

ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedroom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT

1. Enter PROJECT INFORMATION and a VICINITY MAP in the space provided on Sheet G0.0.
2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
3. Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
4. If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
5. Submit your application materials using the instructions on the City website.
6. If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

1. All submitted plan sets must be accompanied by a Building Permit Application.
2. All applications must include a site survey.

BUILDING DEPARTMENT

1. All applications must include a Construction Waste Management Plan.
2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

- PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

1A. Atascadero Municipal Code

- | | |
|--------------------------------|--|
| 1. California Building Code | 5. California Mechanical Code |
| 2. California Residential Code | 6. California Fire Code |
| 3. California Electrical Code | 7. California Green Building Standards Code |
| 4. California Plumbing Code | 8. California Energy Efficiency Standards Code |

PROJECT INFORMATION

OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION	
APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE (in SF)	
EXISTING HOME SIZE (in SF)	
PARCEL OVER 10% SLOPE	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.</small>
SRA FIRE HAZARD SEVERITY ZONE (WUI)	<input type="checkbox"/> APPLICABLE <input type="checkbox"/> NOT APPLICABLE <small>PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.</small>

PROJECT INFORMATION	
NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO
SERVED BY SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>SEPTIC DESIGN BY A QUALIFIED PROFESSIONAL MUST BE INCLUDED WITH PERMIT SUBMITTAL</small>

PROPERTY OWNER	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GENERAL SHEETS	
<input type="checkbox"/>	G0.0 COVER SHEET & PROJECT INFORMATION
<input type="checkbox"/>	G0.1 OWNER PROVIDED SITE PLAN
<input type="checkbox"/>	G1.0 GENERAL NOTES
<input type="checkbox"/>	G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS
<input type="checkbox"/>	G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS
ARCHITECTURAL	
<input type="checkbox"/>	A1.0 RANCH - FLOORPLAN & ELEVATIONS
<input type="checkbox"/>	A1.1 RANCH - SECTIONS, ROOF PLAN & RCP
<input type="checkbox"/>	A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A2.1 CRAFTSMAN - SECTIONS, ROOF PLAN & RCP
<input type="checkbox"/>	A3.0 MODERN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A3.1 MODERN - SECTIONS, ROOF PLAN & RCP
<input type="checkbox"/>	A4.0 BUNGALOW - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A4.1 BUNGALOW - SECTIONS, ROOF PLAN & RCP
<input type="checkbox"/>	A5.0 EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.1 EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.2 EXTERIOR DETAILS
<input type="checkbox"/>	A5.3 INTERIOR DETAILS & WALL PARTITIONS
<input type="checkbox"/>	A6.0 SCHEDULES - EFFICIENCY STUDIO
STRUCTURAL	
<input type="checkbox"/>	S0.0 STRUCTURAL NOTES
<input type="checkbox"/>	S0.1 TYPICAL DETAILS
<input type="checkbox"/>	S1.0G GABLE - ROOF/CEILING AND FOUNDATION PLAN
<input type="checkbox"/>	S1.0M MONOSLOPE - ROOF/CEILING AND FOUNDATION PLAN
<input type="checkbox"/>	S2.0 FOUNDATION DETAILS
<input type="checkbox"/>	S2.1 ROOF FRAMING DETAILS
<input type="checkbox"/>	S2.2 ROOF FRAMING DETAILS (CONT.)
MECHANICAL	
<input type="checkbox"/>	MP0.1 GENERAL NOTES
<input type="checkbox"/>	MP0.2 SCHEDULES & GAS DIAGRAM & PLUMBING
<input type="checkbox"/>	MP2.1E MECHANICAL & PLUMBING PLANS - ELECTRIC
<input type="checkbox"/>	MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID
ENERGY COMPLIANCE/TITLE 24	
<input type="checkbox"/>	T24.1B TITLE 24 FORMS - ELECTRIC
<input type="checkbox"/>	T24.2B TITLE 24 FORMS - ELECTRIC
<input type="checkbox"/>	T24.3B TITLE 24 FORMS - HYBRID
<input type="checkbox"/>	T24.1B TITLE 24 FORMS - HYBRID



CENTRAL COAST PRE-DESIGNED ADU

CITY REVIEW SET

PROJECT DIRECTORY

ARCHITECT OF RECORD WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	CONSULTING ARCHITECT RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93465 831.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtaylorse.com	MECHANICAL & PLUMBING ENGINEER ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, ONE-STORY DETACHED 316 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF A GREAT ROOM/LIVING AREA WITH A KITCHEN AND ONE BATHROOM.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/> COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1, S1.0G
<input type="checkbox"/> BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2, S1.0G
<input type="checkbox"/> CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3, S1.0M
<input type="checkbox"/> BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4, S1.0M
ROOFING MATERIAL (SELECT ONE)	
<input type="checkbox"/> ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> APPLICANT REVISION	
PRIMARY SIDING MATERIAL (SELECT ONE)	
<input type="checkbox"/> VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
<input type="checkbox"/> BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
<input type="checkbox"/> HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
<input type="checkbox"/> SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
<input type="checkbox"/> STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
<input type="checkbox"/> APPLICANT REVISION	
DESIGN OPTIONS (SELECT IF DESIRED)	
<input type="checkbox"/> CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.3
<input type="checkbox"/> APPLICANT REVISION	
MECHANICAL SYSTEM (SELECT ONE)	
<input type="checkbox"/> ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
<input type="checkbox"/> HYBRID (ELECTRIC W/ GAS H2O HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H
<input type="checkbox"/> GAS RANGE	
REQUIRED COMPLIANCE (CHECK IF APPLICABLE)	
<input type="checkbox"/> PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
<input type="checkbox"/> EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"
SITE PLAN (REQUIRED)	
<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan

AREA CALCULATIONS - EFFICIENCY STUDIO
DWELLING UNIT - 316 GSF
EXT. COVERED PORCHES - 8 GSF

COASTAL RANCH EXTERIOR - PERSPECTIVE VIEW



BACKYARD CRAFTSMAN EXTERIOR - PERSPECTIVE VIEW



CALIFORNIA MODERN - PERSPECTIVE VIEW



BEACH BUNGALOW EXTERIOR - PERSPECTIVE VIEW



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET & PROJECT INFORMATION - ATASCADERO

GO.0

SCALE: AS NOTED

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



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BID SET.
City of Atascadero Preview

SITE PLAN CHECKLIST

The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12¹

CENTRAL COAST
PRE-DESIGNED ADU
EFFICIENCY STUDIO
315 GSF

PRINT DATE: XX.XX.XXXX

OWNER PROVIDED
SITE PLAN -
ATASCADERO

GO.1

SCALE: AS NOTED

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
- PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDIED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
- THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.1 / CRC R337.7.3

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PERFORMACE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH CBC 706A2.1.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

- ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
 - SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
 - ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS), CEC 150.0(K)2K)
 - CEILING RECESSED DOWNLIGHT LUMINARIES
 - LED LUMINARIES WITH INTEGRAL SOURCES
 - PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
 - GU-24 BASED LED LIGHT SOURCES
 - THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. CEC 150.0(K)8.
 - EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
 - PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
 - ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
 - FOR LUMINARIES WITH HARDWired BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
 - PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
 - ASTRONOMICAL TIME SWITCH CONTROL
 - ENERGY MANAGEMENT CONTROL SYSTEMS
 - ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
 - ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0(s)).
- PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.
- PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
- PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.

ABBREVIATIONS

AB	ANCHOR BOLT	IN	INCH/INCHES
AC	ASPHALT CONCRETE	INFO	INFORMATION
AD	AREA DRAIN	INSUL	INSULATION
ADJ	ADJACENT	INT	INTERIOR
AFF	ABOVE FINISH FLOOR	JT	JOINT
AL	ALIGN	KIT	KITCHEN
ALUM	ALUMINUM		
ALT	ALTERNATE	LB	LAG BOLT
ARCH	ARCHITECT/ARCHITECTURAL	LBS	POUNDS
AVG	AVERAGE	LF	LINEAR FOOT
BD	BOARD	LL	LIVE LOAD
BLDG	BUILDING	LS	LAG SCREW
BLKG	BLOCKING		
BTM	BOTTOM	MAX	MAXIMUM
BTWN	BETWEEN	MB	MACHINE BOLT
BUR	BUILT-UP ROOFING	MECH	MECHANICAL
BW	BOTHWAYS	MFD	MANUFACTURED
CB	CATCH BASIN	MFR	MANUFACTURER
CF	CUBIC FEET	MICRO	MICROWAVE
CJ	CONTROL JOINT	MIN	MINIMUM
CLKG	CAULKING	MISC	MISCELLANEOUS
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	MTL	METAL
CO	CLEANOUT	(N)	NEW
COTG	CLEANOUT TO GRADE	NIC	NOT IN CONTRACT
COL	COLUMN	NA	NOT APPLICABLE
CONC	CONCRETE	NTS	NOT TO SCALE
CONT	CONTINUOUS		
CT	CERAMIC TILE	O/	OVER
CTR	CENTER	OC	ON CENTER
CW	COLD WATER	OH	OVERHEAD/OVERHANG
		OPNG	OPENING
DBL	DOUBLE	PL	PLATE
DEPT	DEPARTMENT	PLF	POUNDS PER LINEAL FOOT
DIA	DIAMETER	PLYVD	PLYWOOD
DIAG	DIAGONAL	PTD	PAINTED
DIM	DIMENSION	PSF	POUNDS PER SQUARE FOOT
DL	DEAD LOAD	PSI	POUNDS PER SQUARE INCH
DN	DOWN	PT	PRESSURE TREATED
DR	DOOR	PVMT	PAVEMENT
DWG	DRAWING		
DW	DISHWASHER	RA	RETURN AIR
(E)	EXISTING	RCP	REFLECTED CEILING PLAN
EA	EACH	RD	ROOF DRAIN
EB	EXPANSION JOINT	REF	REFERENCE
EJ	EXPANSION BOLT	REFR	REFRIGERATOR
ELEC	ELECTRIC/ELECTRICAL	REQD	REQUIRED
ELEV	ELEVATOR/ELEVATION	REV	REVISION
EN	EDGE NAILING	RM	ROOM
ENCL	ENCLOSURE	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SD	STORM DRAIN
EXT	EXTERIOR	SEC	SECTION
		SED	SEE ELECTRICAL DRAWINGS
FD	FLOOR DRAIN	SF	SQUARE FOOT
FF	FINISH FLOOR	SPEC	SPECIFICATION
FIN	FINISH	SPD	SEE PLUMBING DRAWINGS
FL	FLOW LINE	SSD	SEE STRUCTURAL DRAWINGS
FLSHG	FLASHING	SS	SOLID SURFACE
FLR	FLOOR	STD	STANDARD
FOC	FACE OF CONCRETE	STL	STEEL
FOS	FACE OF STUD	STRUCT	STRUCTURAL
FOW	FACE OF WALL	SUSP	SUSPENDED
FRMG	FRAMING	SYS	SYSTEM
FT	FOOT	T	TEMPERED
FTG	FOOTING	TOC	TOP OF CURB
		TPP	TYPICAL
GA	GAUGE	UON	UNLESS OTHERWISE NOTED
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR	ENT	VENTILATION/VENTILATOR
GWB	GYPSUM WALL BOARD	VERT	VERTICAL
HB	HOSE BIB	VIF	VERIFY IN FIELD
HD	HOLDOWN	W/	WITH
HDR	HEADER	WC	WATER CLOSET
HGR	HANGER	WD	WOOD
HM	HOLLOW METAL	WH	WATER HEATER
HORIZ	HORIZONTAL	WDW	WINDOW
HT	HEIGHT	W/O	WITHOUT
HVAC	HEAT/VENTILATION/AIR COND.	WP	WATERPROOF
HW	HOT WATER	WT	WEIGHT



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CENTRAL COAST

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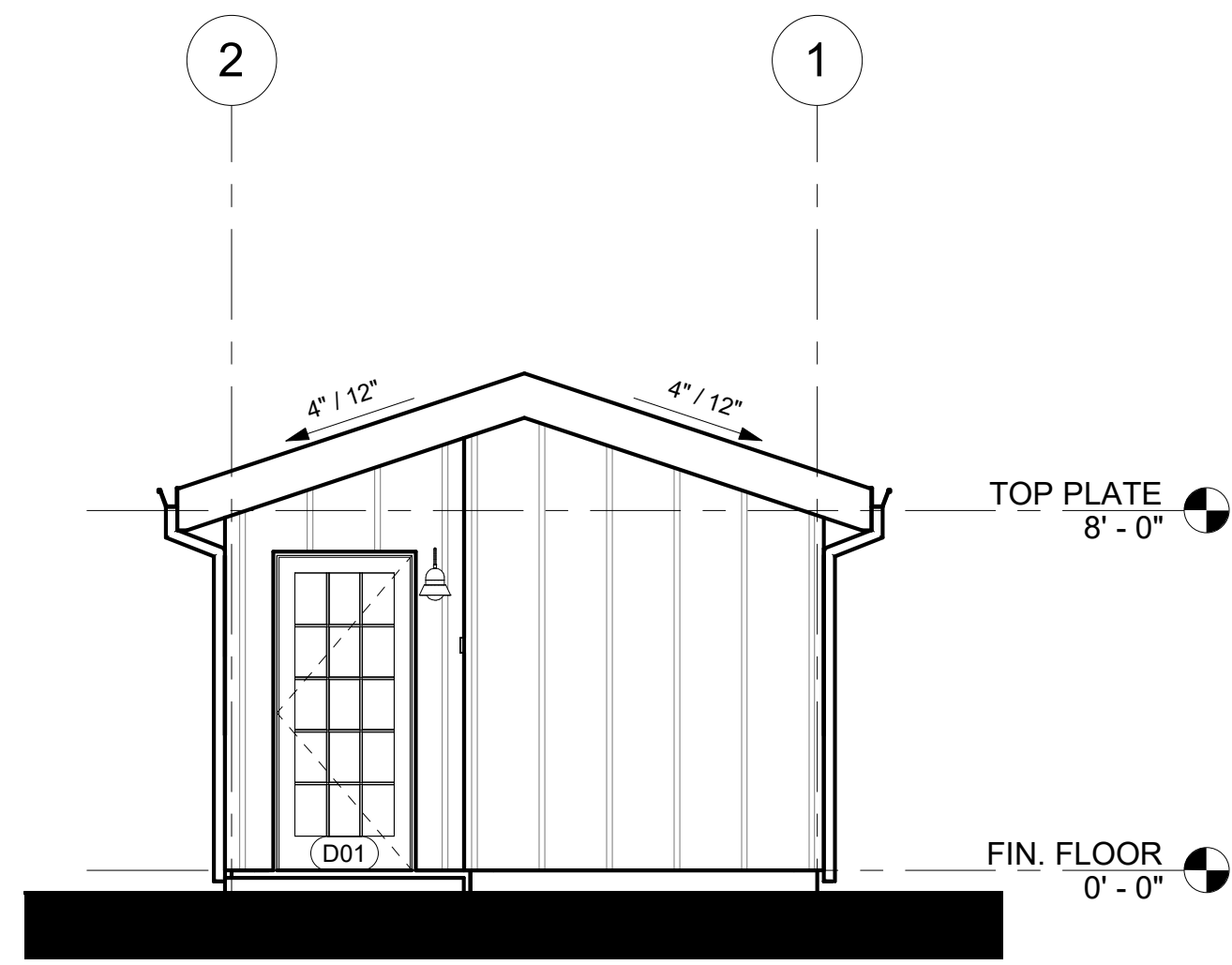
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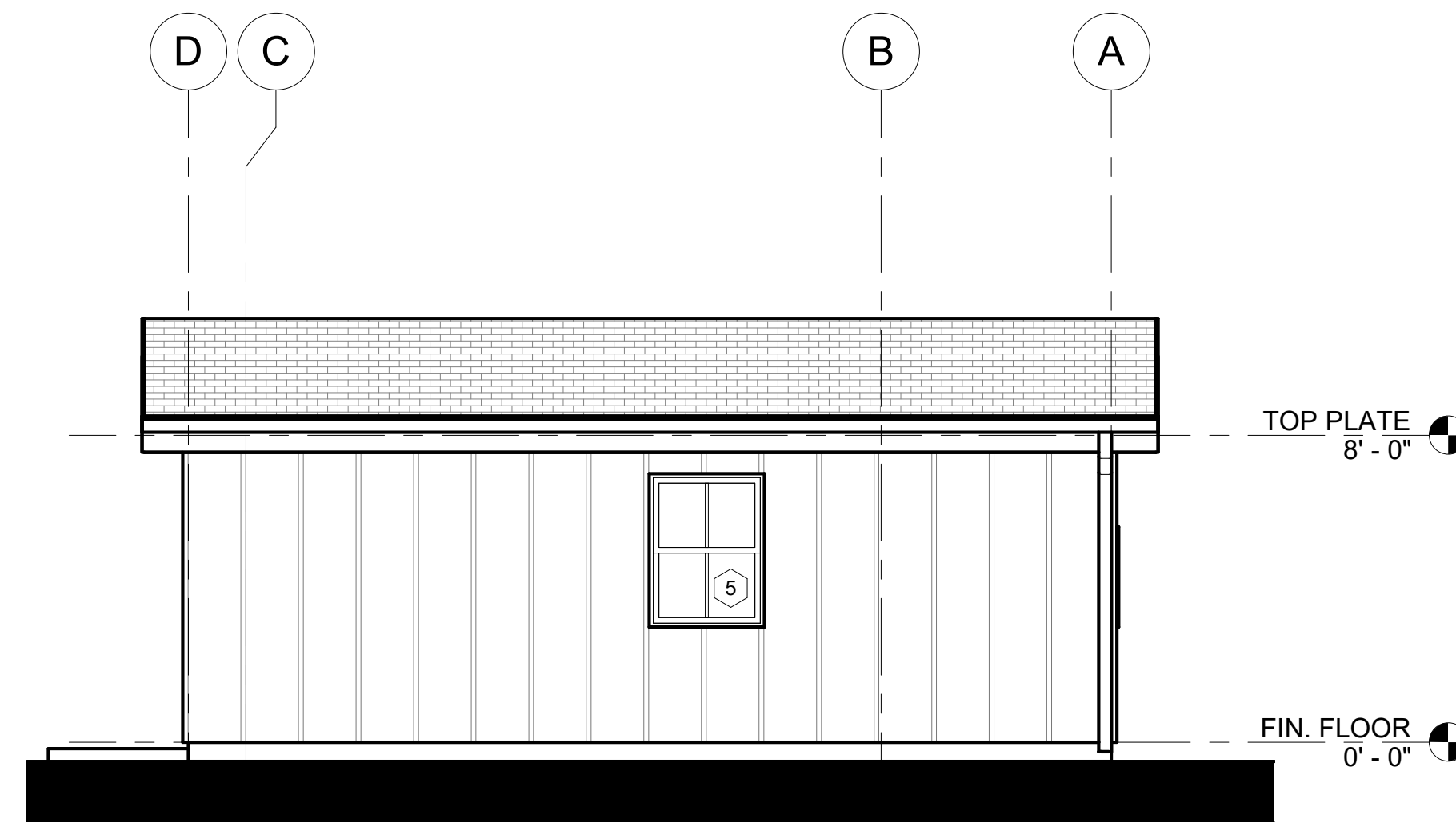
GENERAL NOTES

G1.0

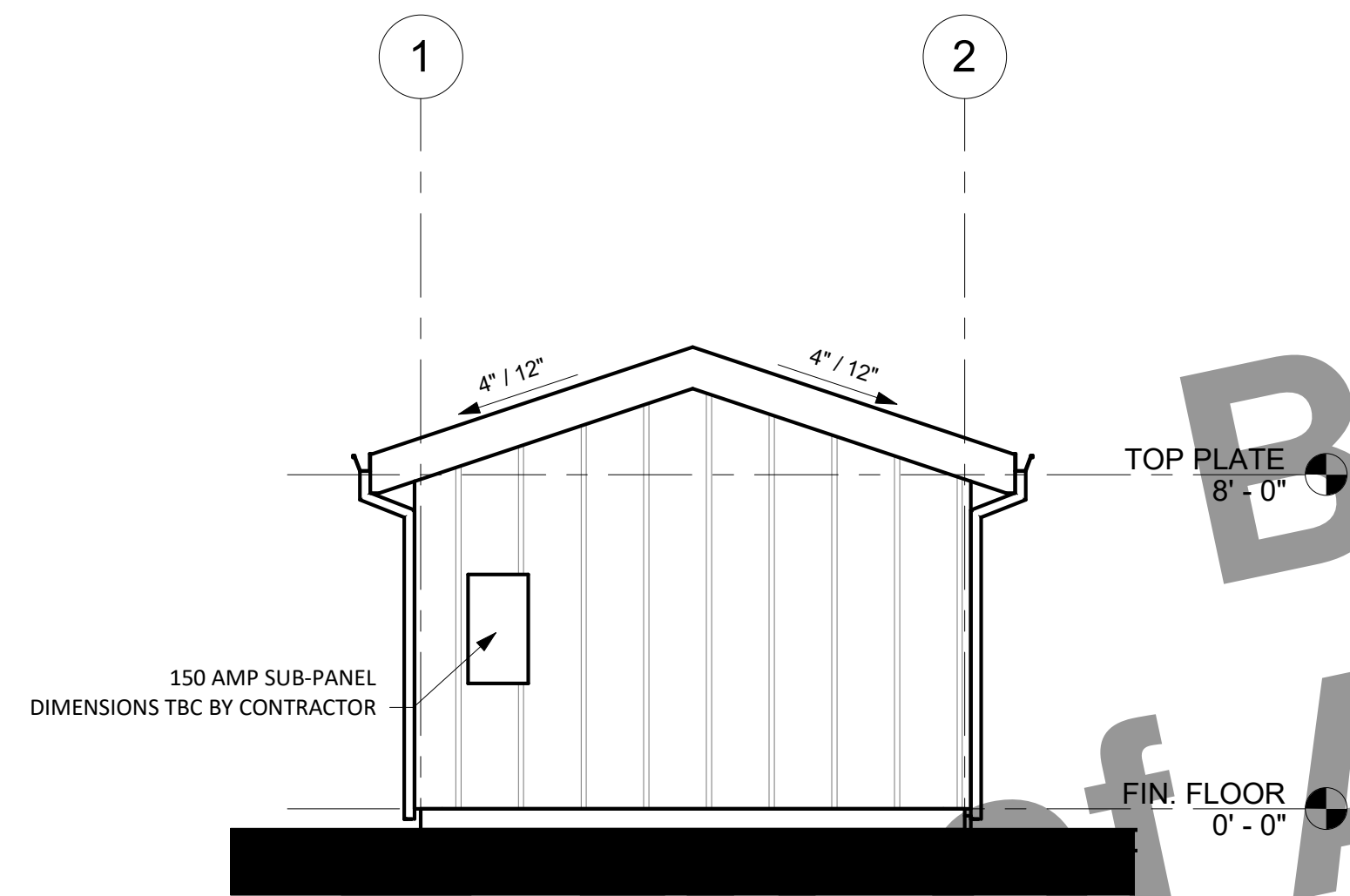
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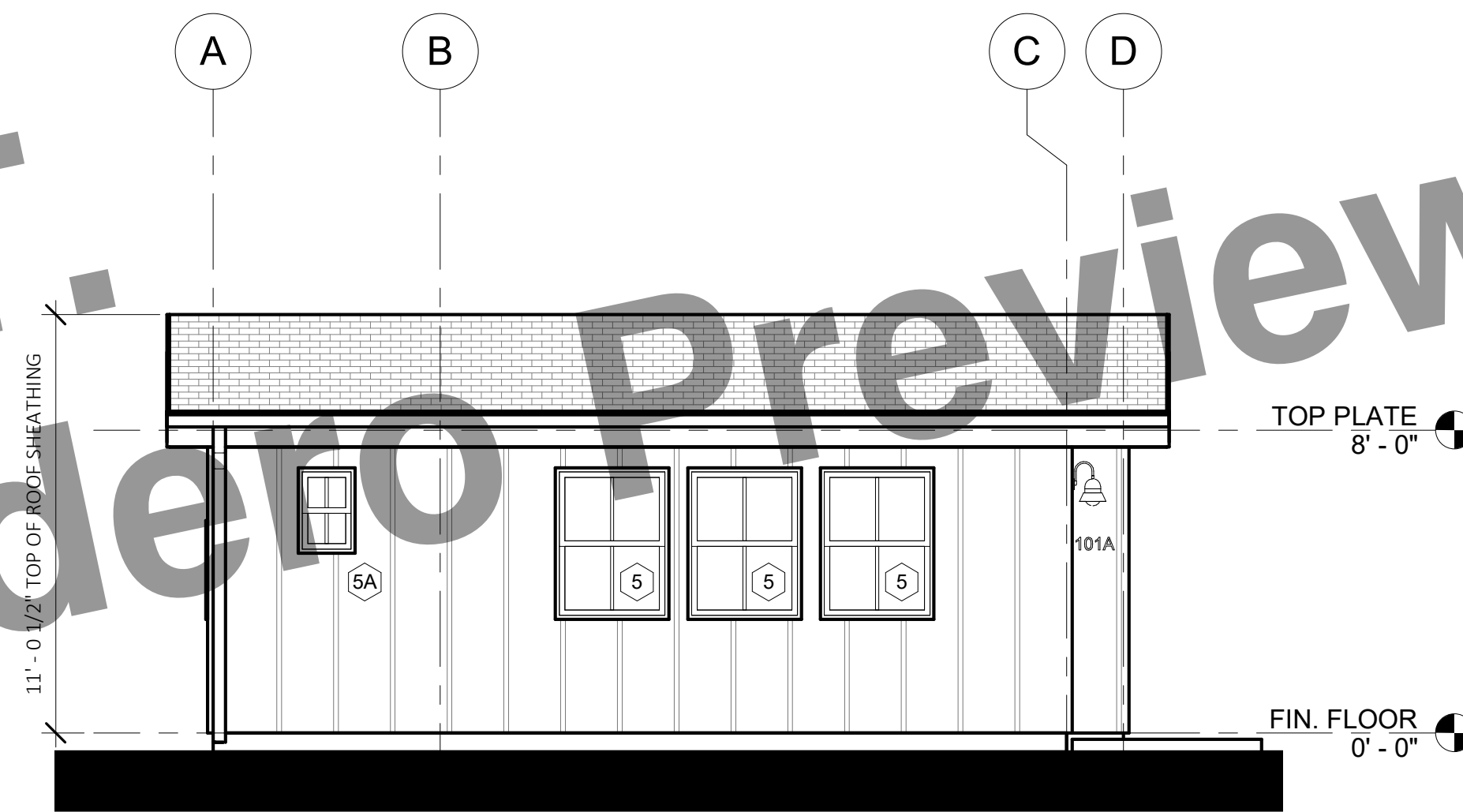
6 RIGHT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH
1/4" = 1'-0"



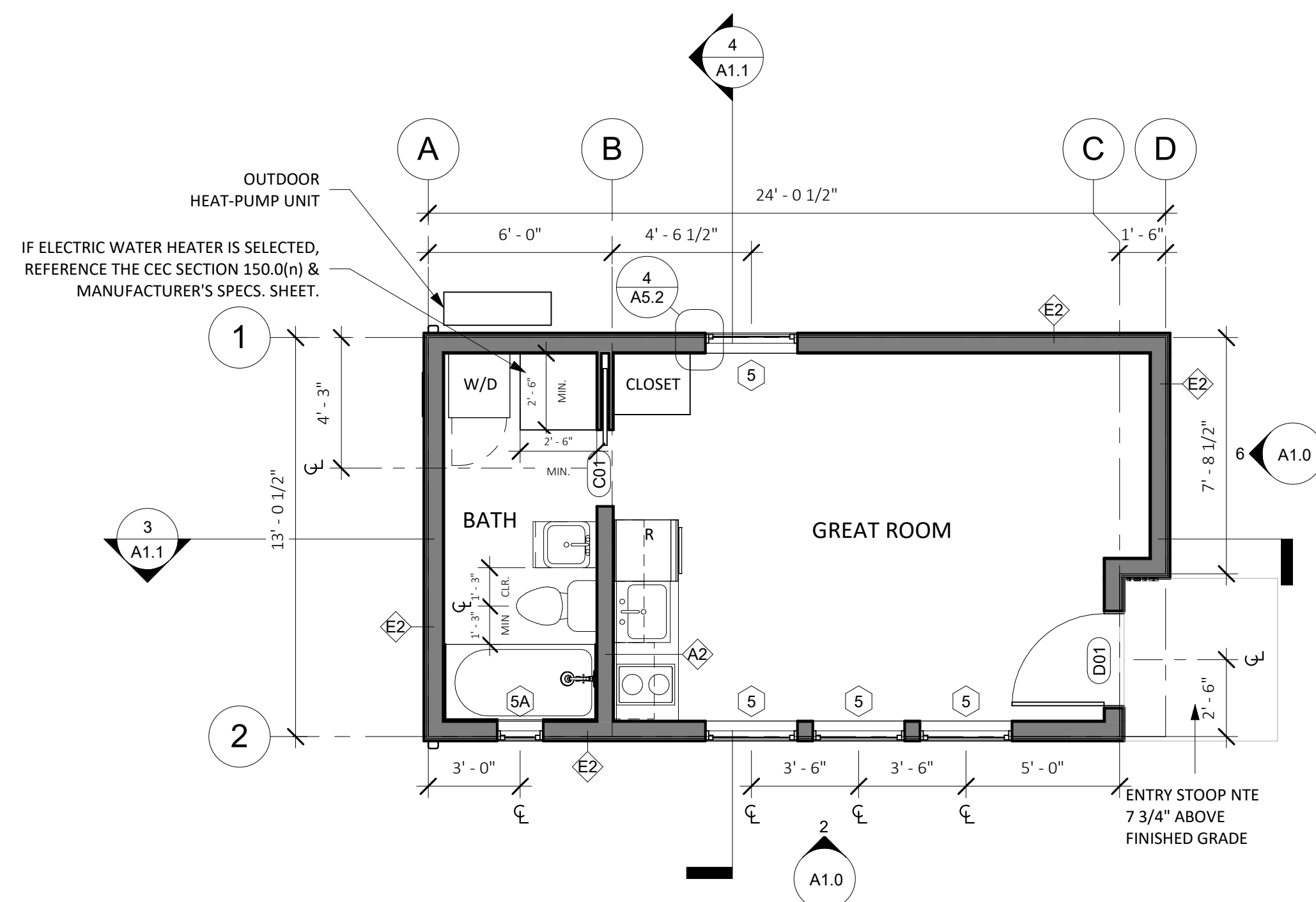
5 LEFT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - COASTAL RANCH
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
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- SHEET NUMBER

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2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
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9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

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/ARCHITECT**
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**CENTRAL COAST
PRE-DESIGNED ADU**
EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

RANCH - FLOORPLAN & ELEVATIONS

A1.0

SCALE: AS NOTED



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ROOF PLAN NOTES

1. Roof dimensions taken from Roof Edge/Fascia to exterior face of plywood. Refer to referenced details for overhang dimensions.
2. All roof areas shall be Class A Rated Composition Tiles or equal.
3. Wood shingles shall not be used.
4. Roof gutters shall be provided with means to prevent accumulation of leaves and debris in the gutter.
5. Provide 26 Gauge Corrosion Resistant Metal Flashings at roof/wall intersections, gutters, and around roof openings.
6. Gang vents whenever possible.
7. See Detail 7/AS.2 for roof penetration detail.
8. Roofer and solar installer to coordinate installation for PVs and PV Roof Clips.

ELECTRICAL LEGEND

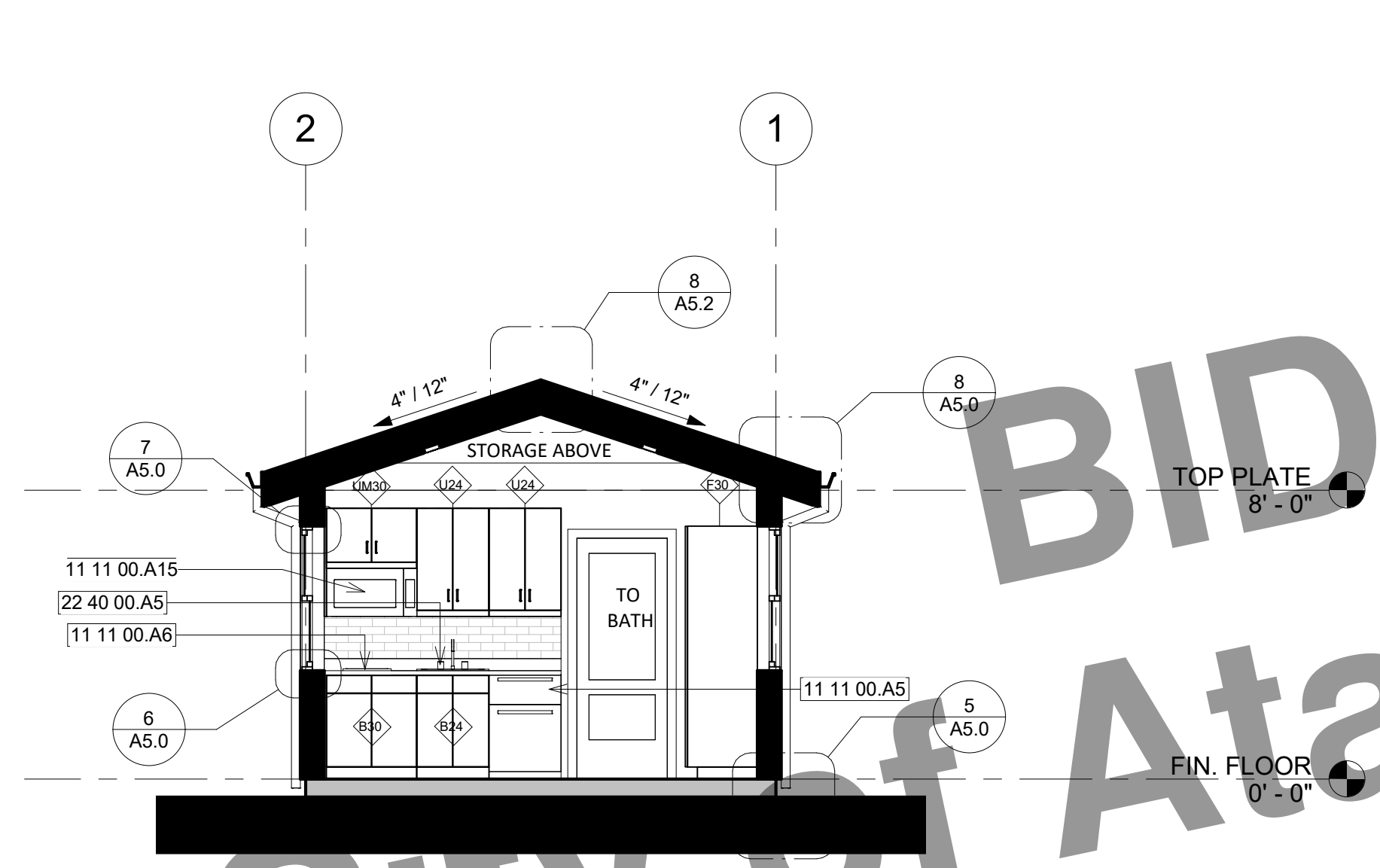
- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
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- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

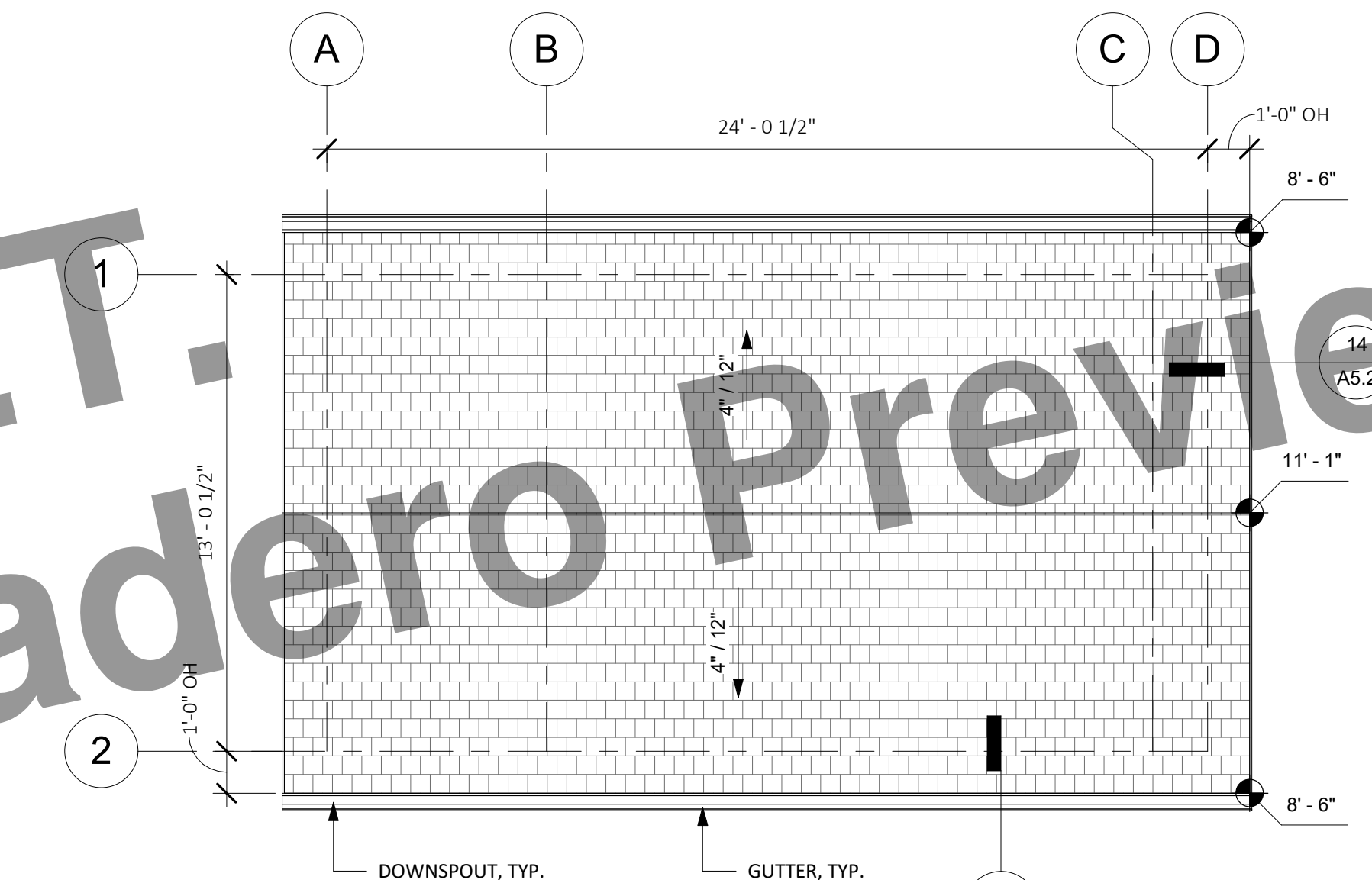
- GYP. BD. CLG., PTD.
- FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
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REFLECTED CEILING PLAN NOTES

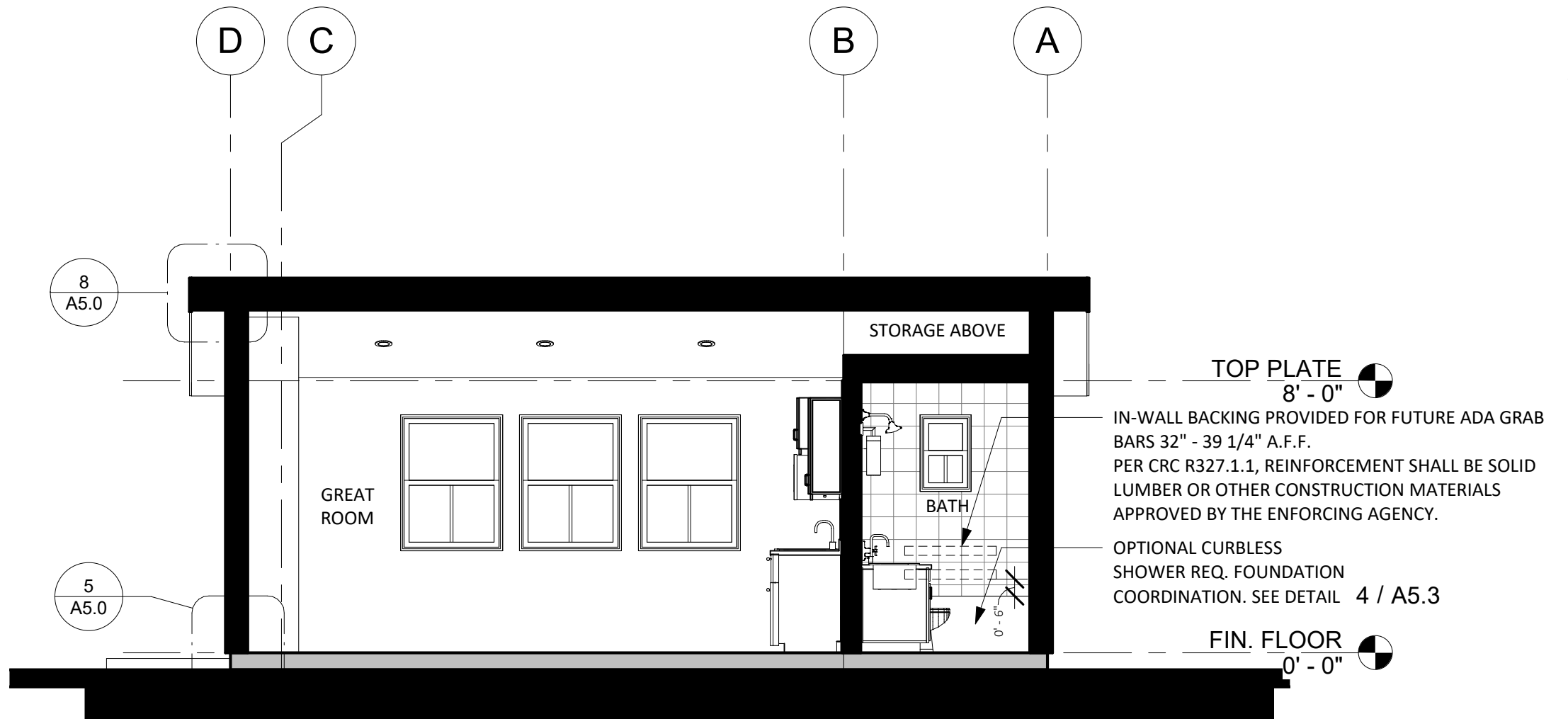
1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
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7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



SECTION B - COASTAL RANCH
1/4" = 1'-0"

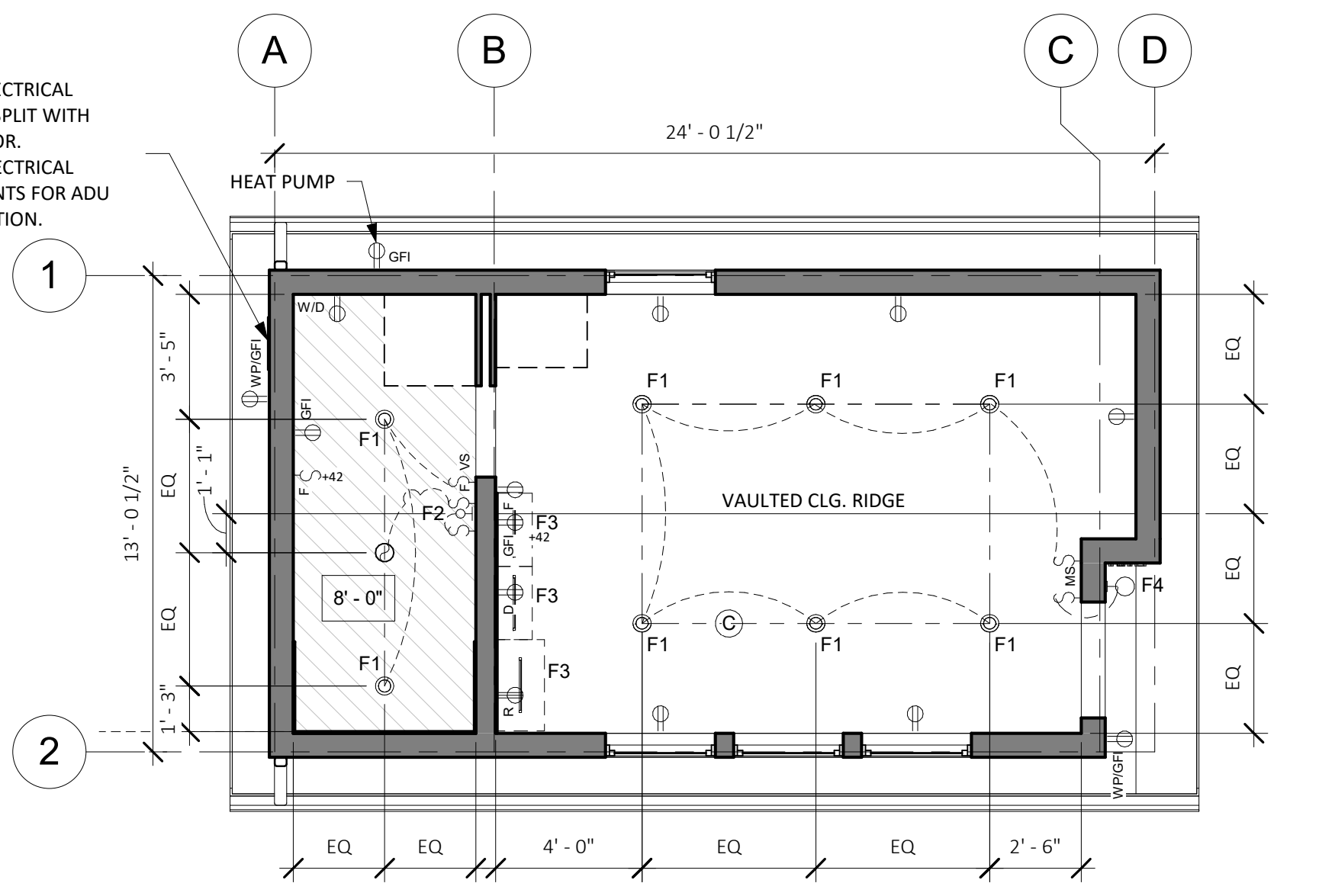


ROOF PLAN - COASTAL RANCH
1/4" = 1'-0"



SECTION A - COASTAL RANCH
1/4" = 1'-0"

MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

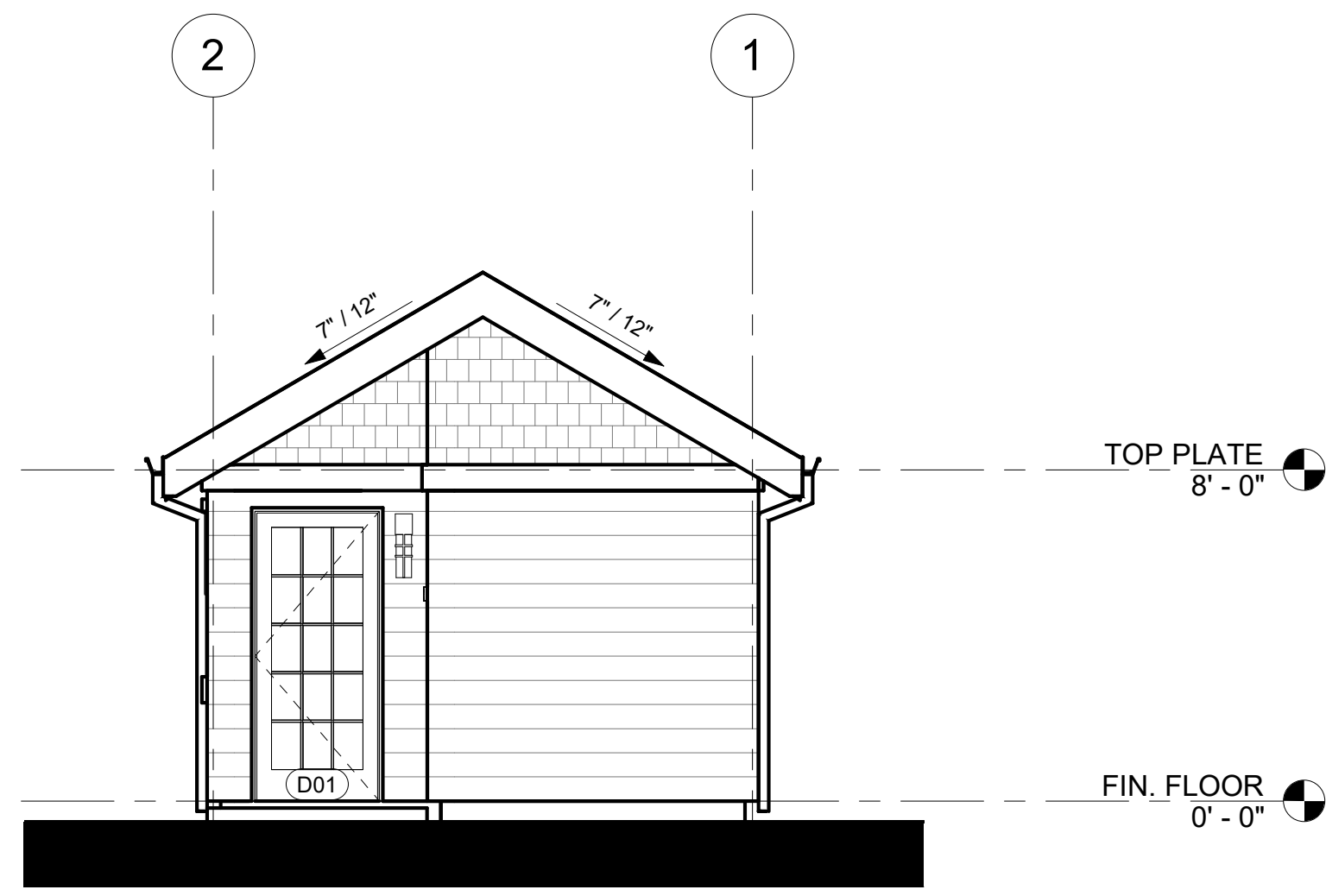


RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

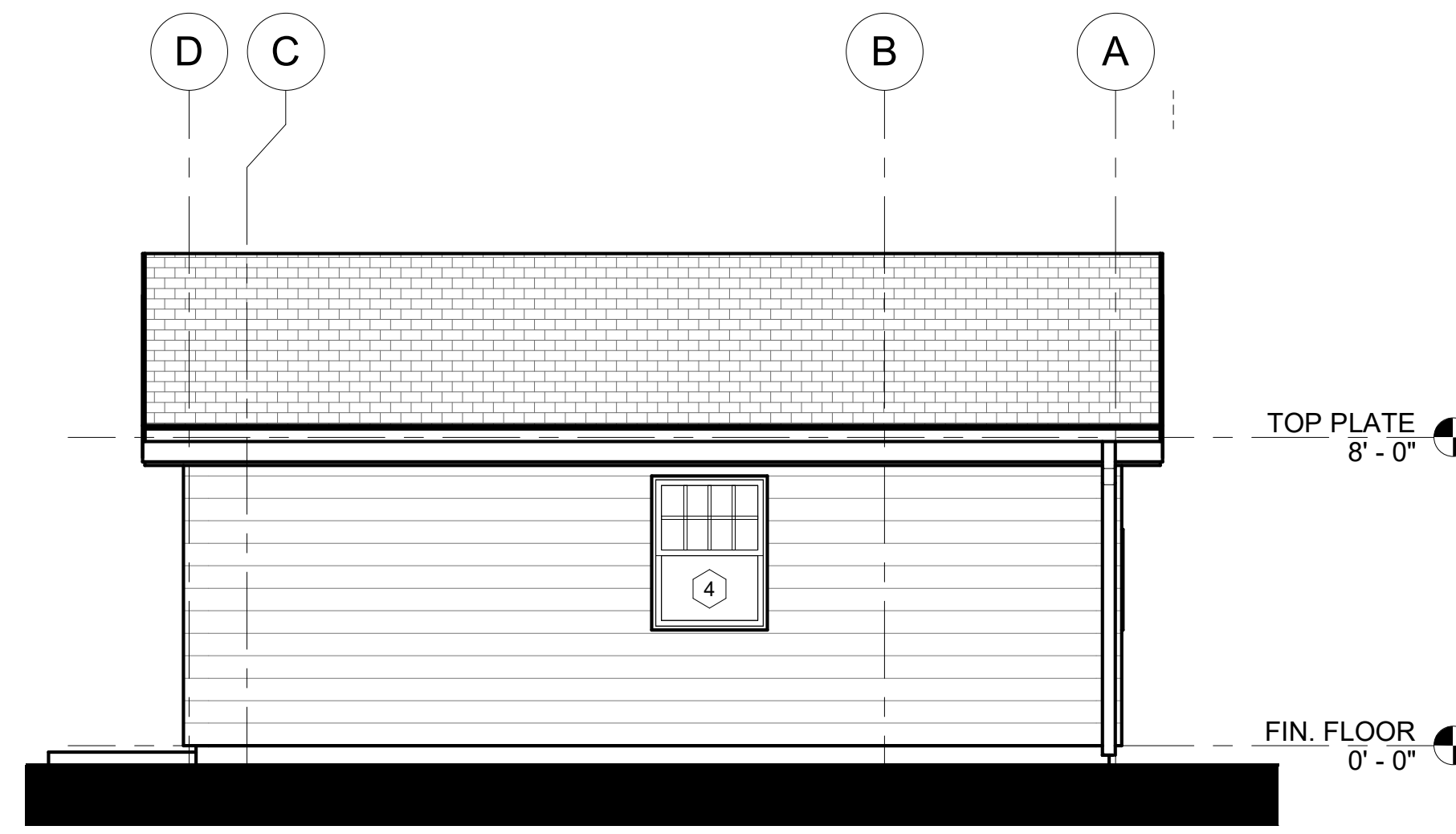
CENTRAL COAST
PRE-DESIGNED ADU
EFFICIENCY STUDIO
316 GSF

RANCH - SECTIONS,
ROOF PLAN & RCP

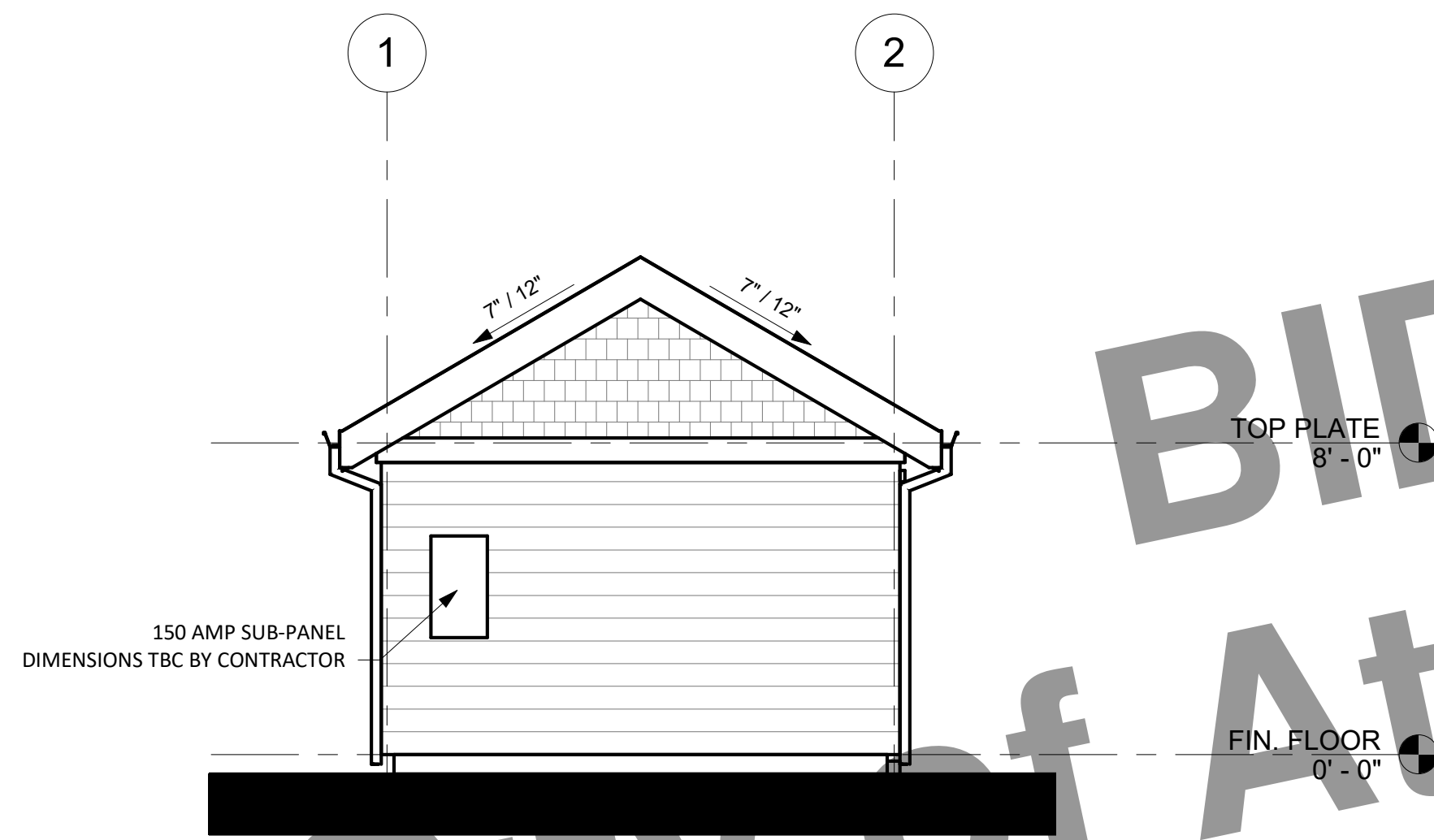
A1.1



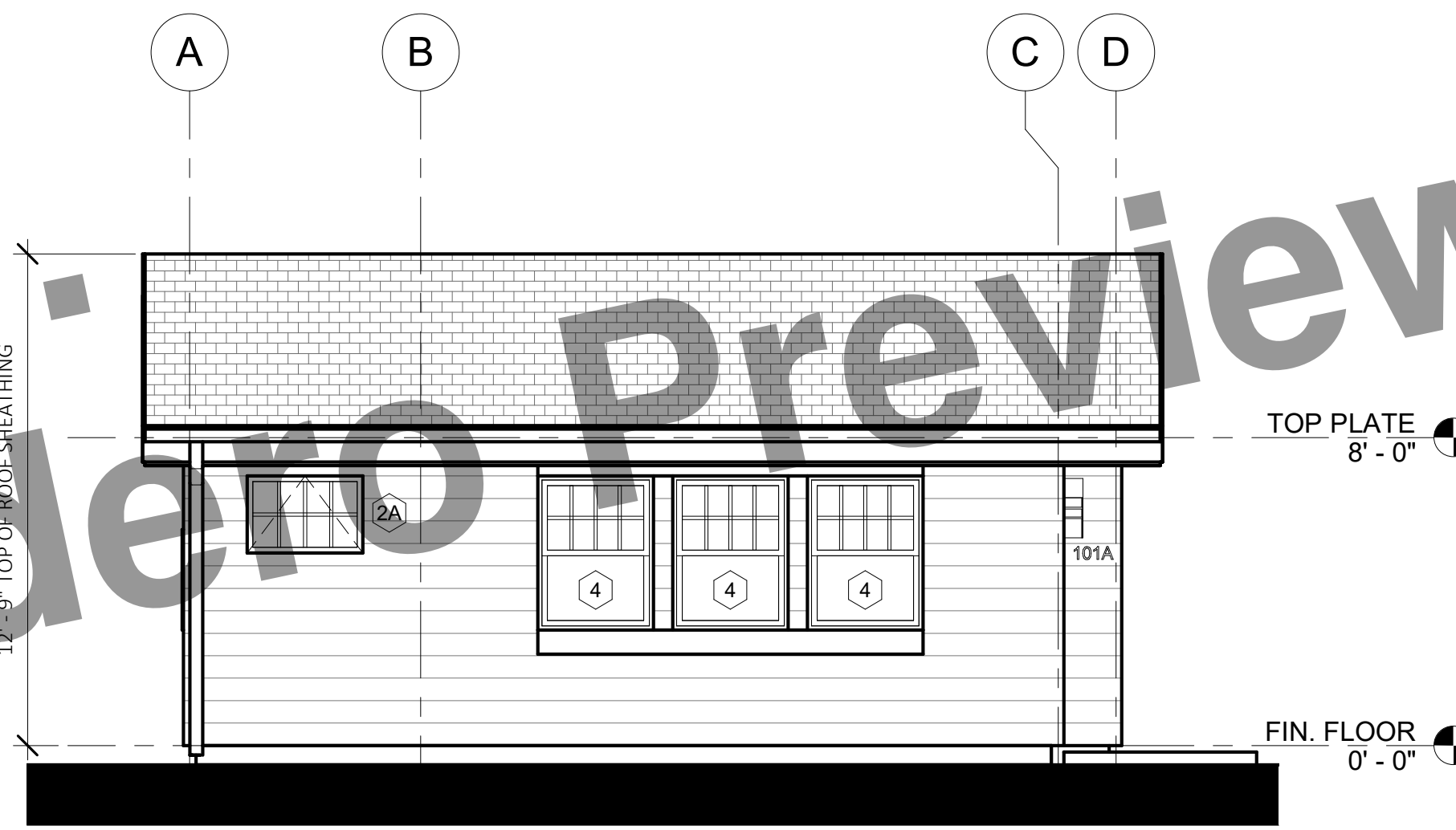
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



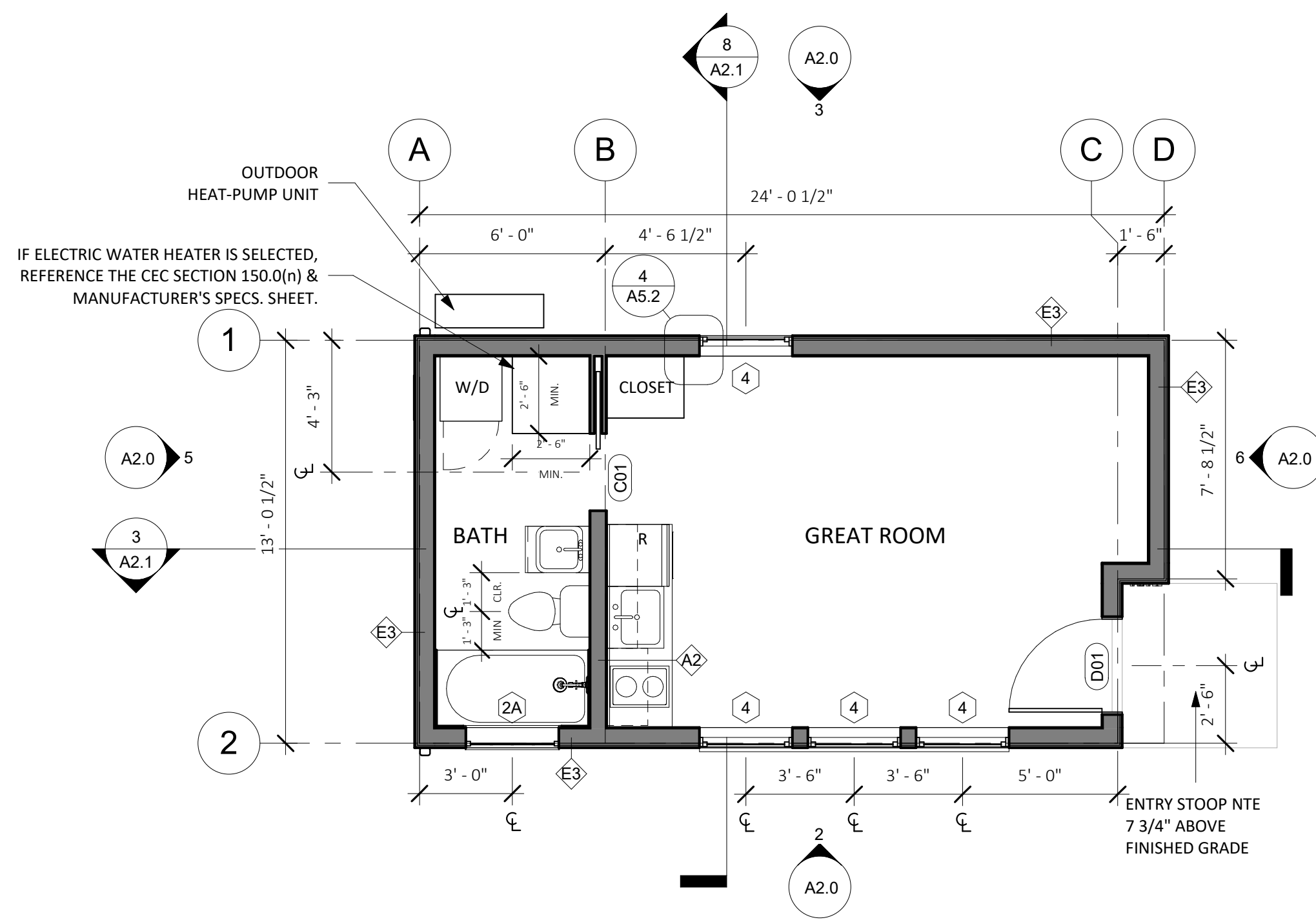
5 LEFT ELEVATION - BACKYARD CRAFTSMAN
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2 FRONT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - BACKYARD CRAFTSMAN
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
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**CENTRAL COAST
PRE-DESIGNED ADU**
EFFICIENCY STUDIO
316 GSF

CRAFTSMAN -
FLOORPLANS &
ELEVATIONS

A2.0



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ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
3. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
7. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
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- SWITCH LEG
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CENTRAL COAST PRE-DESIGNED ADU

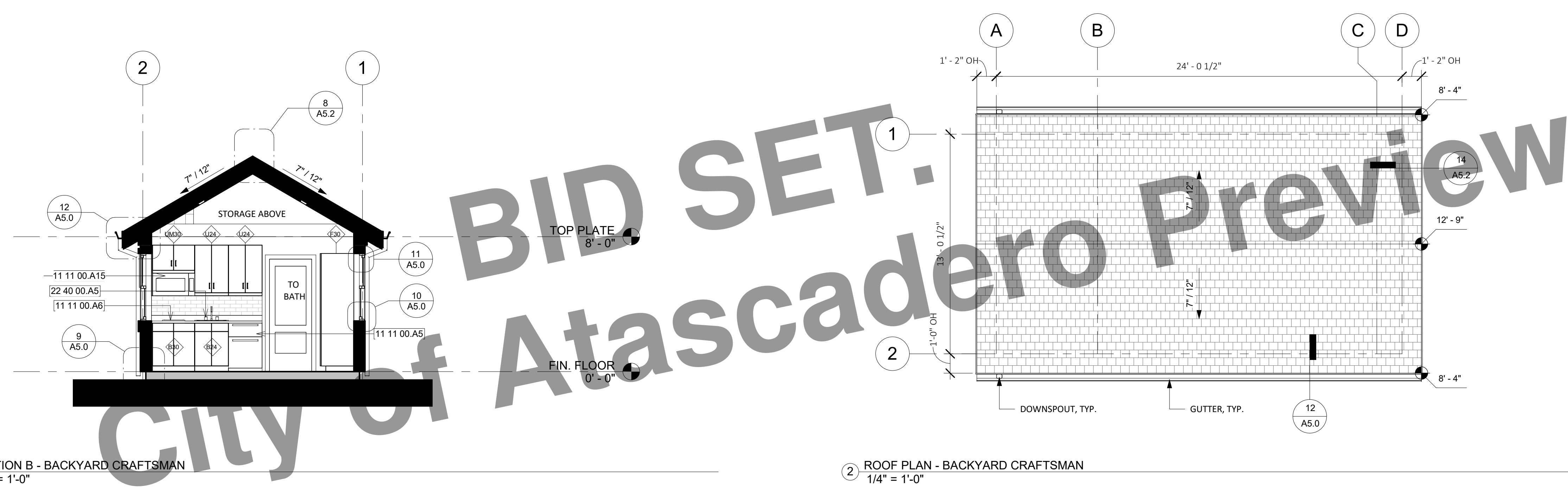
EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

CRAFTSMAN - SECTIONS, ROOF PLAN & RCP

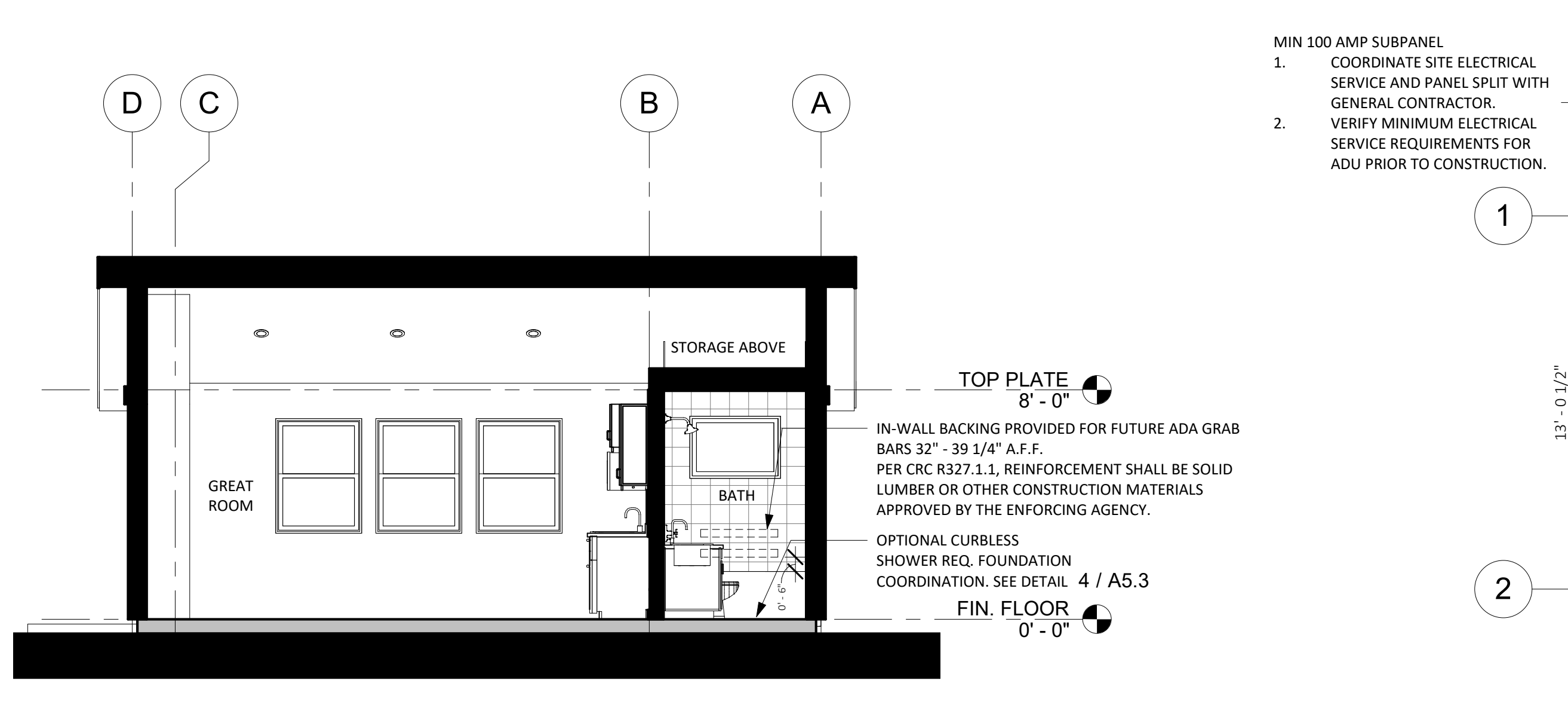
A2.1

SCALE: AS NOTED



8 SECTION B - BACKYARD CRAFTSMAN
1/4" = 1'-0"

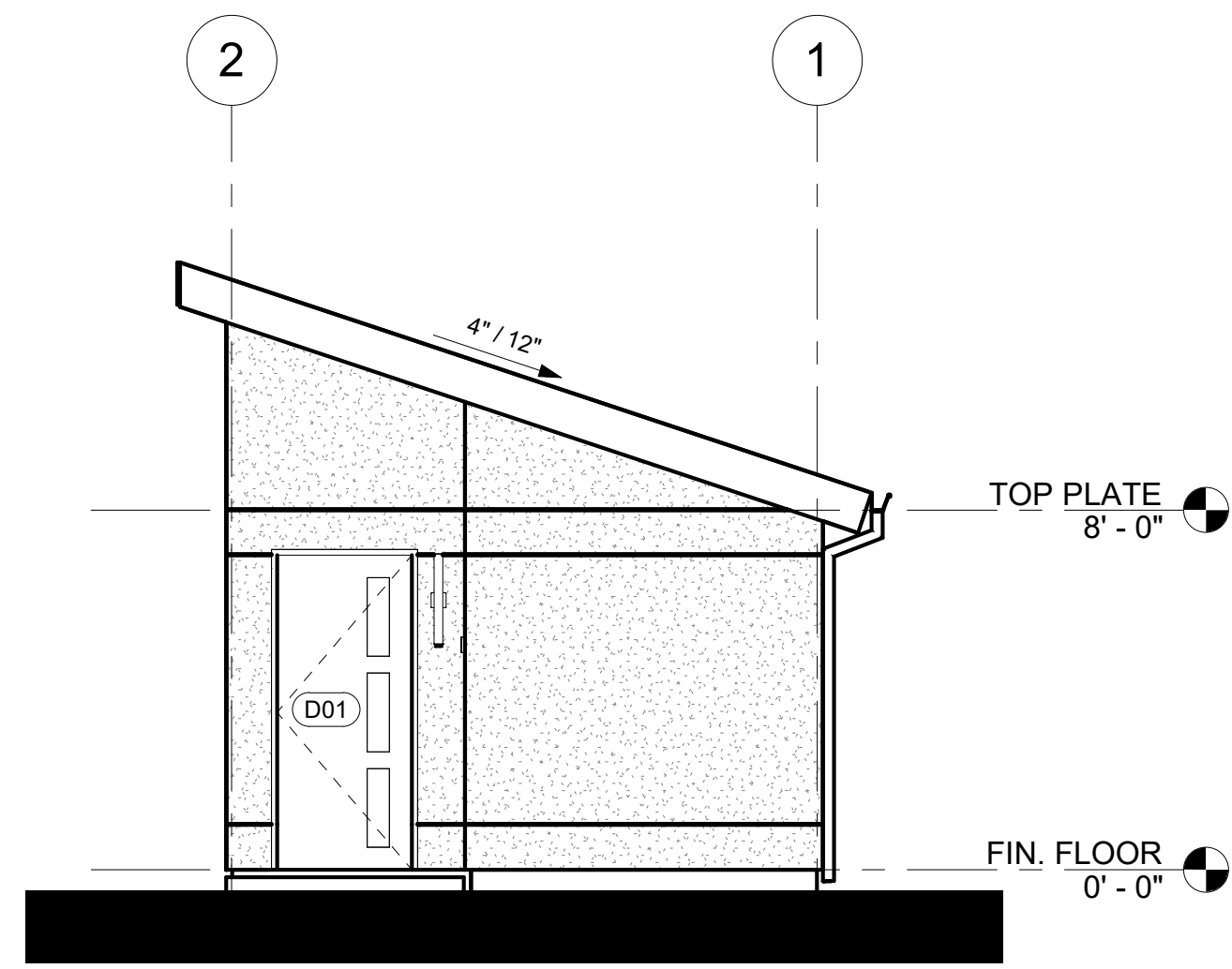
2 ROOF PLAN - BACKYARD CRAFTSMAN
1/4" = 1'-0"



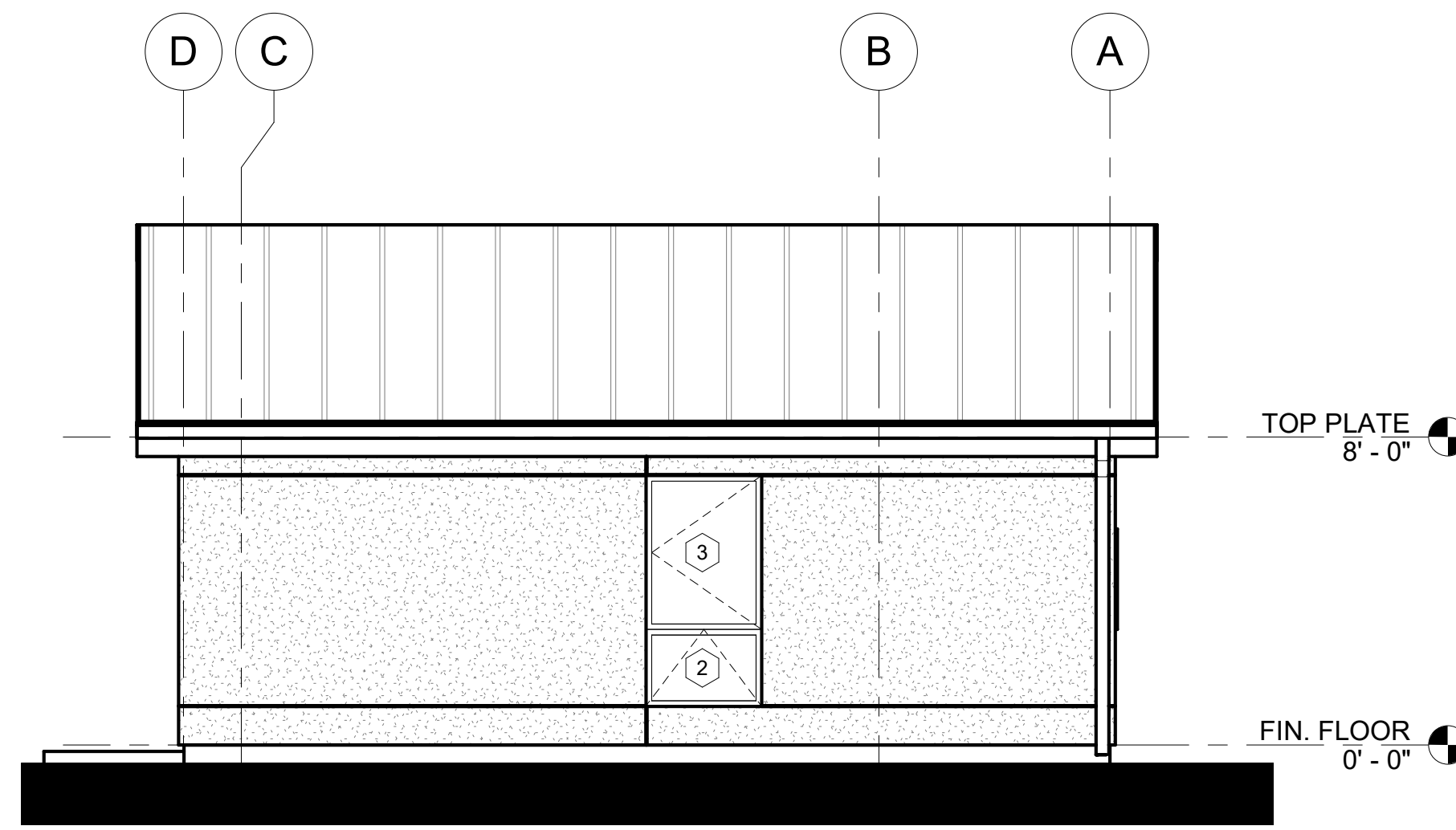
3 SECTION A - BACKYARD CRAFTSMAN
1/4" = 1'-0"

1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

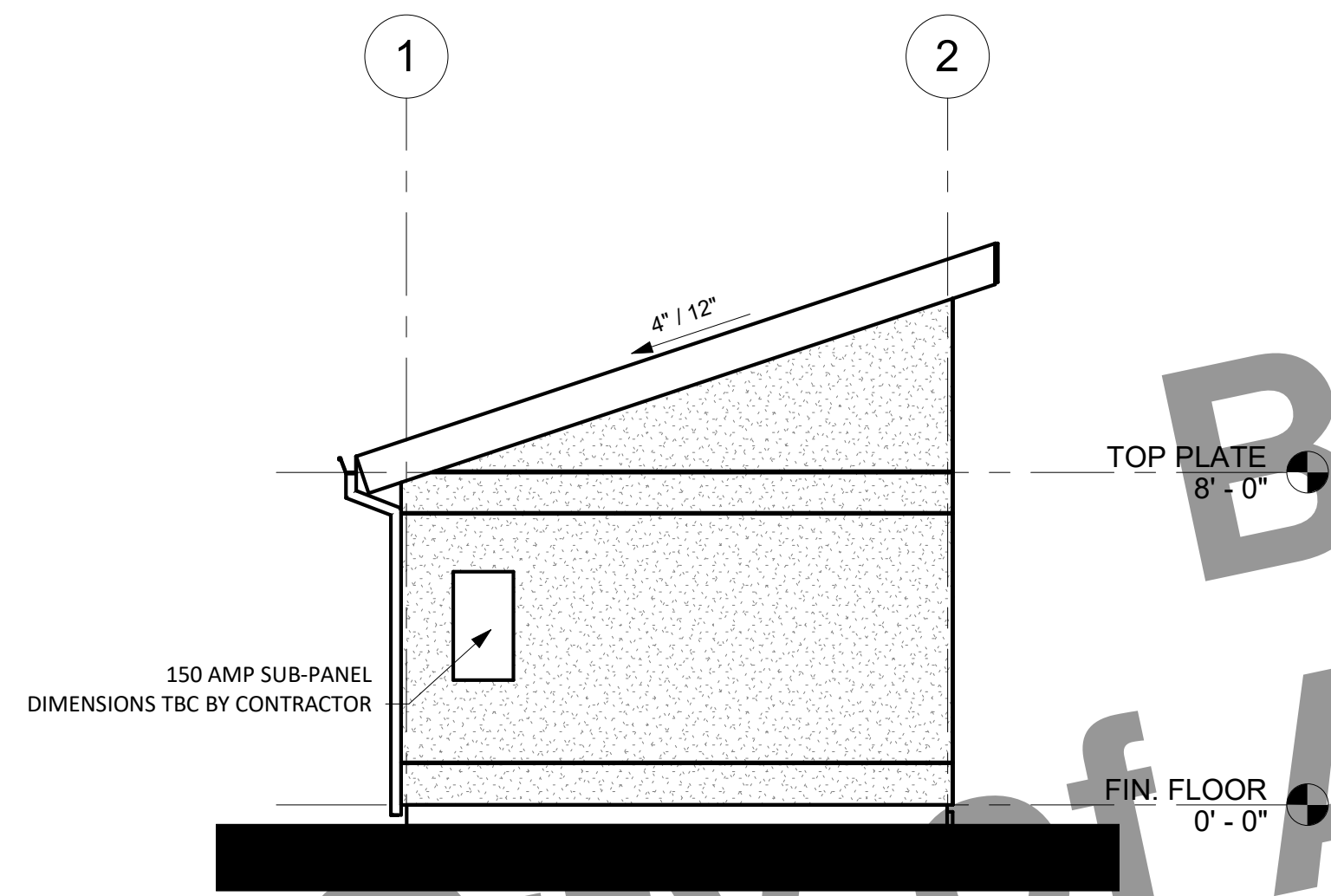
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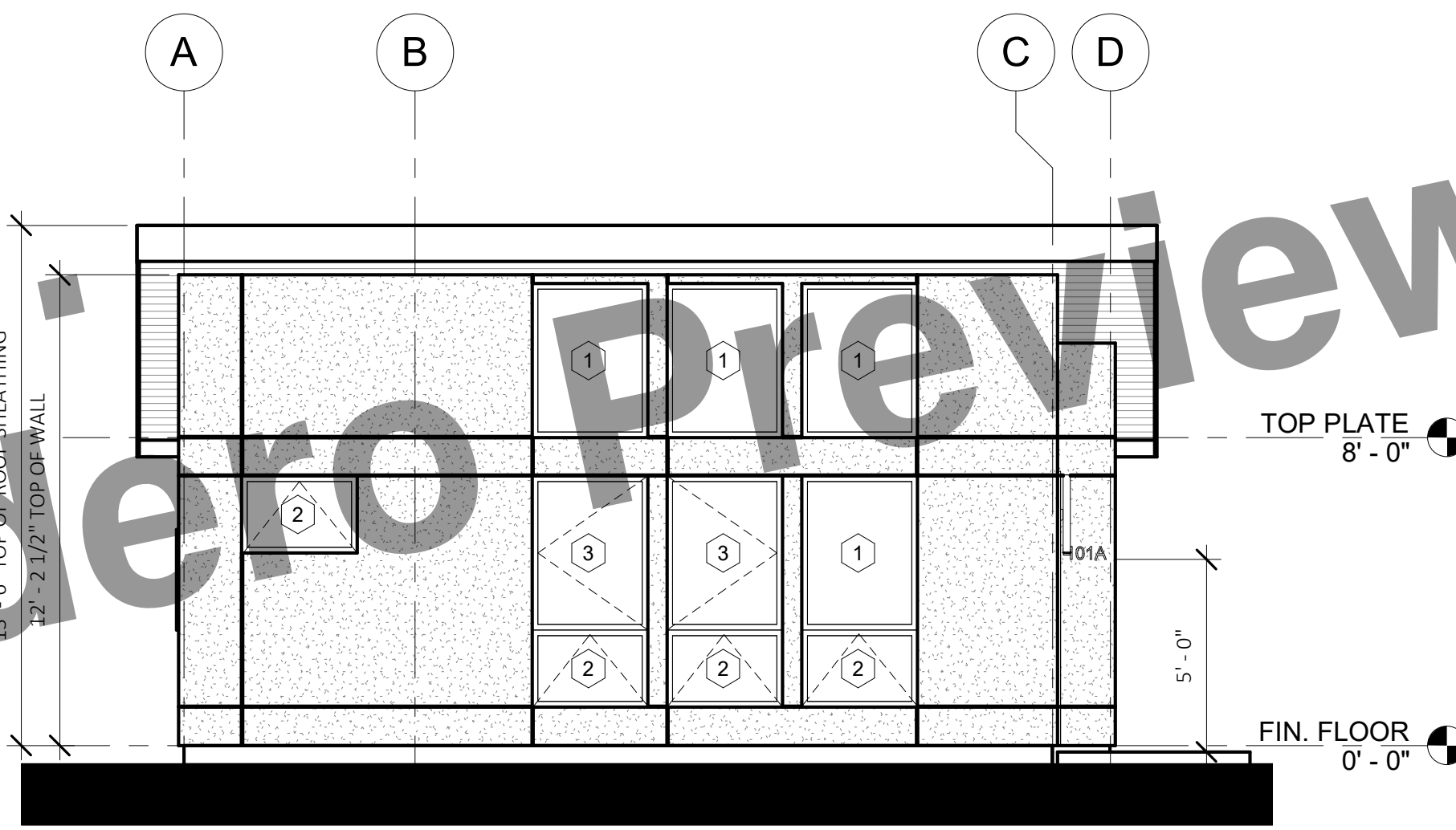
6 RIGHT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



3 REAR ELEVATION - CALIFORNIA MODERN
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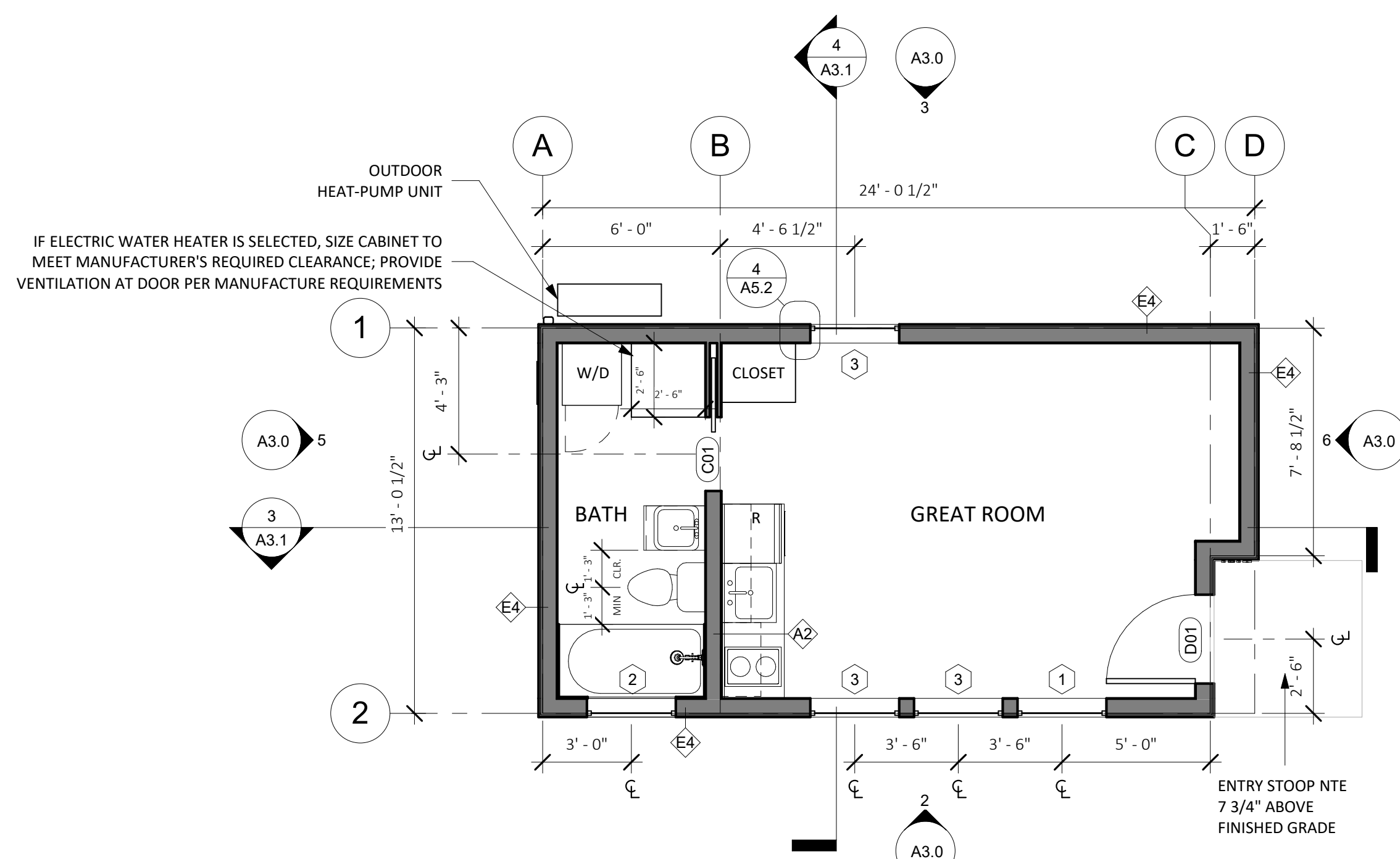
5 LEFT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - CALIFORNIA MODERN
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
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- (N) OUTLET AT 18", U.O.N
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GRAPHIC LEGEND

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3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST
PRE-DESIGNED ADU**
EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

MODERN -
FLOORPLANS &
ELEVATIONS

A3.0

SCALE: AS NOTED



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ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ GFCI RECEPTACLE
- ⊕ 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ MOTION-SENSOR SWITCH
- ⊕ VACANCY SWITCH
- ⊕ FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- ⊕ WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- Ⓢ CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTINGS.
- Ⓢ CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

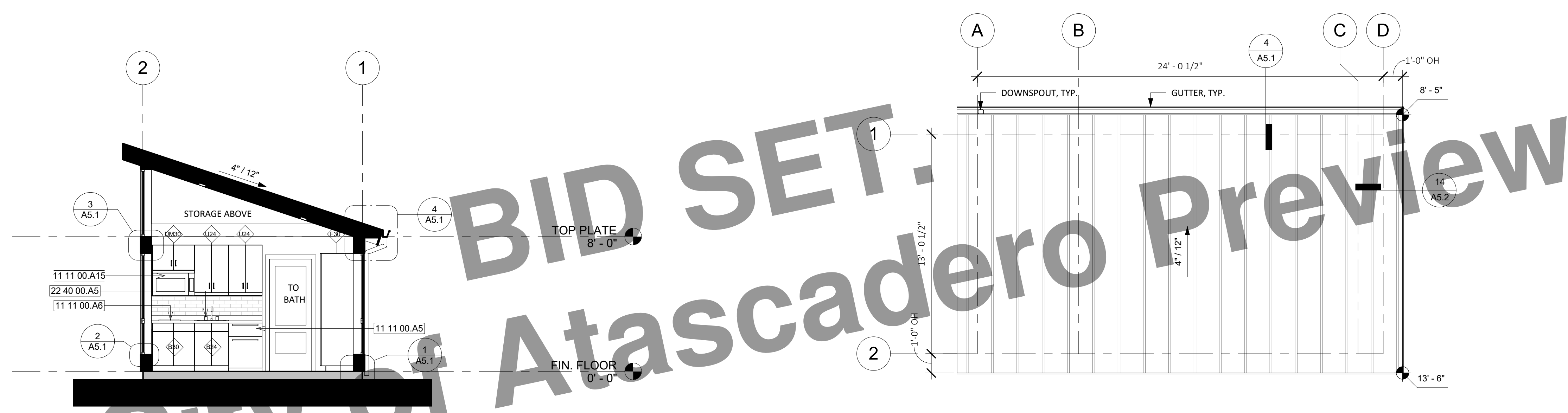
**CENTRAL COAST
PRE-DESIGNED ADU**
 EFFICIENCY STUDIO
 316 GSF

PRINT DATE: XX.XX.XXXX

MODERN - SECTIONS,
ROOF PLAN & RCP

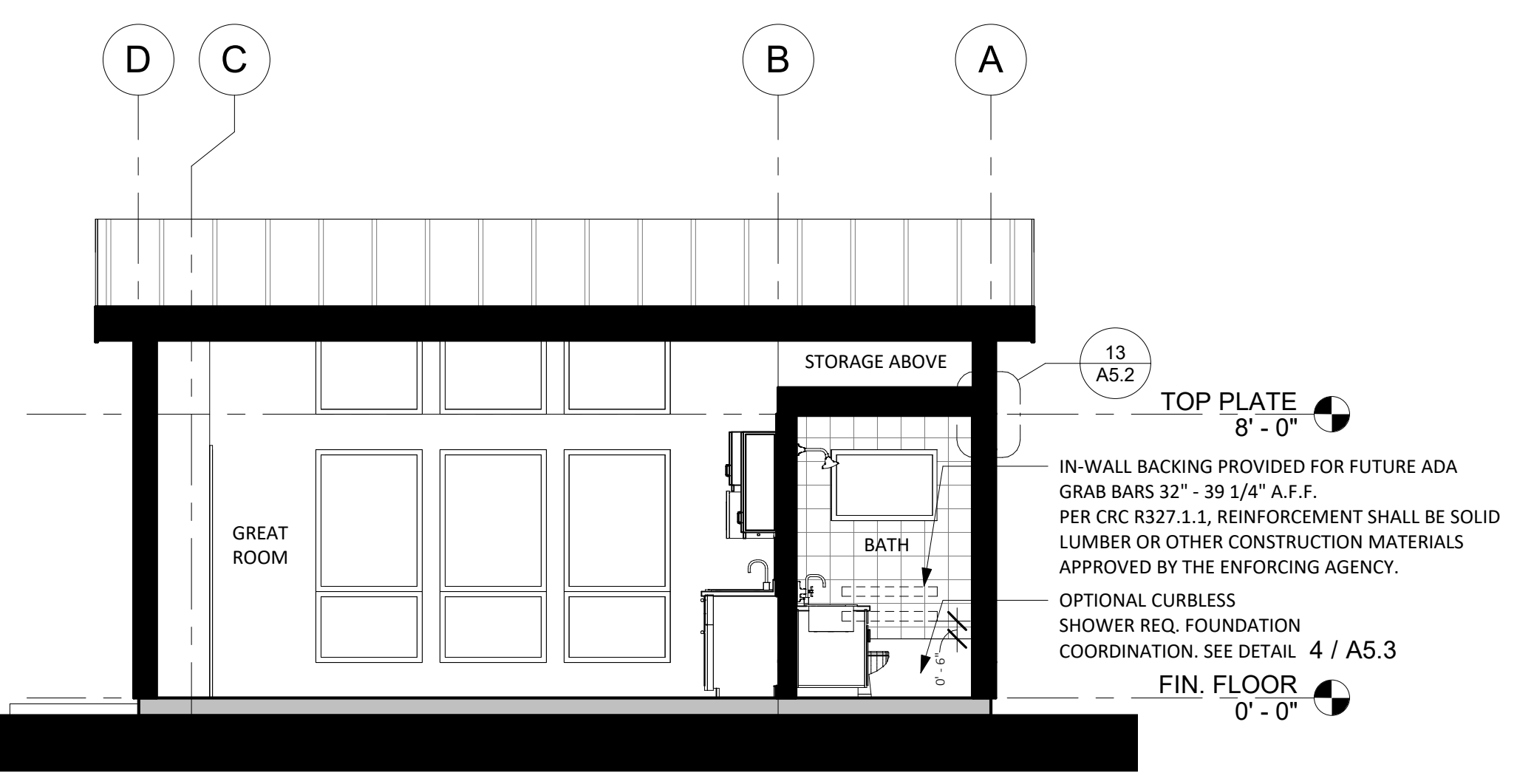
A3.1

SCALE: AS NOTED

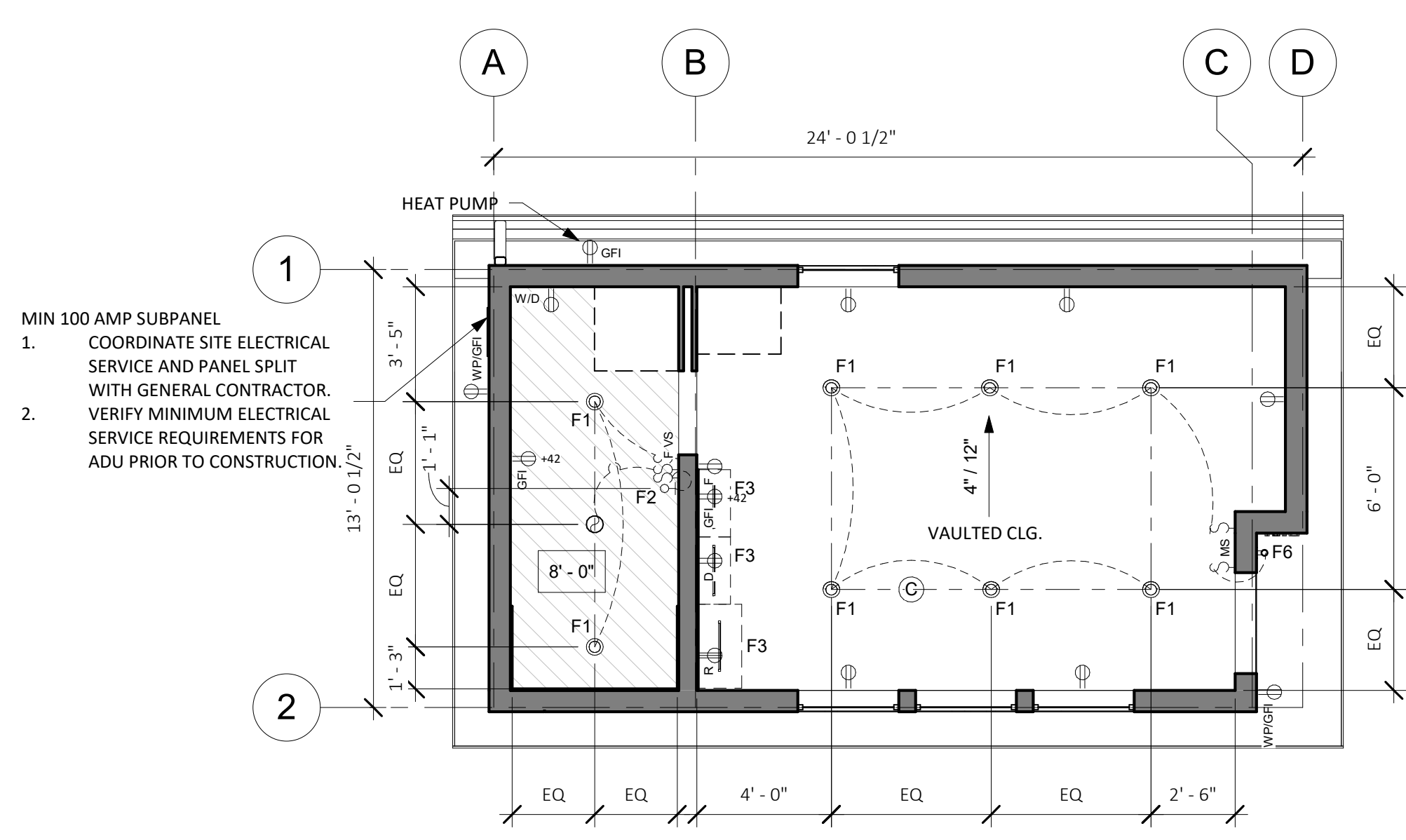


2 ROOF PLAN - CALIFORNIA MODERN
1/4" = 1'-0"

4 SECTION B - CALIFORNIA MODERN
1/4" = 1'-0"



3 SECTION A - CALIFORNIA MODERN
1/4" = 1'-0"

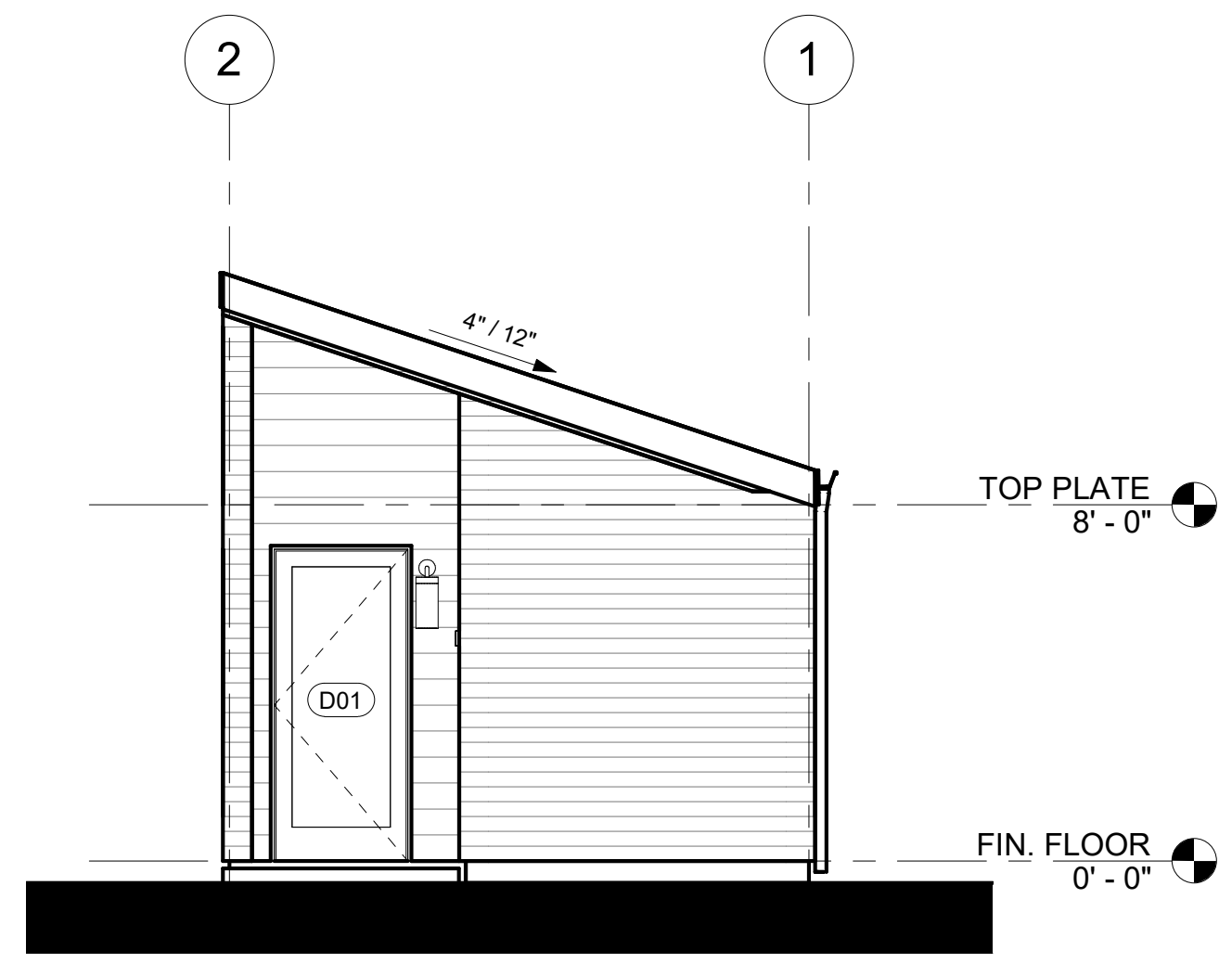


1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

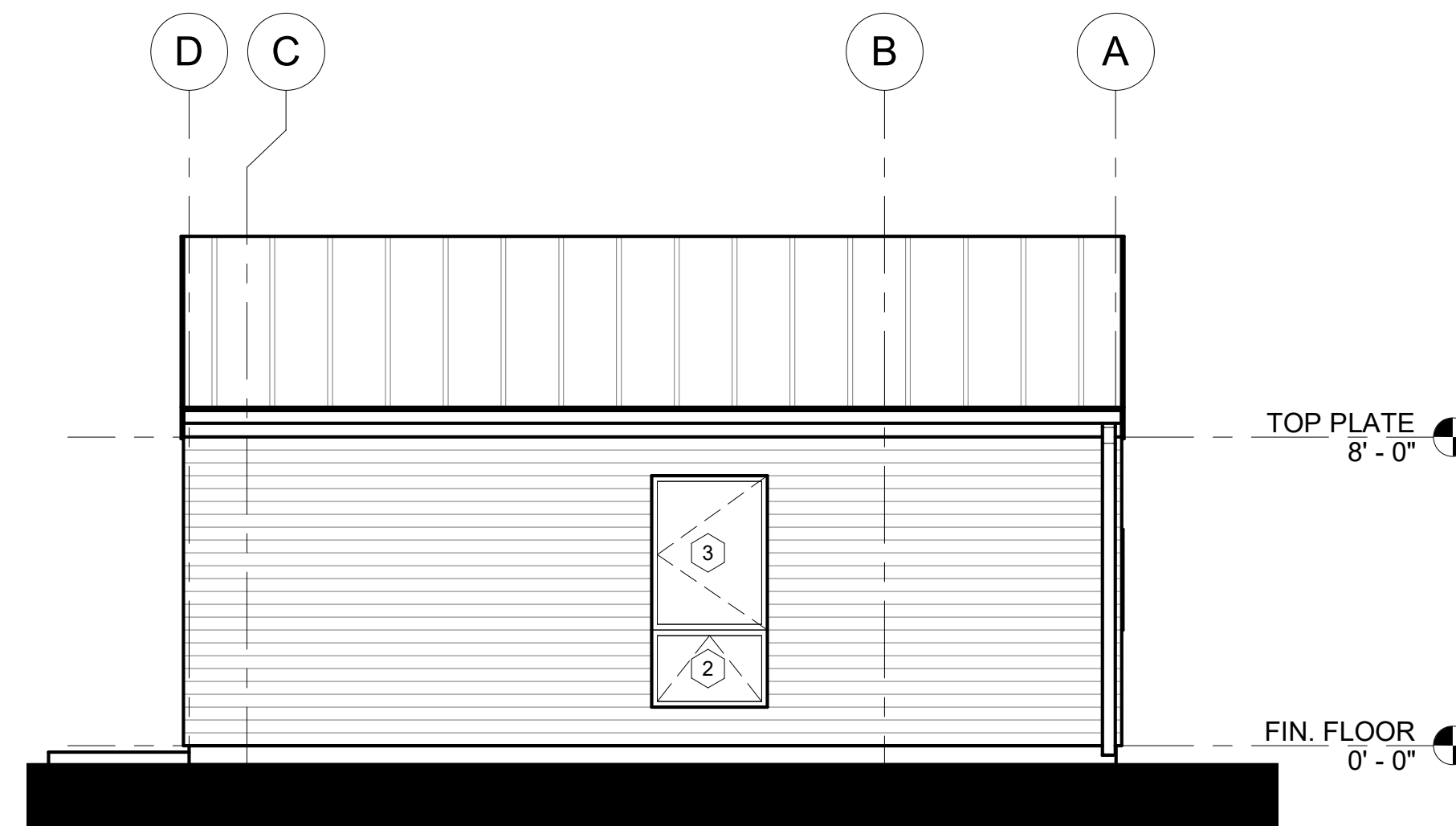
- MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.
 - 2.

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

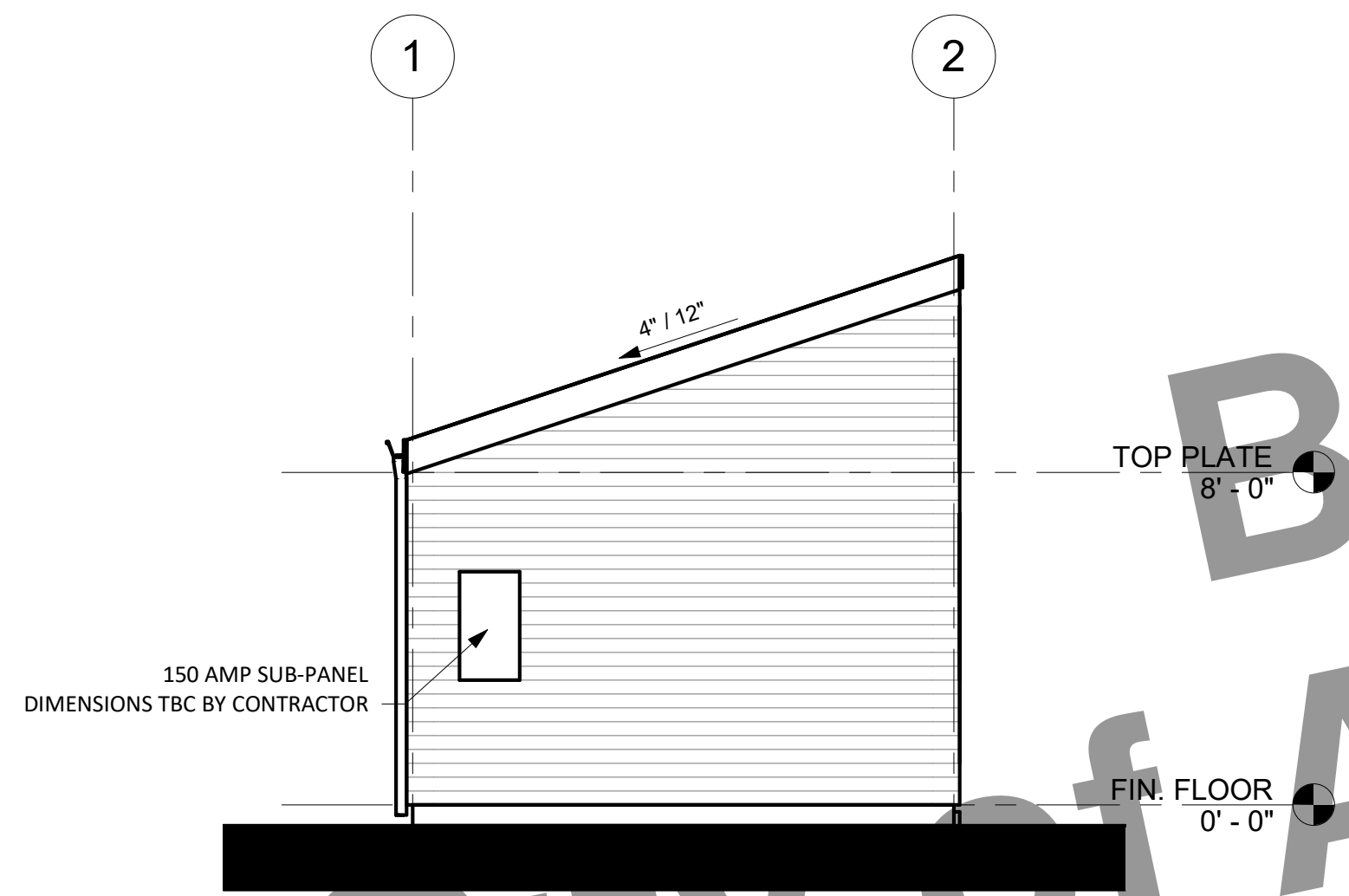
OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3



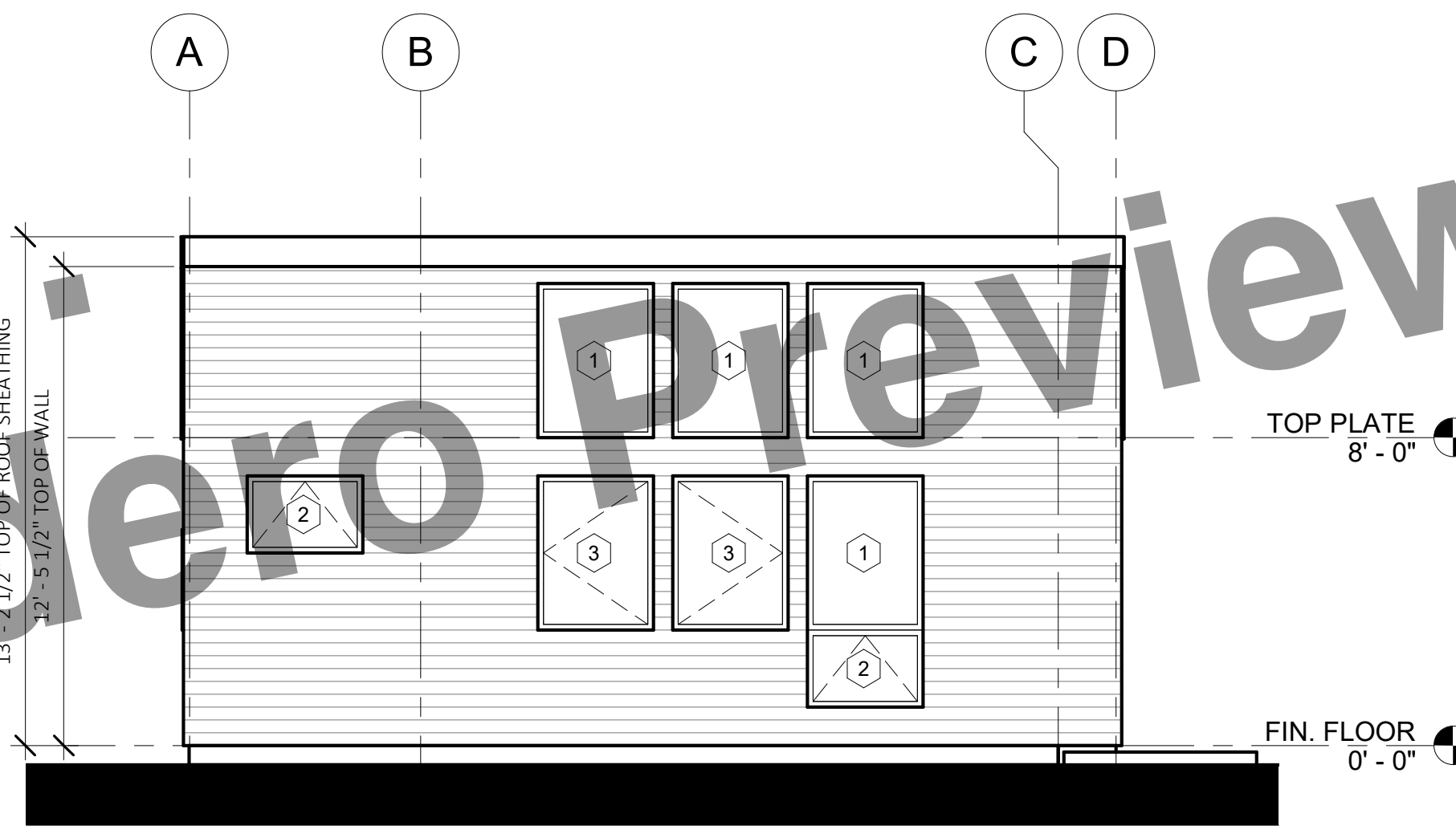
6 RIGHT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



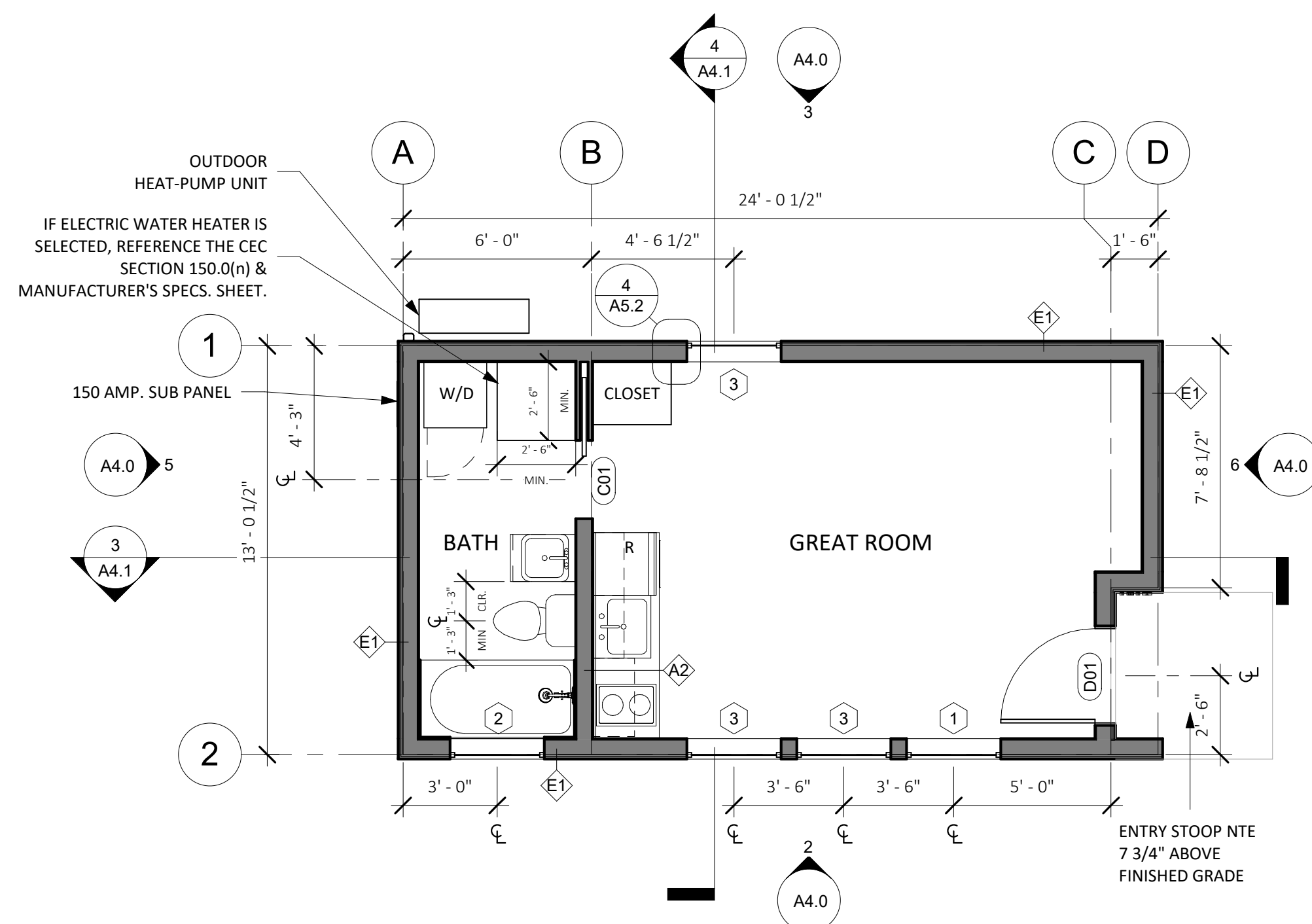
5 LEFT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



4 FRONT VIEW - EFFICIENCY STUDIO - BEACH BUNGALOW
NO SCALE



1 FLOOR PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. See elevations for transom window types and locations.
5. Provide hanger rod and shelf at wardrobe closet.
6. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
7. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
8. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
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3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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CENTRAL COAST
PRE-DESIGNED ADU
EFFICIENCY STUDIO
316 GSF

BUNGALOW - FLOORPLANS & ELEVATIONS

A4.0



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3. WOOD SHINGLES SHALL NOT BE USED.
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5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- ⊙ CEILING-MOUNTED EXHAUST UNIT
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUAD RECEPTACLE
- GFCI ⊕ GFCI RECEPTACLE
- ⊕ 220 VOLT RECEPTACLE OUTLET
- ⊕ DEDICATED OUTLET
- ⊙ RECESSED LED DOWN LIGHT
- ⊕ WALL MOUNT LIGHT
- LED STRIP LIGHT
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ MS MOTION-SENSOR SWITCH
- ⊕ VS VACANCY SWITCH
- ⊕ FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- ⊕ WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
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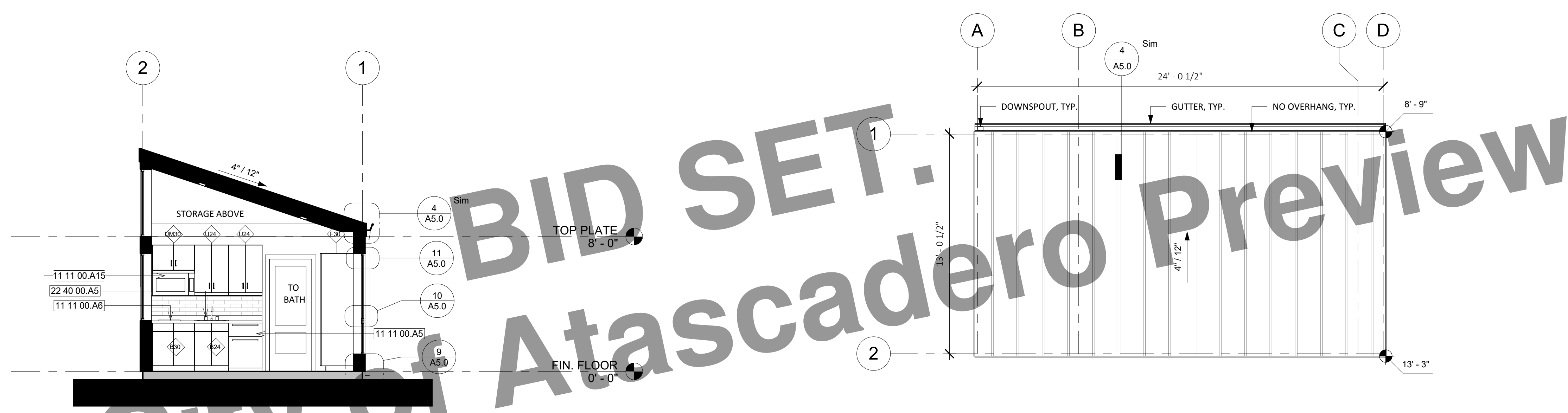
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2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
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7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

**CENTRAL COAST
PRE-DESIGNED ADU**
EFFICIENCY STUDIO
316 GSF

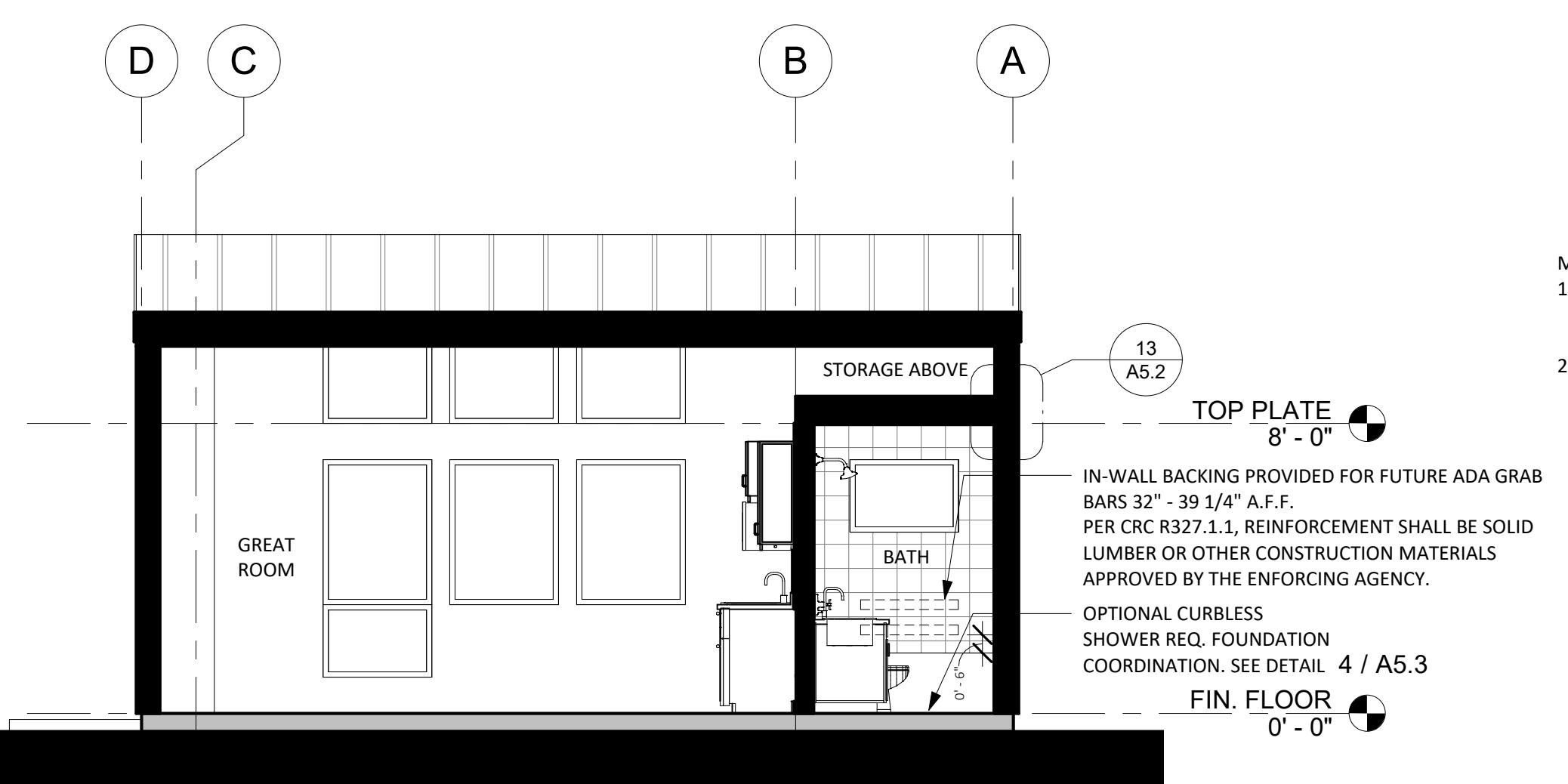
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**BUNGALOW -
SECTIONS, ROOF
PLAN & RCP**
A4.1
SCALE: AS NOTED



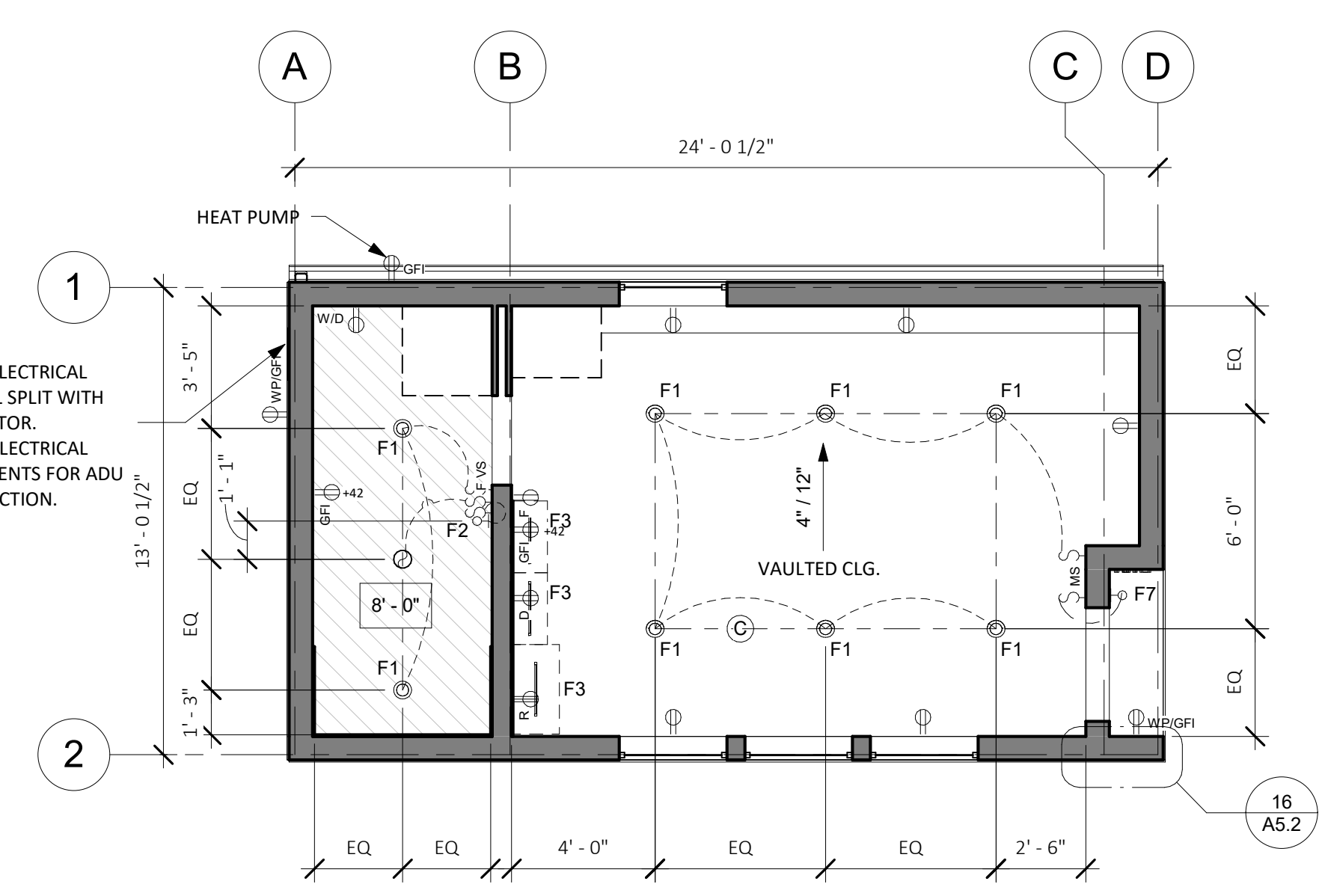
2 ROOF PLAN - BEACH BUNGALOW
1/4" = 1'-0"

4 SECTION B - BEACH BUNGALOW
1/4" = 1'-0"



3 SECTION A - BEACH BUNGALOW
1/4" = 1'-0"

1. MIN 100 AMP SUBPANEL. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.



1 RCP & ELECTRICAL PLAN - EFFICIENCY STUDIO
1/4" = 1'-0"



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CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO
316 GSF

EXTERIOR WALL ASSEMBLY DETAILS

A5.0

SCALE: AS NOTED

DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5].
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VENTS. CBC 706A / CRC R337.6
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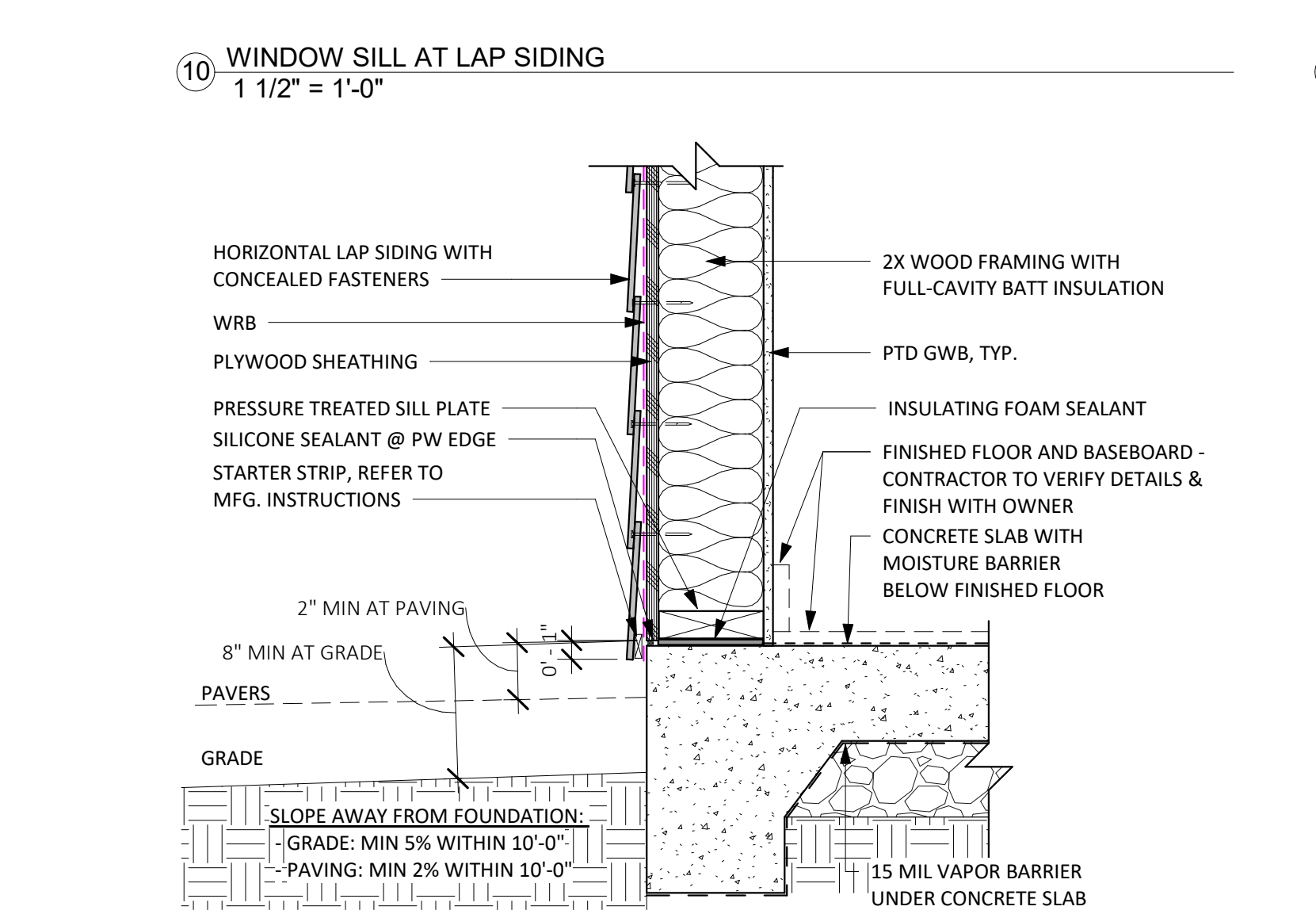
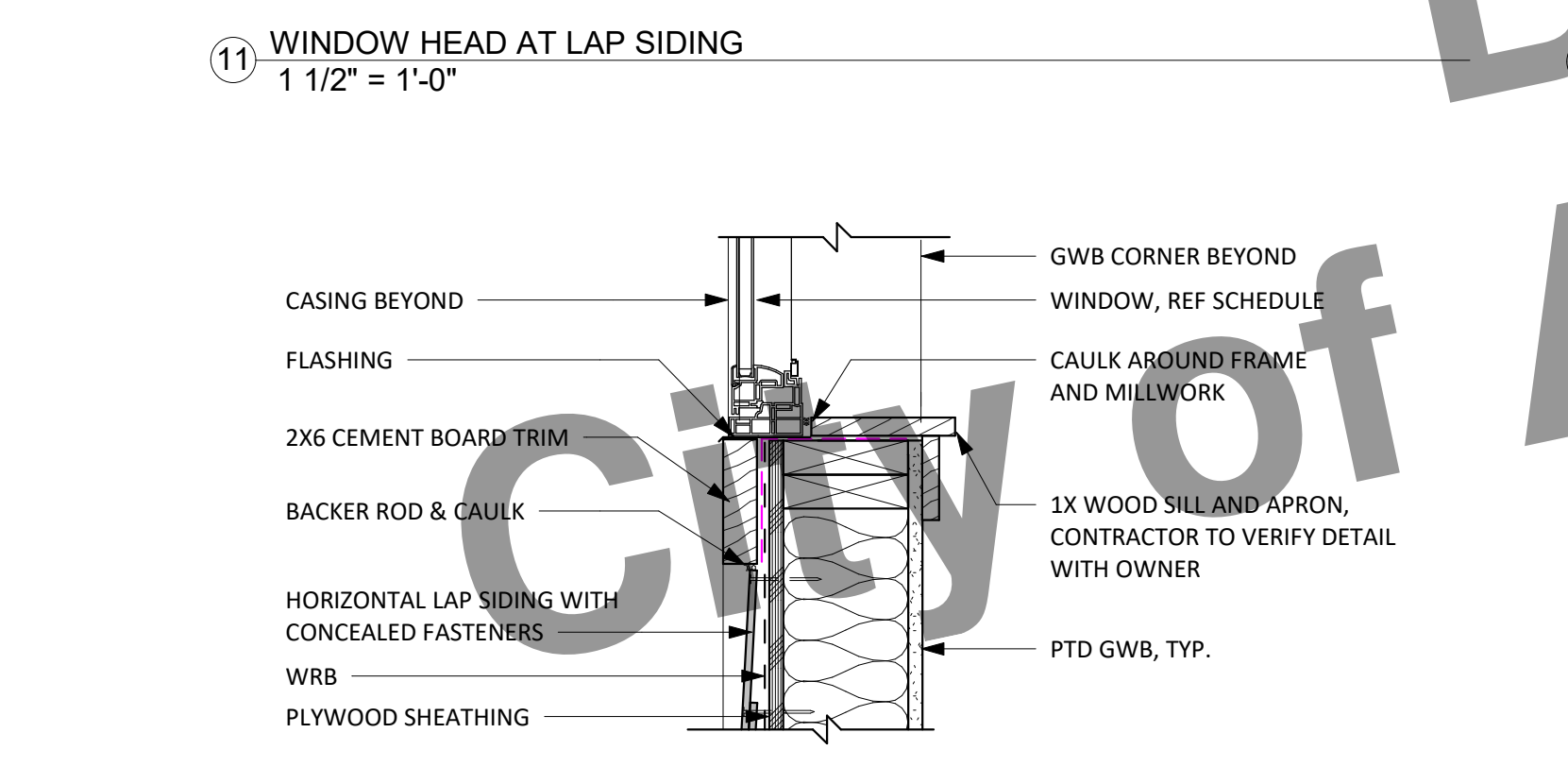
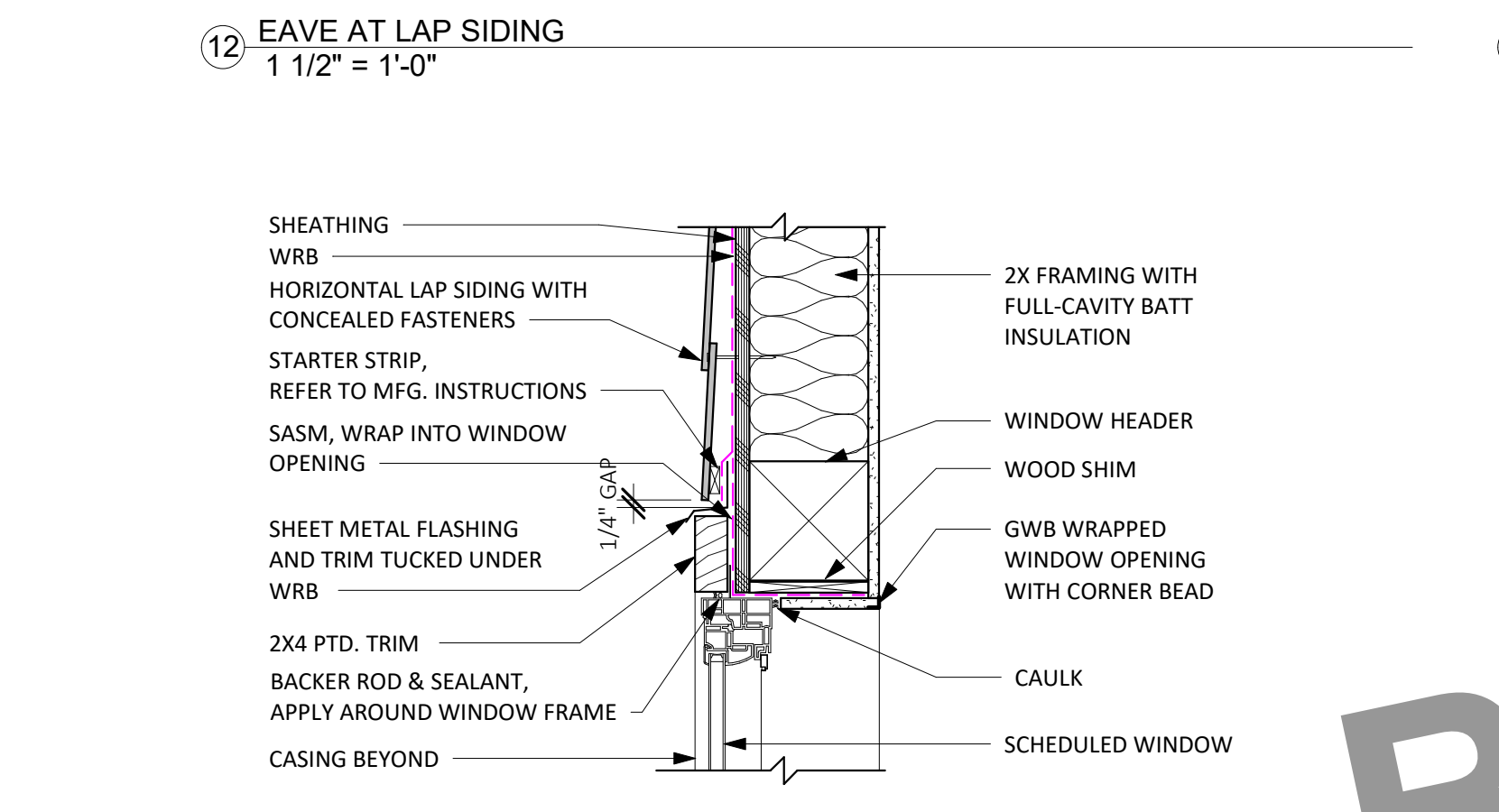
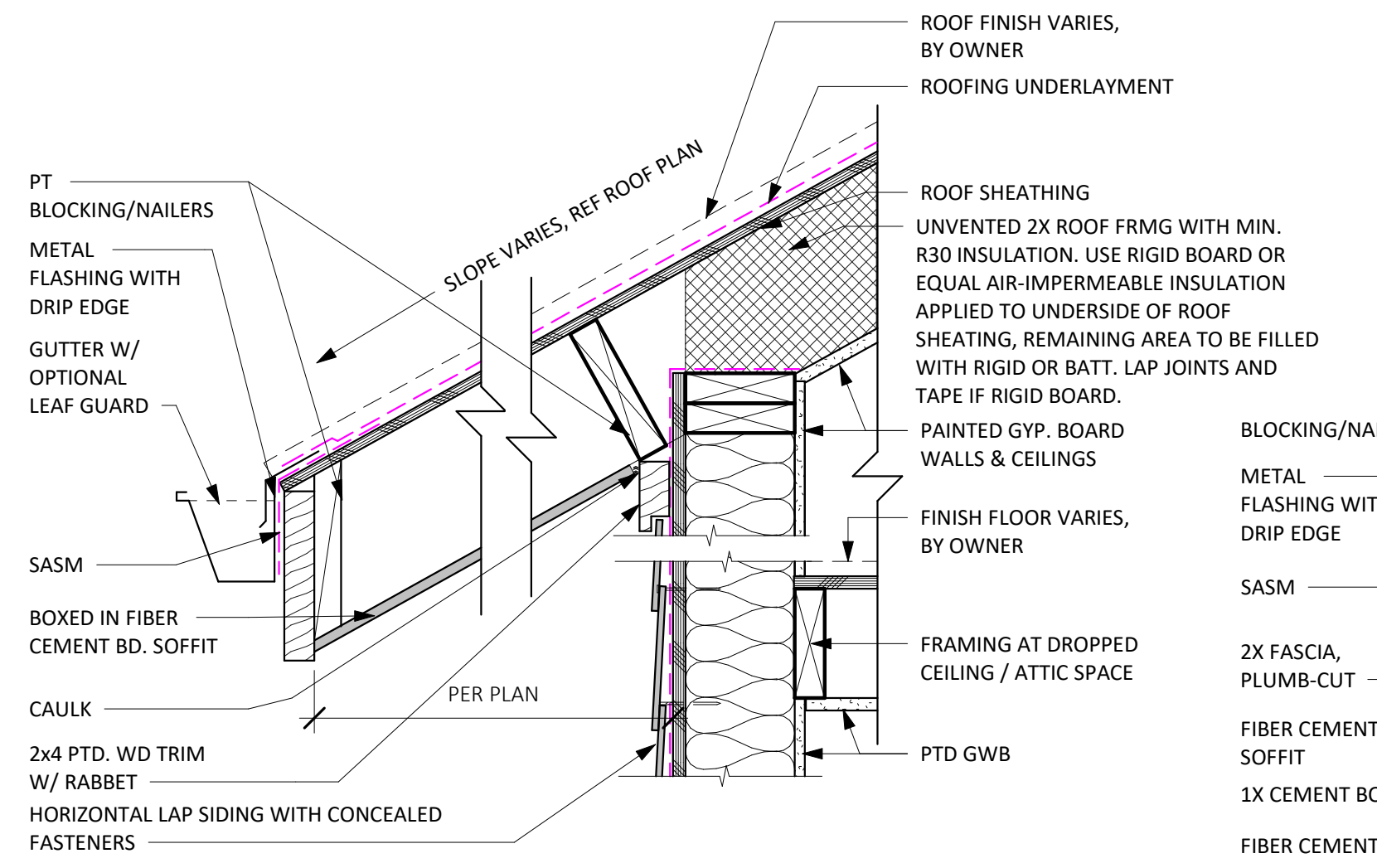
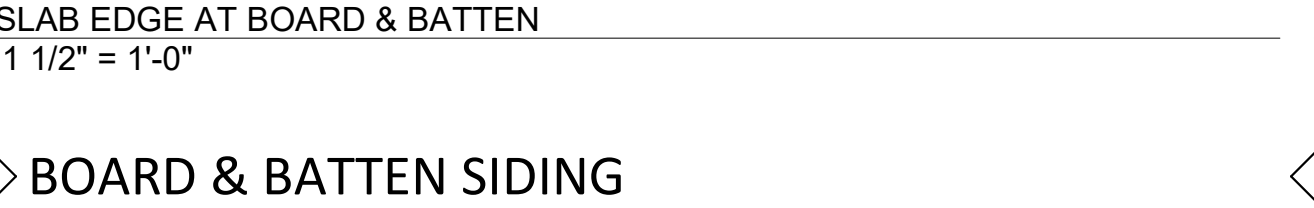
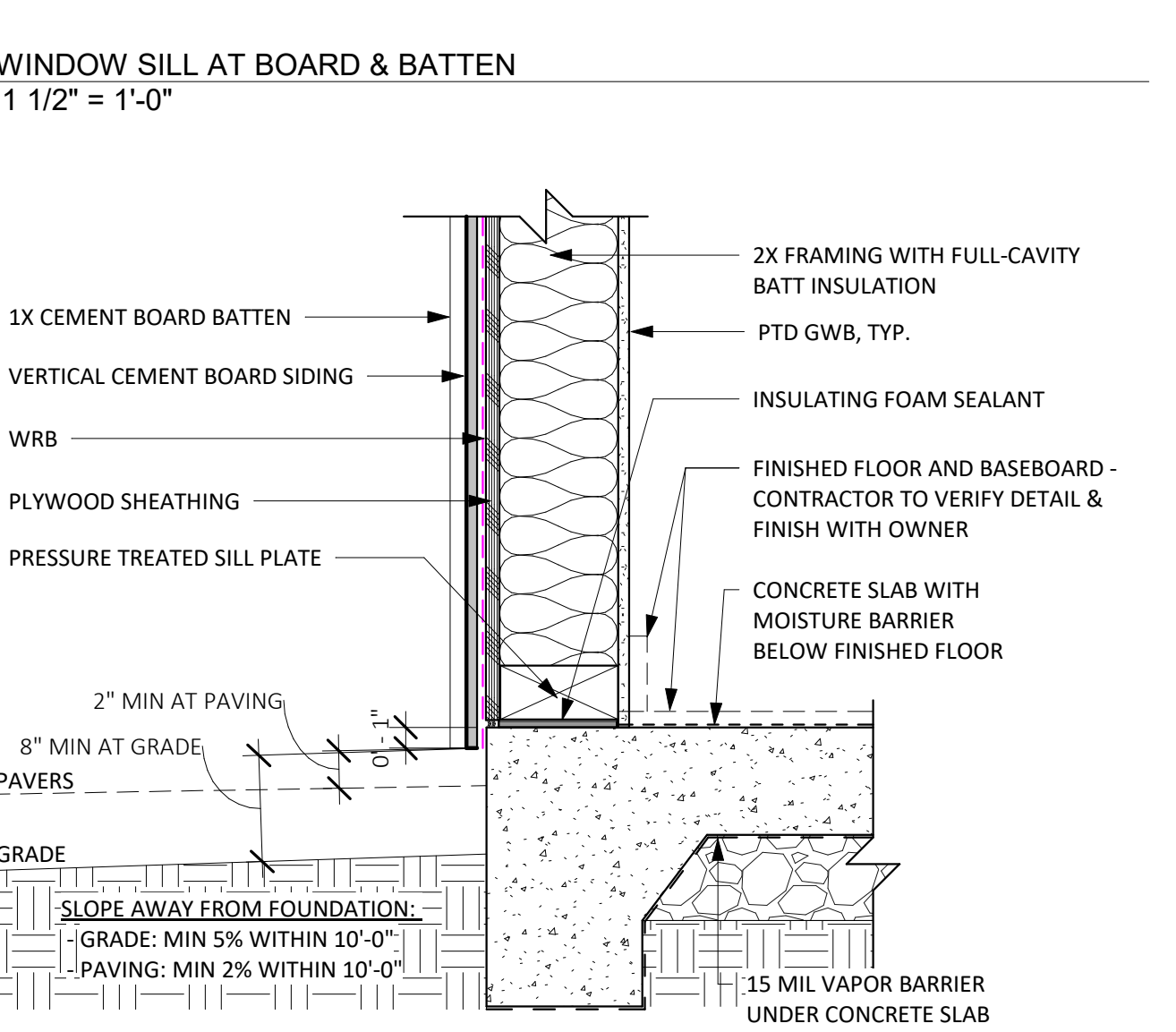
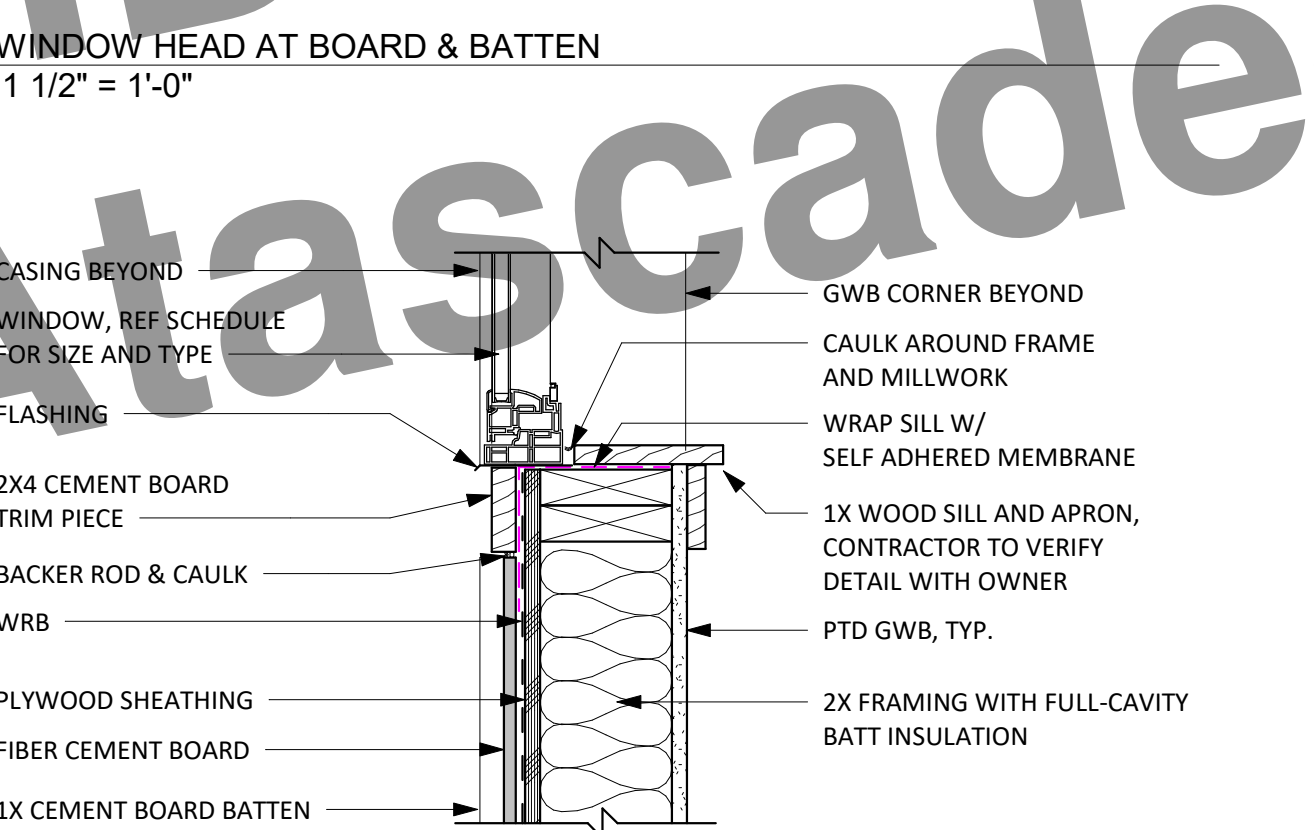
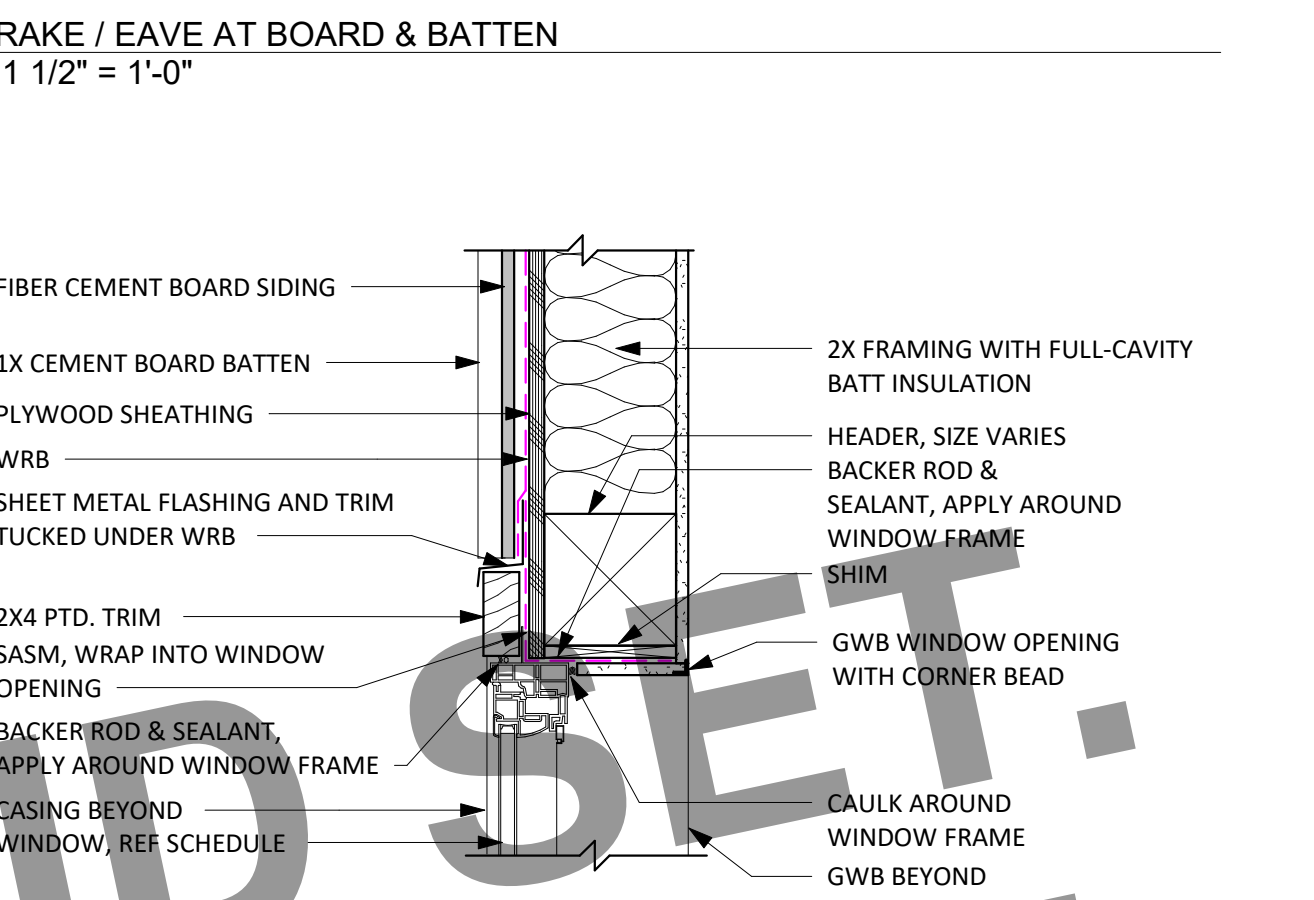
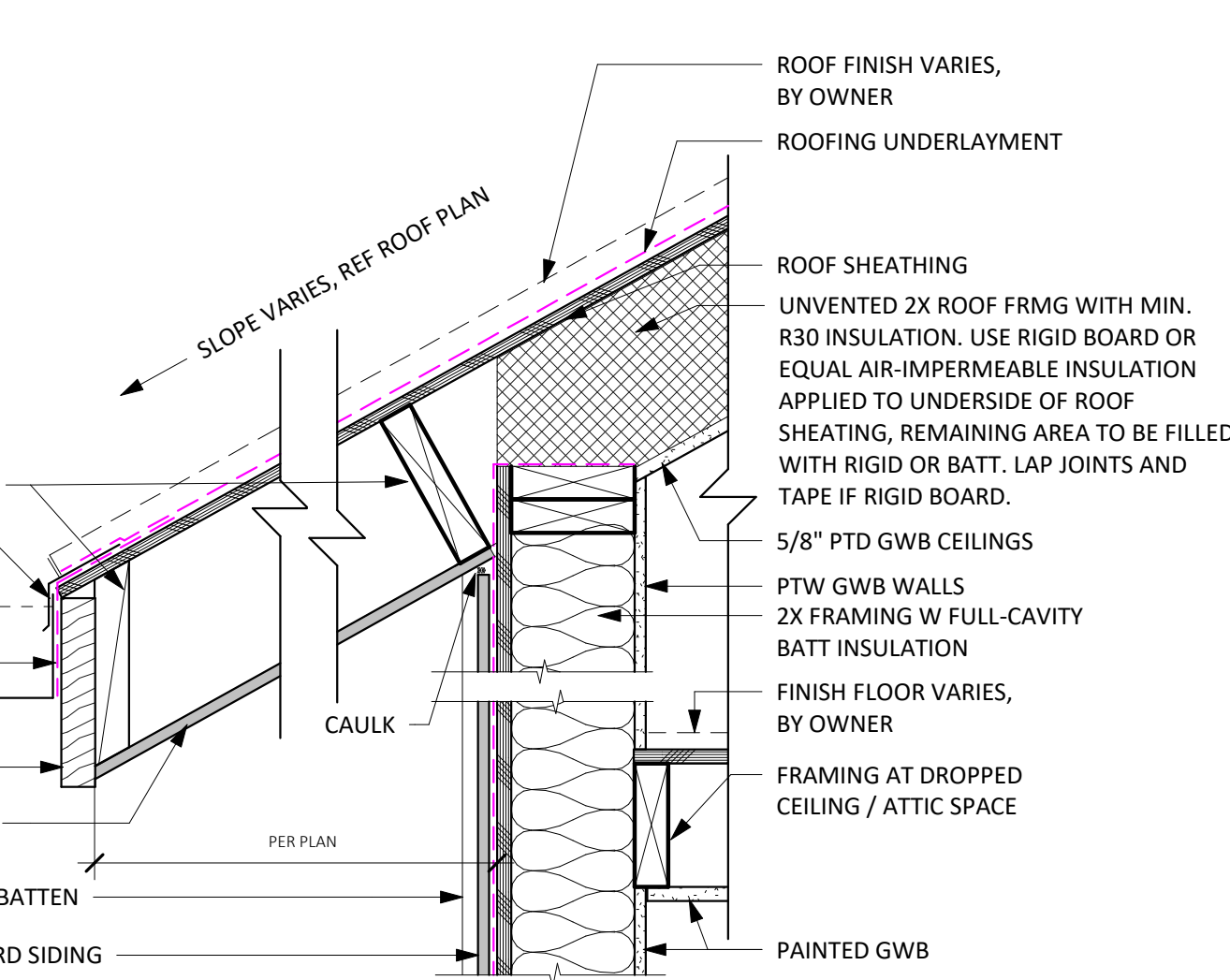
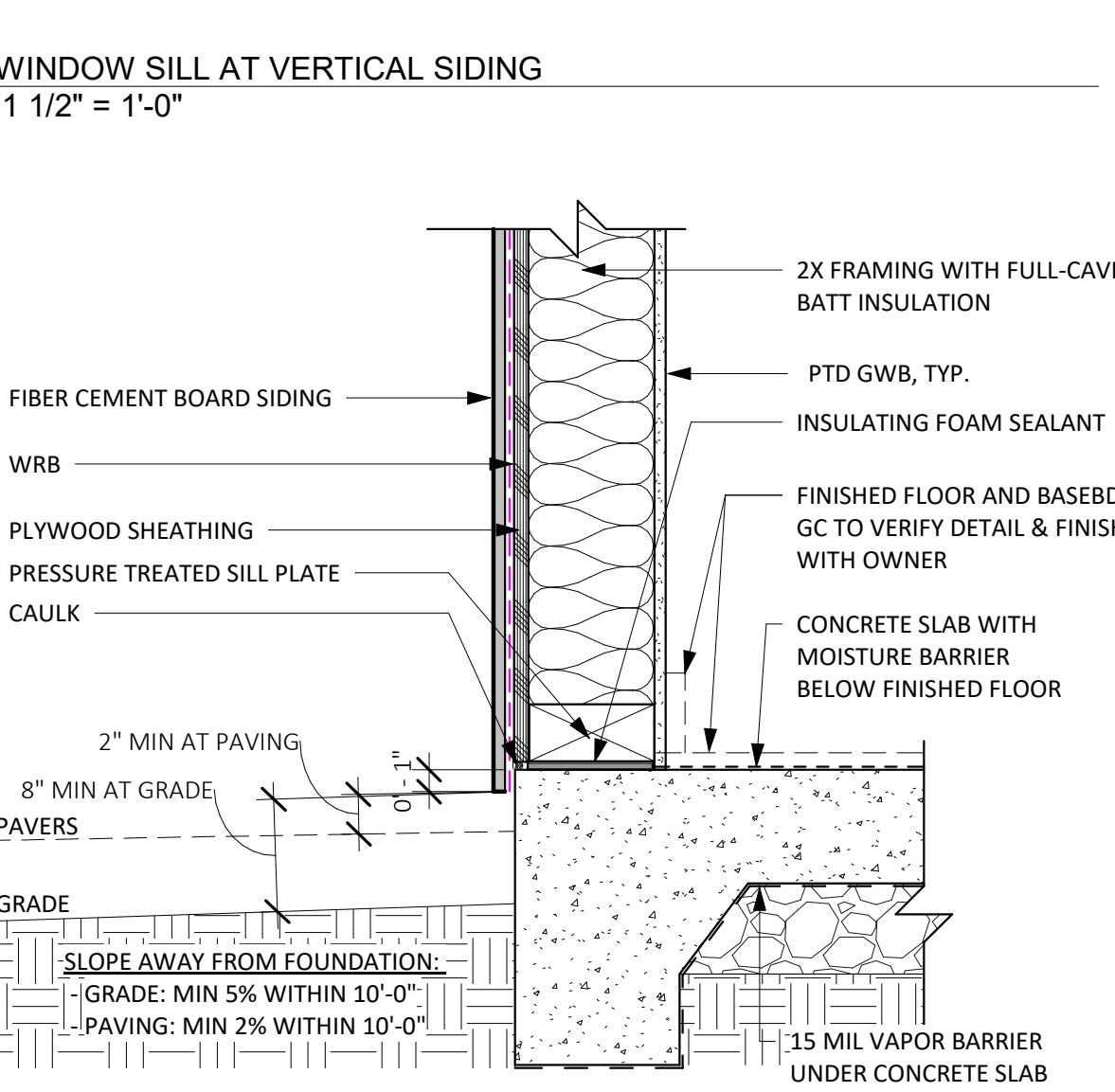
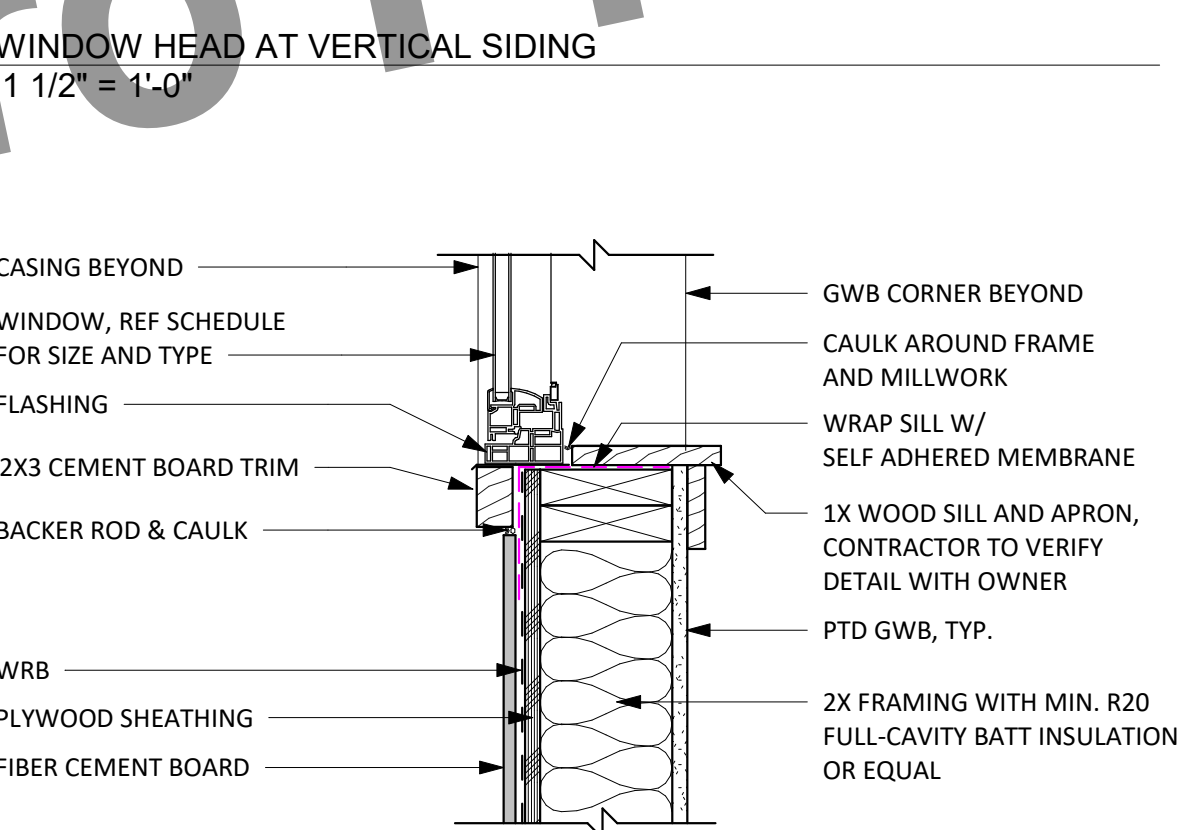
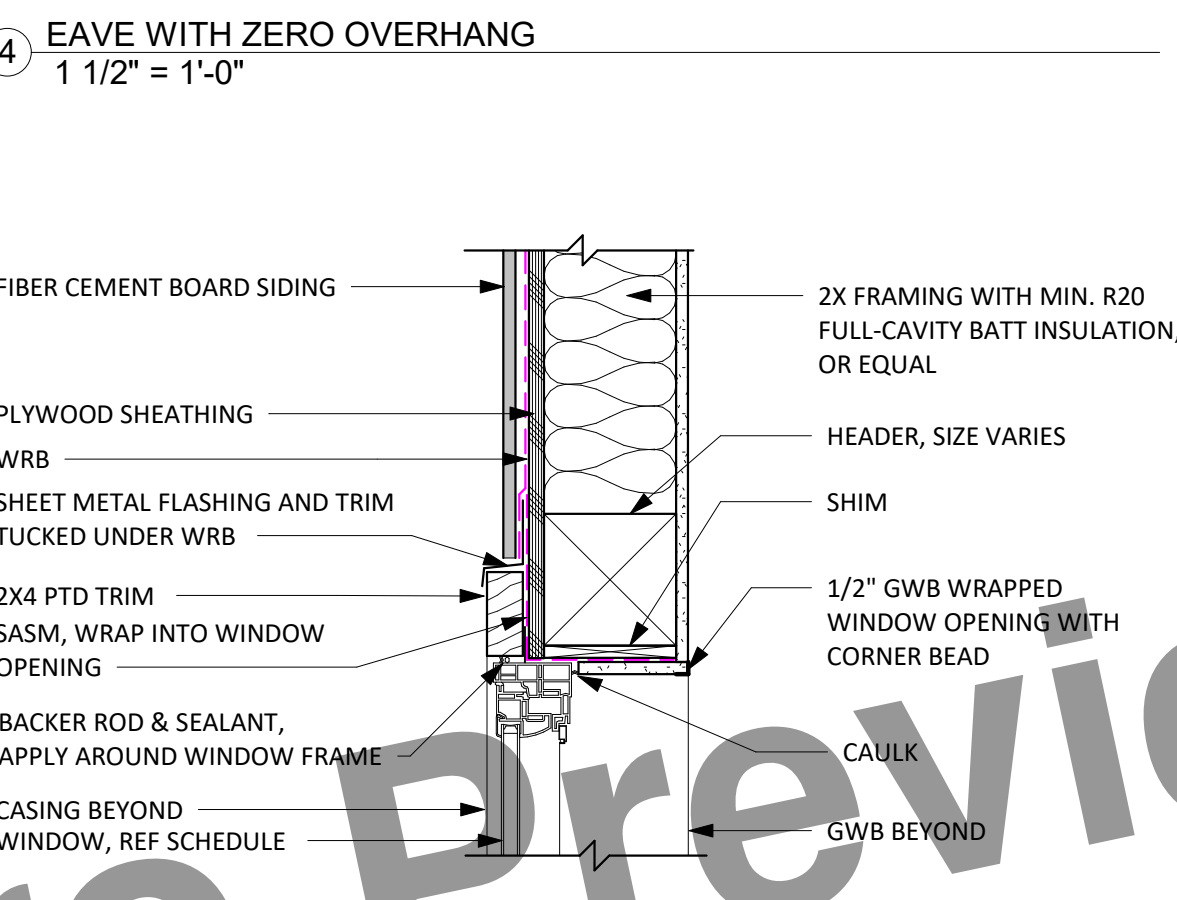
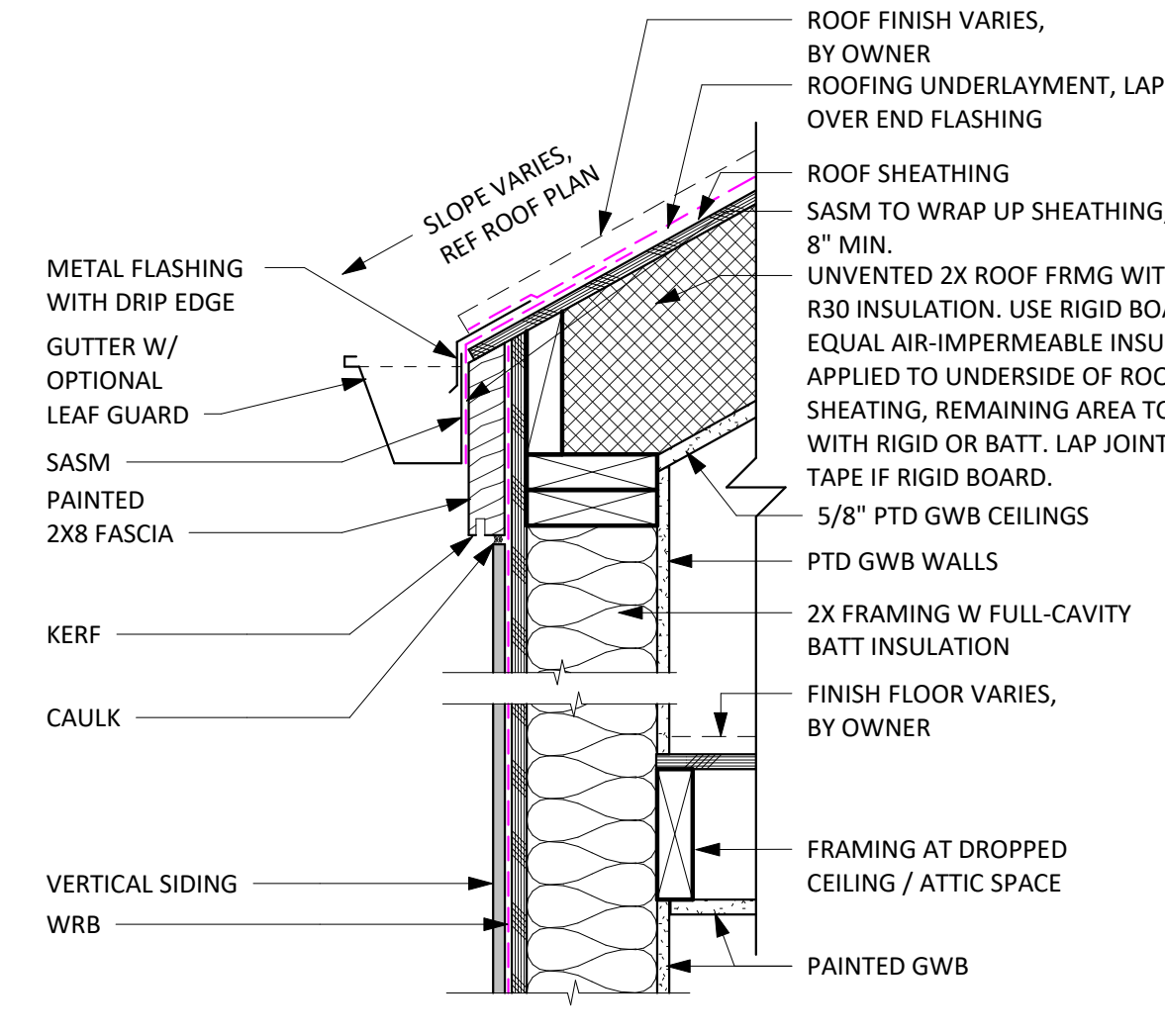
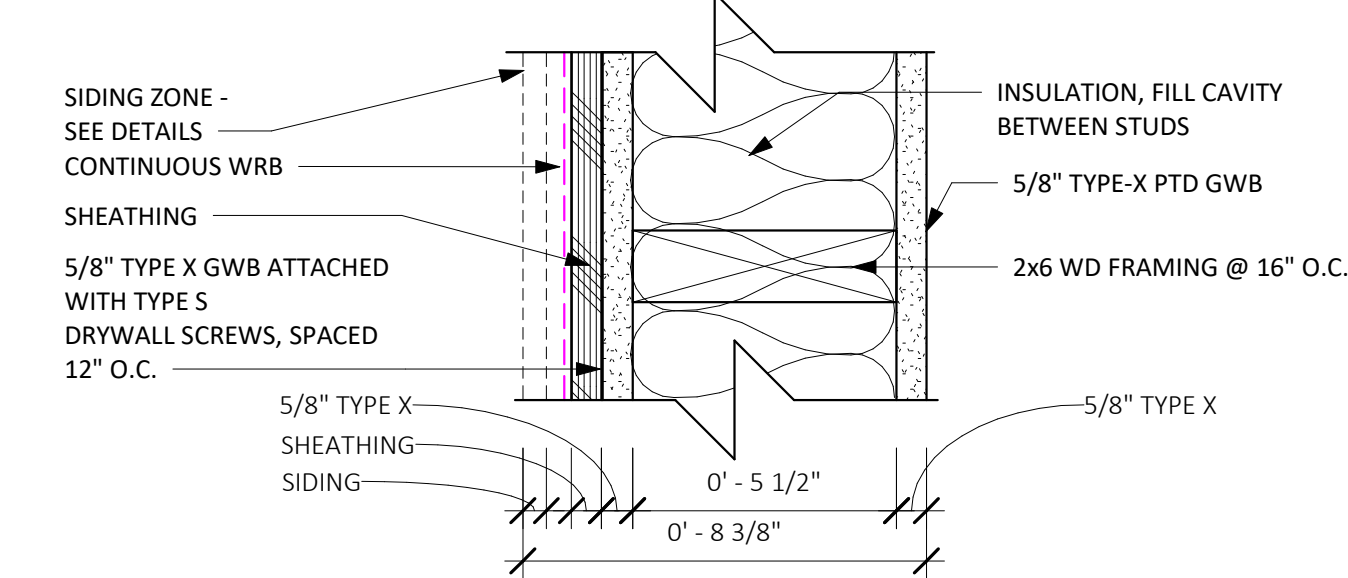
PERFORMANCE NOTES

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**WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12***



City of Atascadero Preview



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

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TEMPLETON, CA 93465
BROCKETTARCHITECTURE.COM

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2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST PRE-DESIGNED ADU

EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

SCALE: AS NOTED

DETAIL GENERAL NOTES

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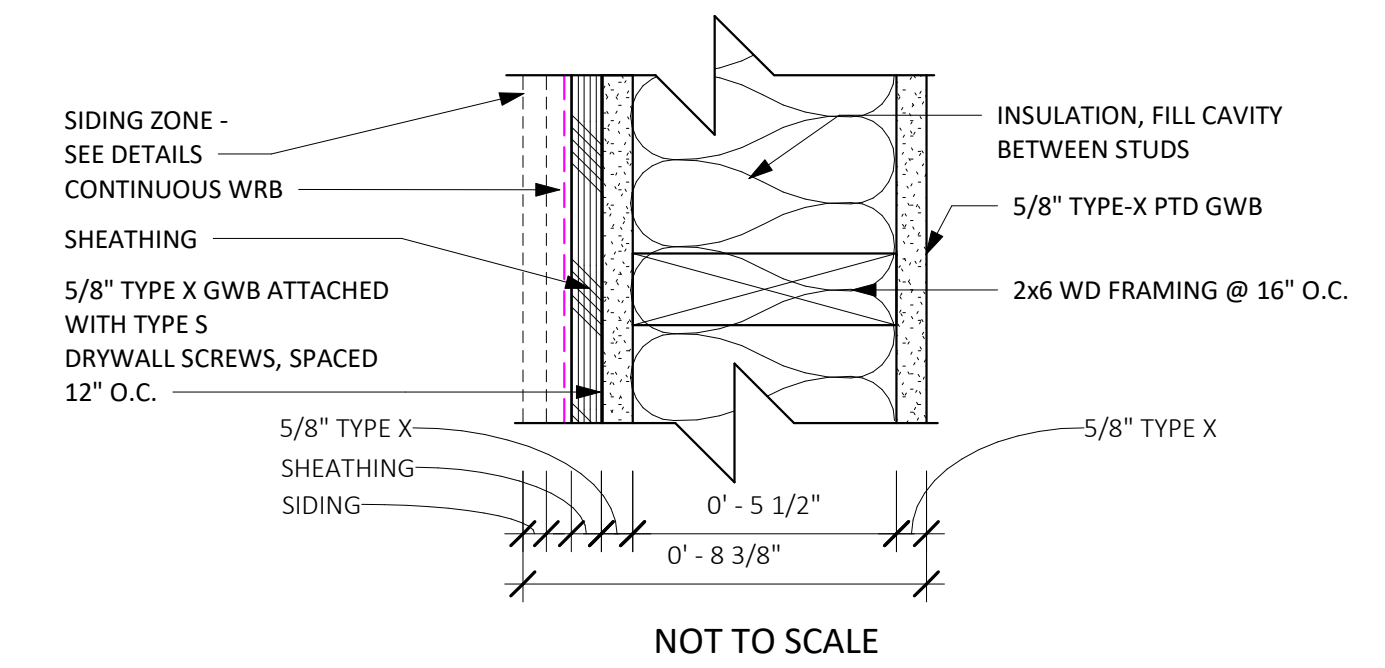
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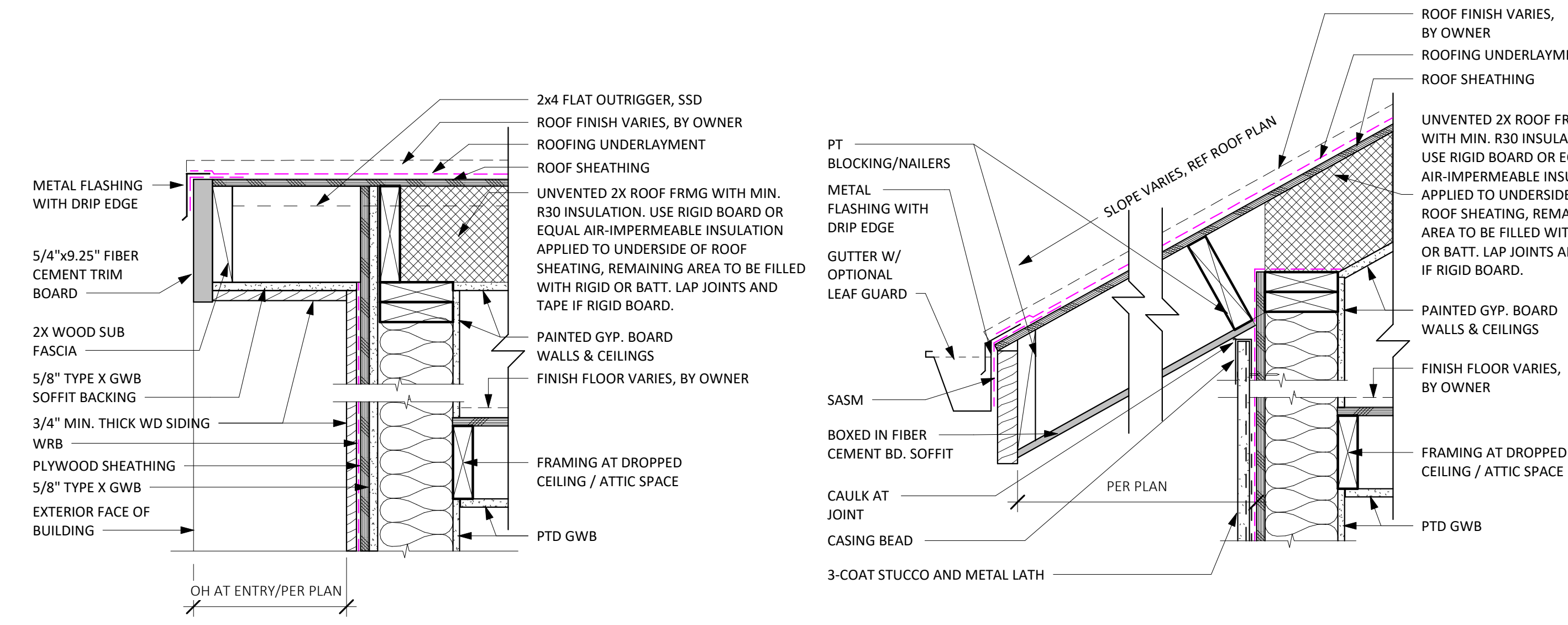
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WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12"

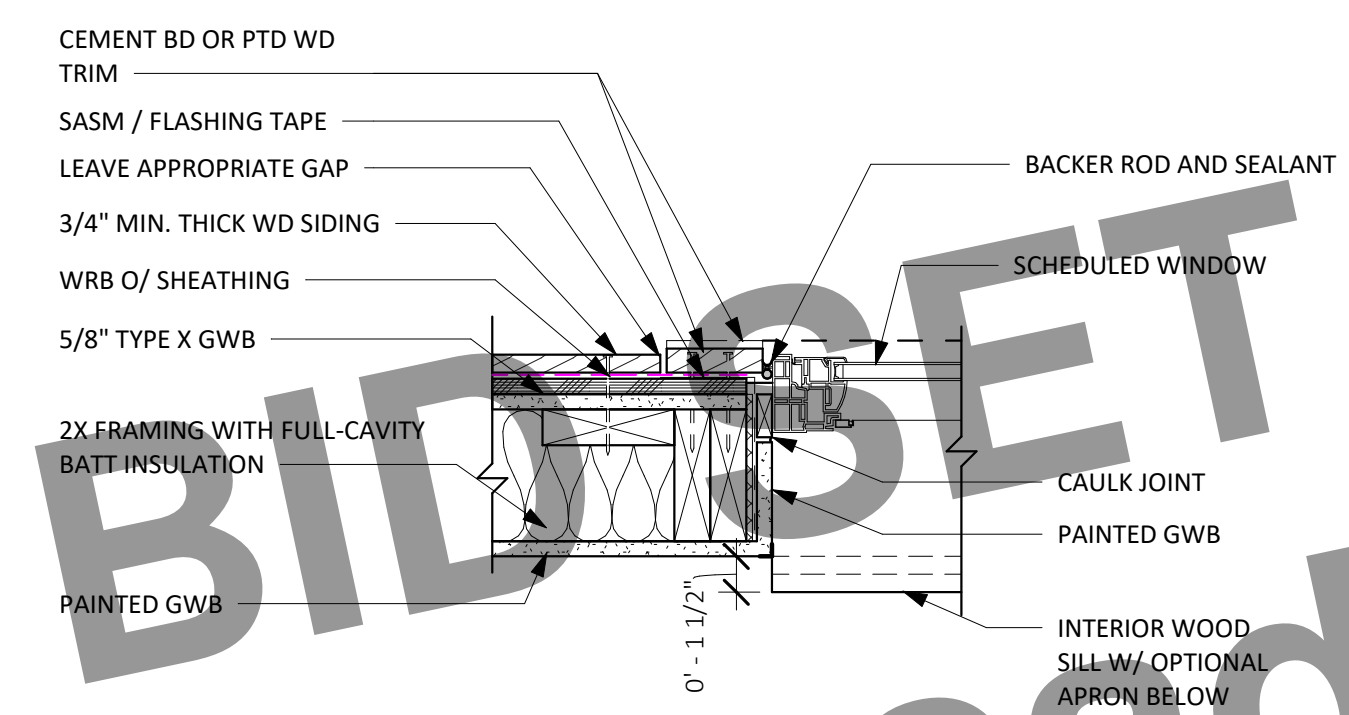


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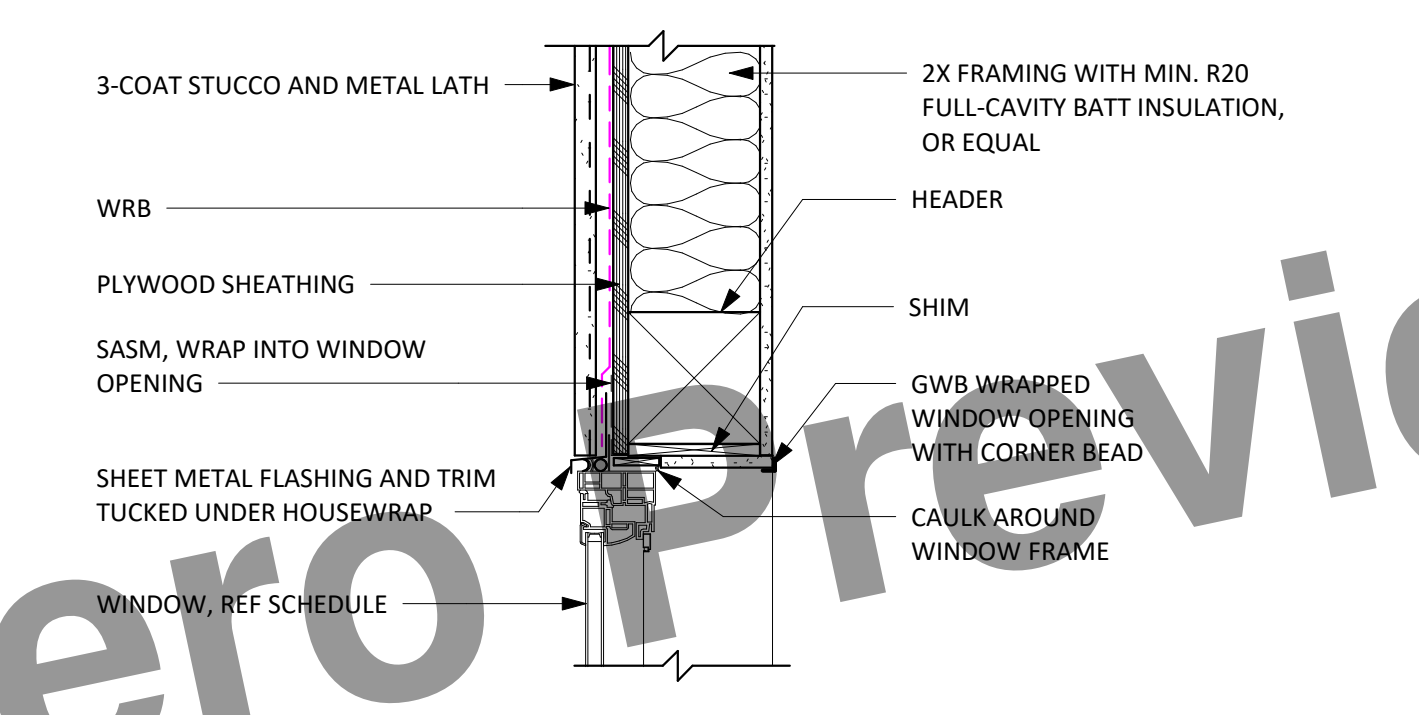


8 EAVE WITH WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"

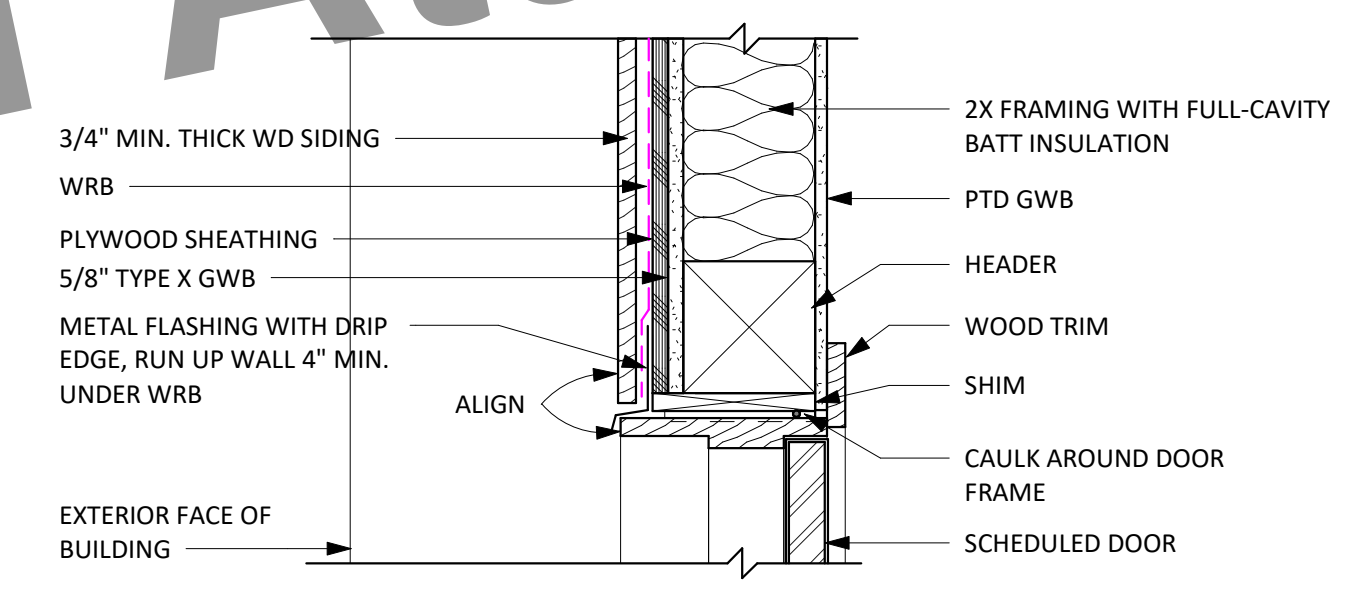
4 EAVE AT STUCCO SIDING
1 1/2" = 1'-0"



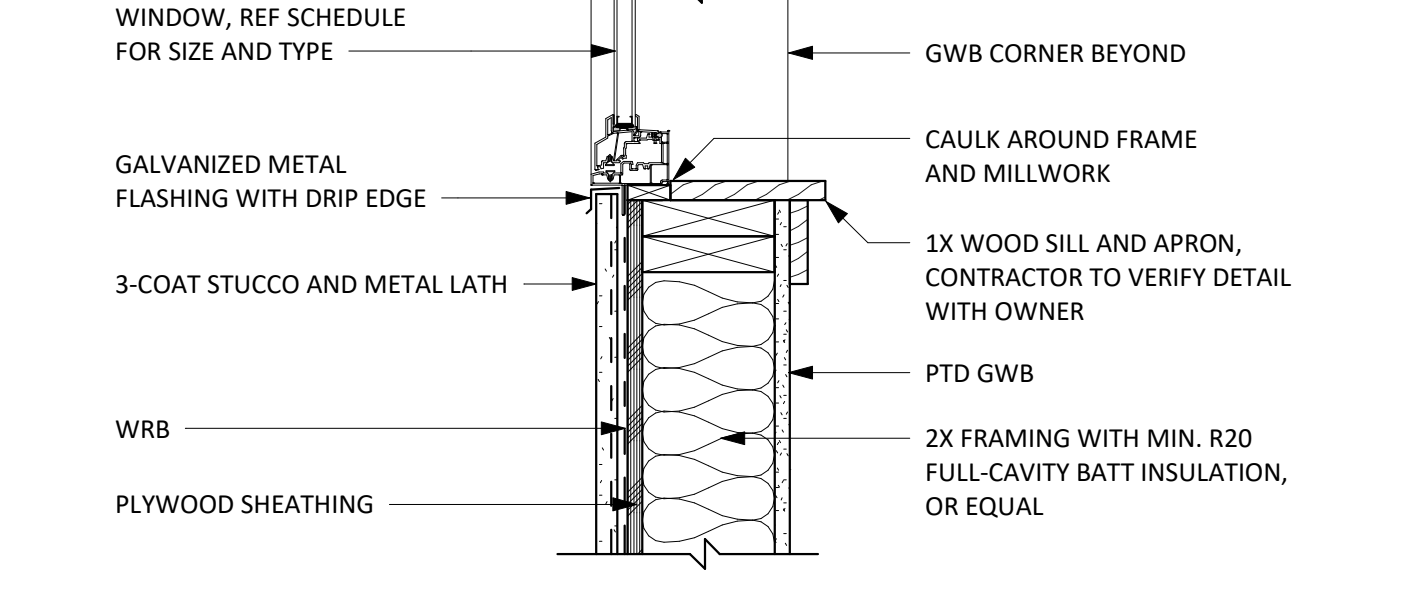
7 WINDOW JAMB AT WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



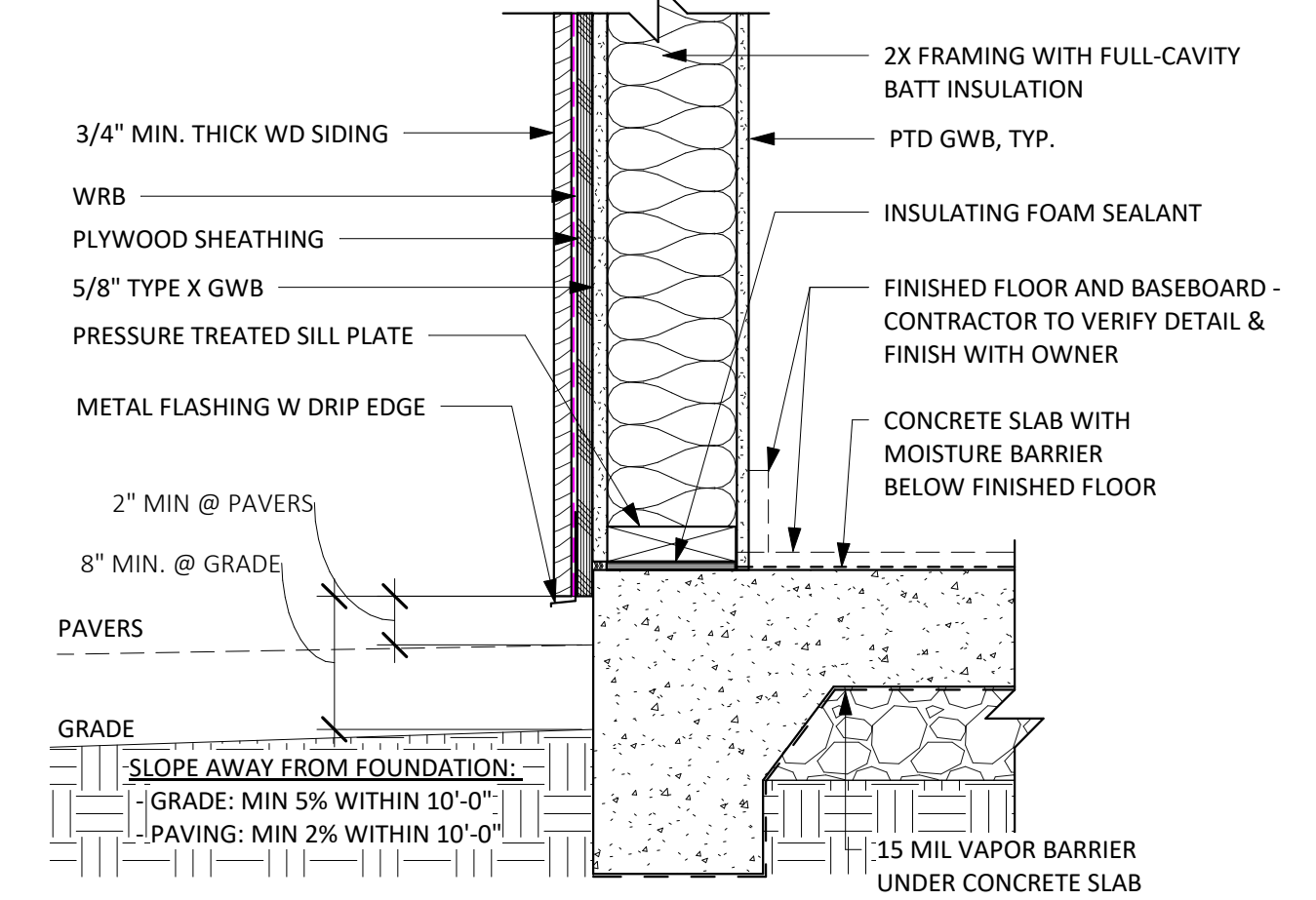
3 WINDOW HEAD AT STUCCO SIDING
1 1/2" = 1'-0"



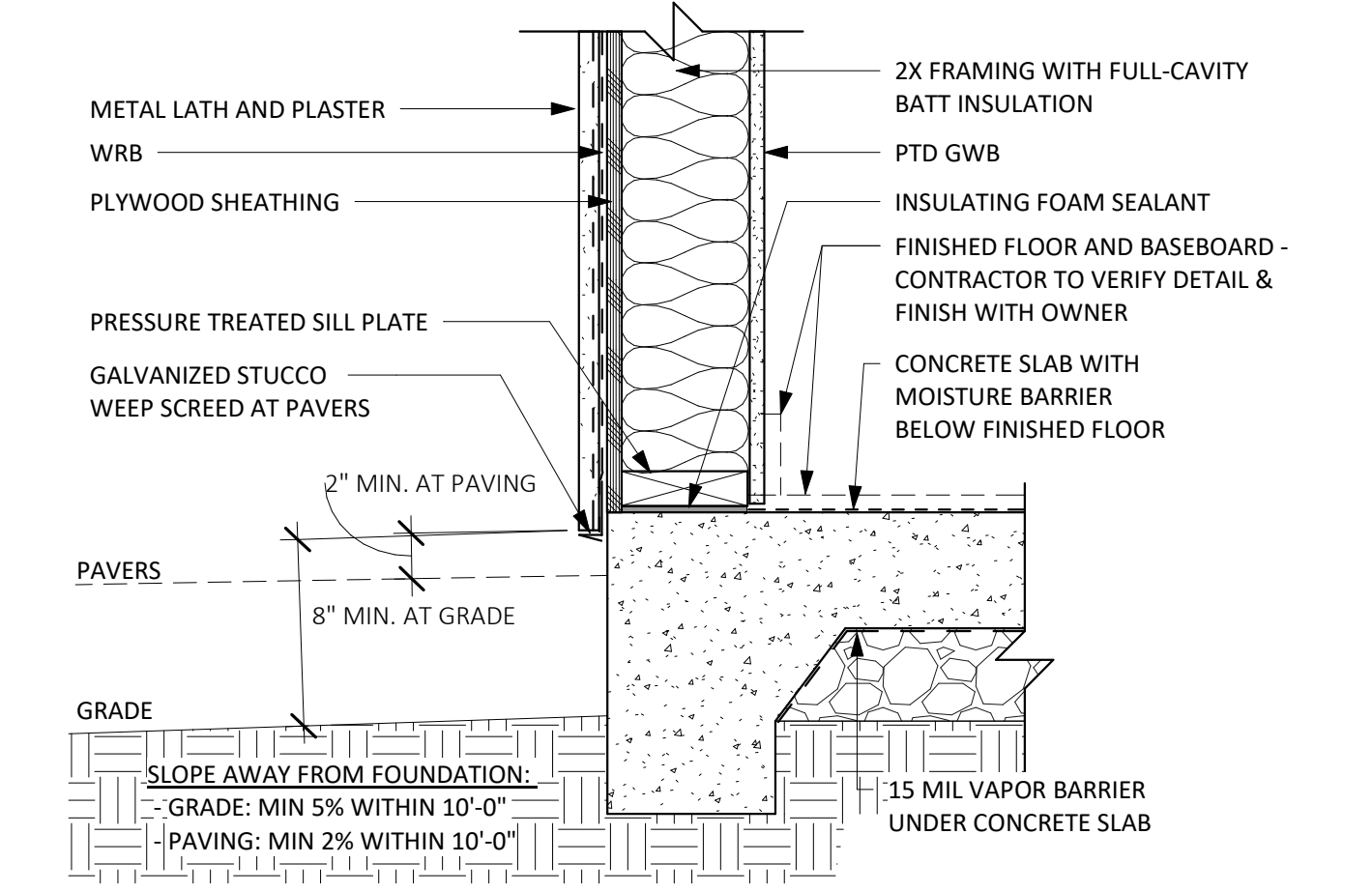
6 DOOR HEAD AT WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



2 WINDOW SILL AT STUCCO SIDING
1 1/2" = 1'-0"



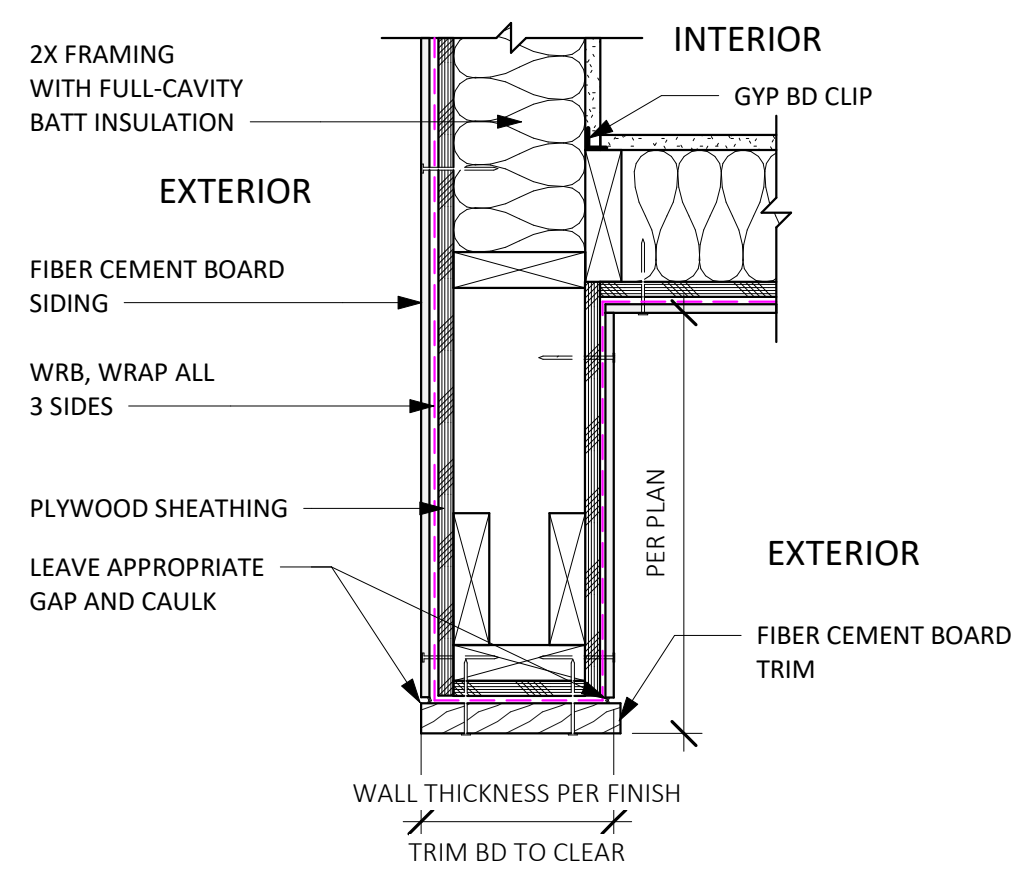
5 SLAB EDGE WITH WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



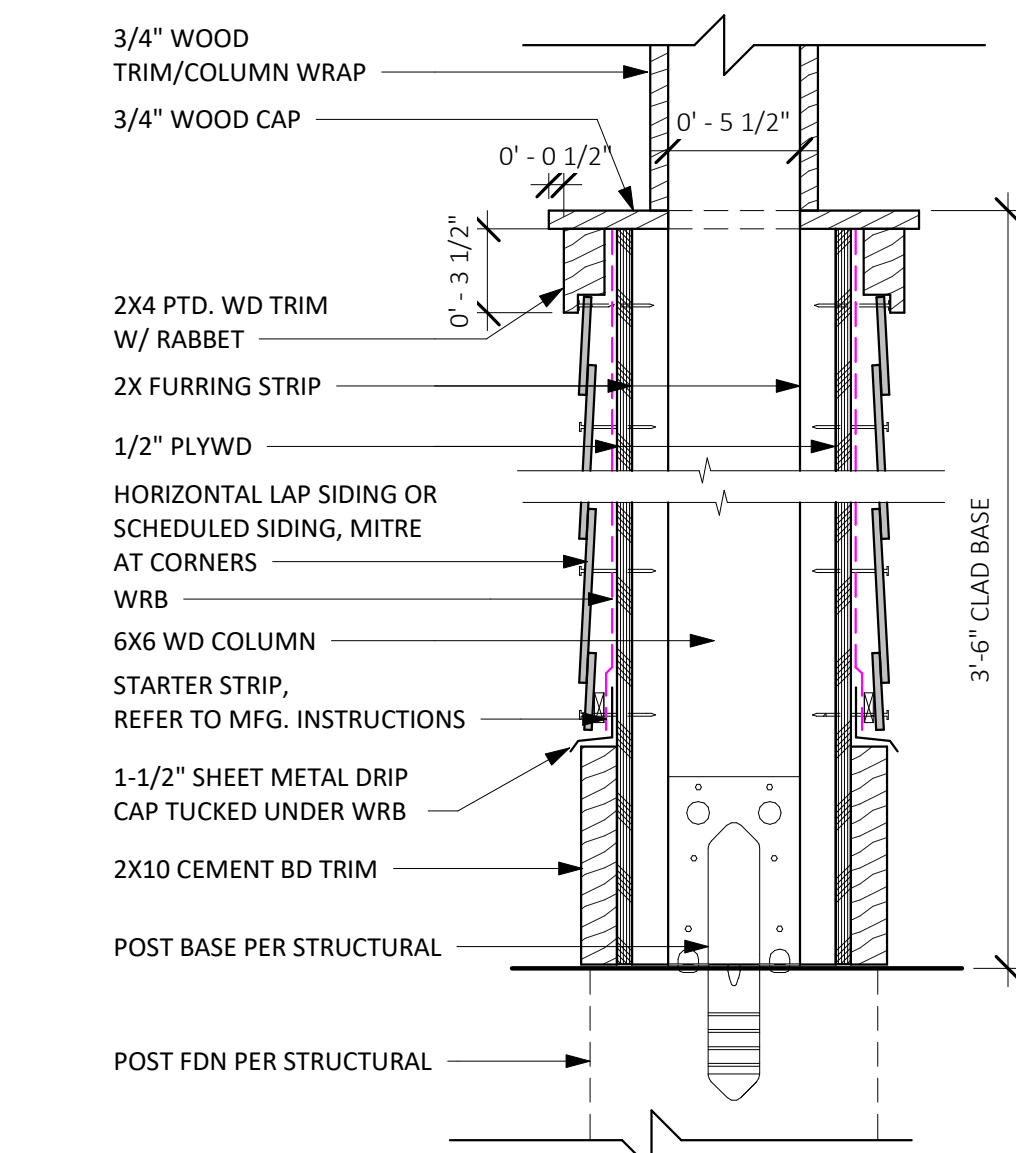
1 SLAB EDGE AT STUCCO SIDING
1 1/2" = 1'-0"

WOOD SIDING WITHIN WUI ZONE

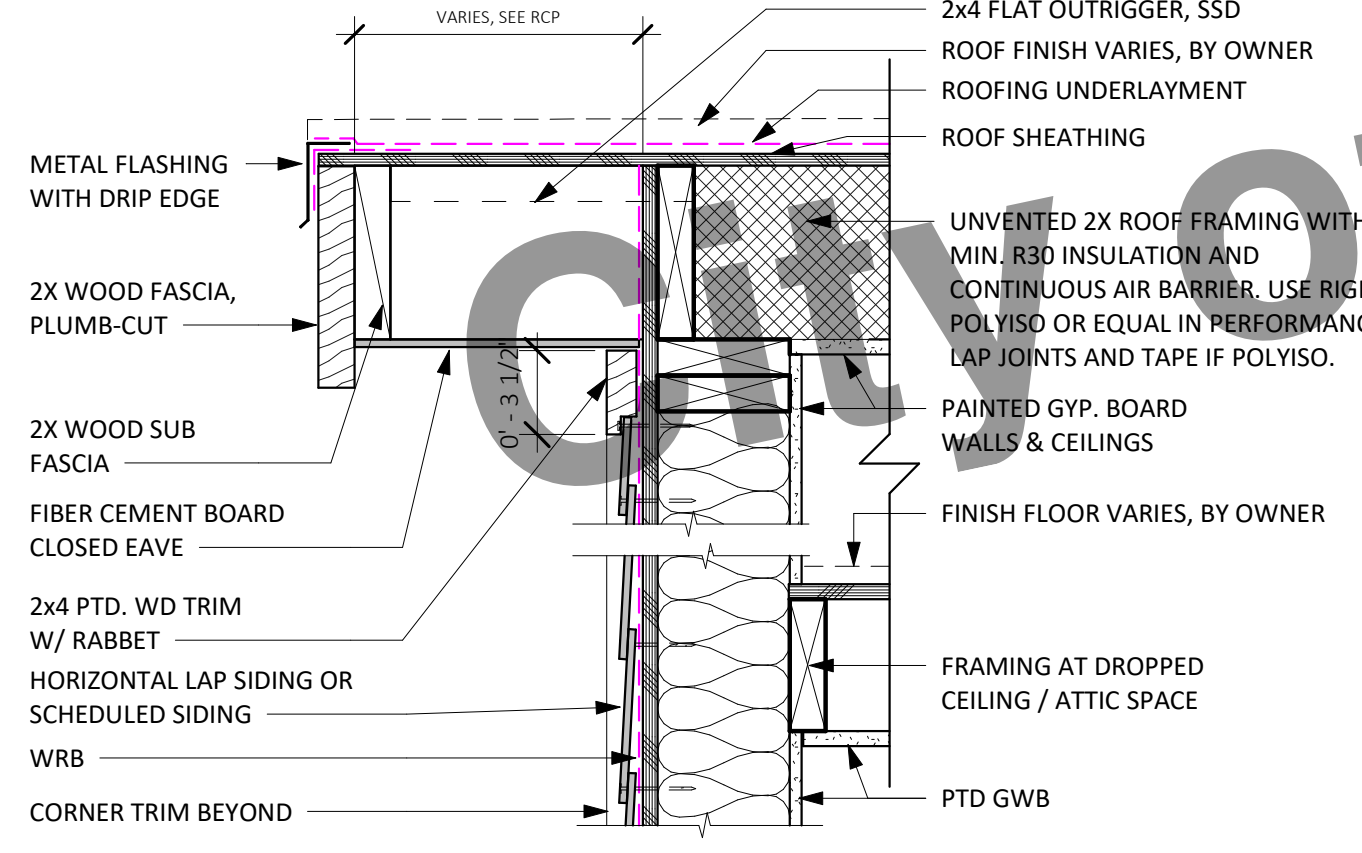
E4 STUCCO SIDING



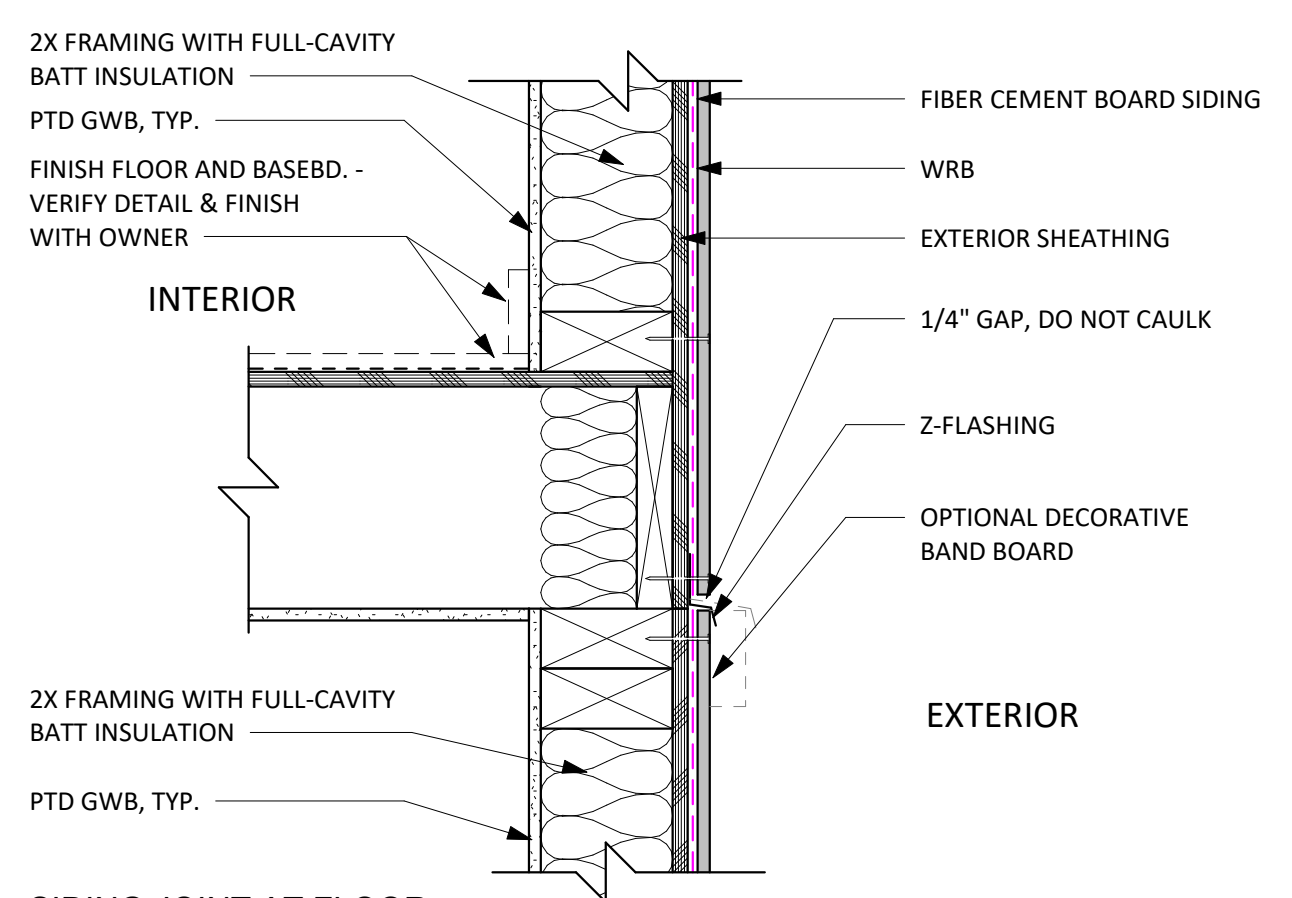
16. CEMENT BD WING WALL
1 1/2" = 1'-0"



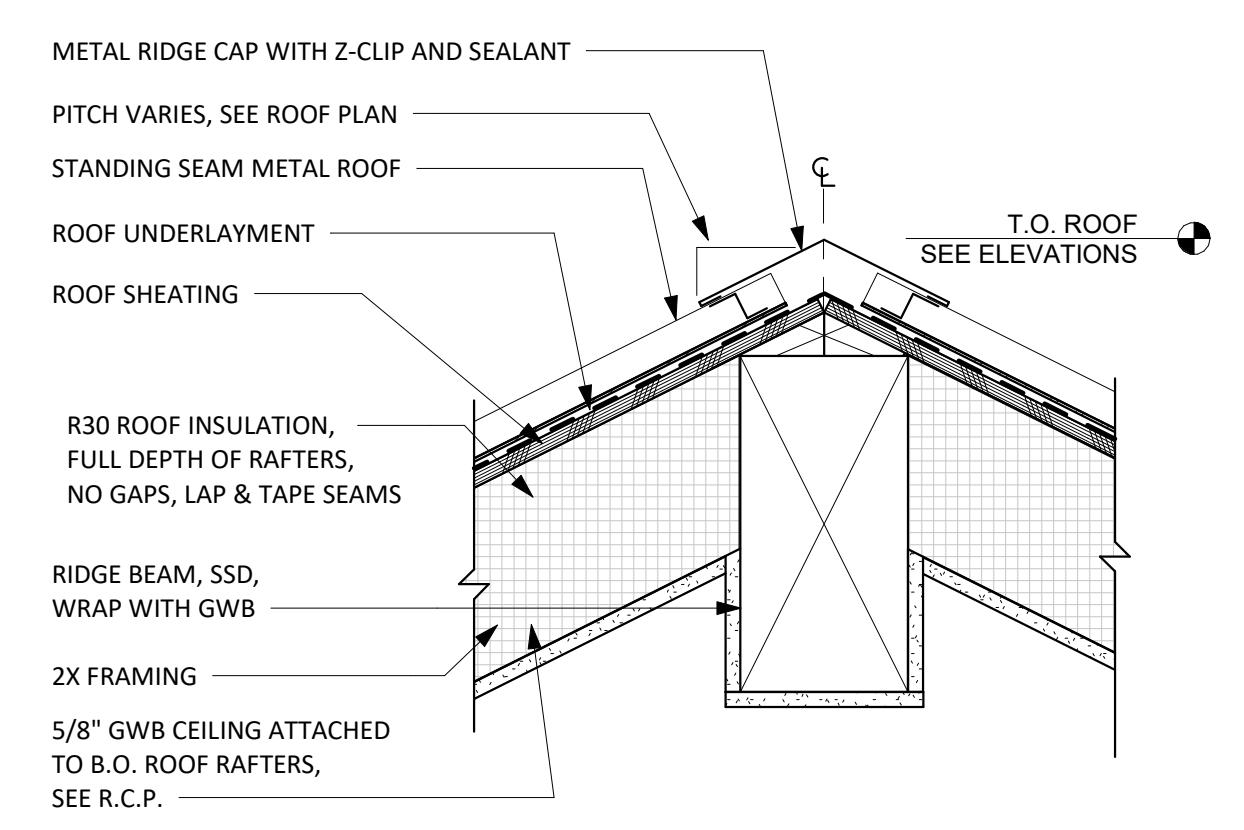
15. WRAPPED COLUMN SECTION
1 1/2" = 1'-0"



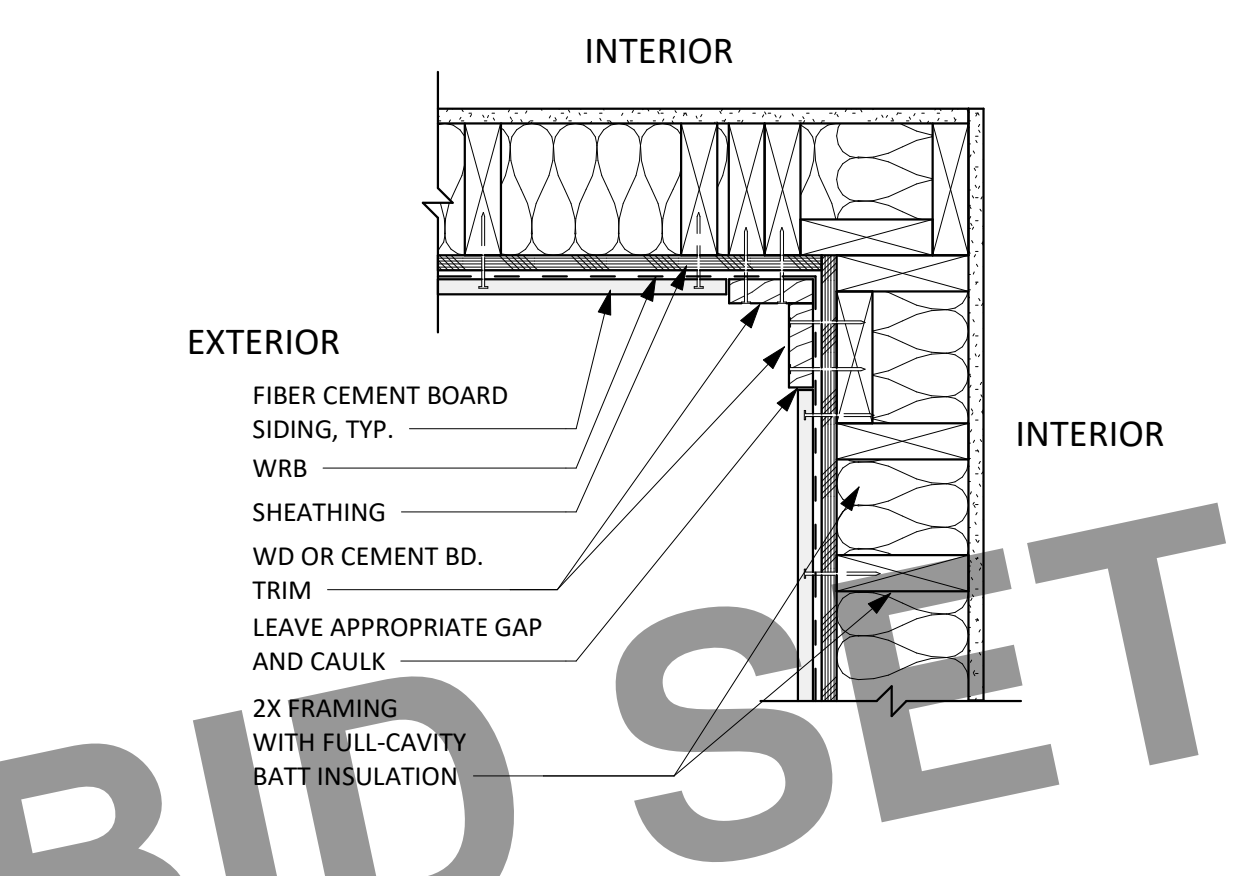
14. BASIC RAKE (CLOSED)
1 1/2" = 1'-0"



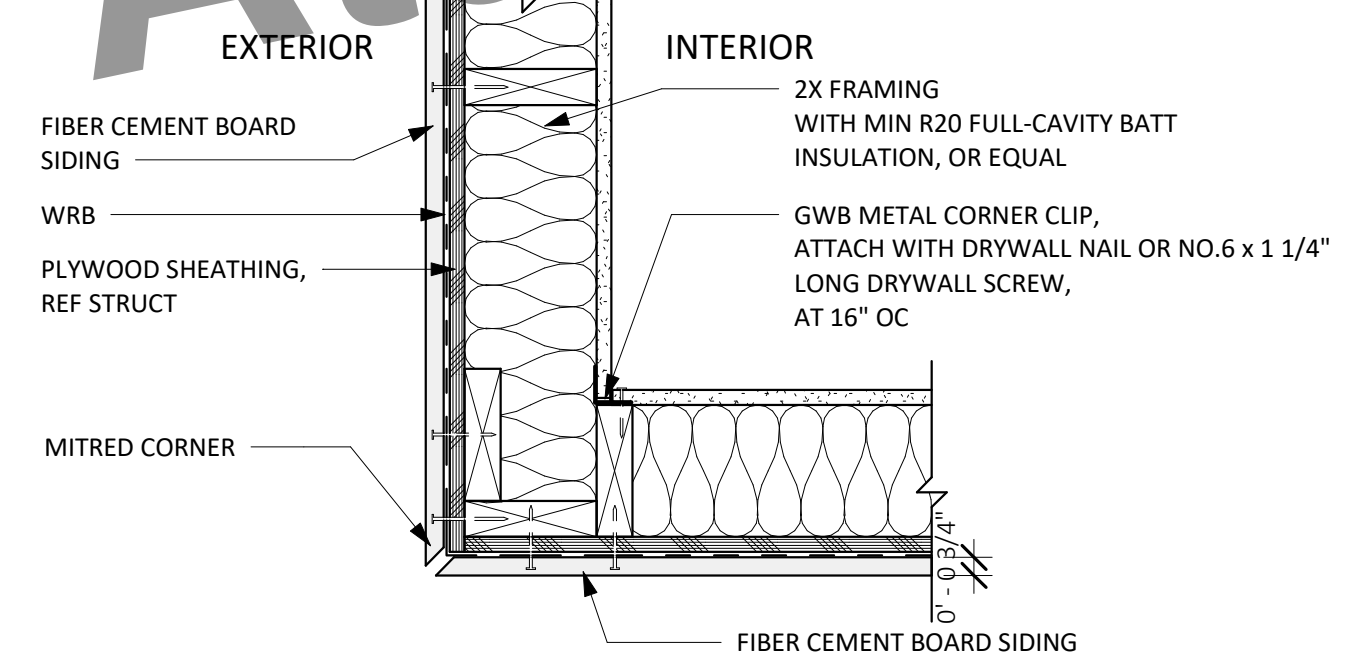
13. SIDING JOINT AT FLOOR
1 1/2" = 1'-0"



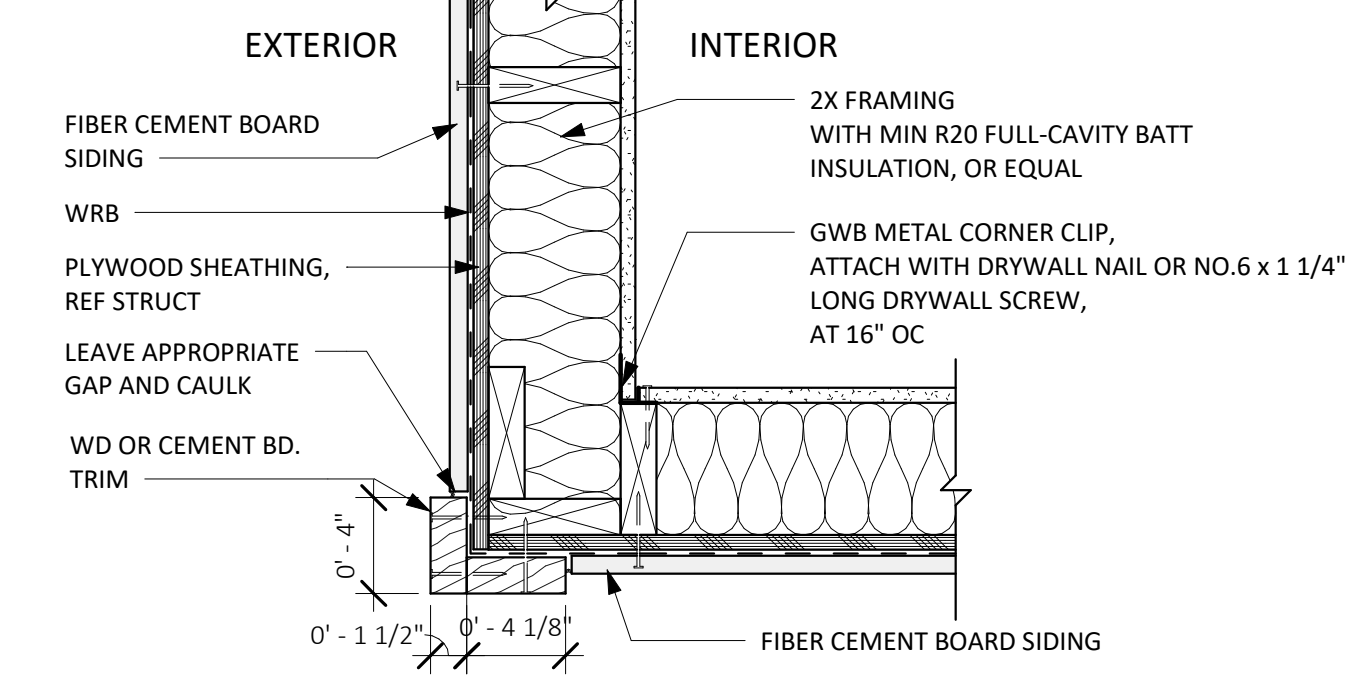
12. STANDING SEAM UNVENTED RIDGE
1 1/2" = 1'-0"



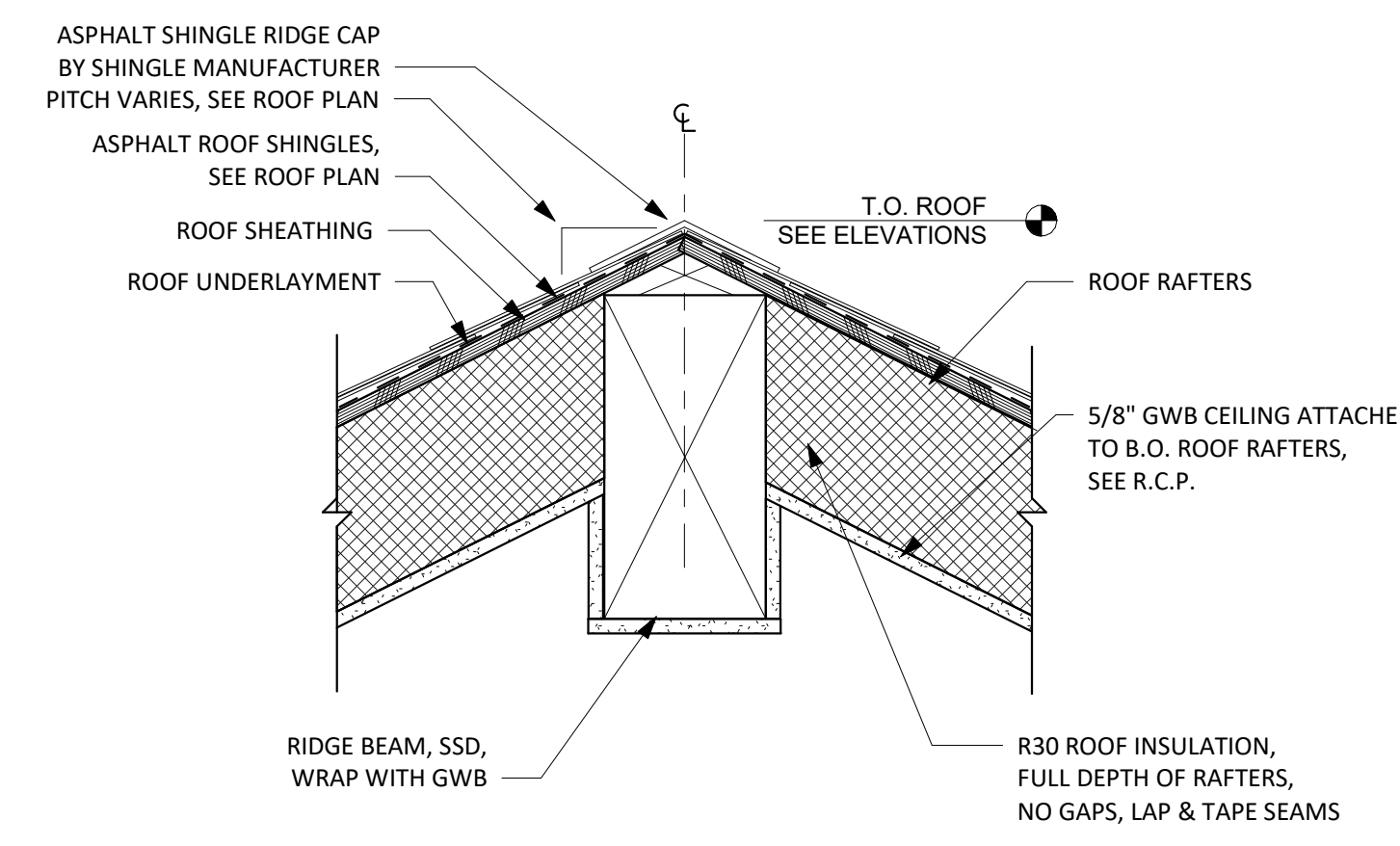
11. CEMENT BD TYP. INSIDE CORNER
1 1/2" = 1'-0"



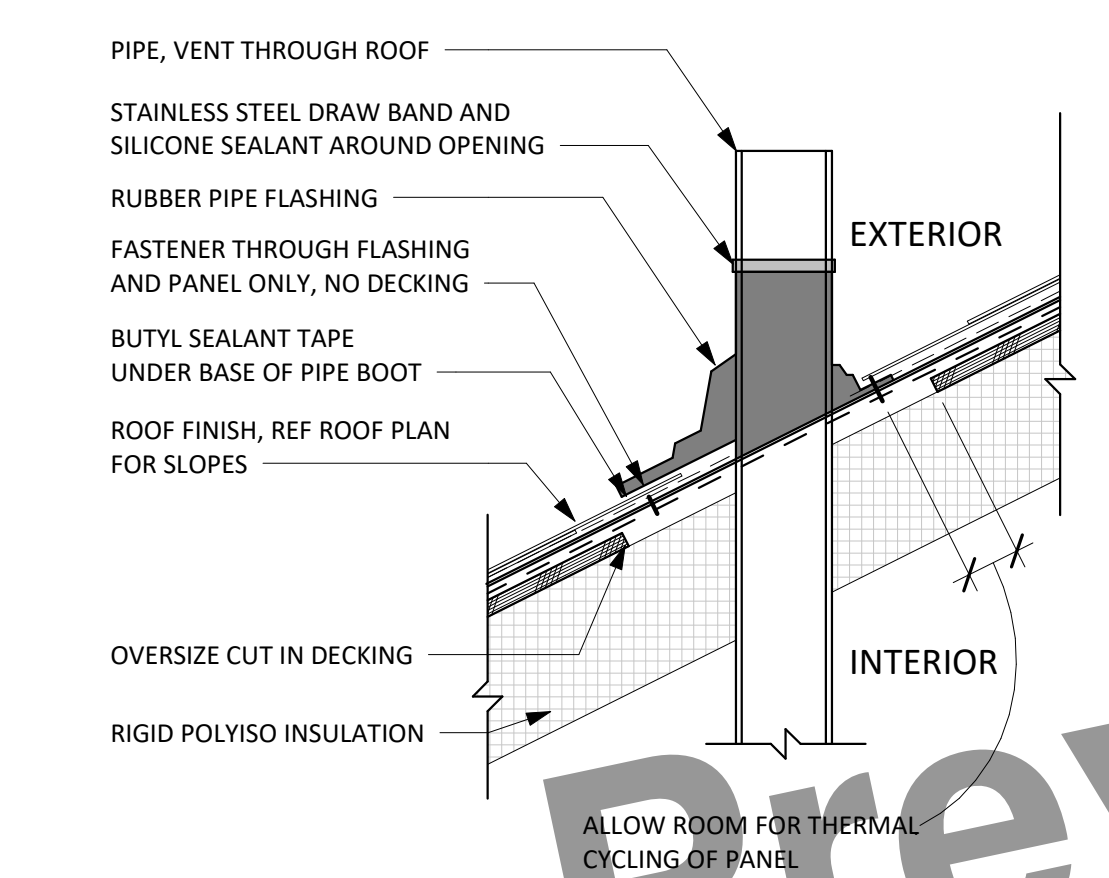
10. CEMENT BD OUTSIDE CORNER TRIM MITRE
1 1/2" = 1'-0"



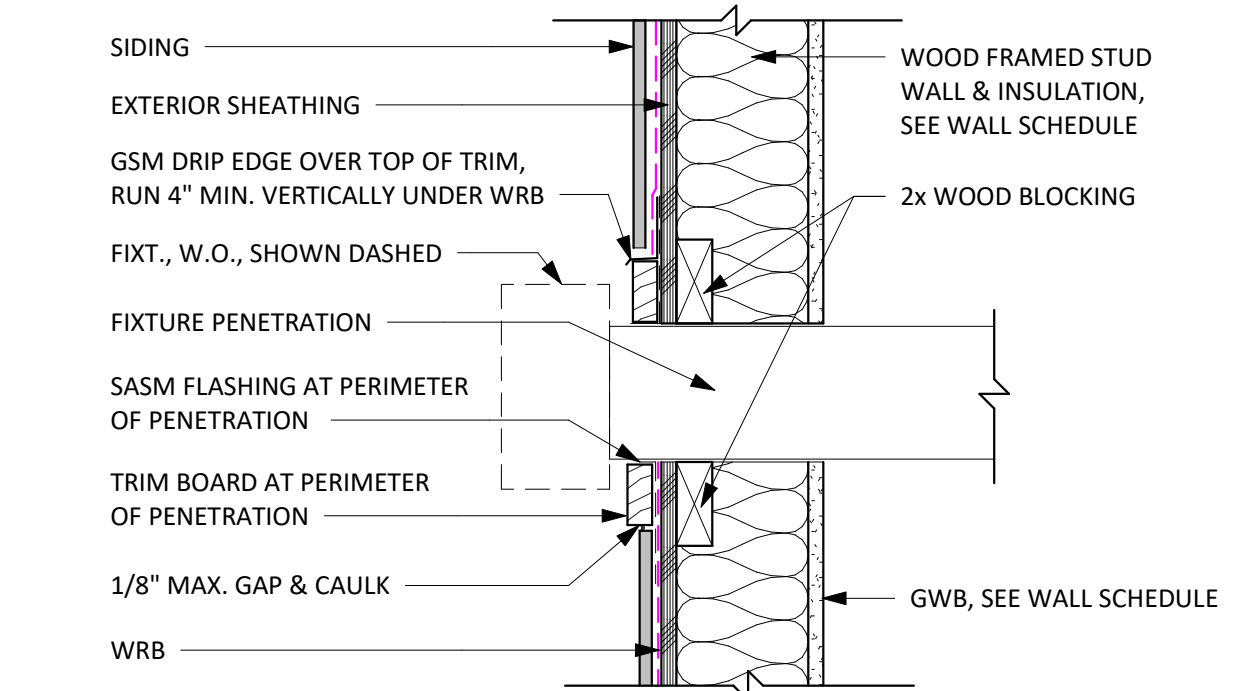
9. CEMENT BD TYP. OUTSIDE CORNER TRIM
1 1/2" = 1'-0"



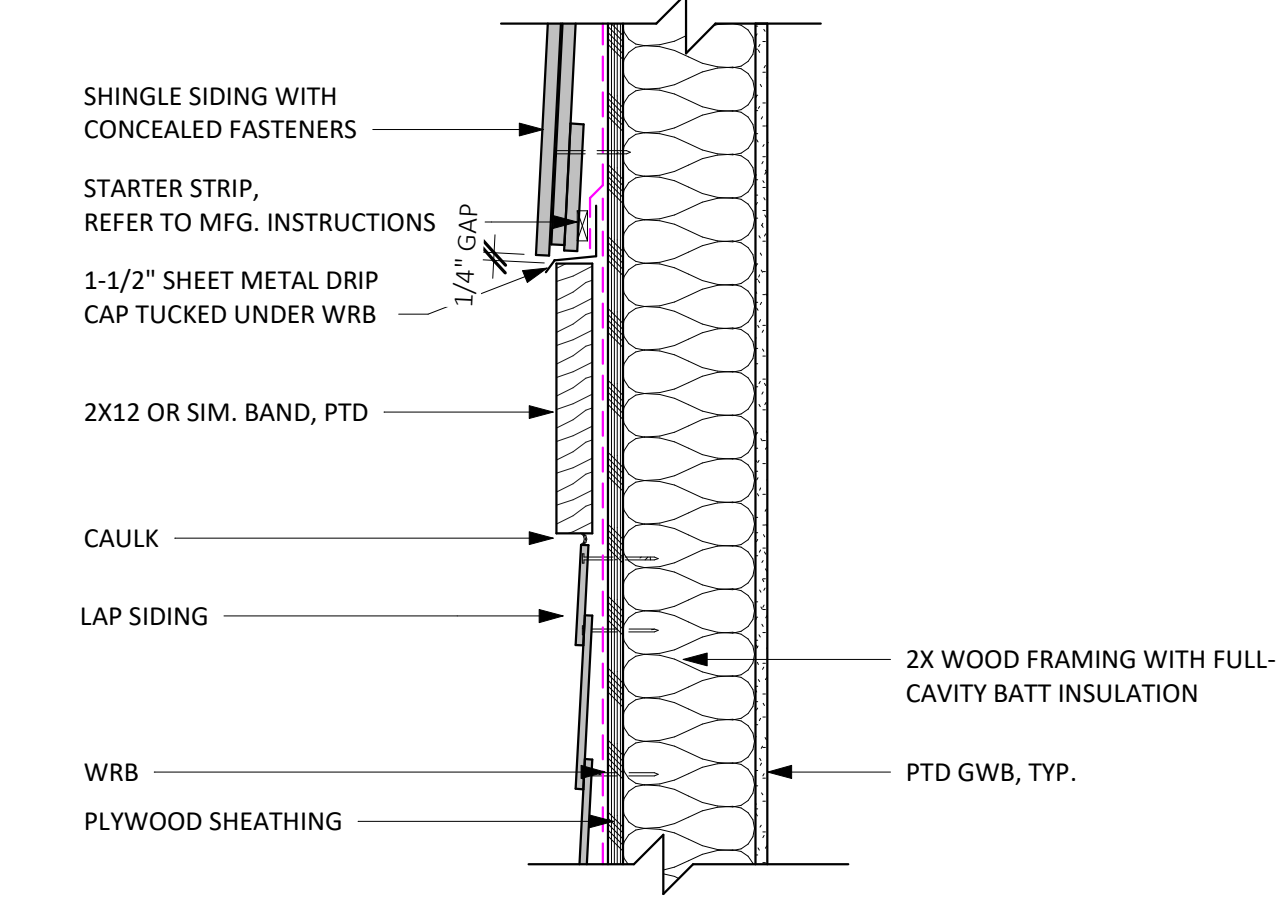
8. BASIC UNVENTED RIDGE AT ASPHALT SHINGLE
1 1/2" = 1'-0"



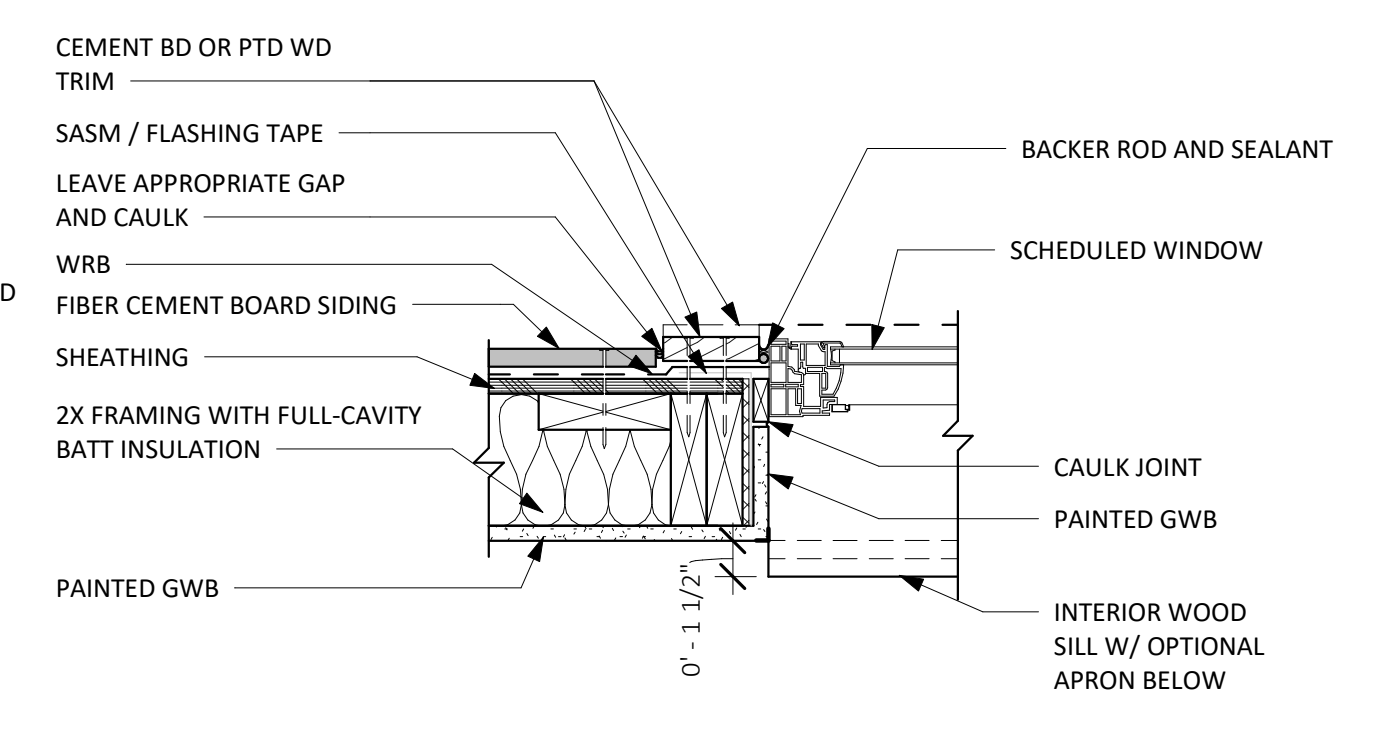
7. ROOF PENETRATION DETAIL
1 1/2" = 1'-0"



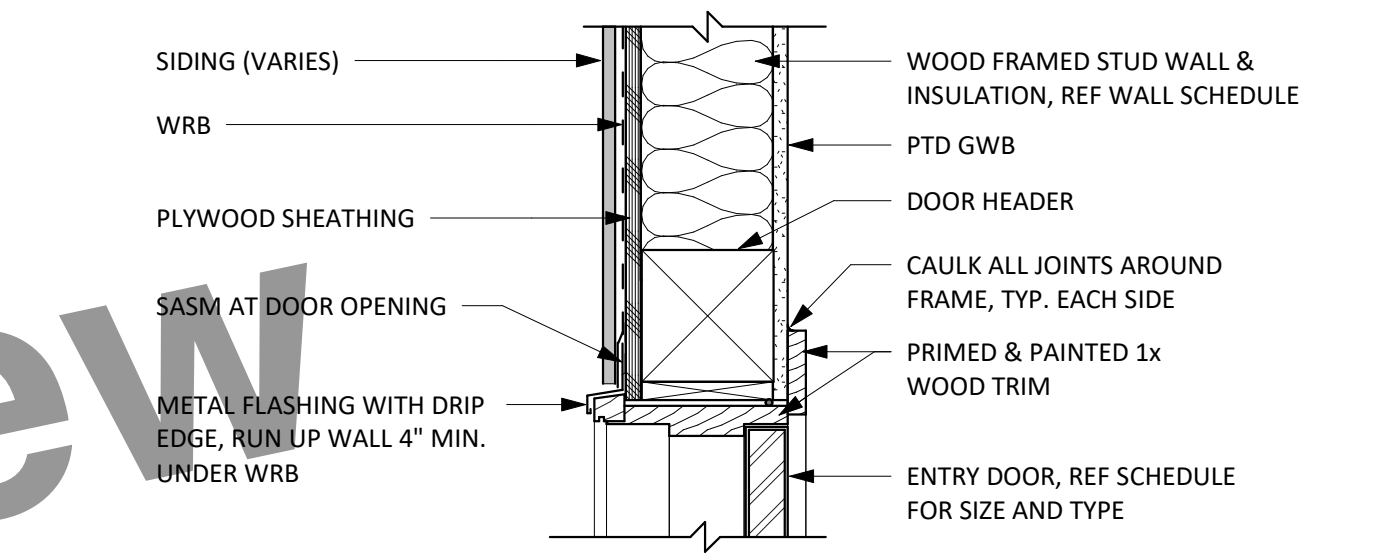
6. WALL PENETRATION DETAIL
1 1/2" = 1'-0"



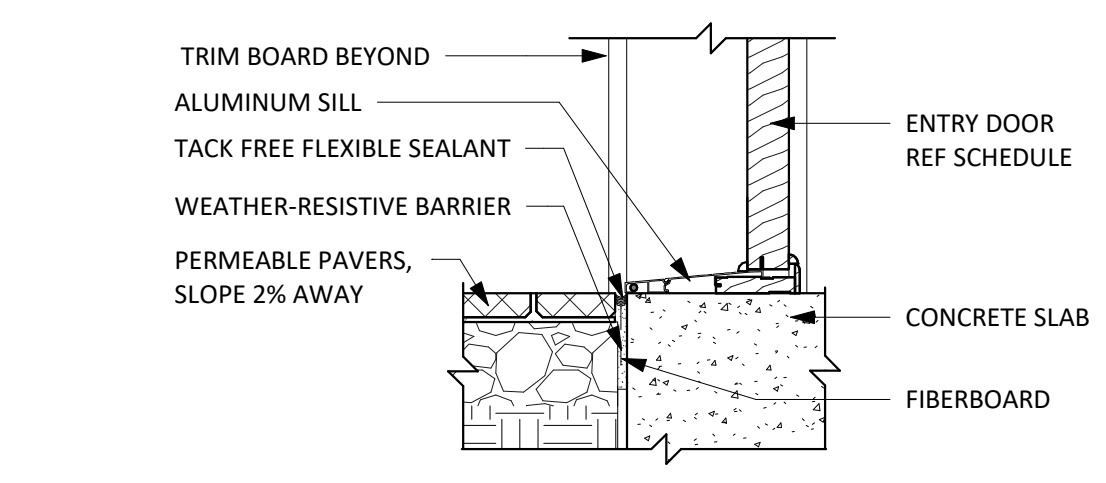
5. BELLY BAND @ CRAFTSMAN
1 1/2" = 1'-0"



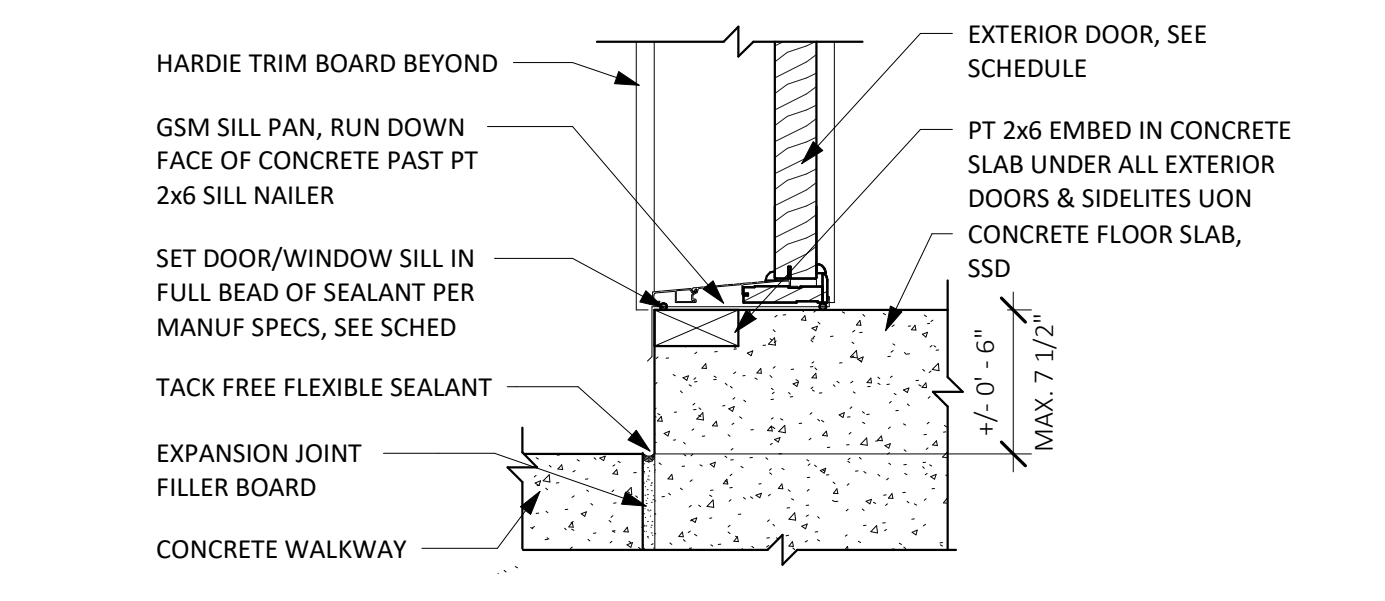
4. BASIC WINDOW JAMB
1 1/2" = 1'-0"



3. SWING DOOR HEAD / JAMB
1 1/2" = 1'-0"



2. ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)
1 1/2" = 1'-0"



1. ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)
1 1/2" = 1'-0"



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**CENTRAL COAST
PRE-DESIGNED ADU**

EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

EXTERIOR DETAILS

A5.2

SCALE: AS NOTED

WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET GO.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - EFFICIENCY STUDIO - COASTAL RANCH							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
5	SINGLE HUNG	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1'-6"	2'-3"	7'-0"	4'-9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - EFFICIENCY STUDIO - BACKYARD CRAFTSMAN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3'-0"	2'-0"	7'-0"	5'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

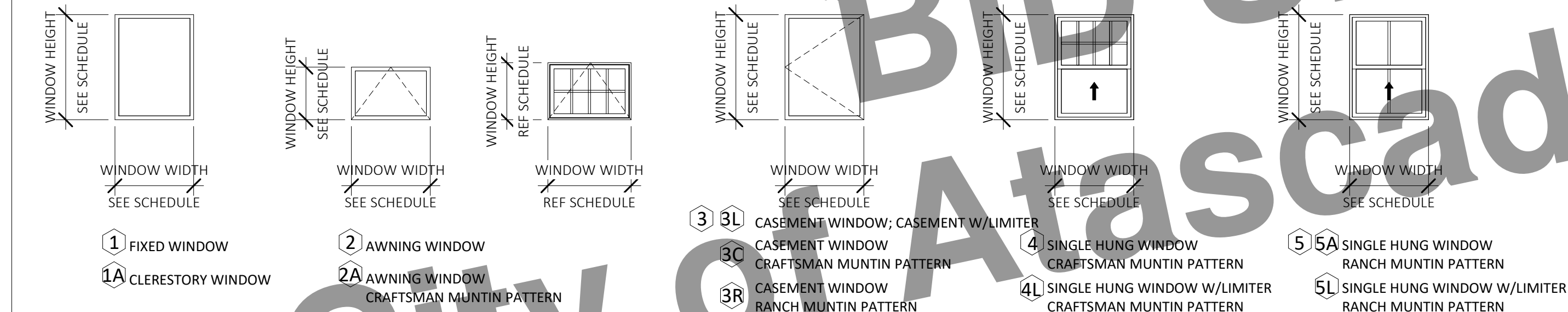
WINDOW SCHEDULE - EFFICIENCY STUDIO - CALIFORNIA MODERN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3'-0"	4'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	5	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - EFFICIENCY STUDIO - BEACH BUNGALOW							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3'-0"	4'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	3	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW MATERIAL LEGEND

FRAME MATERIAL				FRAME FINISH	
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

WINDOW TYPES



GLAZING TYPES

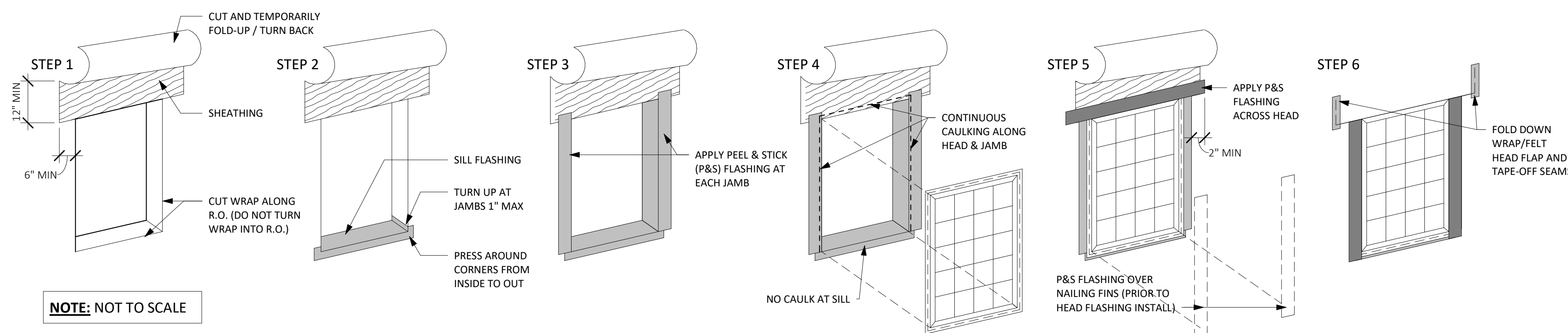
REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

WINDOW FLASHING SEQUENCE



NOTE: NOT TO SCALE

APPLIANCE SCHEDULE - EFFICIENCY STUDIO

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL
11 11 00.A4	STACKING WASHER/DRYER COMBO		
11 11 00.A5	24" DISHWASHER		
11 11 00.A6	24" MINI FRIDGE WITH FREEZER		
11 11 00.A7	12" ELECTRIC COOKTOP RANGE		
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT		

LIGHTING FIXTURE SCHEDULE - EFFICIENCY STUDIO

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT	Comments
F1	LED DOWNLIGHT (LOW PROFILE)			8	EFFICIENCY
F3	UNDERCABINET LED LIGHT			3	EFFICIENCY
F4	EXTERIOR WALL SCONCE			1	EFFICIENCY

PLUMBING FIXTURE SCHEDULE - EFFICIENCY STUDIO

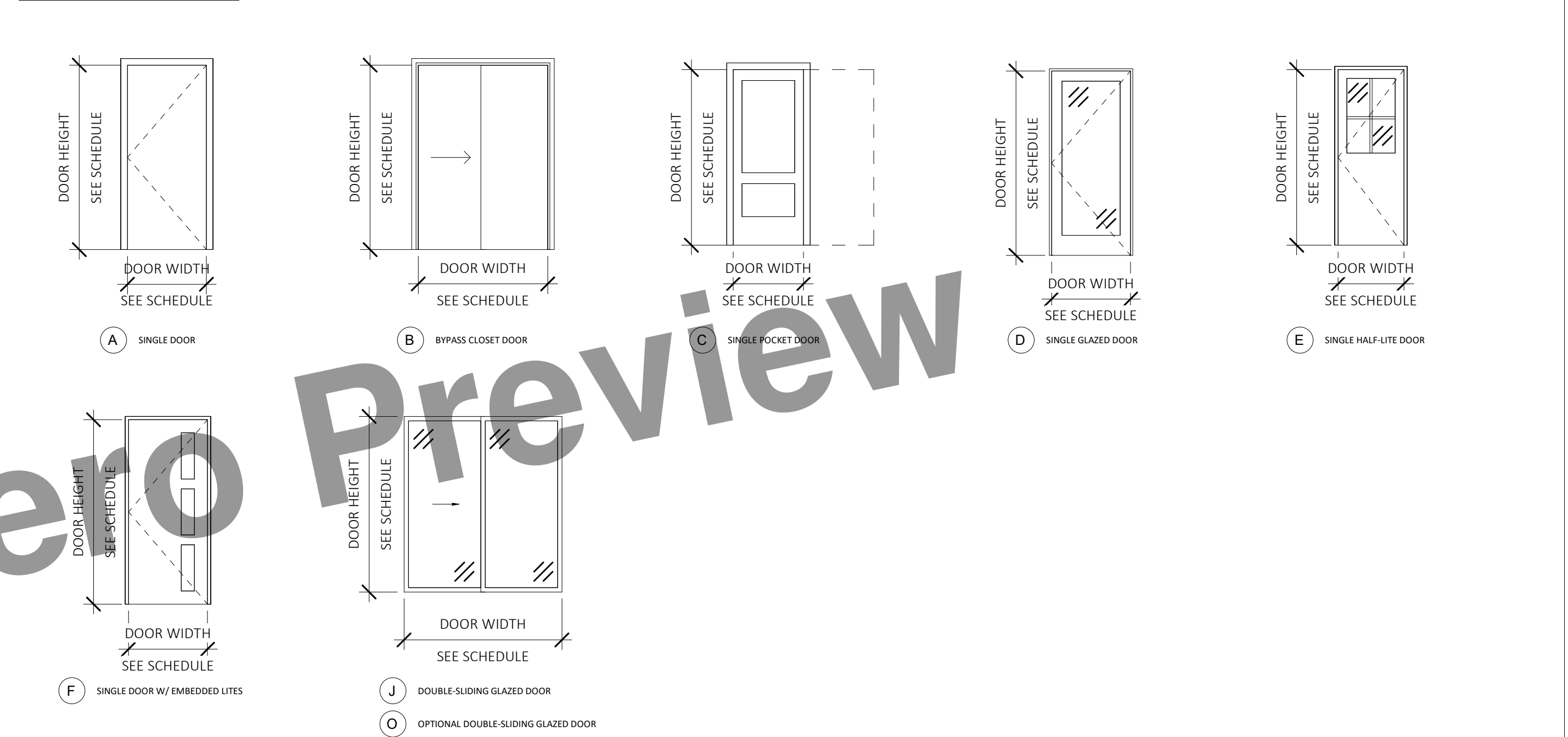
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A5				
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

DOOR SCHEDULE

DOOR SCHEDULE - EFFICIENCY STUDIO

MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS					DETAILS			HARDWARE GROUP	NOTES	
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL			
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"			GL-2 TEMP				3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.0. REF. EXT. ELEVATIONS.
C01	C	INTERIOR POCKET DOOR	BATH	2'-6"	6'-8"	0'-1 1/2"	SC	PTD	N/A	WD	PTD	8/AS.3	PER MFR	PER MFR	3		

DOOR TYPES



DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM	GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR	ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED	E	EXISTING		
E	EXISTING			GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT				

DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



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EFFICIENCY STUDIO
316 GSF

PRINT DATE: XX.XX.XXXX

SCHEDULES - EFFICIENCY STUDIO

A6.0

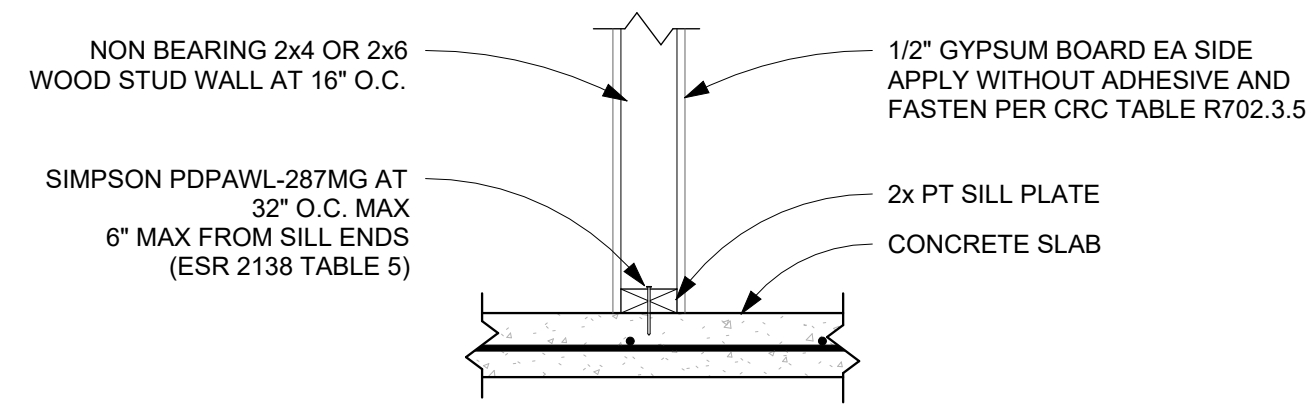
SCALE: AS NOTED

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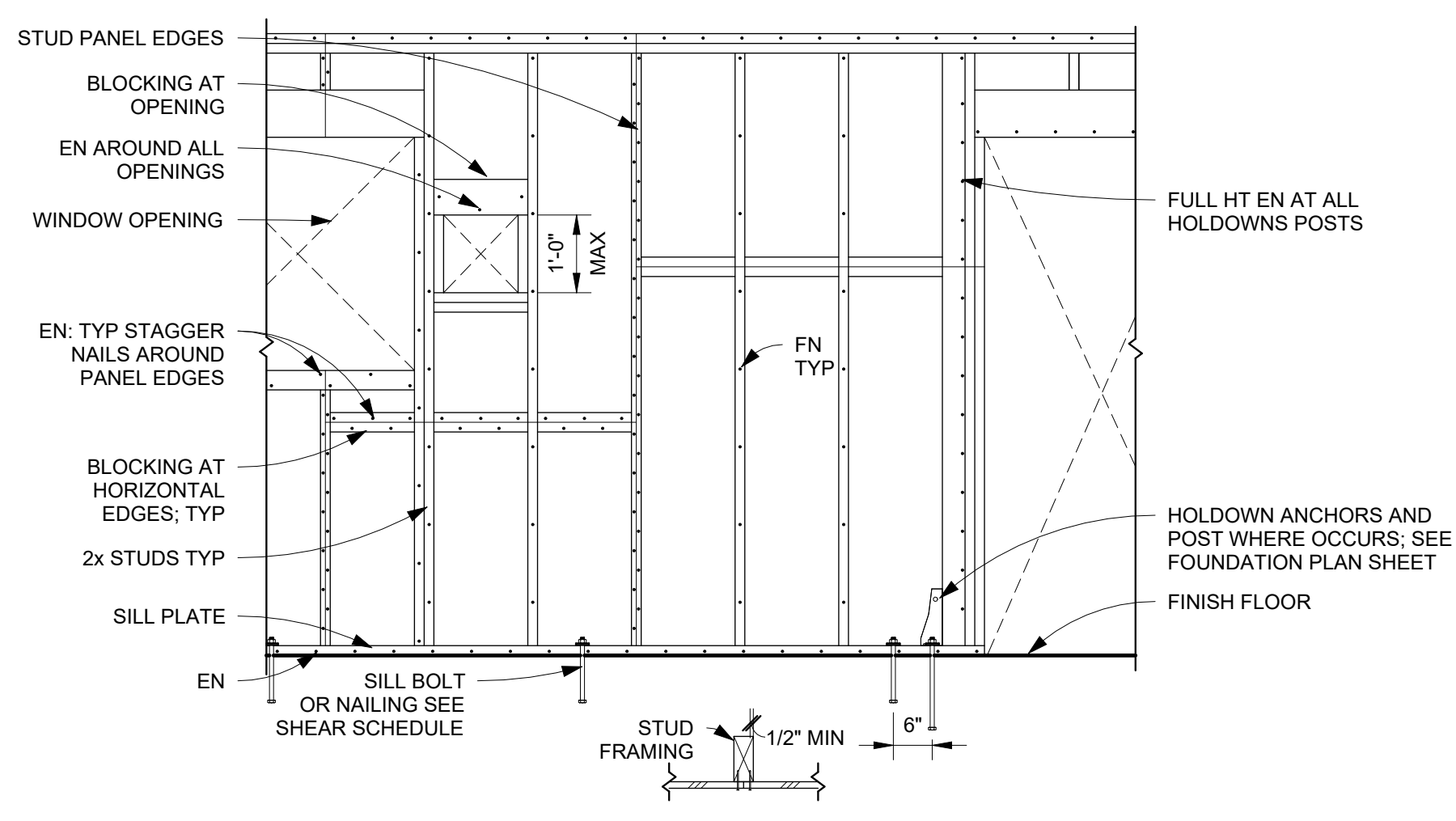
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CM Taylor
 C.M. Taylor Structural Engineering, Inc. 7426 Capitola Rd., Suite 204, Capitola, CA 95010
 Phone: 831-854-2484
 email: contact@cmtylors.com

CENTRAL COAST STOCK ADU
 PROJECT NO. 21091
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

TYPICAL DETAILS
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

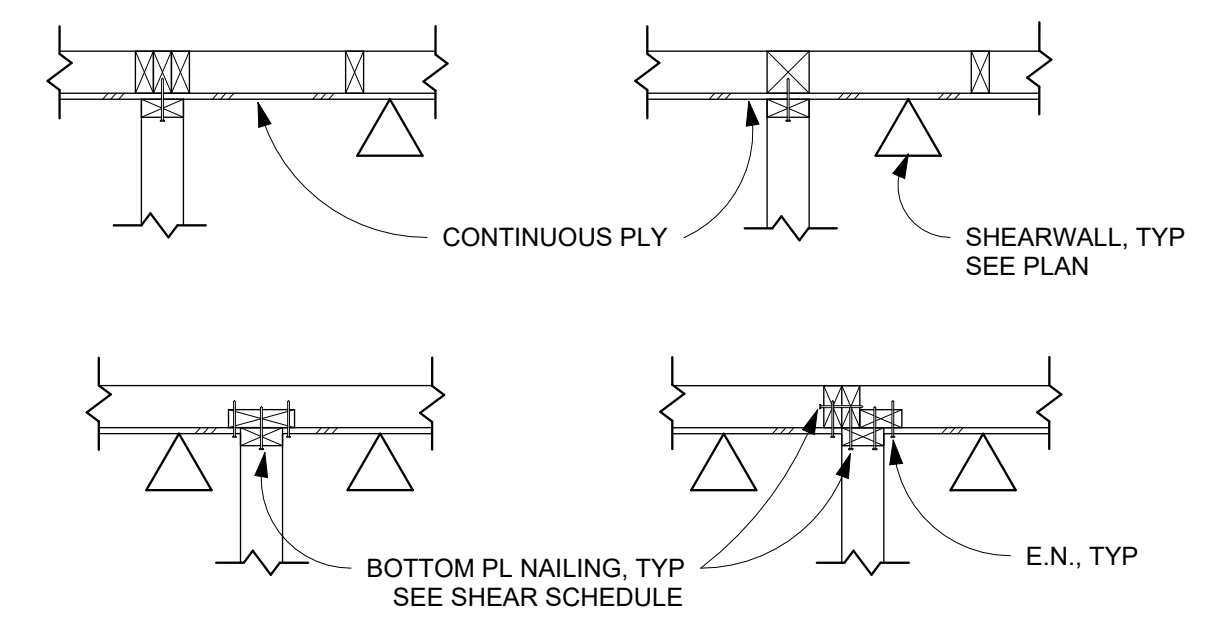


NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB
 8
 S0.1 1" = 1'-0"

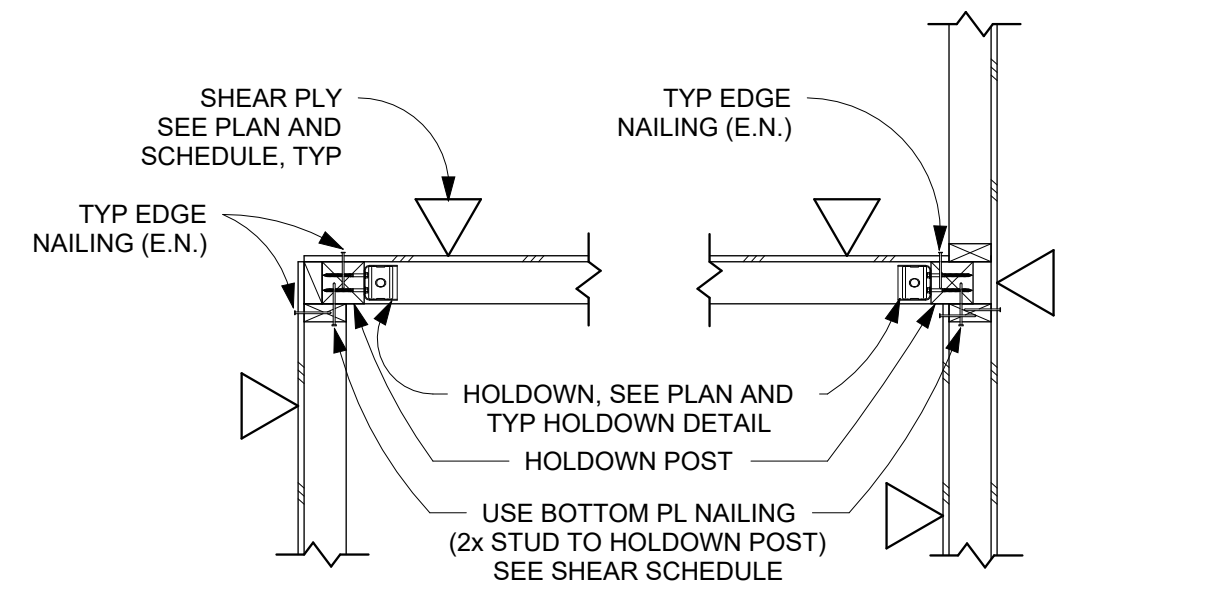


- NOTES:
- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
 - (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLD DOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
 - WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
 - SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
 - SEE PLAN FOR SHEARWALL SCHEDULE.
 - THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY.

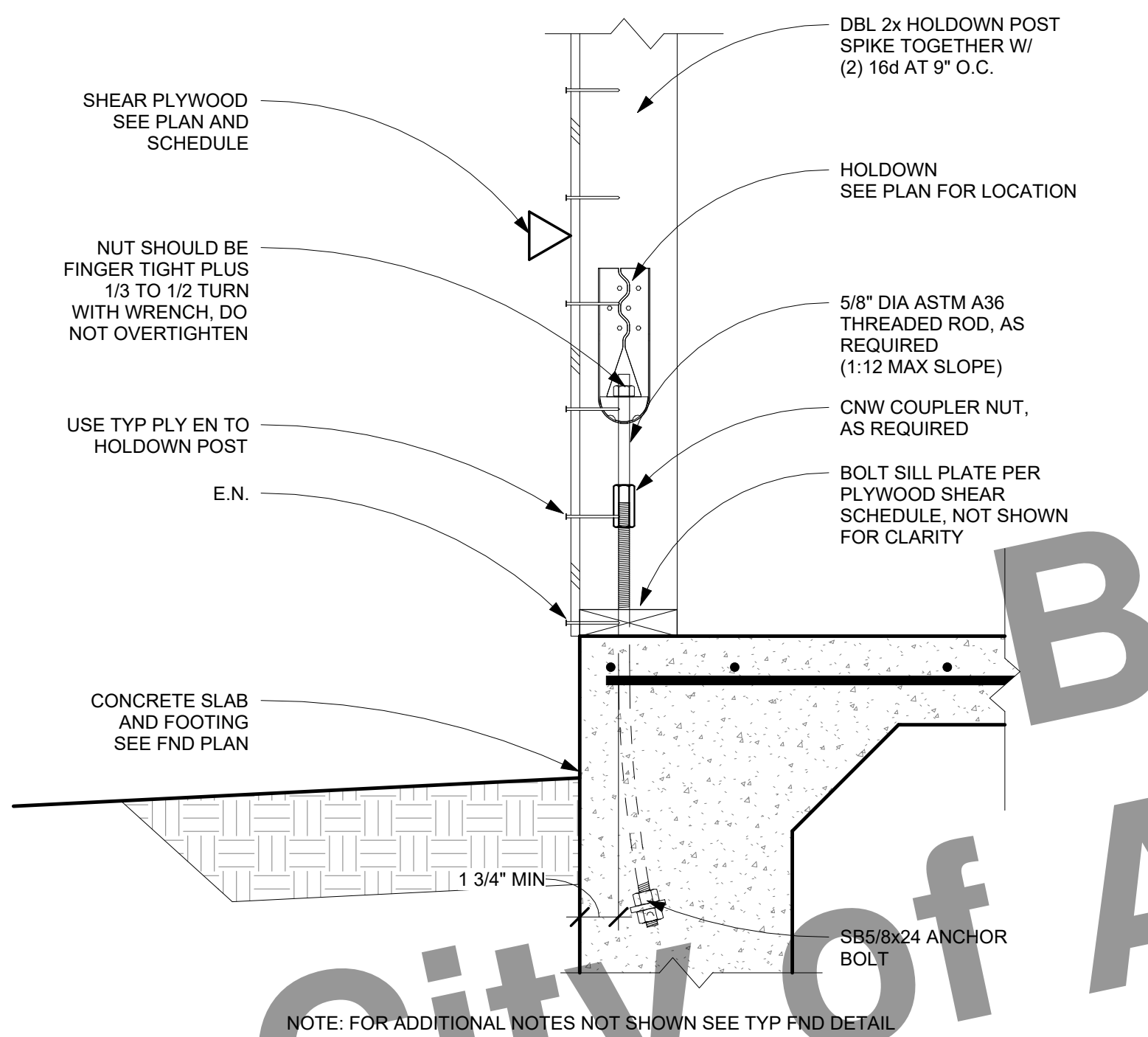
TYP SHEAR WALL FRAMING
 5
 S0.1 1/2" = 1'-0"



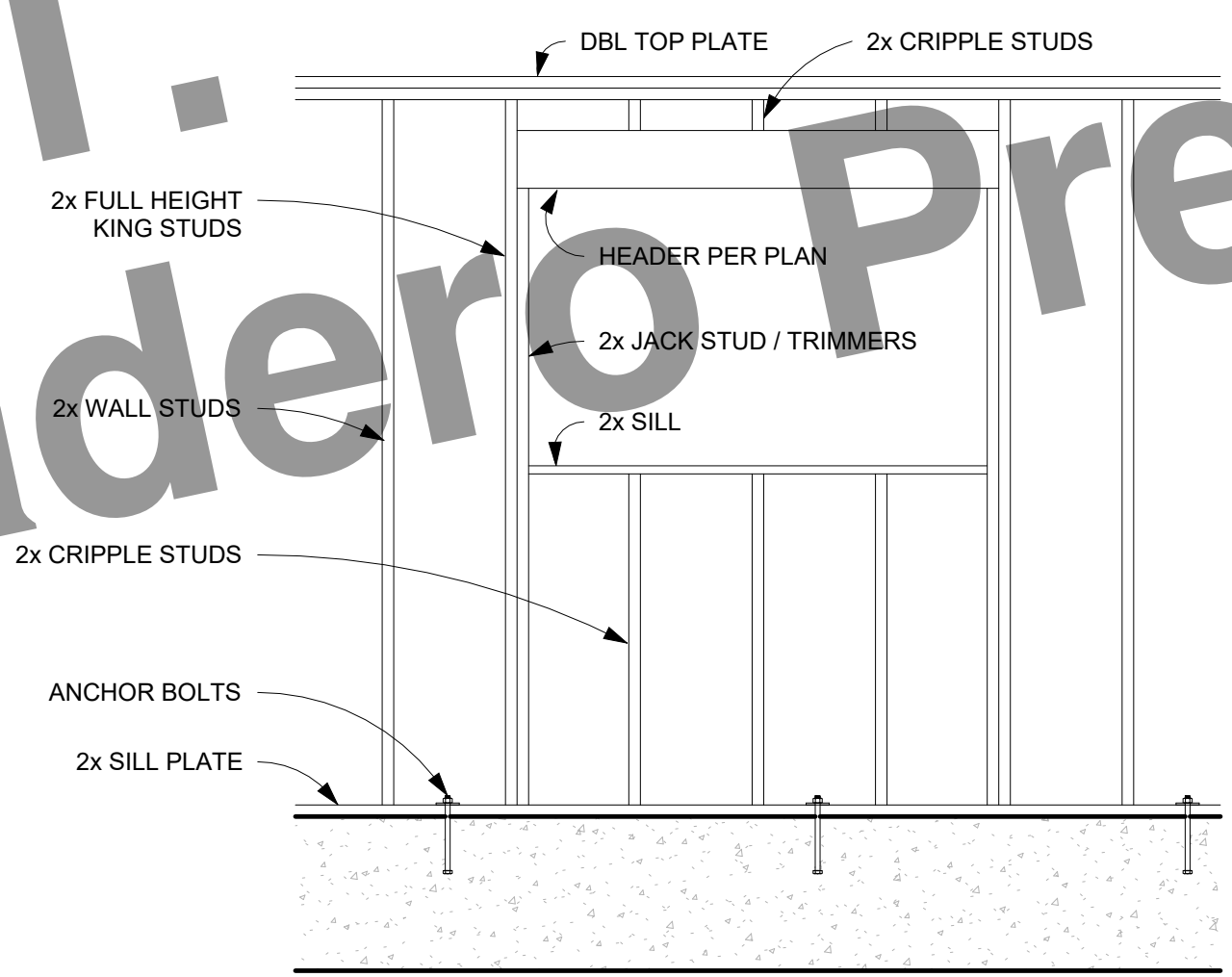
CONT SHEAR WALL PLAN DETAIL
 1
 S0.1 3/4" = 1'-0"



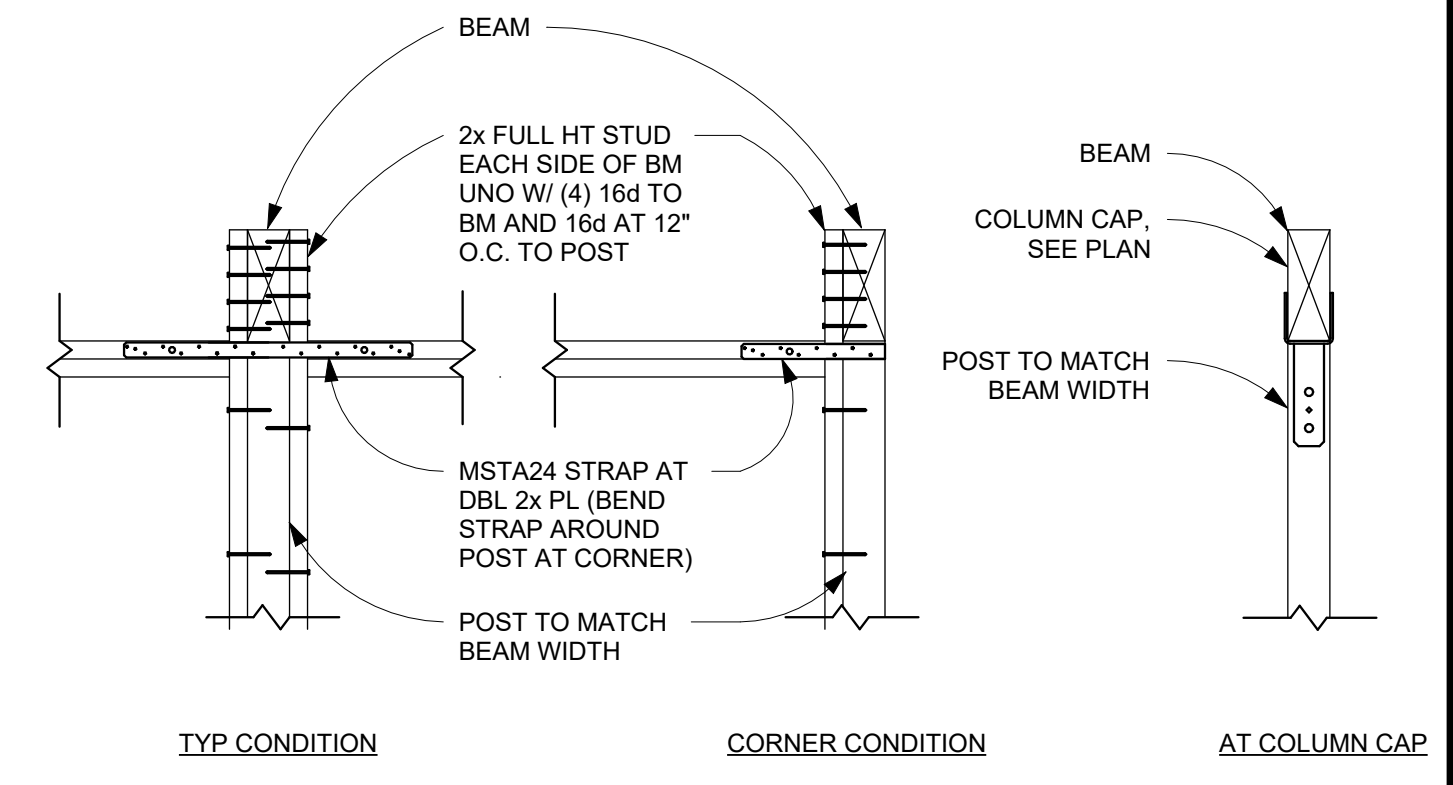
INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL
 2
 S0.1 3/4" = 1'-0"



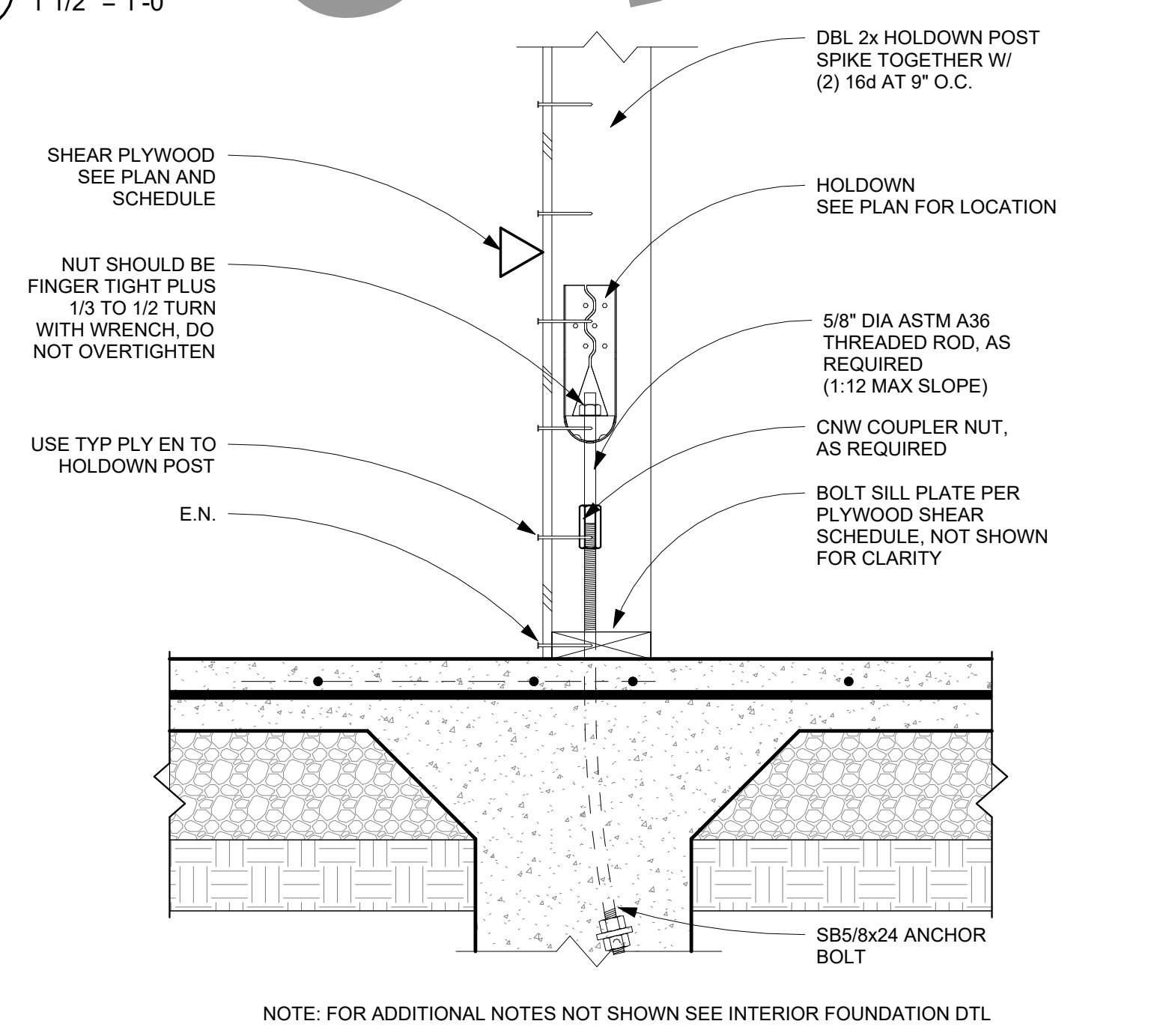
TYP HOLD DOWN AT PERIM FTG
 9
 S0.1 1 1/2" = 1'-0"



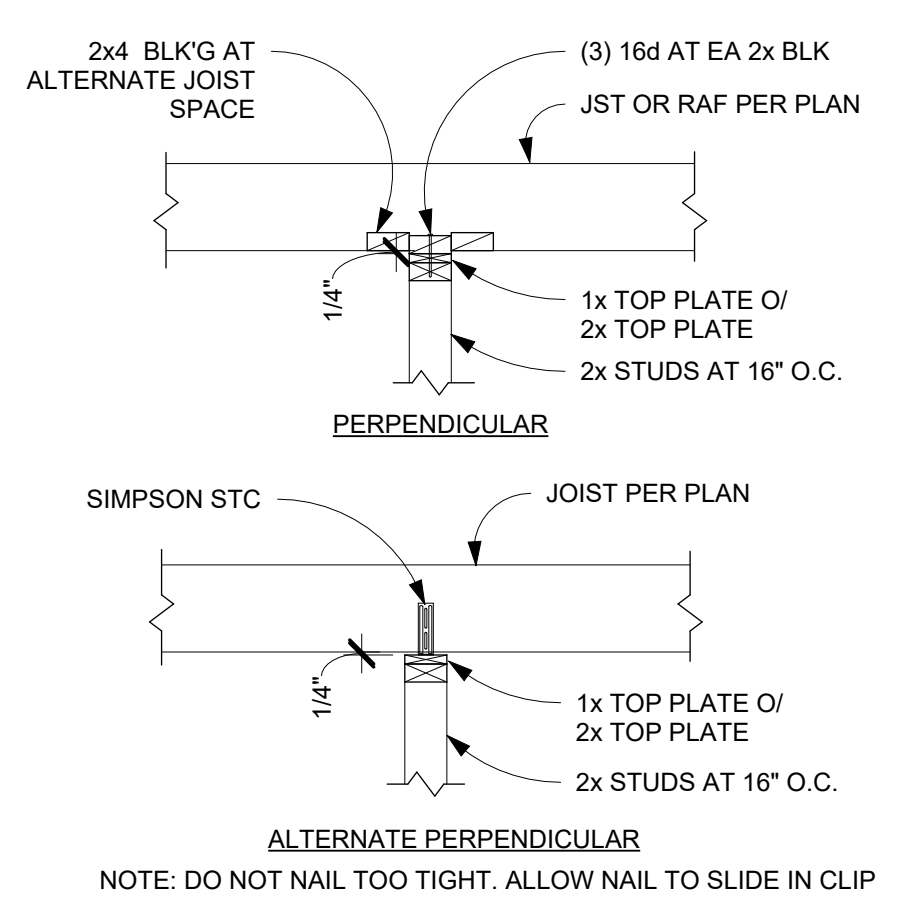
TYP WALL FRAMING
 6
 S0.1 1/2" = 1'-0"



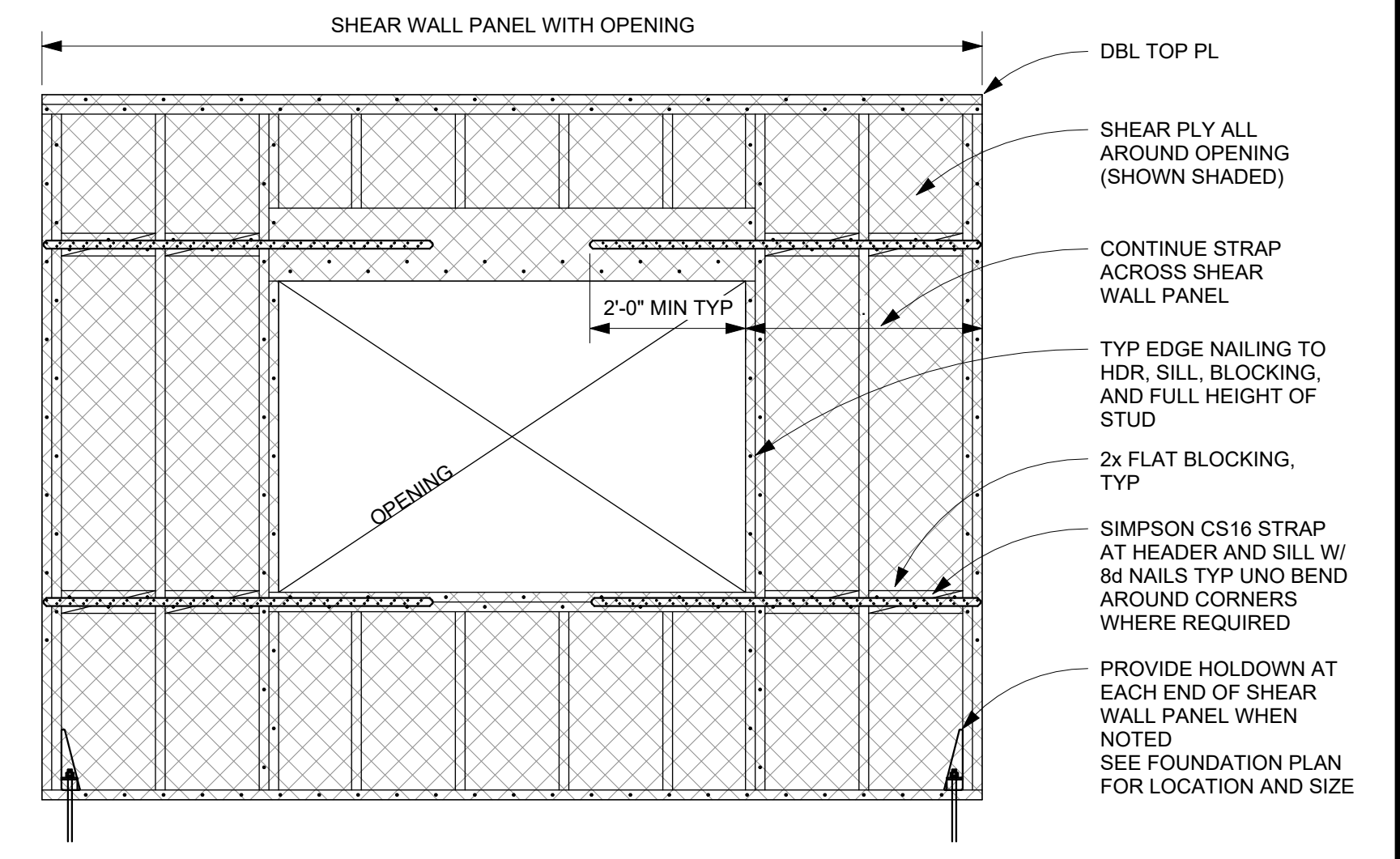
TYPICAL POST TO BEAM CONN
 3
 S0.1 3/4" = 1'-0"



TYP HOLD DOWN AT INTERIOR FOOTING
 10
 S0.1 1 1/2" = 1'-0"



NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP
 7
 S0.1 3/4" = 1'-0"

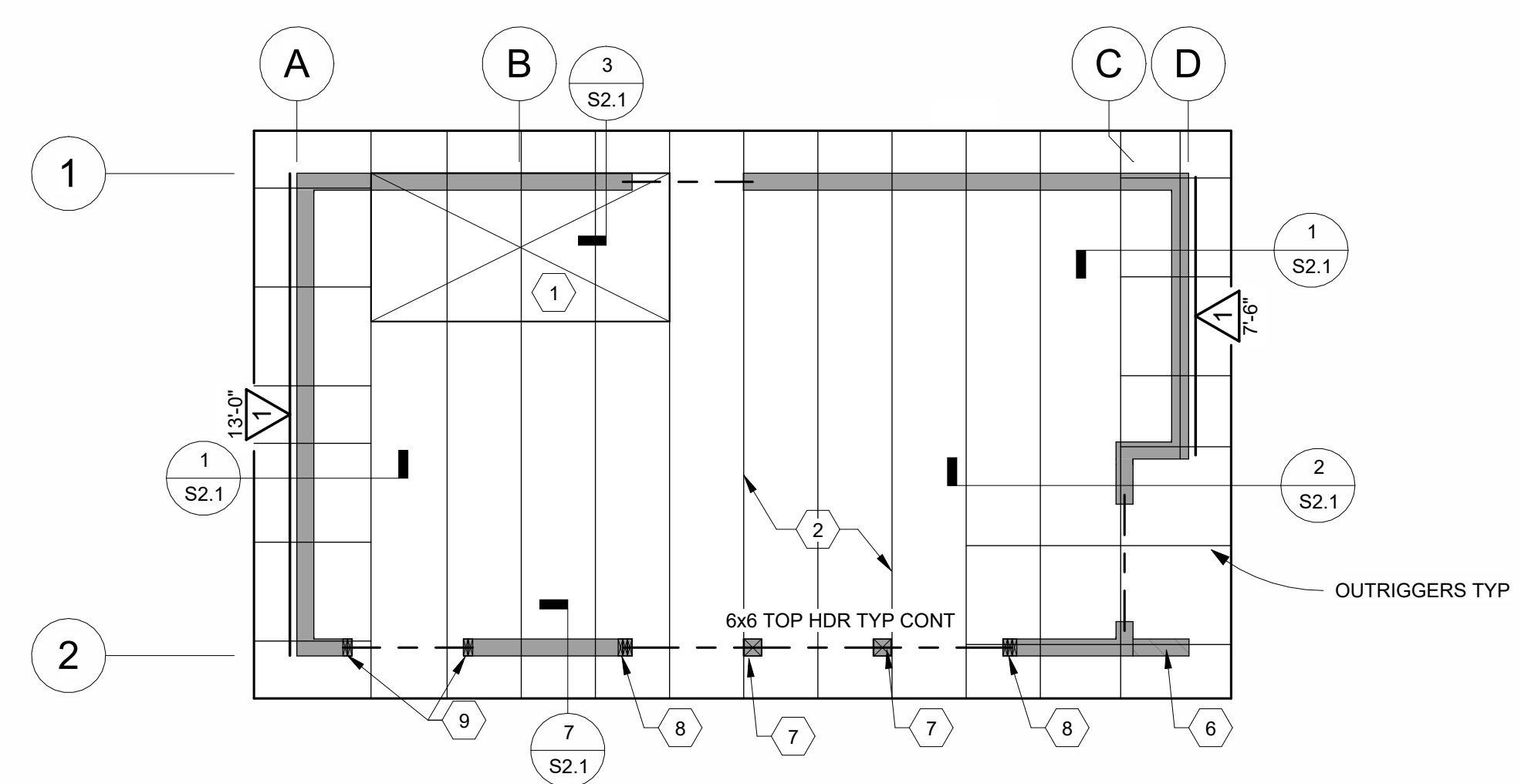


STRAP AROUND OPENING
 4
 S0.1 1/2" = 1'-0"

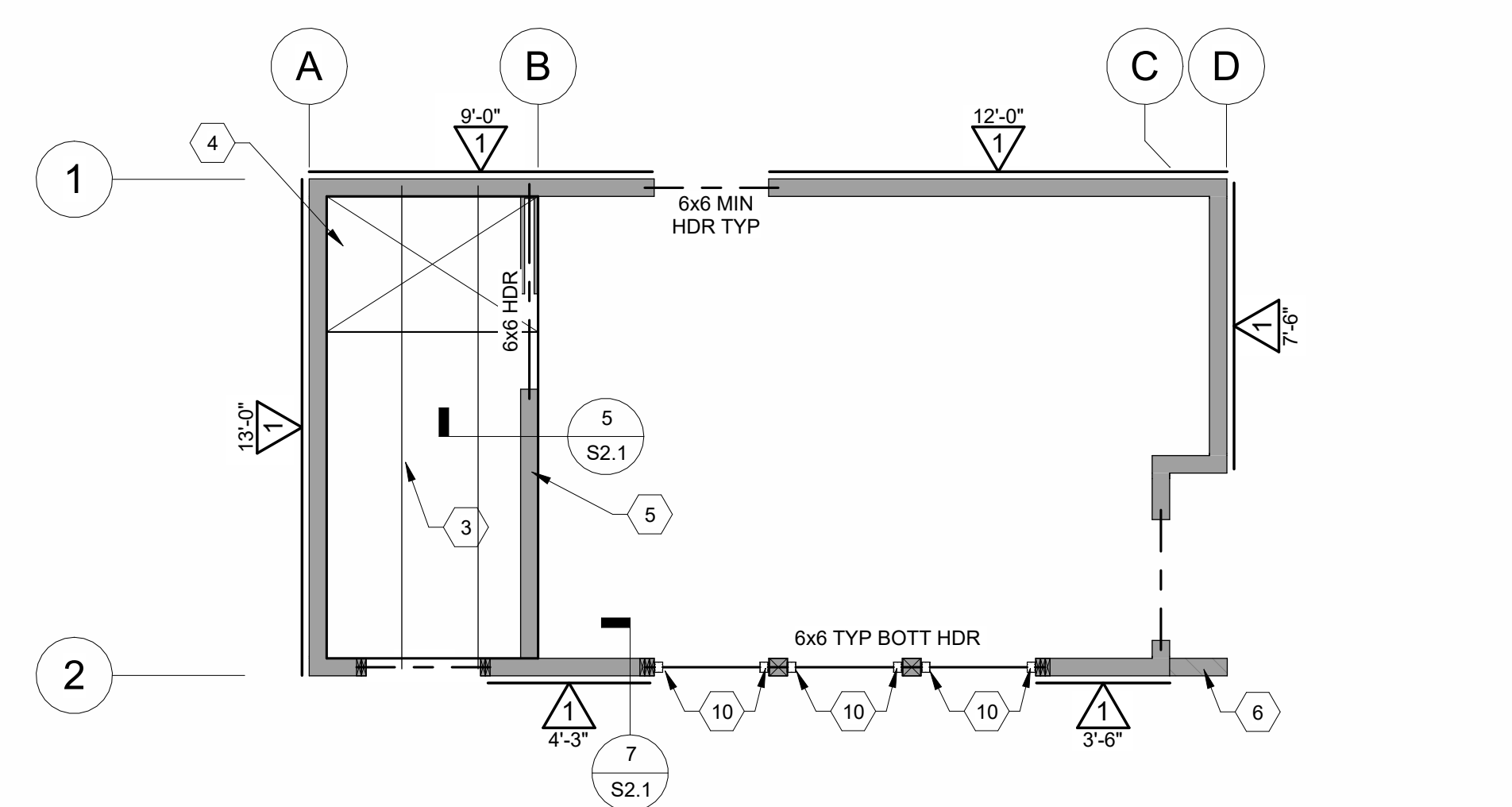
- NOTES:
- PLACE STRAPS OVER PLYWOOD
 - HOLD DOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED. SEE FRAMING PLAN

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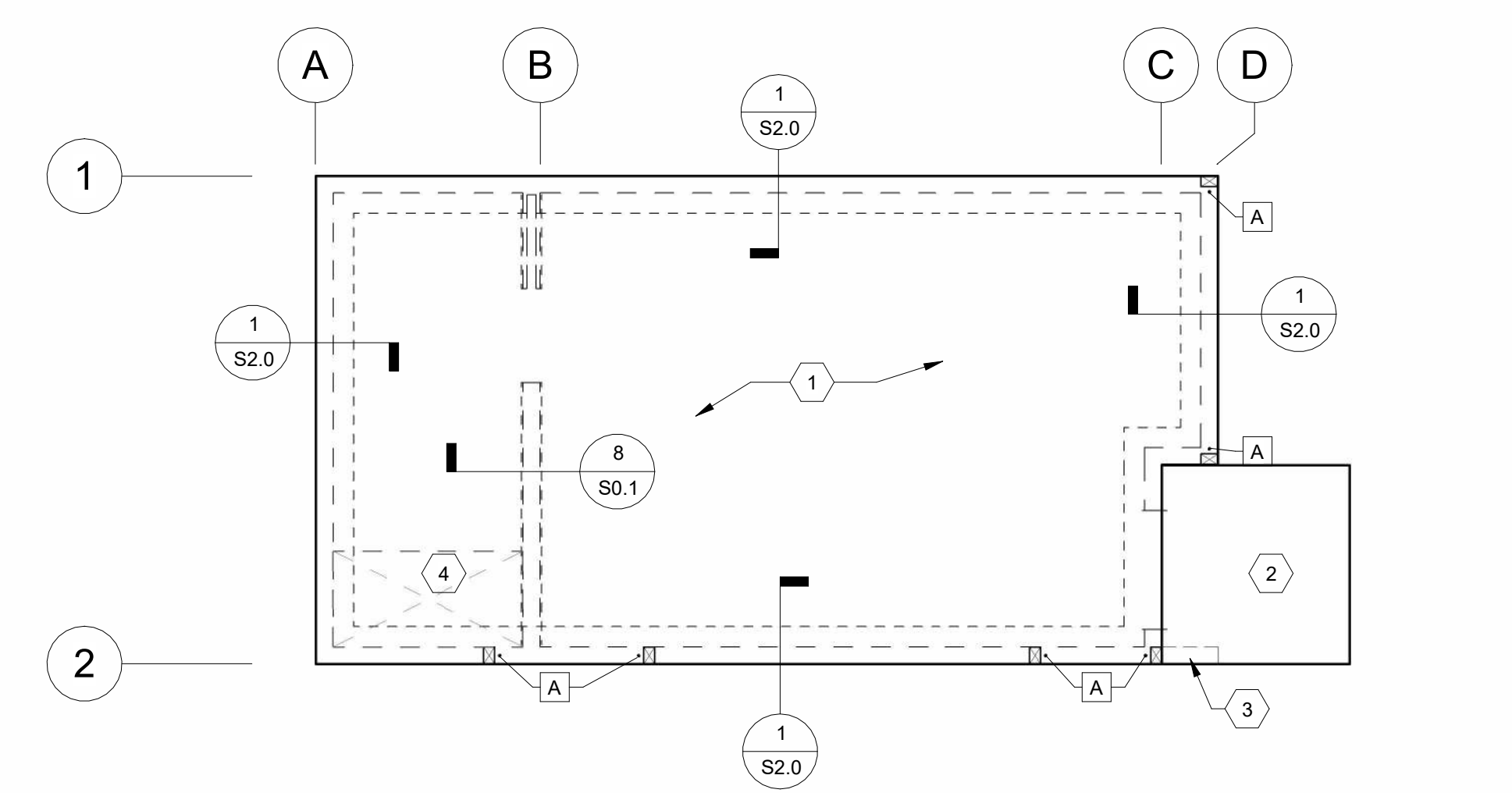
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EFFICIENCY MONOSLOPE STUDIO ROOF FRAMING PLAN
 1/4" = 1'-0"



EFFICIENCY MONOSLOPE STUDIO CEILING FRAMING PLAN
 1/4" = 1'-0"



EFFICIENCY MONOSLOPE STUDIO FOUNDATION PLAN
 1/4" = 1'-0"

ROOF AND CEILING/LOFT FRAMING NOTES

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

LEGEND

- KEYNOTE TAG. SEE KEYNOTE TABLES
- HOLDOWN TAG. SEE HOLDOWN SCHEDULE
- SHEARWALL TAG
- PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
- HOLDOWN POST
- WALL ABOVE
- WALL BELOW

FOUNDATION PLAN NOTES

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

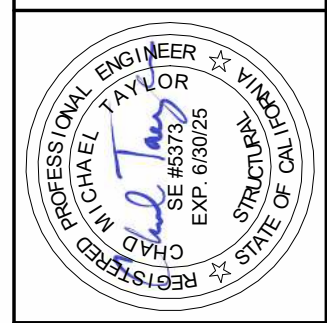
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD. SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	WALL STOPS AT CEILING
6	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
7	6x6 POST
8	2x TRIMMER WITH DBL 2x KING STUD
9	2x TRIMMER AND 2x KING STUD
10	HUC66 HANGER

NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
4	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SBS/8x24	9/S0.1
B	HDU4	DBL 2x6	SBS/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SBS/8x24	9/S0.1
D	HDU5	DBL 2x6	SBS/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SBS/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SBS/8x24	10/S0.1

BID SET. City of Alascadero Preview

CENTRAL COAST STOCK ADU



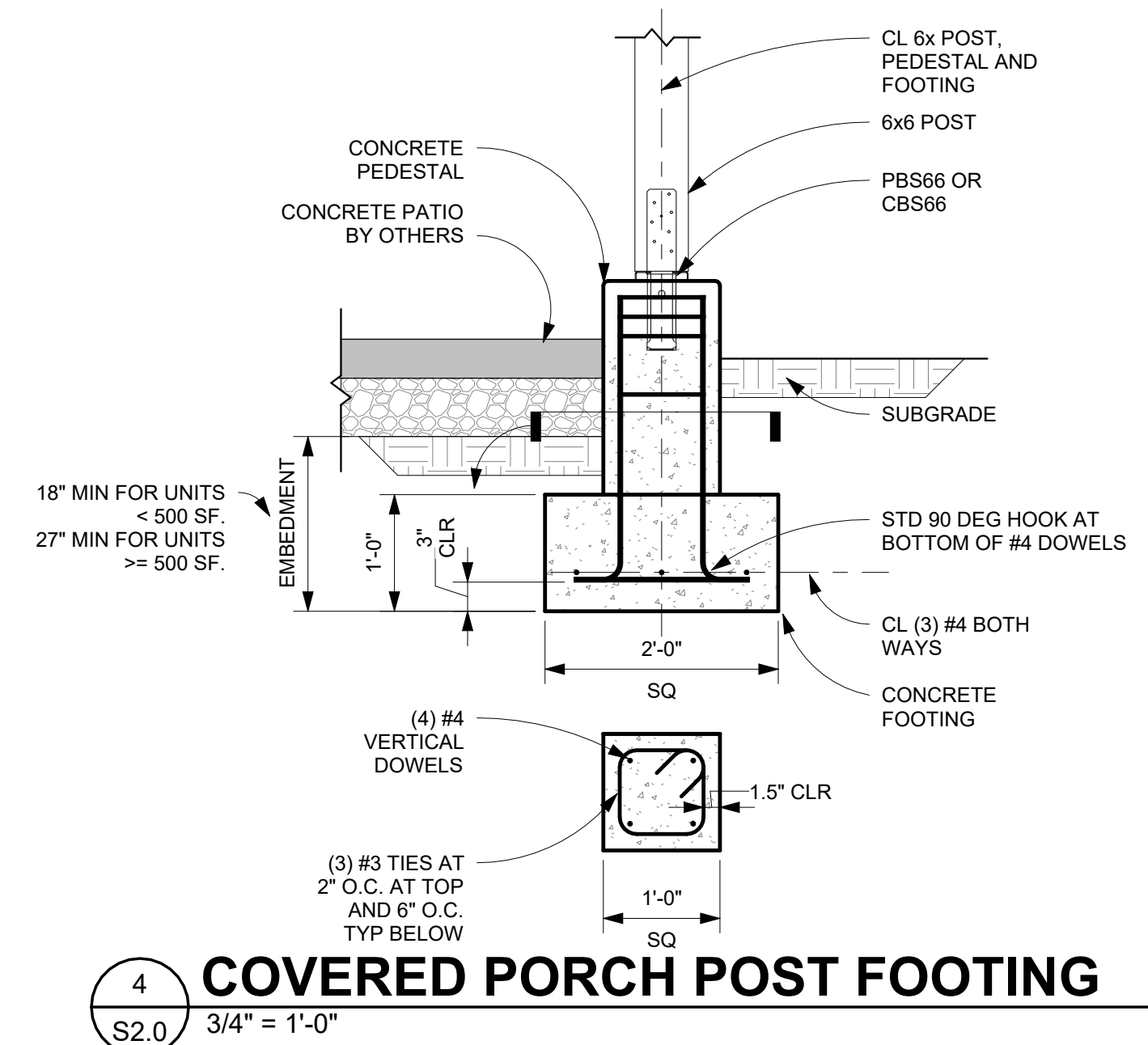
EFFICIENCY MONOSLOPE ROOF/CEILING FRAMING AND FOUNDATION PLAN

DATE: 11-18-2022
 JOB NO: 21091
 SHEET
S1.0M

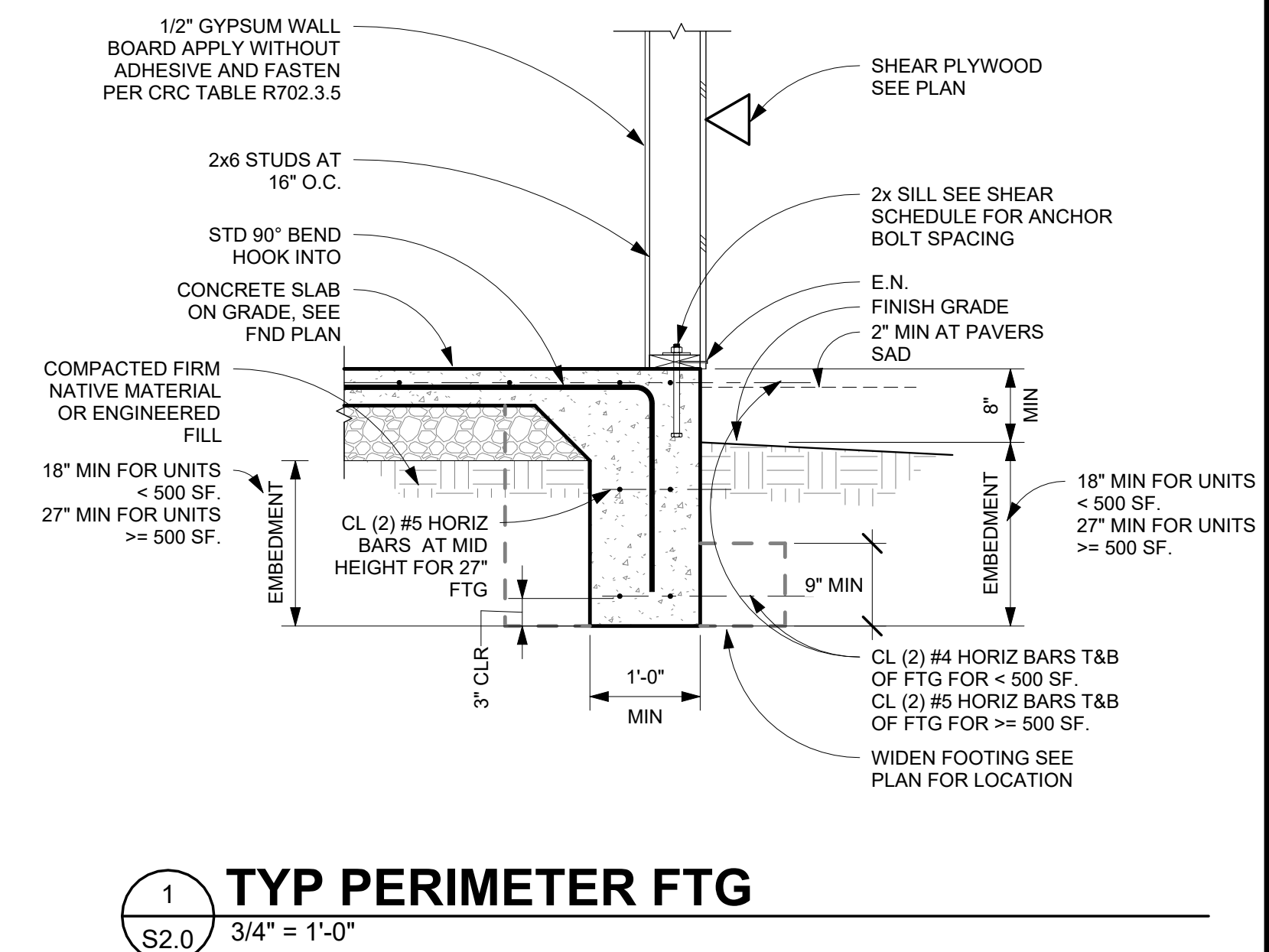
City of Atascadero

BID SET.

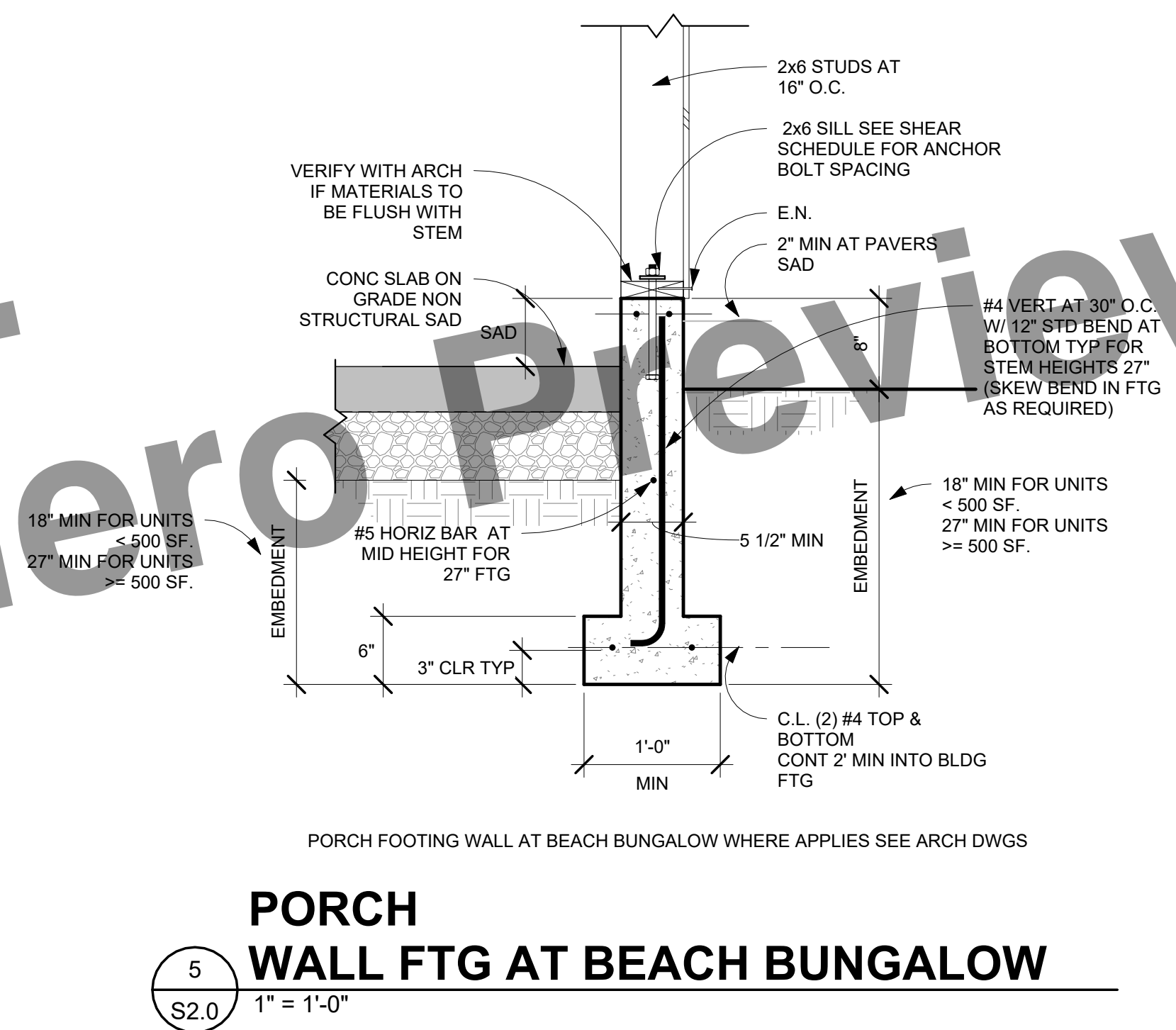
Preview



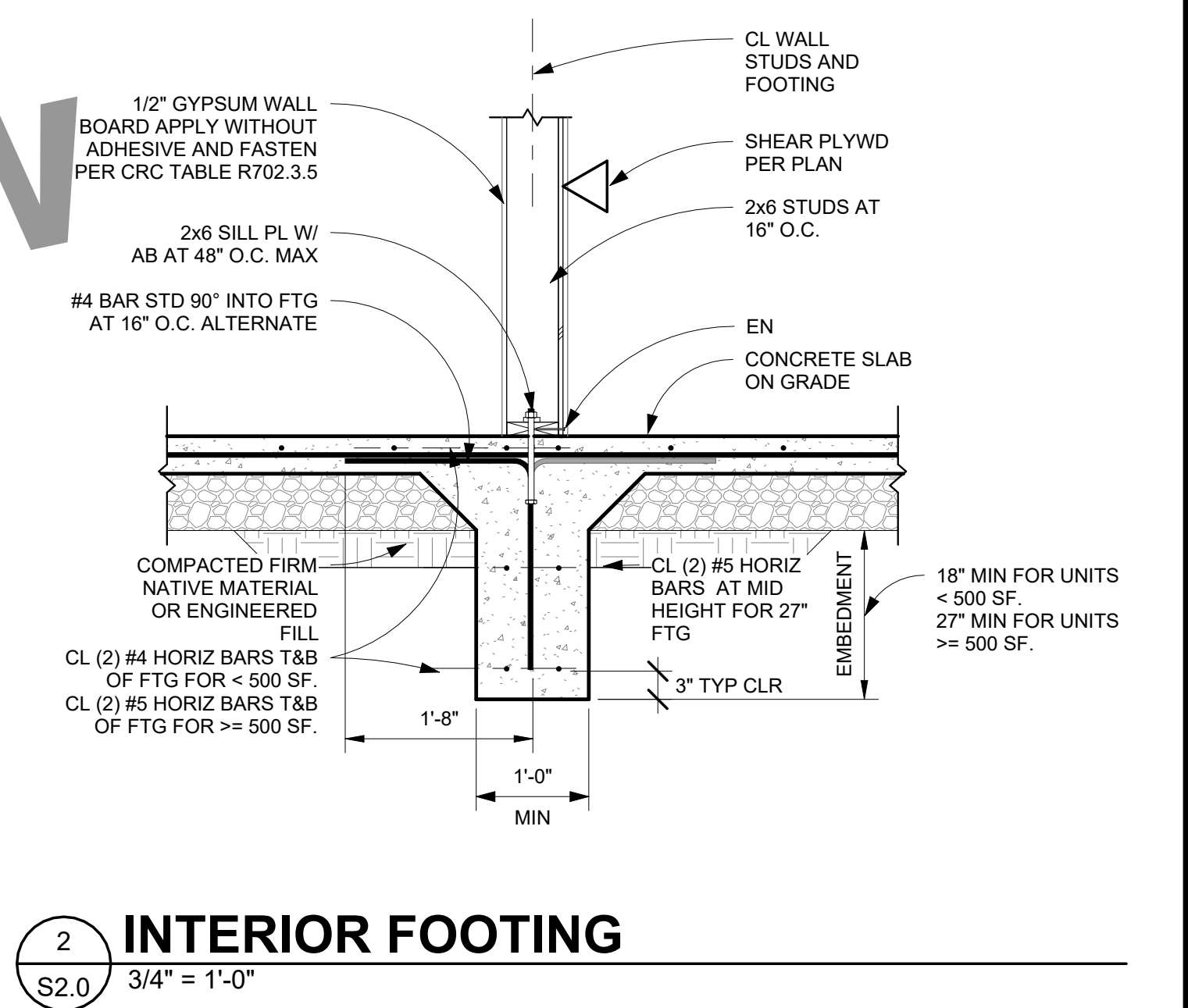
4 COVERED PORCH POST FOOTING
S2.0 3/4" = 1'-0"



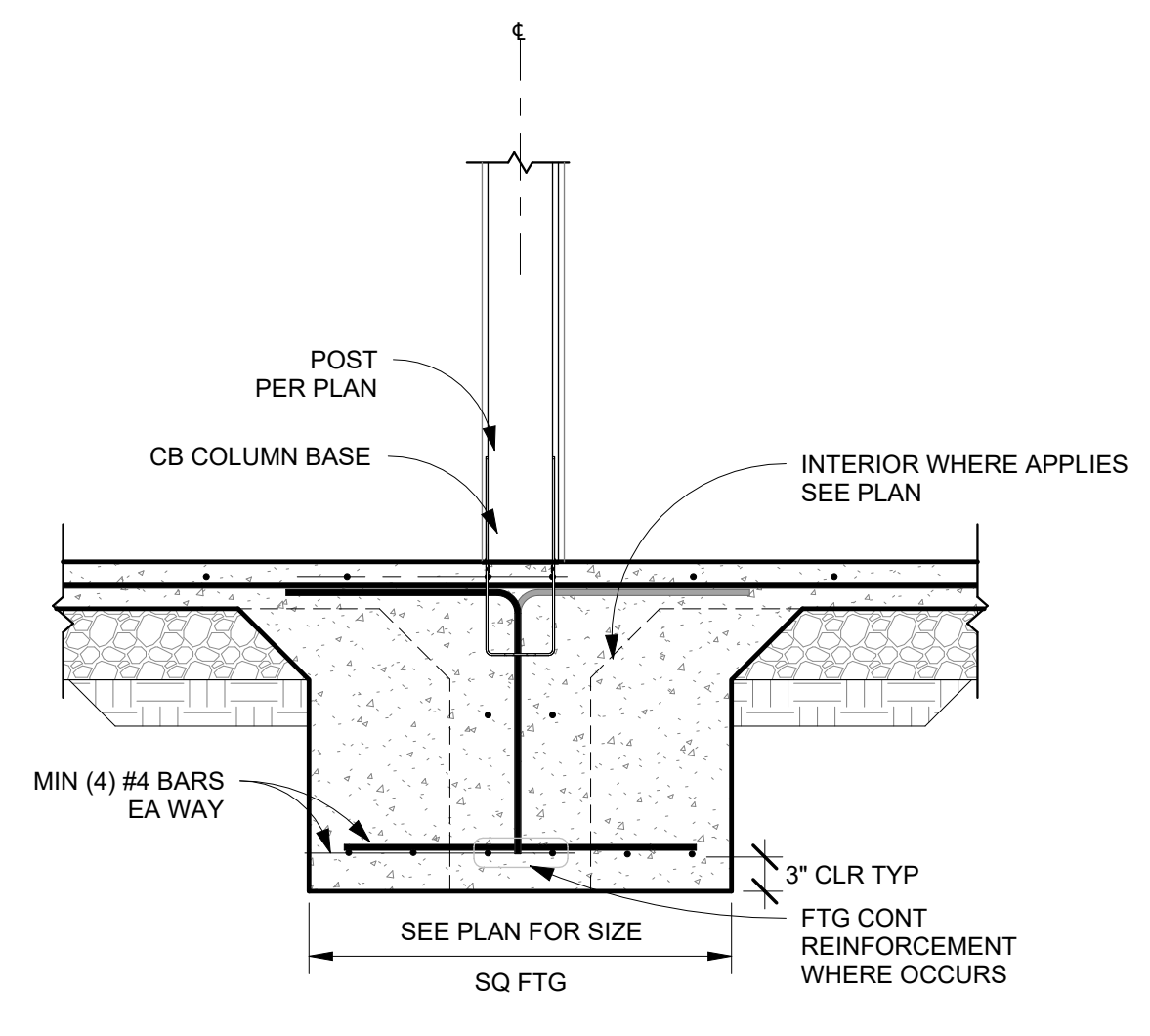
1 TYP PERIMETER FTG
S2.0 3/4" = 1'-0"



5 PORCH WALL FTG AT BEACH BUNGALOW
S2.0 1" = 1'-0"



2 INTERIOR FOOTING
S2.0 3/4" = 1'-0"



3 INTERIOR PAD FOOTING
S2.0 3/4" = 1'-0"

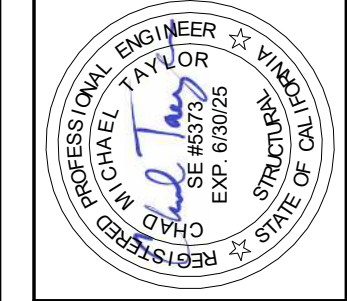
NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

REV	DATE	BY
1	7-14-23	CT

CM Taylor
STRUCTURAL ENGINEERING
C.M. Taylor Structural Engineering, Inc. 7426 Capitola Rd. Suite 204, Capitola, CA 95010
email: contact@cmtylors.com
Phone: 831-854-2484

CENTRAL COAST STOCK ADU

BY USING THESE SPECIFICATIONS AND PLANS, THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE FOLLOWING CONDITIONS:
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.
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9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND SOILS PRIOR TO CONSTRUCTION.



FOUNDATION DETAILS

DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.0

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL
ENGINEERING

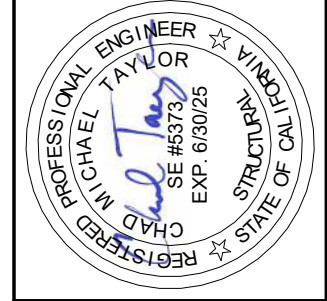
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CENTRAL COAST STOCK ADU

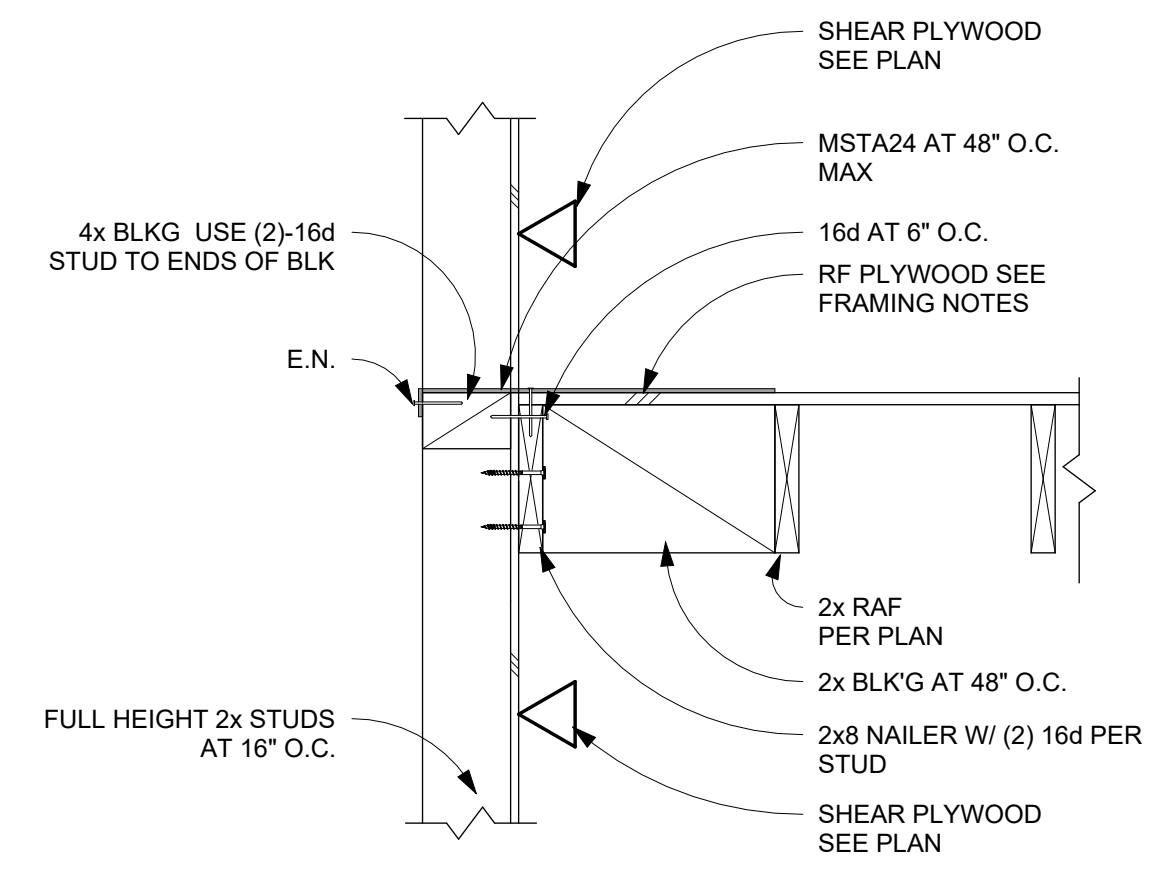
BID SET.

City of Atascadero Preview

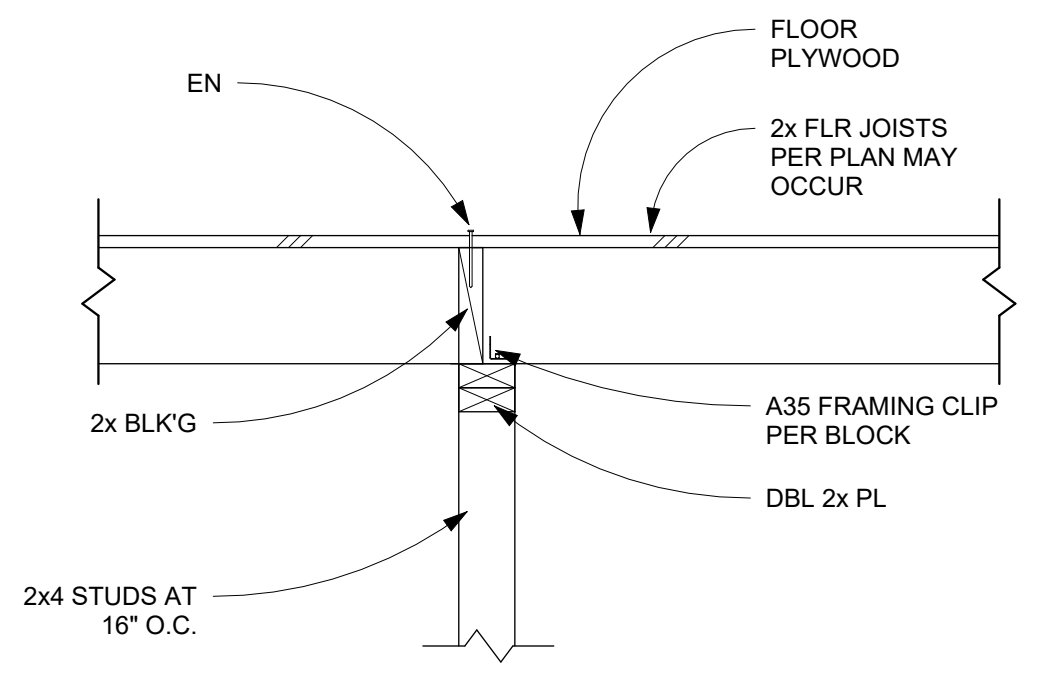


ROOF FRAMING DETAILS
(CONTINUED)

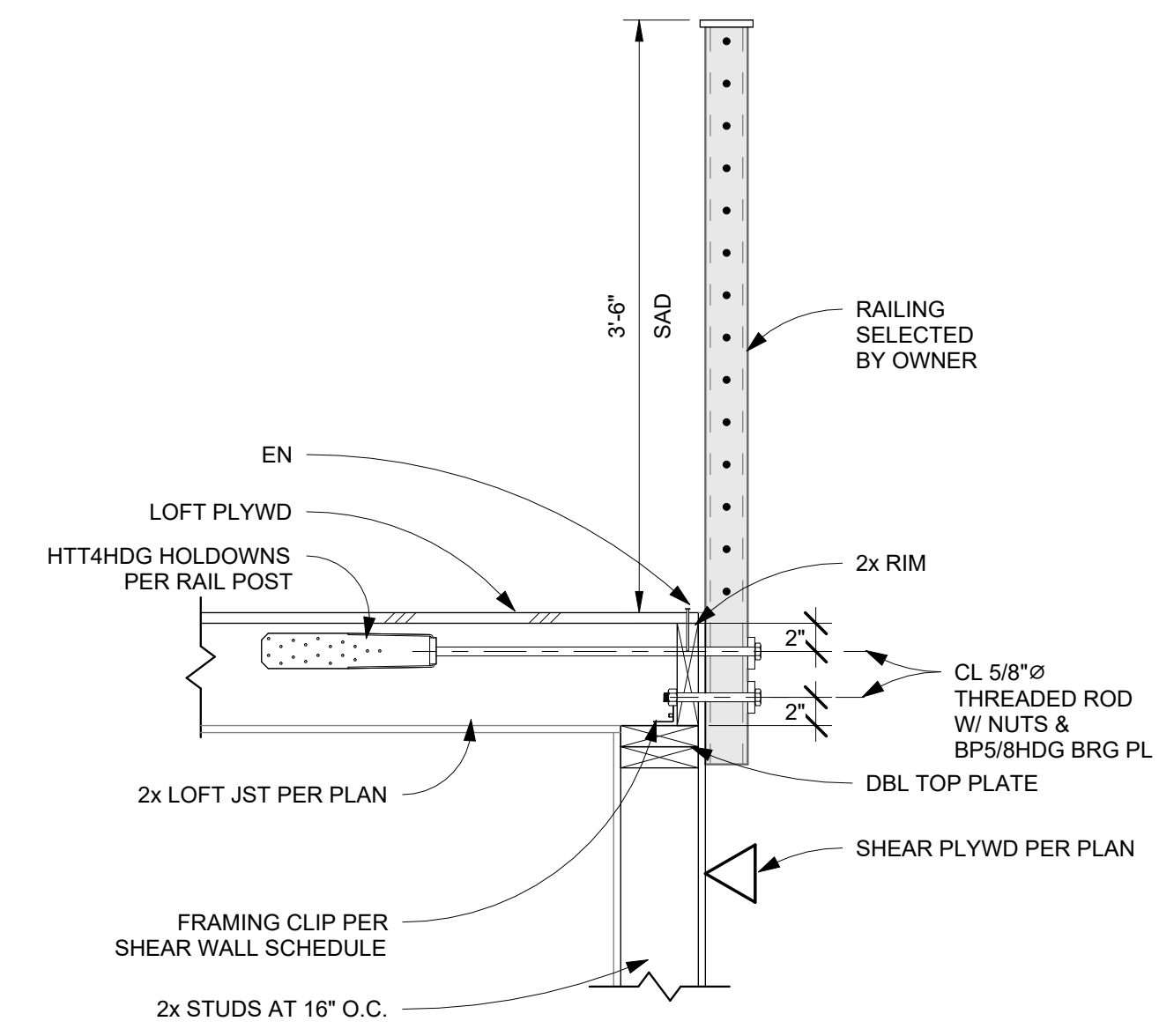
DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.2



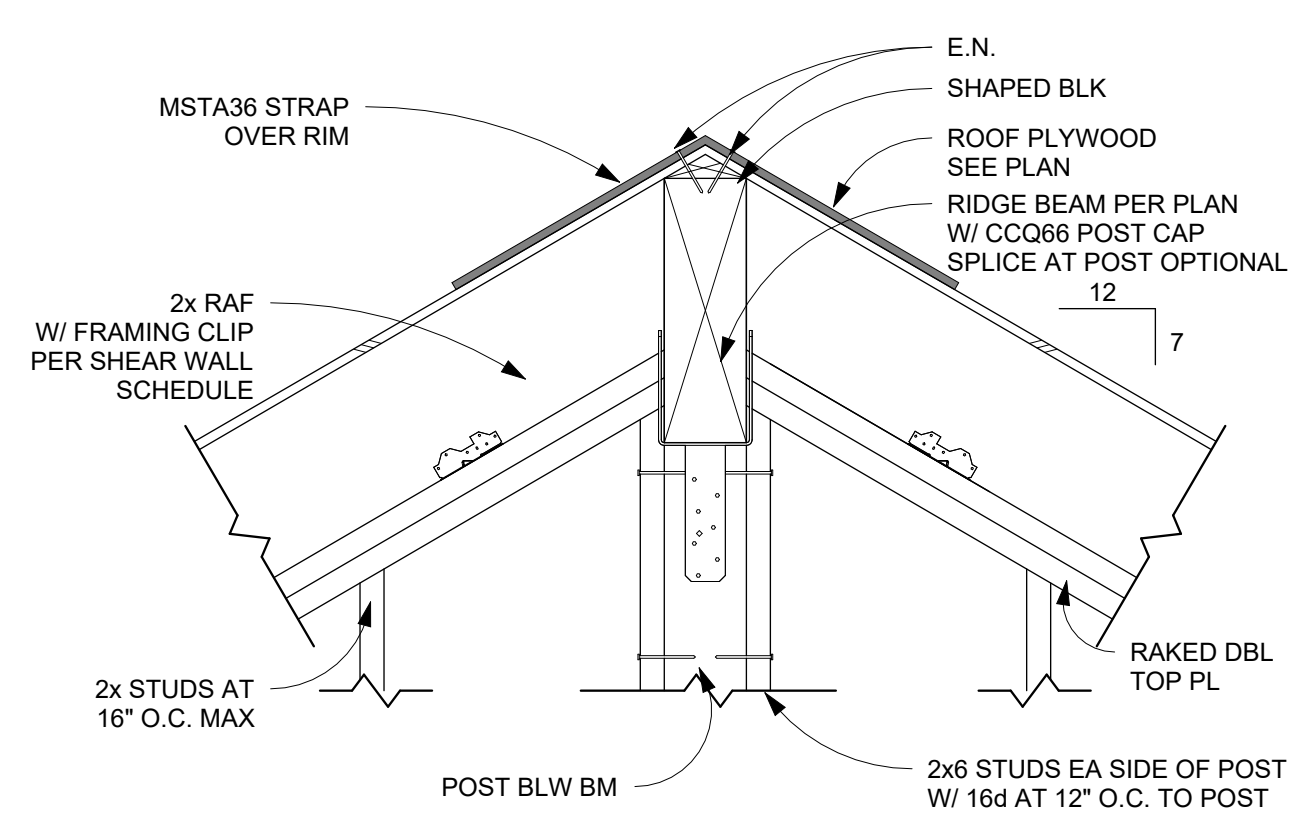
9 LOWER ROOF TO FULL HEIGHT WALL
S2.2 1" = 1'-0"



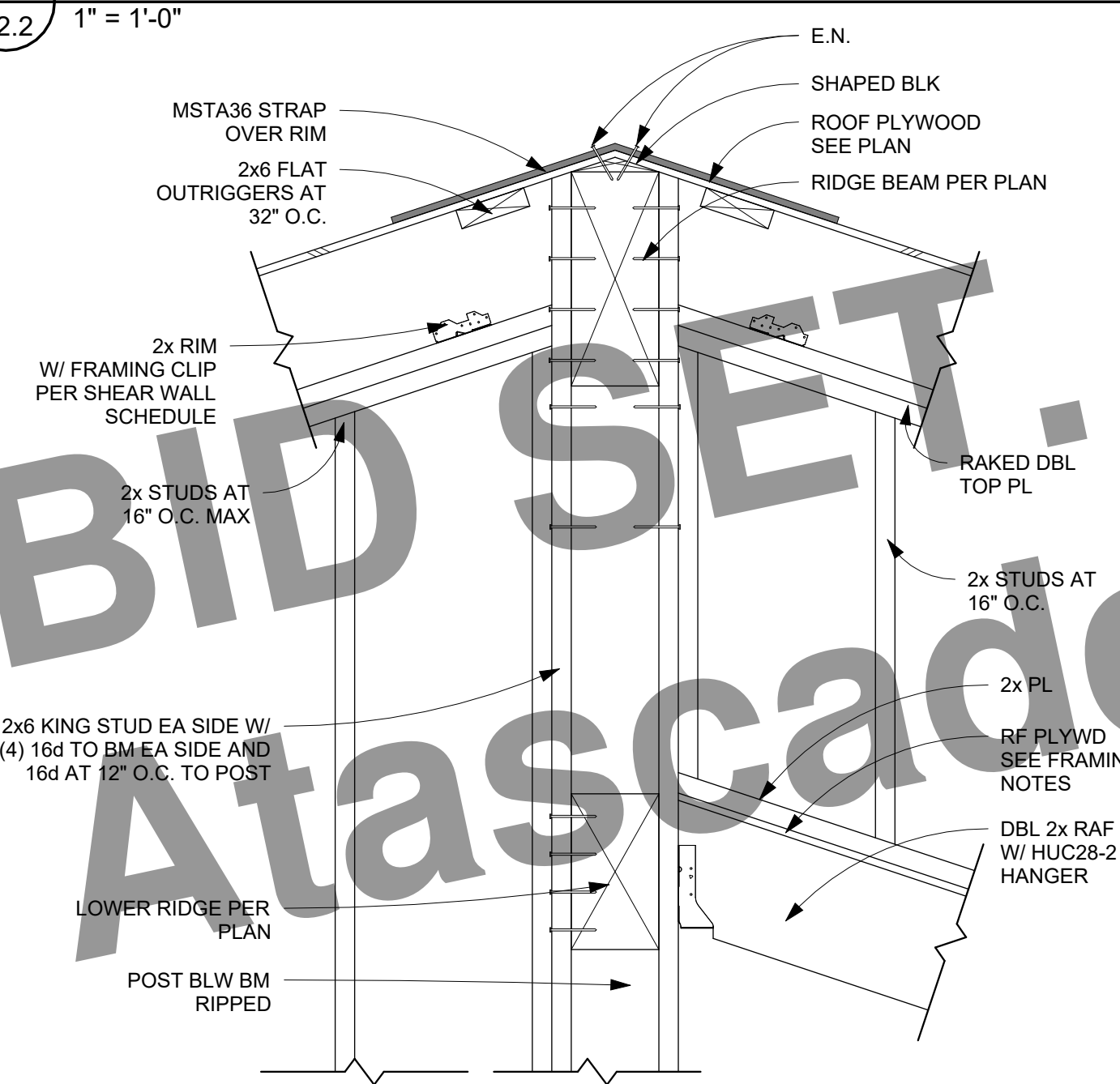
6 FLOOR TO INTERIOR WALL CONN
S2.2 1" = 1'-0"



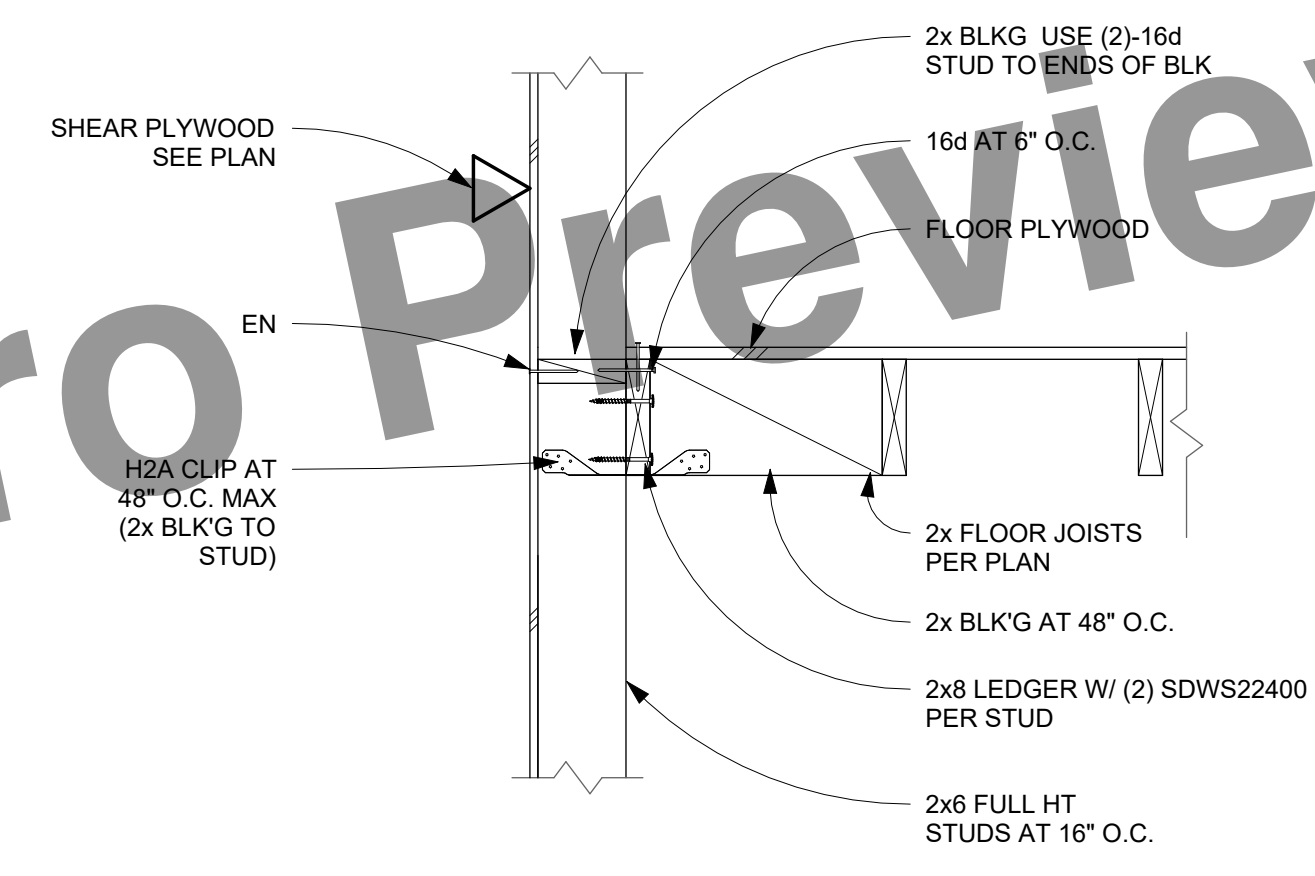
3 LOFT EDGE CONNECTION II
S2.2 1" = 1'-0"



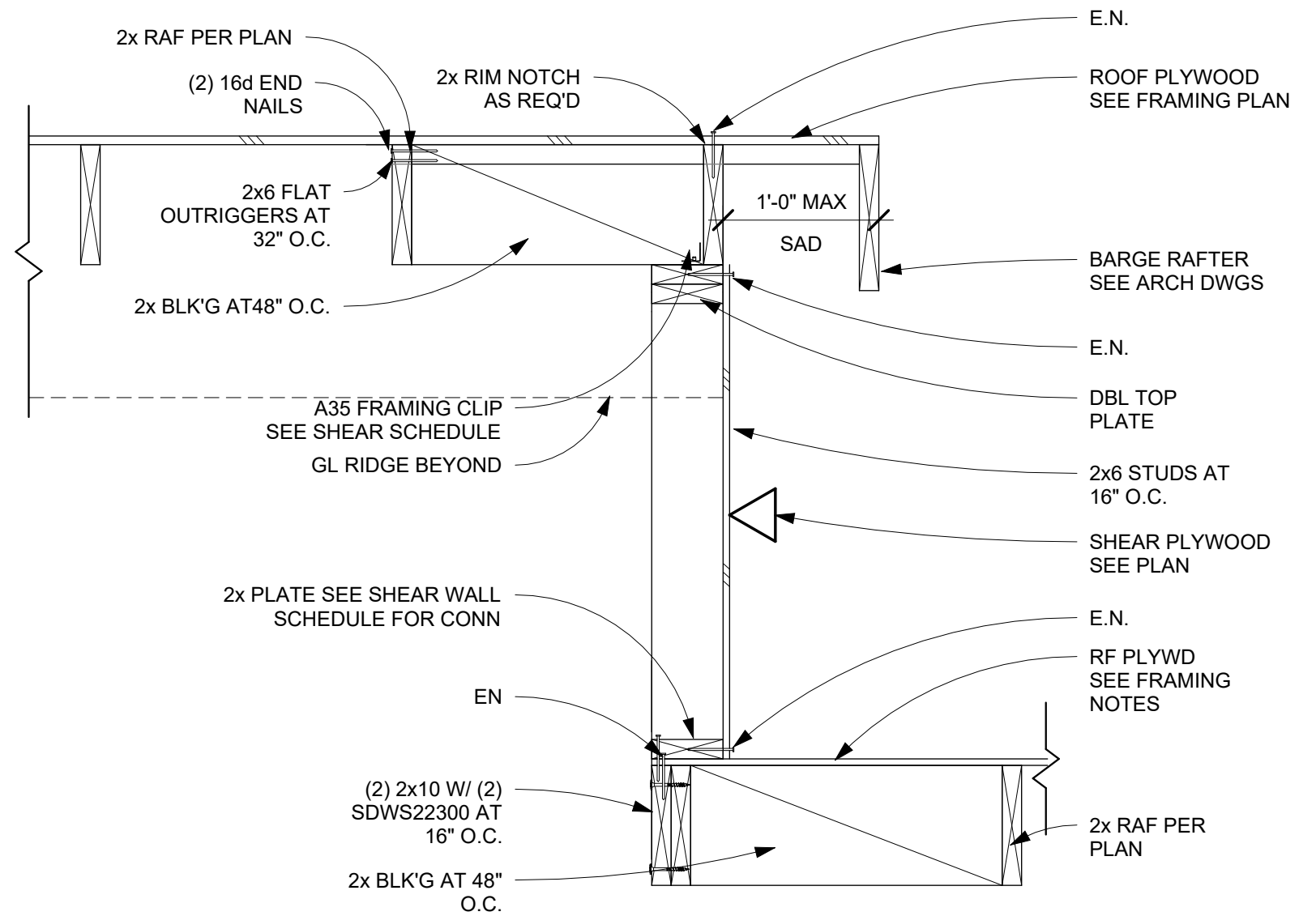
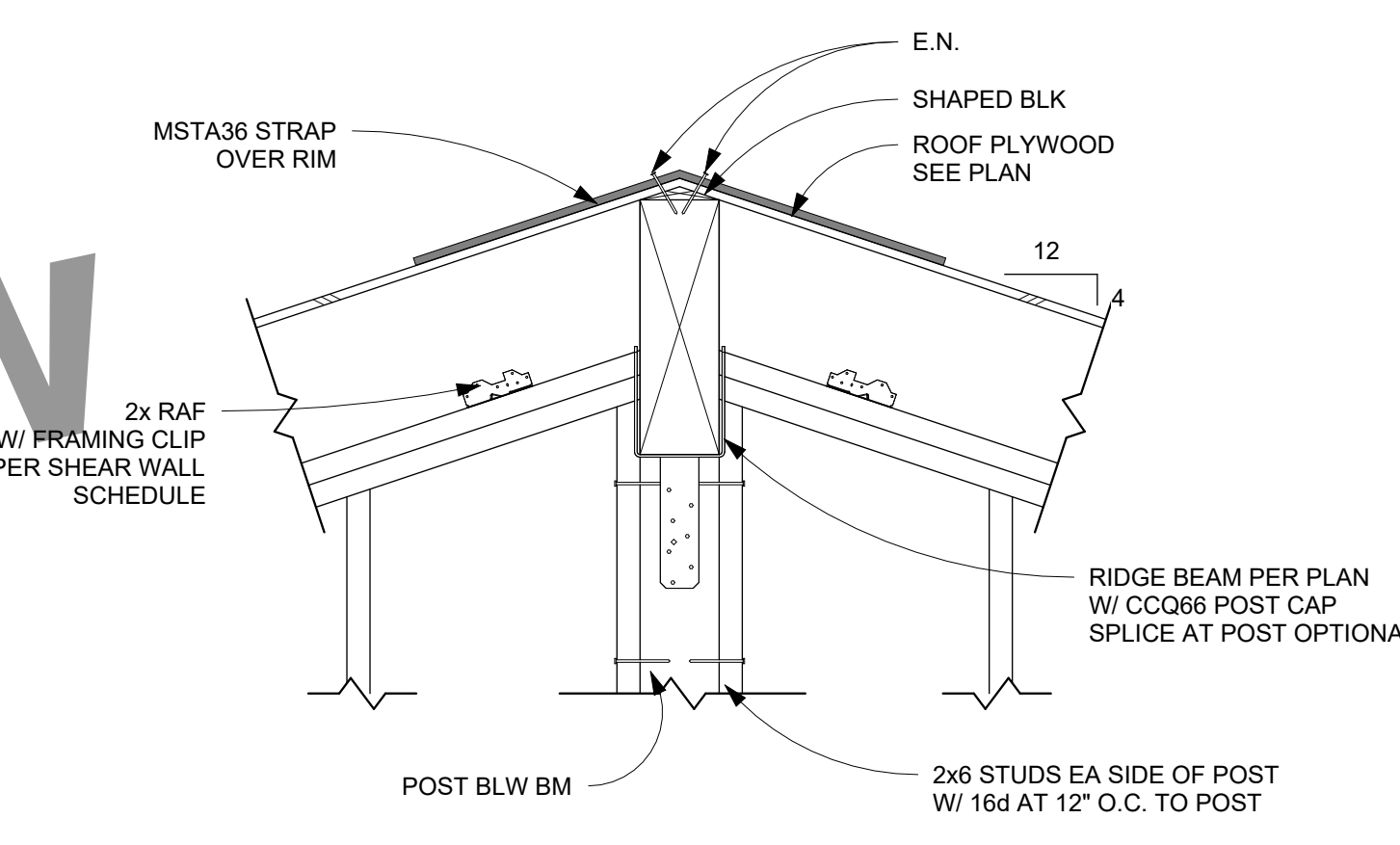
1 RIDGE SPLICE AT INT WALL
S2.2 1" = 1'-0"



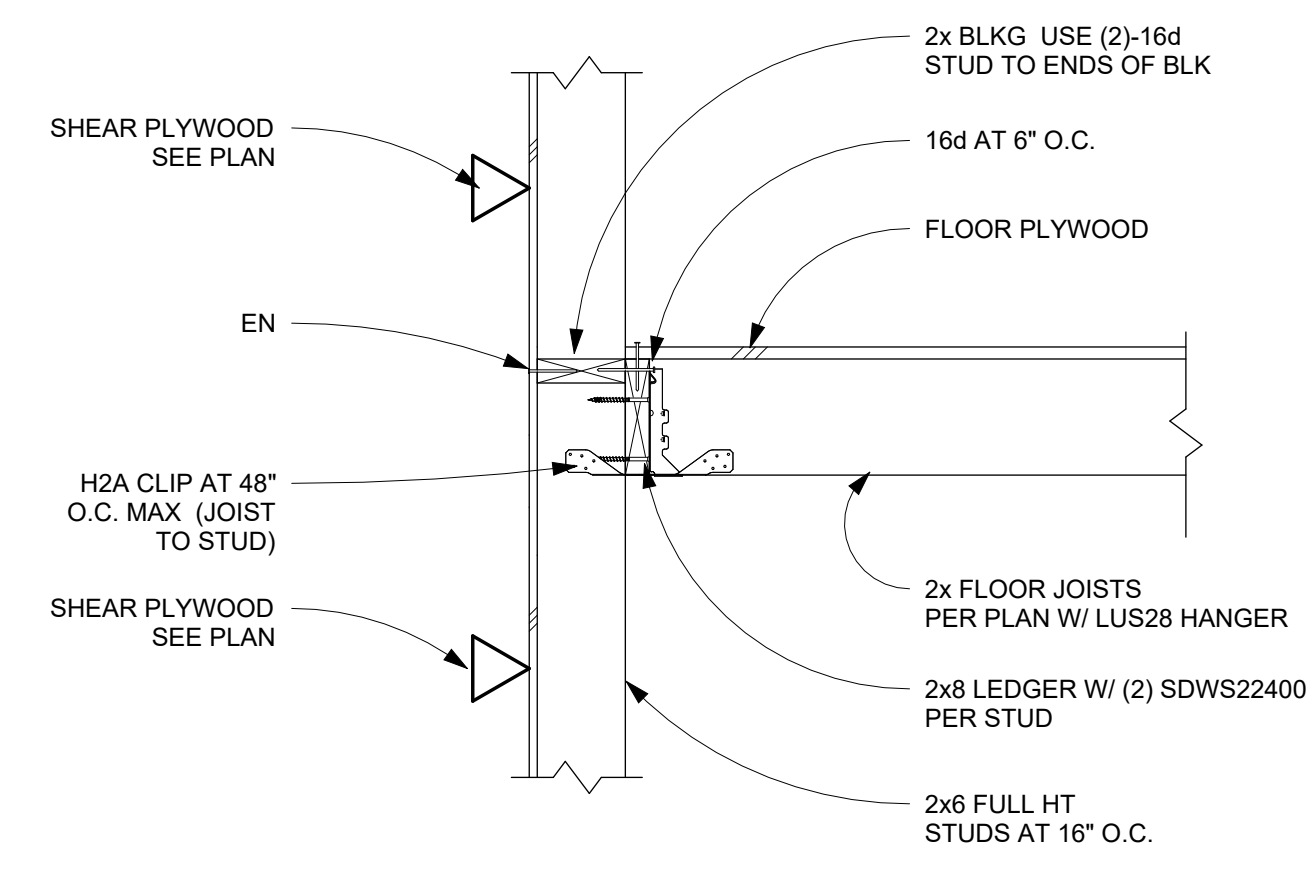
7 DOUBLE RIDGE TO WALL
S2.2 1" = 1'-0"



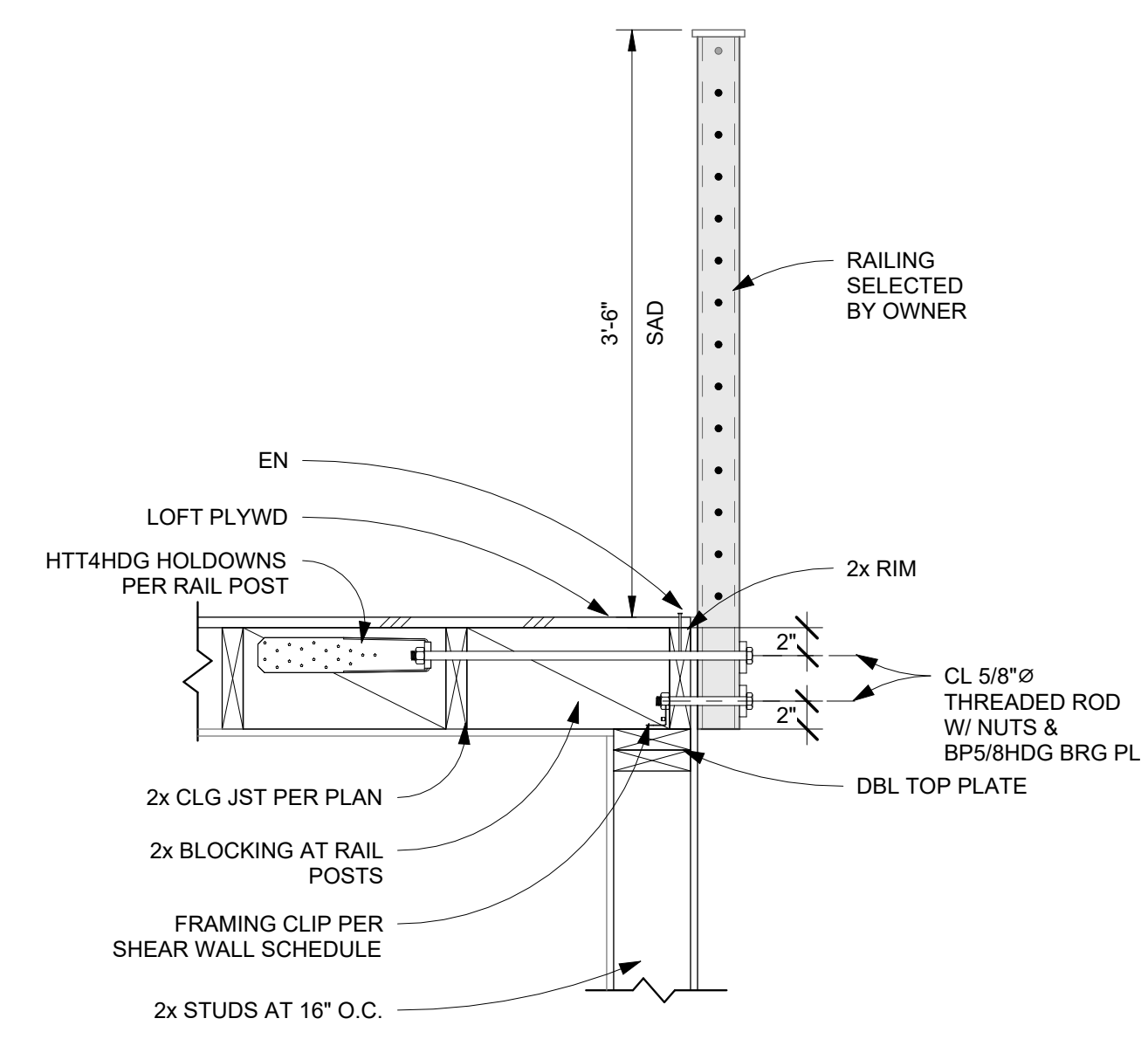
4 LOFT/FLOOR TO WALL CONN
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II
S2.2 1" = 1'-0"



2 LOFT EDGE CONNECTION
S2.2 1" = 1'-0"

SYMBOLS & ABBREVIATIONS (MECHANICAL)

	BT	BYPASS TIMER	EC	ELECTRICAL CONTRACTOR
	CL	CENTER LINE	EDB	ENTERING DRY BULB
	CD	CONDENSATE DRAIN	EOD	EXTENT OF DEMOLITION
	Ø	DIAMETER	ETR	EXISTING TO REMAIN
	Ø	EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWB	ENTERING WET BULB
	Ø	EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	EWT	ENTERING WATER TEMPERATURE
	Ø	EXTENT OF DEMOLITION	°F	DEGREES FAHRENHEIT
	Ø	EXHAUST DUCT UP, DOWN, FENE # DEMO	FC	FLEXIBLE CONNECTION
	FD	FIRE DAMPER	FD	FIRE DAMPER
	FD	FIRE DAMPER	FLA	FULL LOAD AMPS
	FD	POINT OF CONNECTION	F5D	FIRE SMOKE DAMPER
	FD	P/T PLUG	FT.HD.	FEET HEAD
	FD	RETURN OR EXHAUST AIR	FTR	FLUE THRU ROOF
	FD	RETURN DUCT UP, DOWN, FENE # DEMO	GC	GENERAL CONTRACTOR
	FD	SPEED CONTROL SWITCH	GPM	GALLONS PER MINUTE
	FD	SPIN-IN EXTRACTOR/DAMPER	HP	HORSE POWER
	FD	SUPPLY DUCT UP, DOWN, FENE # DEMO	KW	KILOWATTS
	FD	SUPPLY OR OUTSIDE AIR	LBS	POUNDS
	FD	THERMOSTAT at + 48°	LWT	LEAVING WATER TEMPERATURE
	FD	TO BE REMOVED	MBH	1,000 BTU/HR
	FD	TRANSFER AIR	MC	MECHANICAL CONTRACTOR
	FD	TURNING VANES	(N)	NEW
	FD	VOLUME DAMPER	NC	NOT IN CONTRACT
			NTS	NOT TO SCALE
			OBD	OPPOSED BLADE DAMPER
			OSA	OUTSIDE AIR
			PC	PLUMBING CONTRACTOR
			PENE	PENETRATION
			PD	PRESSURE DROP
			PH	PHASE
			POC	POINT OF CONNECTION
			P/N	PART NUMBER
			PRV	PRESSURE REDUCING VALVE
			PSI	POUNDS PER SQUARE INCH
			P/T	PRESSURE / TEMPERATURE
			RA	RETURN AIR
			RAD	RETURN AIR DUCT
			(RL)	RELOCATE
			RPM	REVOLUTIONS PER MINUTE
			SA	SUPPLY AIR
			SAD	SUPPLY AIR DUCT
			SD	SUPPLY DIFFUSER
			SP	STATIC PRESSURE
			SS	STAINLESS STEEL
			STD	STANDARD
			TV	TURNING VANES
			TYP	TYPICAL
			UCD	UNDERCUT DOOR
			UON	UNLESS OTHERWISE NOTED
			V	VOLT
			VD	VOLUME DAMPER
			VIF	VERIFY IN FIELD
			W	WITH
			WC	WATER COLUMN
			WT	WEIGHT
			W/O	WITH OUT
AD		ACCESS DOOR		
AFF		ABOVE FINISH FLOOR		
AL		ACOUSTICALLY LINED		
AP		ACCESS PANEL		
BD		BALANCING DAMPER		
BDD		BACKDRAFT DAMPER		
BHP		BRAKE HORSE POWER		
BJ		BETWEEN JOIST		
BTU		BRITISH THERMAL UNIT		
C.		CONDUIT		
CA		COMBUSTION AIR		
CD		CONDENSATE DRAIN		
CFM		CUBIC FEET PER MINUTE		
DEMO		DEMOLITION		
DL		DOOR LOUVER		
(E)		EXISTING		
EAD		EXHAUST AIR DUCT		

GENERAL MECHANICAL NOTES

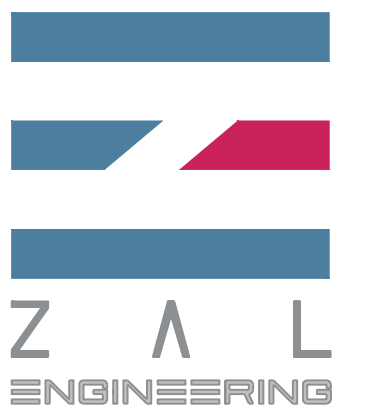
- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
	CHECK VALVE	CA	COMPRESSED AIR PIPING
	CLEANOUT	CB	CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)	CD	CONDENSATE
	DOMESTIC COLD WATER (NEW)	CFH	CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)	CI	CAST IRON
	DOMESTIC HOT WATER (NEW)	CP	CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (NEW)	DHW	DOMESTIC HOT WATER
	DIRECTION OF FLOW	DHW/R	DOMESTIC HOT WATER RETURN
	DRY STANDPIPE	DCV	DETECTOR CHECK VALVE
	FIRE SPRINKLER PIPING	DN	DOWN
	FLANGED UNION	DS	DOWN SPOUT
	FLOOR DRAIN	DSP	DRY STAND PIPE
	FLOOR SINK	(E)	EXISTING
	FORCE MAIN	EC	ELECTRICAL CONTRACTOR
	GAS PIPING (EXISTING)	EL	ELEVATION
	GAS PIPING (NEW)	(F)	FIRE SPRINKLER PIPING
	GAS COCK	FC	FLEX CONNECTOR
	GATE VALVE	FCO	FLOOR CLEANOUT
	GLOBE VALVE	FD	FLOOR DRAIN
	HOSE BIBB (3/4" MIN.)	FL	FIRE LINE
	PETES PLUG	FM	FORCE MAIN
	PIPE (ABOVE THE CEILING)	FS	FLOOR SINK
	PIPE HANGER	FSC	FIRE SPRINKLER CONTRACTOR
	PIPE TURNING UP (RISE)	GC	GENERAL CONTRACTOR
	PIPE TURNING DOWN (DROP)	GCO	GROUND CLEANOUT
	PIPE TEE DOWN	GPM	GALLONS PER MINUTE
	PRESSURE REDUCING VALVE	HB	HOSE BIBB
	T & P RELIEF VALVE	HWS	HOT WATER SUPPLY
	POINT OF CONNECTION TO EXISTING	IE:	INVERT ELEVATION
	RAIN WATER LEADER (EXISTING)	LAV	LAVATORY
	RAIN WATER LEADER	MC	MECHANICAL CONTRACTOR
	REDUCER	NPW	NON POTABLE WATER
	ROOF DRAIN	(N)	NEW
	STORM DRAIN (EXISTING)	OFD	OVERFLOW DRAIN
	STORM DRAIN (NEW)	PC	PLUMBING CONTRACTOR
	STRAINER	PIC	POST INDICATION VALVE
	SUB-SOIL PIPING	POC	POINT OF CONNECTION
	UNION	POD	POINT OF DEMOLITION
	VENT PIPING (EXISTING)	PP	PETES PLUG
	VENT PIPING (NEW)	PRV	PRESSURE REDUCING VALVE
	WASTE PIPING (EXISTING)	PVC	POLYVINYL CHLORIDE PIPE
	(N) WASTE PIPING (NEW)	RD	ROOF DRAIN
	WASTE PIPING - UNDERGROUND (NEW)	RPB/PF	BACKFLOW PREVENTOR REDUCED PRESSURE
	WET STANDPIPE (EXISTING)	RWL	RAIN WATER LEADER
	WET STANDPIPE (NEW)	SD	STORM DRAIN
	WATERHAMMER ARRESTOR (WHA)	SOV	SHUTOFF VALVE
	TRAP PRIMER (TP)	SS	SANITARY SEWER
		TP	TRAP PRIMER
		V	VENT
		VB	VALVE BOX
		VIF	VERIFY IN FIELD
		VTR	VENT THRU ROOF
		W	WASTE
		WC	WATER CLOSET
		WCO	WALL CLEANOUT
		WH	WATER HEATER
		WHA	WATER HAMMER ARRESTOR
		WM	WATER METER

GENERAL PLUMBING NOTES

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
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- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 95040
TELEPHONE (831) 641-7799
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**GENERAL NOTES
MECHANICAL
& PLUMBING**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

MPO. 1

SHEET OF

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY SEER	REFR	V/PH	MCA	MOCP	WT. (LBS)	HT. W/O LEVELING	CRTS.	EQUIP. SERVED	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1/5/16	TSTAT.	IU-1	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1/1/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAH2	19.1	R410A	208/1	42	45	278	52-1/1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR.	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL				HEATING COIL			HT W/O	WEIGHT (LBS)	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT °F DB	°F WB	LAT	CAPACITY (MBH)	SENS	EAT °F DB	LAT	CAP				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1

NOTES: 1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.

EXHAUST FAN SCHEDULE													
CODE	MFR.	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR HP	V/PH	HT. W/O ISOLATORS	WEIGHT (LBS)	AREAS SERVED	SONES	COMMENTS
EF-1	PANASONIC	FV-051VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8	1

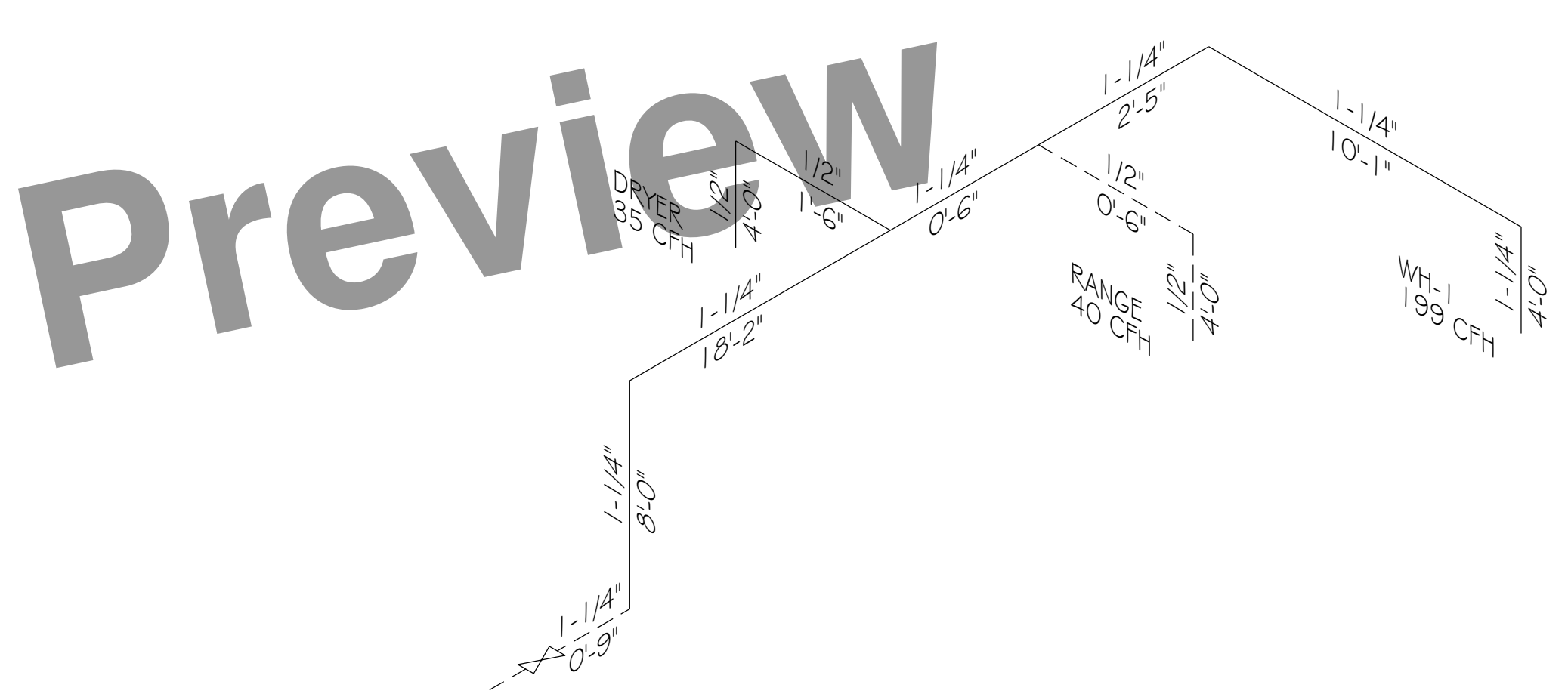
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM	
BT-1	BATHTUB	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	--	--	--	•	3	2	1/2	--	BATHROOMS	1.28 GPF	
SK-1	KITCHEN SINK	--	--	--	•	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM	
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA	
HB-1	HOSE BIB	--	--	--	•	--	--	--	1/2	EXTERIOR WALLS		

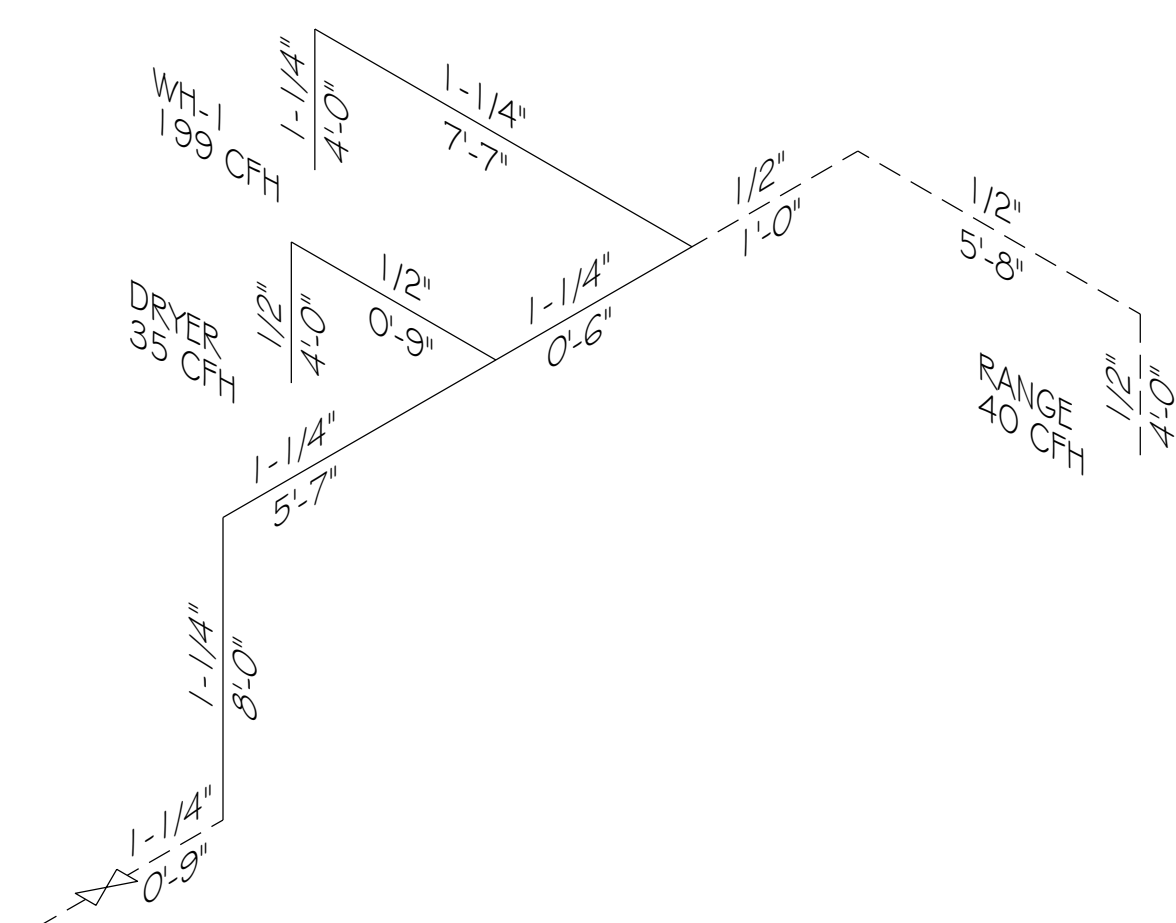
WATER HEATER SCHEDULE														
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY INPUT	TANK CAPACITY	GPH @ FRISE	ELECTRICAL			WEIGHT (LBS)	HEIGHT (IN)	PART NO.	MFG	REMARKS
							H.P.	VOLT	PH					
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	EU199	RINNAI	DEF: 0.93
EW-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	68	XE40T (OHS45) UO	RHEEM	DUCT HEAT REJECTION TO OUTSIDE

BID SET

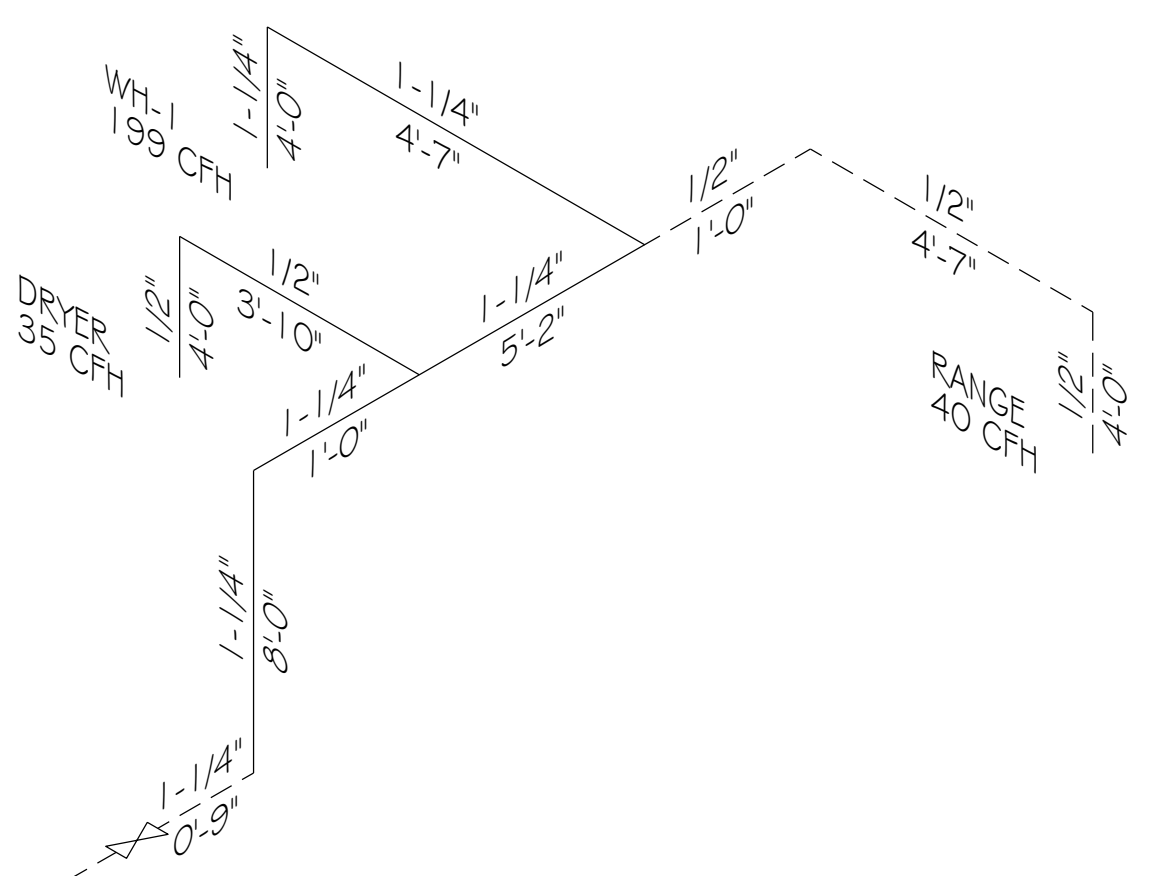
City of Atascadero



3 GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS
MPO.2 NO SCALE



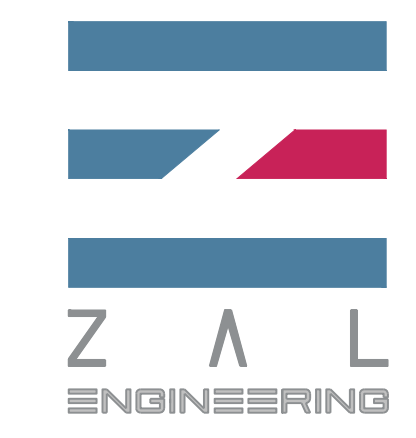
2 GAS ISOMETRIC DIAGRAM - STUDIO
MPO.2 NO SCALE



1 GAS ISOMETRIC DIAGRAM - EFFICIENCY
MPO.2 NO SCALE

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MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

SCHEDULES
& GAS
DIAGRAMS
MECHANICAL
& PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
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4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

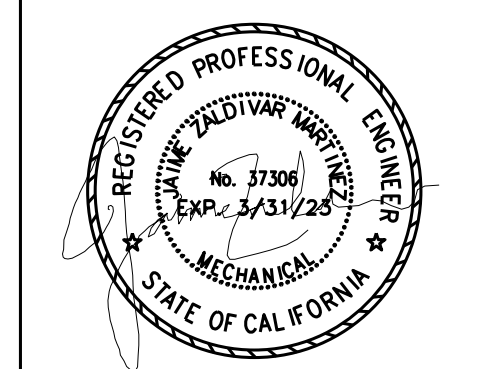
MPO.2

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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**EFFICIENCY
MECHANICAL
& PLUMBING
PLANS - E**

NO.	DESCRIPTION	DATE
1		
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ENGINEER BY:

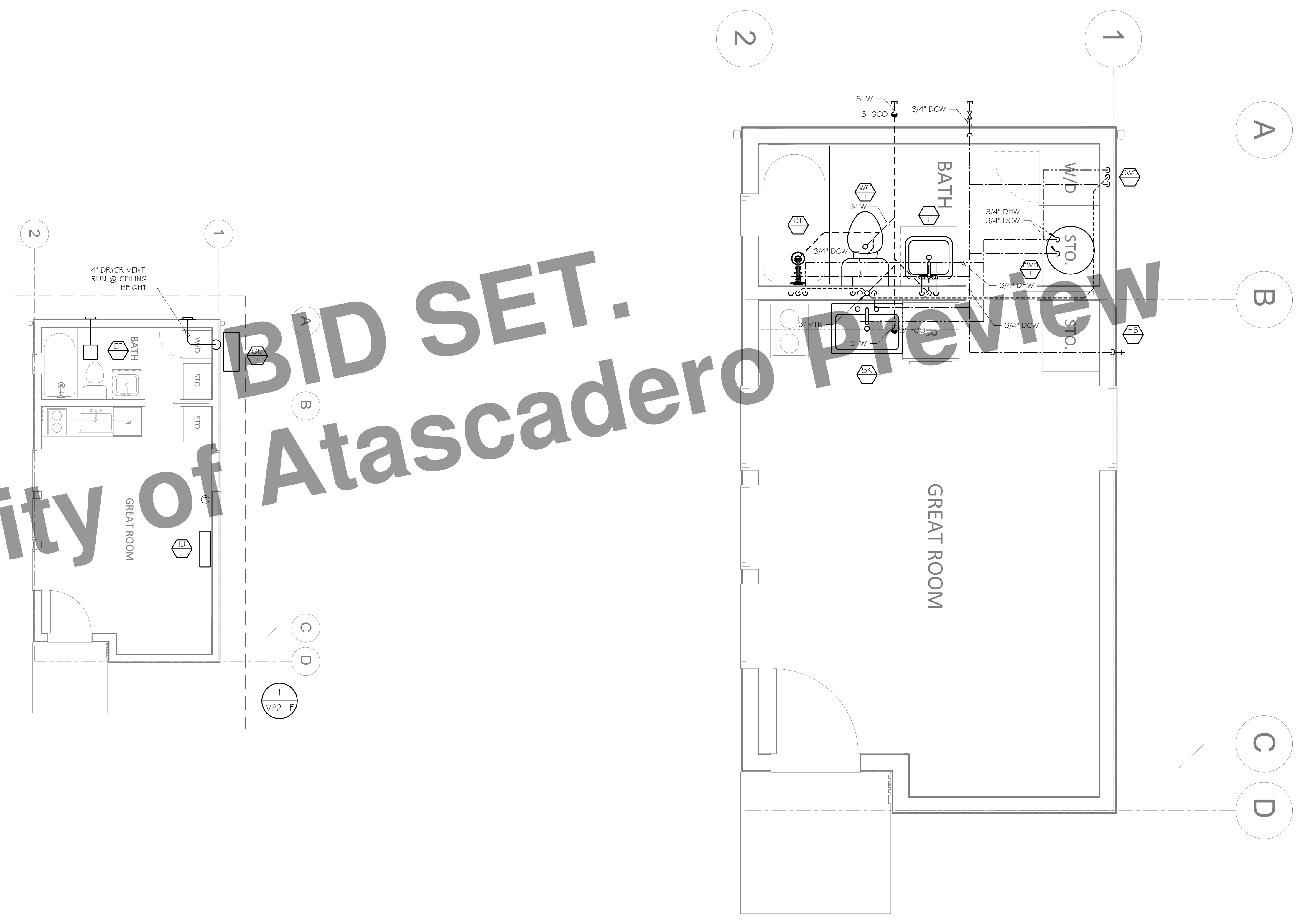
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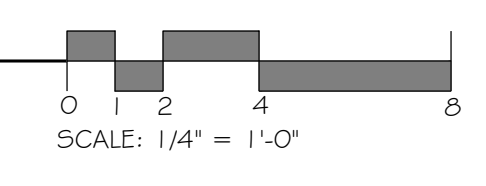
MP2.1E

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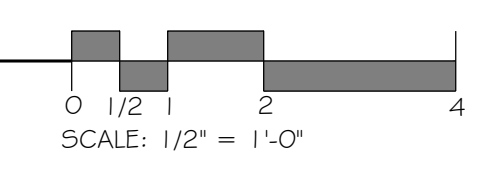


BID SET.
City of Atascadero

2 FLOOR PLAN - EFFICIENCY - NEW MECHANICAL
SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - EFFICIENCY - NEW PLUMBING
SCALE: 1/2" = 1'-0"





- SHEET NOTES**
1. STUB OUT FOR FUTURE CONNECTION.
 2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

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**CENTRAL COAST
 PRE-DESIGNED ADU**
 CENTRAL COAST, CALIFORNIA

**EFFICIENCY
 MECHANICAL
 & PLUMBING
 PLANS - H**

NO.	DESCRIPTION	DATE
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ENGINEER BY:

DRAWN BY:

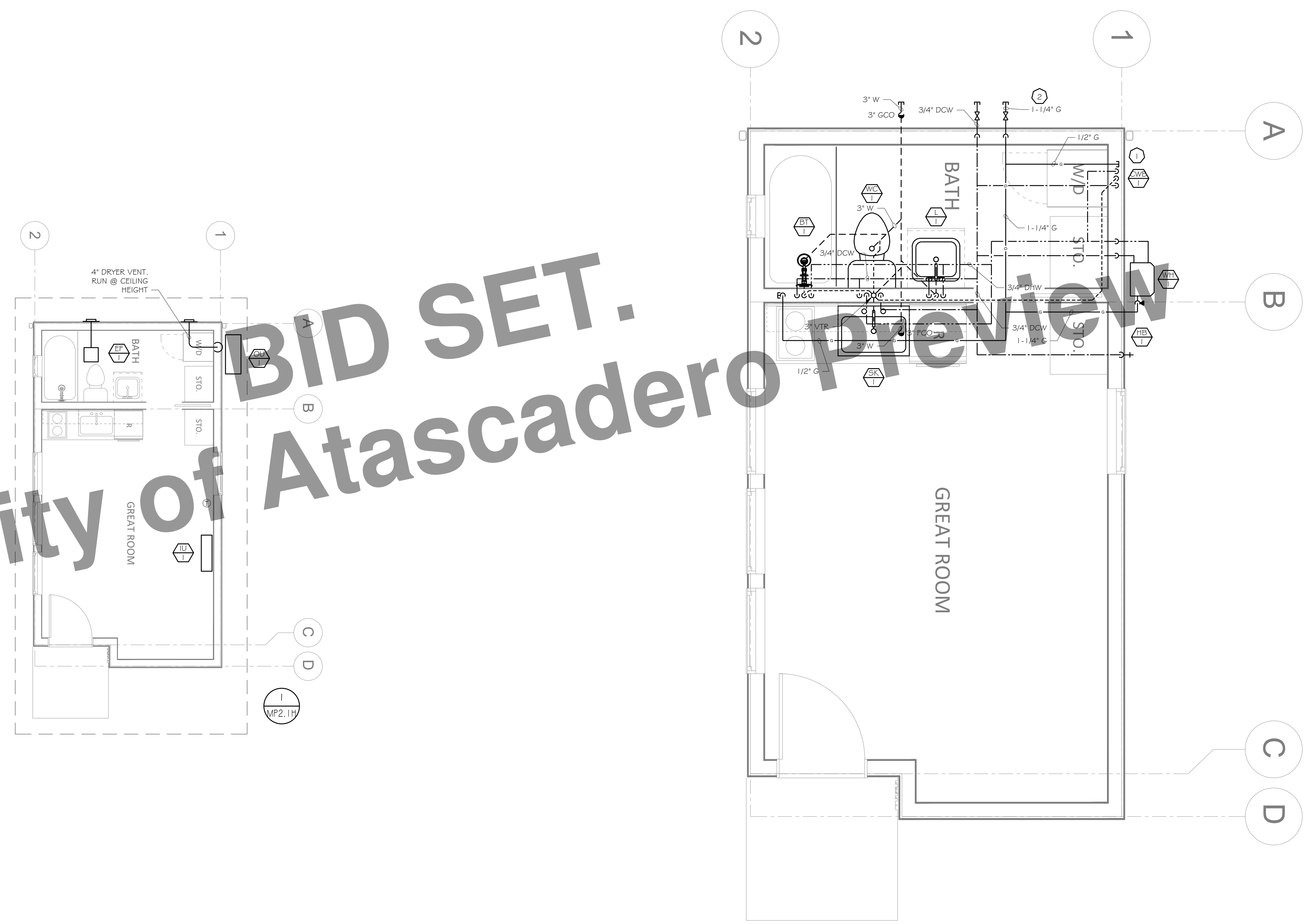
CHECKED BY:

SHEET NUMBER

MP2.1H

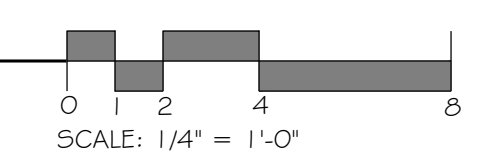
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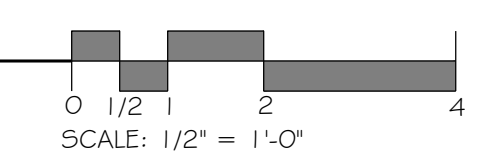


BID SET.
City of Atascadero

2 FLOOR PLAN - EFFICIENCY - NEW MECHANICAL
 MP2.1H SCALE: 1/4" = 1'-0"

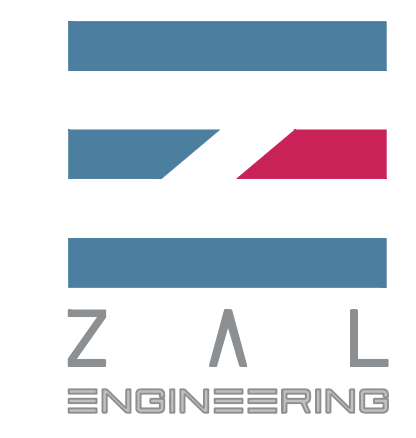


1 ENLARGED FLOOR PLAN - EFFICIENCY - NEW PLUMBING
 MP2.1H SCALE: 1/2" = 1'-0"



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Jaime Zaldivar, P.E.
contact@zalengineering.com
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ZAL (zalengineering.com)



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CENTRAL COAST, CALIFORNIA

EFFICIENCY
T24 FORMS
ELECTRIC

Table with 3 columns: NO., DESCRIPTION, DATE. Rows 1-4.

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SHEET NUMBER

T24.1B

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 7 of 12. Includes tables for ZONE INFORMATION, OPAQUE SURFACES, ATTIC, and FENESTRATION / GLAZING.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 4 of 12. Includes ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Source Energy, Proposed Design Source Energy, etc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 1 of 12. Includes GENERAL INFORMATION table with project details and COMPLIANCE RESULTS table.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 8 of 12. Includes tables for FENESTRATION / GLAZING, OPAQUE DOORS, and OVERHANGS AND FINIS.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 5 of 12. Includes ENERGY USE INTENSITY table with columns for Standard Design, Proposed Design, Compliance Margin, and Margin Percentage.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 2 of 12. Includes ENERGY DESIGN RATINGS table with columns for Energy Design Ratings and Compliance Margins.

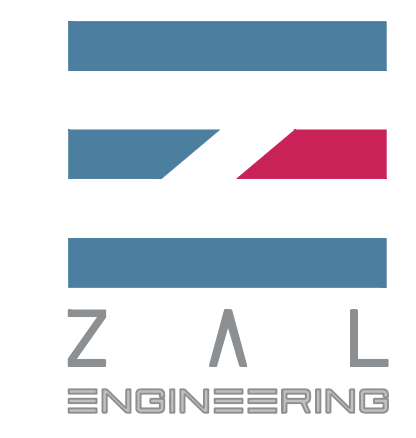
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 9 of 12. Includes tables for SLAB FLOORS, OPAQUE SURFACE CONSTRUCTIONS, and BUILDING ENVELOPE - HERS VERIFICATION.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 6 of 12. Includes REQUIRED PV SYSTEMS, REQUIRED SPECIAL FEATURES, HERS FEATURE SUMMARY, and BUILDING - FEATURES INFORMATION.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD. Page 3 of 12. Includes ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Source Energy, Proposed Design Source Energy, etc.

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831-641-7739
ZAL (zalengineering.com)



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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**EFFICIENCY
T24 FORMS
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

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SHEET NUMBER
T24.2B

SHEET OF
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BID SET.
City of Atascadero Preview

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF18-PRF-01-E
Project Name: Central Coast ADU EF Calculation Date/Time: 2023-08-25T17:29:49-05:00 (Page 12 of 12)
Calculation Description: Title 24 Analysis Input File Name: 1_EF_E_C2A.rbd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:19:50
Signature: [Signature]
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
City/State/Cp: Monterey, CA 93940
Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
Responsible Designer Name: Jaime Zaldivar
Signature: [Signature]
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
City/State/Cp: Monterey, CA 93940
Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010107153A-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CaCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-08-25 15:30:29

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF18-PRF-01-E
Project Name: Central Coast ADU EF Calculation Date/Time: 2023-08-25T17:29:49-05:00 (Page 11 of 12)
Calculation Description: Title 24 Analysis Input File Name: 1_EF_E_C2A.rbd22x

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER2 / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	VCHP-ductless	1	HSPF	11.8	10900	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-herp-Mpump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-herp-Mpump	Not Required	0	Required	Required	Yes	Yes	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing Ramp Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RA3.3 and SC3.3.4.1.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficiency (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQventRpt	23	0.35	Exhaust	No	n/a	No	Yes	

Registration Number: 223-P010107153A-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CaCERTS Inc.
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Project Name: Central Coast ADU EF Calculation Date/Time: 2023-08-25T17:29:49-05:00 (Page 10 of 12)
Calculation Description: Title 24 Analysis Input File Name: 1_EF_E_C2A.rbd22x

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	HERS Verified Pipe Insulation credit	DHW Heater 1	1	n/a	None	DHW Sys 1-herp-dhw	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T10H2ZU0	Outside	Efficiency	Efficiency

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/2	Required	Not Required	Not Required	None	Not Required	Not Required

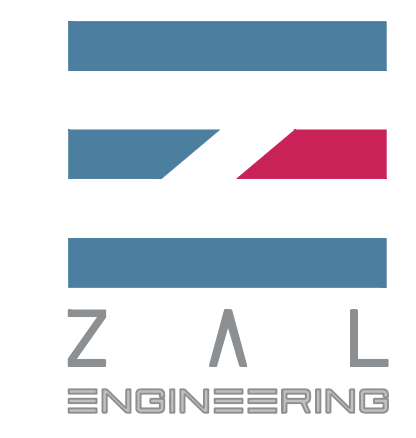
SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Registration Number: 223-P010107153A-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CaCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-08-25 15:30:29

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contact@zalengineering.com
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ZAL (zalengineering.com)



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99 PACIFIC ST. STE 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**EFFICIENCY
T24 FORMS
HYBRID**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER
T24.4B

SHEET OF
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

BID SET.
City of Atascadero Preview

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E
Project Name: Central Coast ADU EF Calculation Date/Time: 2023-08-25T17:42:27-05:00 (Page 12 of 12)
Calculation Description: Title 24 Analysis Input File Name: 1_EF_H_CZA.rbd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:28:18
Signature:

Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Cp: Monterey, CA 93940
Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jaime Zaldivar
Signature:

Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Cp: Monterey, CA 93940
Phone: 831-641-7739

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010107159A-000-0000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CaCERTS Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 15:42:50 Schema Version: rev 20220901

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HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13	
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification		
			Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2				EER / EER2	
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	10900	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-herp-Mpump	

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-herp-Mpump	Not Required	0	Not Required	Not Required	No	No	Yes	Yes

INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfan IAQVentRpt	23	0.35	Exhaust	No	n/a	No	Yes	

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WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneo us	1	0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a	

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution Type	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

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