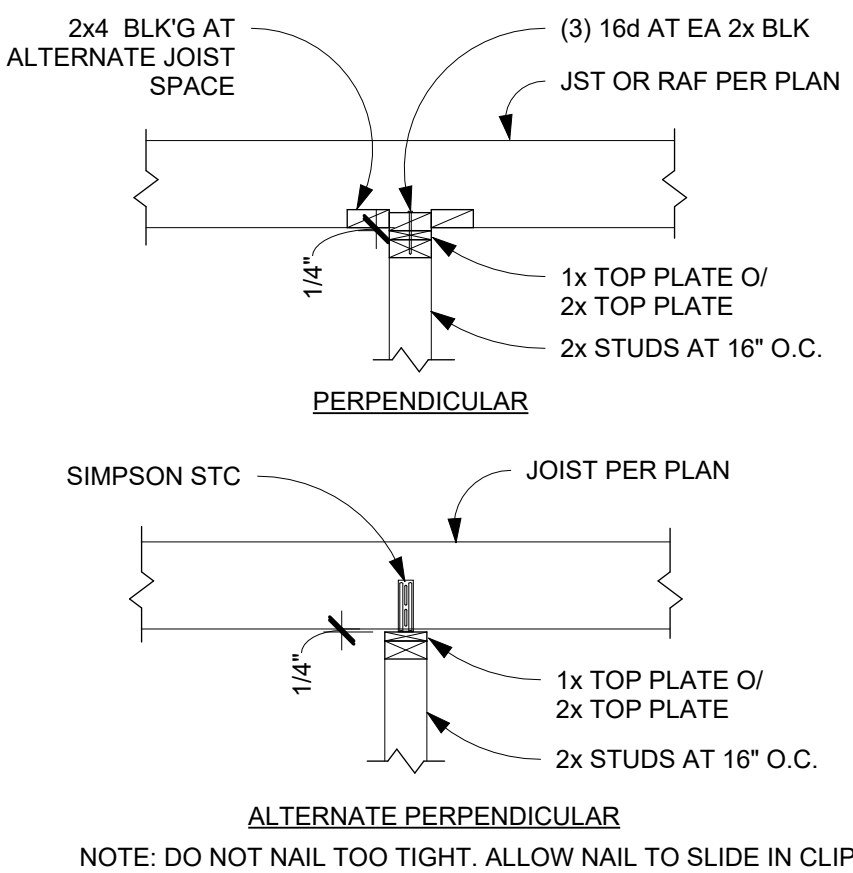
TYP SHEAR WALL FRAMING

5
S0.1 1/2" = 1'-0"



TYP WALL FRAMING

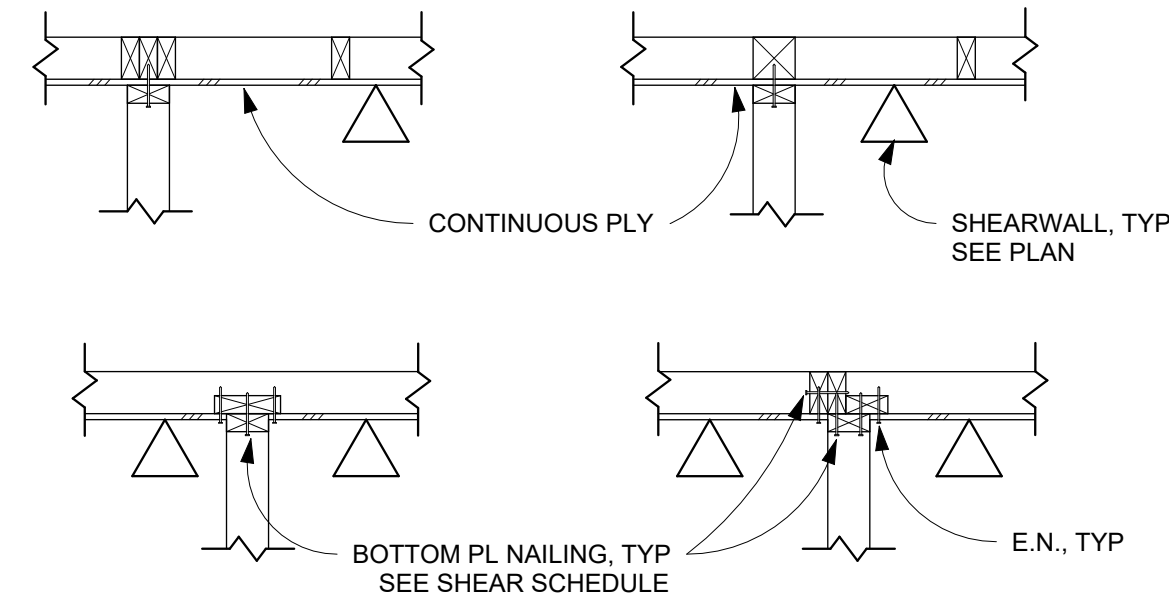
6
S0.1 1/2" = 1'-0"



NOTE: DO NOT NAIL TOO TIGHT. ALLOW NAIL TO SLIDE IN CLIP

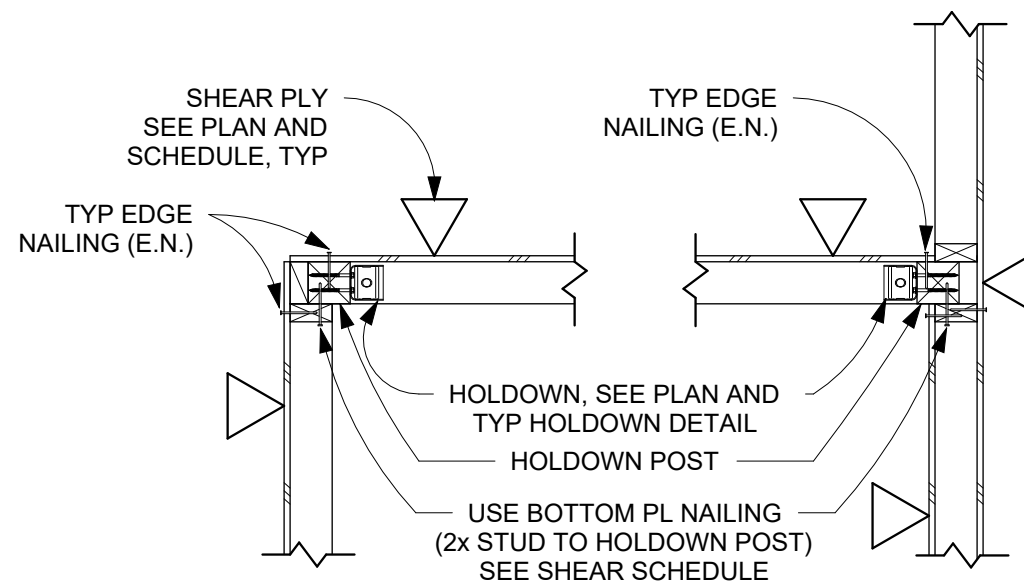
NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP

7
S0.1 3/4" = 1'-0"



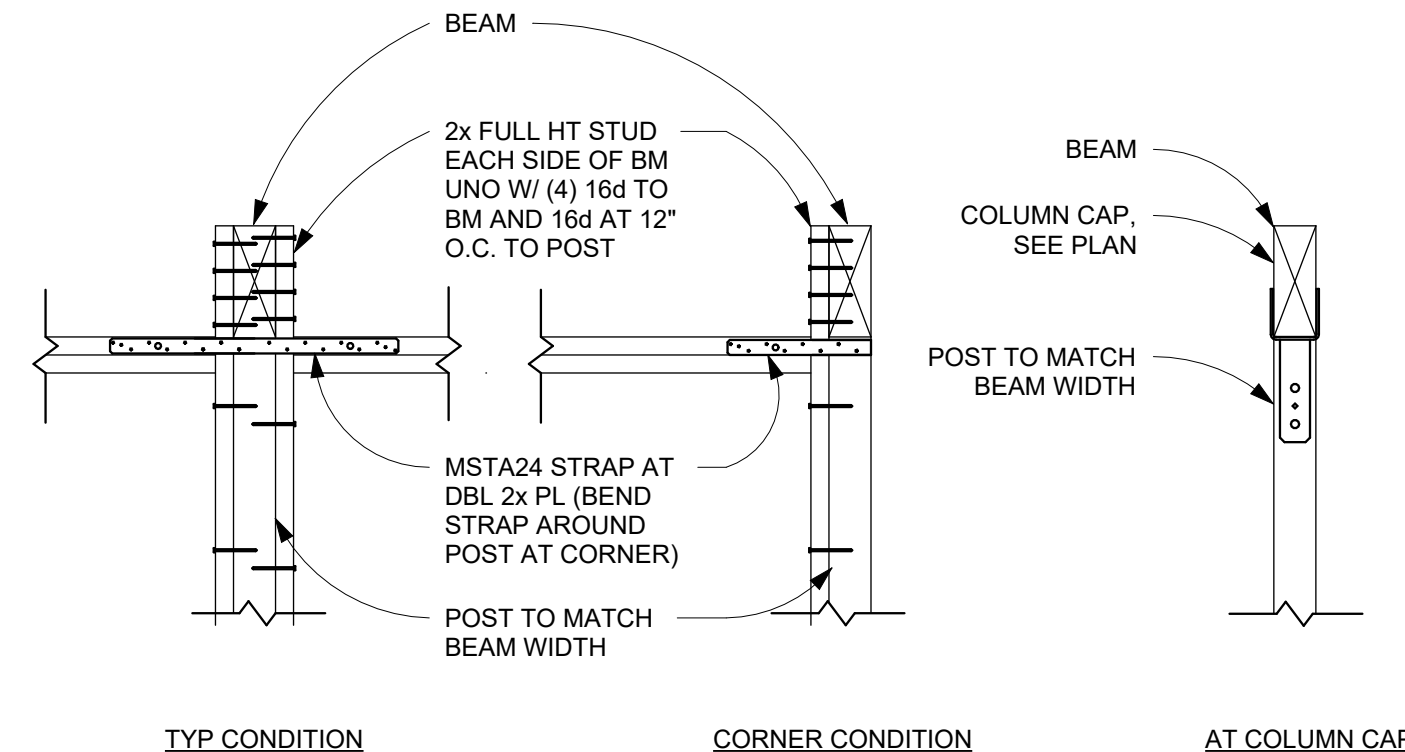
CONT SHEAR WALL PLAN DETAIL

1
S0.1 3/4" = 1'-0"



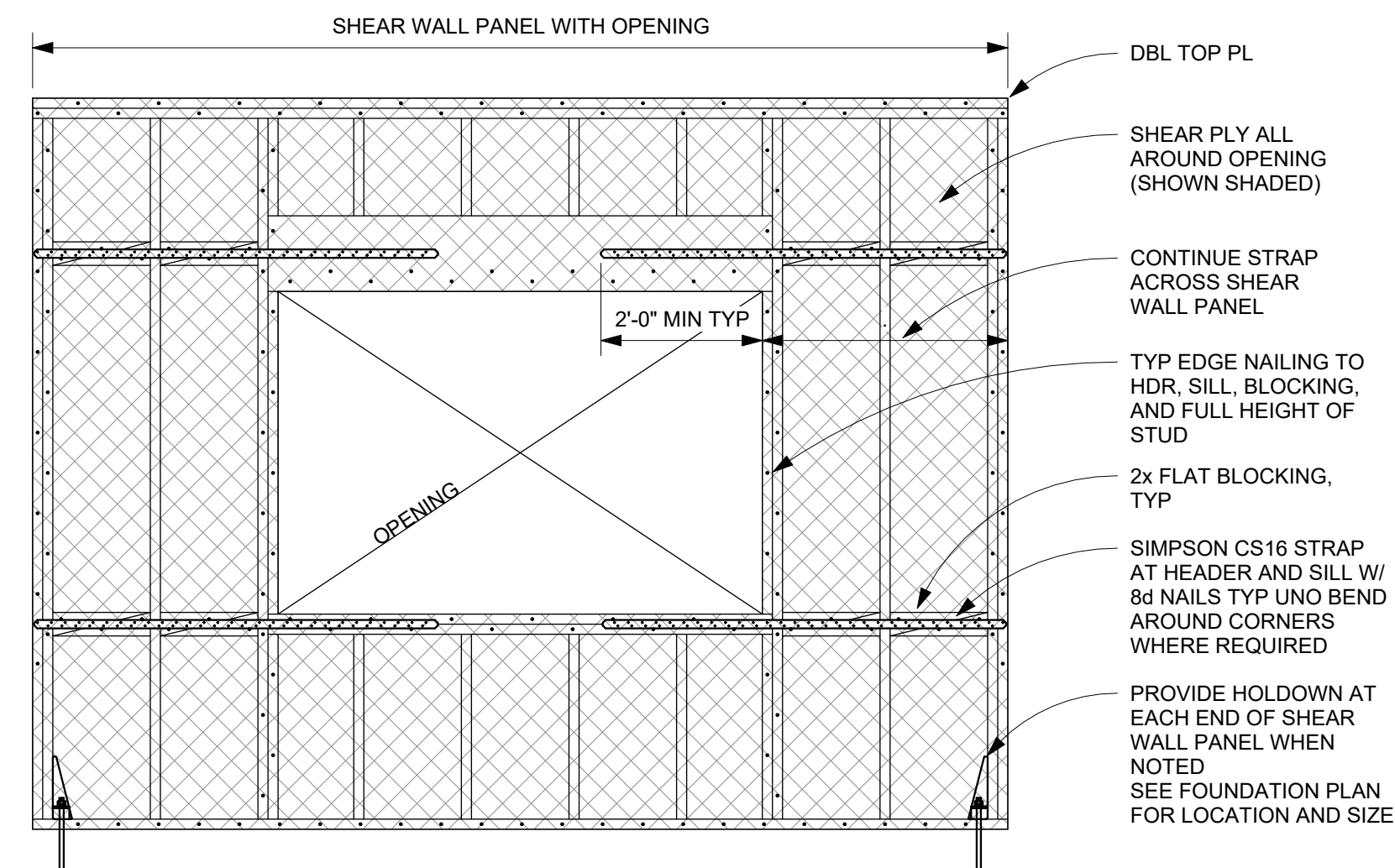
INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL

2
S0.1 3/4" = 1'-0"



TYPICAL POST TO BEAM CONN

3
S0.1 3/4" = 1'-0"

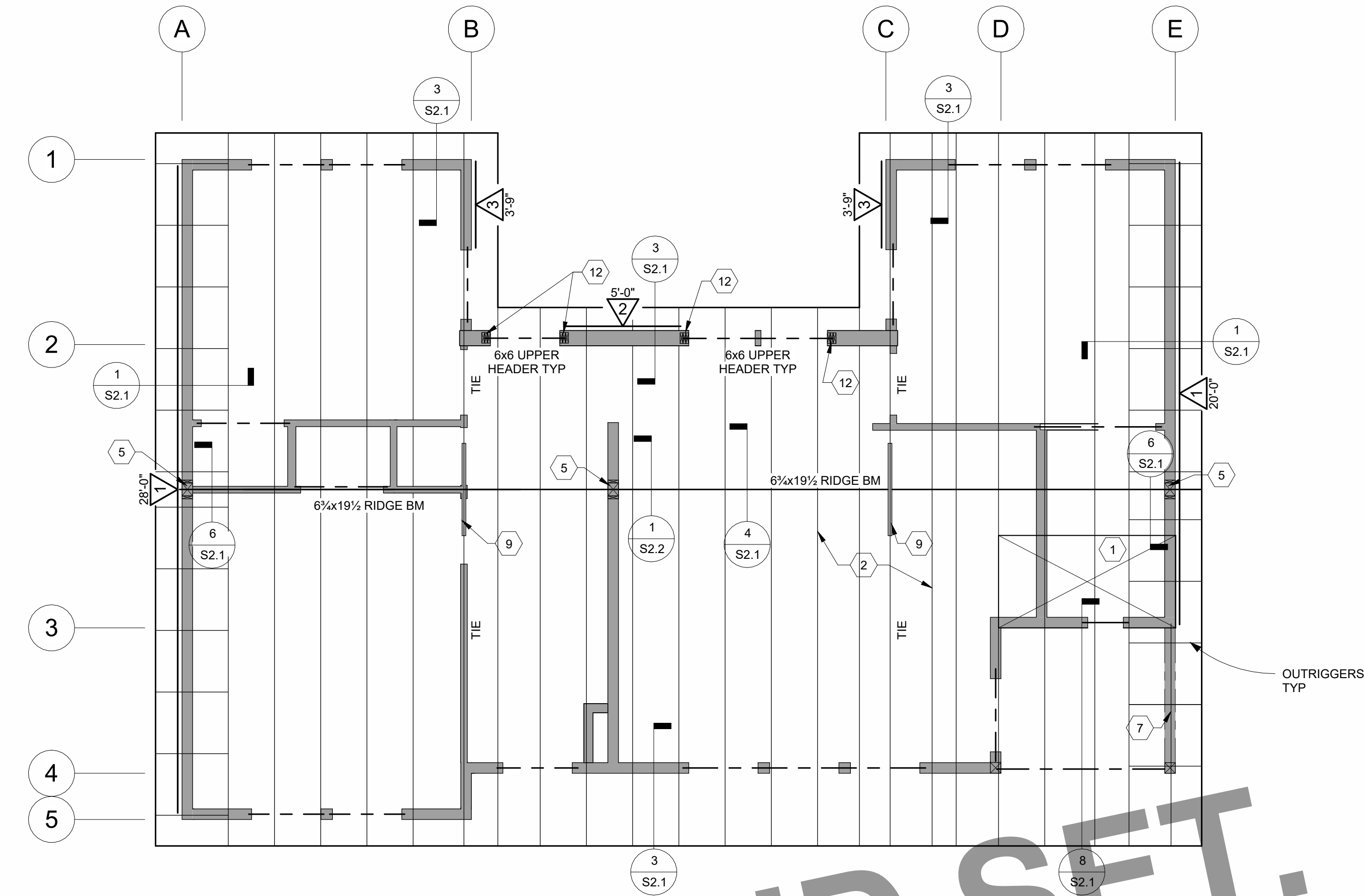


NOTES:

- PLACE STRAPS OVER PLYWOOD
- HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

STRAP AROUND OPENING

4
S0.1 1/2" = 1'-0"





TWO BEDROOM - ROOF FRAMING PLAN

1/4" = 1'-0"


LEGEND

- 1 KEYNOTE TAG
SEE KEYNOTE TABLES
- A HOLDOWN TAG
SEE HOLDOWN SCHEDULE
- 1'-0" SHEARWALL TAG
- 1'-0" PERFORATED SHEARWALL
TAG SEE DETAIL 4 / S0.1
- Ø-Ø- HOLDOWN POST
- WALL ABOVE
- WALL BELOW

ROOF AND CEILING/LOFT FRAMING NOTES

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY  ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

FOUNDATION PLAN NOTES

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
-  * INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

**TWO BEDROOM
FOUNDATION PLAN KEYNOTES**

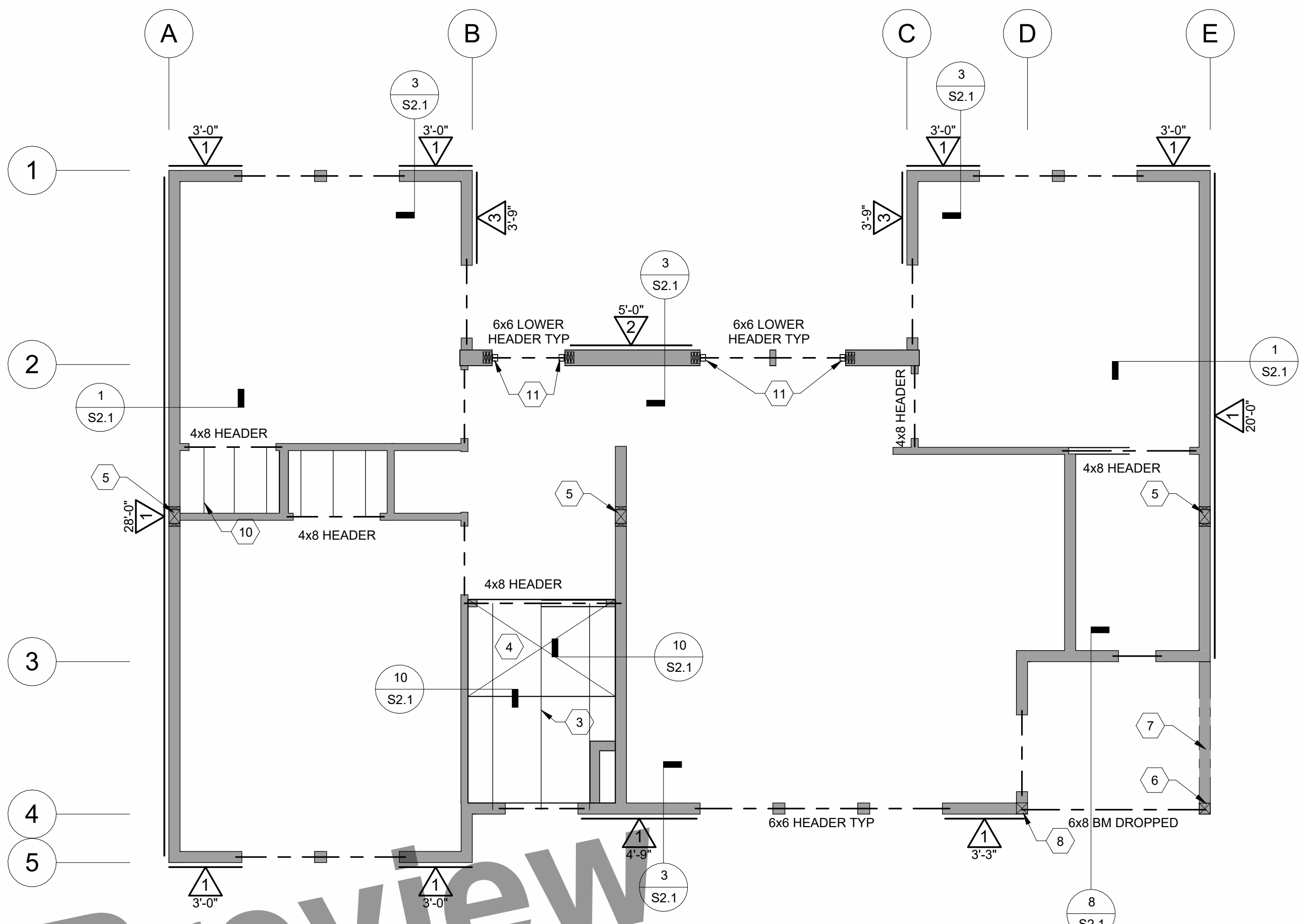
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 18" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
4	6x6 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	POST ABOVE
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

HOLDOWN SCHEDULE

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

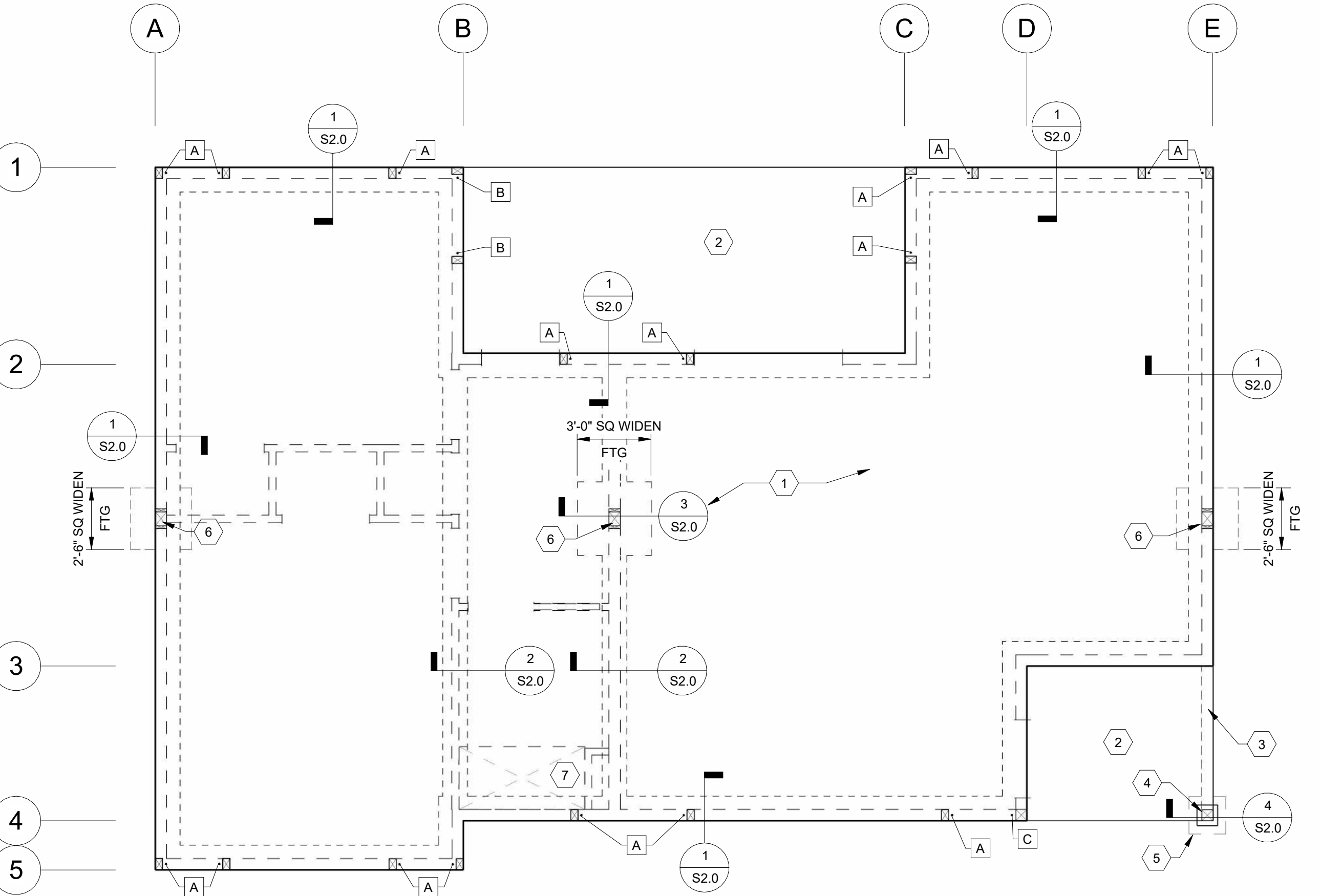
**TWO BEDROOM
ROOF & CEILING FRAMING PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 16" O.C.
4	CEILING PLYWOOD SEE ROOF AND CELING FRAMING NOTES
5	6x8 RIPPED RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC66 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x BEAM UNDER DBL TOP PLATE
9	MST449 STRAP RAF OVER RIDGE TIE RAF TO TIE RAF
10	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
11	HUC66 HANGER
12	2x TRIMMER WITH DBL 2x KING STUD



TWO BEDROOM - CEILING FRAMING PLAN

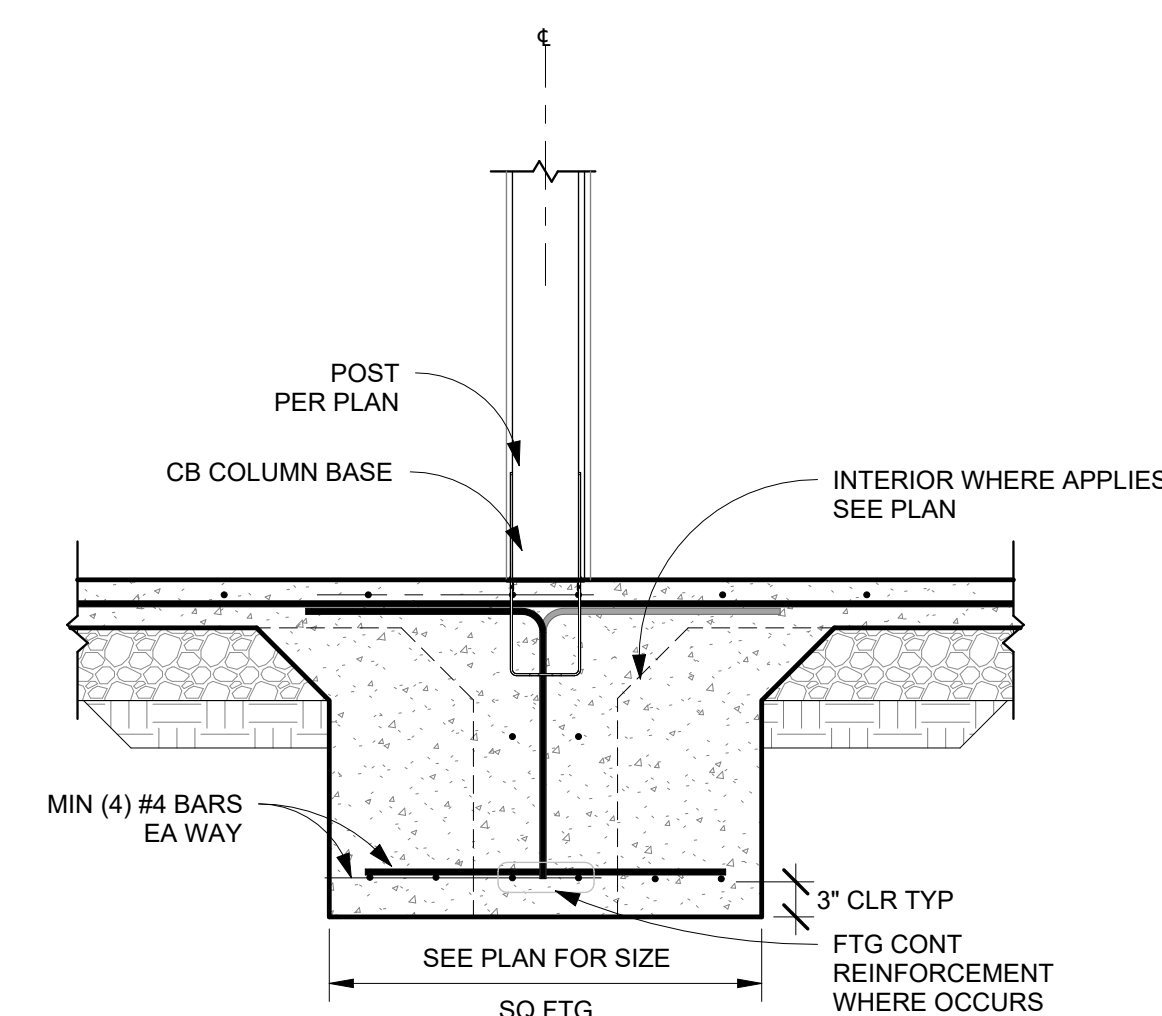
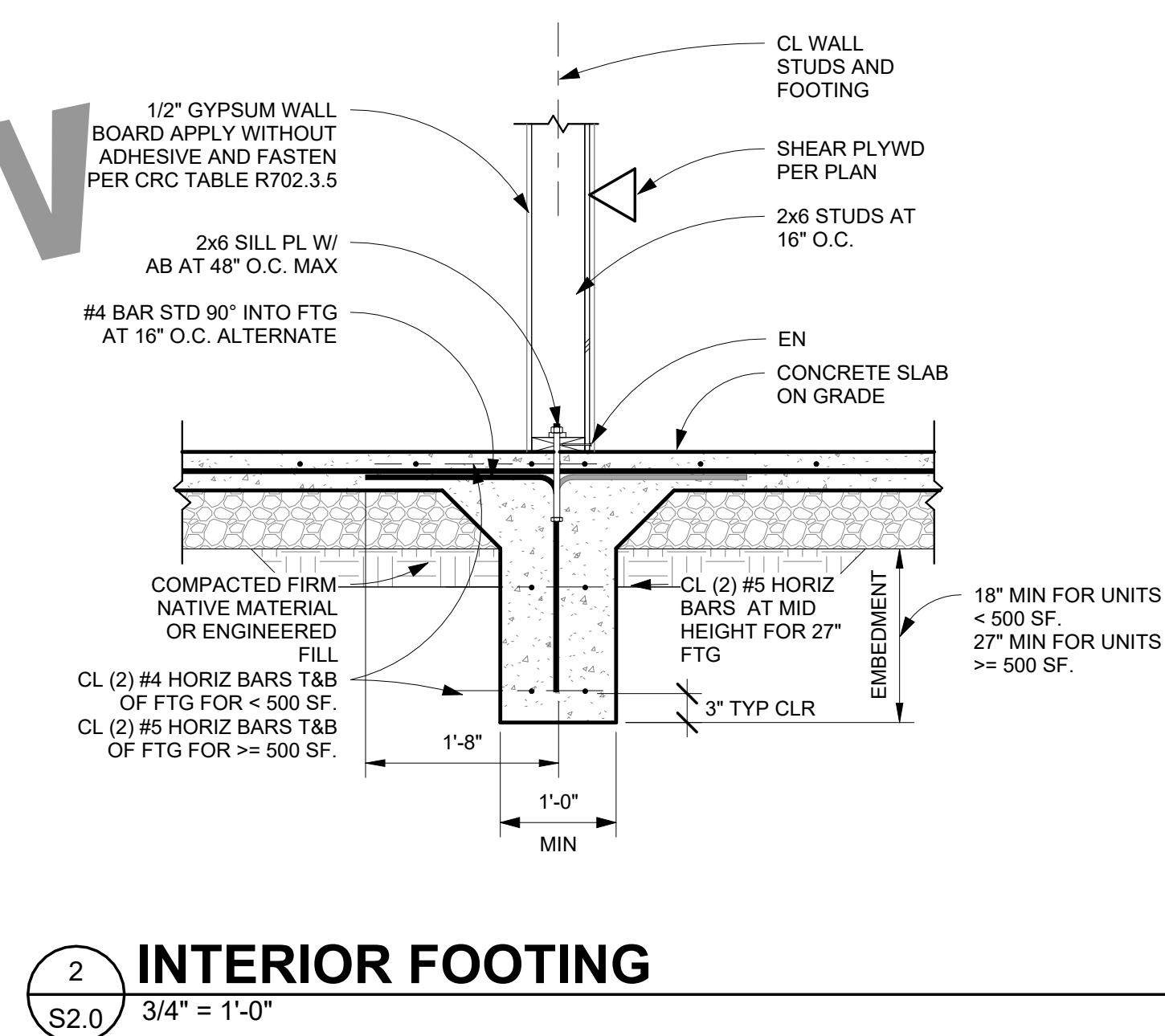
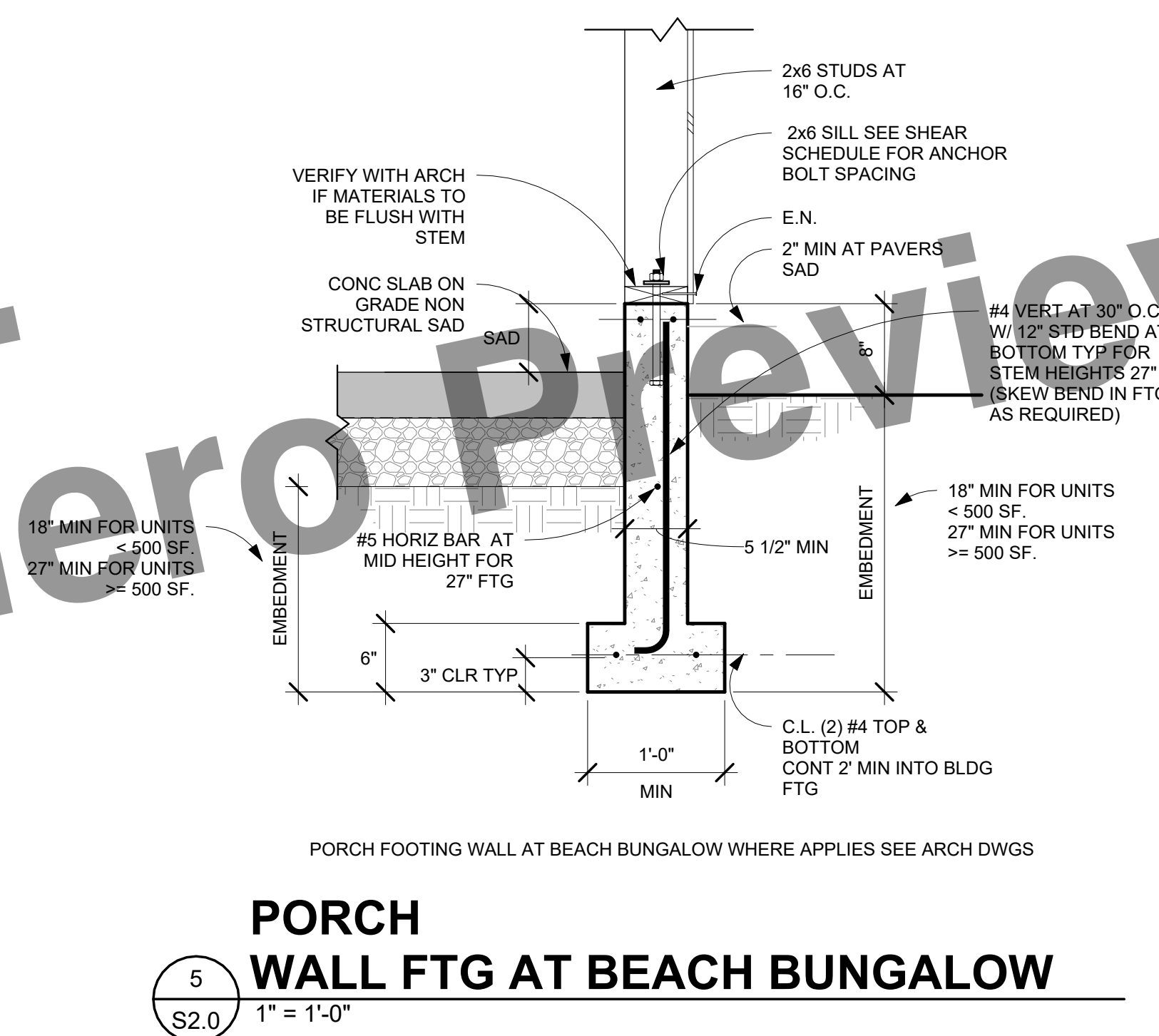
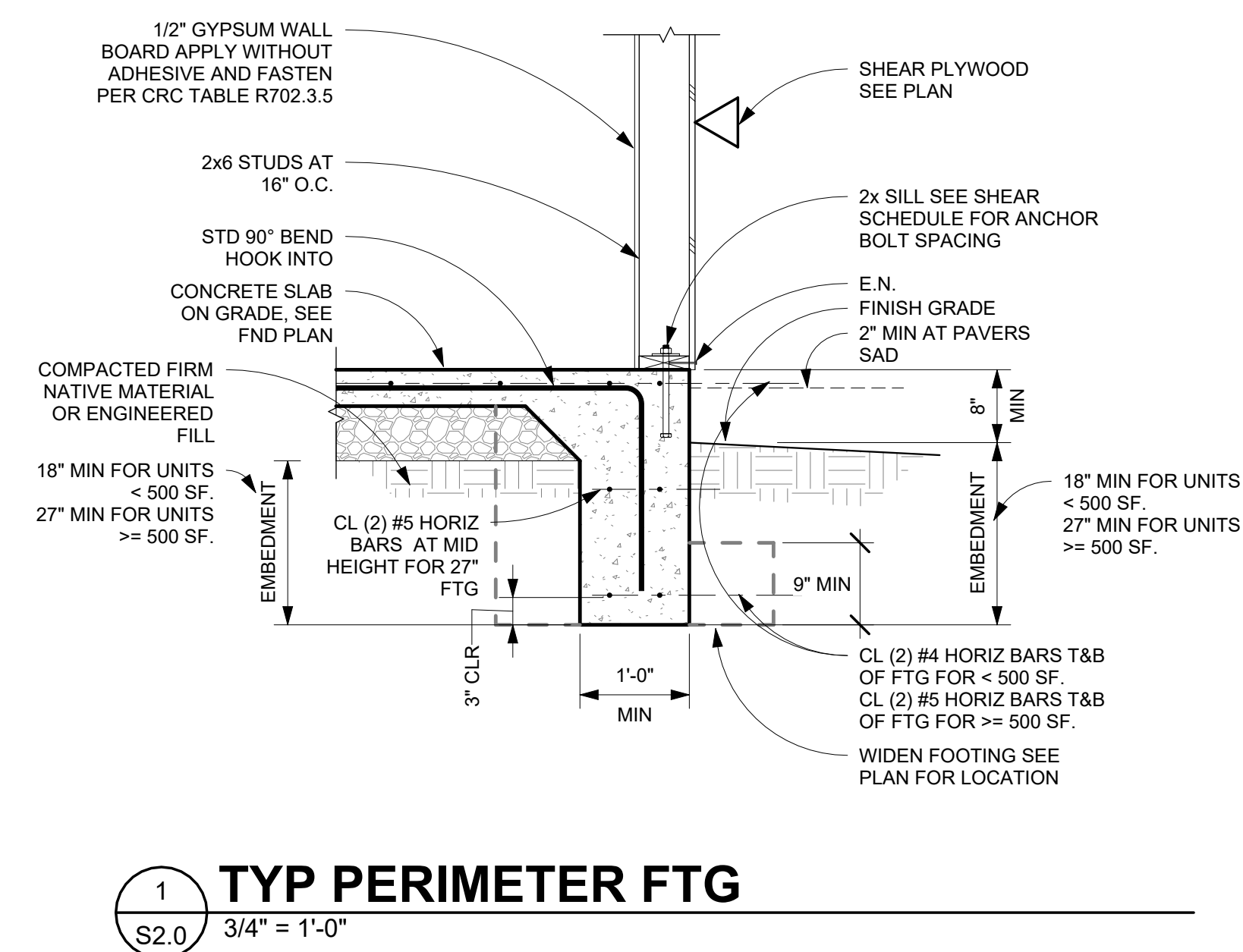
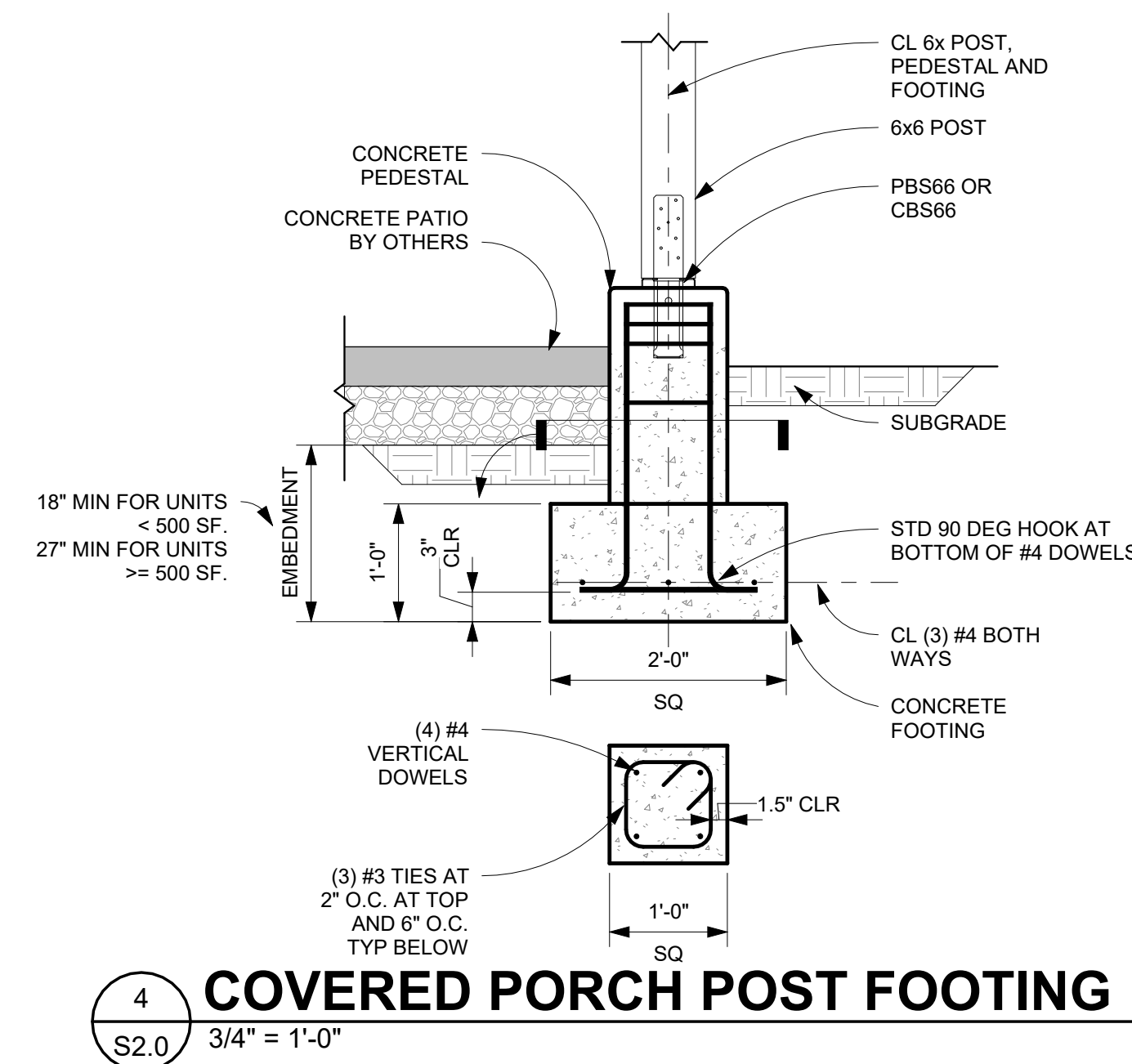
1/4" = 1'-0"



TWO BEDROOM - FOUNDATION PLAN

1/4" = 1'-0"

REV	DATE	BY
1	7-14-23	CT

[illegible]

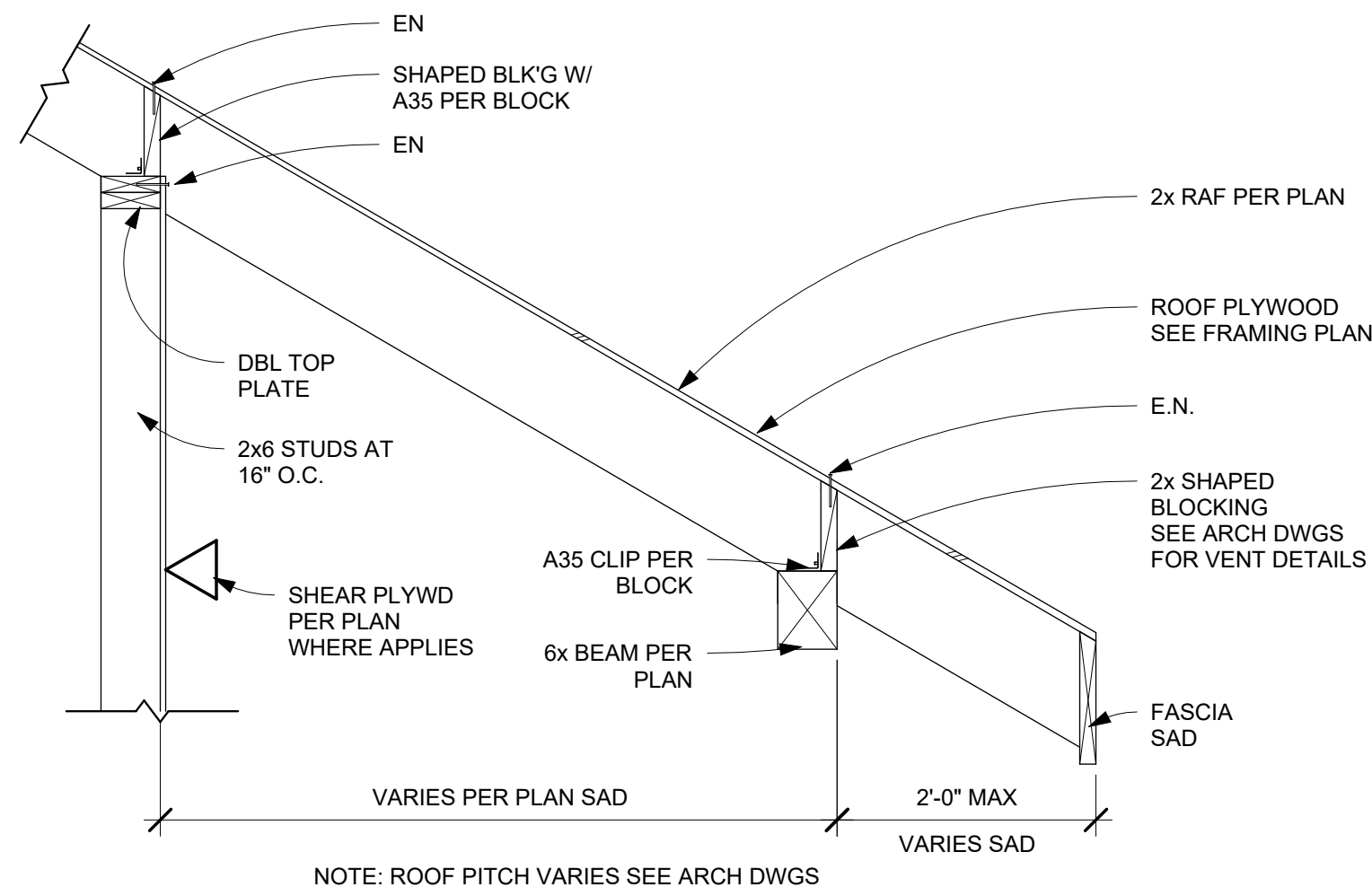
CM Taylor
STRUCTURAL
ENGINEERING

CM Taylor Structural Engineering, Inc. 4245 Capitola Rd. Suite 204, Capitola, CA 95010
Phone: 313-854-2484 email: contact@cmtailorse.com

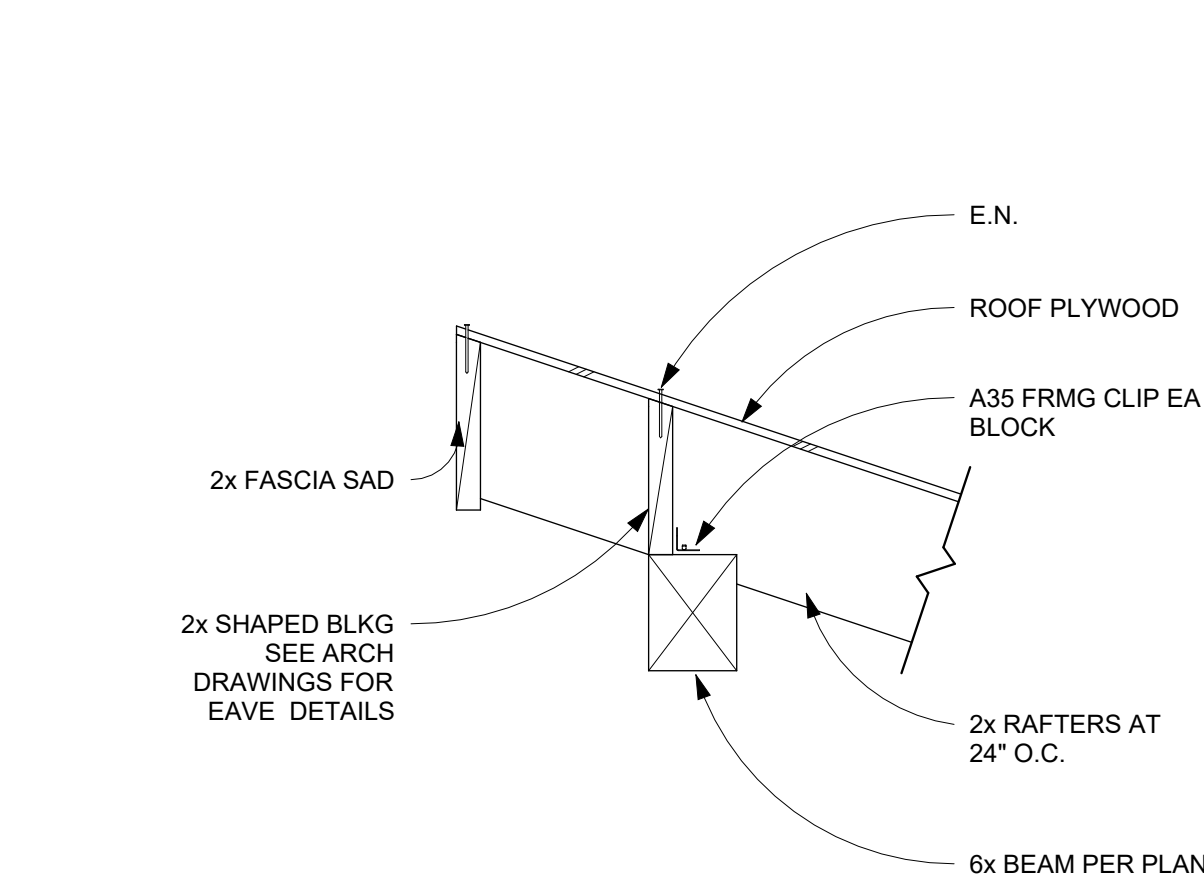
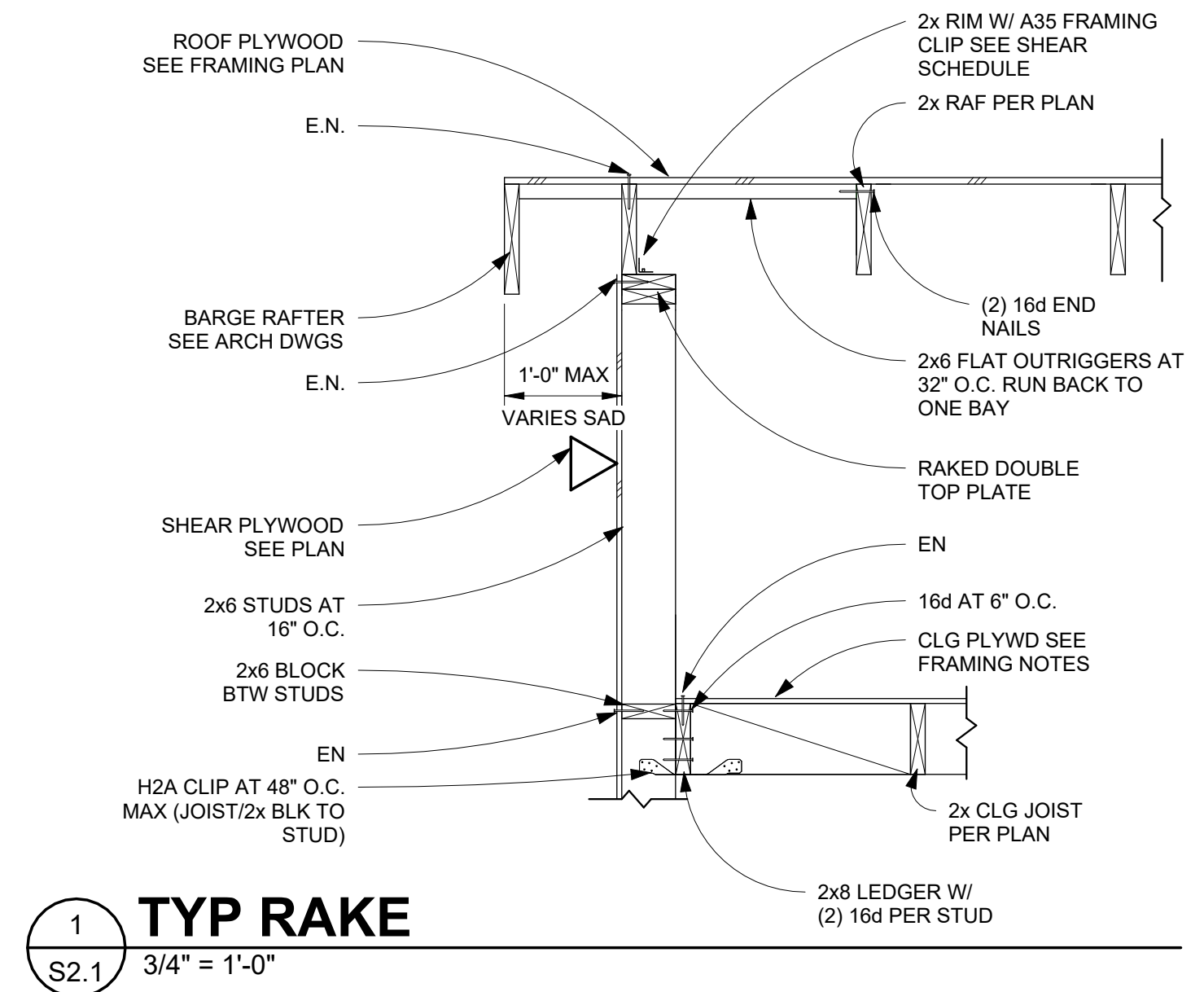
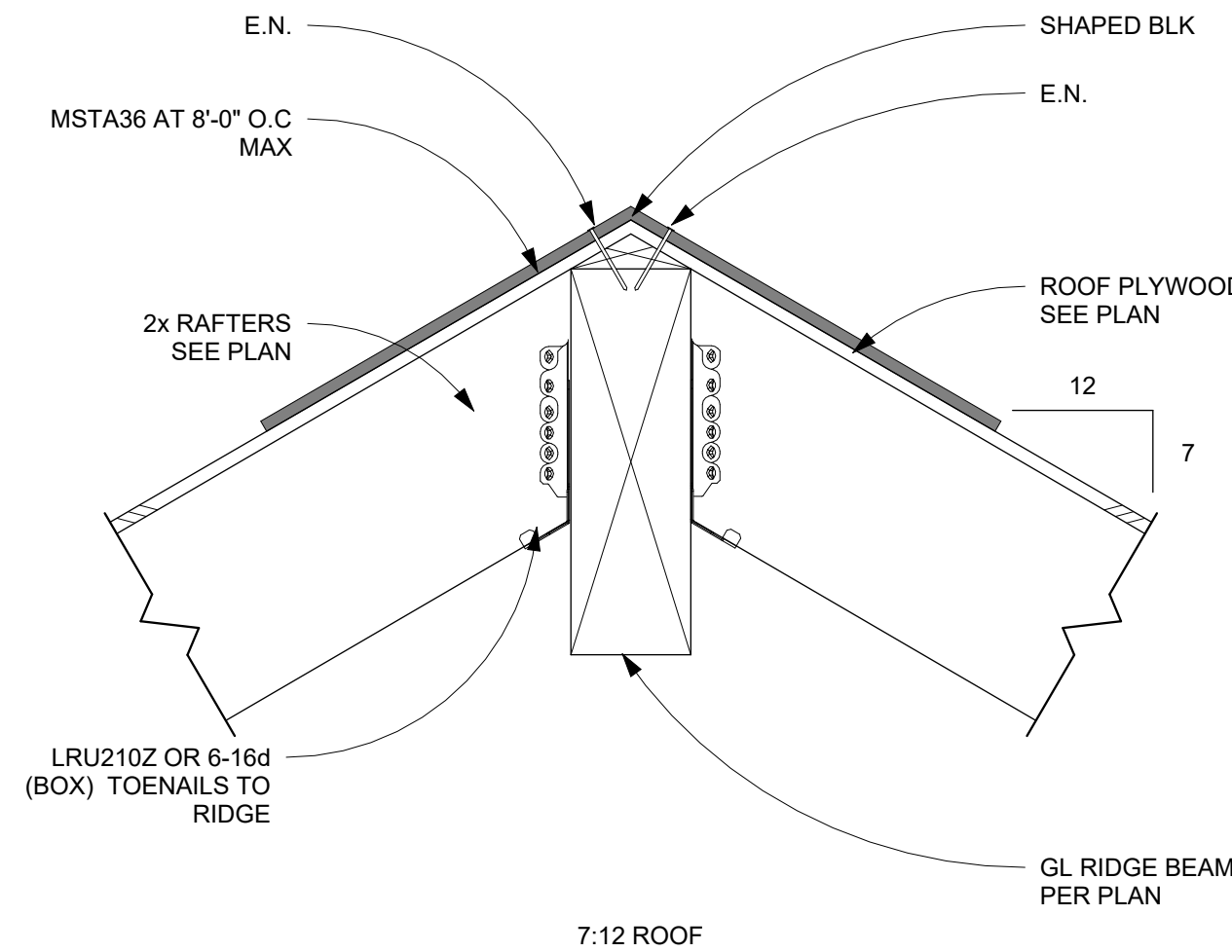
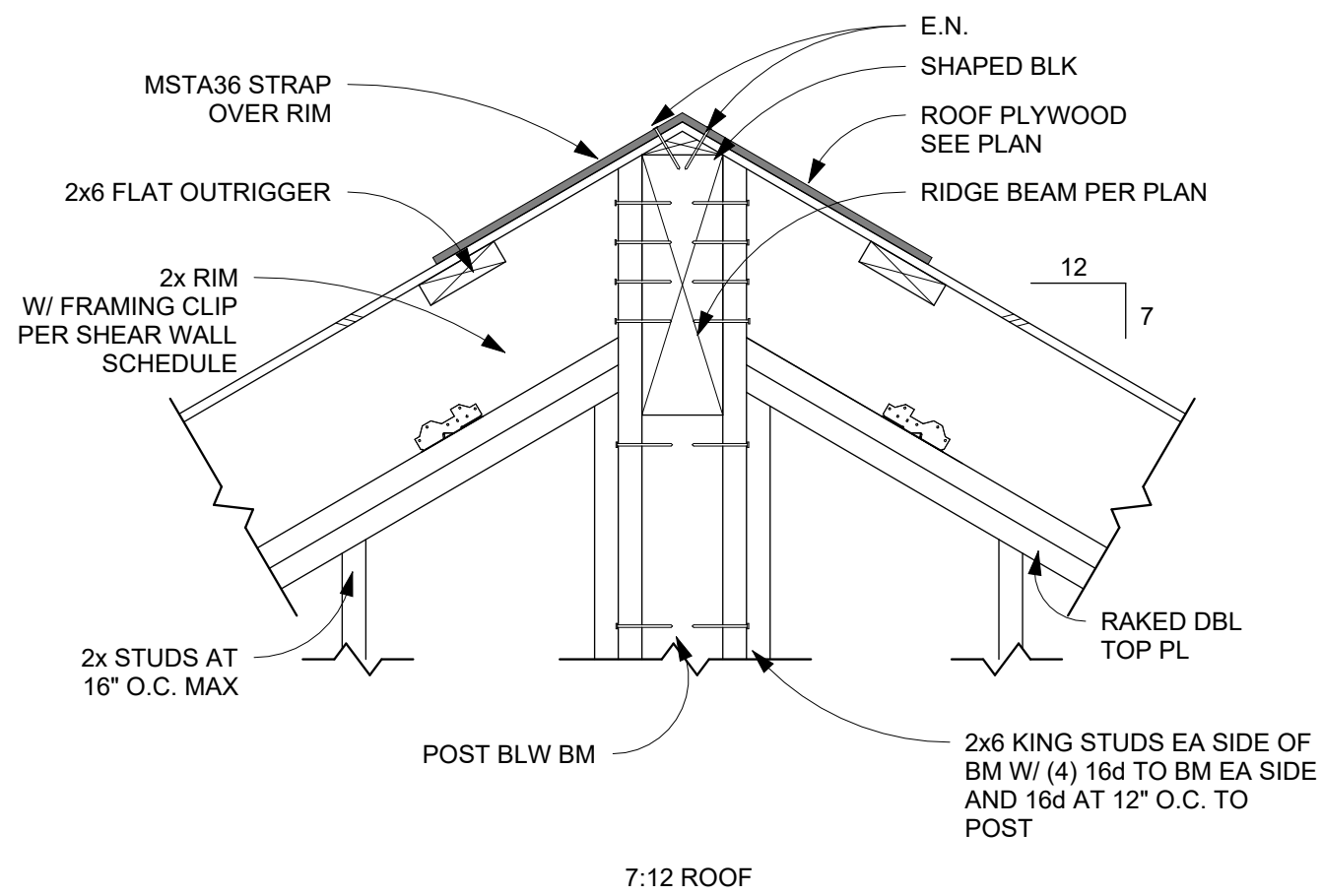
CENTRAL COAST STOCK ADU

FOUNDATION DETAILS

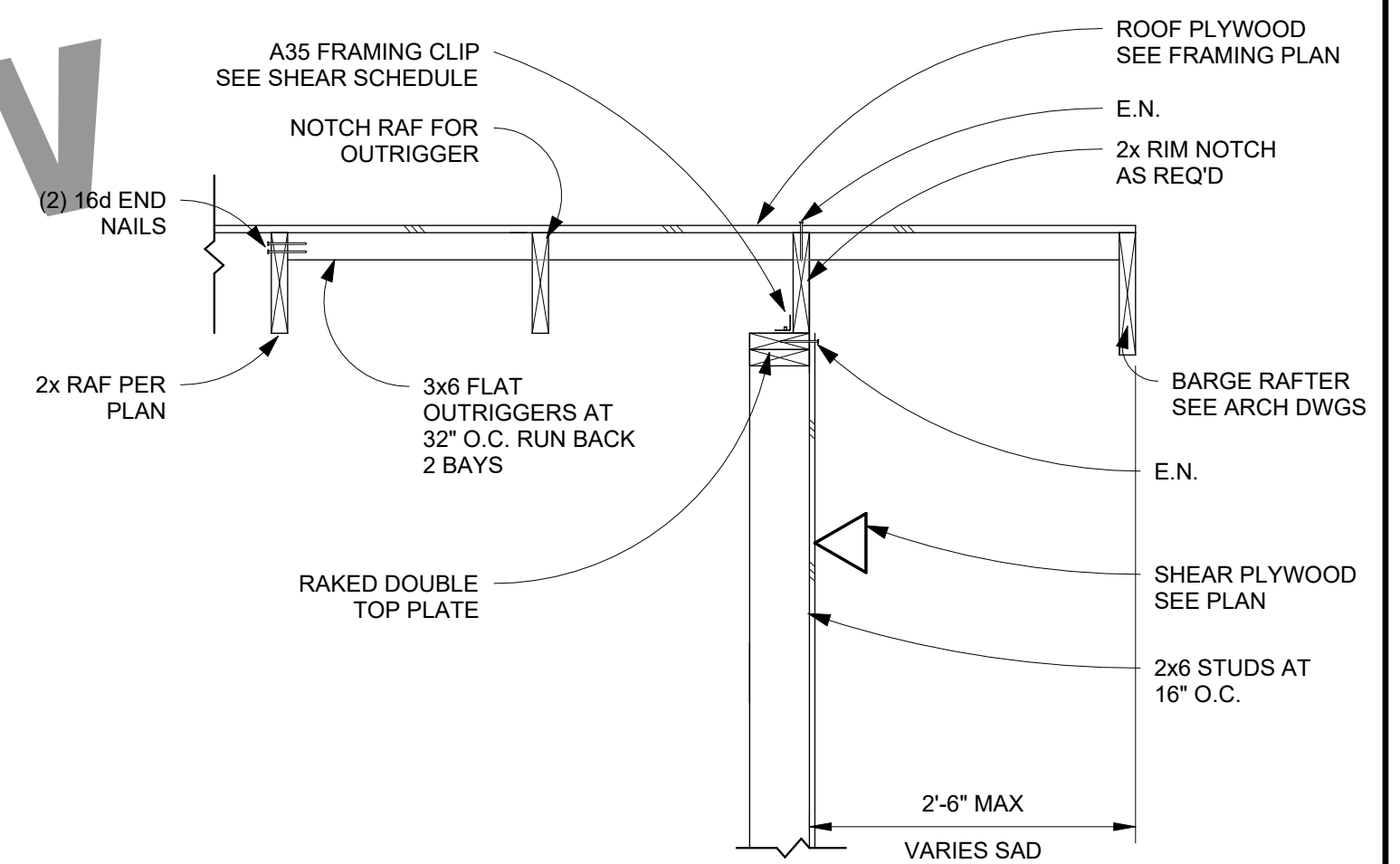
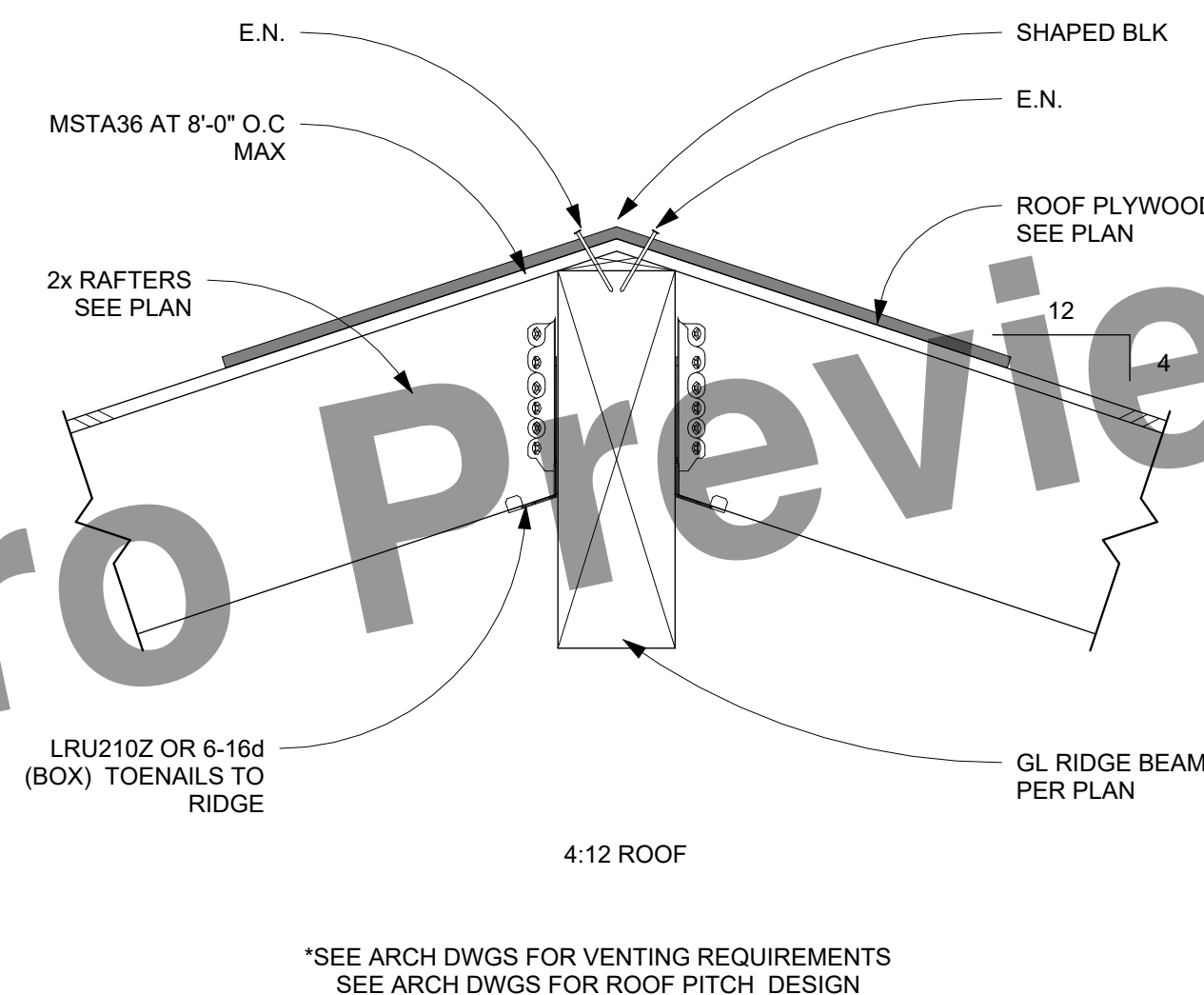
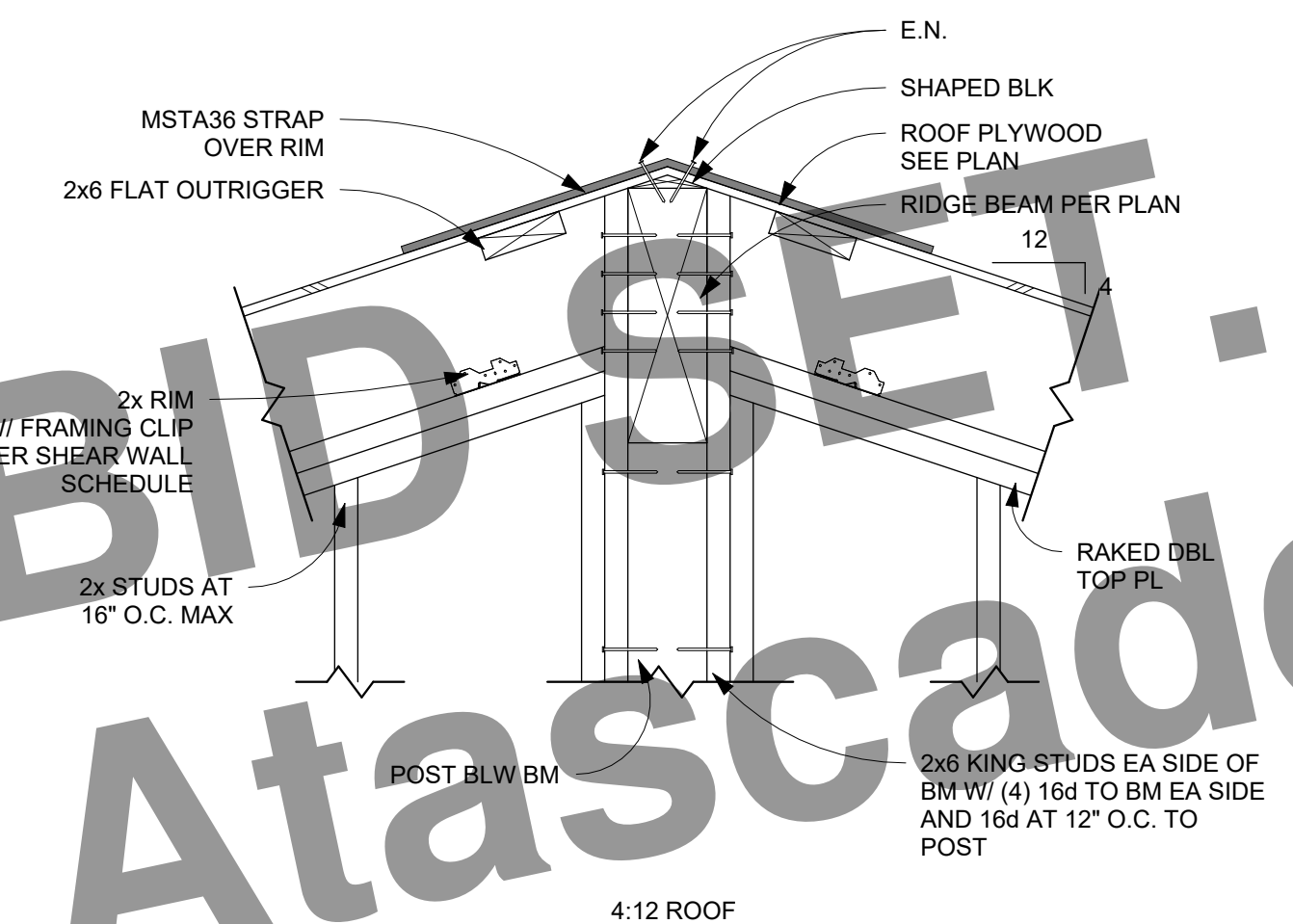
DATE:	11-18-2022
JOB NO:	21091
SHEET	S2.0



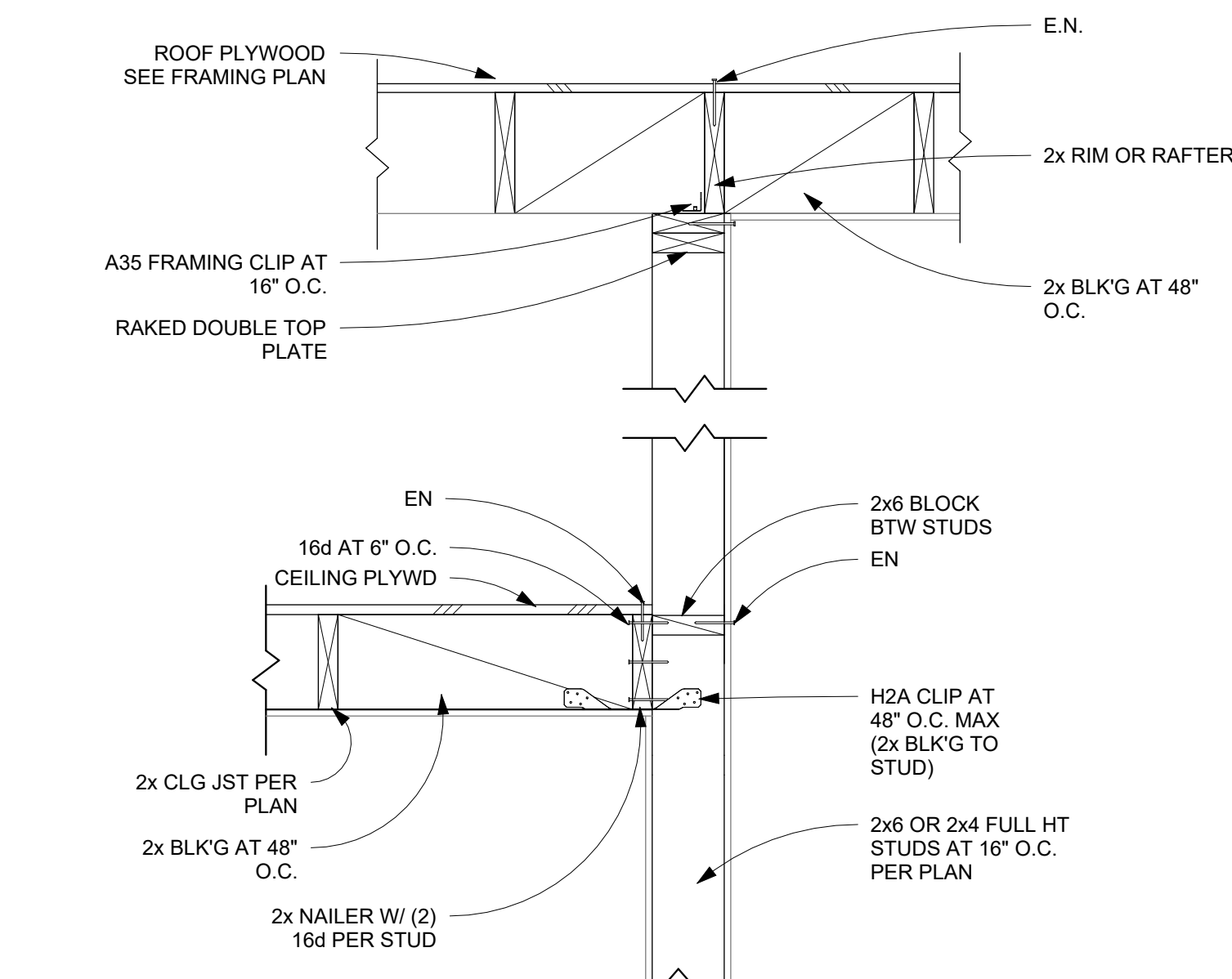
8 EAVE AT PORCH
S2.1 3/4" = 1'-0"



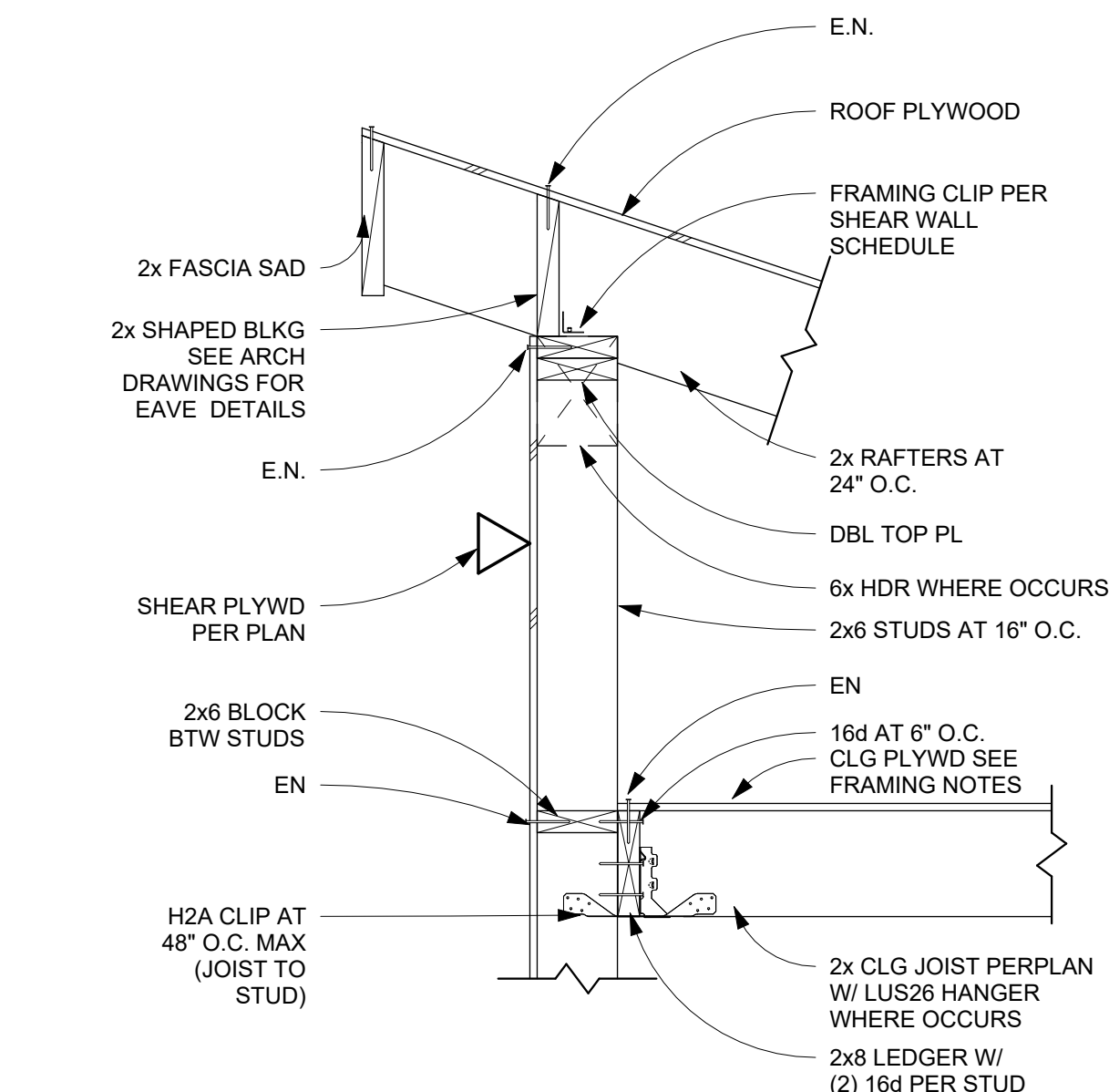
9 MONOSLOPE PEAK AT PORCH
S2.1 1" = 1'-0"



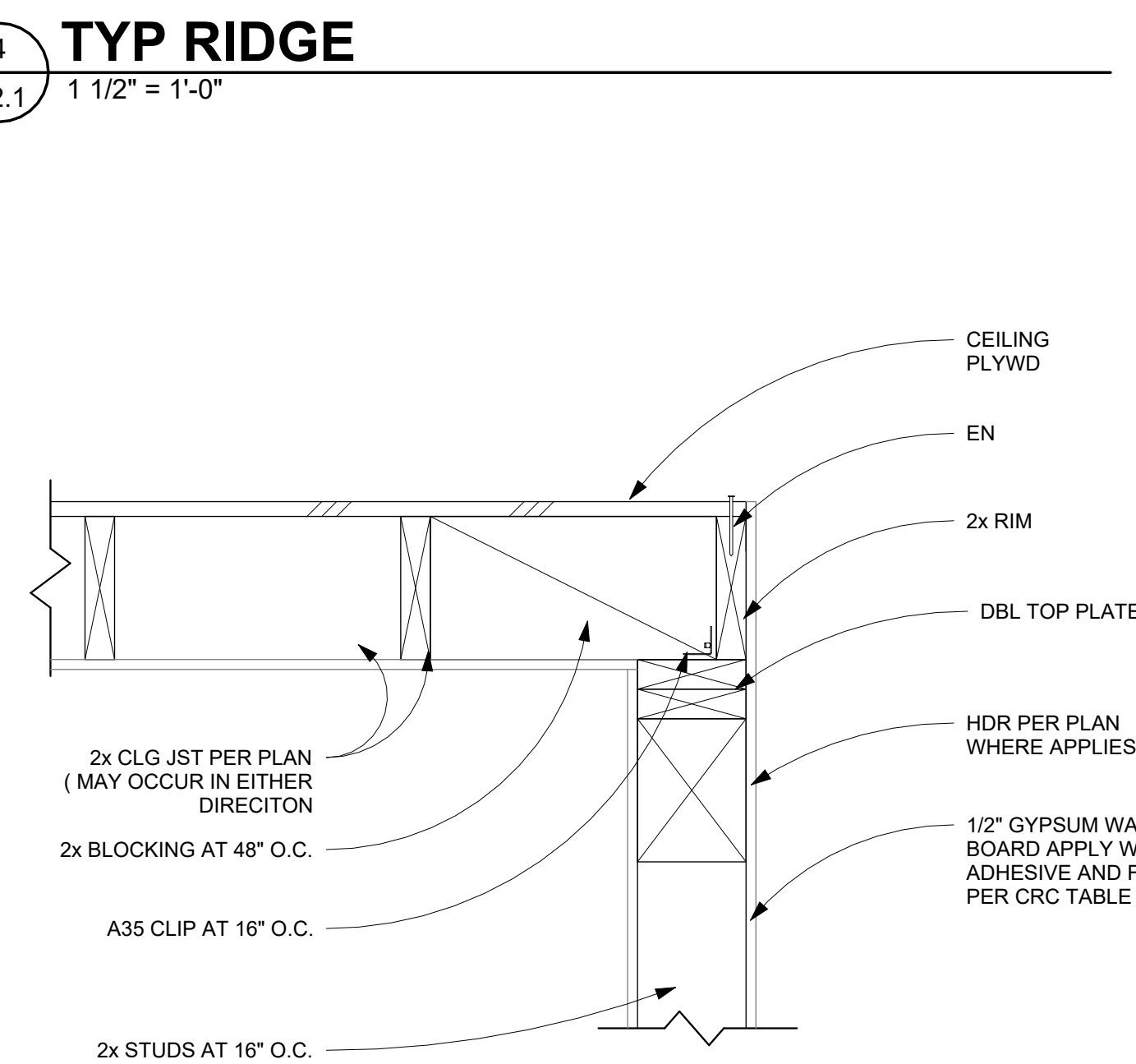
2 RAKE OVERHANG
S2.1 3/4" = 1'-0"



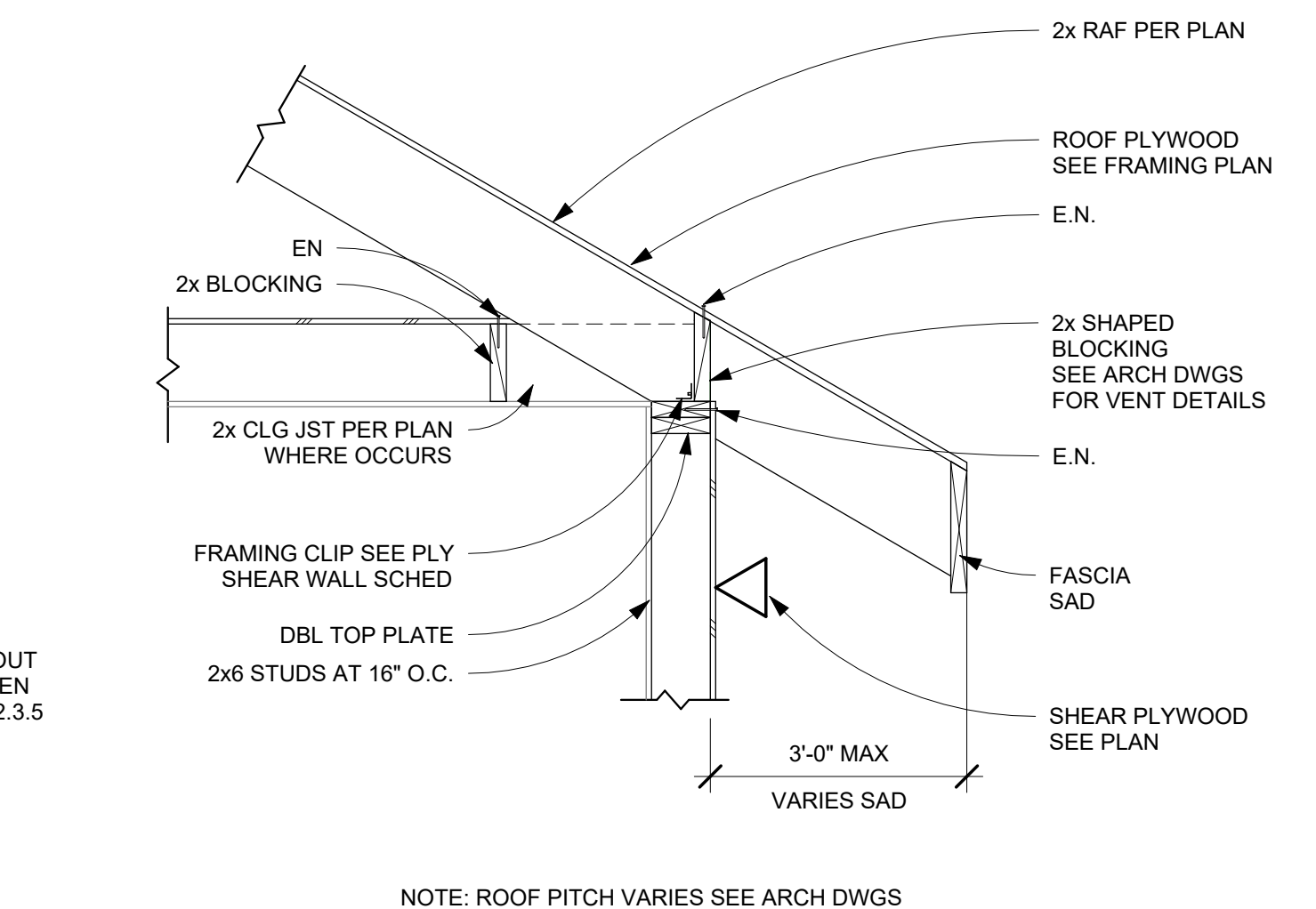
10 INTERIOR BEARING WALL @ CLG/ROOF
S2.1 1" = 1'-0"



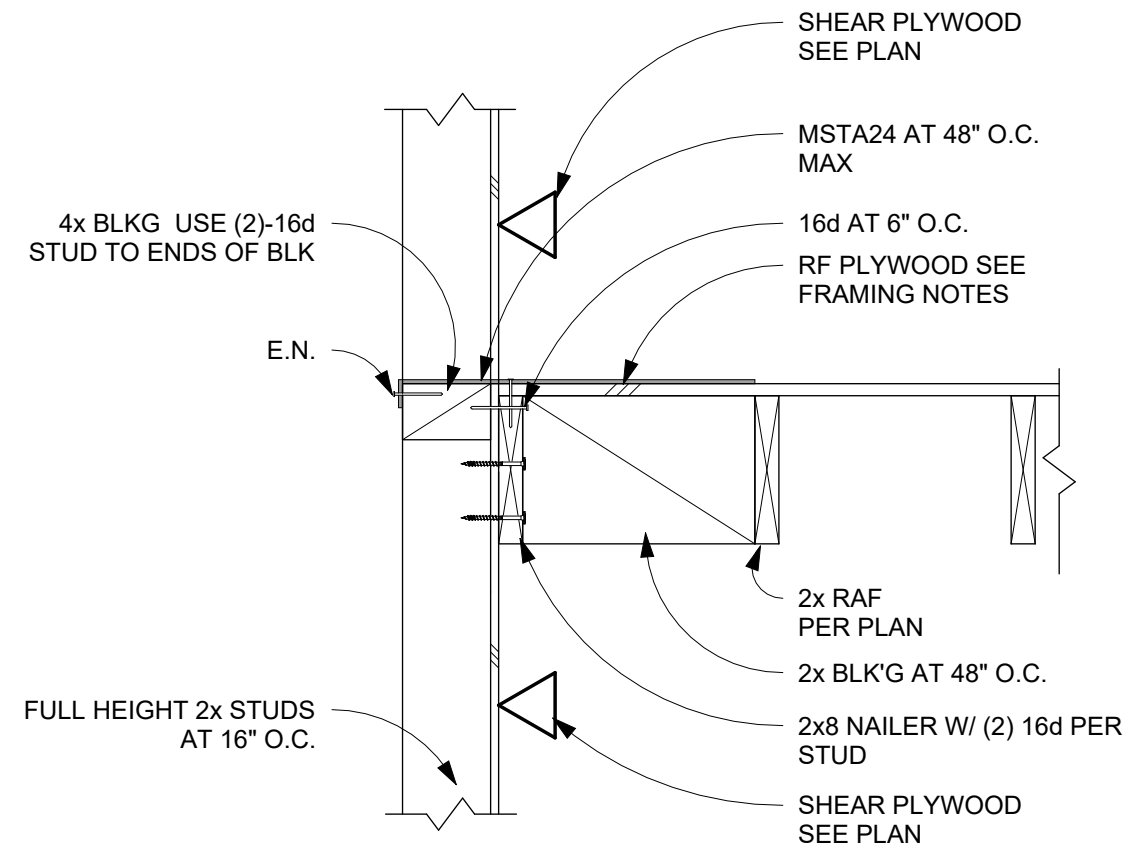
7 TYP MONOSLOPE PEAK
S2.1 1" = 1'-0"



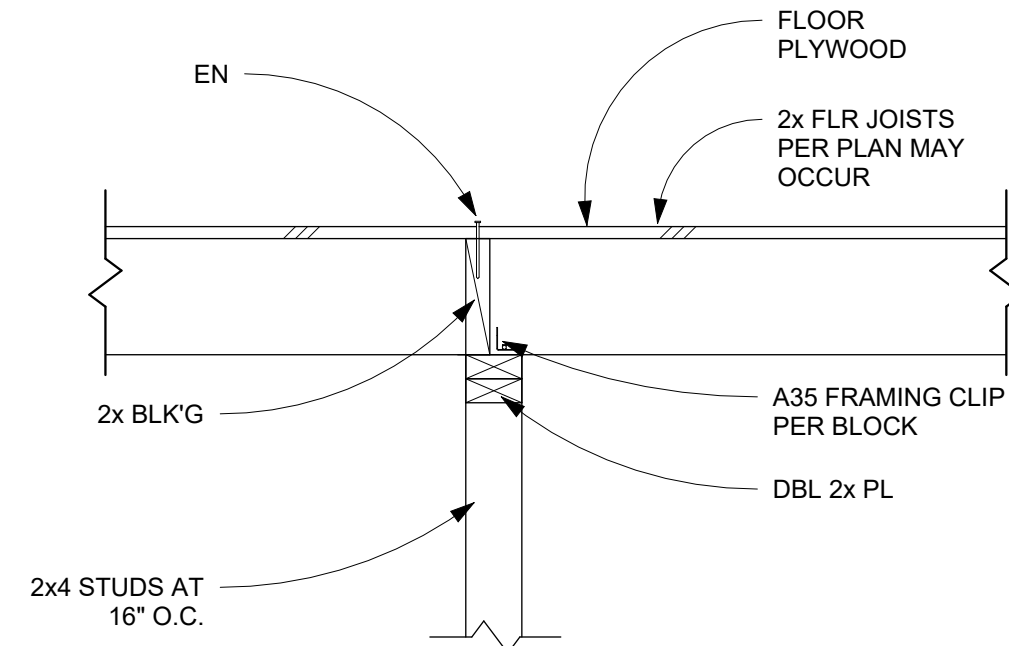
5 CEILING EDGE CONNECTION
S2.1 1 1/2" = 1'-0"



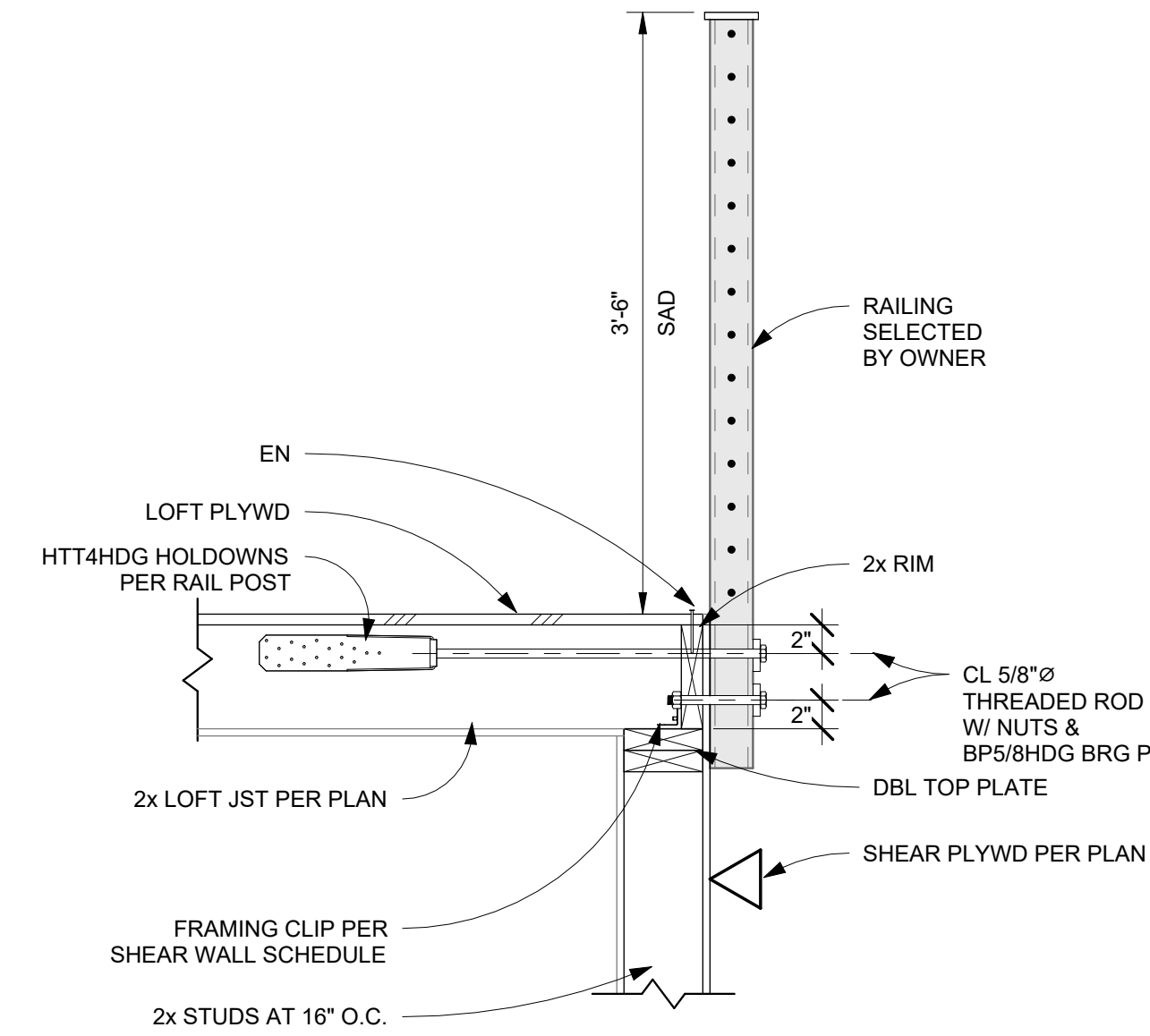
3 TYP EAVE
S2.1 3/4" = 1'-0"



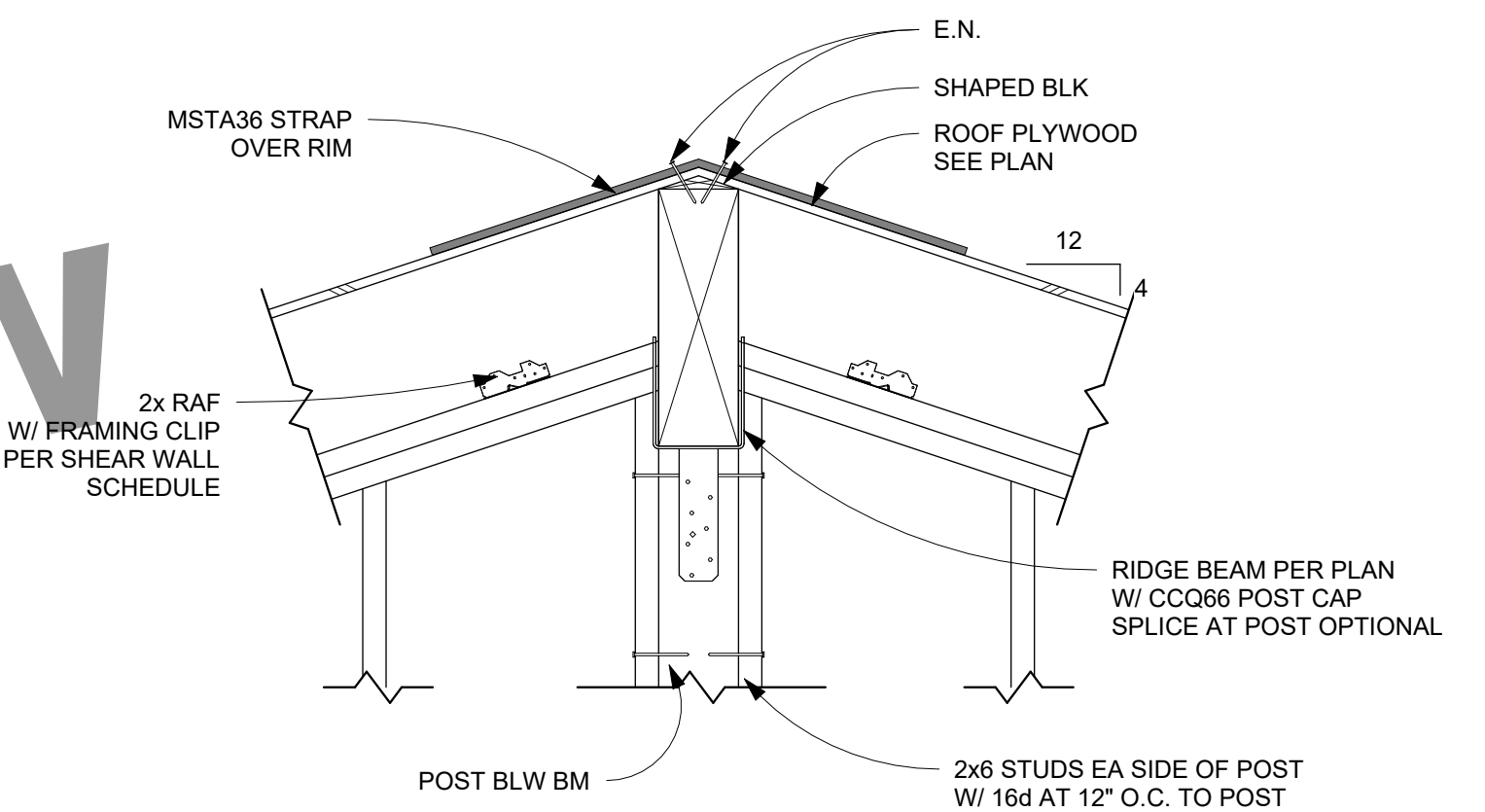
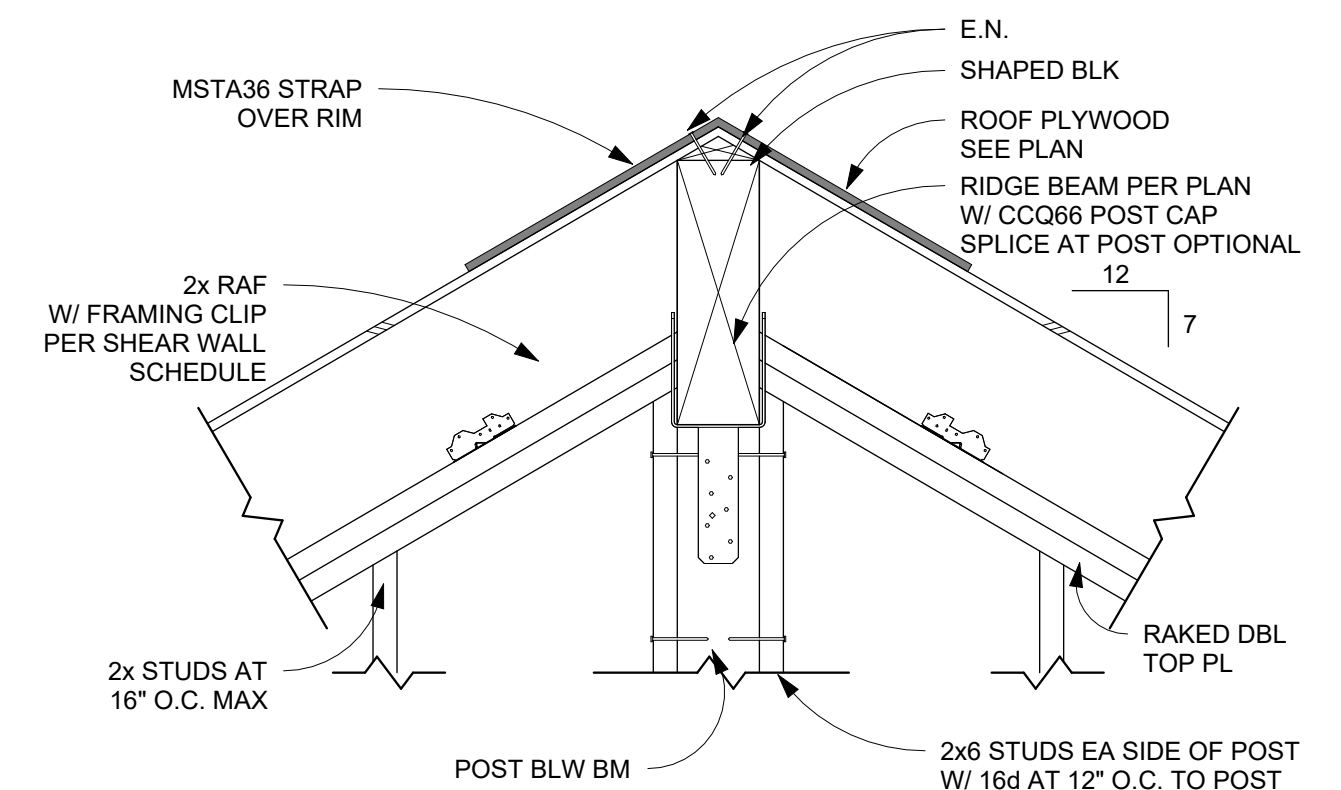
9 LOWER ROOF TO FULL HEIGHT WALL
S2.2 1" = 1'-0"



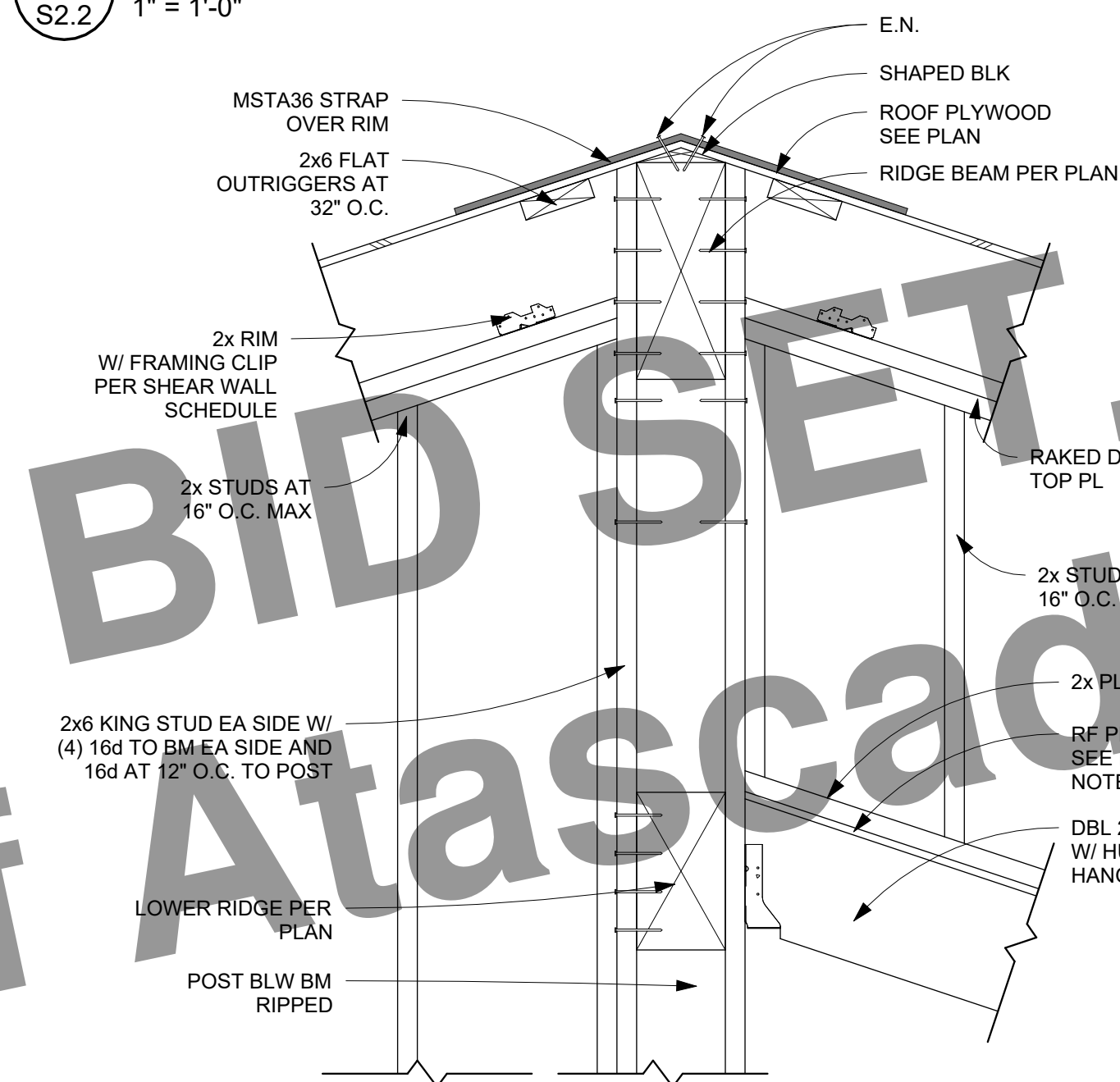
6 FLOOR TO INTERIOR WALL CONN
S2.2 1" = 1'-0"



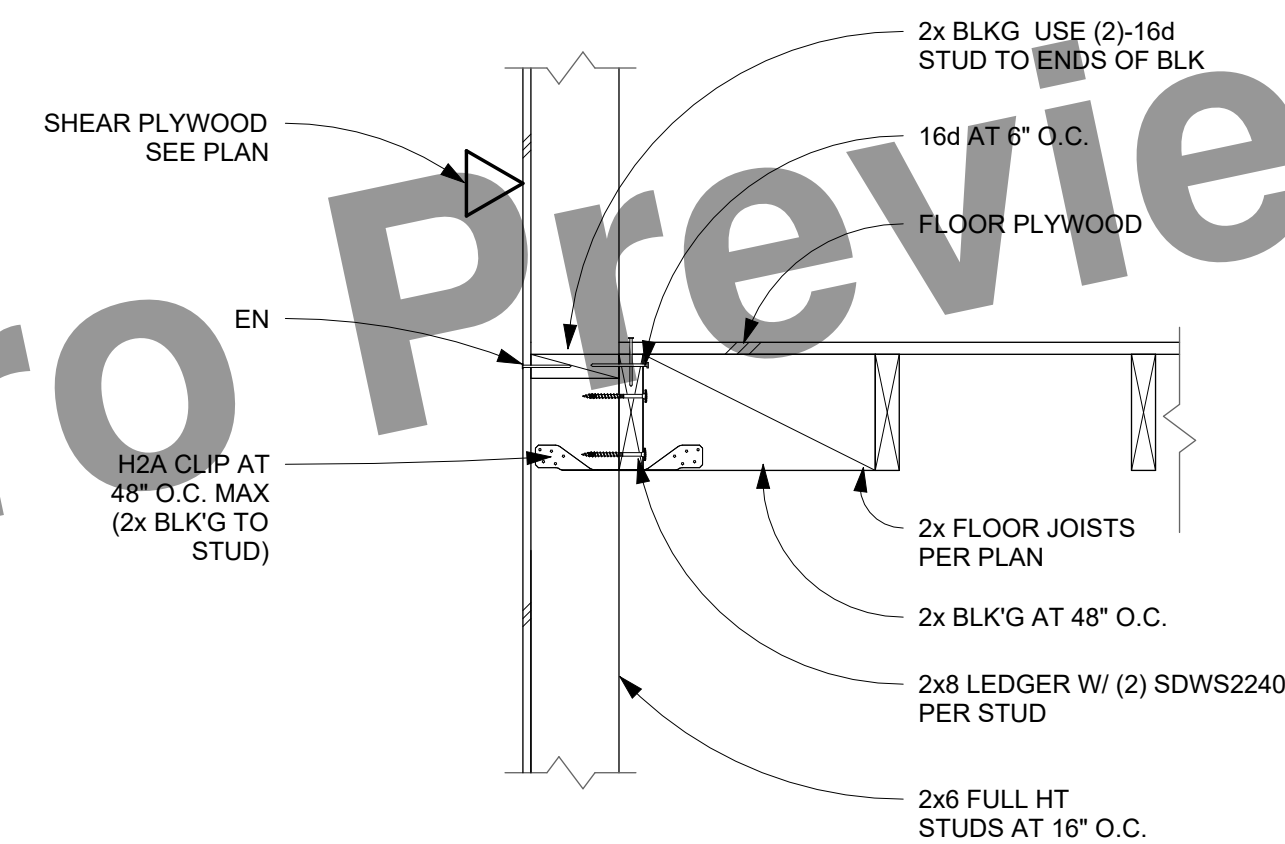
3 LOFT EDGE CONNECTION II
S2.2 1" = 1'-0"



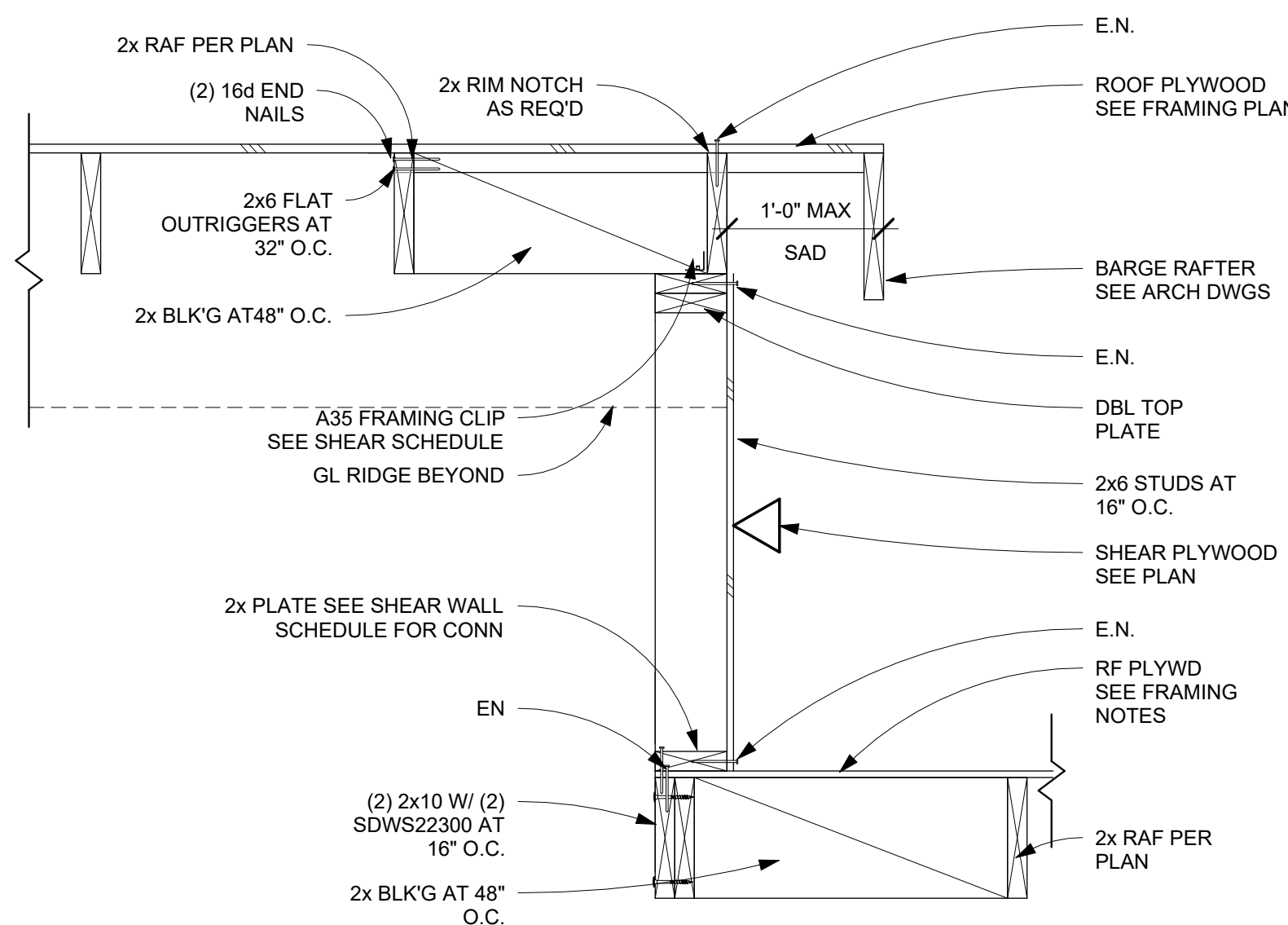
1 RIDGE SPLICE AT INT WALL
S2.2 1" = 1'-0"



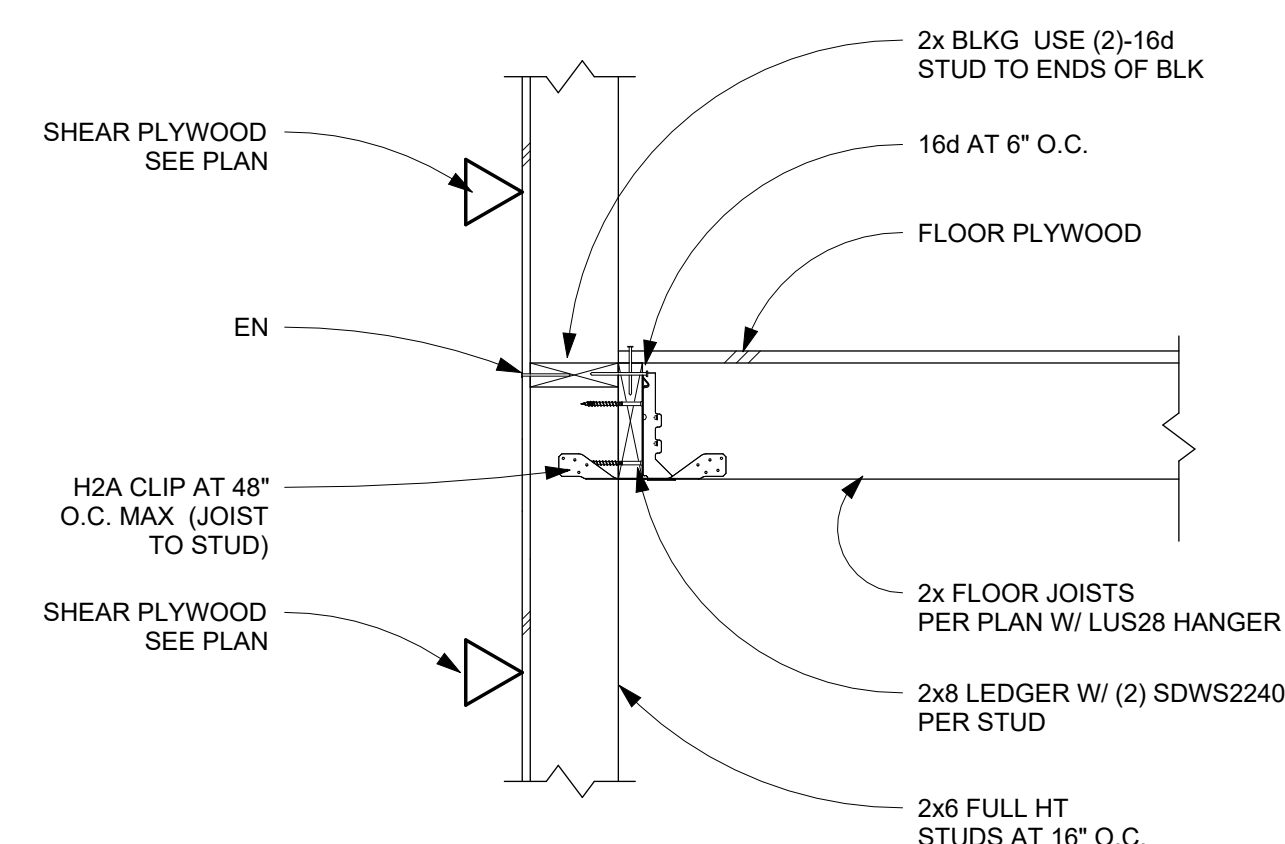
7 DOUBLE RIDGE TO WALL
S2.2 1" = 1'-0"



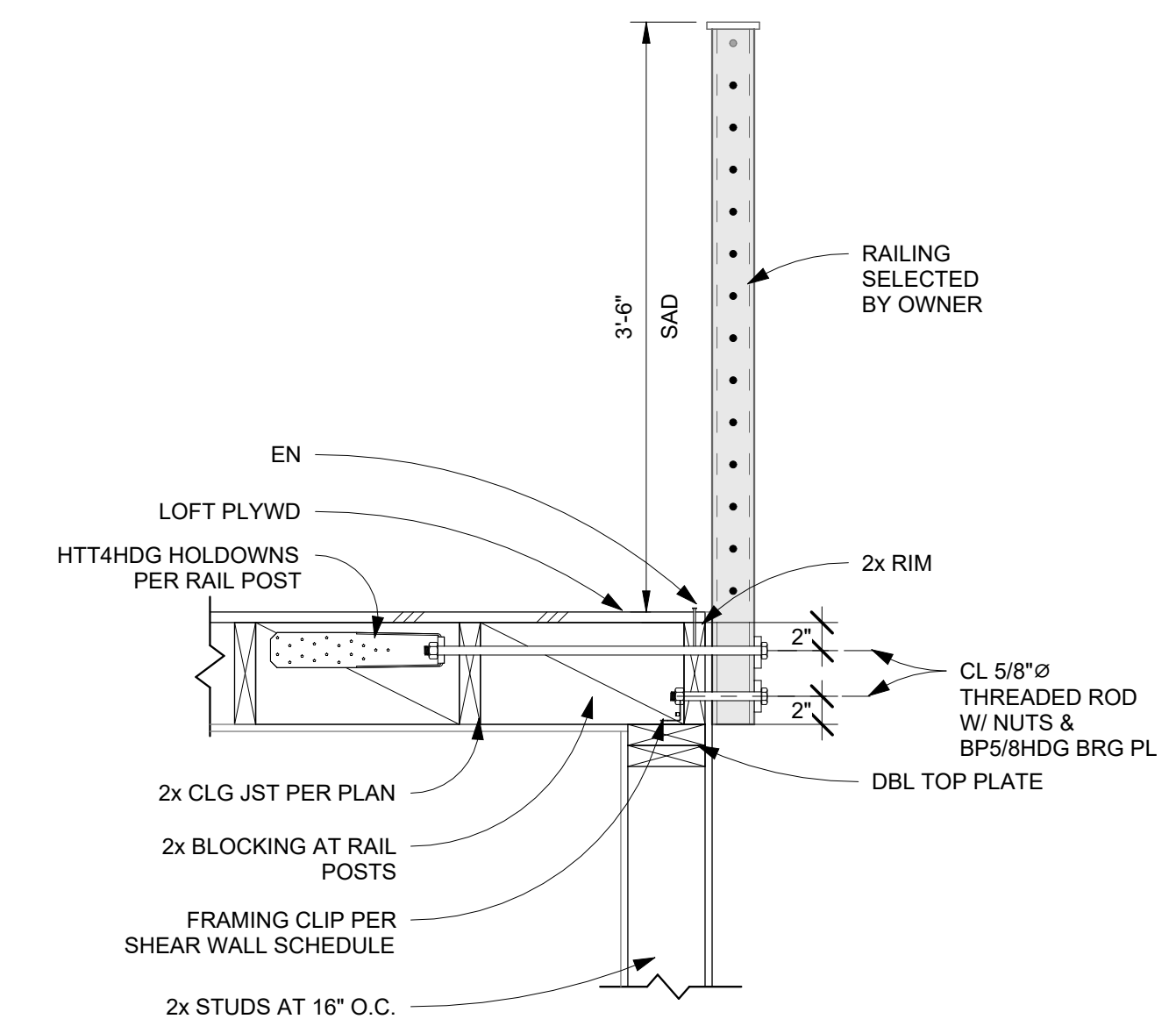
4 LOFT/FLOOR TO WALL CONN
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II
S2.2 1" = 1'-0"

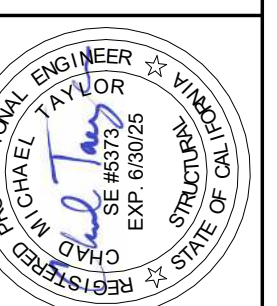


2 LOFT EDGE CONNECTION
S2.2 1" = 1'-0"

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL
ENGINEERING
CM Taylor
C.M. Taylor Structural Engineering, Inc. 1426 Capitola Rd. Suite 204, Capitola, CA 95010
Phone: 831-854-2484 email: cmtaylor@cmtyl.com

CENTRAL COAST STOCK ADU



ROOF FRAMING DETAILS
(CONTINUED)

DATE: 11-18-2022
JOB NO: 21091
SHEET

S2.2

	BT	BYPASS TIMER
		CENTER LINE
	CD	CONDENSATE DRAIN
	Ø	DIAMETER
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)
		EXTENT OF DEMOLITION
		EXHAUST DUCT UP, DOWN, PENE = DEMO
		FIRE/SMOKE DAMPER
		FIRE DAMPER
		POINT OF CONNECTION
		P/T PLUG
		RETURN OR EXHAUST AIR
		RETURN DUCT UP, DOWN, PENE = DEMO
		SPEED CONTROL SWITCH
		SPIN-IN EXTRACTOR/DAMPER
		SUPPLY DUCT UP, DOWN, PENE = DEMO
		SUPPLY OR OUTSIDE AIR
		THERMOSTAT AT +48°
		TO BE REMOVED
		TRANSFER AIR
		TURNING VANES
		VOLUME DAMPER

ECB	ELECTRICAL CONTRACTOR
EDB	ENTERING DRY BULB
EOD	EXTENT OF DEMOLITION
ETR	EXISTING TO REMAIN
EWB	ENTERING WET BULB
EWt °F	ENTERING WATER TEMPERATURE DEGREES FAHRENHEIT
FC	FLEXIBLE CONNECTION
FD	FIRE DAMPER
FLA	FULL LOAD AMPS
FSD	FIRE SMOKE DAMPER
FT, HD.	FEET HEAD
FTR	FLUE THRU ROOF
GC	GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
HP	HORSE POWER
KW	KILOWATTS
LBS	POUNDS
LWT	LEAVING WATER TEMPERATURE
MBH	1,000 BTU/HR
MC	MECHANICAL CONTRACTOR
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OBD	OPPOSED BLADE DAMPER
OSA	OUTSIDE AIR
PC	PLUMBING CONTRACTOR
PENE	PENETRATION
PD	PRESSURE DROP
PH	PHASE
POC	POINT OF CONNECTION
P/N	PART NUMBER
PRV	PRESSURE REDUCING VALVE
PSI	POUNDS PER SQUARE INCH
P/T	PRESSURE / TEMPERATURE
RA	RETURN AIR
RAD	RETURN AIR DUCT
(RL)	RELOCATE
RPM	REVOLUTIONS PER MINUTE
SA	SUPPLY AIR
SAD	SUPPLY AIR DUCT
SD	SUPPLY DIFFUSER
SP	STATIC PRESSURE
SS	STAINLESS STEEL
STD	STANDARD
TV	TURNING VANES
TYP	TYPICAL
UCD	UNDERCUT DOOR
UON	UNLESS OTHERWISE NOTED
V	VOLT
VD	VOLUME DAMPER
VIF	VERIFY IN FIELD
W/	WITH
WC	WATER COLUMN
WT	WEIGHT
W/O	WITH OUT

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
8. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
10. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
11. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
12. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
13. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
16. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
17. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
18. ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE. BURNING OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (CCR TITLE 24, PART 2, SECTION 7.125 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 18 AS MODIFIED BY CBC 16131.615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
19. DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

	BALANCING COCK
	BALL VALVE
	CAP
	CHECK VALVE
	CLEANOUT
	DOMESTIC COLD WATER (EXISTING)
	DOMESTIC COLD WATER (NEW)
	DOMESTIC HOT WATER (EXISTING)
	DOMESTIC HOT WATER (NEW)
	DOMESTIC HOT WATER RETURN (EXISTING)
	DOMESTIC HOT WATER RETURN (NEW)
	DIRECTION OF FLOW
	DRY STANDPIPE
	FIRE SPRINKLER PIPING
	FLANGED UNION
	FLOOR DRAIN
	FLOOR SINK
	FORCE MAIN
	GAS PIPING (EXISTING)
	GAS PIPING (NEW)
	GAS COCK
	GATE VALVE
	GLOBE VALVE

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
10. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
11. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
16. PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.



ZAL
ENGINEERING
MECHANICAL CONSULTANTS

99 PACIFIC ST. STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
FAX (831) 220-0200



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

GENERAL NOTES MECHANICAL & PLUMBING

NO.	DESCRIPTION	DATE
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ENGINEER BY:

DRAWN BY:

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SHEET NUMBER

MPO. I

SHEET OF

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED AUD PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

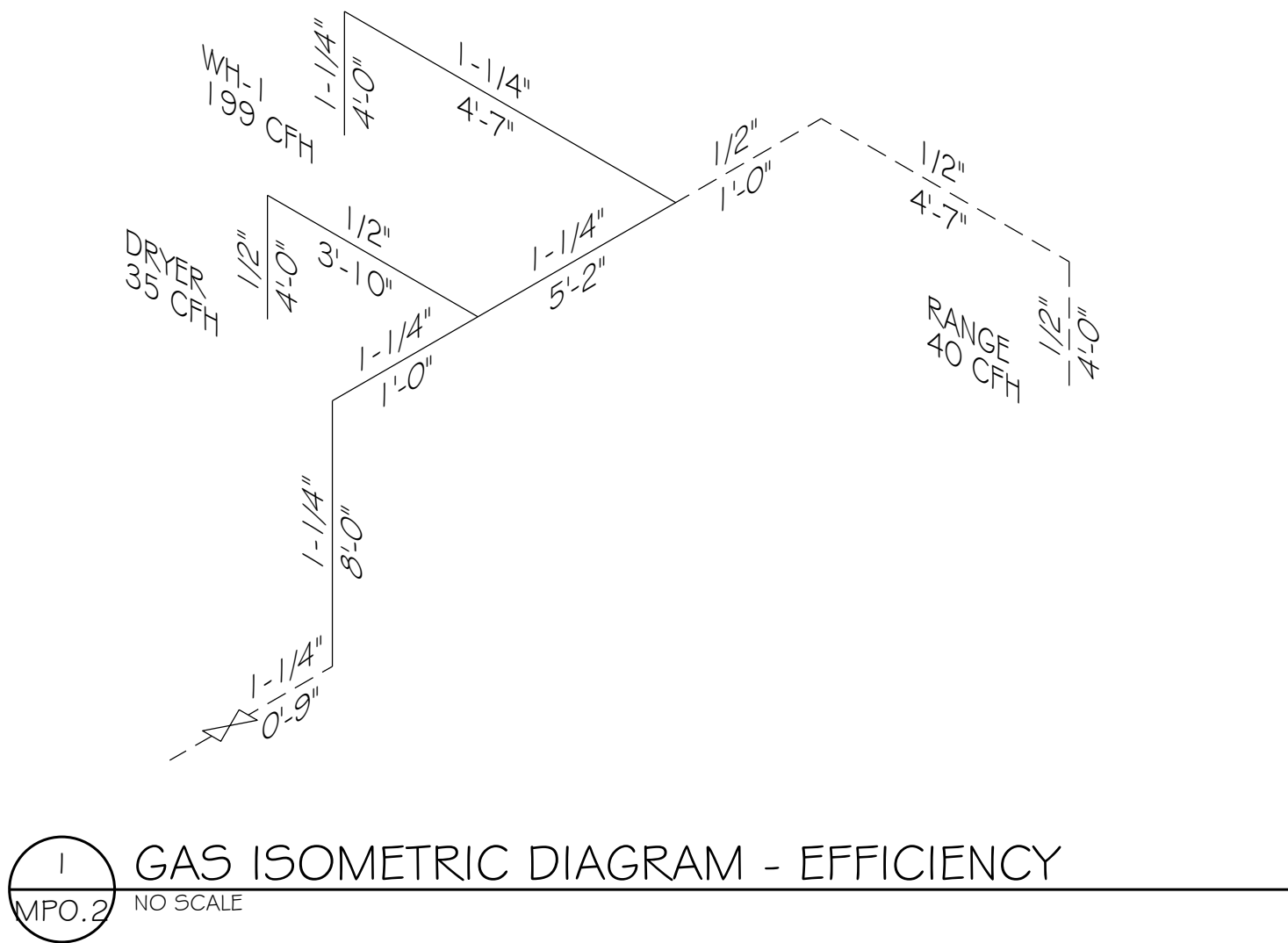
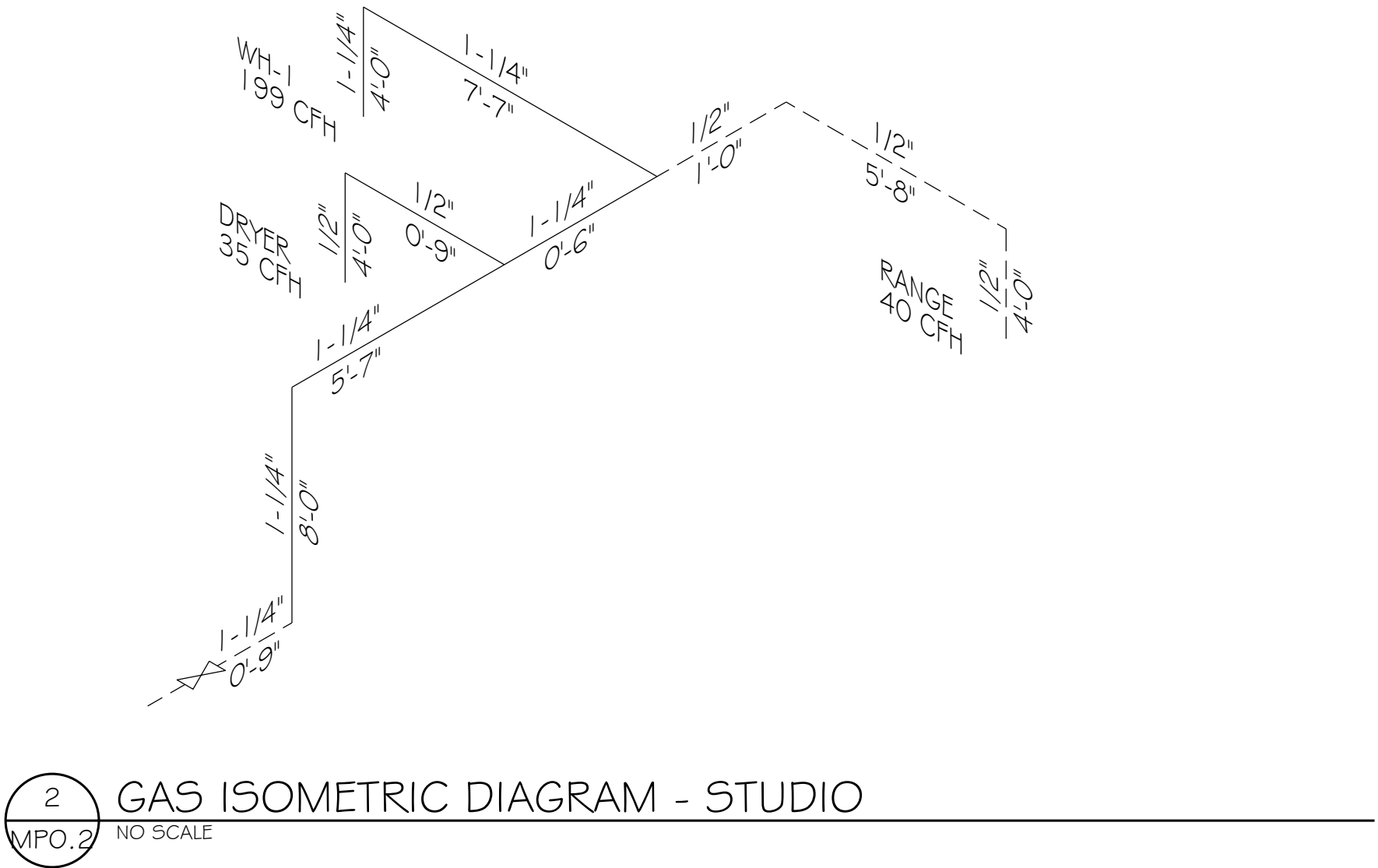
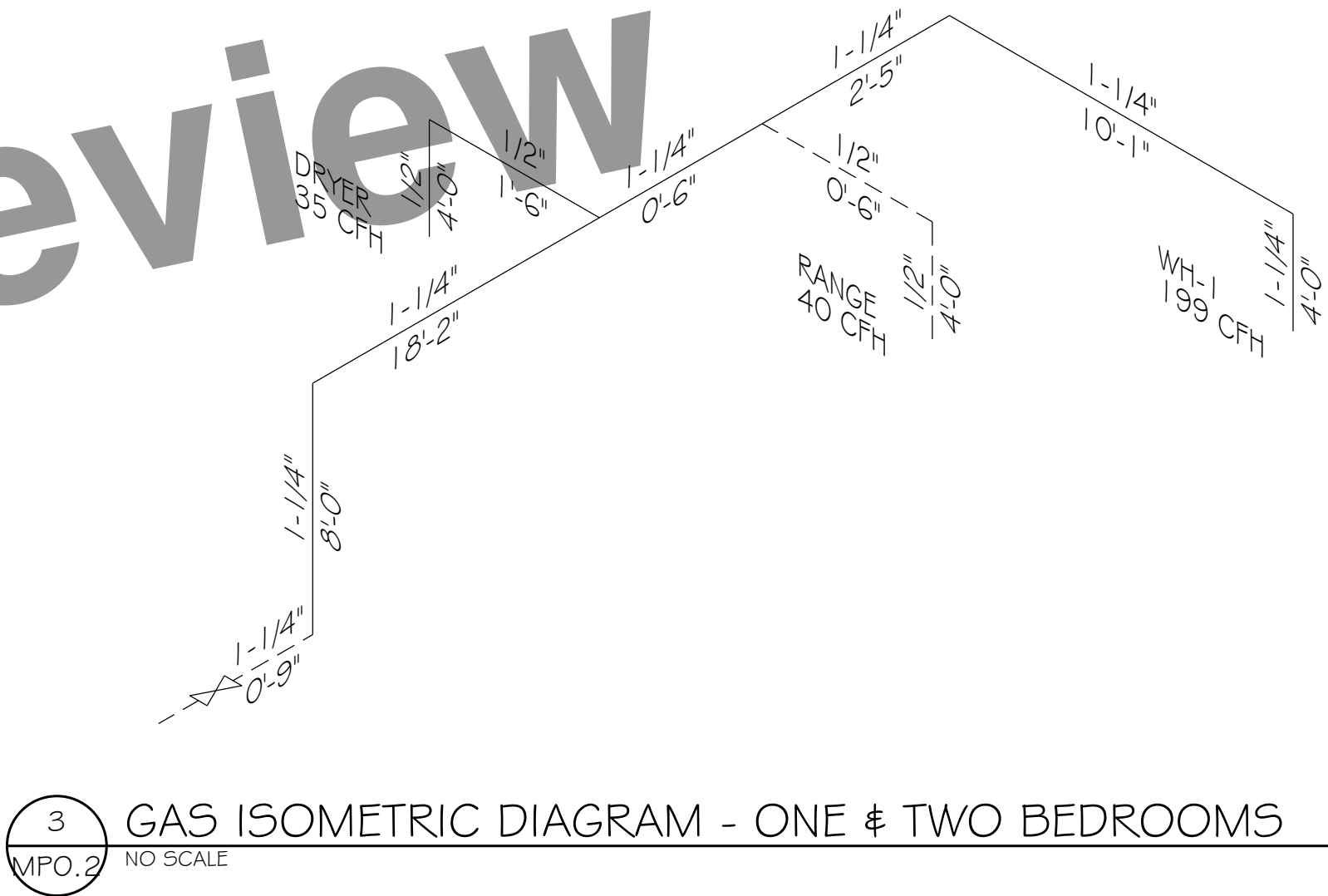
OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LB5)	LEVELING		SERVED	
OU-1	mitsubishi	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-1	
OU-2	mitsubishi	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
OU-3	mitsubishi	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR	MODEL	SUPPLY FAN			ELECTRICAL			COOLING COIL					HEATING COIL			HT W/O	WEIGHT	AREAS SERVED/	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT	°F WB	LAT	CAPACITY (MBH)	SENS	°F DB	°F DB	MBH				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1
NOTES:			1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.																	

EXHAUST FAN SCHEDULE												
CODE	MFR	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES
							HP		ISOLATORS	(LB5)		
EF-1	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8
NOTES:			1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.									

PLUMBING FIXTURE SCHEDULE											
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW		
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM
BT-1	BATHTUB	--	•	--	--	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD
WC-1	WATER CLOSET	--	--	•	--	3	2	1/2	--	BATHROOMS	1.28 GPF
SK-1	KITCHEN SINK	--	--	•	--	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA
HB-1	HOSE BIB	--	--	--	•			1/2		EXTERIOR WALLS	

WATER HEATER SCHEDULE												
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY		GPM @ F	RISE	ELECTRICAL			WEIGHT	HEIGHT
				INPUT	TANK			H.P.	VOLT	PH		
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--		120	1	64	26.4
EWH-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--		120	1	157	63
			EUI199, RINNAI DEF: 0.93 XE40T (OWS45) RHEEM DUCT HEAT REJECTION TO OUTSIDE									



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ENGINEERING
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99 PACIFIC ST. STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

SCHEDULES
& GAS
DIAGRAMS
MECHANICAL
& PLUMBING

NO.	DESCRIPTION	DATE
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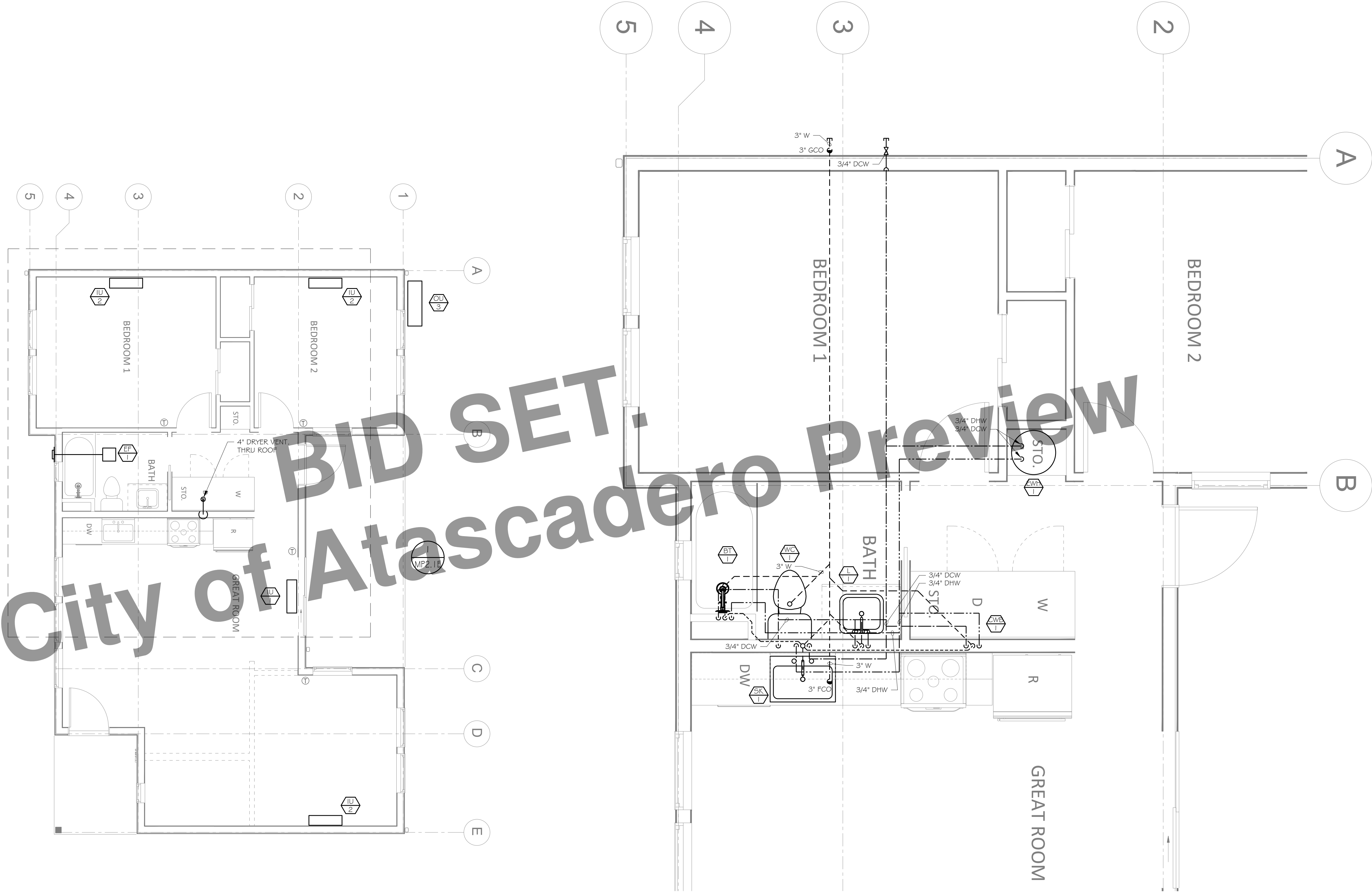
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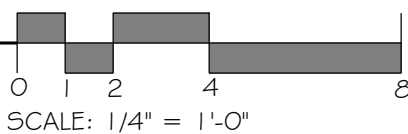
MPO.2

SHEET OF

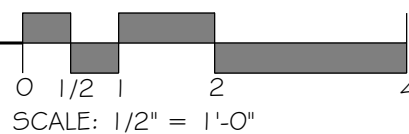
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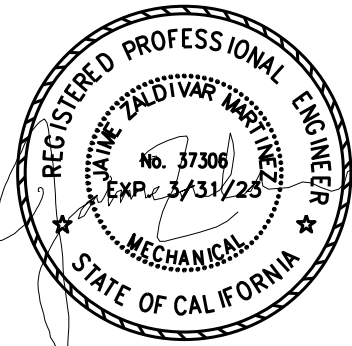
2 FLOOR PLAN - TWO BED - NEW MECHANICAL
MP2.1E SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - TWO BED - NEW PLUMBING
MP2.1E SCALE: 1/2" = 1'-0"



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MECHANICAL CONSULTANTS
99 PACIFIC ST. STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

TWO BED PLUS
MECHANICAL
& PLUMBING
PLANS - E

NO.	DESCRIPTION	DATE
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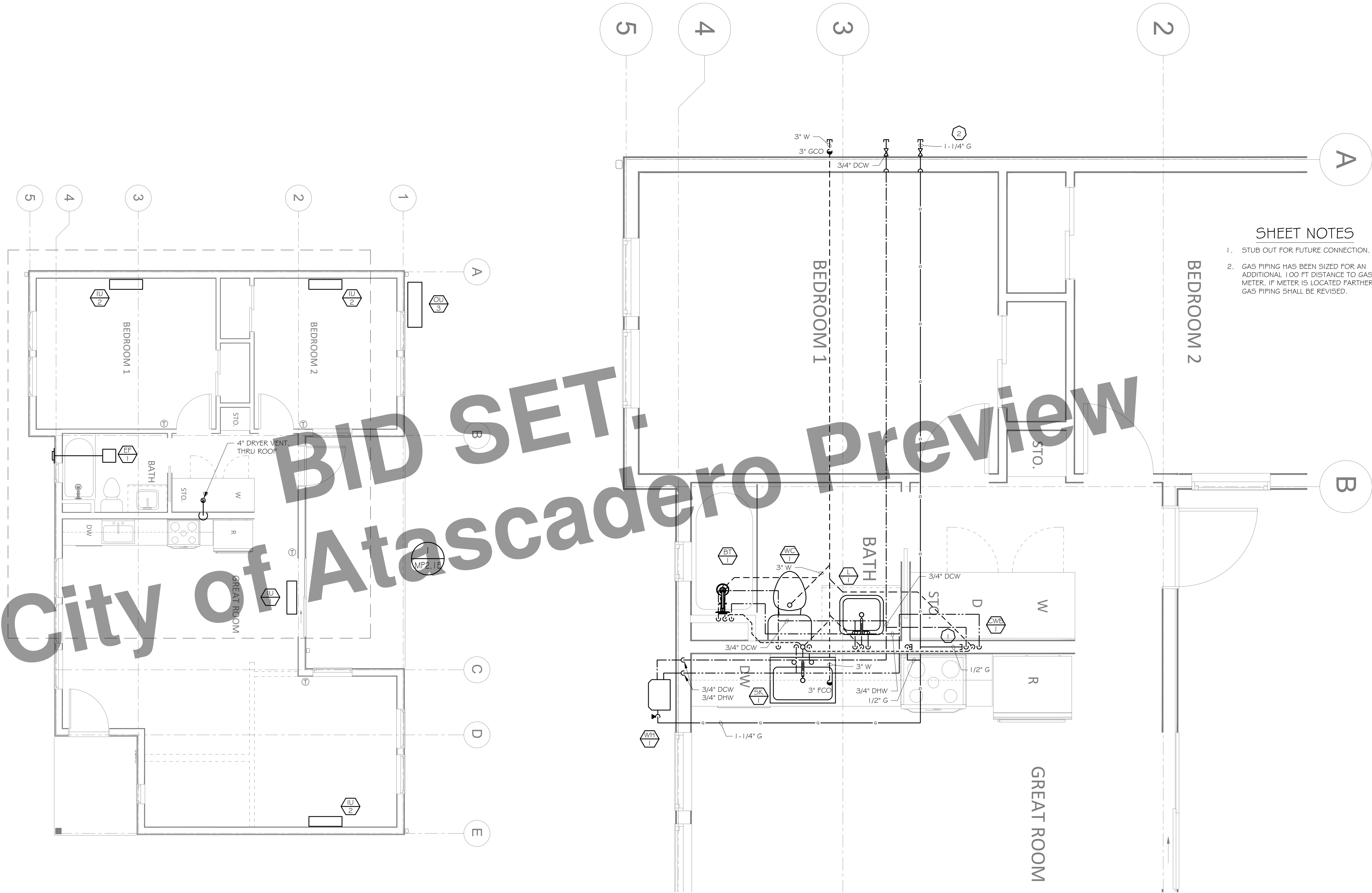
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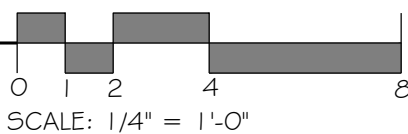
MP2.1E

SHEET OF
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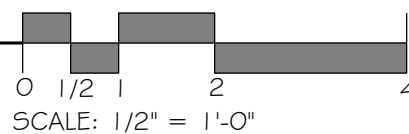


- SHEET NOTES**
1. STUB OUT FOR FUTURE CONNECTION.
 2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

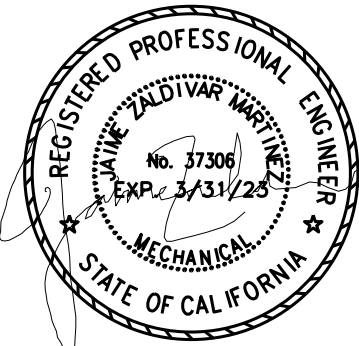
2 FLOOR PLAN - TWO BED - NEW MECHANICAL
MP2.1F SCALE: 1/4"=1'-0"



1 ENLARGED FLOOR PLAN - TWO BED - NEW PLUMBING
MP2.1E SCALE: 1/2"=1'-0"



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MECHANICAL CONSULTANTS
99 PACIFIC ST, STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
MECHANICAL
& PLUMBING
PLANS - H**

NO.	DESCRIPTION	DATE
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ENGINEER BY:

DRAWN BY:

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SHEET NUMBER

MP2.1H

SHEET OF
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Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.
Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zsalengineering.com
831-641-7739
ZAL (zsalengineering.com)



ZAL
ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
T24 FORMS
ELECTRIC**

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SHEET NUMBER

T24.17B

SHEET OF

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD														CF1R-PRF-01-E
Project Name: Central Coast ADU TB														Calculation Date/Time: 2023-08-25T17:11:47-05:00
Calculation Description: Title 24 Analysis														Input File Name: 6_TB_E_C24.rbd22x
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FENESTRATION / GLAZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Name	Type	Surface	Orientation	Altitude	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	
Window 6	Window	Back Wall	Back	180	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 7	Window	Lateral 1 Wall 2	Left	90	1.5	3	1	4.5	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 8	Window	Lateral 1 Wall 3	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 9	Window	Lateral 1 Wall 3	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 10	Window	Front Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 11	Window	Lateral 2 Wall 4	Front	0	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
Window 12	Window	Lateral 2 Wall 4	Front	0	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen	
OPAQUE DOORS														
01	02			03			04							
Name	Side of Building						Area (ft ²)			U-factor				
Door	Front Wall						21			0.5				
Door 2	Lateral 2 Wall 3						21			0.5				
OVERHANGS AND FINS														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Window	Overhang					Left Fin				Right Fin				
	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up	
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	
Registration Number: 223-P010107157A-000-000-0000000-0000														
Registration Date/Time: 2023-08-25 17:19:50														
HERS Provider: CaCERTS Inc.														
CA Building Energy Efficiency Standards - 2022 Residential Compliance														
Report Version: 2022.0.000														
Schema Version: rev 20220901														
Report Generated: 2023-08-25 15:12:40														

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU TB

Calculation Description: Title 24 Analysis

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REQUIRED PV SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Altitude (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.09	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	24.2	96	98

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.30303 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- IAQ Ventilation System: built-in indicator display
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2s and CF3s are required to be completed in the HERS Registry

- Quality Insulation Installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump rated heating capacity

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU TB	868.66	1	2	1	0	1

Registration Number: 223-P010107157A-000-000-0000000-0000

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HERS Provider: CaCERTS Inc.

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD							CF1R-PRF-01-E (Page 3 of 15)
Project Name: Central Coast ADU TB			Calculation Date/Time: 2023-08-25T17:11:47-05:00				
Calculation Description: Title 24 Analysis			Input File Name: 6_TB_E_C24.rbd22x				
ENERGY USE SUMMARY							
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)	
Space Heating	3.88	26.27	1.16	8.9	2.72	17.37	
Space Cooling	0.53	25.64	0.64	29.57	-0.11	-3.93	
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84	
Water Heating	2.67	27.68	1.64	19.12	1.03	8.56	
Self Utilization/Flexibility Credit				0		0	
North Facing Efficiency Compliance Total	8.04	89.88	3.95	63.04	4.09	26.84	
Space Heating	3.88	26.27	1.34	10.34	2.54	15.93	
Space Cooling	0.53	25.64	0.59	26.01	0	-0.37	
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84	
Water Heating	2.67	27.68	1.65	19.17	1.02	8.51	
Self Utilization/Flexibility Credit				0		0	
East Facing Efficiency Compliance Total	8.04	89.88	4.03	60.97	4.01	28.91	

Registration Number: 223-P010107157A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50

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Schema Version: rev 20200901

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Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



ZAL
ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST, STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
T24 FORMS
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.18B

SHEET OF

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
1. I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Jaime Zaldivar
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Zip: Monterey, CA 93940
Phone: 831-641-7739
Signature Date: 2023-08-25 17:19:50
CA/HERS Certification Identification (if applicable): M37306
RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1, and Parts of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
Responsible Designer Name: Jaime Zaldivar
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Zip: Monterey, CA 93940
Phone: 831-641-7739
Date Signed: 2023-08-25 17:19:50
Journal: M37306
Easy to Verify at CalCERTS.com

Registration Number: 223-P010107157A-000-000-000000-0000
CA Building Energy Efficiency Standards - 2022 Residential Compliance
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INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfarn IAQ Fan Type 1-1	65	0.30303	Balance	Yes	83	No	Yes	

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WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1-1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPRINKLE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	Heating HSPF / HSPF2 / COP	Cooling Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-Heat Pump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-Heat Pump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

Registration Number: 223-P010107157A-000-000-000000-0000
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WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (t)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T1DH22U	Two Bed	Two Bed	Two Bed

RECIRCULATION LOOPS

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

WATER HEATING - COMPACT DISTRIBUTION

01	02	03	04	05	06	07
Dwelling Unit type	Water Heating System Name	Master Bath distance of furtherst future to Water Heater (ft)	Kitchen distance of furtherst future to Water Heater (ft)	Furtherst Third furtherst future to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

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SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade 4	Two Bed	45.68	0.1	none	0	80%	No
Slab-on-Grade 5	Two Bed	169.39	0.1	none	0	80%	No
Slab-on-Grade 6	Two Bed	136.9	0.1	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	8 / None	0.041	Inside Finish: Gypsum Board Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

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OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 7	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 8	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 9	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 10	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 11	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 12	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Two Bed	332.14	49.5	none	0	80%	No
Slab-on-Grade 2	Two Bed	125.06	0.1	none	0	80%	No
Slab-on-Grade 3	Two Bed	59.49	0.1	none	0	80%	No

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TWO BED PLUS
T24 FORMS
HYBRID

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

24

1000

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Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-26 17:28:18	HERS Provider: CalCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25 16:24:41

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR) (kBtu/k ² ·yr)	Standard Design TDV Energy (EDR2) (kTOD/k ² ·yr)	Proposed Design Source Energy (EDR) (kBtu/k ² ·yr)	Proposed Design TDV Energy (EDR2) (kTOD/k ² ·yr)	Compliance Margin (EDR)	Compliance Margin (EDR2)
Space Heating	1.74	12.96	0.59	4.38	1.15	8.58
Space Cooling	0.49	24.83	0.56	24.24	-0.07	0.59
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84
Water Heating	9.6	40.11	8.64	36.68	0.96	3.43
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	12.79	88.19	10.3	70.75	2.49	17.44
Space Heating	1.74	12.96	0.8	5.87	0.94	7.09
Space Cooling	0.49	25.83	0.56	25.19	-0.07	-0.36
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84
Water Heating	9.6	40.11	8.64	36.68	0.96	3.43
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	12.79	88.19	10.51	73.19	2.28	15

Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider: CalCERT's Inc
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25 16:24:41

Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider: CalCERTS inc
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Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider: CalCERTS Inc
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Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider: CalCERTS inc
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 2020901	Report Generated: 2023-08-25 16:24:41

Registration Number:	Registration Date/Time:	HERS Provider:
223-P010107163A-000-000-0000000-0000	2023-08-25 17:28:18	CalCERTS inc
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000	Report Generated: 2023-08-25 16:24:41
	Schema Version: rev 2020901	

Registration Number: 223-P010107163A-000-000-0000000-0000	Registration Date/Time: 2023-08-26 17:28:18	HERS Provider: CalCERTS Inc
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CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

TWO BED PLUS
T24 FORMS
HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

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T24.20B

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THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU TB
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-25T18:23:54-05:00
Input File Name: 6_TB_H_C24.rbd22x
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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT 1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Jaime Zaldivar	Documentation Author Signature:
Company: ZAL Engineering	Signature Date: 2023-08-25 17:28:18
Address: 99 Pacific St, Ste 375G Monterey, CA 93940	CA/HERS Certification Identification (if applicable): M37306
City/State/Zip: Monterey, CA 93940	Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1, and Parts of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Jaime Zaldivar	Responsible Designer Signature:
Company: ZAL Engineering	Date Signed: 2023-08-25 17:28:18
Address: 99 Pacific St, Ste 375G Monterey, CA 93940	Journal: M37306
City/State/Zip: Monterey, CA 93940	Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 223-P010107163A-000-000-000000-0000
Registration Date/Time: 2023-08-25 17:28:18
HERS Provider: CaCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-25 16:24:41

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01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (t)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot (Int/Ext)	Tank Insulation R-value	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	0.93	Btu/Hr	200000	0	n/a	n/a	n/a	

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07
Dwelling Unit Type	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

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01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfarn IAQ Fan Type 1-1	66	0.30303	Balance	Yes	83	No	Yes	



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01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade 4	Two Bed	45.68	0.1	none	0	80%	No
Slab-on-Grade 5	Two Bed	169.39	0.1	none	0	80%	No
Slab-on-Grade 6	Two Bed	136.9	0.1	none	0	80%	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-30	6 / None	0.038	Inside Finish: Gypsum Board Sheathing / Insulation: R-6 Sheathing Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

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01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1-1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	Heating HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-Heat Pump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-Heat Pump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

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01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 7	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 8	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 9	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 10	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 11	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 12	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Two Bed	332.14	0.1	none	0	80%	No
Slab-on-Grade 2	Two Bed	125.06	0.1	none	0	80%	No
Slab-on-Grade 3	Two Bed	59.49	0.1	none	0	80%	No

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