

# ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedroom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

## HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

### HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR PERMIT

- Enter PROJECT INFORMATION and a VICINITY MAP in the space provided on Sheet G0.0.
- Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

## ADDITIONAL NOTES - ATASCADERO

### PLANNING DEPARTMENT

- All submitted plan sets must be accompanied by a Building Permit Application.
- All applications must include a site survey.

### BUILDING DEPARTMENT

- All applications must include a Construction Waste Management Plan.
- The City will accept schematics for gas line revisions

## DEFERRED SUBMITTALS - ATASCADERO

- PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

## BUILDING CODES USED - 2022

### 1A. Atascadero Municipal Code

- California Building Code
- California Residential Code
- California Electrical Code
- California Plumbing Code
- California Mechanical Code
- California Fire Code
- California Green Building Standards Code
- California Energy Efficiency Standards Code

## PROJECT INFORMATION

### PARCEL INFORMATION

APN: \_\_\_\_\_  
STREET ADDRESS: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
LOT SIZE (in SF): \_\_\_\_\_  
EXISTING HOME SIZE (in SF): \_\_\_\_\_  
PARCEL OVER 10% SLOPE:  YES  NO  
SRA FIRE HAZARD SEVERITY ZONE (WUI):  APPLICABLE  NOT APPLICABLE

### PROJECT INFORMATION

NUMBER OF STORIES: ONE (1)  
OCCUPANCY GROUP - R3: TYPE OF CONSTRUCTION - STANDARD/TYPE VB  
MAIN RESIDENCE HAS FIRE SPRINKLERS:  YES  NO  
SERVED BY SEPTIC SYSTEM:  YES  NO

### PROPERTY OWNER

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
PHONE/EMAIL: \_\_\_\_\_  
PROJECT CONTRACTOR  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
PHONE/EMAIL: \_\_\_\_\_

## DRAWING INDEX

### GENERAL SHEETS

- G0.0 COVER SHEET & PROJECT INFORMATION
- G0.1 OWNER PROVIDED SITE PLAN
- G1.0 GENERAL NOTES
- G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS
- G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS

### ARCHITECTURAL

- A1.0 RANCH - FLOORPLAN & ELEVATIONS
- A1.1 RANCH - SECTIONS, ROOF PLAN & RCP
- A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS
- A2.1 CRAFTSMAN - SECTIONS, ROOF PLAN & RCP
- A3.0 MODERN - FLOORPLANS & ELEVATIONS
- A3.1 MODERN - SECTIONS, ROOF PLAN & RCP
- A4.0 BUNGALOW - FLOORPLANS & ELEVATIONS
- A4.1 BUNGALOW - SECTIONS, ROOF PLAN & RCP
- A5.0 EXTERIOR WALL ASSEMBLY DETAILS
- A5.1 EXTERIOR WALL ASSEMBLY DETAILS
- A5.2 EXTERIOR DETAILS
- A5.3 INTERIOR DETAILS & WALL PARTITIONS
- A6.0 SCHEDULES - STANDARD STUDIO

### STRUCTURAL

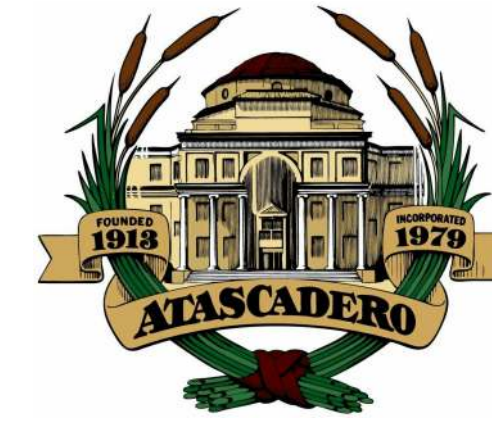
- S0.0 STRUCTURAL NOTES
- S0.1 TYPICAL DETAILS
- S1.0G GABLE - ROOF/CEILING AND FOUNDATION PLAN
- S1.0M MONOSLOPE - ROOF/CEILING AND FOUNDATION PLAN
- S2.0 FOUNDATION DETAILS
- S2.1 ROOF FRAMING DETAILS
- S2.2 ROOF FRAMING DETAILS (CONT.)

### MECHANICAL

- MP0.1 GENERAL NOTES
- MP0.2 SCHEDULES & GAS DIAGRAM & PLUMBING
- MP2.1E MECHANICAL & PLUMBING PLANS - ELECTRIC
- MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID

### ENERGY COMPLIANCE/TITLE 24

- T24.5B TITLE 24 FORMS- ELECTRIC
- T24.6B TITLE 24 FORMS- ELECTRIC
- T24.7B TITLE 24 FORMS - HYBRID
- T24.8B TITLE 24 FORMS - HYBRID



# CENTRAL COAST PRE-DESIGNED ADU

## CITY REVIEW SET

## PROJECT DIRECTORY

ARCHITECT OF RECORD WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	CONSULTING ARCHITECT RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93465 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmaylorse.com	MECHANICAL & PLUMBING ENGINEER ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

## SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 445 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF A GREAT ROOM/LIVING AREA WITH A KITCHEN, ONE BATHROOM, AND A LAUNDRY AREA.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

## PROJECT CHECKLIST

### ARCHITECTURAL STYLE (SELECT ONE)

- COASTAL RANCH
- BACKYARD CRAFTSMAN
- CALIFORNIA MODERN
- BEACH BUNGALOW

### ROOFING MATERIAL (SELECT ONE)

- ASPHALT SHINGLE
- METAL STANDING SEAM
- APPLICANT REVISION

### PRIMARY SIDING MATERIAL (SELECT ONE)

- VERTICAL PLANK FIBER CEMENT
- BOARD & BATTEN FIBER CEMENT
- HORIZONTAL LAP FIBER CEMENT
- SHINGLE FIBER CEMENT
- STUCCO

### DESIGN OPTIONS (SELECT IF DESIRED)

- CURBLESS SHOWER
- CASEWORK AT GREAT ROOM
- APPLICANT REVISION

### MECHANICAL SYSTEM (SELECT ONE)

- ALL-ELECTRIC SYSTEM
- HYBRID (ELECTRIC W/ GAS H2O HEATER)
- GAS RANGE

### REQUIRED COMPLIANCE (CHECK IF APPLICABLE)

- PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE
- EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE

### SITE PLAN (REQUIRED)

- OWNER PROVIDED SITE PLAN COMPLETE

### AREA CALCULATIONS - STANDARD STUDIO

DWELLING UNIT - 445 GSF  
EXT. COVERED PORCHES - 50.5 GSF

### COASTAL RANCH EXTERIOR - PERSPECTIVE VIEW



### BACKYARD CRAFTSMAN EXTERIOR - PERSPECTIVE VIEW



### CALIFORNIA MODERN - PERSPECTIVE VIEW



### BEACH BUNGALOW EXTERIOR - PERSPECTIVE VIEW



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

## BROCKETT ARCHITECT

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
- THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
- THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

# CENTRAL COAST PRE-DESIGNED ADU STANDARD STUDIO 445 GSF

PRINT DATE: XX.XX.XXXX

## COVER SHEET & PROJECT INFORMATION - ATASCADERO

# GO.0

SCALE: AS NOTED

**HOMEOWNER PROVIDED SITE PLAN**

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



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WORKBENCHBUILT.COM

**BROCKETT  
/ARCHITECT**

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BROCKETTARCHITECTURE.COM

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BID SET.  
City of Atascadero Preview

**SITE PLAN CHECKLIST** The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

**SITE PLAN LEGEND**  
Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

**FIRE RATING NOTES**

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12<sup>1</sup>

CENTRAL COAST  
PRE-DESIGNED ADU  
STANDARD STUDIO  
445 GSF

OWNER PROVIDED  
SITE PLAN -  
ATASCADERO

G0.1



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Table with 2 columns: Y, N/A, RESPON. PARTY. Contains sections: CHAPTER 3 GREEN BUILDING, SECTION 301 GENERAL, 301.1 SCOPE, 301.1.1 Additions and alterations, 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, SECTION 302 MIXED OCCUPANCY BUILDINGS, 302.1 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, ABBREVIATION DEFINITIONS, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, 4.102.1 DEFINITIONS, FRENCH DRAIN, WATTLIES, 4.106 SITE DEVELOPMENT, 4.106.1 GENERAL, 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION, 4.106.3 GRADING AND PAVING, 4.106.4 Electric vehicle (EV) charging for new construction, 4.106.4.1 Identification, 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.

Table with 2 columns: Y, N/A, RESPON. PARTY. Contains sections: 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, 4.106.4.2.3 Accessible EV spaces, 4.106.4.2.4 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings, DIVISION 4.2 ENERGY EFFICIENCY, 4.201 GENERAL, 4.201.1 SCOPE, DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION, 4.303 INDOOR WATER USE, 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS, 4.303.1.1 Water Closets, 4.303.1.2 Urinals, 4.303.1.3 Showerheads, 4.303.1.3.1 Single Showerhead, 4.303.1.3.2 Multiple showerheads serving one shower, 4.303.1.4 Faucets, 4.303.1.4.1 Residential Lavatory Faucets, 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas, 4.303.1.4.3 Metering Faucets, 4.303.1.4.4 Kitchen Faucets, 4.303.1.4.5 Pre-rinse spray valves, FOR REFERENCE ONLY, TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019, 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings, 4.303.3 Standards for plumbing fixtures and fittings.

Table with 2 columns: Y, N/A, RESPON. PARTY. Contains sections: 4.304 OUTDOOR WATER USE, 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.406.1 RODENT PROOFING, 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.408.1 CONSTRUCTION WASTE MANAGEMENT, 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.408.3 WASTE MANAGEMENT COMPANY, 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR], 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE, 4.408.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, 4.501.1 Scope, SECTION 5.102 DEFINITIONS, 5.102.1 DEFINITIONS, AGRIFIBER PRODUCTS, COMPOSITE WOOD PRODUCTS, DIRECT-VENT APPLIANCE.

Table with 2 columns: Y, N/A, RESPON. PARTY. Contains sections: 4.304 OUTDOOR WATER USE, 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.406.1 RODENT PROOFING, 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.408.1 CONSTRUCTION WASTE MANAGEMENT, 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.408.3 WASTE MANAGEMENT COMPANY, 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR], 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE, 4.408.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, 4.501.1 Scope, SECTION 5.102 DEFINITIONS, 5.102.1 DEFINITIONS, AGRIFIBER PRODUCTS, COMPOSITE WOOD PRODUCTS, DIRECT-VENT APPLIANCE.

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BROCKETT /ARCHITECT 104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKETTCTURE.COM

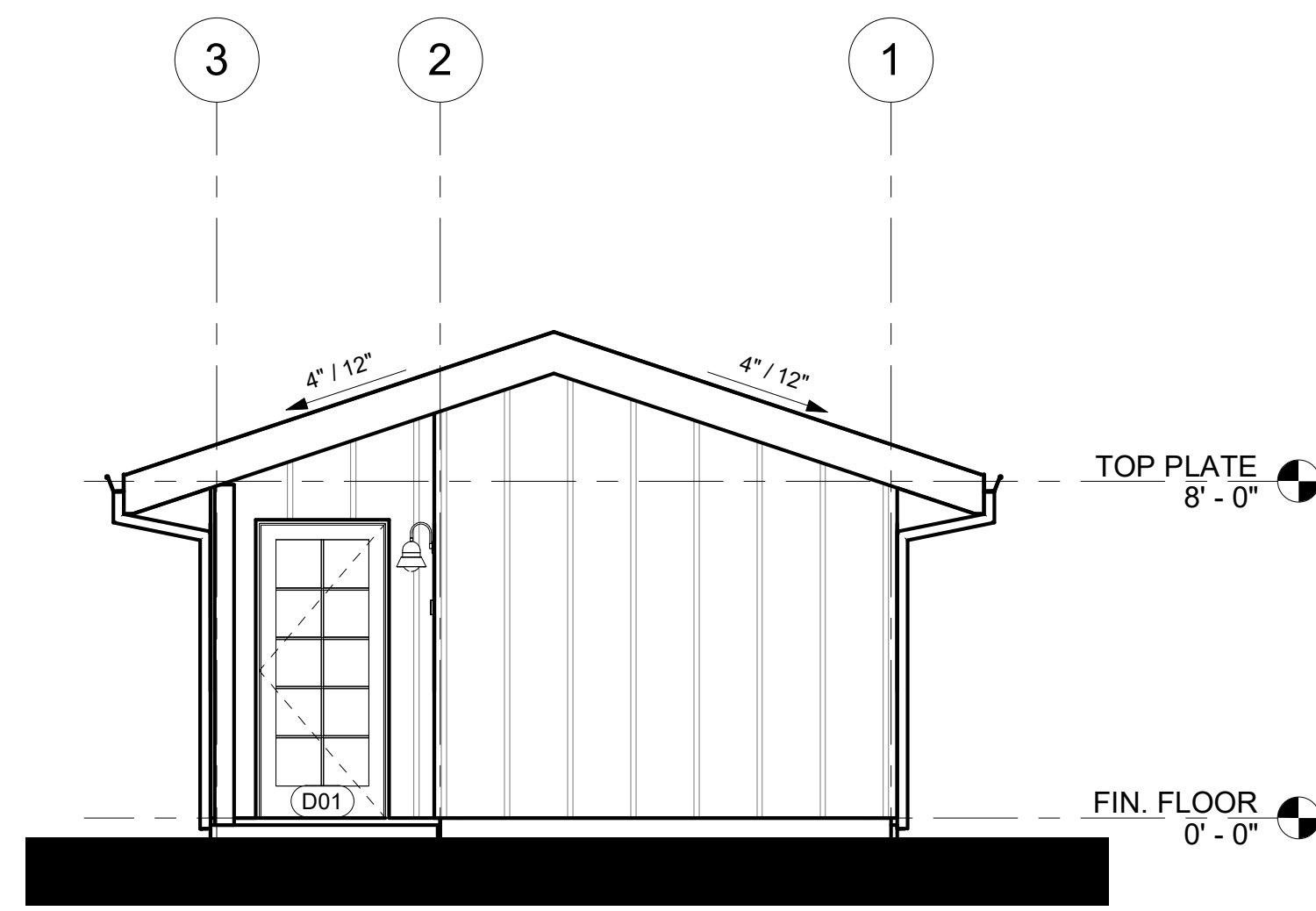
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CENTRAL COAST PRE-DESIGNED ADU STANDARD STUDIO 445 GSF

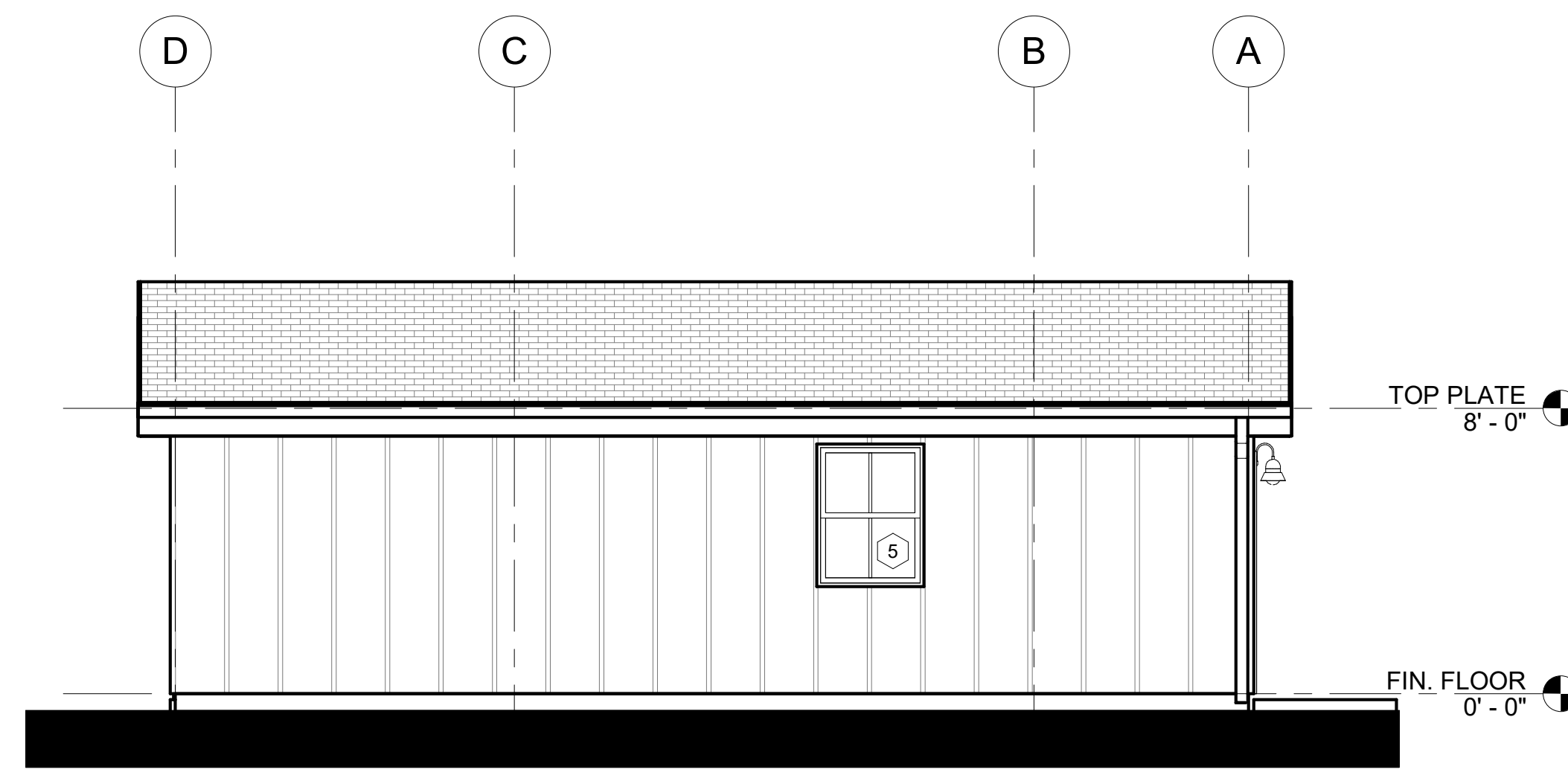
CAL GREEN/GREEN BUILDING REQUIREMENTS

G2.0

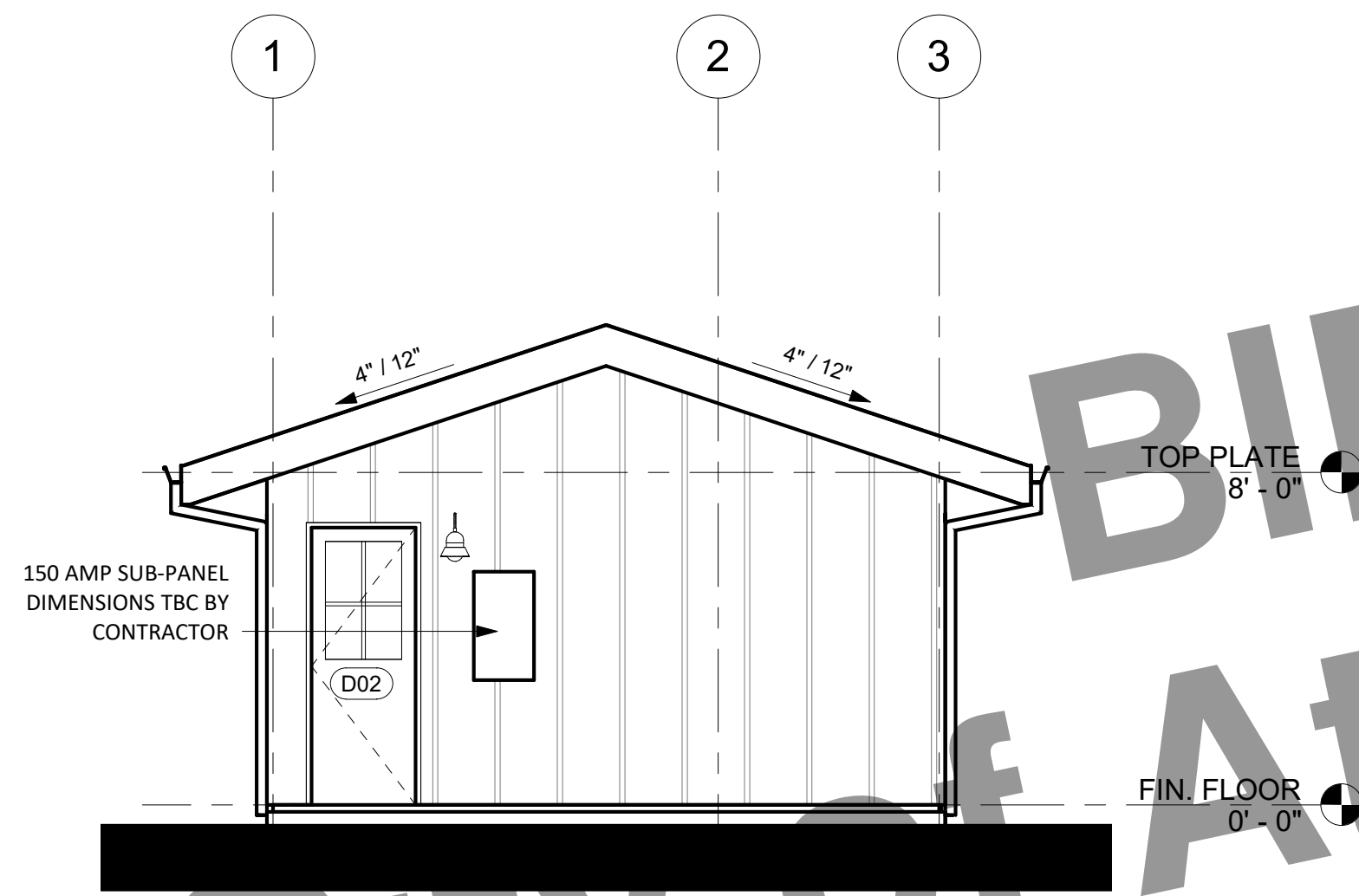




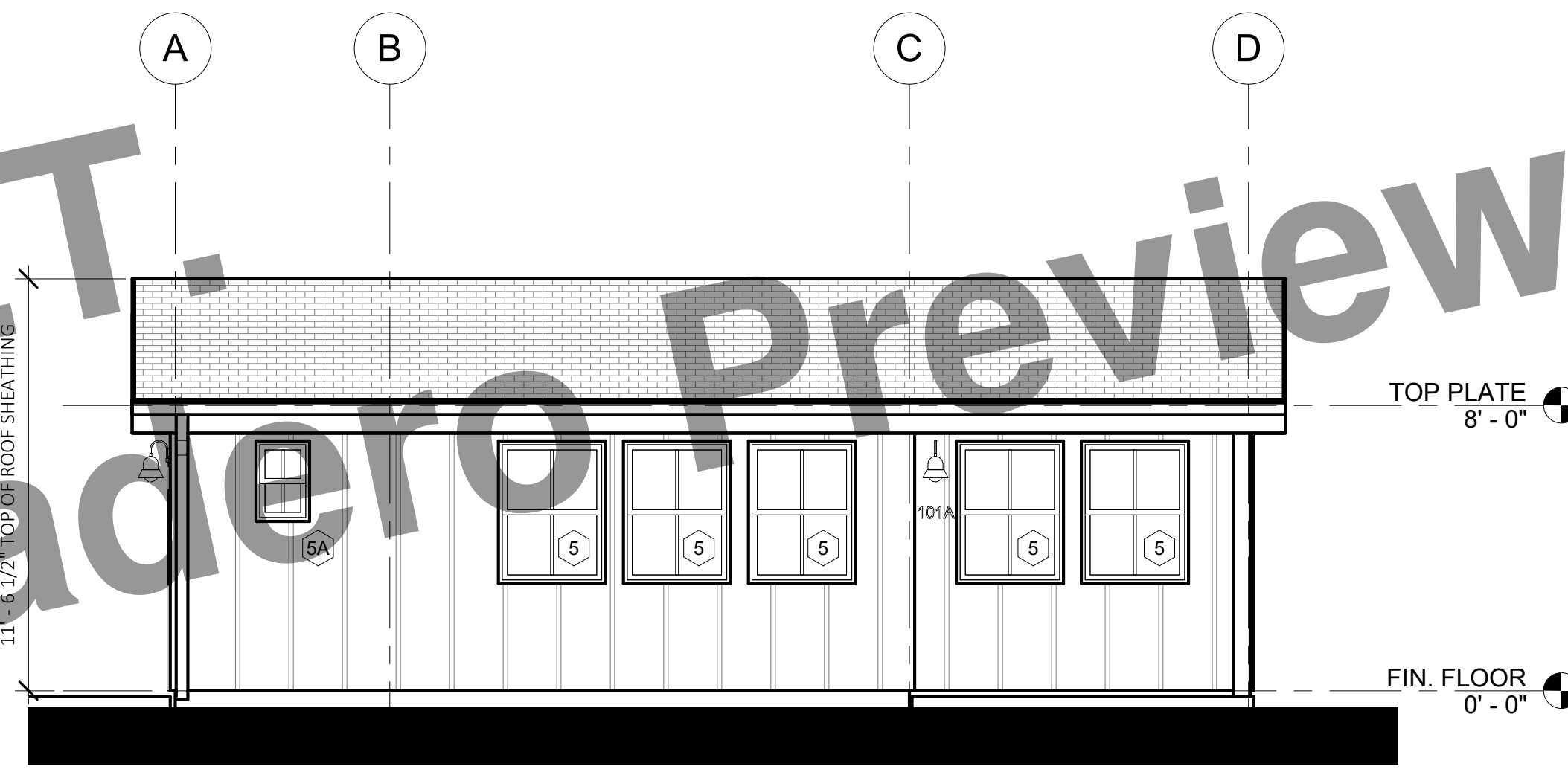
6 RIGHT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



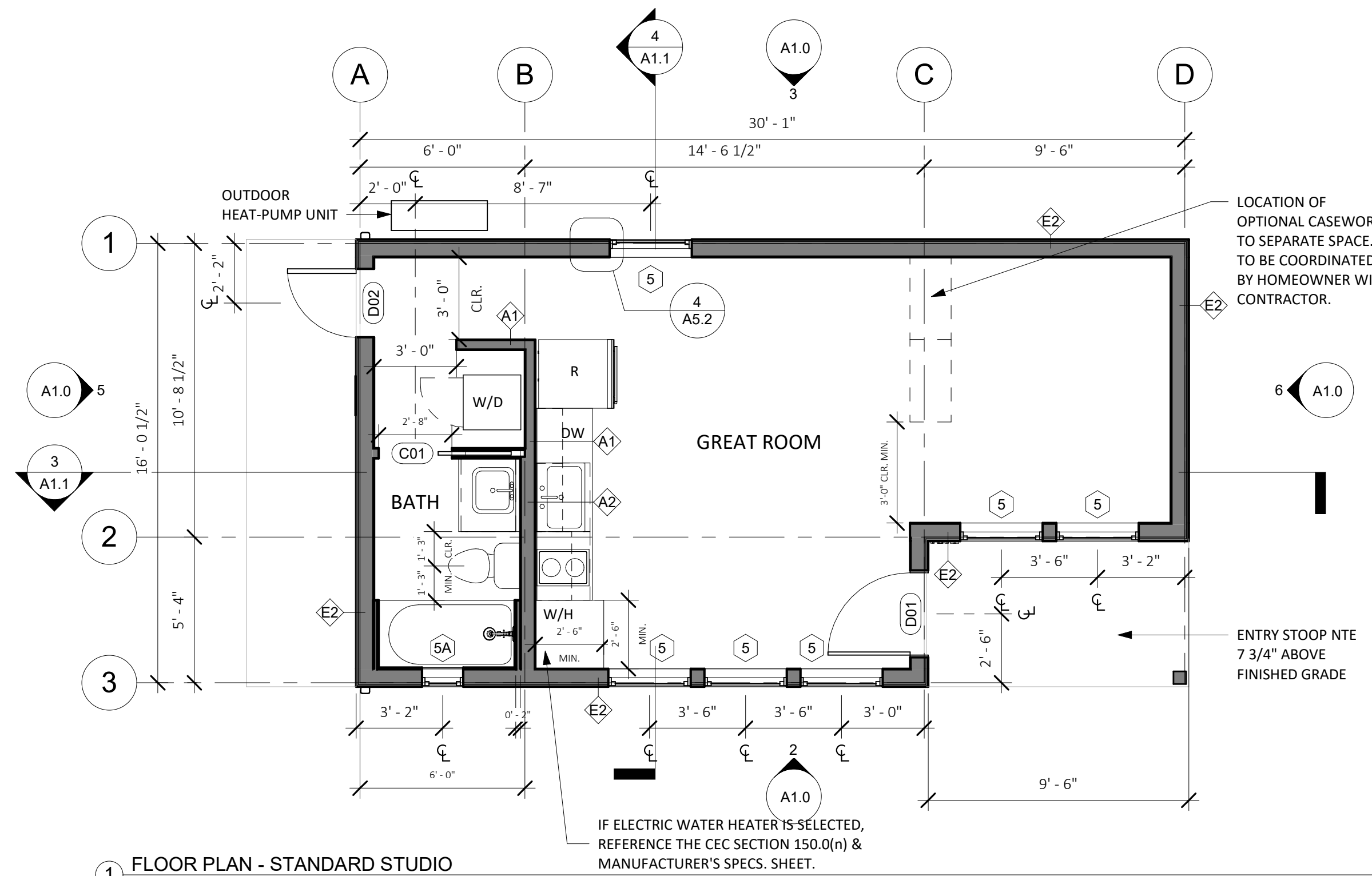
5 LEFT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH  
1/4" = 1'-0"



4 FRONT VIEW - STANDARD STUDIO - COASTAL RANCH  
NO SCALE



1 FLOOR PLAN - STANDARD STUDIO  
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

- Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST  
PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

RANCH - FLOORPLAN & ELEVATIONS

**A1.0**

SCALE: AS NOTED



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**ROOF PLAN NOTES**

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

**ELECTRICAL LEGEND**

- ⊙ CEILING-MOUNTED EXHAUST UNIT
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ GFCI RECEPTACLE
- ⊕ 220 VOLT RECEPTACLE OUTLET
- ⊕ DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ MS MOTION-SENSOR SWITCH
- ⊕ VS VACANCY SWITCH
- ⊕ FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- ⊕ WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

**REFLECTED CEILING PLAN LEGEND**

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- ⊕ CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- ⊕ CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

**REFLECTED CEILING PLAN NOTES**

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

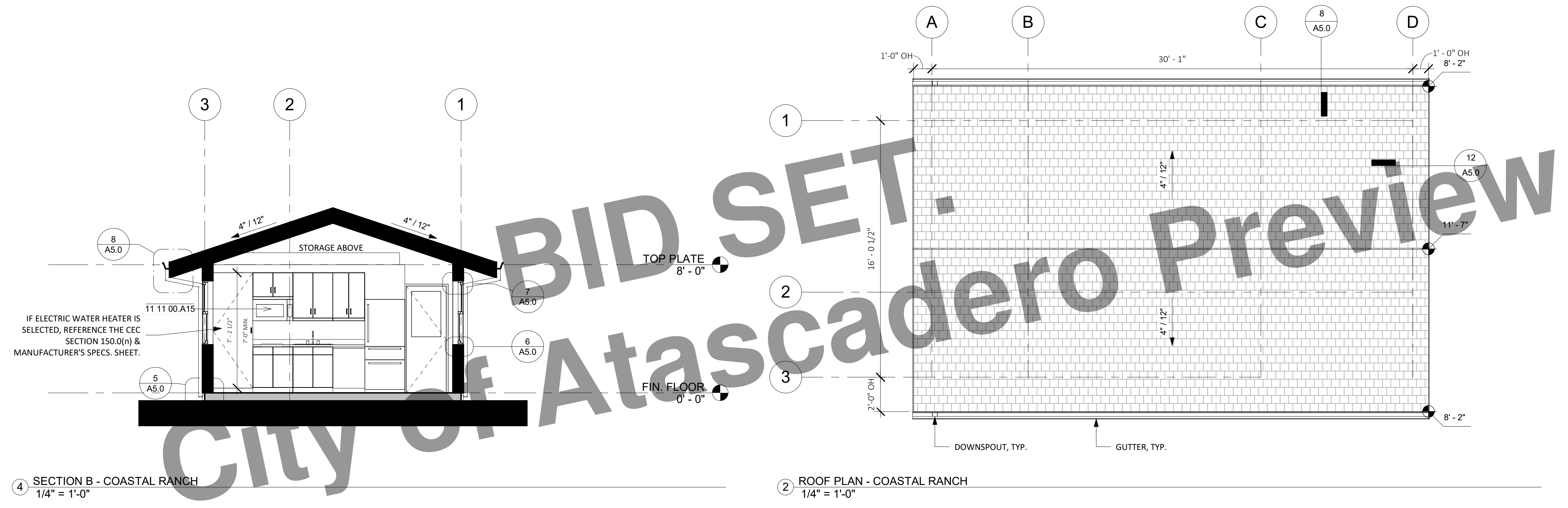
**CENTRAL COAST  
PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

**RANCH - SECTIONS,  
ROOF PLAN & RCP**

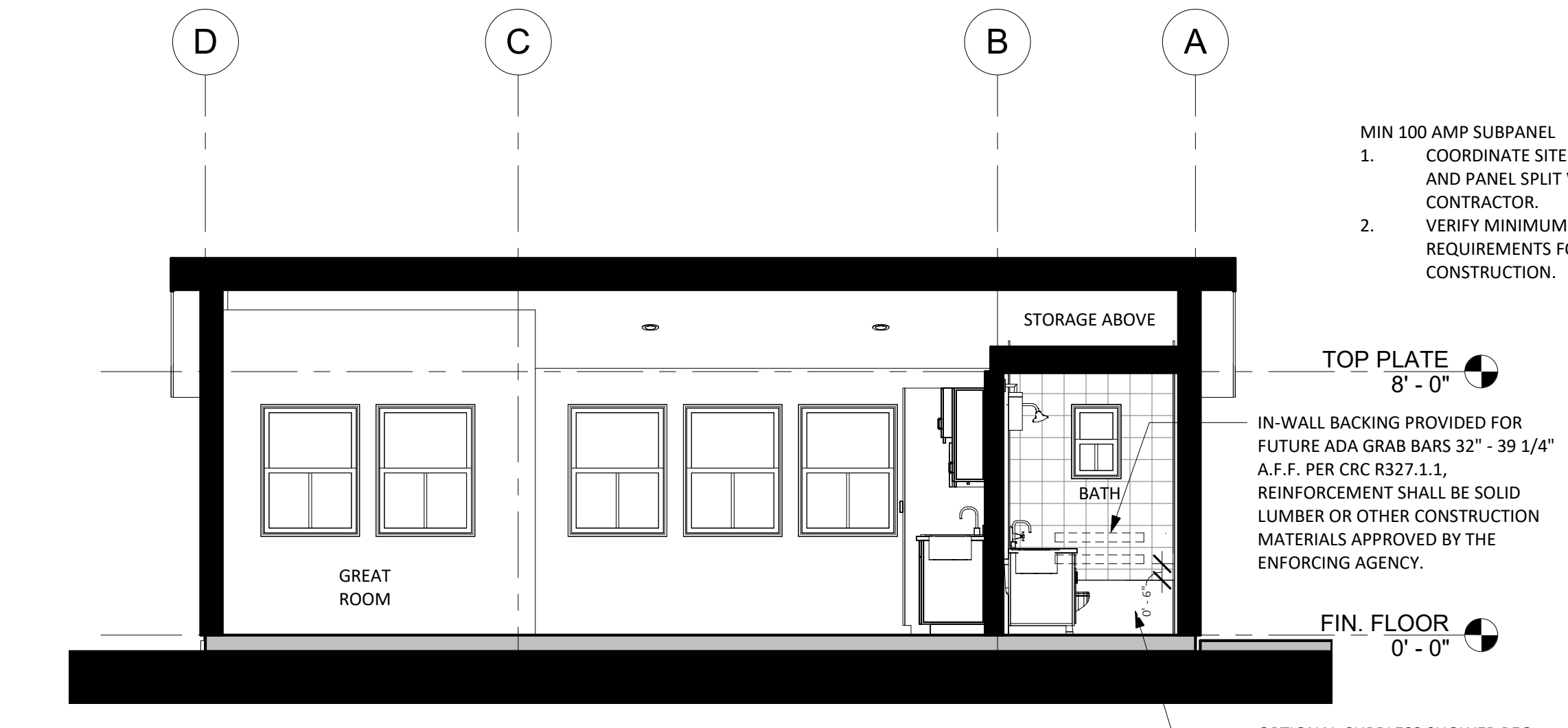
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SCALE: AS NOTED

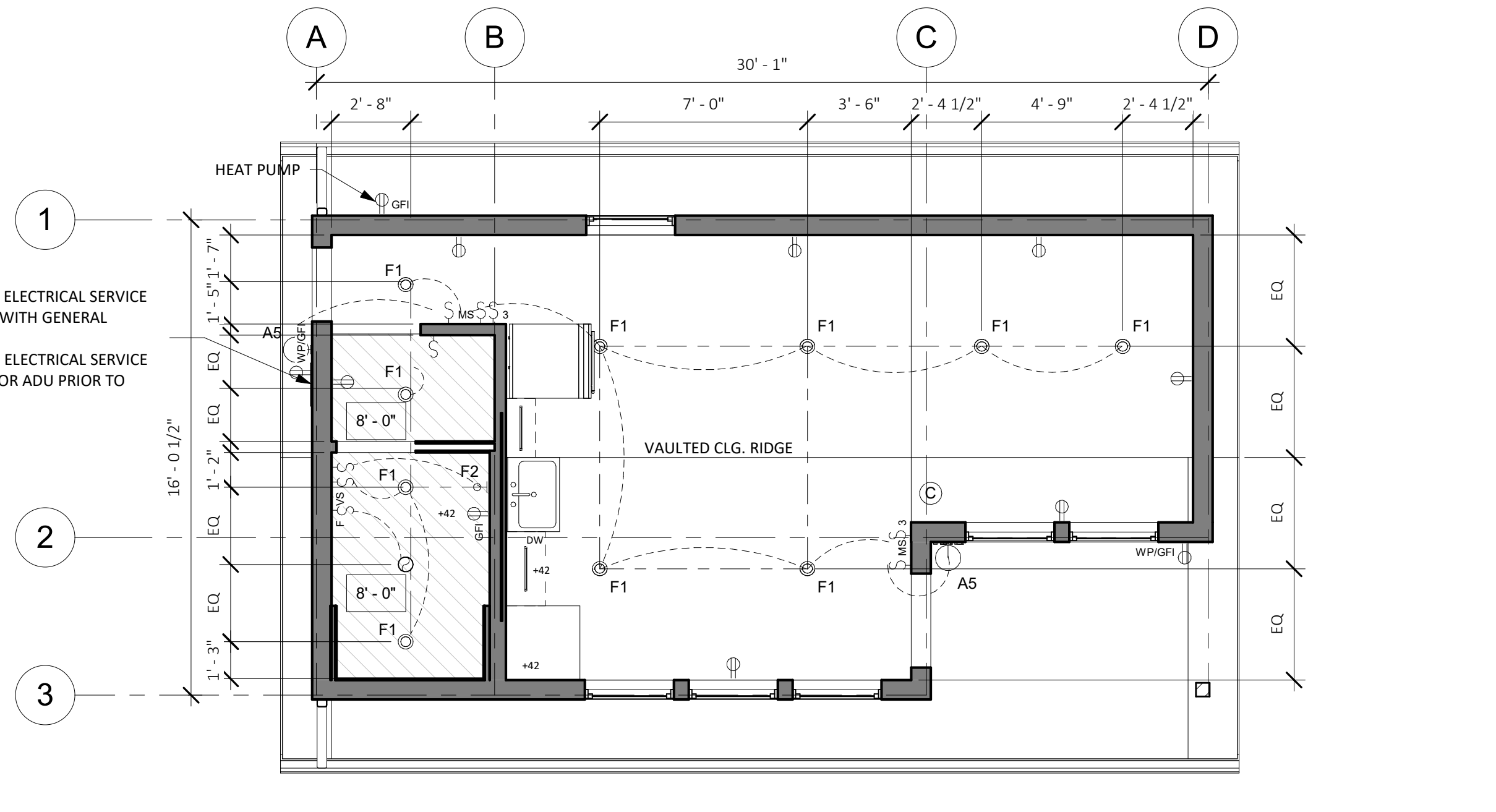


4 SECTION B - COASTAL RANCH  
1/4" = 1'-0"

2 ROOF PLAN - COASTAL RANCH  
1/4" = 1'-0"

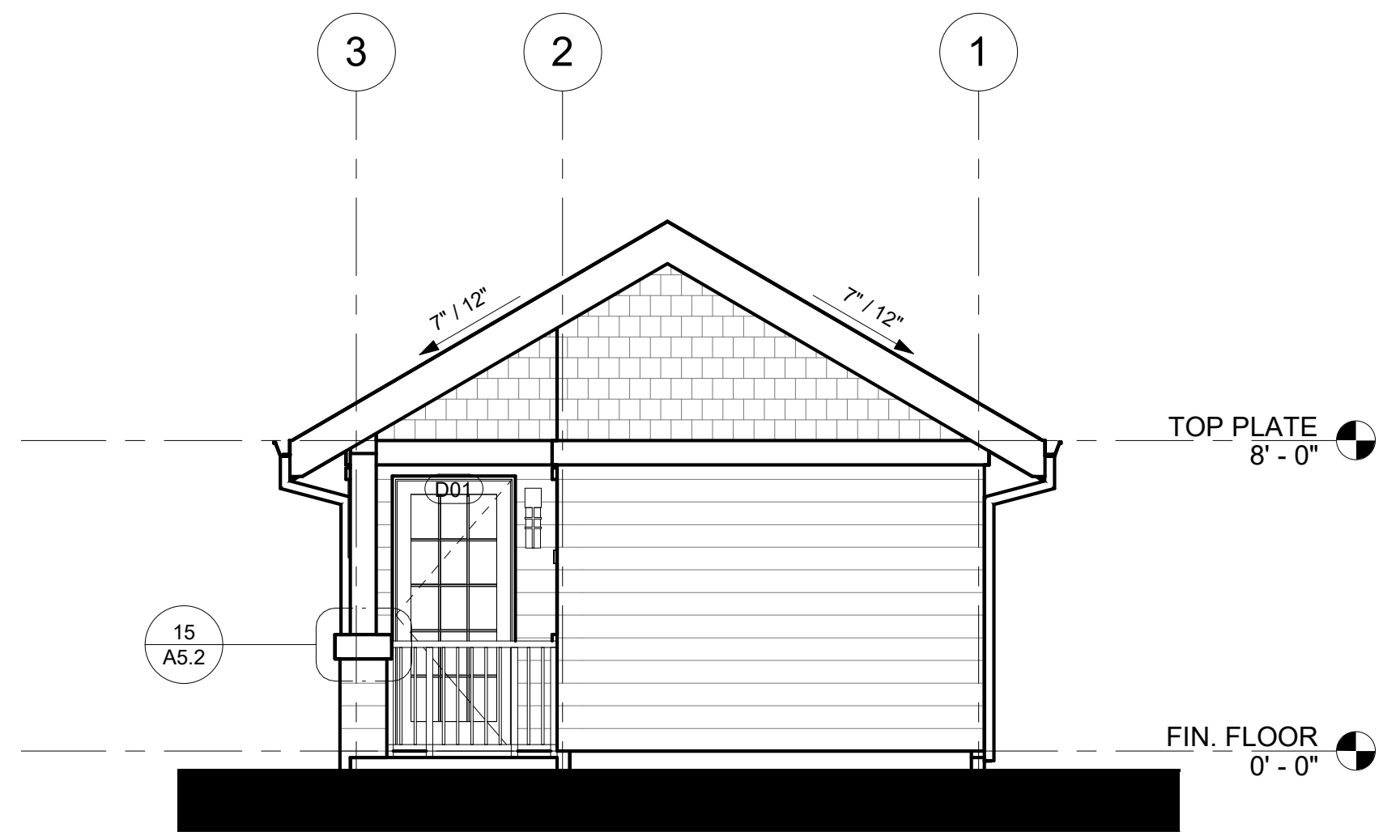


3 SECTION A - COASTAL RANCH  
1/4" = 1'-0"

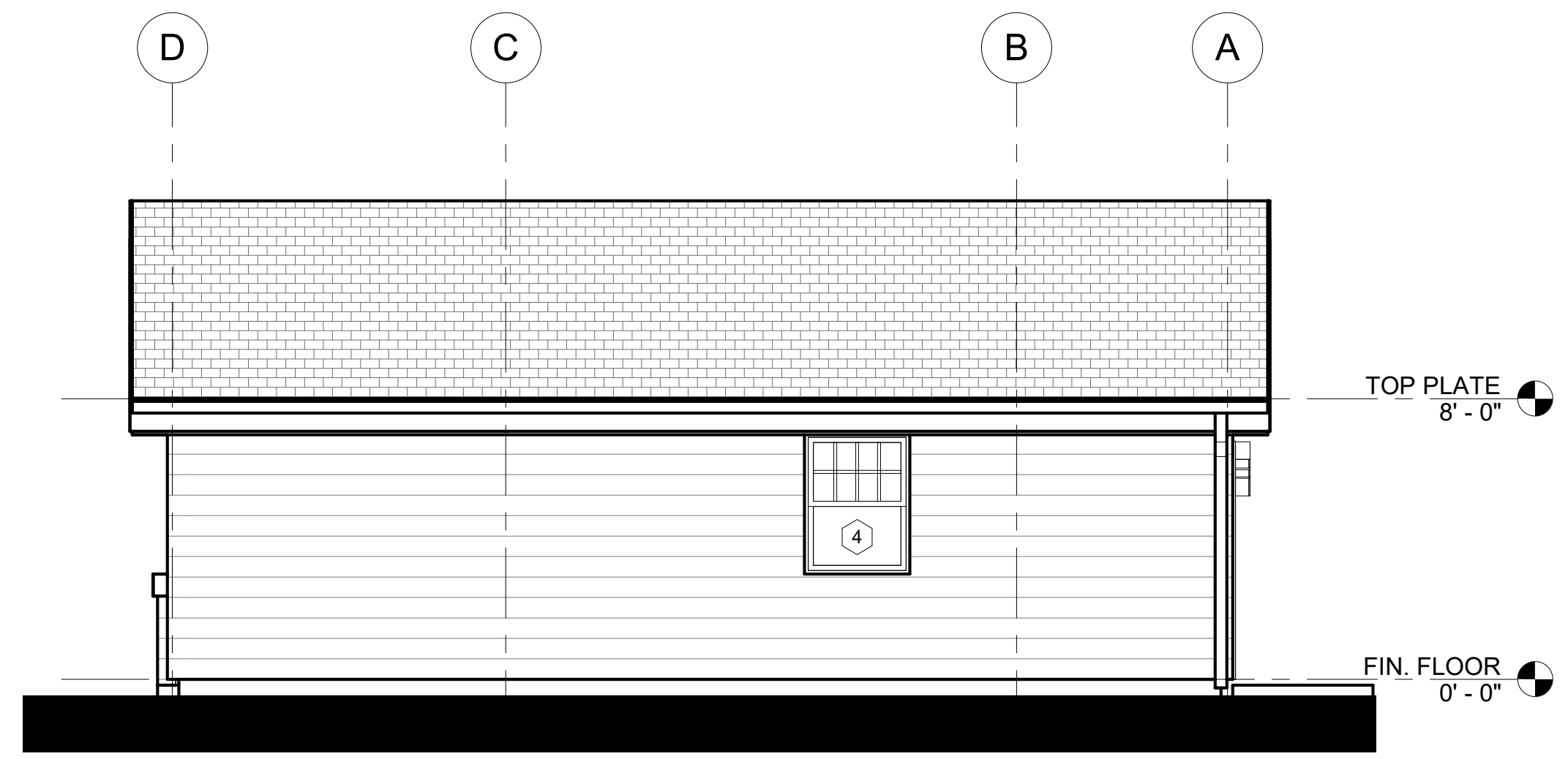


1 RCP & ELECTRICAL PLAN - STANDARD STUDIO  
1/4" = 1'-0"

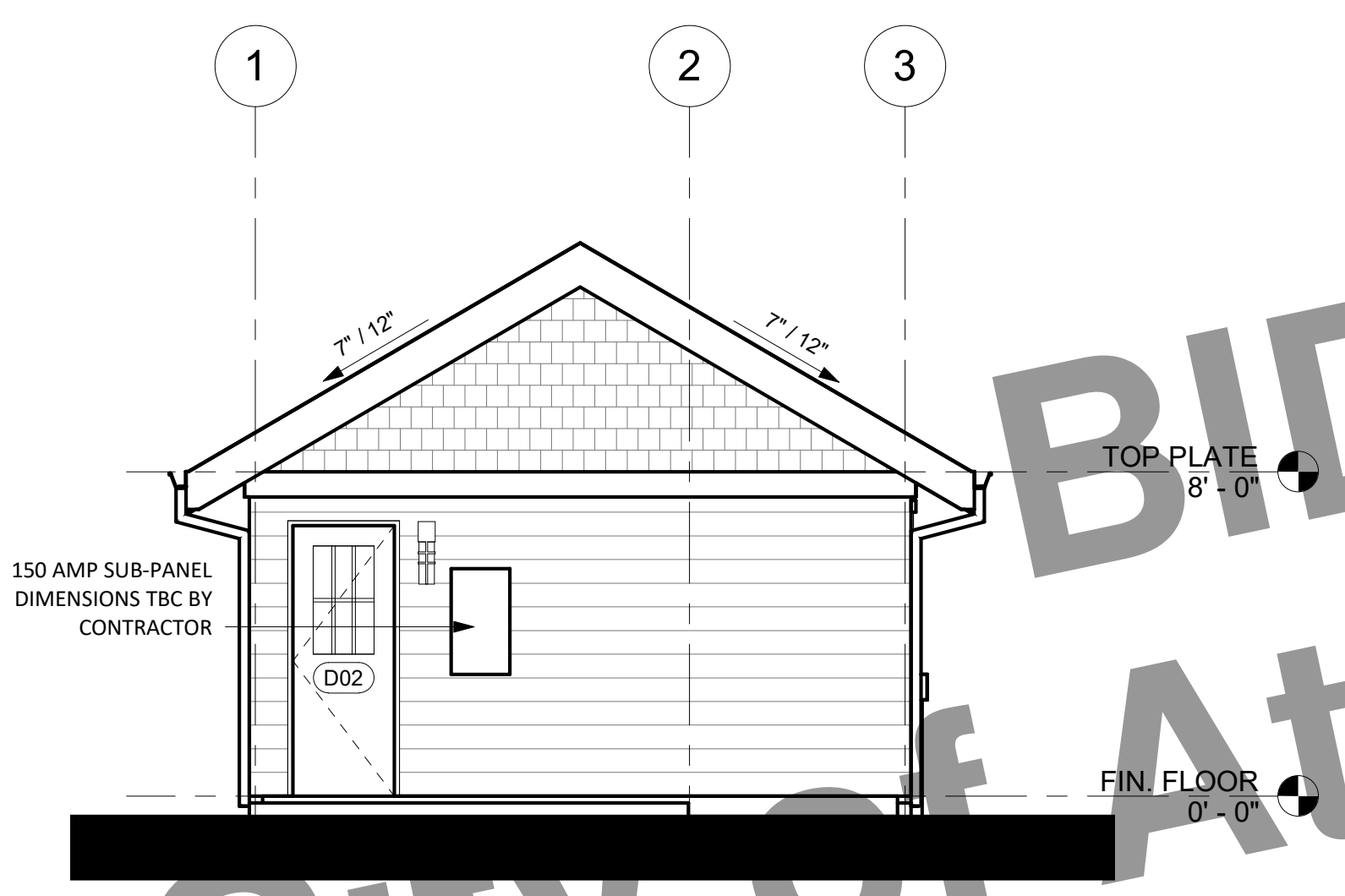
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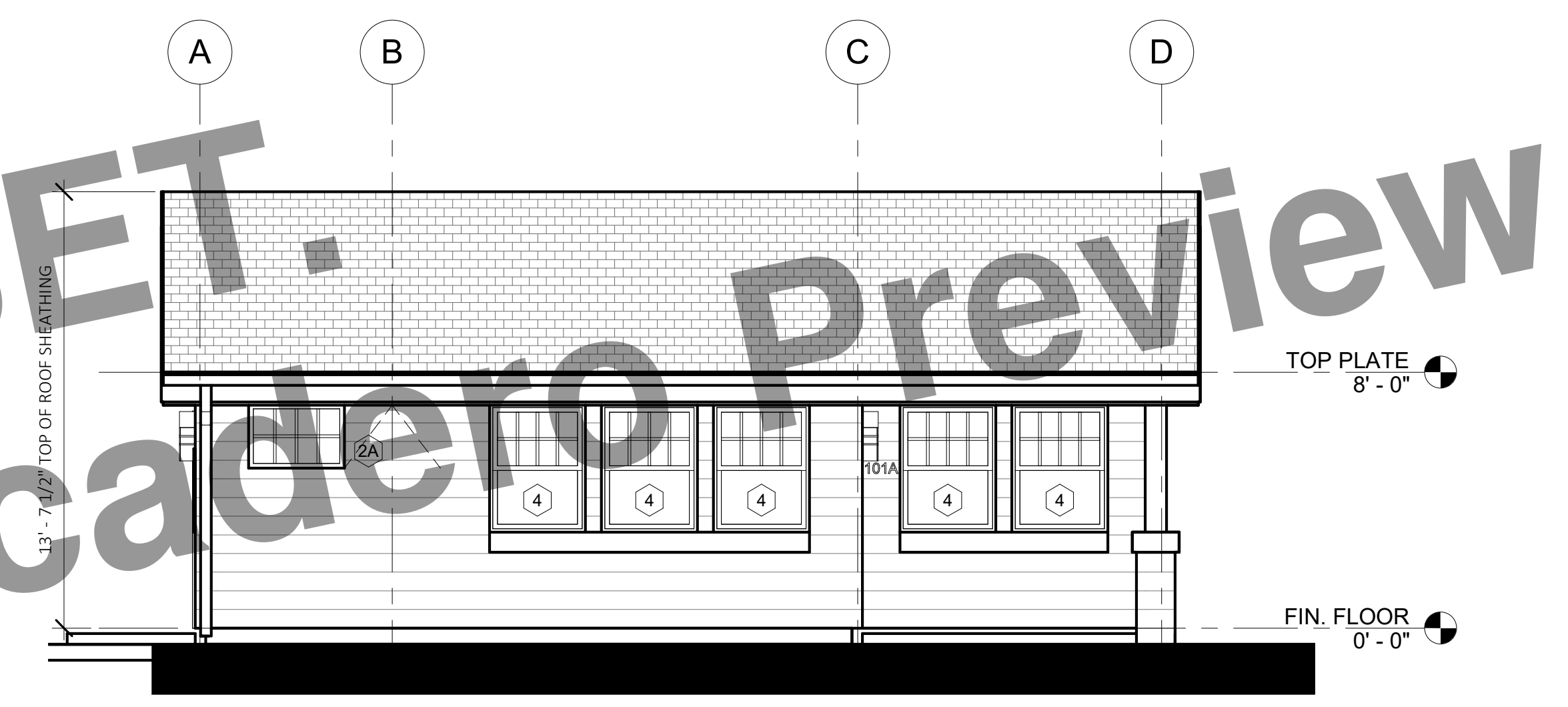
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



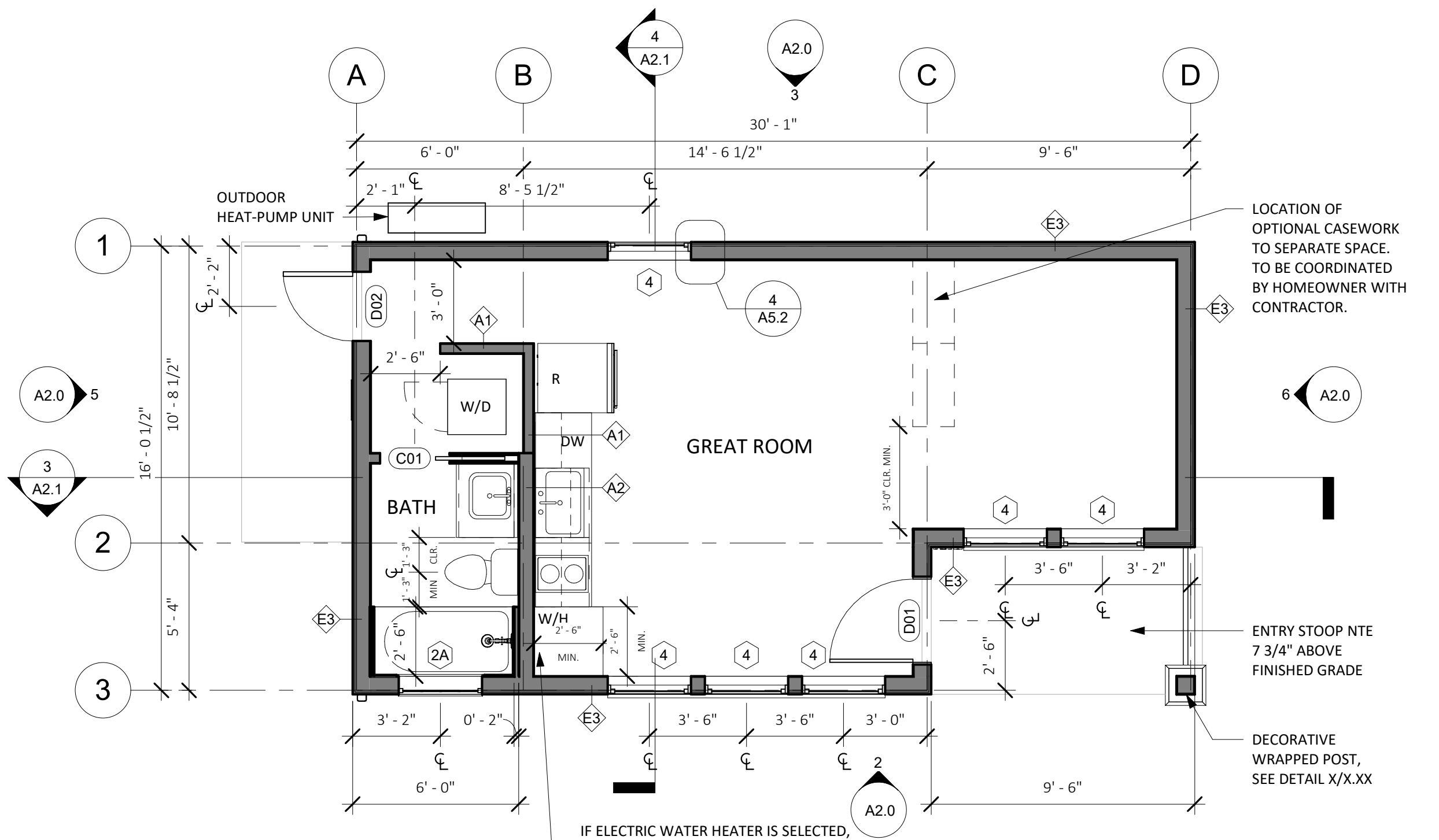
5 LEFT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



2 FRONT ELEVATION - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



4 FRONT VIEW - STANDARD STUDIO - BACKYARD CRAFTSMAN  
NO SCALE



1 FLOOR PLAN - STANDARD STUDIO  
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
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9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

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**CENTRAL COAST  
PRE-DESIGNED ADU**

STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

**CRAFTSMAN -  
FLOORPLANS &  
ELEVATIONS**

**A2.0**





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5. GANG VENTS WHENEVER POSSIBLE.
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- QUAD RECEPTACLE
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- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
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- SWITCH
- DIMMER SWITCH
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- FAN SWITCH/HUMIDITY SENSOR
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- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
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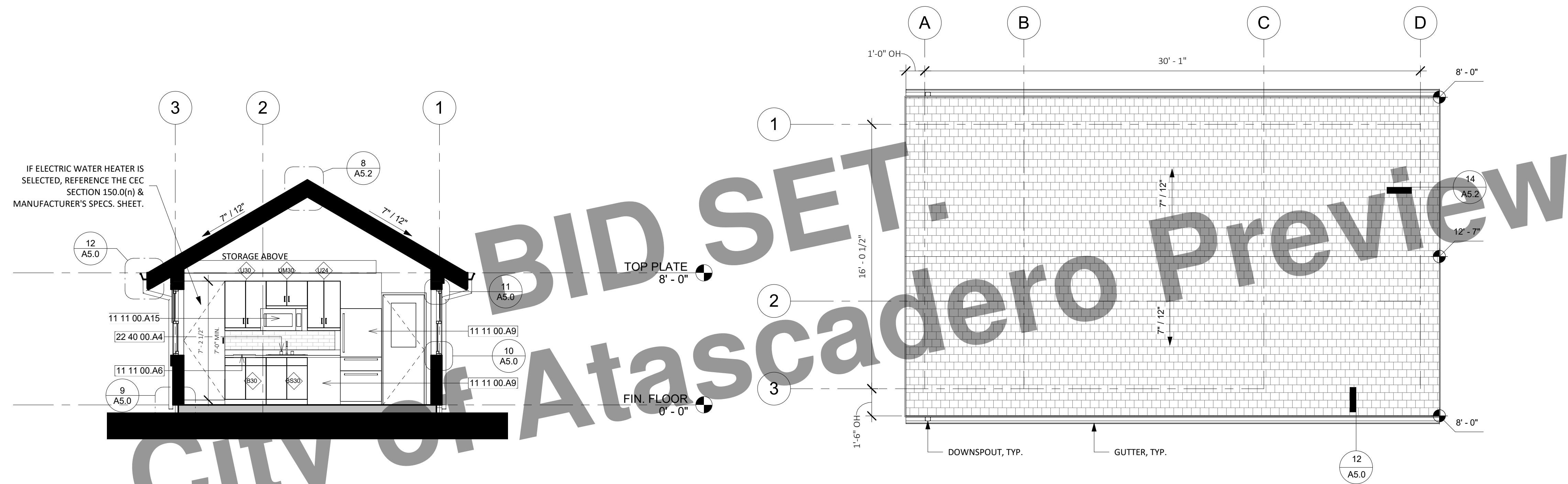
**CENTRAL COAST  
PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

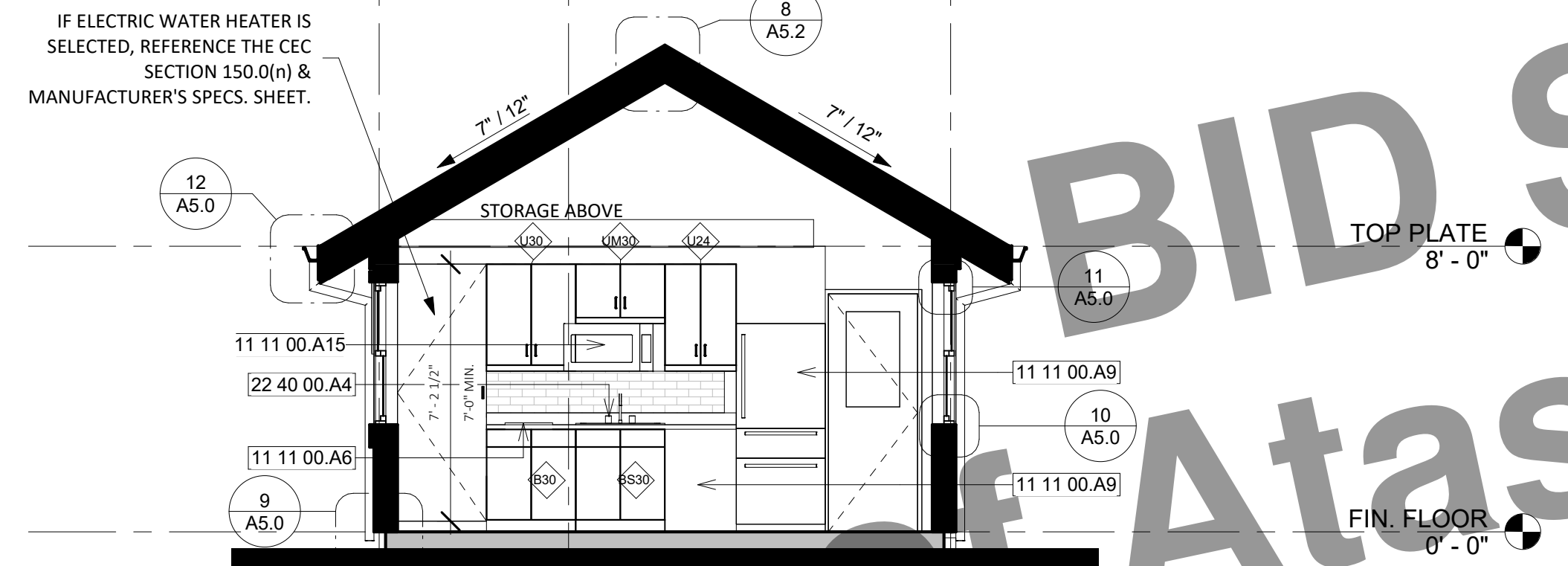
**CRAFTSMAN -  
SECTIONS, ROOF  
PLAN & RCP**

**A2.1**

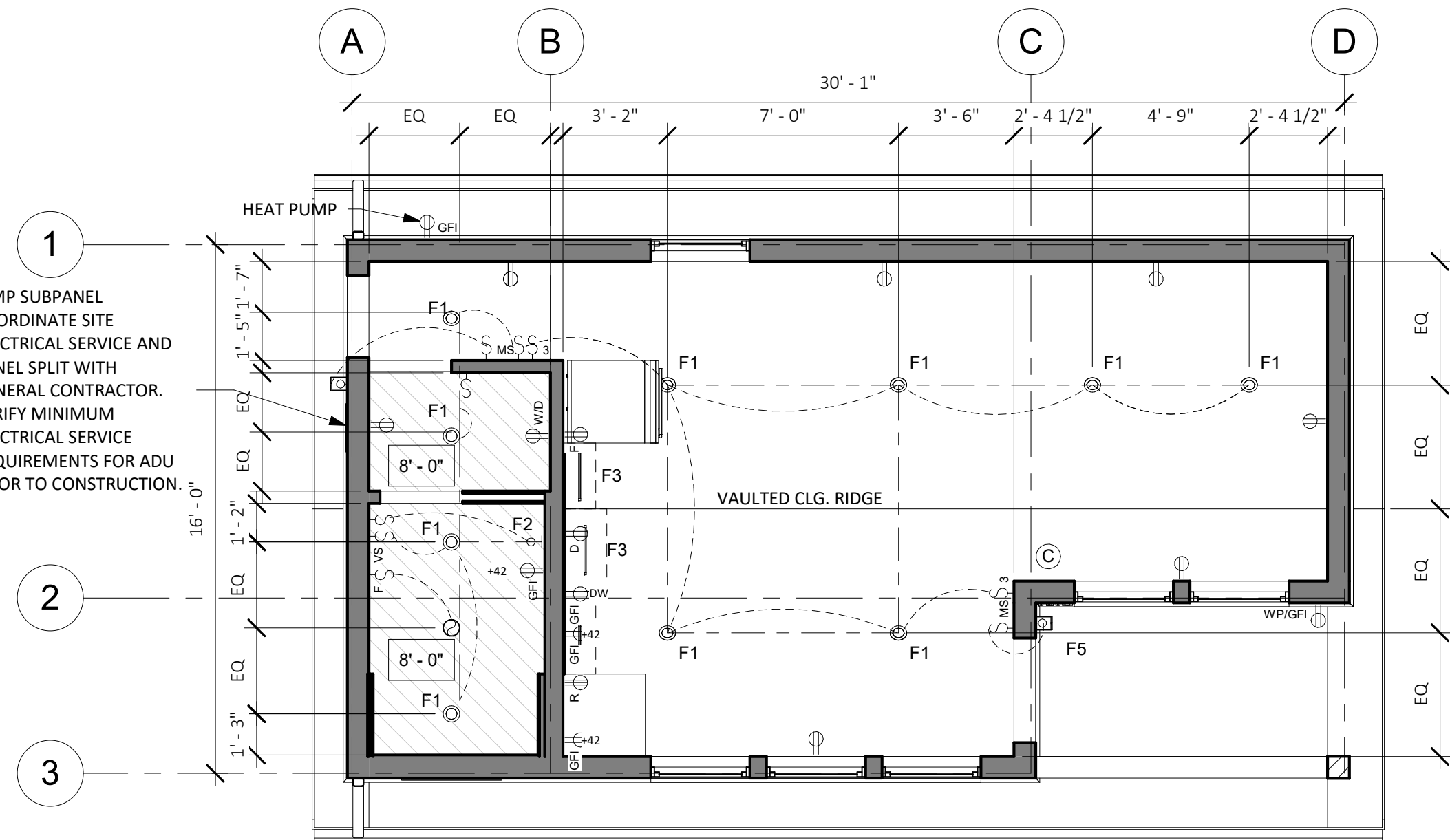
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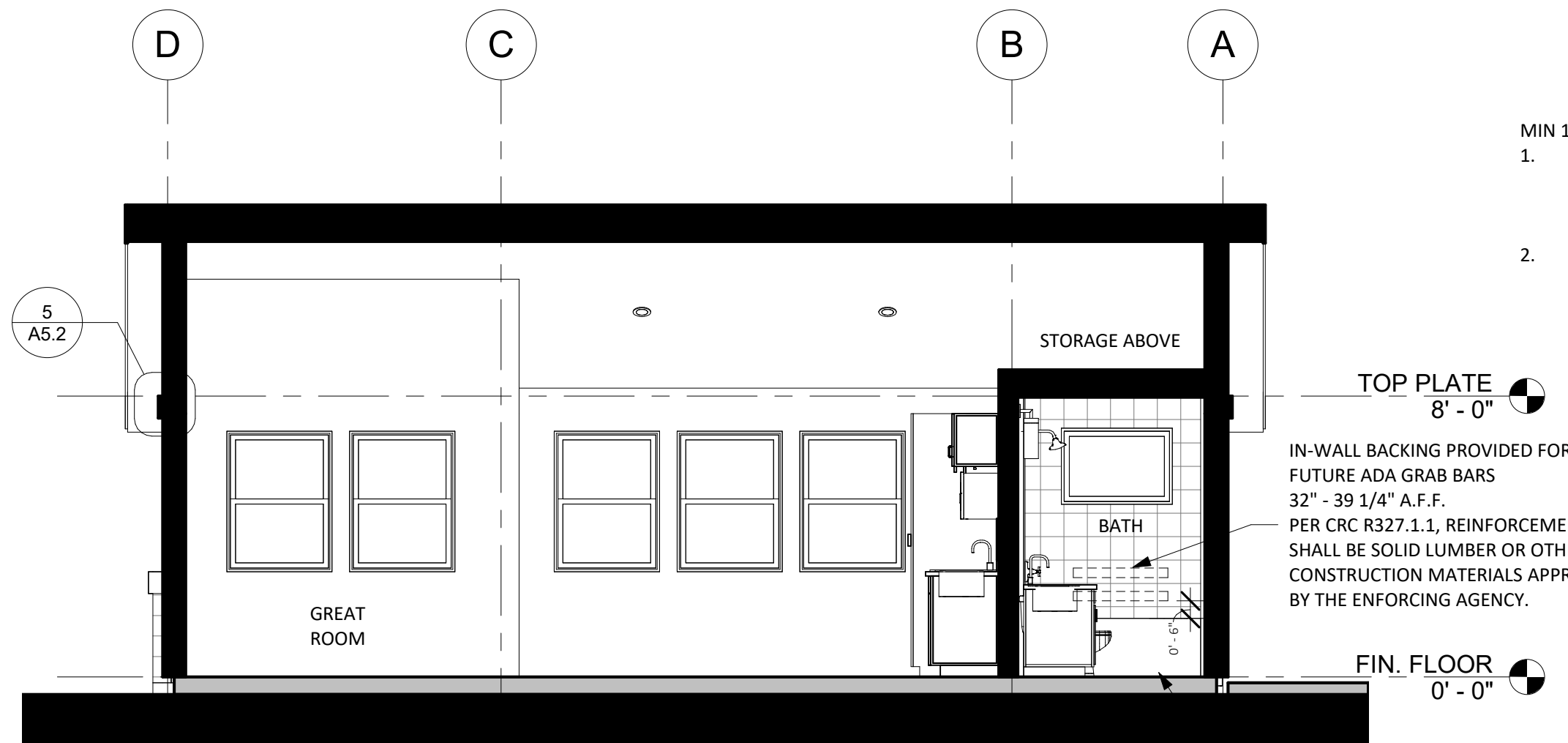
2. ROOF PLAN - BACKYARD CRAFTSMAN  
1/4" = 1'-0"



4. SECTION B - BACKYARD CRAFTSMAN  
1/4" = 1'-0"

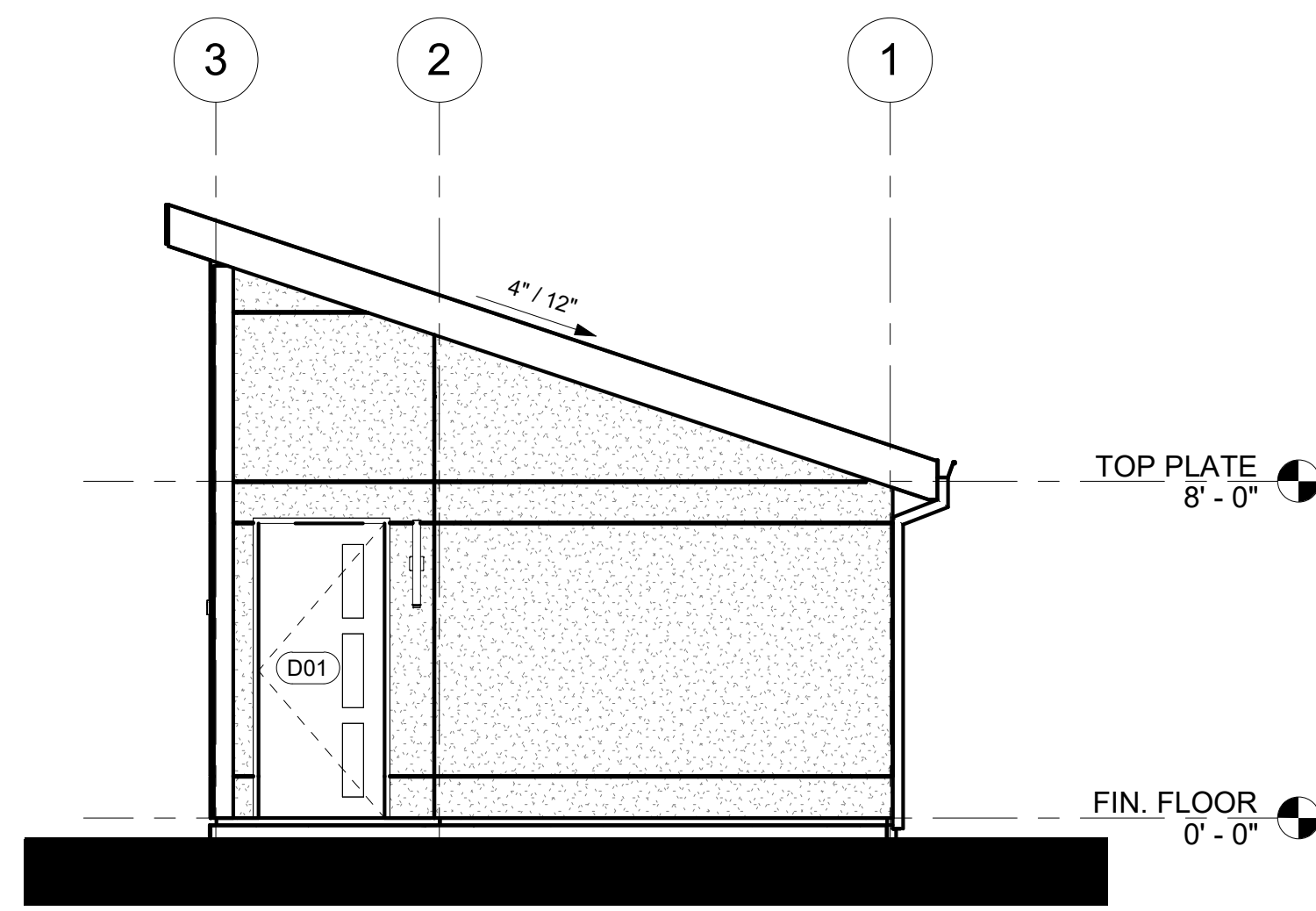


1. RCP & ELECTRICAL PLAN - STANDARD STUDIO  
1/4" = 1'-0"

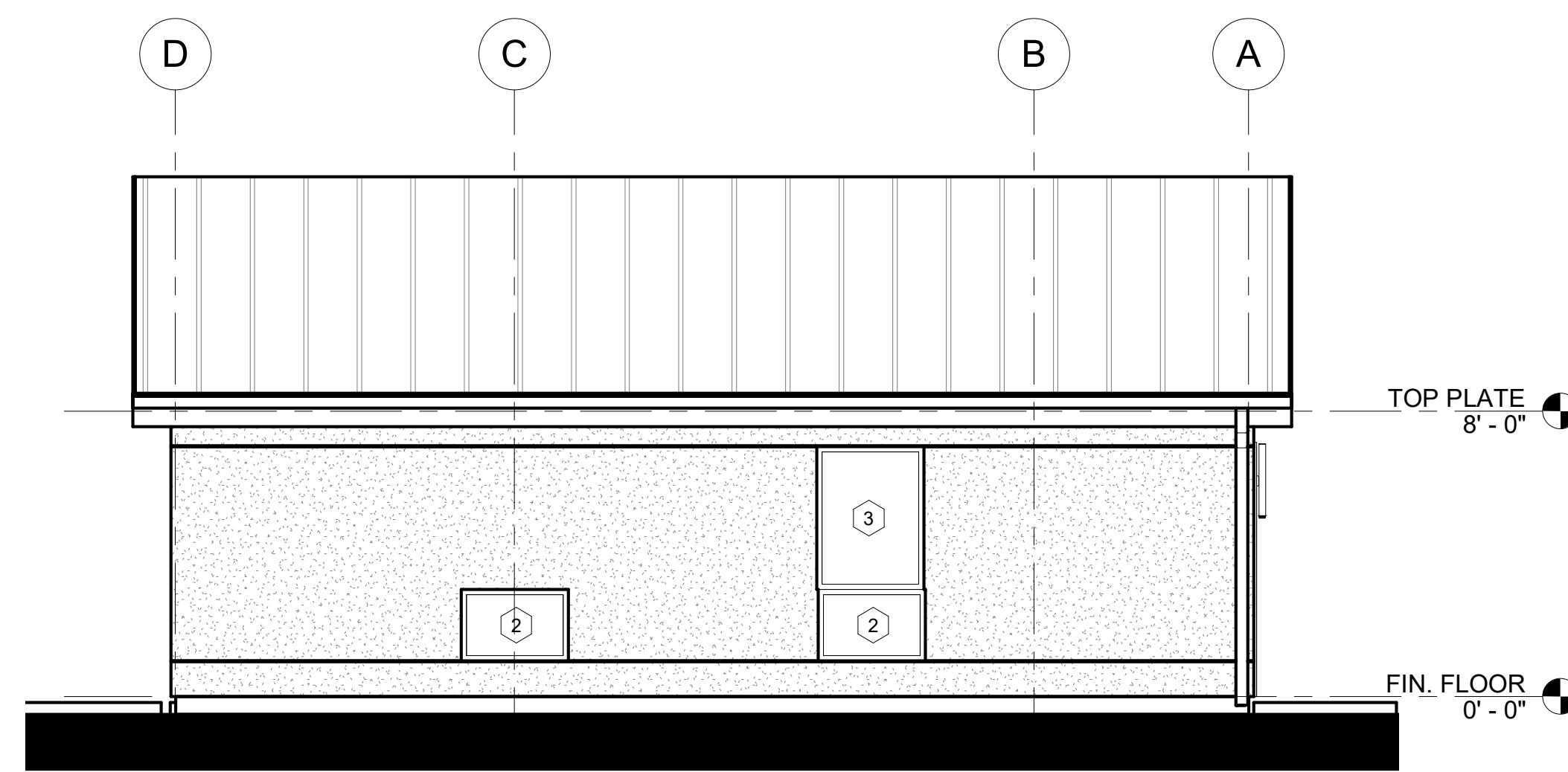


3. SECTION A - BACKYARD CRAFTSMAN  
1/4" = 1'-0"

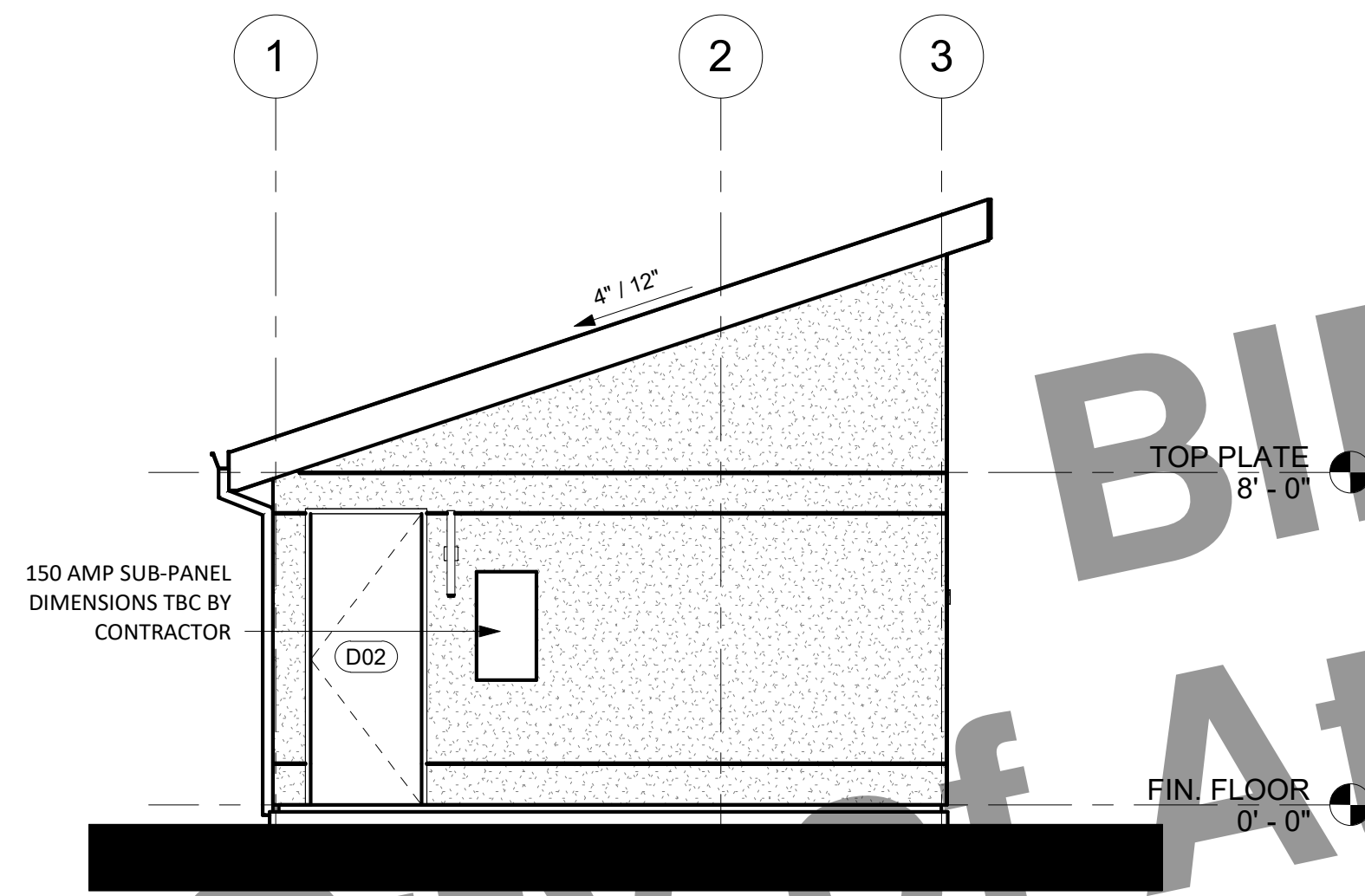
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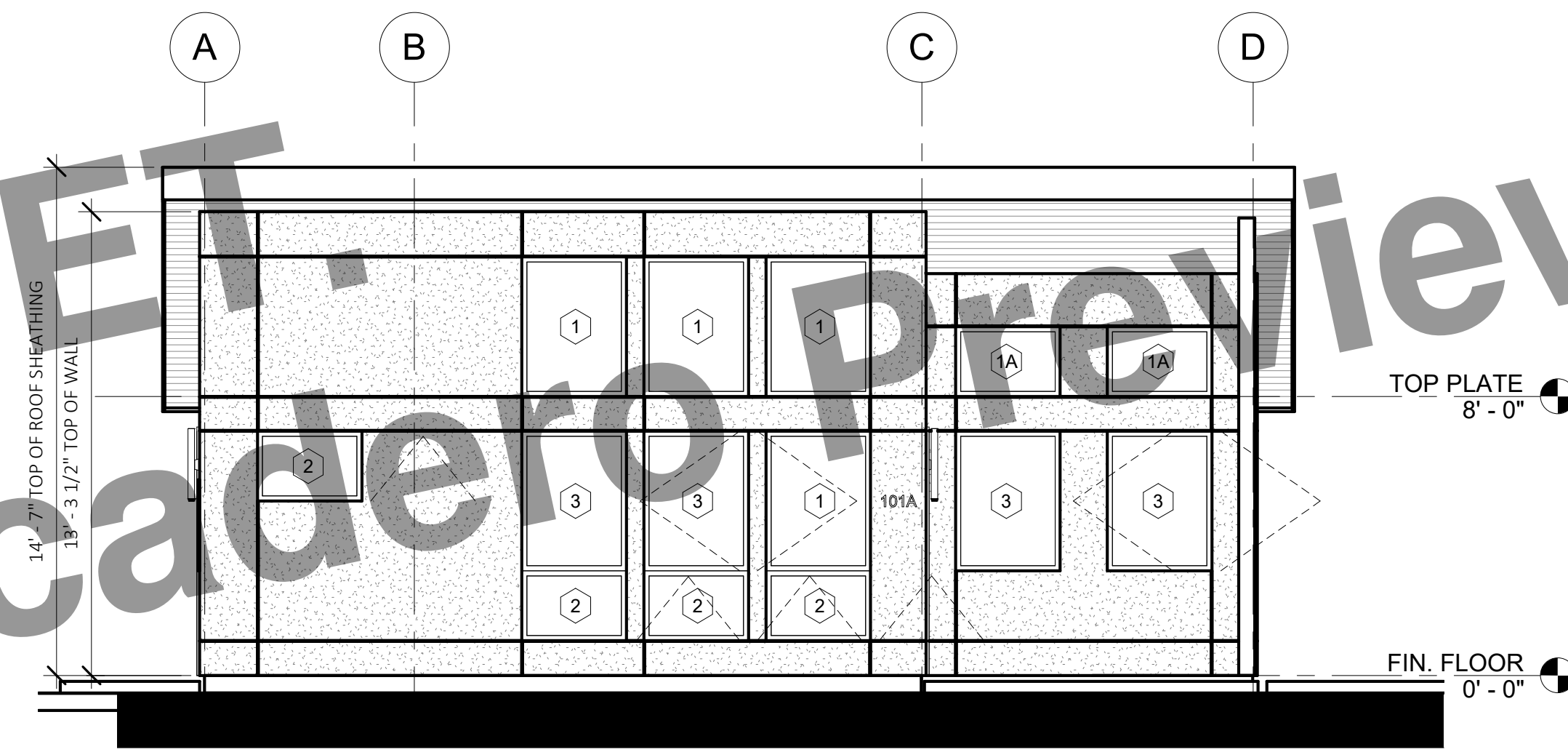
6 RIGHT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



3 REAR ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



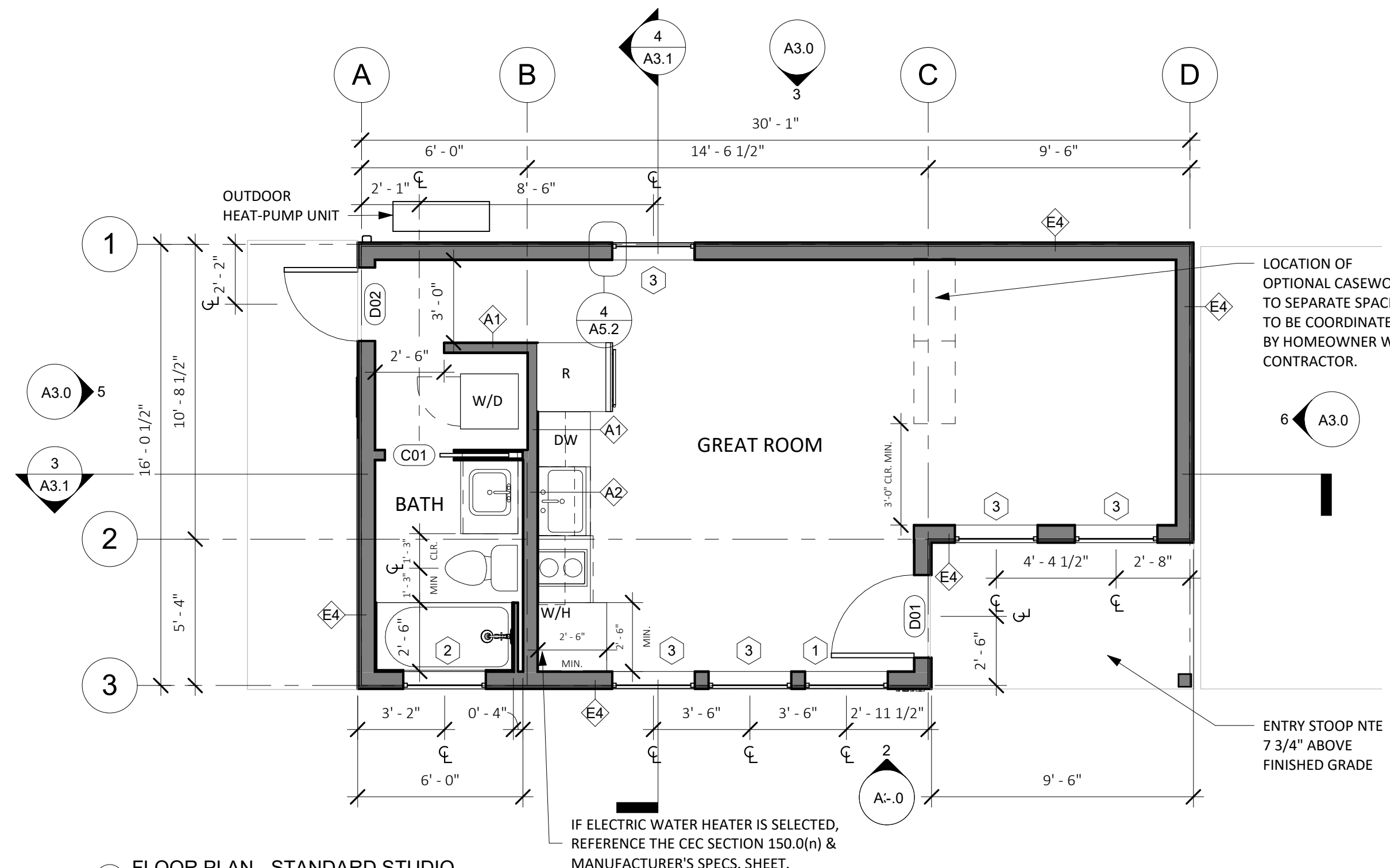
5 LEFT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN  
1/4" = 1'-0"



4 FRONT VIEW - STANDARD STUDIO - CALIFORNIA MODERN  
NO SCALE



1 FLOOR PLAN - STANDARD STUDIO  
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. See elevations for transom window types and locations.
5. Provide hanger rod and shelf at wardrobe closet.
6. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
7. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
8. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
3. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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/ARCHITECT**

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BROCKETTURE.COM

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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

**CENTRAL COAST  
PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

MODERN -  
FLOORPLANS &  
ELEVATIONS

**A3.0**

SCALE: AS NOTED



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**ROOF PLAN NOTES**

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
3. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
7. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

**ELECTRICAL LEGEND**

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

**REFLECTED CEILING PLAN LEGEND**

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2. ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

**REFLECTED CEILING PLAN NOTES**

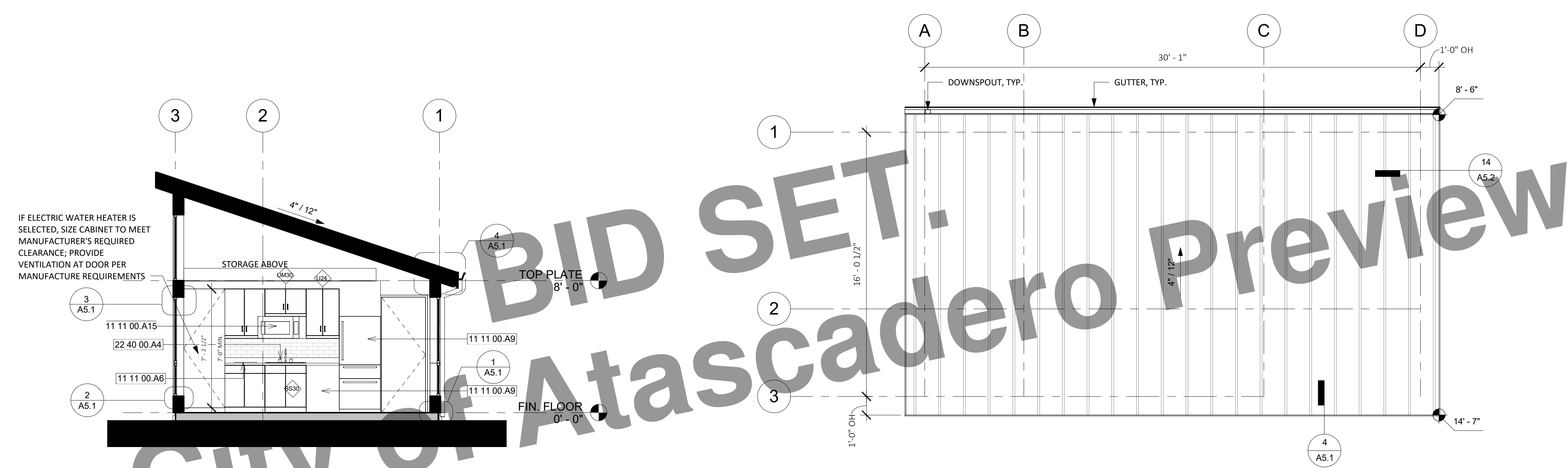
1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

**CENTRAL COAST  
PRE-DESIGNED ADU**  
 STANDARD STUDIO  
 445 GSF

MODERN - SECTIONS,  
ROOF PLAN & RCP

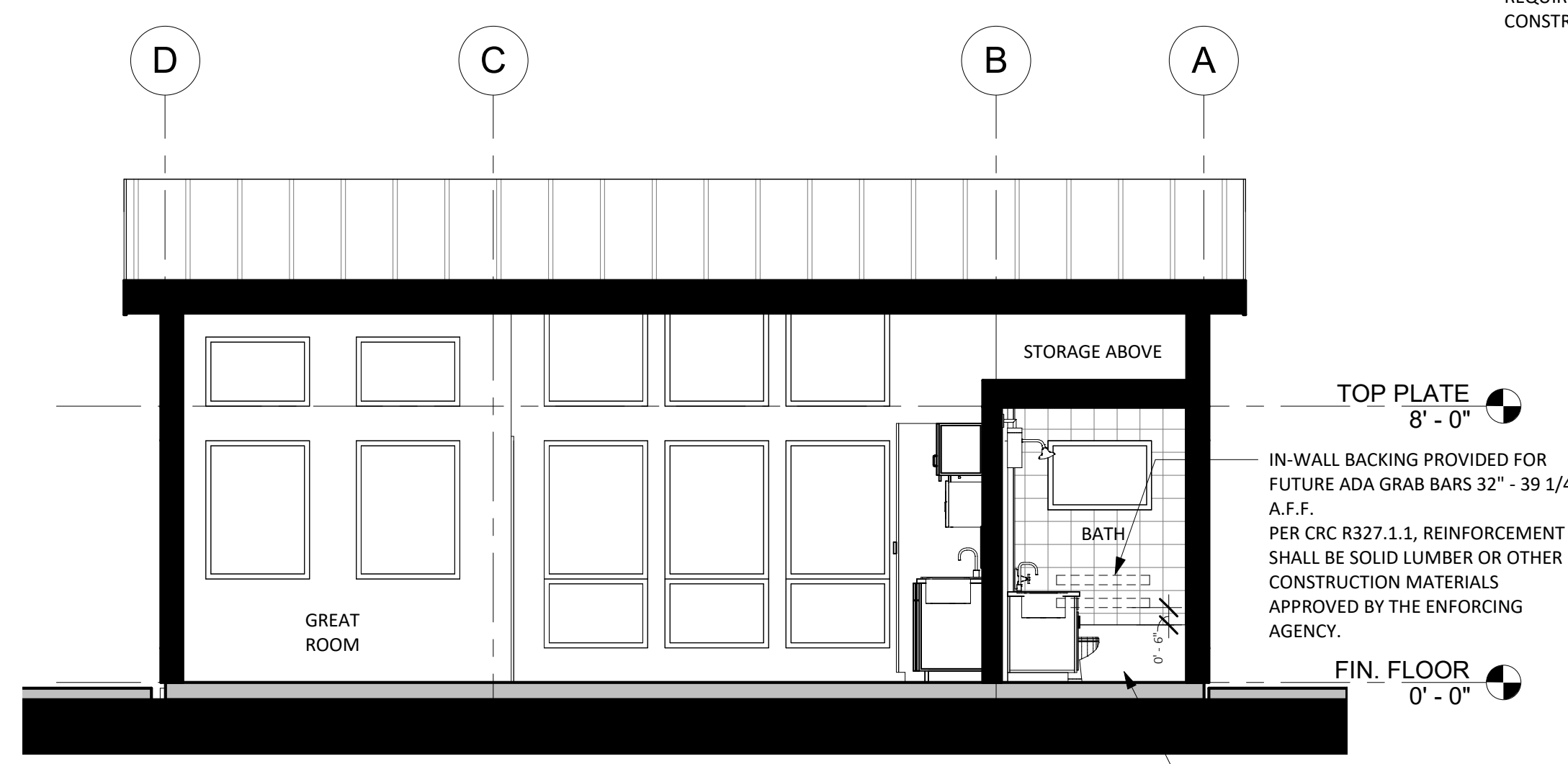
**A3.1**

SCALE: AS NOTED

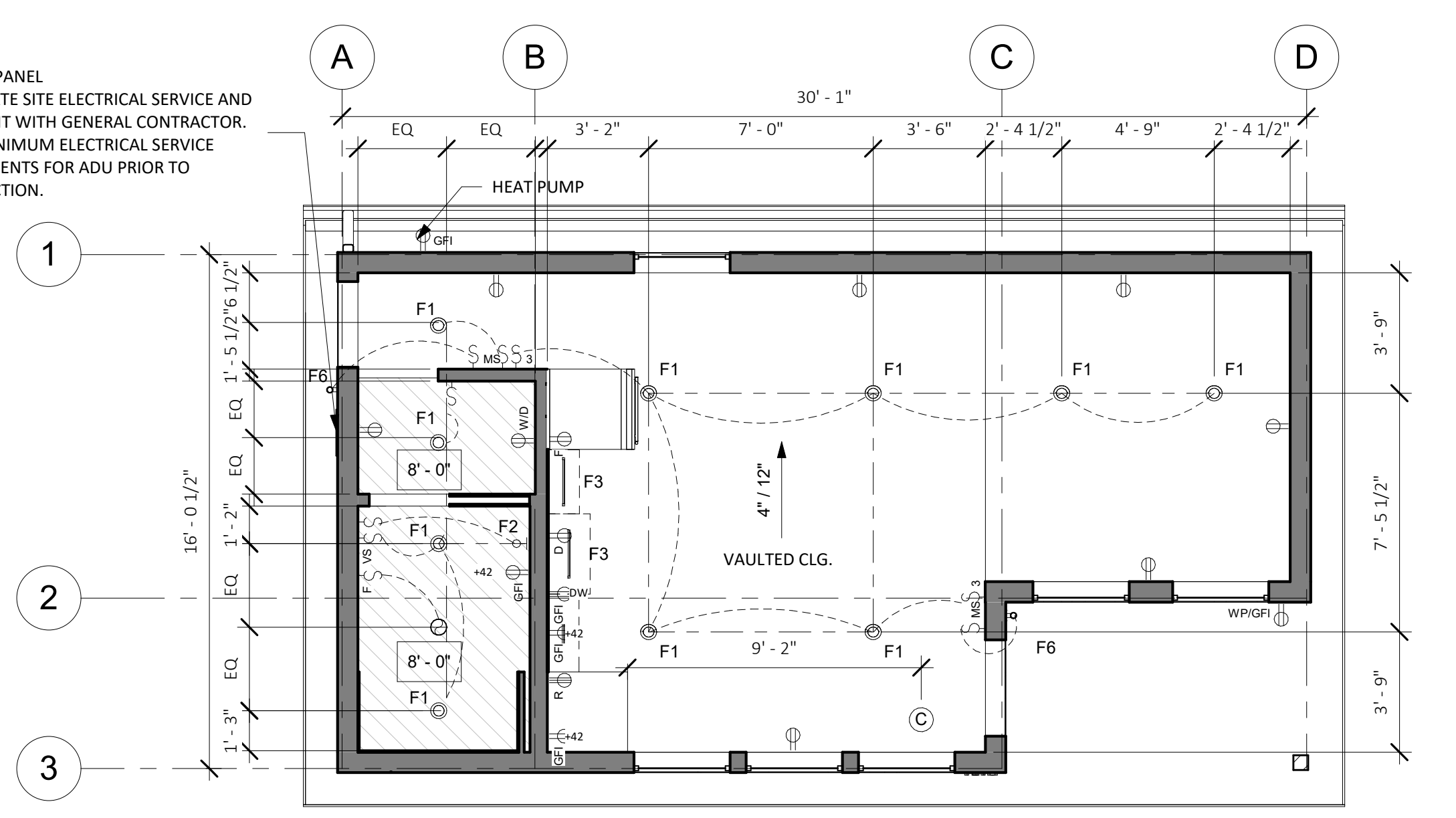


SECTION B - CALIFORNIA MODERN  
1/4" = 1'-0"

ROOF PLAN - CALIFORNIA MODERN  
1/4" = 1'-0"



SECTION A - CALIFORNIA MODERN  
1/4" = 1'-0"

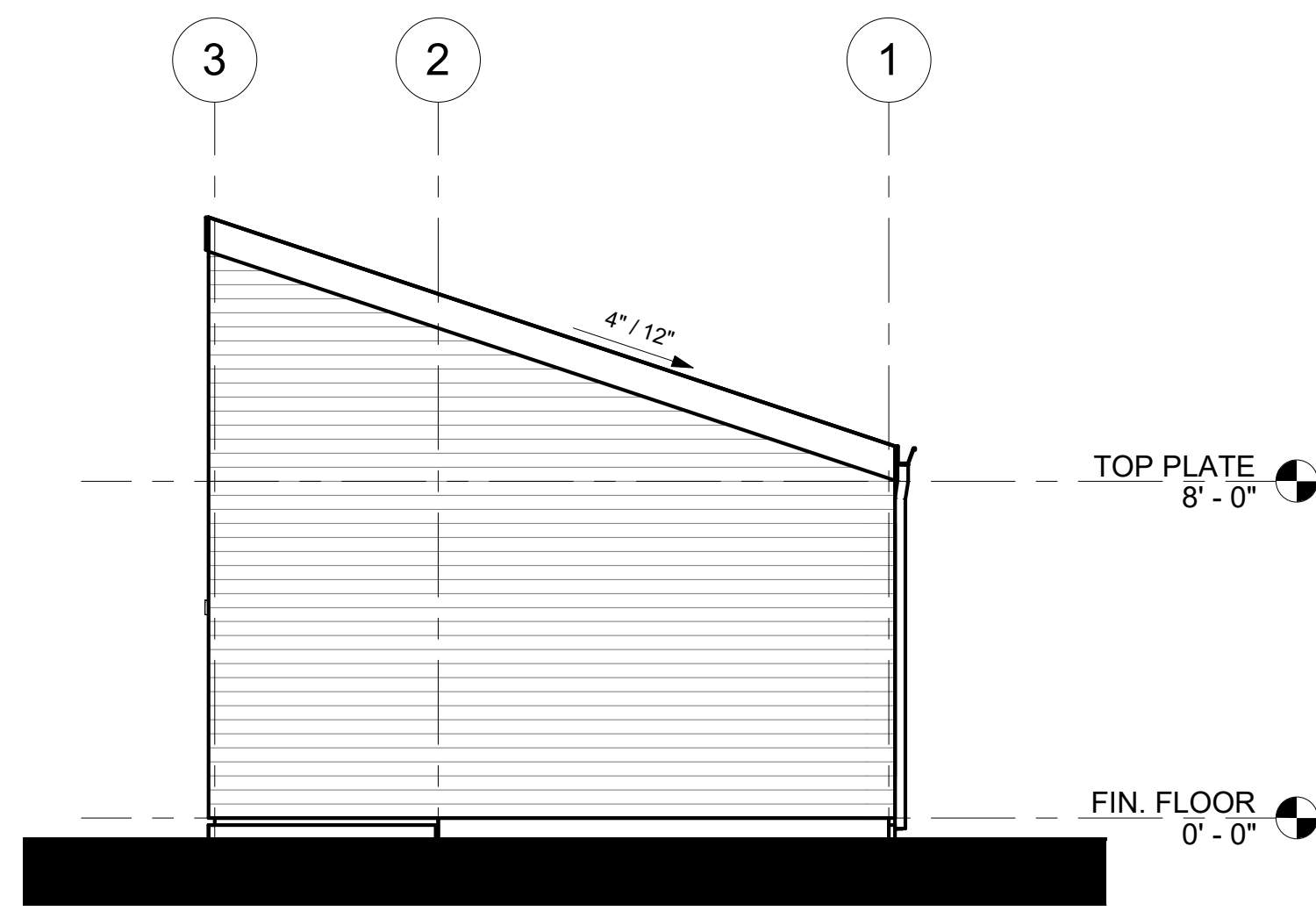


RCP & ELECTRICAL PLAN - STANDARD STUDIO  
1/4" = 1'-0"

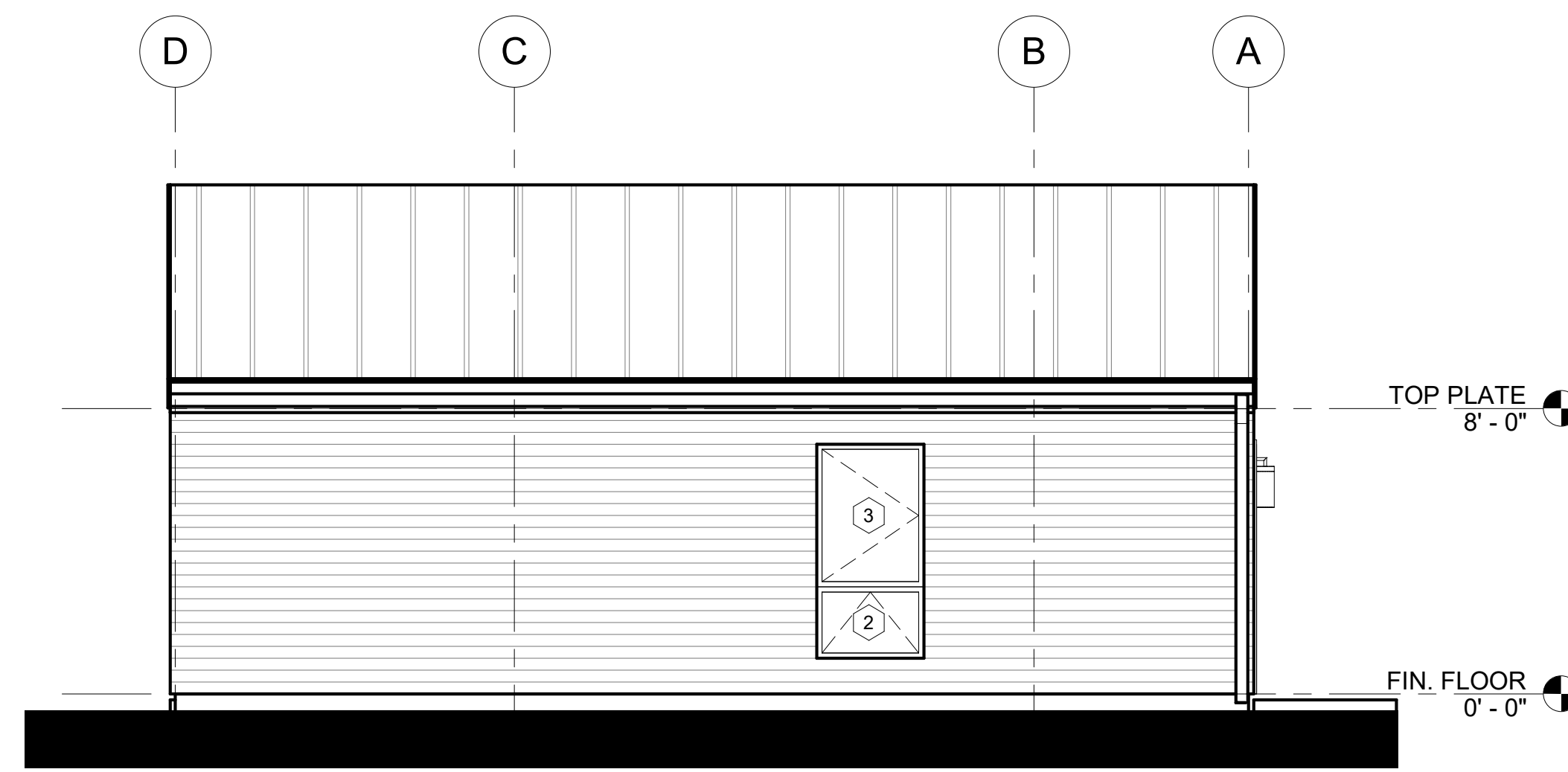
MIN 100 AMP SUBPANEL  
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.  
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F.  
PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

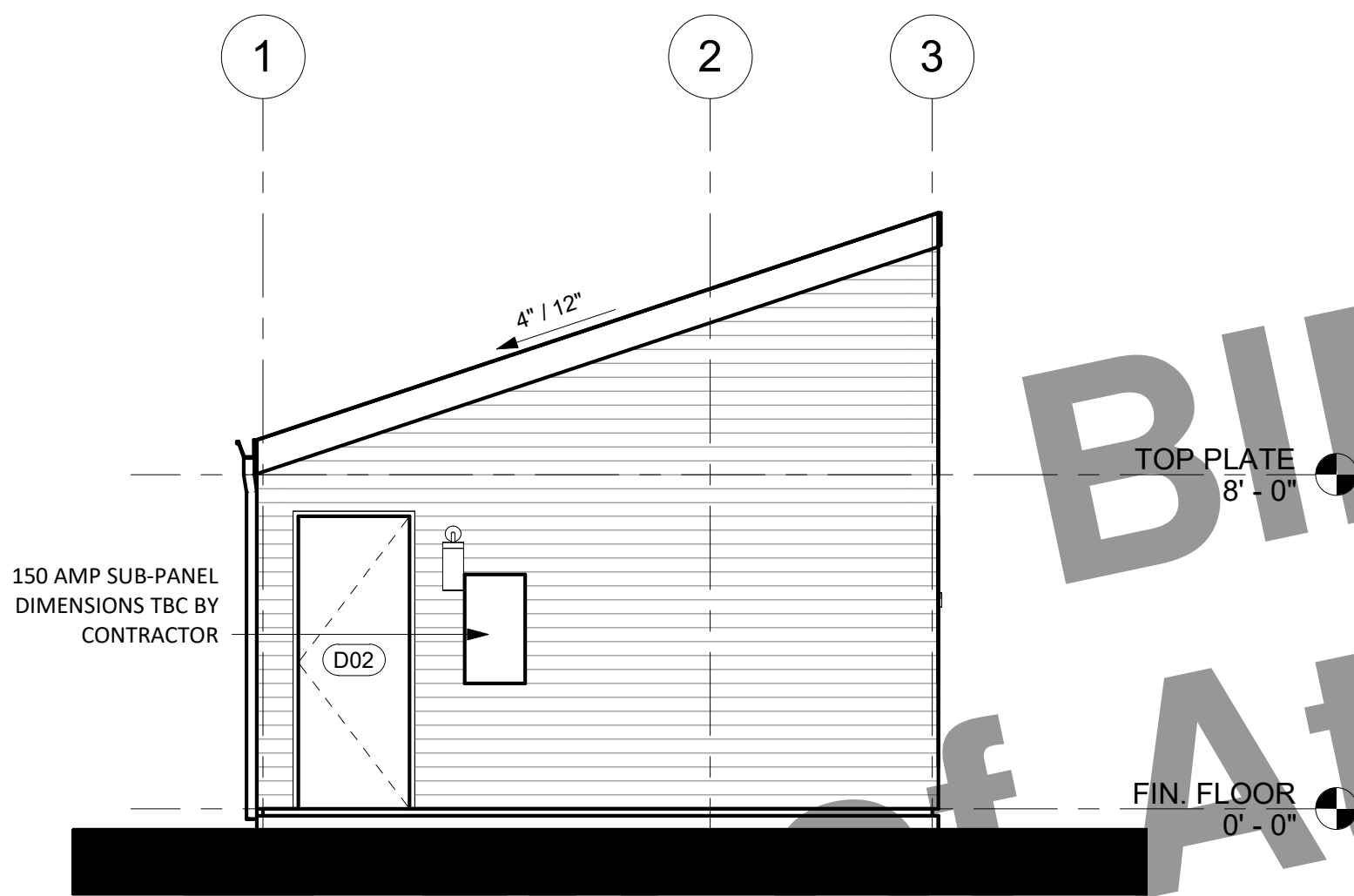
OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3



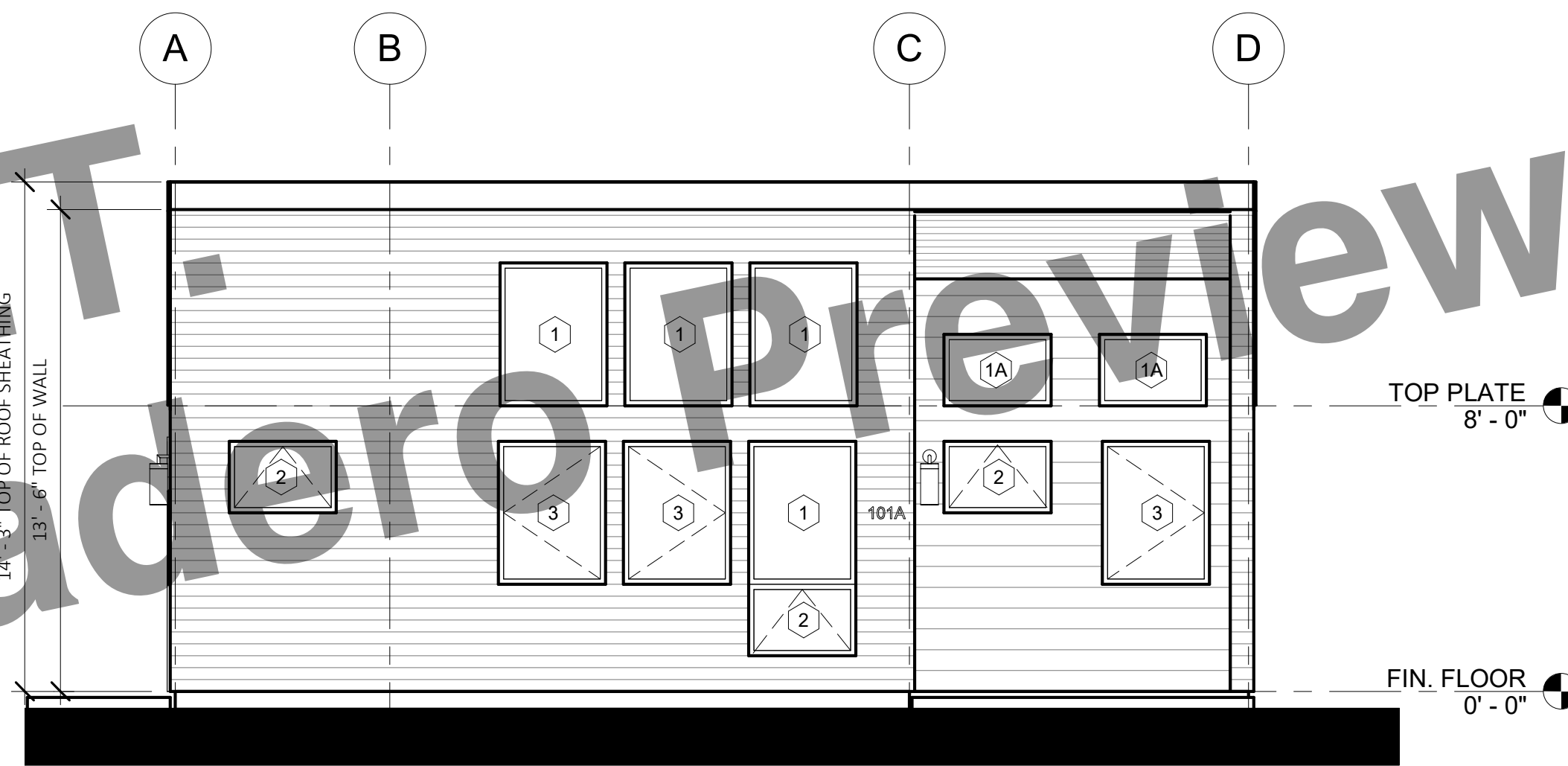
6 RIGHT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



5 LEFT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW  
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
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- SHEET NUMBER
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- SHEET NUMBER

FLOOR PLAN NOTES

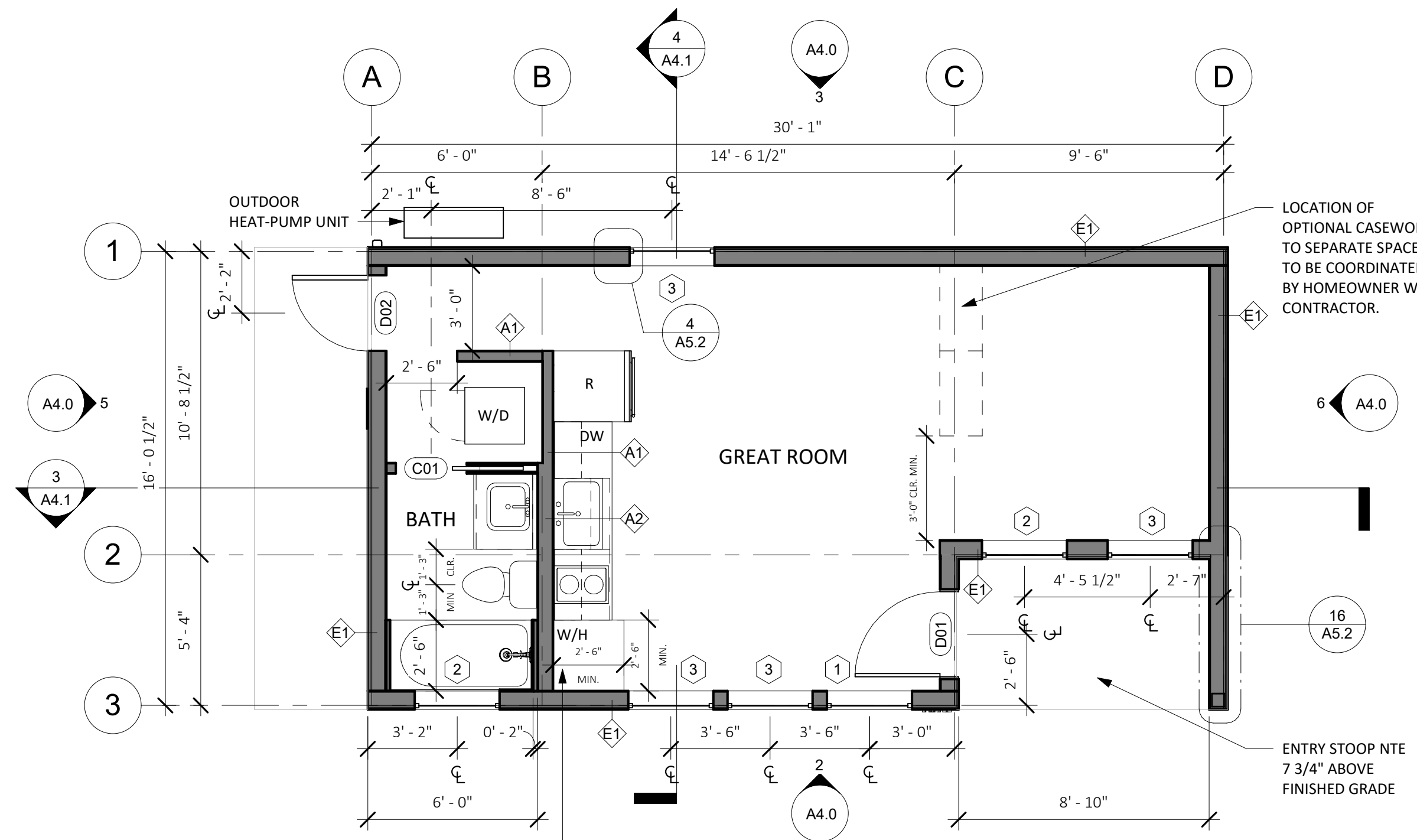
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- Provide hanger rod and shelf at wardrobe closet.
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ELEVATION NOTES

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- Materials indicated are shown generically. Actual materials are as selected by the Owner.



4 FRONT VIEW - STANDARD STUDIO - BEACH BUNGALOW  
NO SCALE



1 FLOOR PLAN - STANDARD STUDIO  
1/4" = 1'-0"

**workbench**

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**CENTRAL COAST PRE-DESIGNED ADU**

STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

**BUNGALOW - FLOORPLANS & ELEVATIONS**

**A4.0**

SCALE: AS NOTED



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**ROOF PLAN NOTES**

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6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

**ELECTRICAL LEGEND**

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- ⚡ SWITCH
- ⚡ DIMMER SWITCH
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- ⚡ VACANCY SWITCH
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- SWITCH LEG
- ☑ WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

**REFLECTED CEILING PLAN LEGEND**

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
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7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

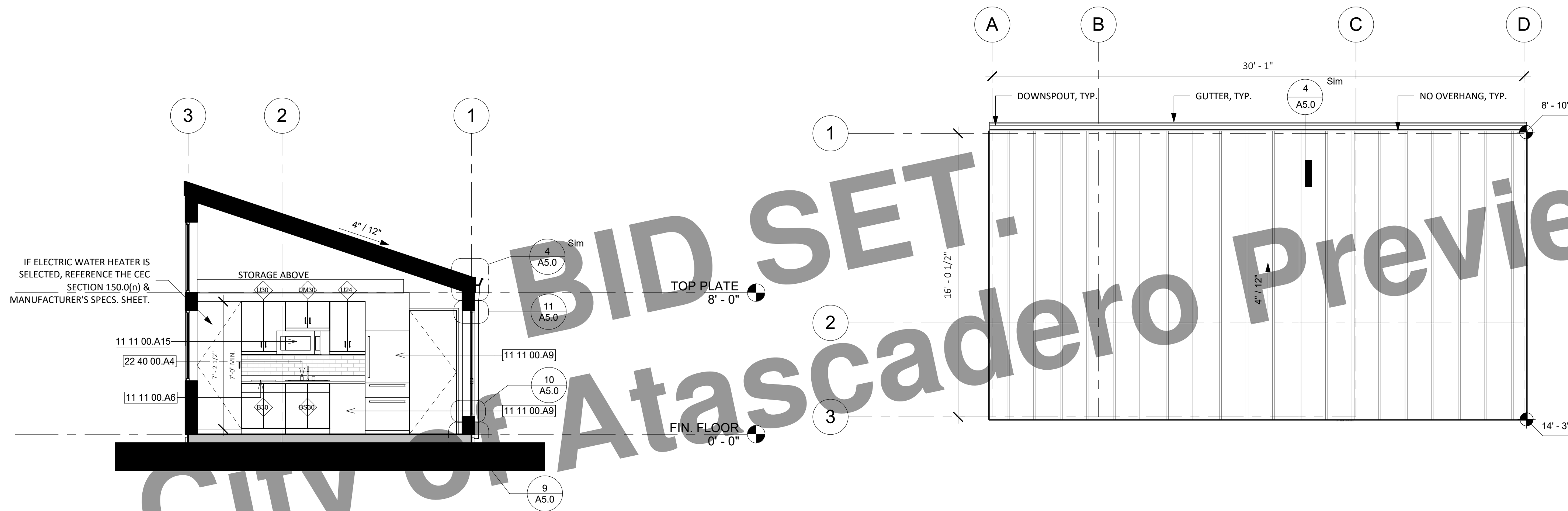
**CENTRAL COAST PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

PRINT DATE: XX.XX.XXXX

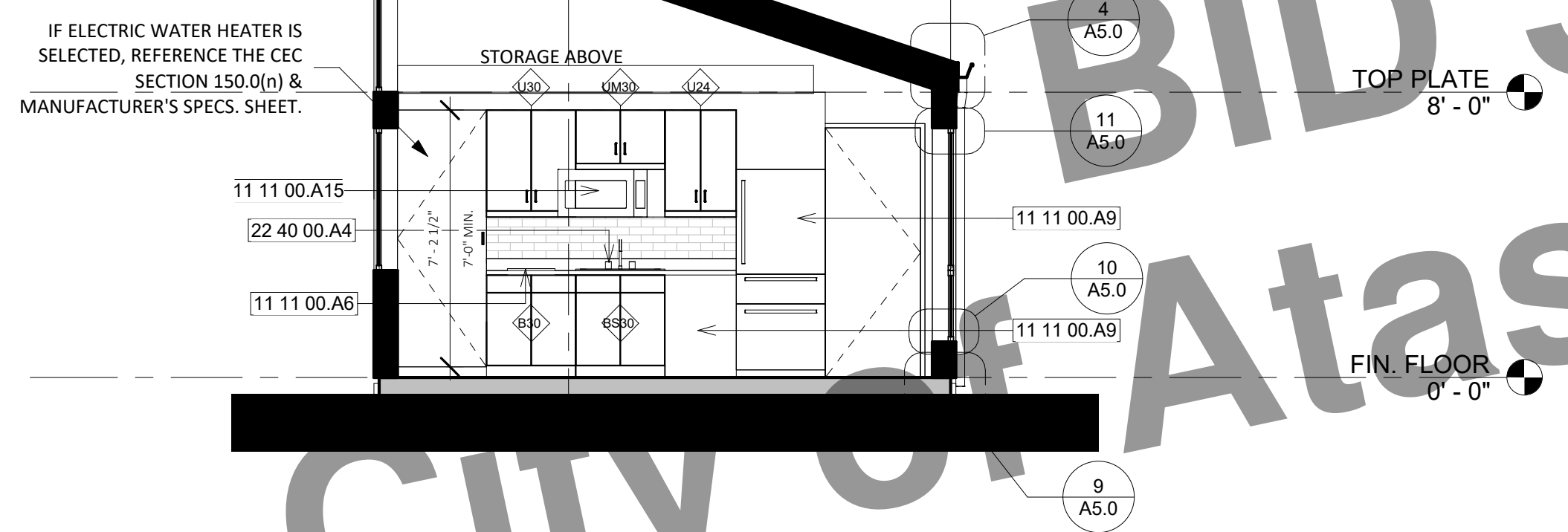
**BUNGALOW - SECTIONS, ROOF PLAN & RCP**

**A4.1**

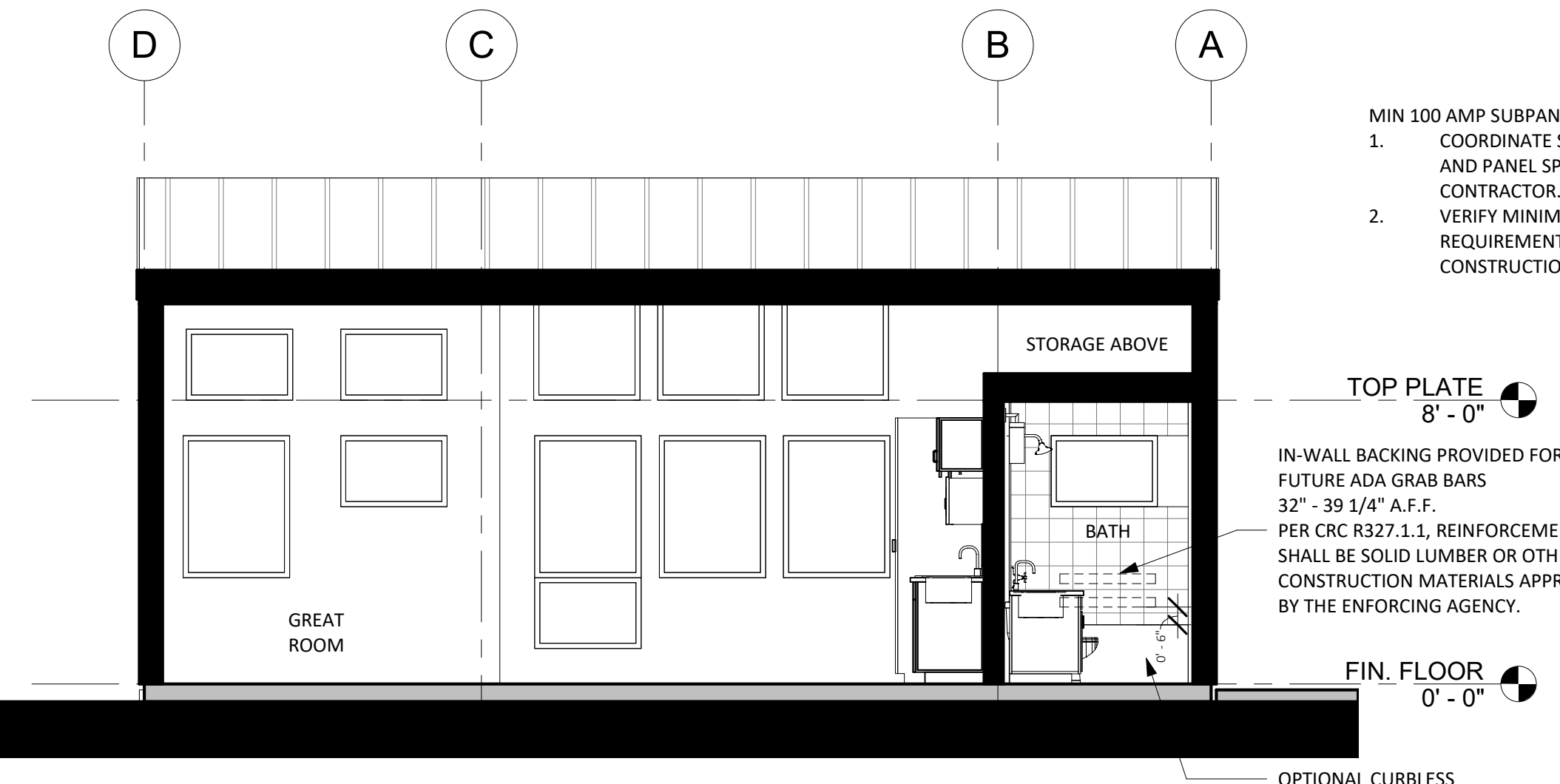
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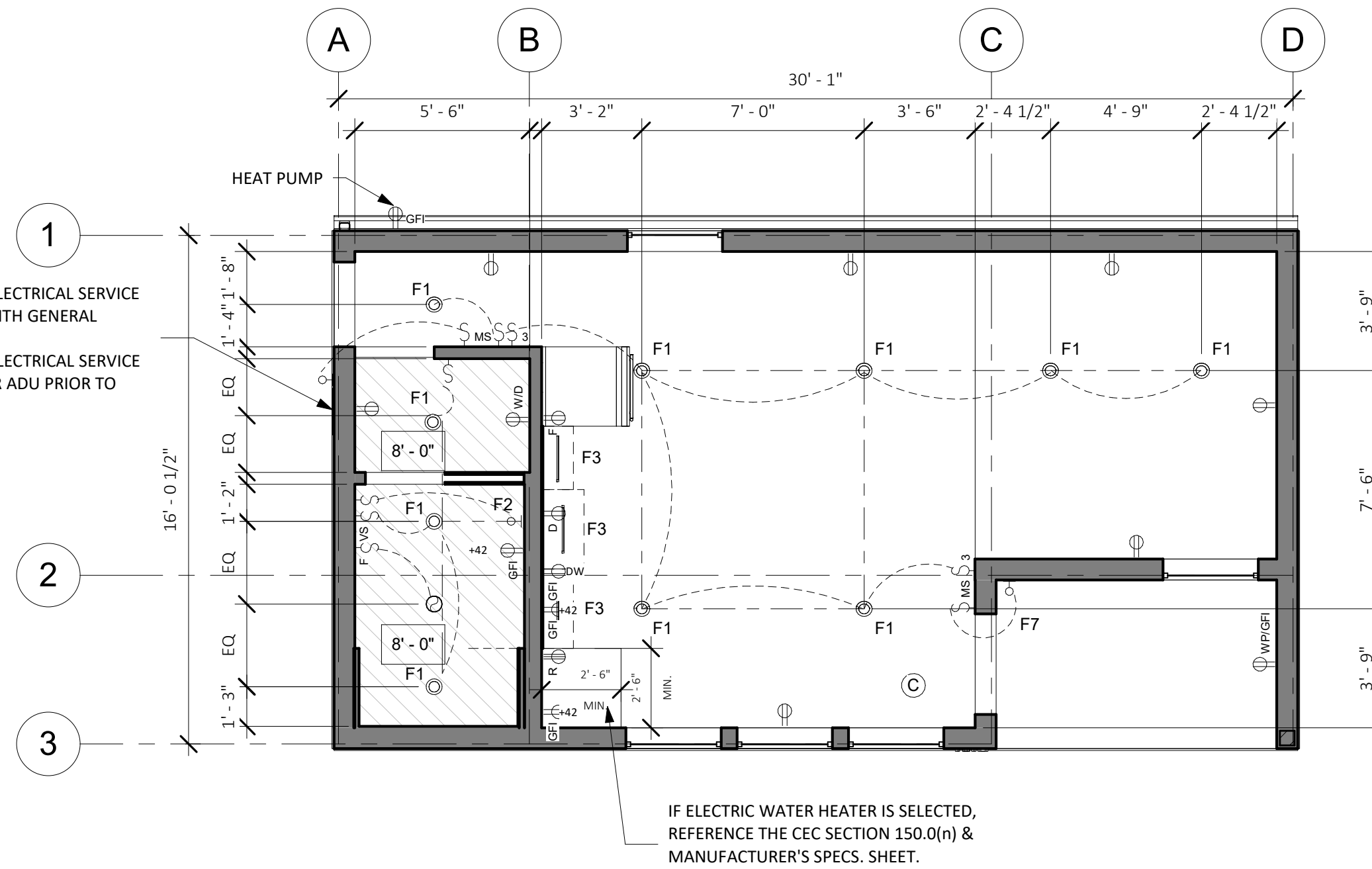
2. ROOF PLAN - BEACH BUNGALOW  
1/4" = 1'-0"



4. SECTION B - BEACH BUNGALOW  
1/4" = 1'-0"



3. SECTION A - BEACH BUNGALOW  
1/4" = 1'-0"



1. RCP & ELECTRICAL PLAN - STANDARD STUDIO  
1/4" = 1'-0"

8/30/2023 3:00:50 PM



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- THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DECLARATION.

**CENTRAL COAST  
PRE-DESIGNED ADU**  
STANDARD STUDIO  
445 GSF

**EXTERIOR WALL  
ASSEMBLY DETAILS**

**A5.0**

SCALE: AS NOTED

**DETAIL GENERAL NOTES**

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5].
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

**WUI NOTES**

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

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**EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3**  
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

**EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6**  
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**VENTS. CBC 706A / CRC R337.6**  
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

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WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

**UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8**  
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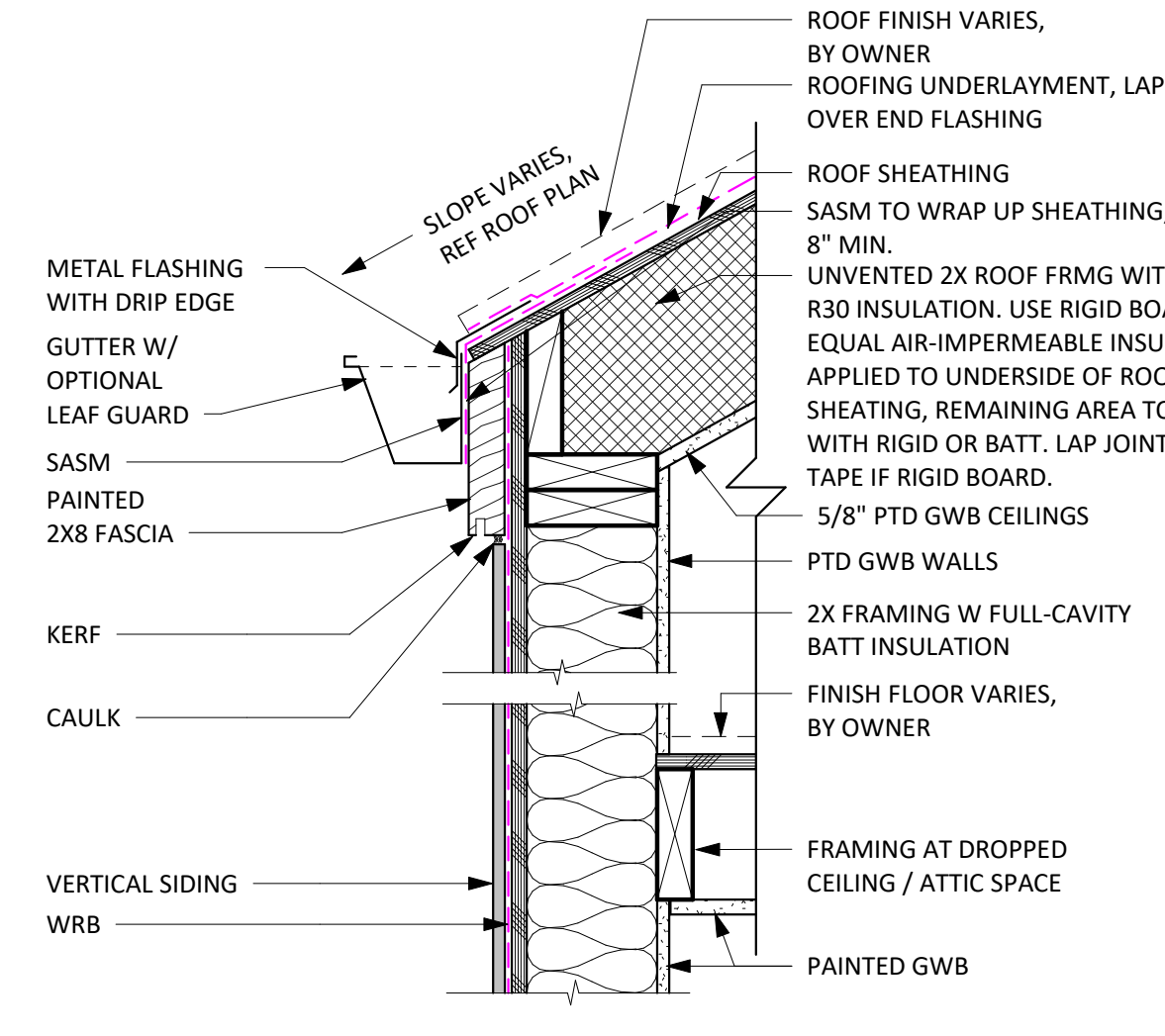
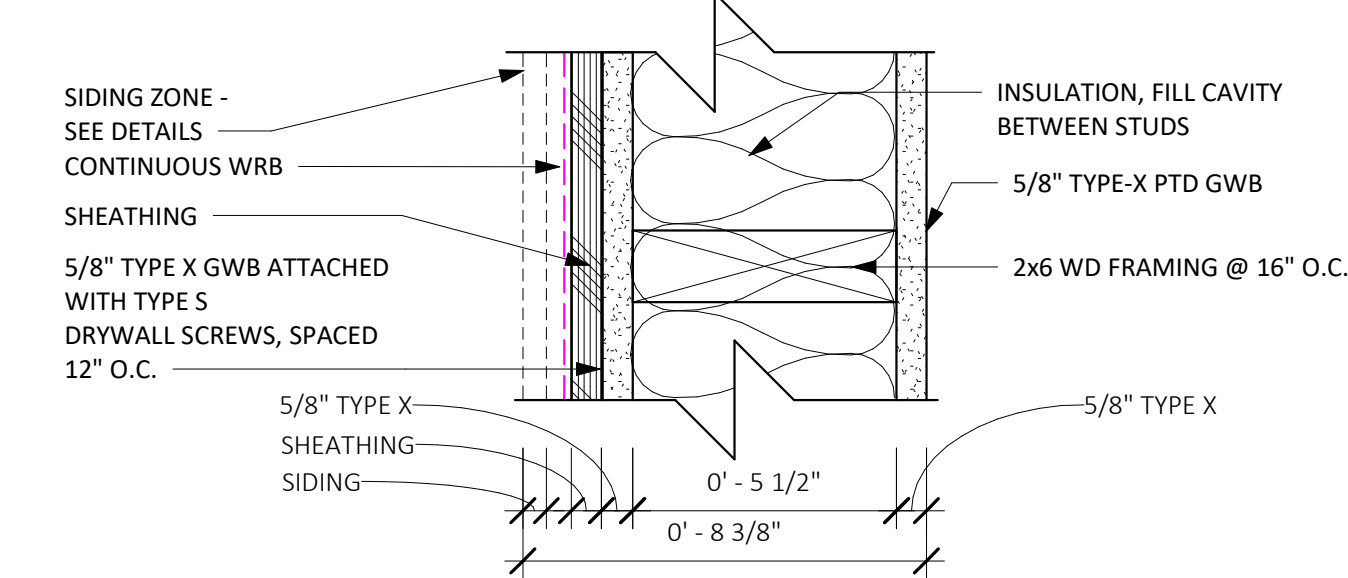
**PERFORMANCE NOTES**

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  - SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
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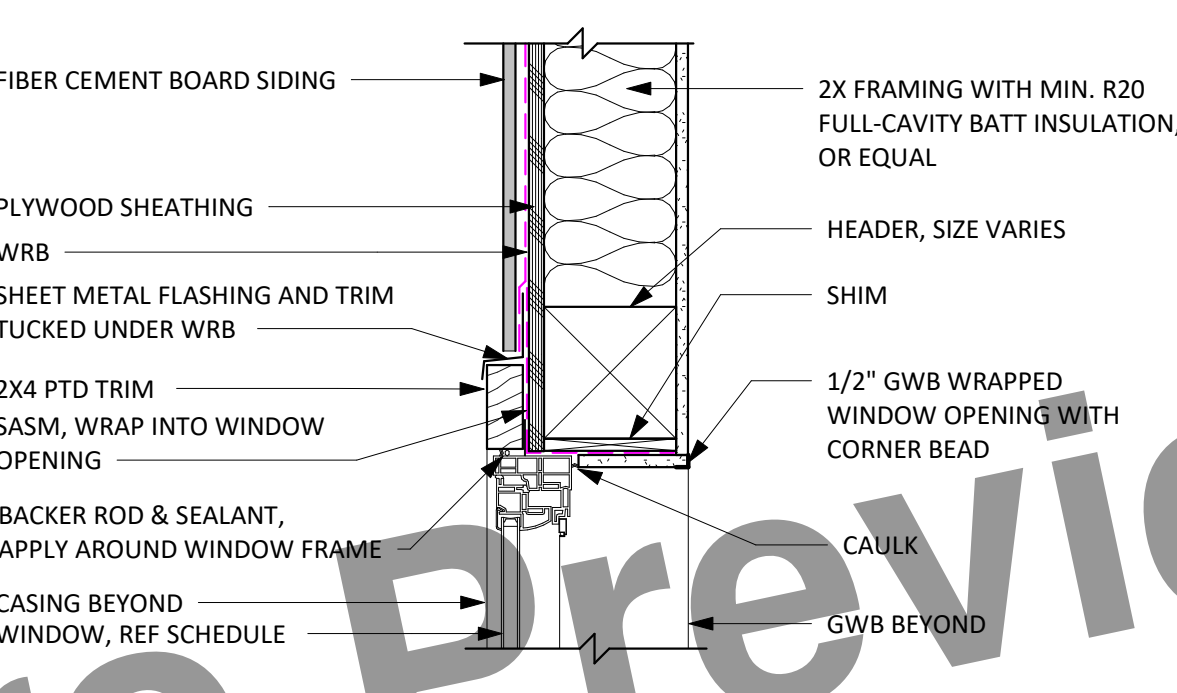
**FIRE RATING NOTES**

- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

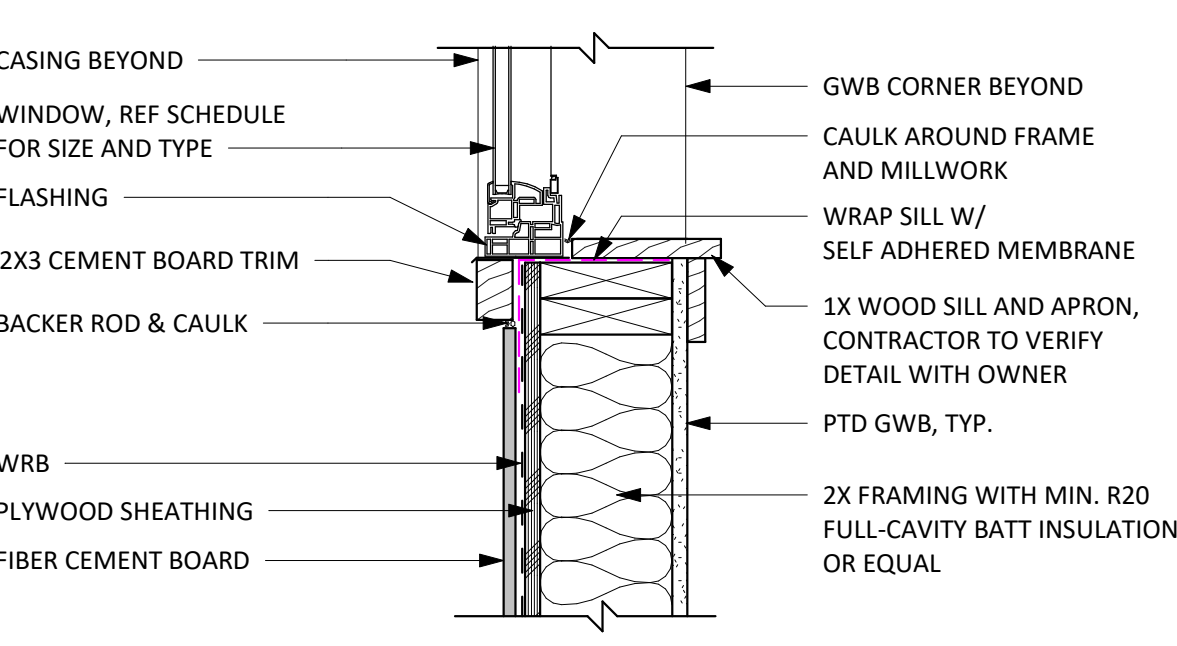
**WB STANDARD:  
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12\***



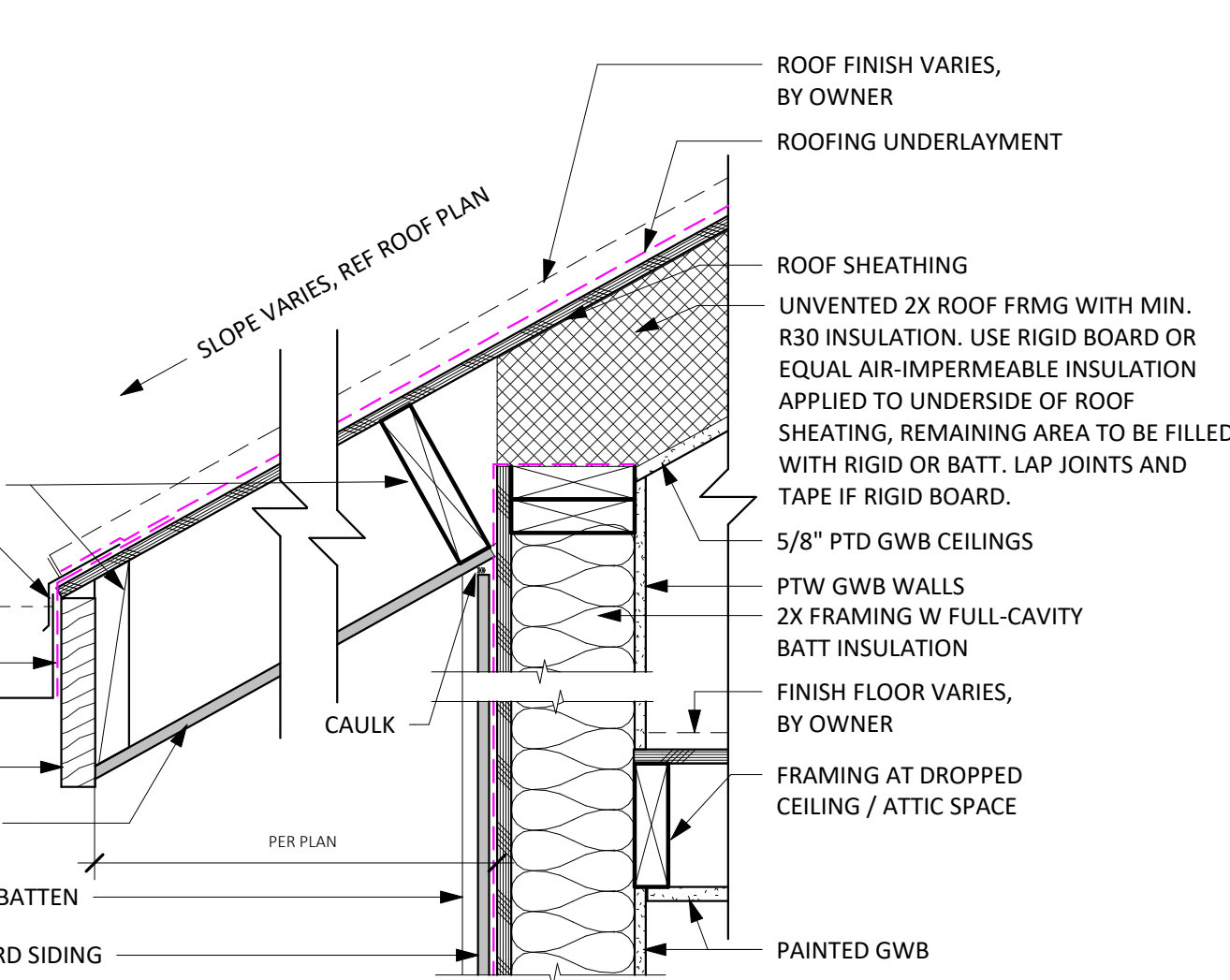
**4 EAVE WITH ZERO OVERHANG  
1 1/2" = 1'-0"**



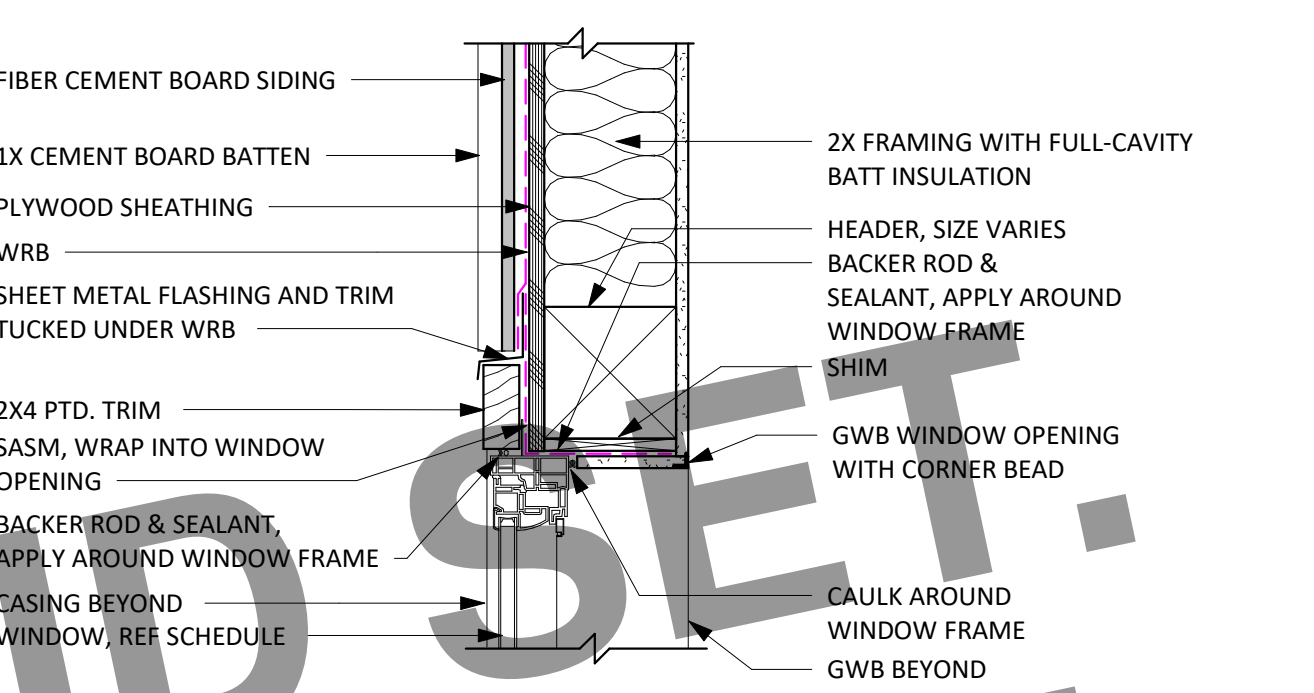
**3 WINDOW HEAD AT VERTICAL SIDING  
1 1/2" = 1'-0"**



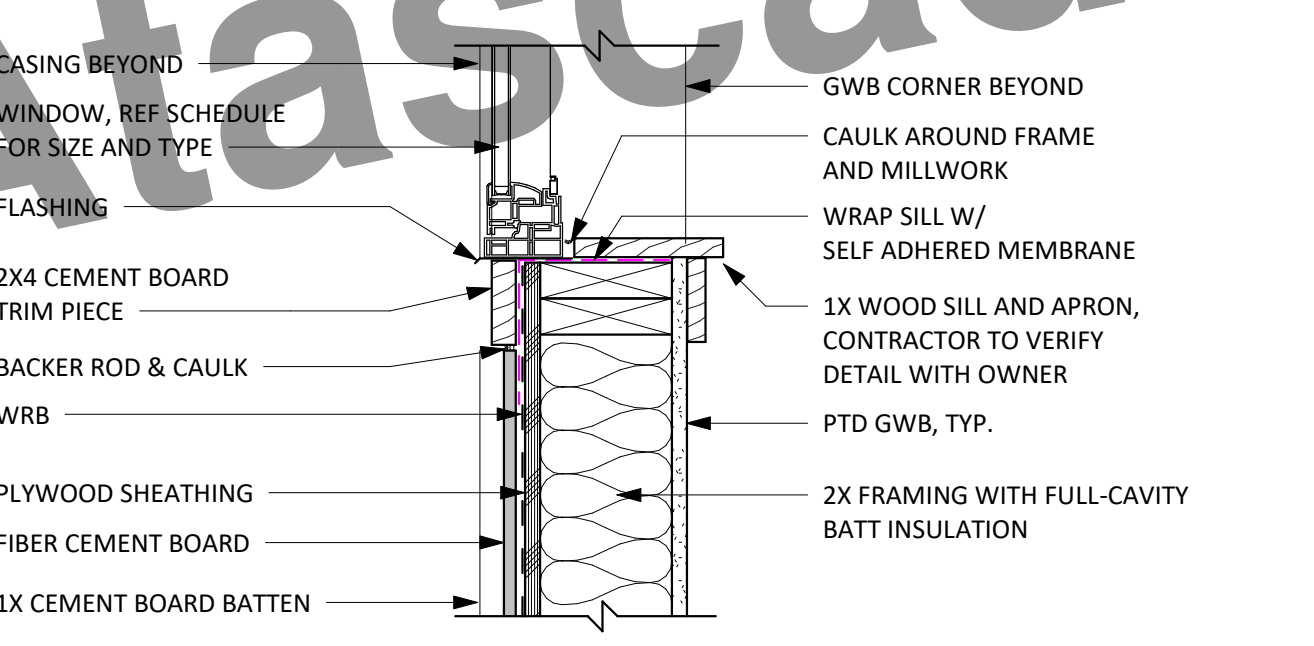
**2 WINDOW SILL AT VERTICAL SIDING  
1 1/2" = 1'-0"**



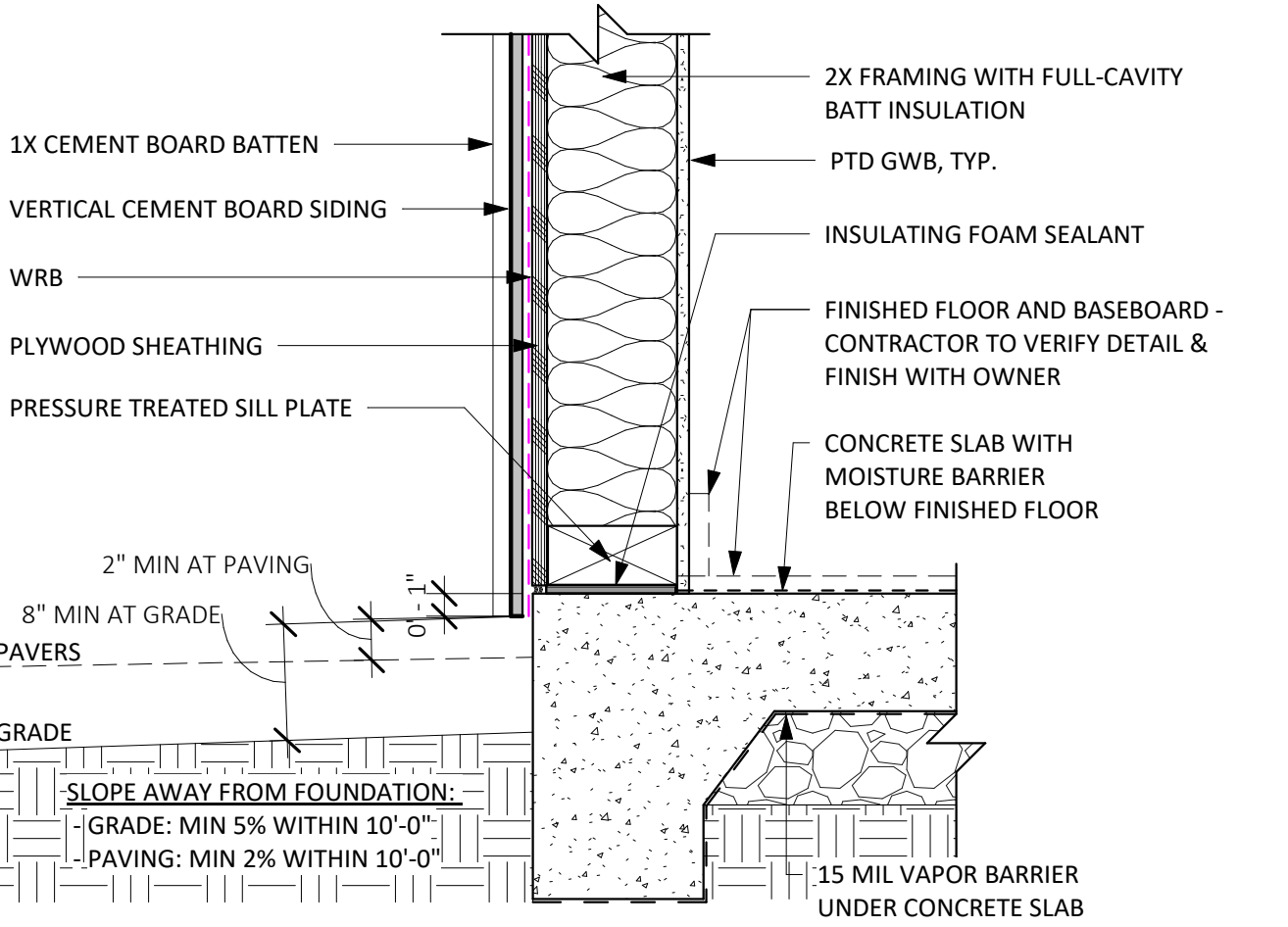
**8 RAKE / EAVE AT BOARD & BATTEN  
1 1/2" = 1'-0"**



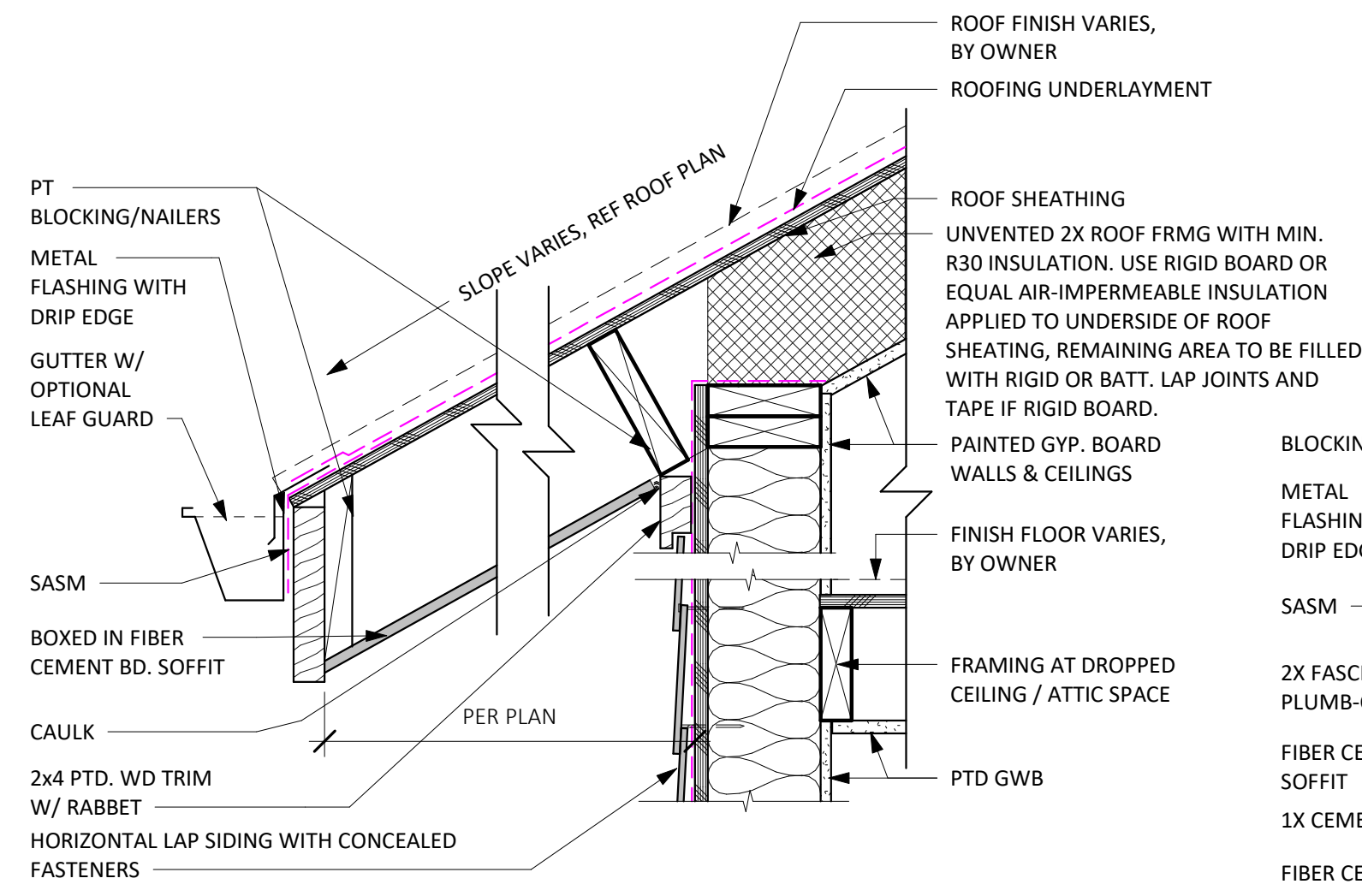
**7 WINDOW HEAD AT BOARD & BATTEN  
1 1/2" = 1'-0"**



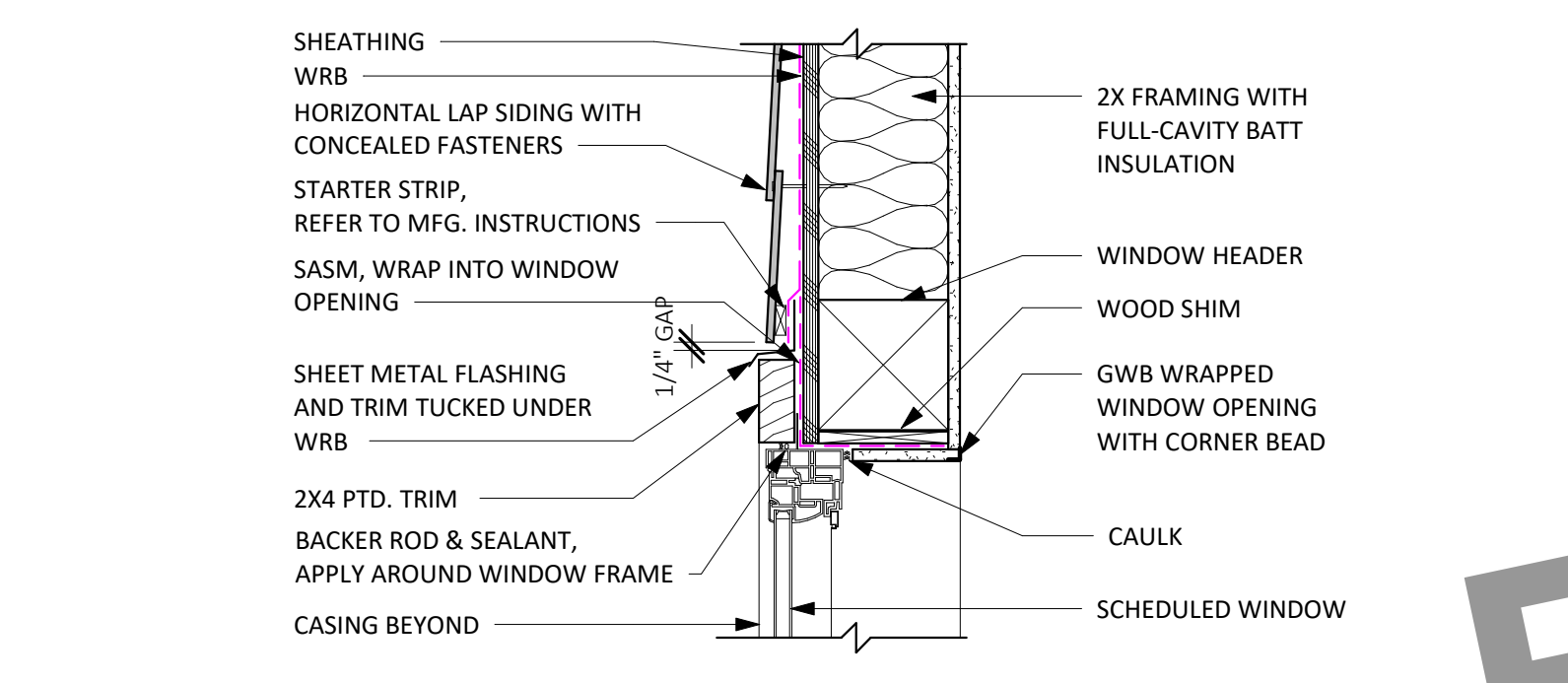
**6 WINDOW SILL AT BOARD & BATTEN  
1 1/2" = 1'-0"**



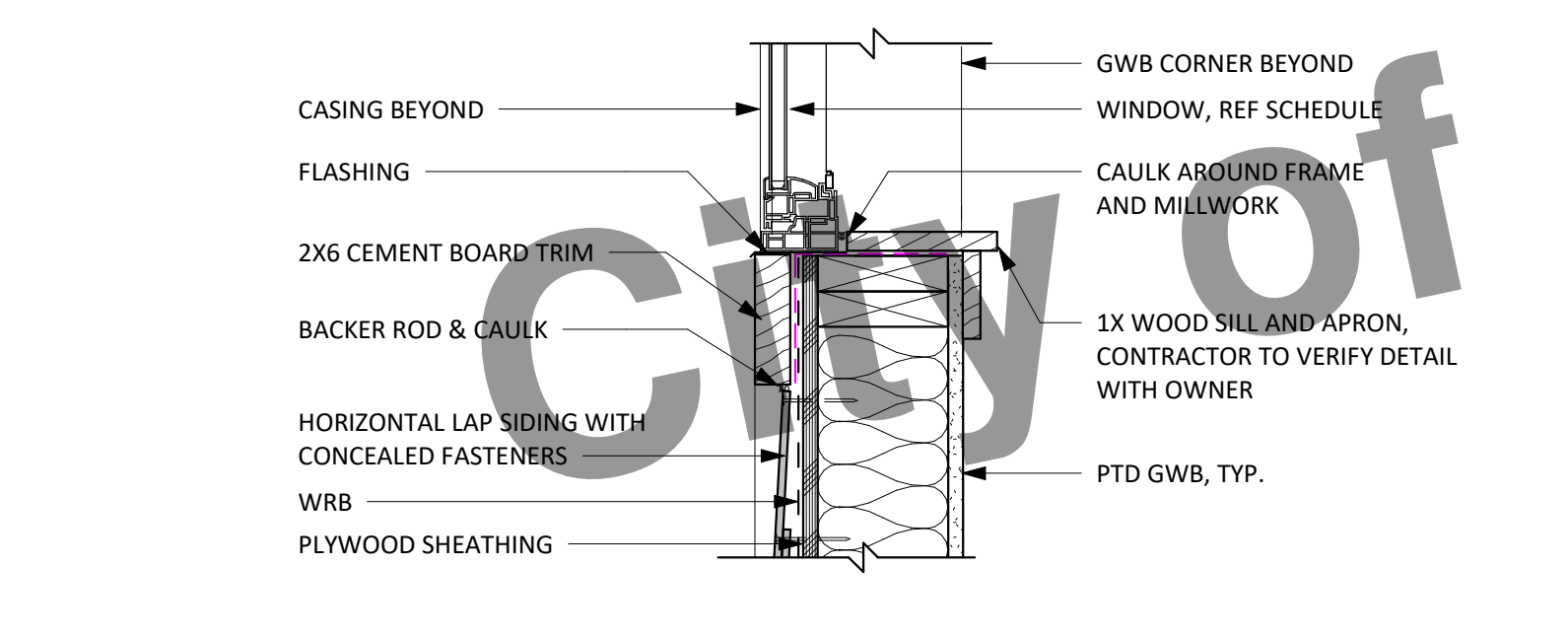
**5 SLAB EDGE AT BOARD & BATTEN  
1 1/2" = 1'-0"**



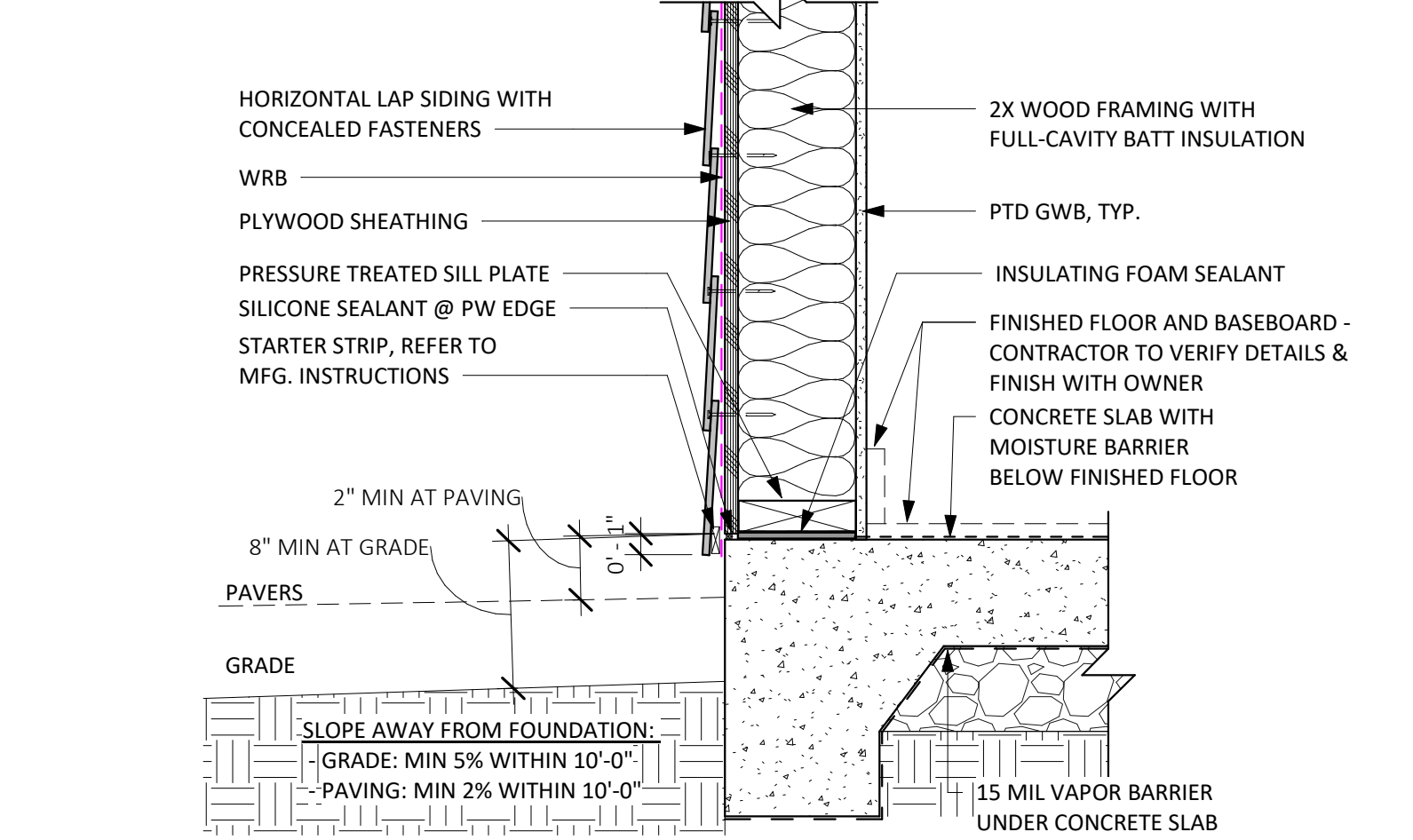
**12 EAVE AT LAP SIDING  
1 1/2" = 1'-0"**



**11 WINDOW HEAD AT LAP SIDING  
1 1/2" = 1'-0"**



**10 WINDOW SILL AT LAP SIDING  
1 1/2" = 1'-0"**



**9 SLAB EDGE AT LAP SIDING  
1 1/2" = 1'-0"**

**E3 FIBER CEMENT HORIZONTAL LAP SIDING**

**E2 BOARD & BATTEN SIDING**

**E1 FIBER CEMENT VERTICAL SIDING**



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM

# BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKETTARCHITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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## CENTRAL COAST PRE-DESIGNED ADU STANDARD STUDIO 445 GSF

PRINT DATE: XX.XX.XXXX

### EXTERIOR WALL ASSEMBLY DETAILS

# A5.1

SCALE: AS NOTED

## DETAIL GENERAL NOTES

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
3. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
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**VENTS. CBC 706A / CRC R337.6**  
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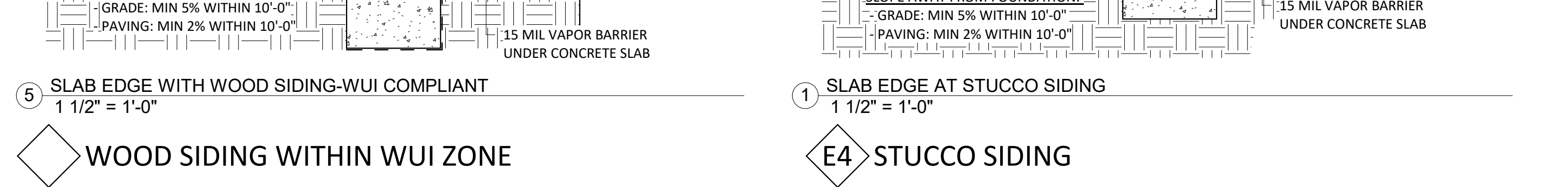
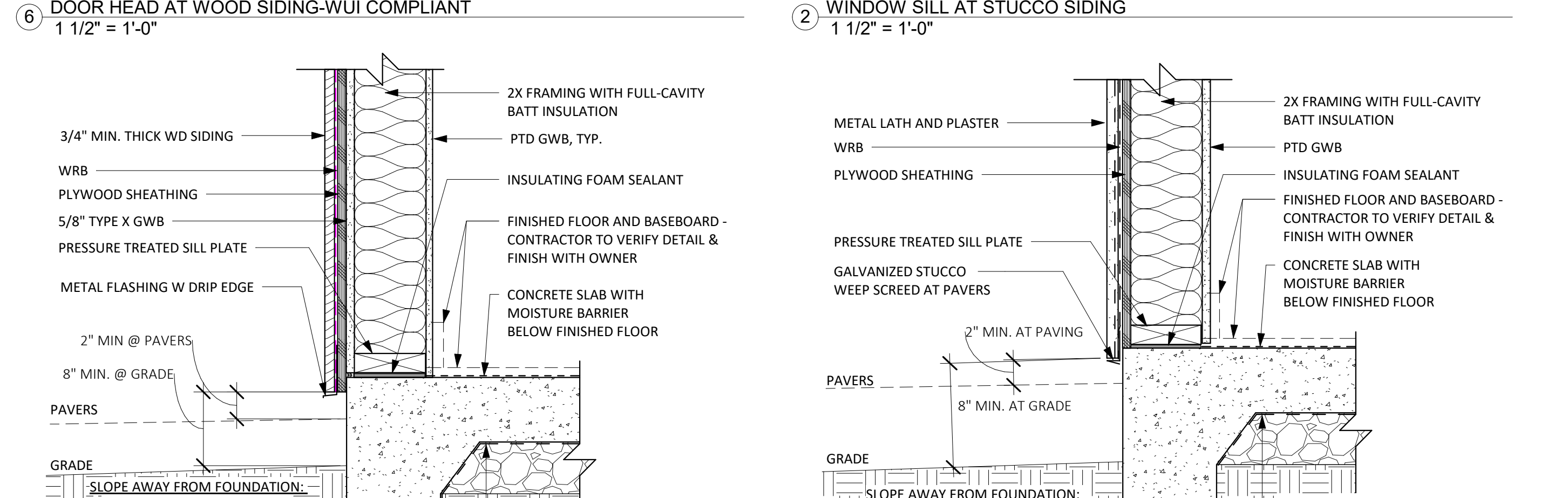
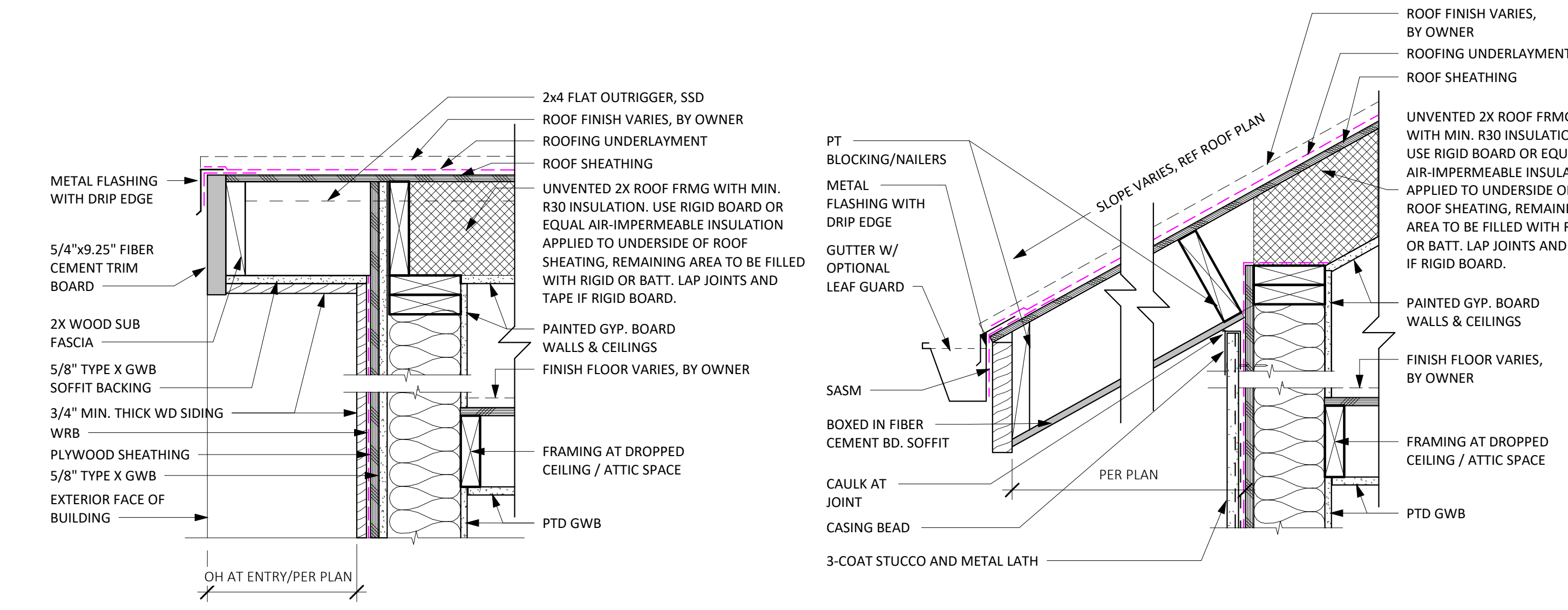
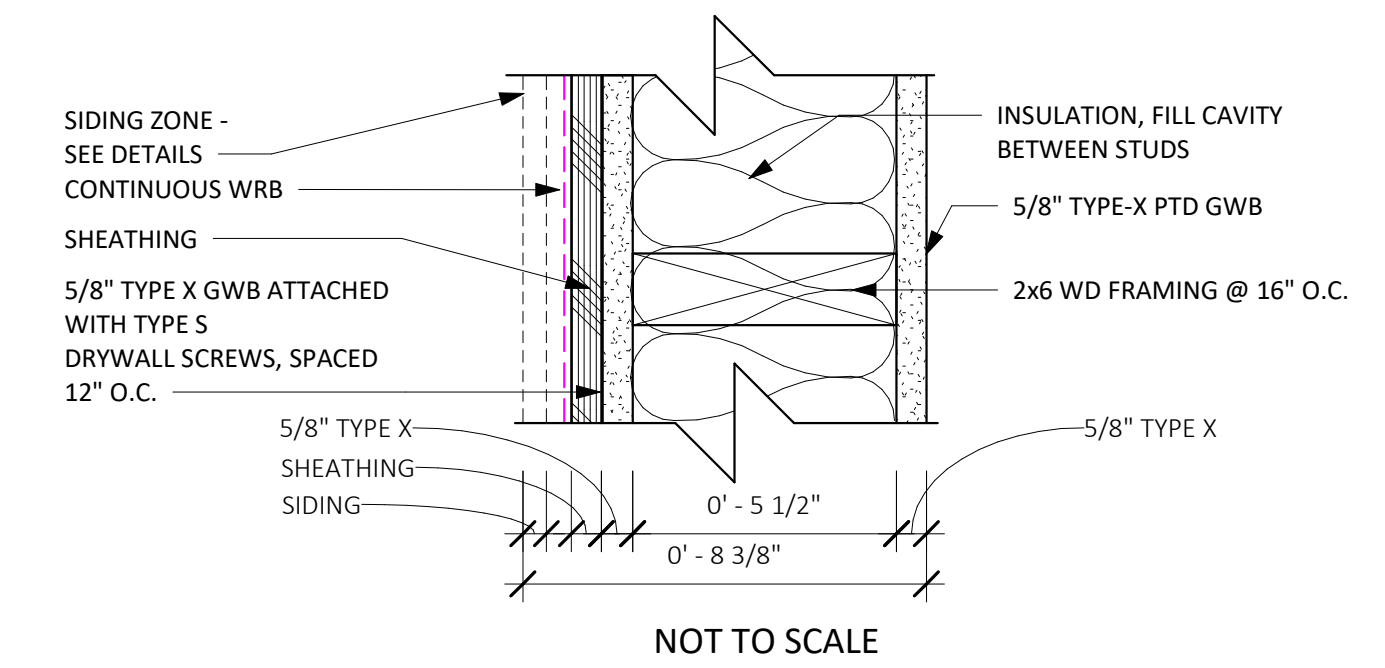
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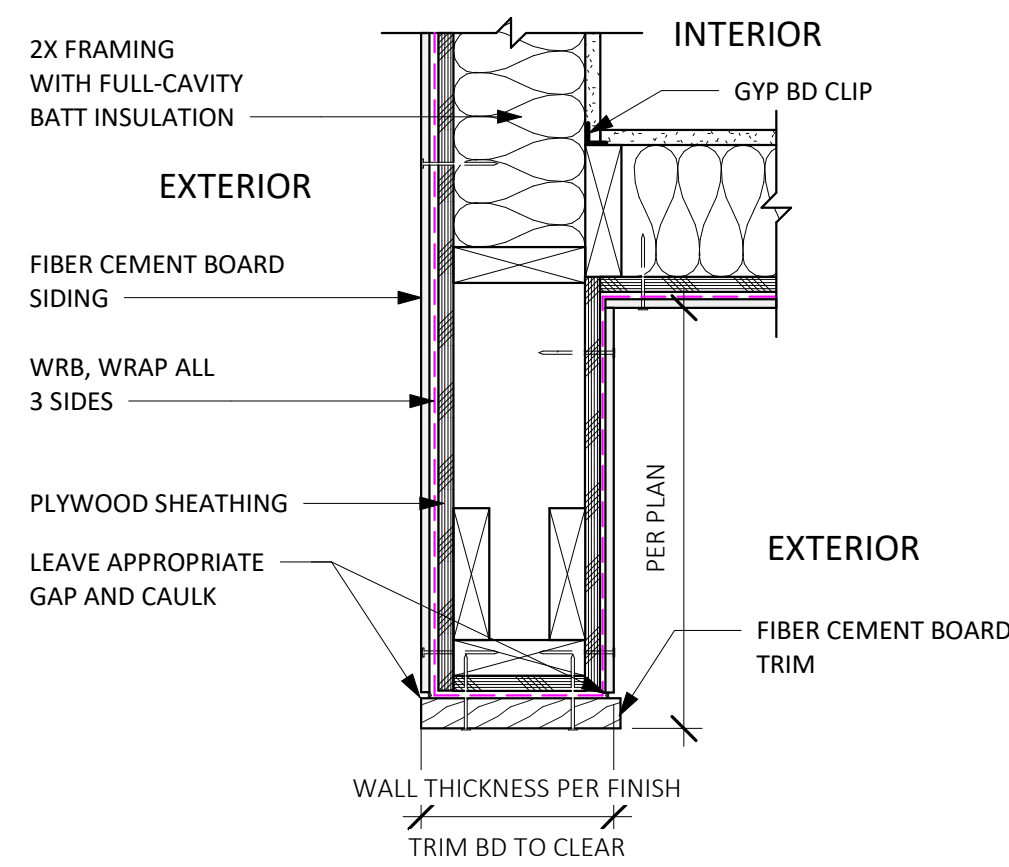
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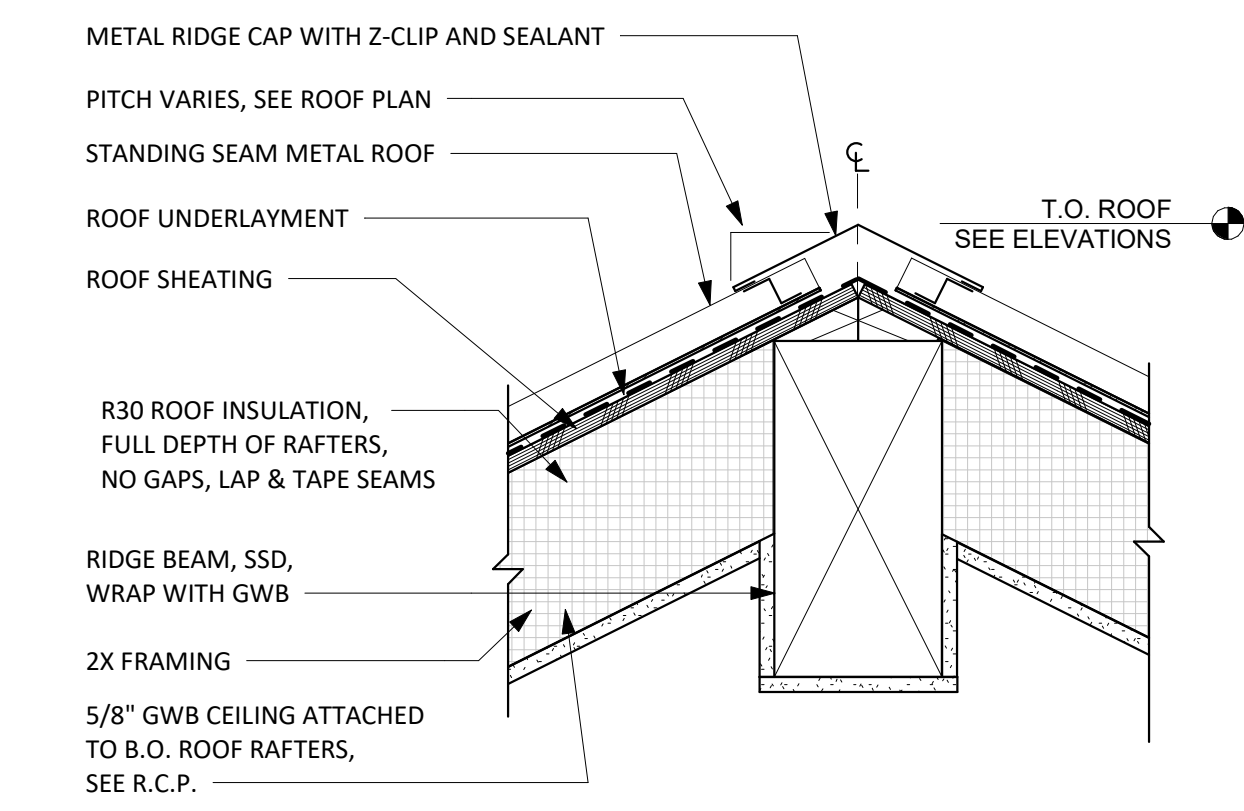
**WB STANDARD:**  
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12"



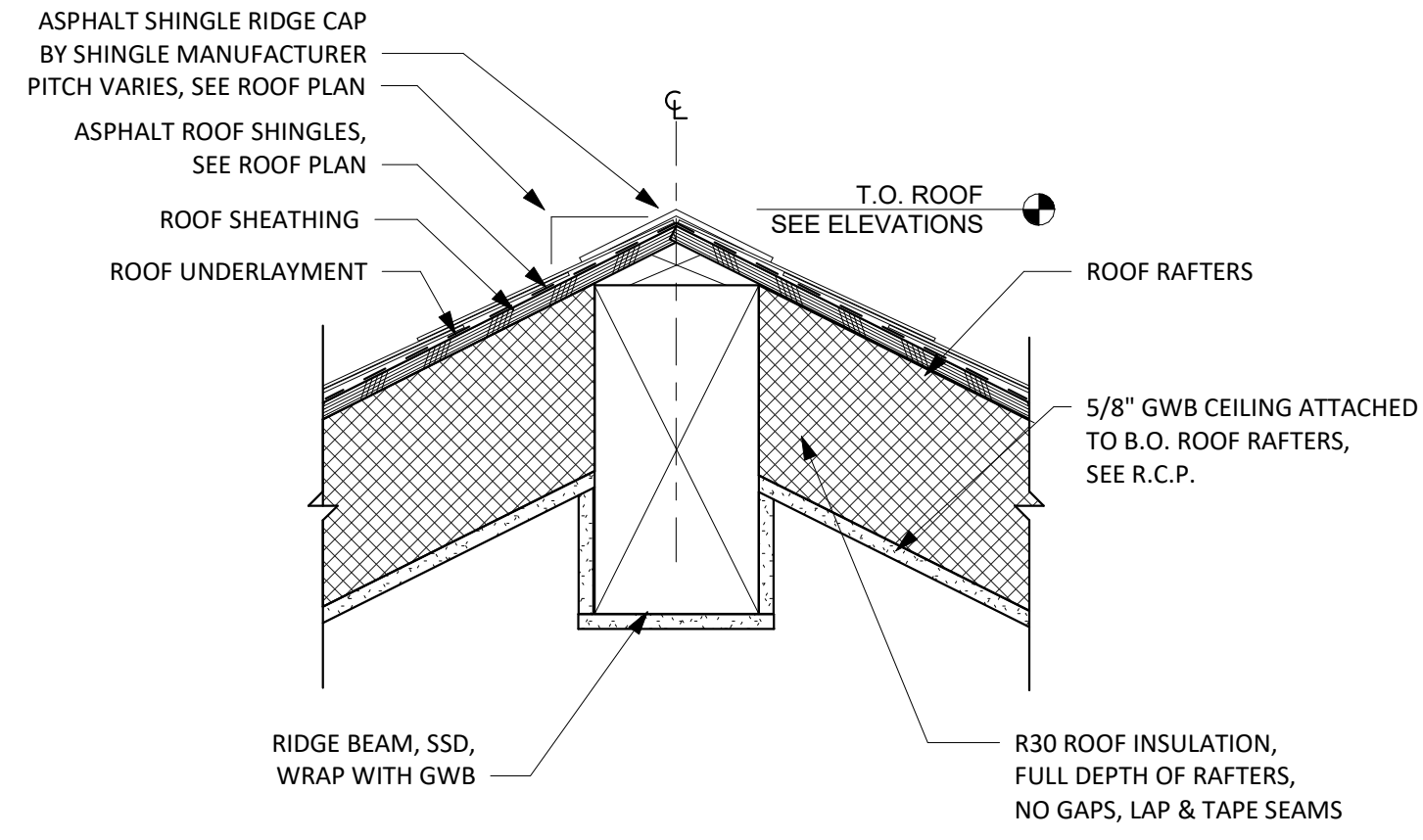
BID SET. City of Atascadero preview



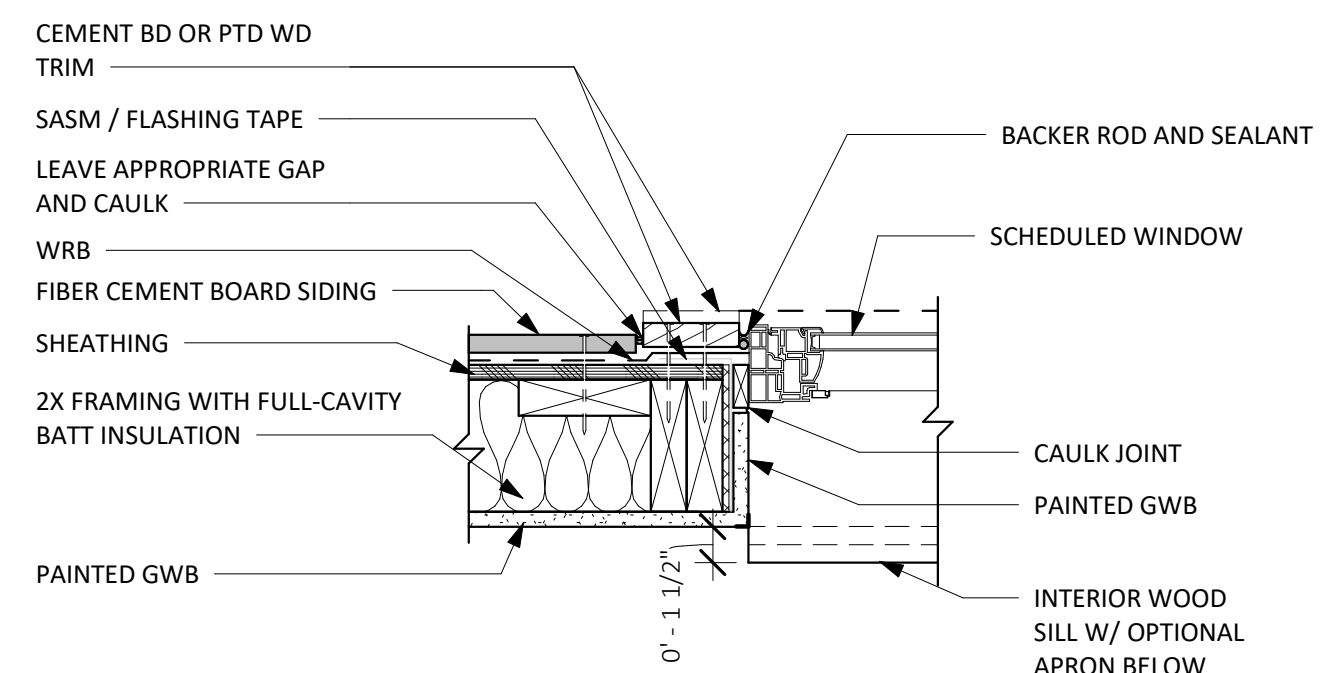
16 CEMENT BD WING WALL  
1 1/2" = 1'-0"



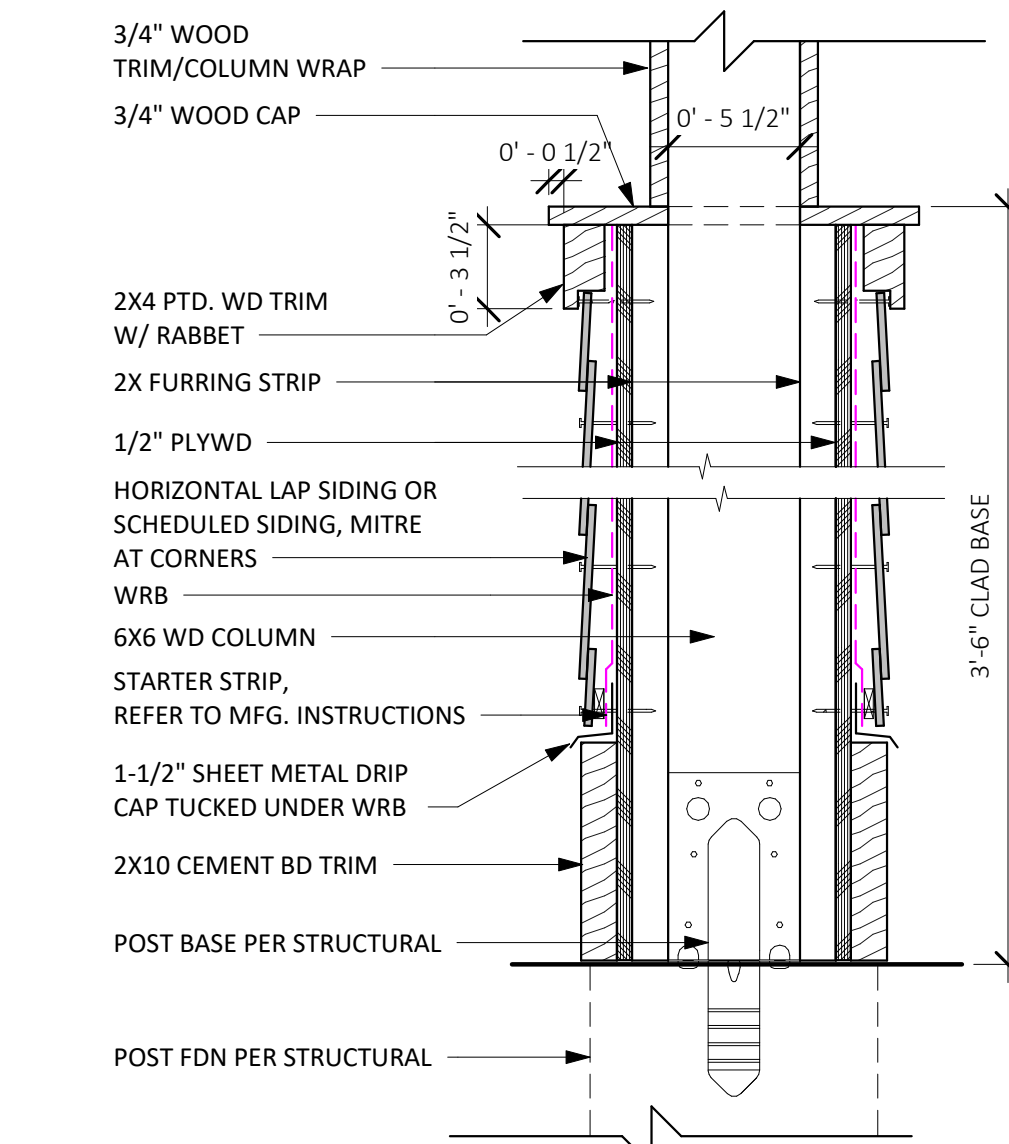
12 STANDING SEAM UNVENTED RIDGE  
1 1/2" = 1'-0"



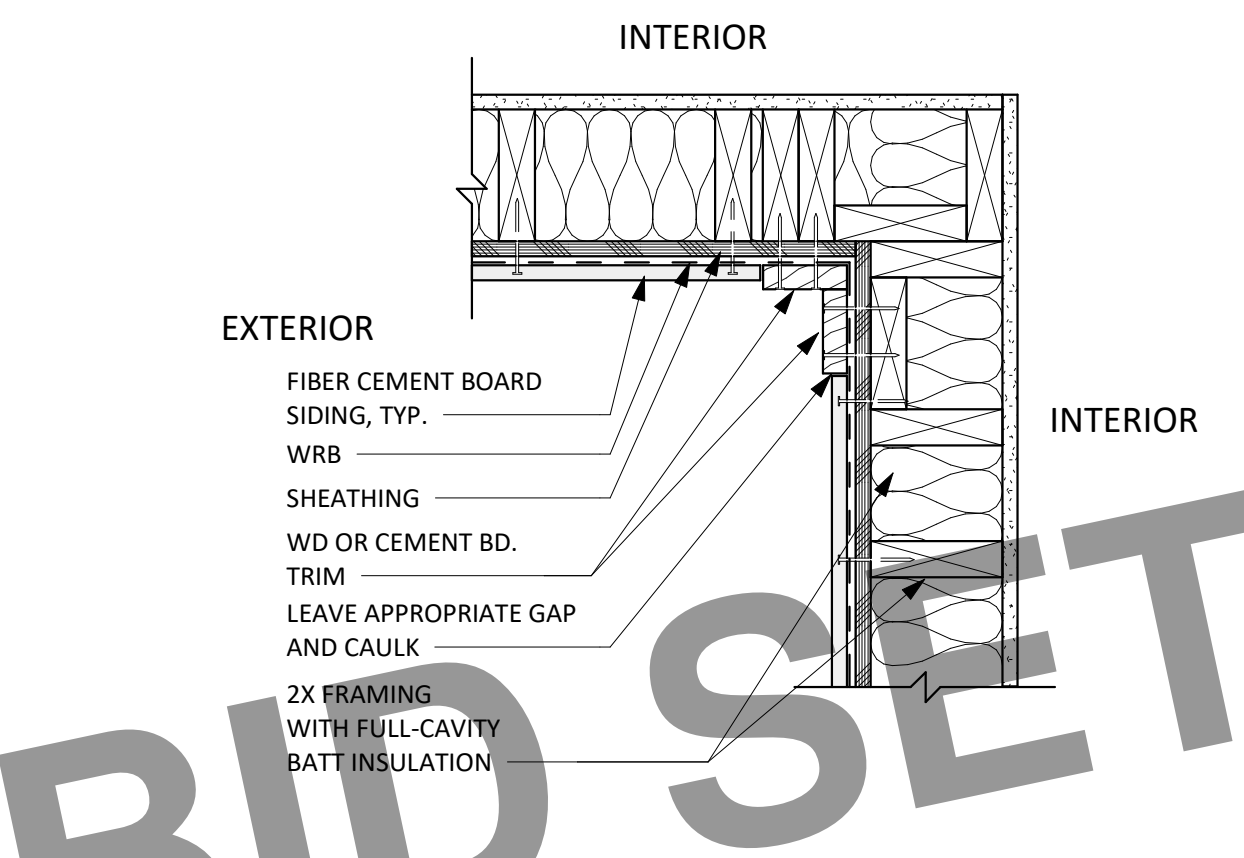
8 BASIC UNVENTED RIDGE AT ASPHALT SHINGLE  
1 1/2" = 1'-0"



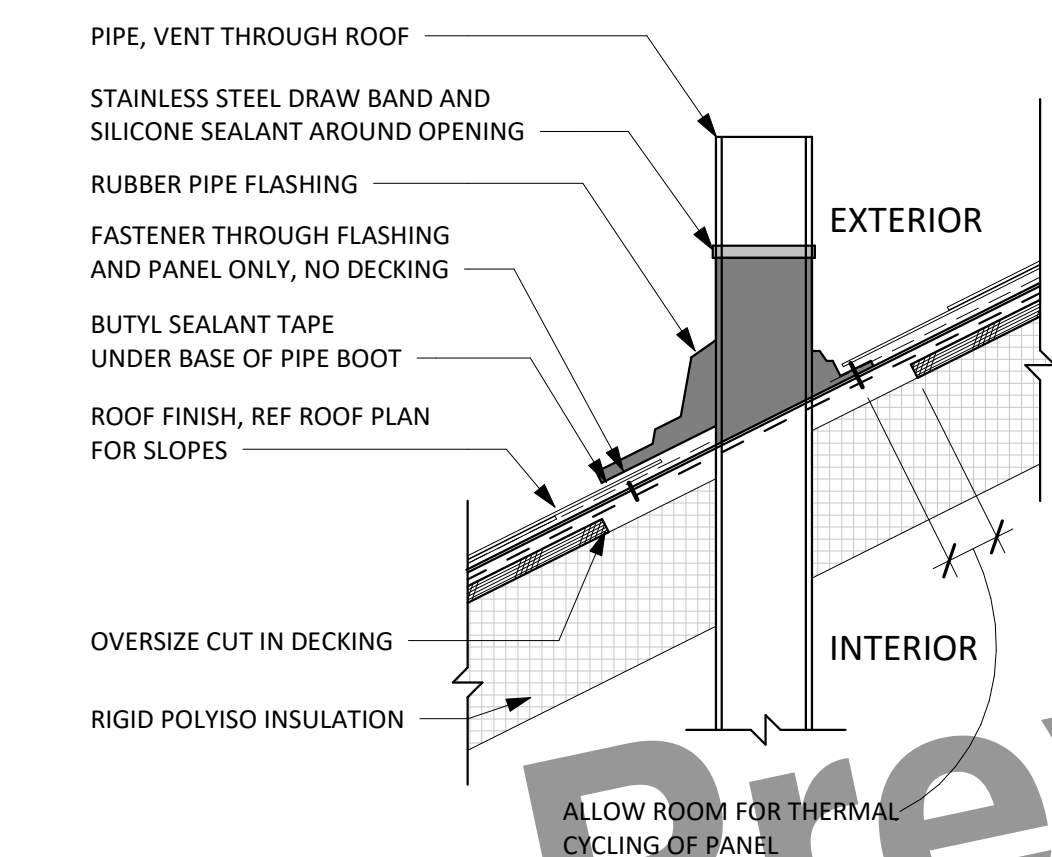
4 BASIC WINDOW JAMB  
1 1/2" = 1'-0"



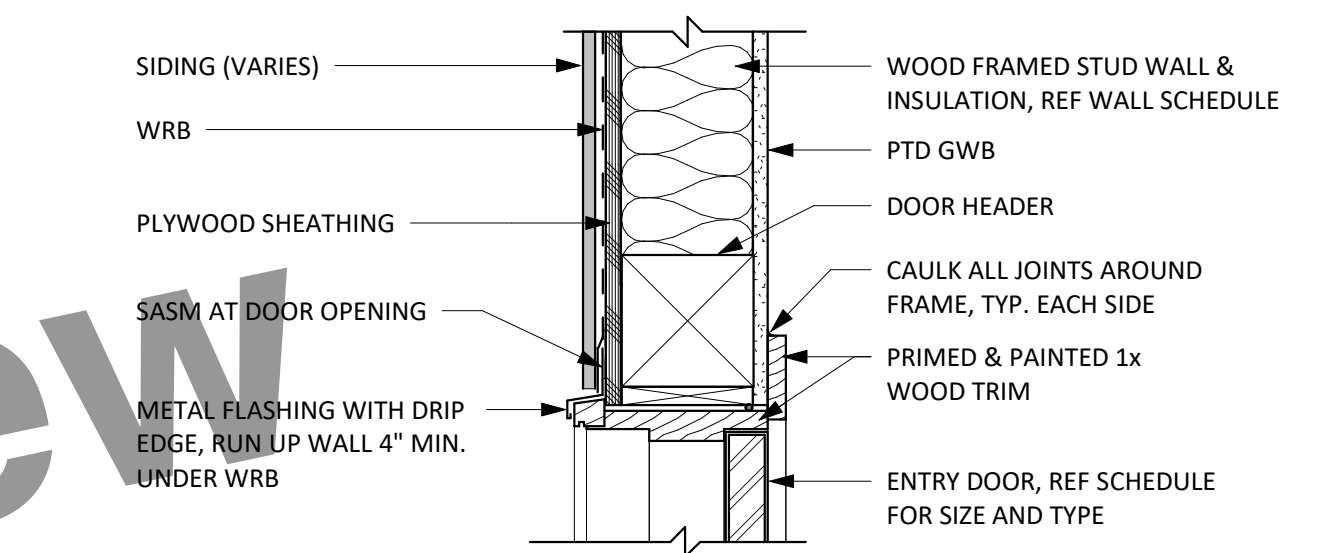
15 WRAPPED COLUMN SECTION  
1 1/2" = 1'-0"



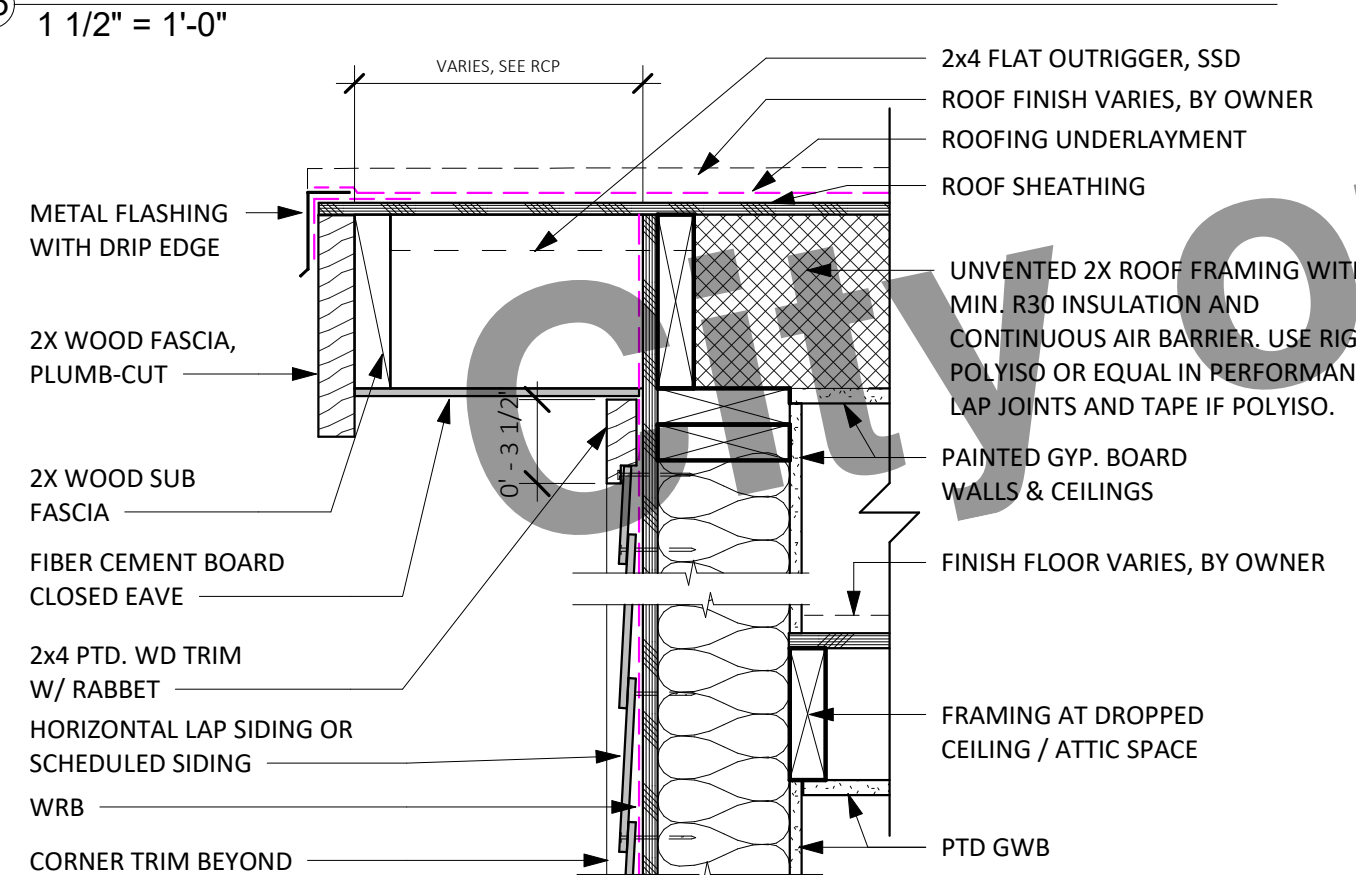
11 CEMENT BD TYP. INSIDE CORNER  
1 1/2" = 1'-0"



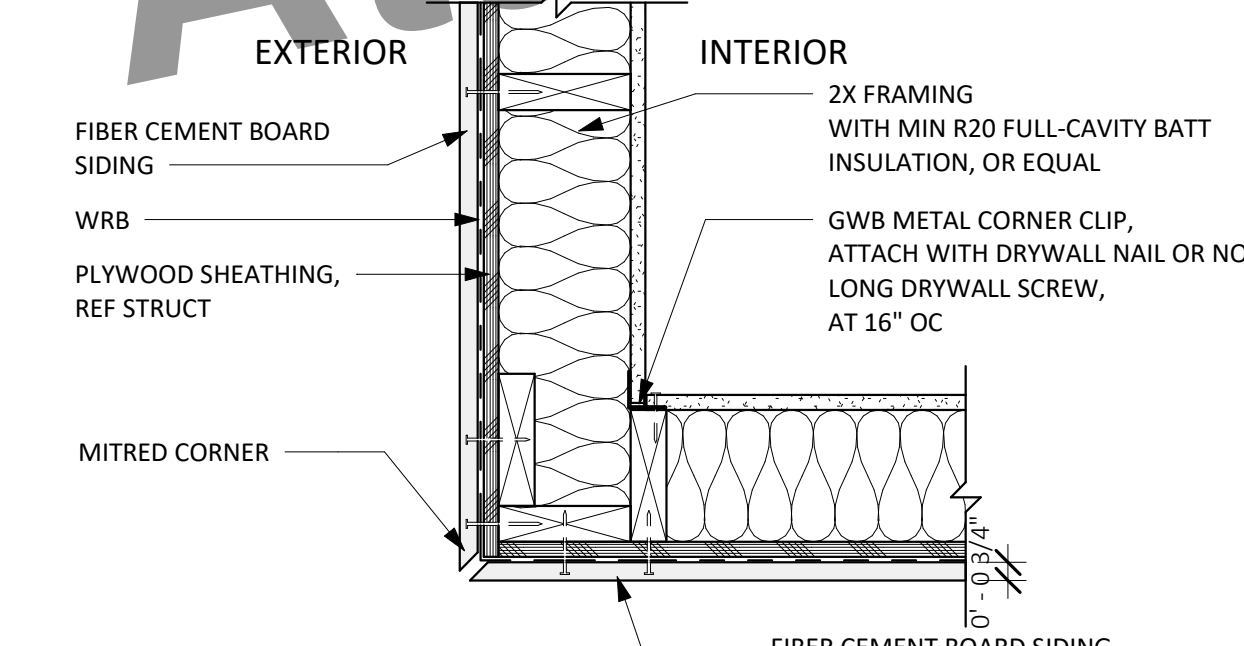
7 ROOF PENETRATION DETAIL  
1 1/2" = 1'-0"



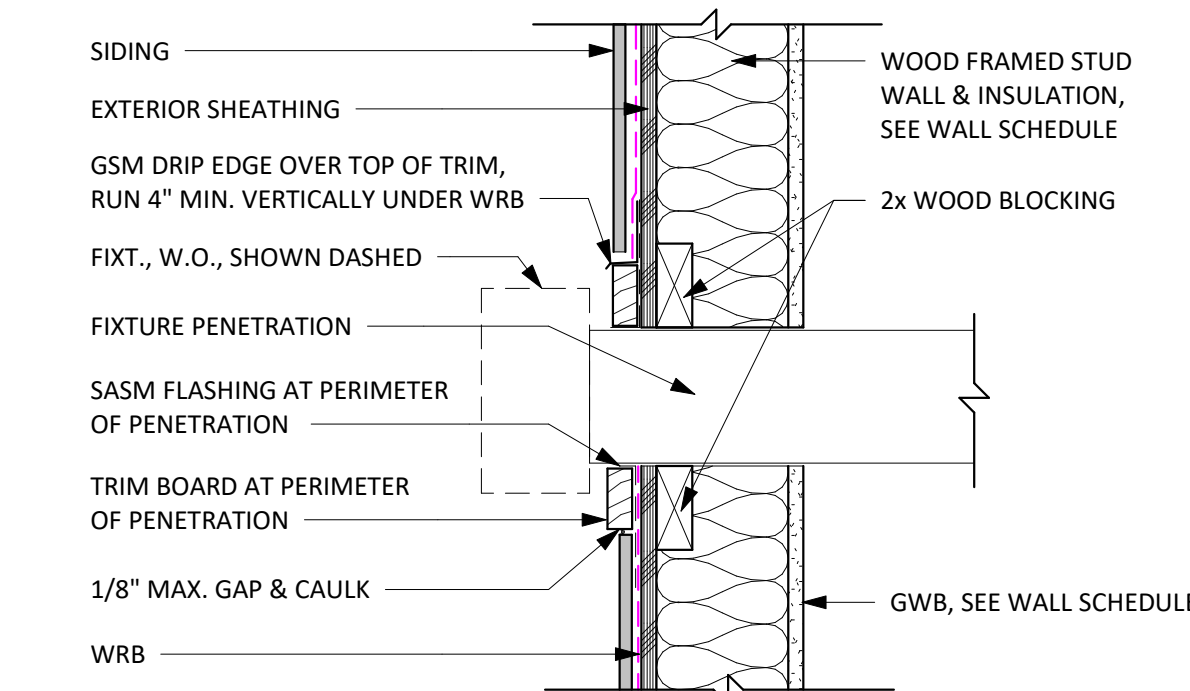
3 SWING DOOR HEAD / JAMB  
1 1/2" = 1'-0"



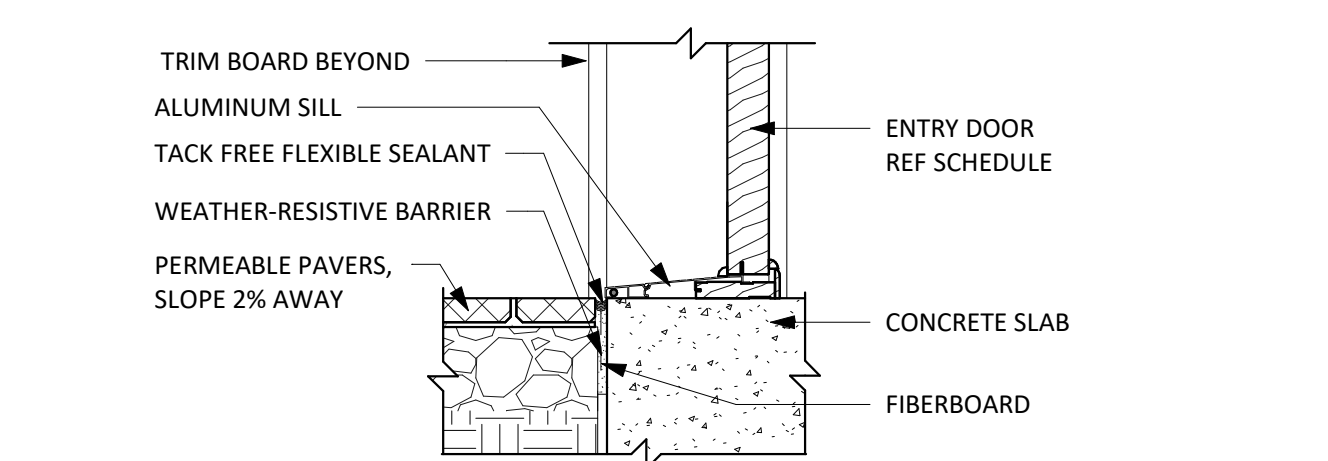
14 BASIC RAKE (CLOSED)  
1 1/2" = 1'-0"



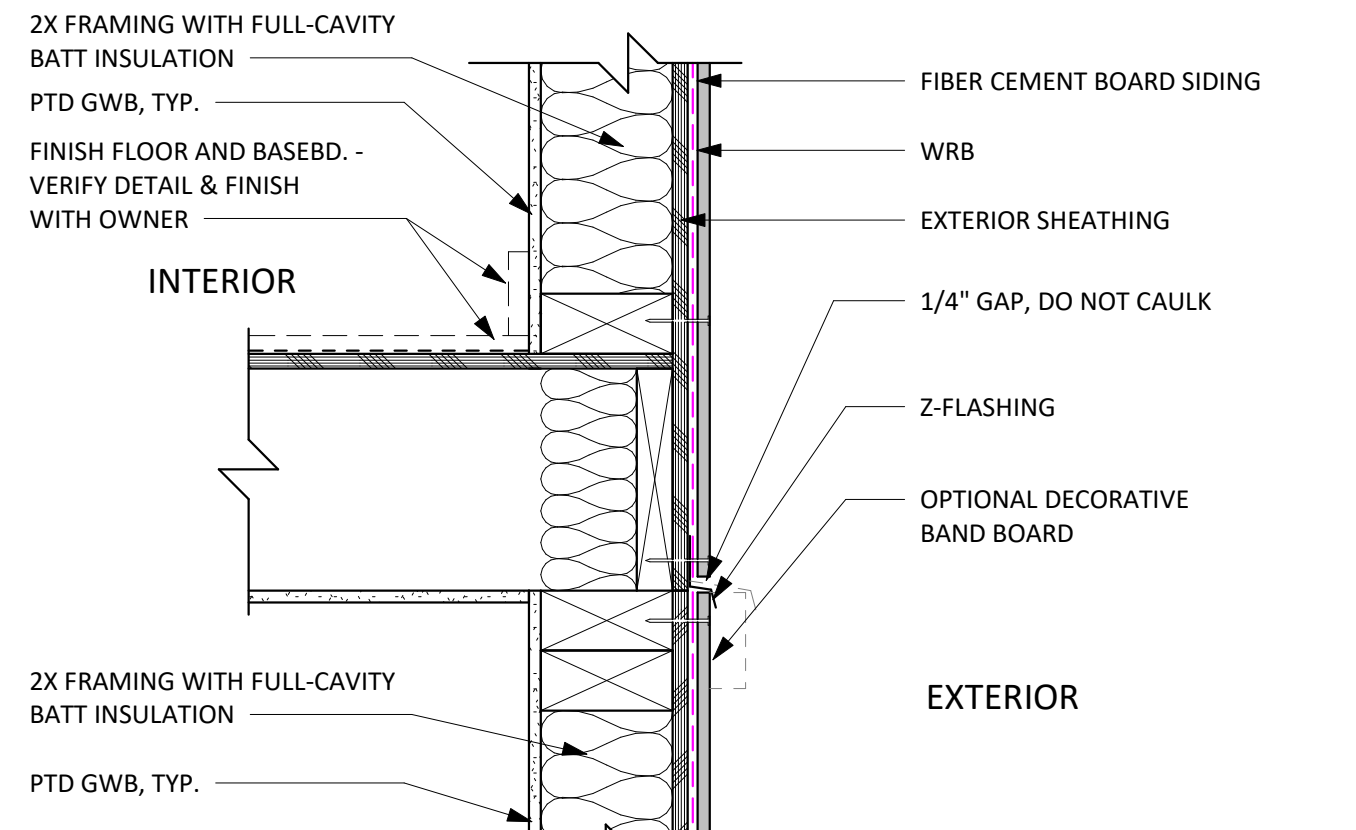
10 CEMENT BD OUTSIDE CORNER TRIM MITRE  
1 1/2" = 1'-0"



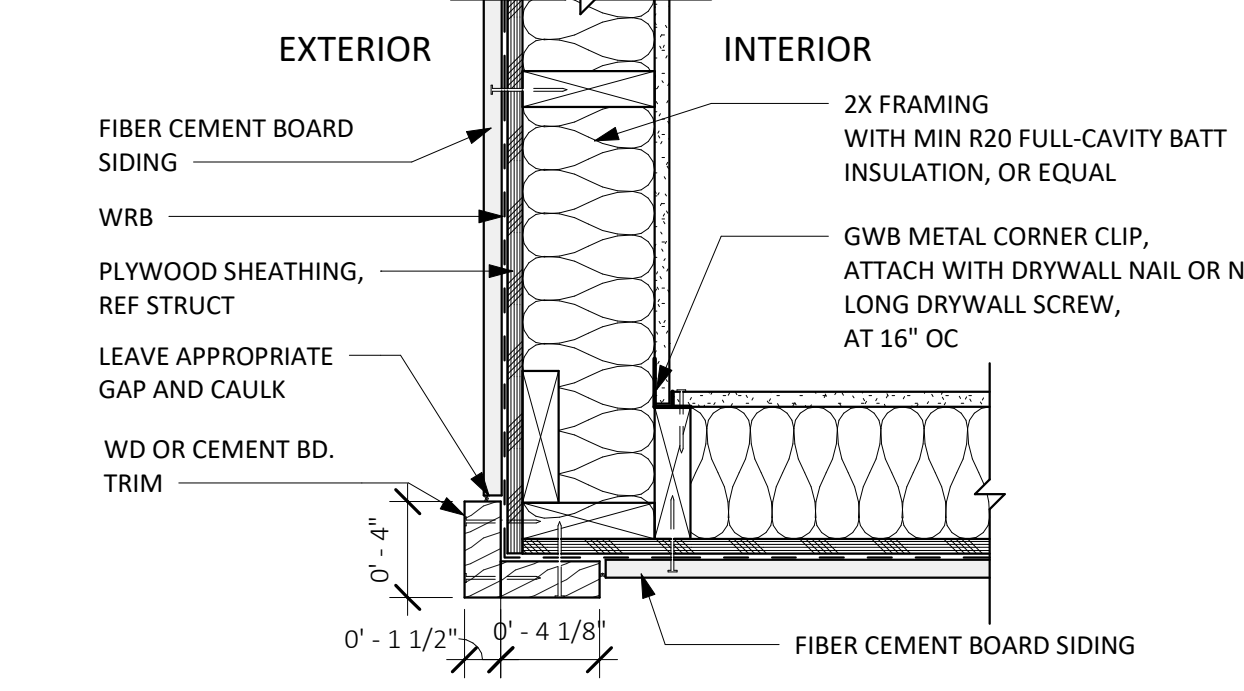
6 WALL PENETRATION DETAIL  
1 1/2" = 1'-0"



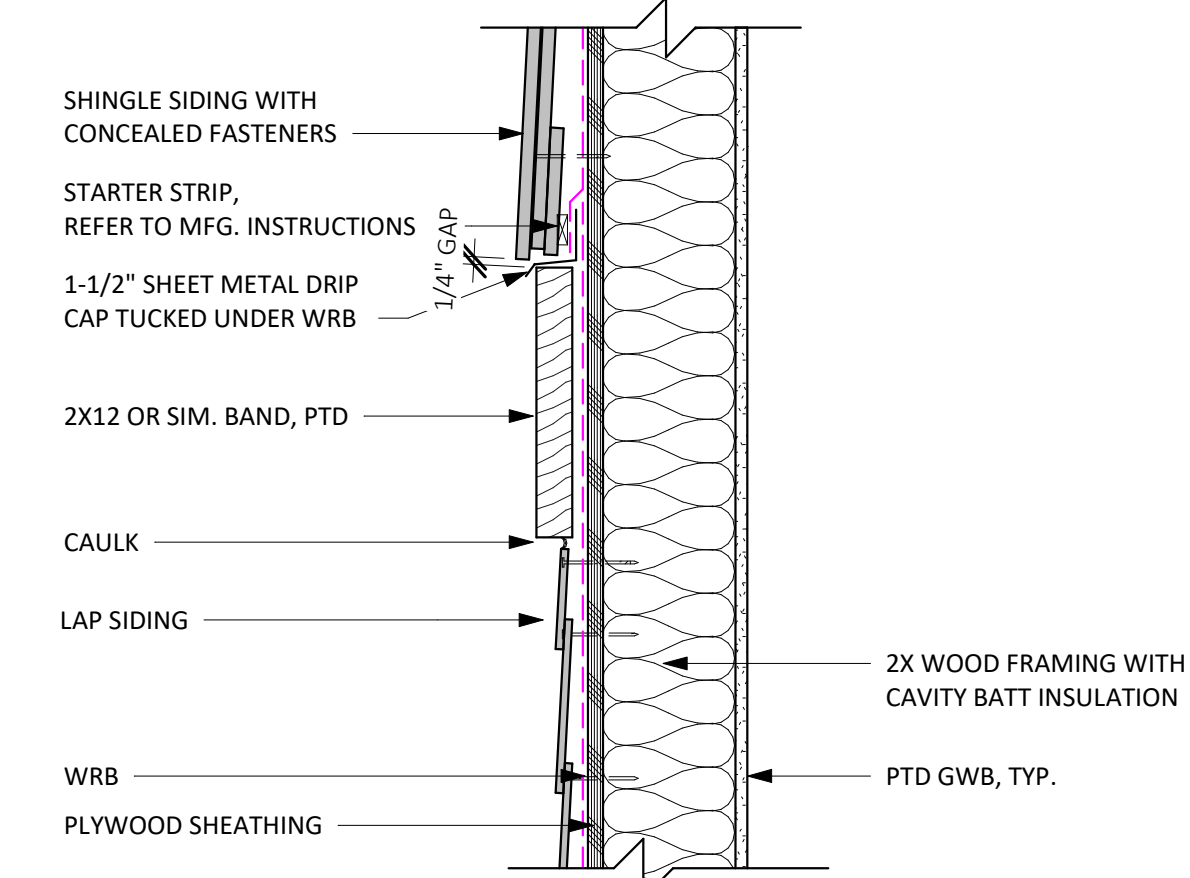
2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)  
1 1/2" = 1'-0"



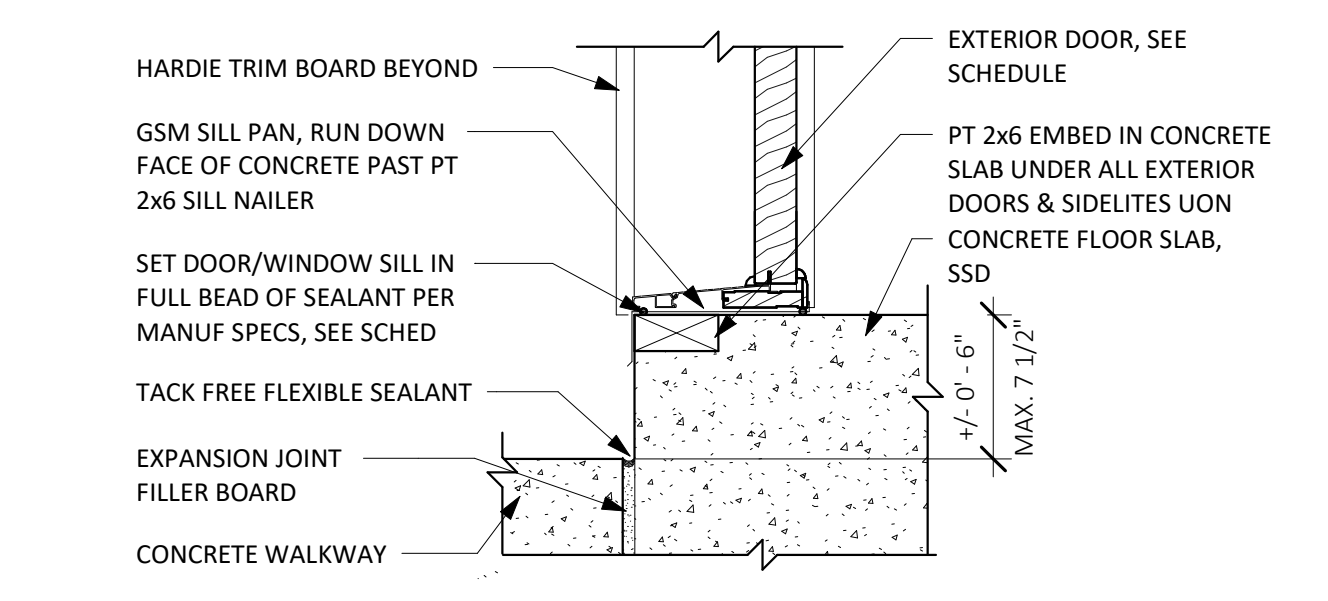
13 SIDING JOINT AT FLOOR  
1 1/2" = 1'-0"



9 CEMENT BD TYP. OUTSIDE CORNER TRIM  
1 1/2" = 1'-0"



5 BELLY BAND @ CRAFTSMAN  
1 1/2" = 1'-0"



1 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)  
1 1/2" = 1'-0"



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PRINT DATE: XX.XX.XXXX

EXTERIOR DETAILS

**A5.2**

SCALE: AS NOTED





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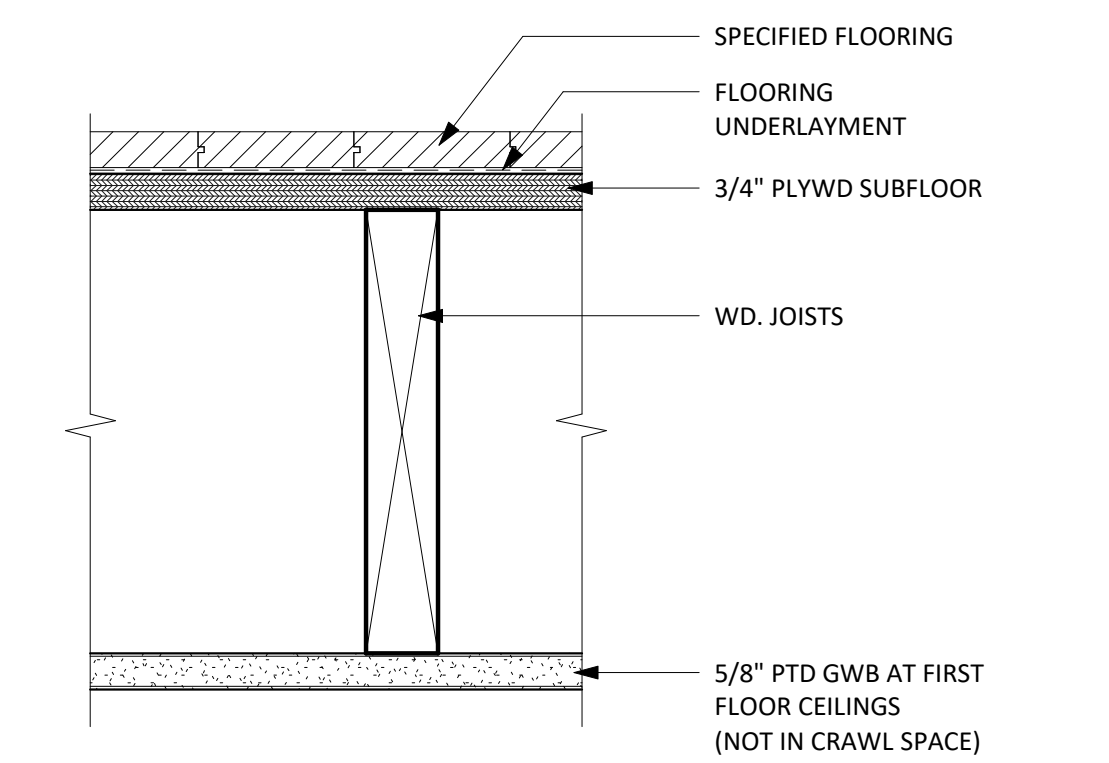
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PRINT DATE: XX.XX.XXXX

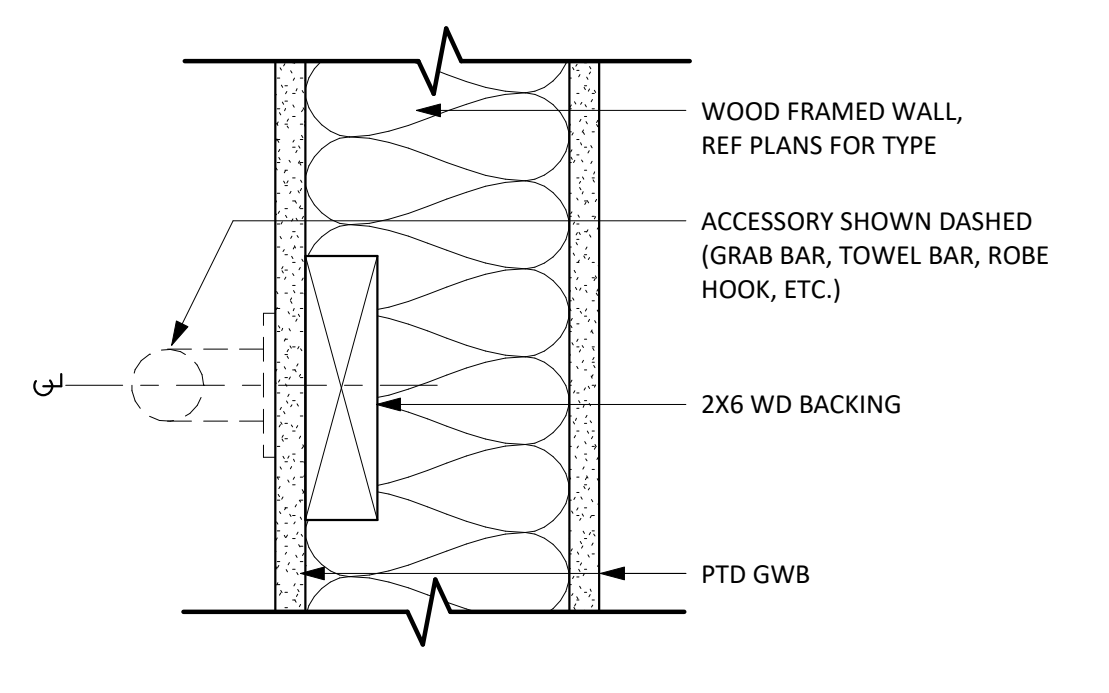
**INTERIOR DETAILS &  
WALL PARTITIONS**

**A5.3**

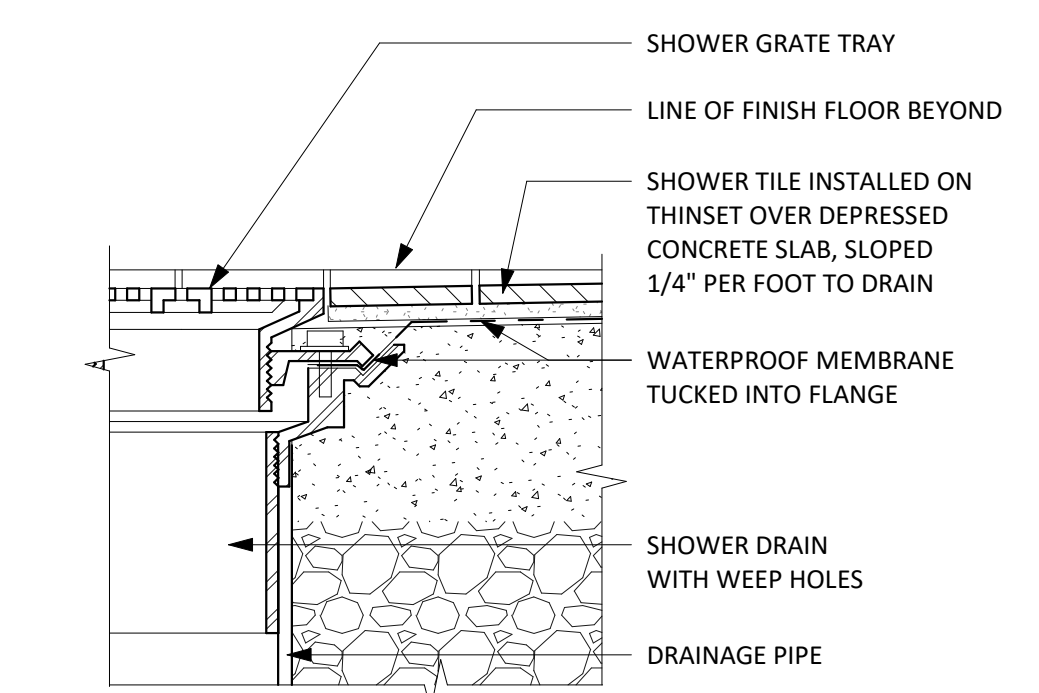
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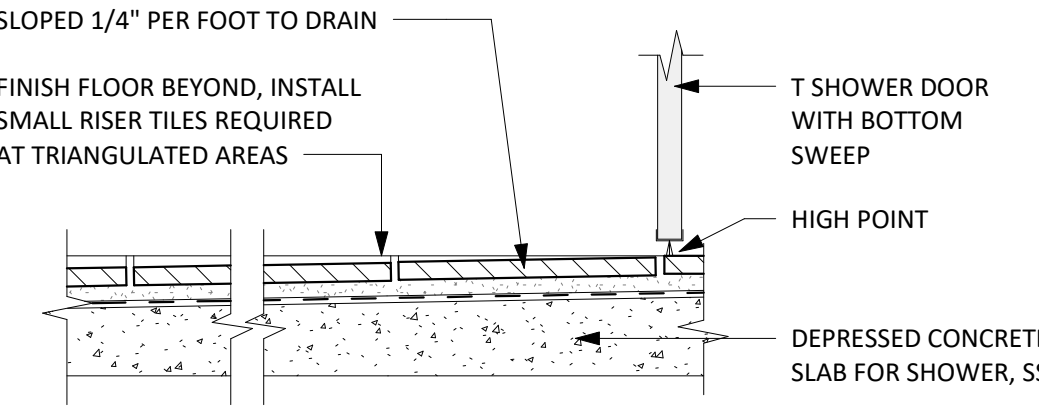
5 TYP. STORAGE LOFT FLOOR ASSEMBLY  
3" = 1'-0"



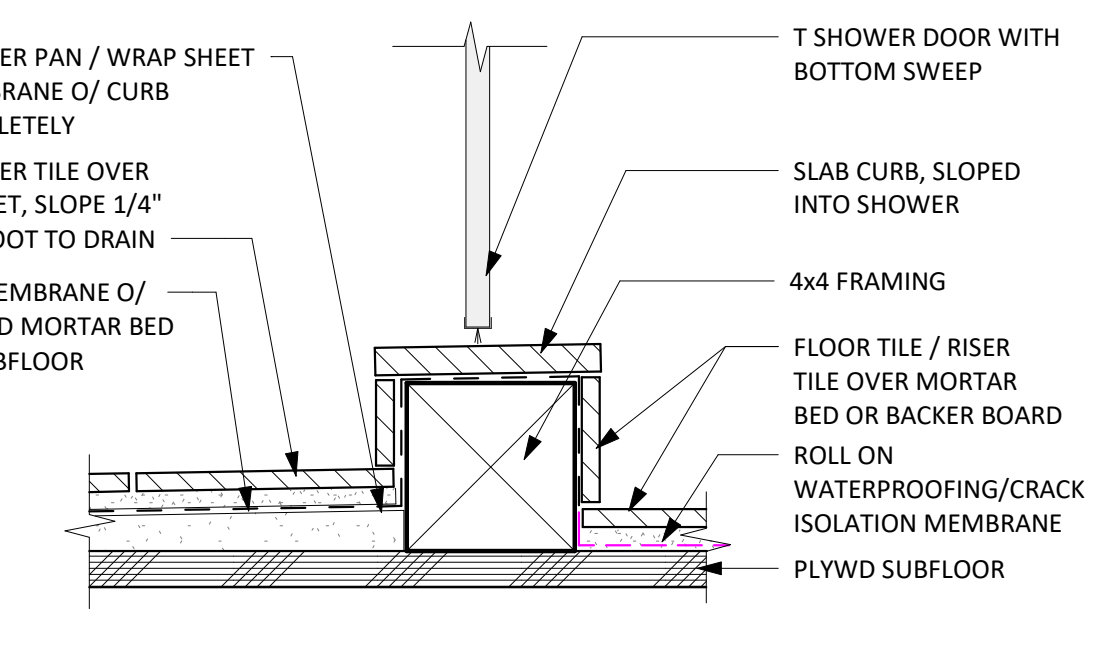
9 BLOCKING DETAIL  
3" = 1'-0"



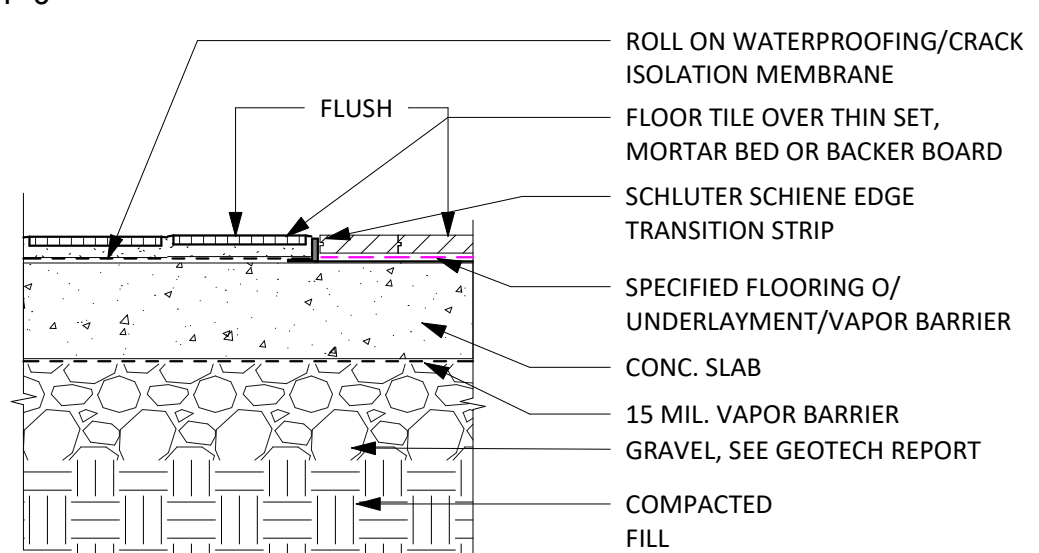
42 SHOWER DRAIN AT CONCRETE  
3" = 1'-0"



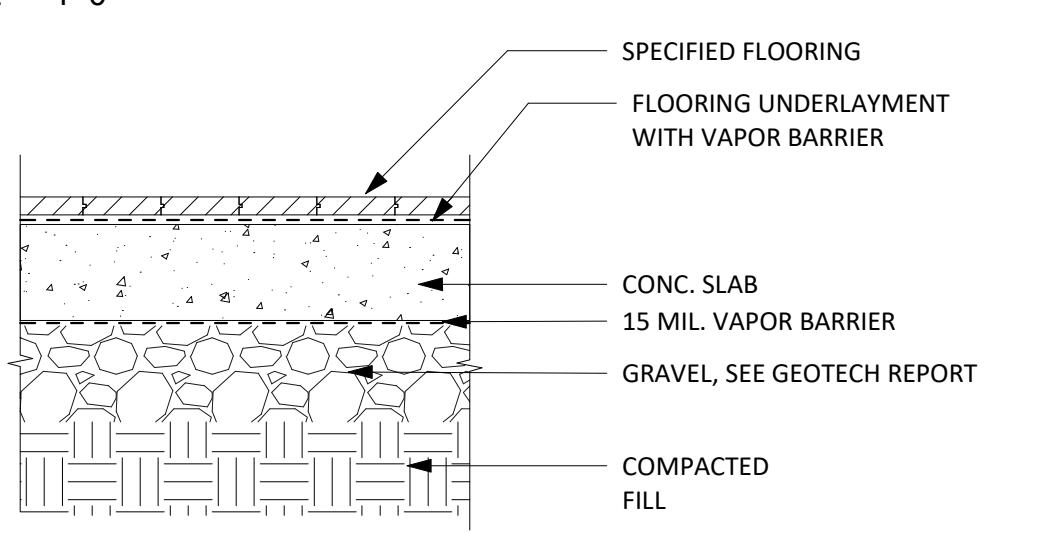
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)  
3" = 1'-0"



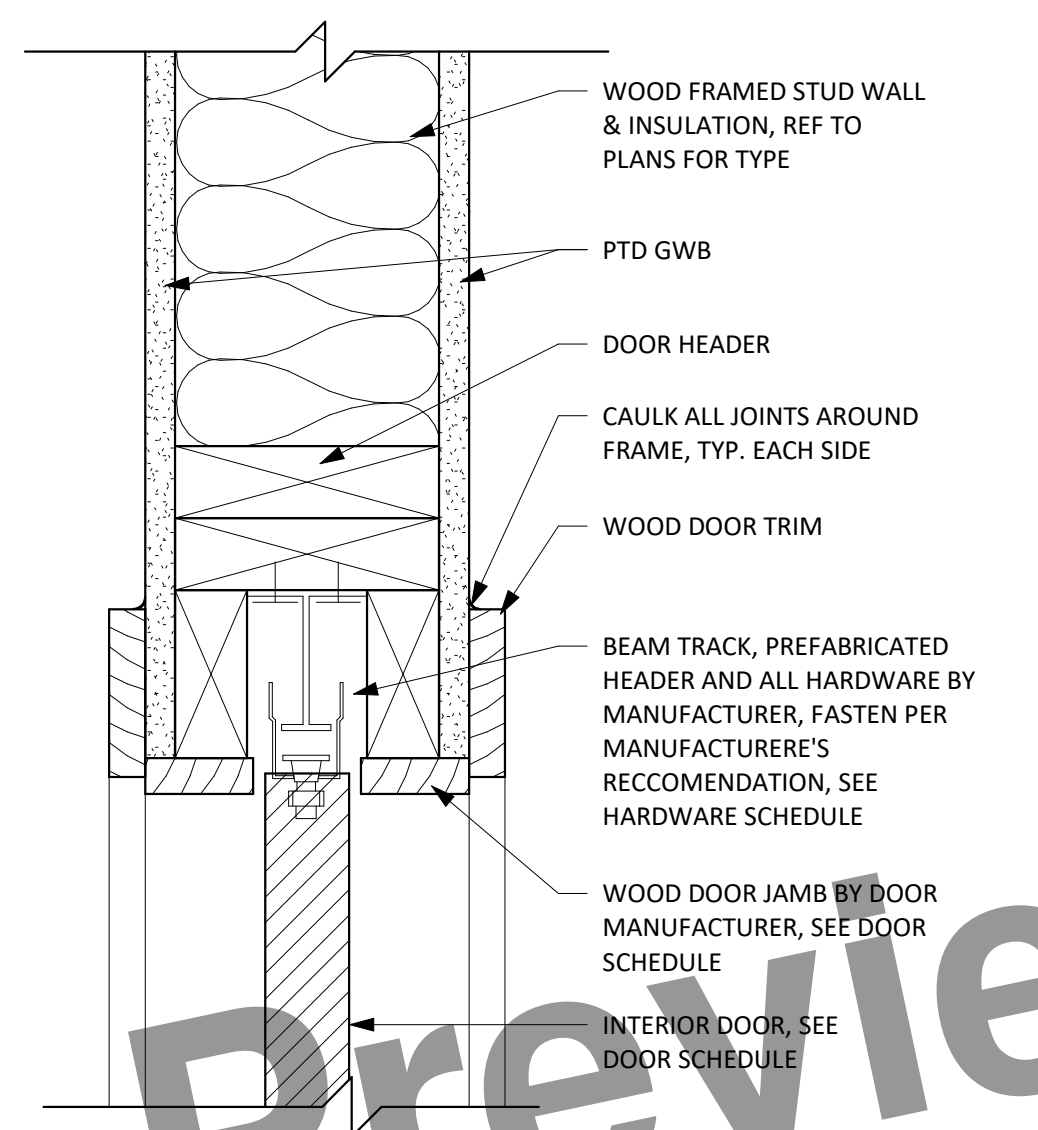
3 TYP. SHOWER CURB  
3" = 1'-0"



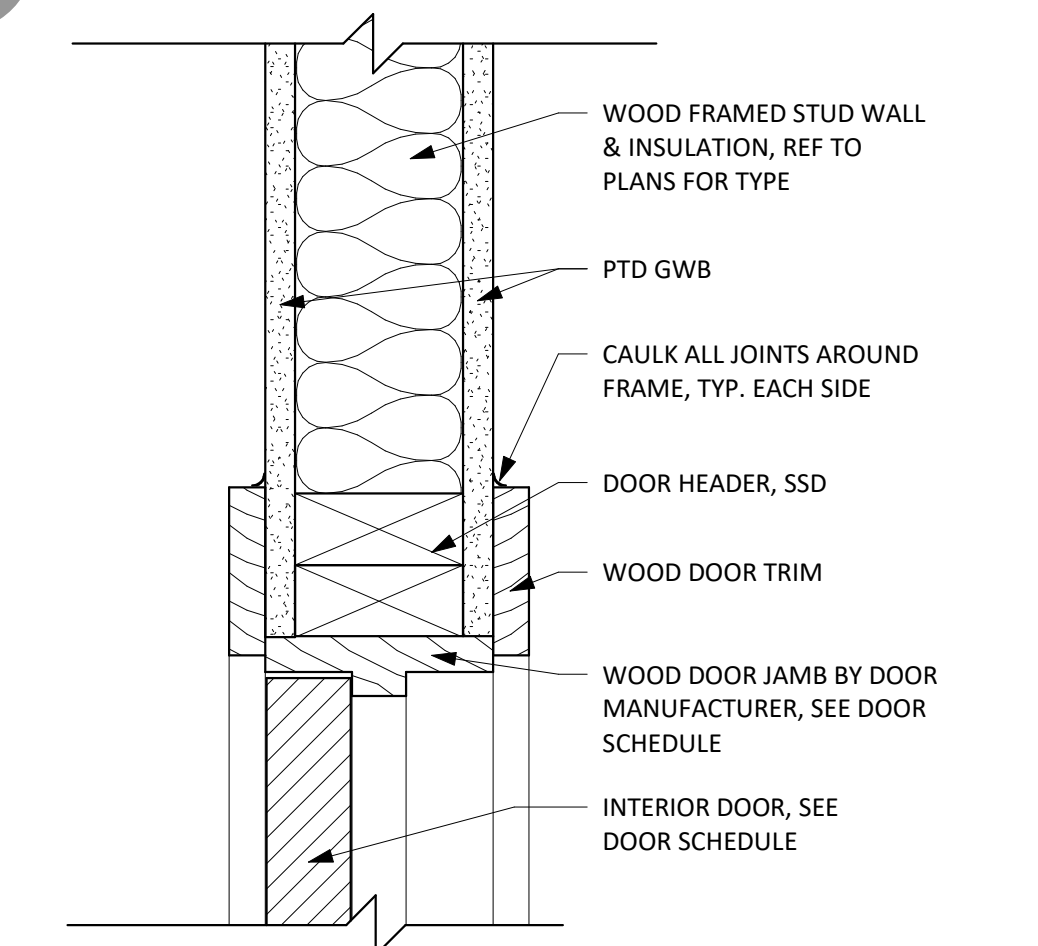
2 BASIC TILE TO WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



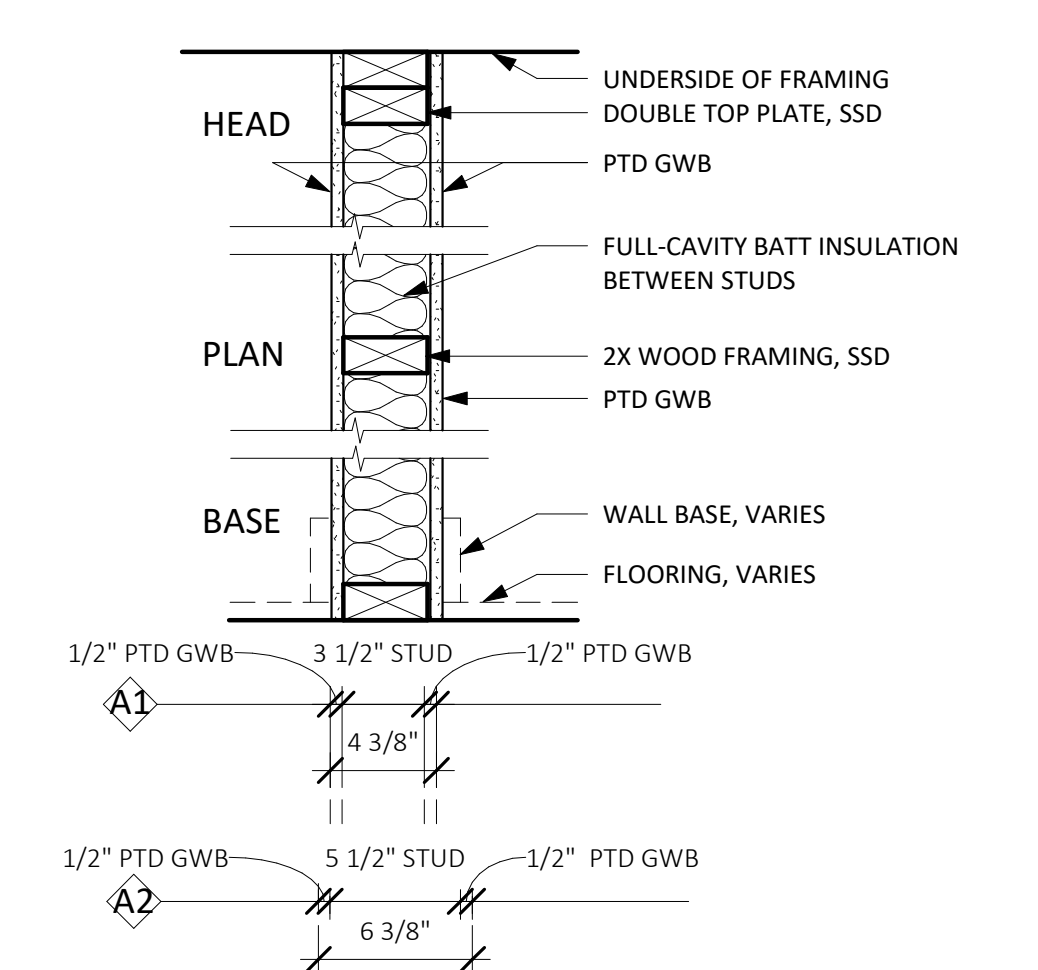
1 BASIC WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



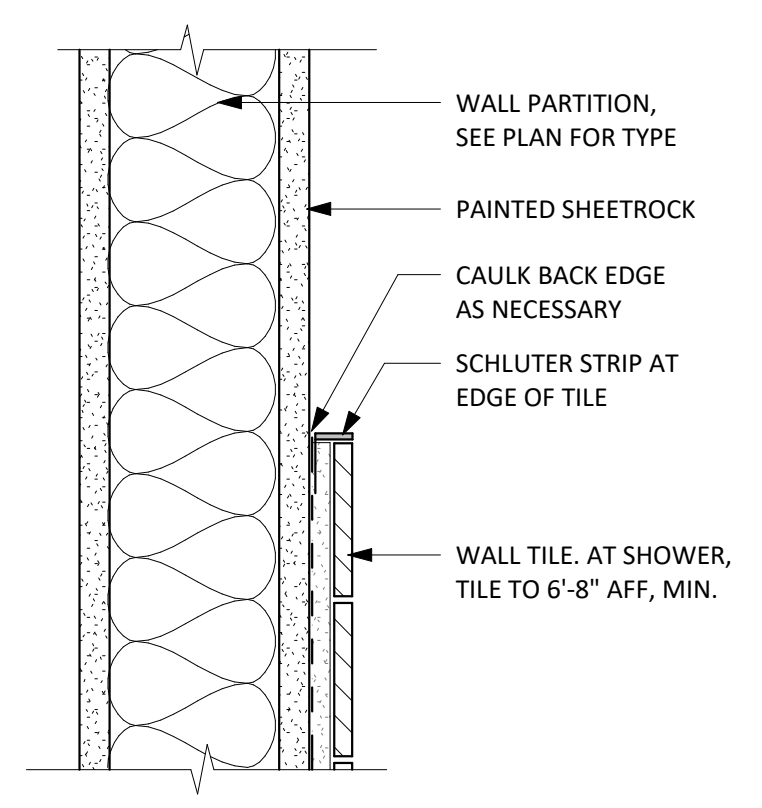
8 INTERIOR WOOD POCKET DOOR HEAD  
3" = 1'-0"



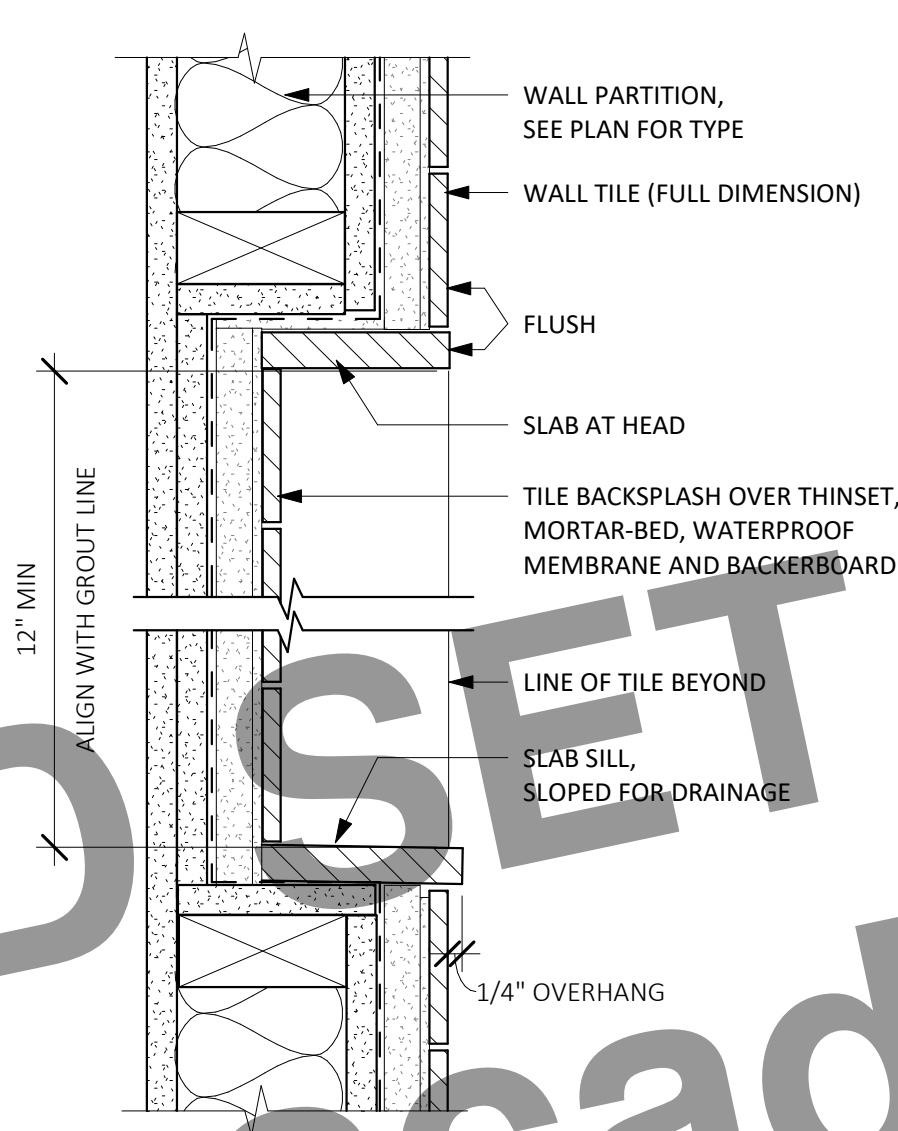
7 INTERIOR WOOD DOOR HEAD/JAMB  
3" = 1'-0"



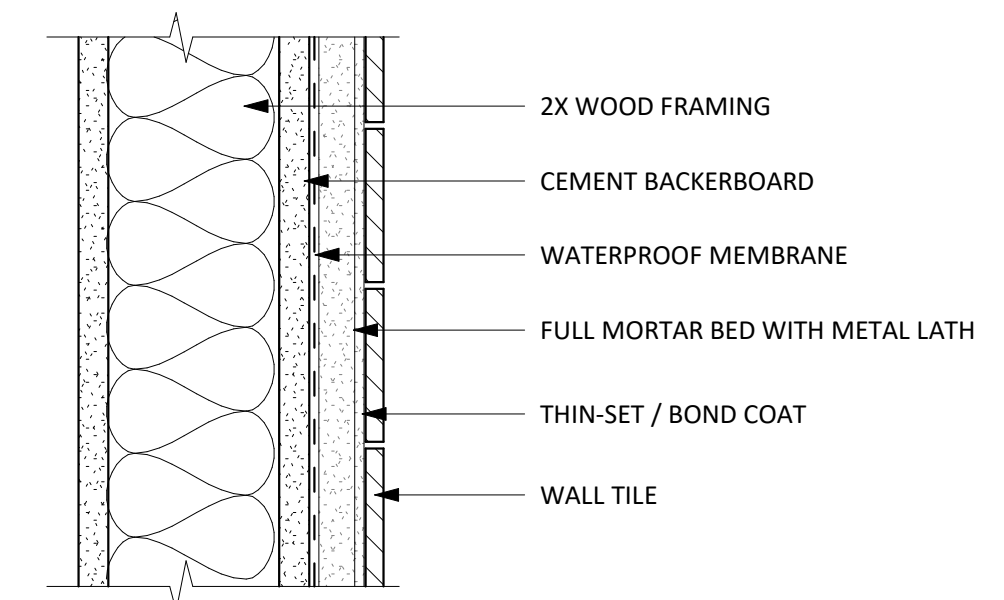
6 TYP. INTERIOR WALL PARTITION  
1 1/2" = 1'-0"



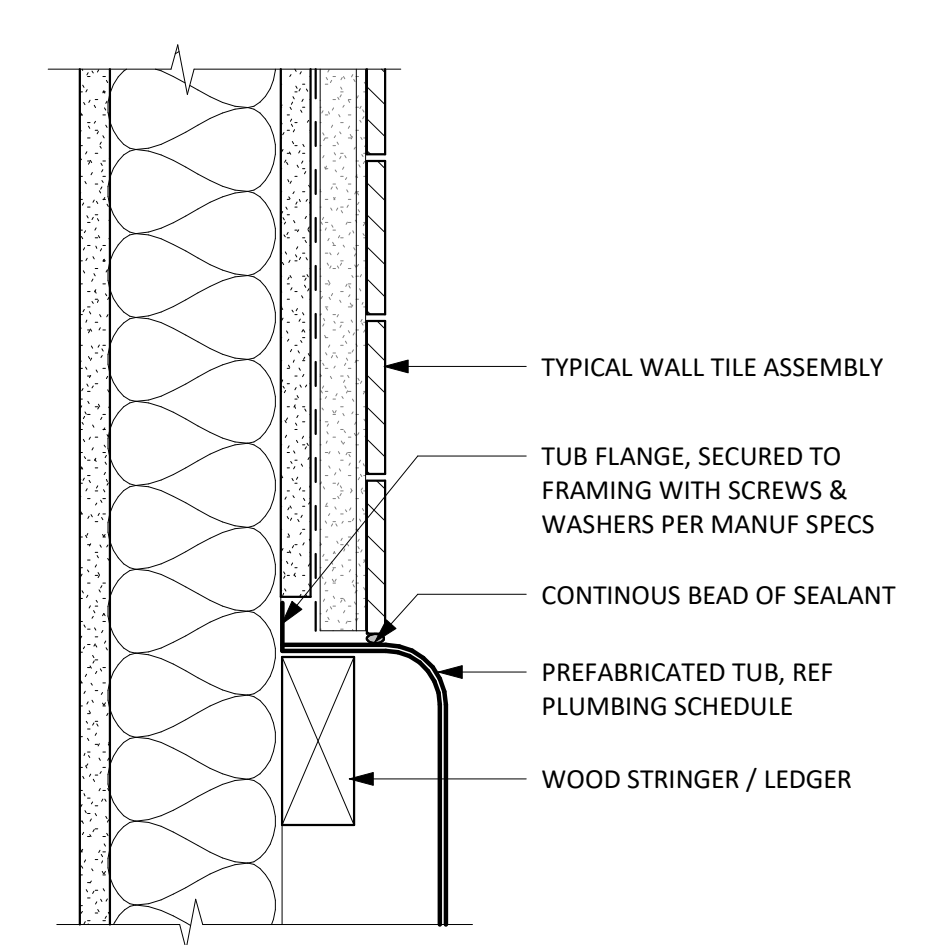
13 TILE / GYPSUM TRANSITION  
3" = 1'-0"



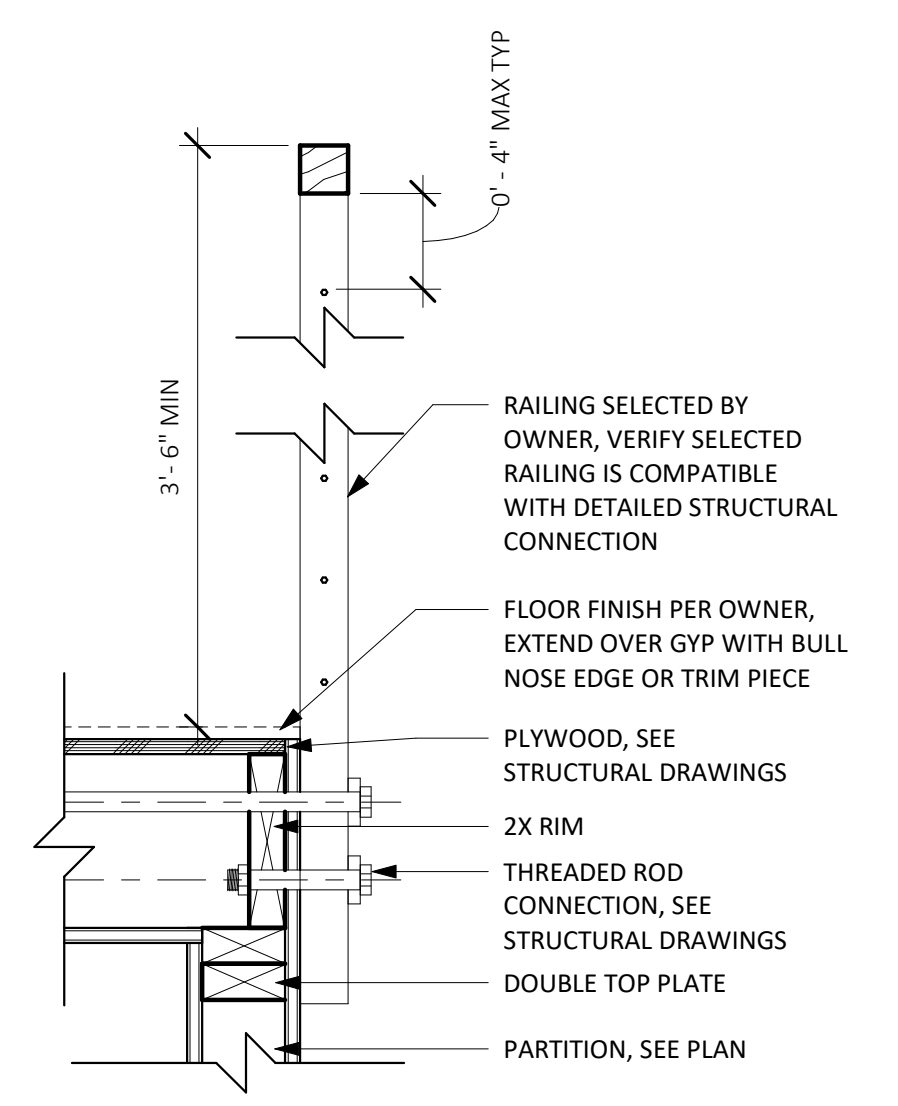
12 TILE NICHE  
3" = 1'-0"



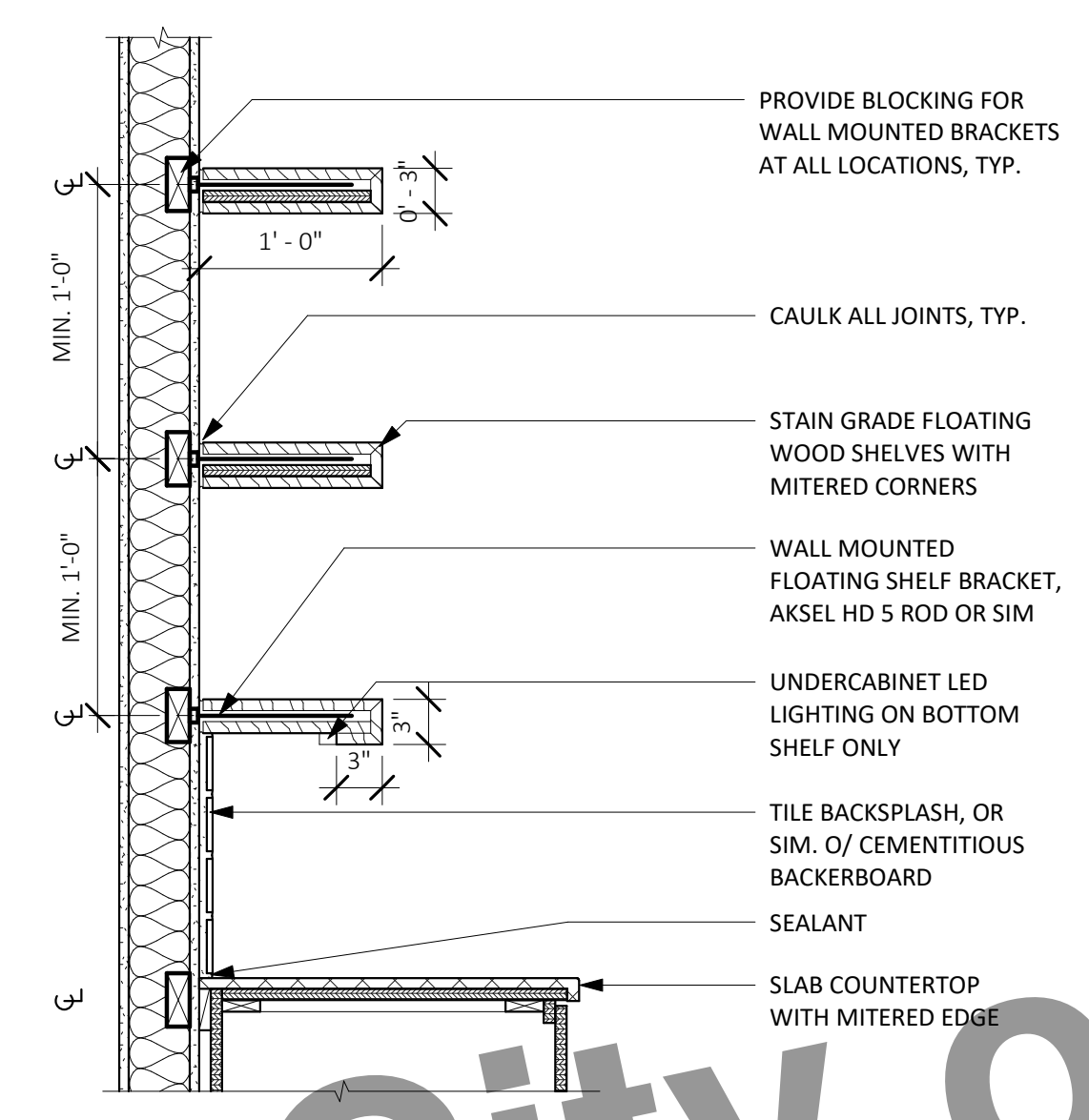
11 TYP. WALL TILE ASSEMBLY  
3" = 1'-0"



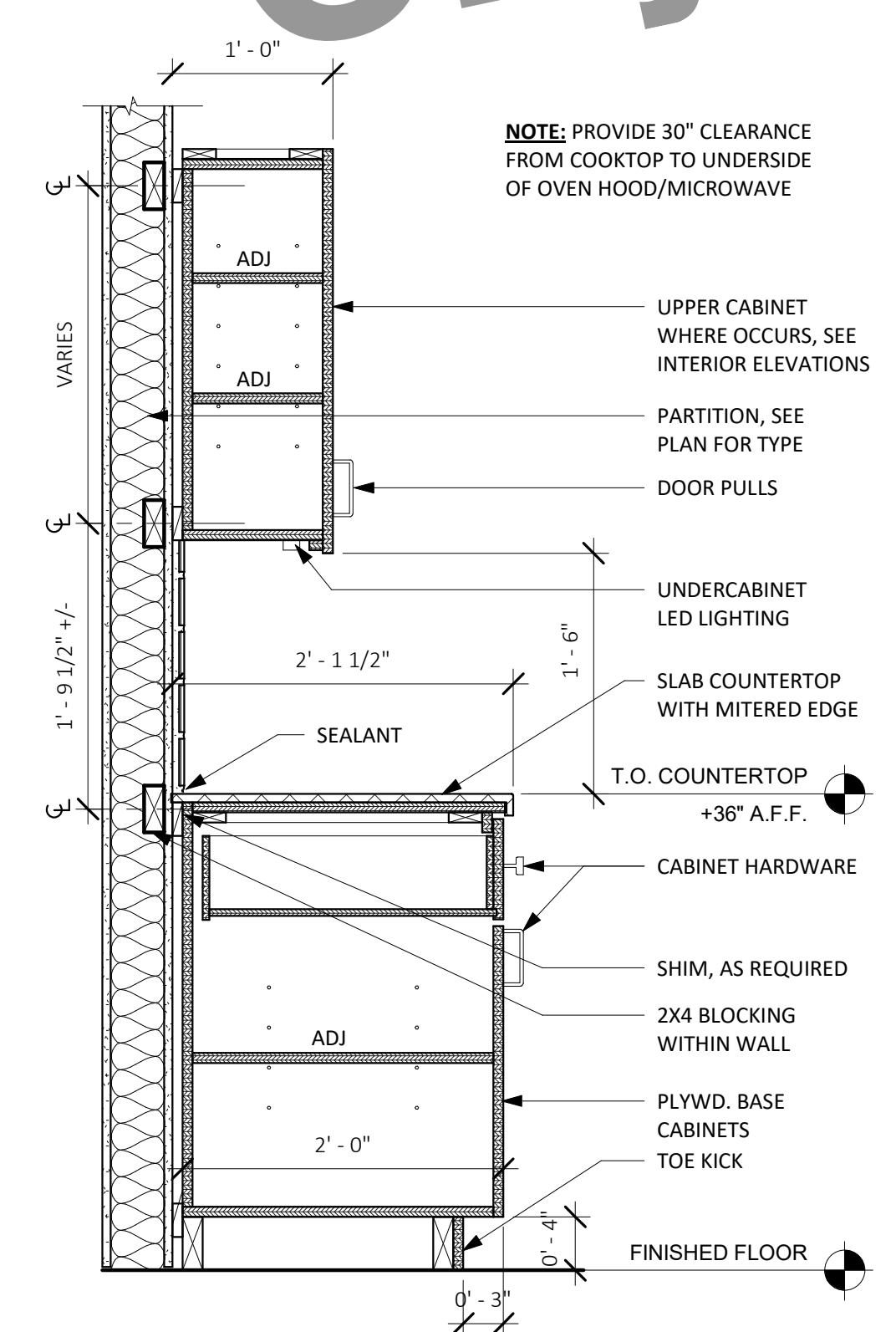
10 TILE AT TUB DECK  
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT  
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)  
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET  
1" = 1'-0"

# WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

## WINDOW SCHEDULE - STANDARD STUDIO - COASTAL RANCH

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
5	SINGLE HUNG	6	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1'-6"	2'-3"	7'-0"	4'-9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

## WINDOW SCHEDULE - STANDARD STUDIO - BACKYARD CRAFTSMAN

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3'-0"	2'-0"	7'-0"	5'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	6	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

## WINDOW SCHEDULE - STANDARD STUDIO - CALIFORNIA MODERN

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3'-0"	4'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
1A	FIXED (CLERESTORY)	2	3'-0"	2'-0"	2'-0"	0'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	6	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	5	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

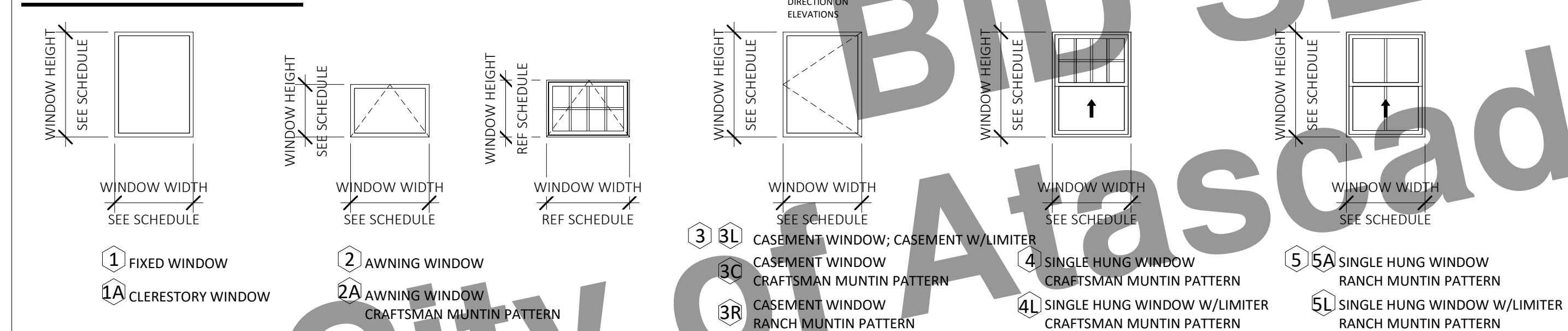
## WINDOW SCHEDULE - STANDARD STUDIO - BEACH BUNGALOW

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	4	3'-0"	4'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
1A	FIXED (CLERESTORY)	2	3'-0"	2'-0"	2'-0"	0'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	5	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

## WINDOW MATERIAL LEGEND

FRAME MATERIAL			FRAME FINISH		
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

## WINDOW TYPES



## GLAZING TYPES

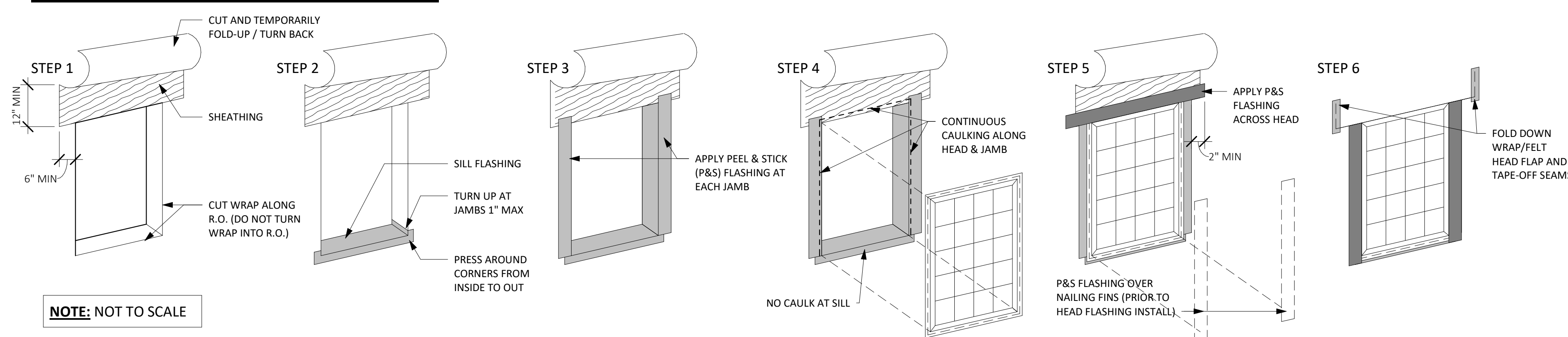
REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

## TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
  - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

## WINDOW FLASHING SEQUENCE



NOTE: NOT TO SCALE

## APPLIANCE SCHEDULE - STANDARD STUDIO

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A6	12" ELECTRIC COOKTOP RANGE			
11 11 00.A4	24" DISHWASHER			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A9	30" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

## LIGHTING FIXTURE SCHEDULE - STANDARD STUDIO

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
A5	VANITY LIGHT			1
F1	LED DOWNLIGHT (LOW PROFILE)			10
F3	UNDERCABINET LED LIGHT			3

## PLUMBING FIXTURE SCHEDULE - STANDARD STUDIO

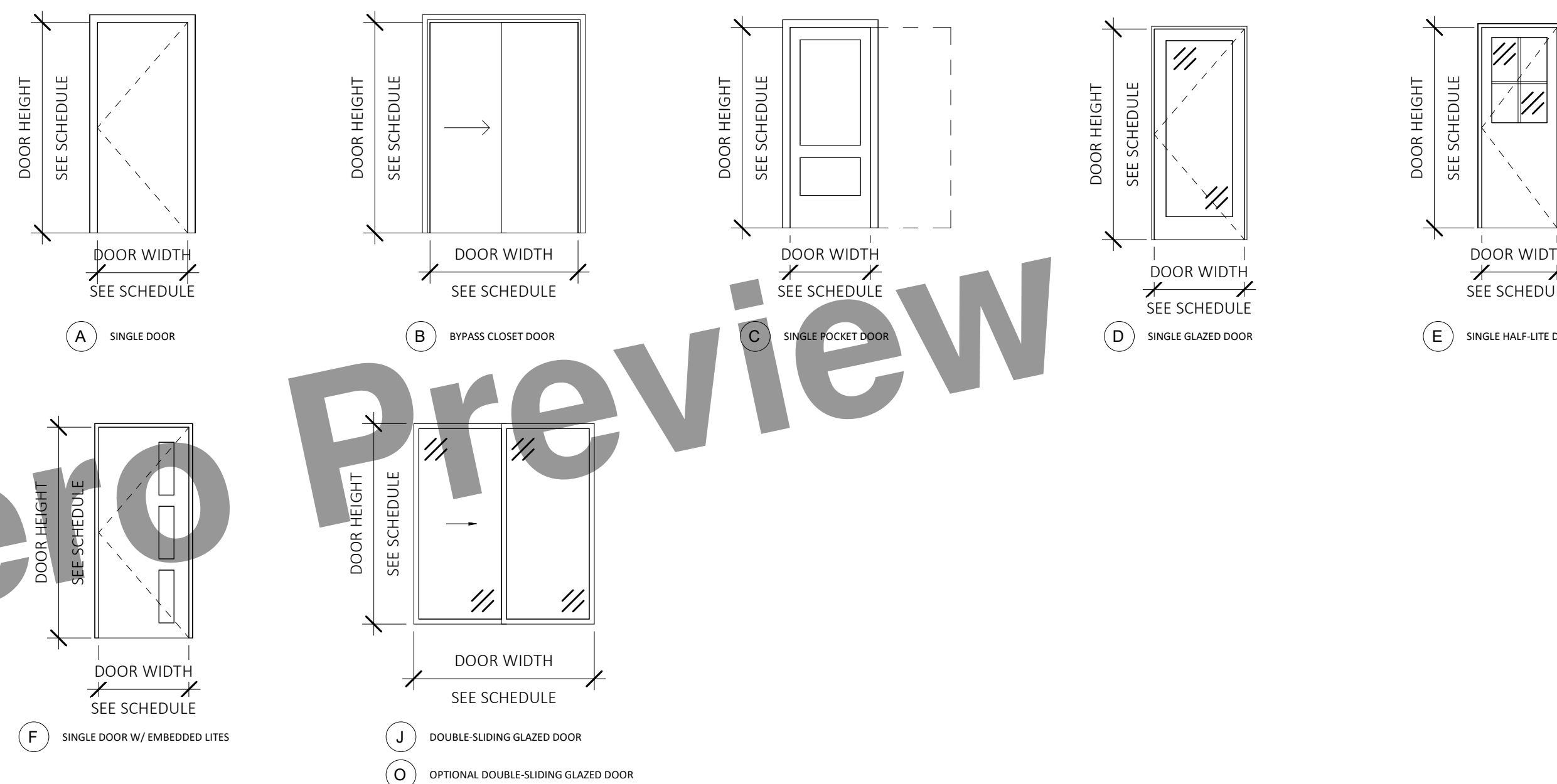
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	VANITY WITH SINK/FAUCET			
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

# DOOR SCHEDULE

## DOOR SCHEDULE - STANDARD STUDIO

MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS				DETAILS			HARDWARE GROUP	NOTES		
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB			SILL	
D02	A-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2'-6"	6'-8"	0'-2"			GL-2 TEMP				3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"			GL-2 TEMP				3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
C01	C	INTERIOR POCKET DOOR	BATH	2'-8"	6'-8"	0'-1 1/2"	SC	PTD	N/A	WD	PTD	8/AS.3	PER MFR	PER MFR	3		

## DOOR TYPES



## DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR	E	EXISTING		
E	EXISTING			GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED				
				GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT				

## DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



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## SCHEDULES - STANDARD STUDIO

A6.0



REV	DATE	BY
1	7-14-23	CT

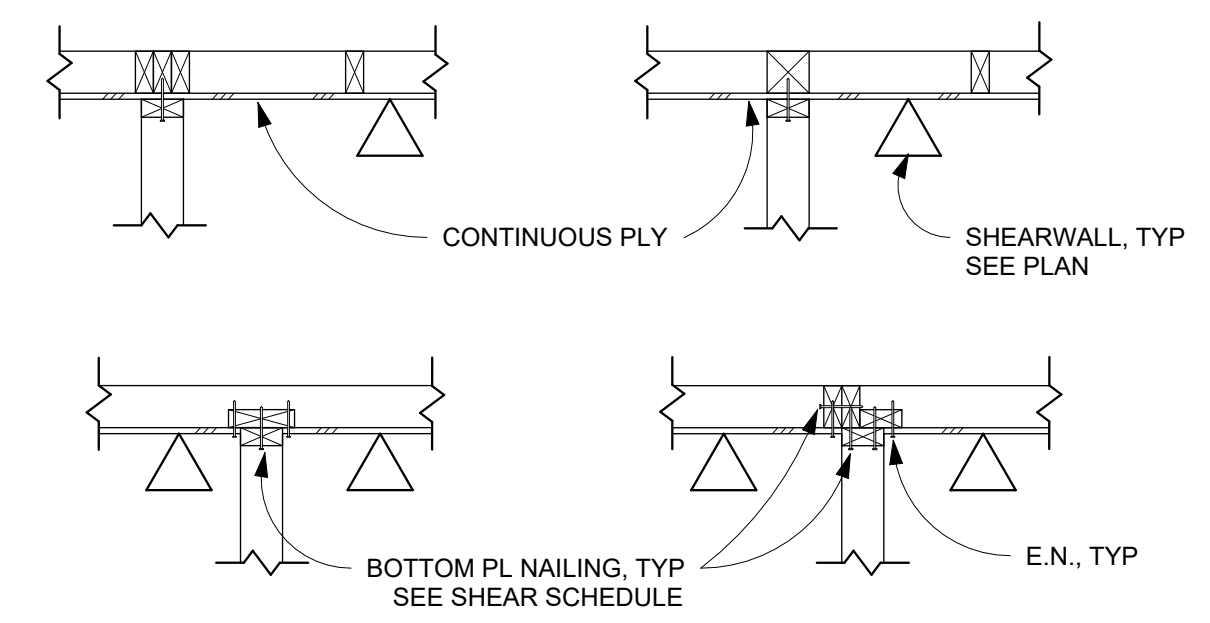
STRUCTURAL ENGINEERING  
**CM Taylor**  
 CM Taylor Structural Engineering, Inc. 7426 Capitola Rd., Suite 204, Capitola, CA 95010  
 Phone: 831-854-2484  
 email: contact@cmtylors.com

CENTRAL COAST STOCK ADU  
THESE DRAWINGS ARE PREPARED AND DESIGNED BY THE ENGINEER AND CONTRACTOR FOR THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND CONTRACTOR. THE ENGINEER AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER AND CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING THE USER OF THESE DRAWINGS, ARISING FROM THE USE OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER AND CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING THE USER OF THESE DRAWINGS, ARISING FROM THE USE OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

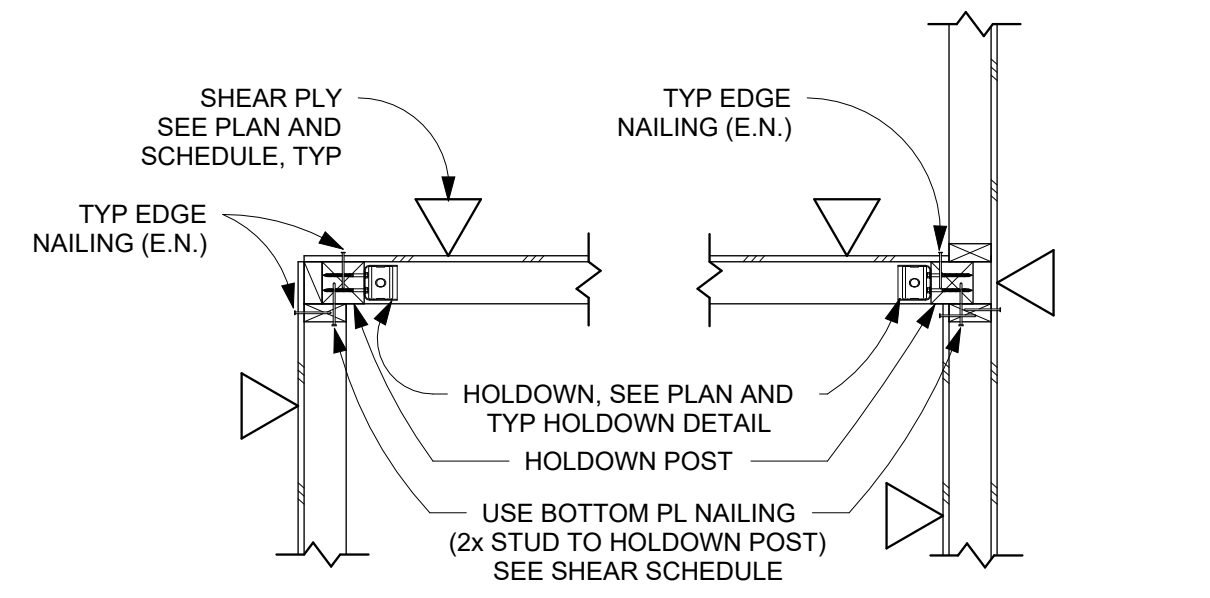
REGISTERED PROFESSIONAL ENGINEER  
**CM Taylor**  
 No. 100025  
 STATE OF CALIFORNIA  
 EXPIRES 03/31/25

TYPICAL DETAILS

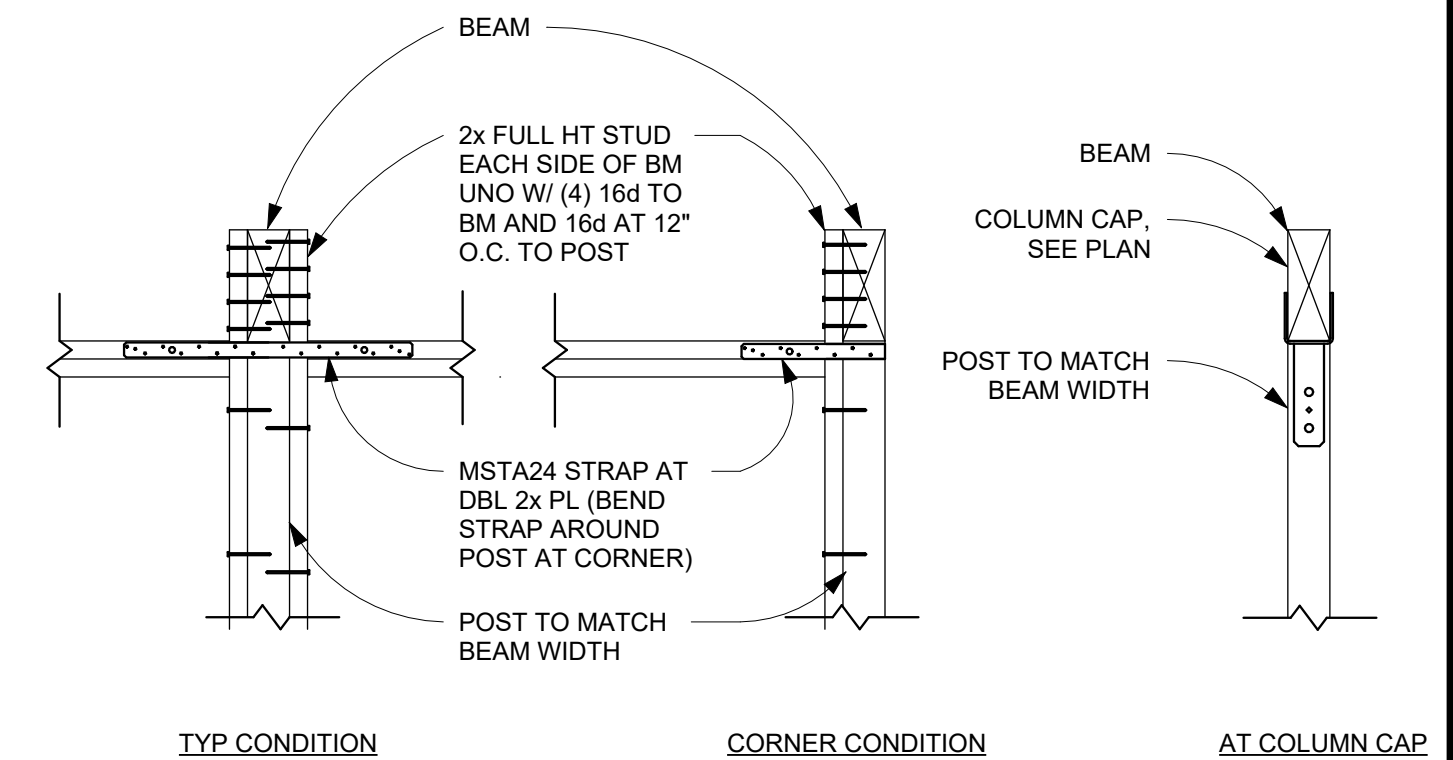
DATE: 11-18-2022  
 JOB NO: 21091  
 SHEET: S0.1



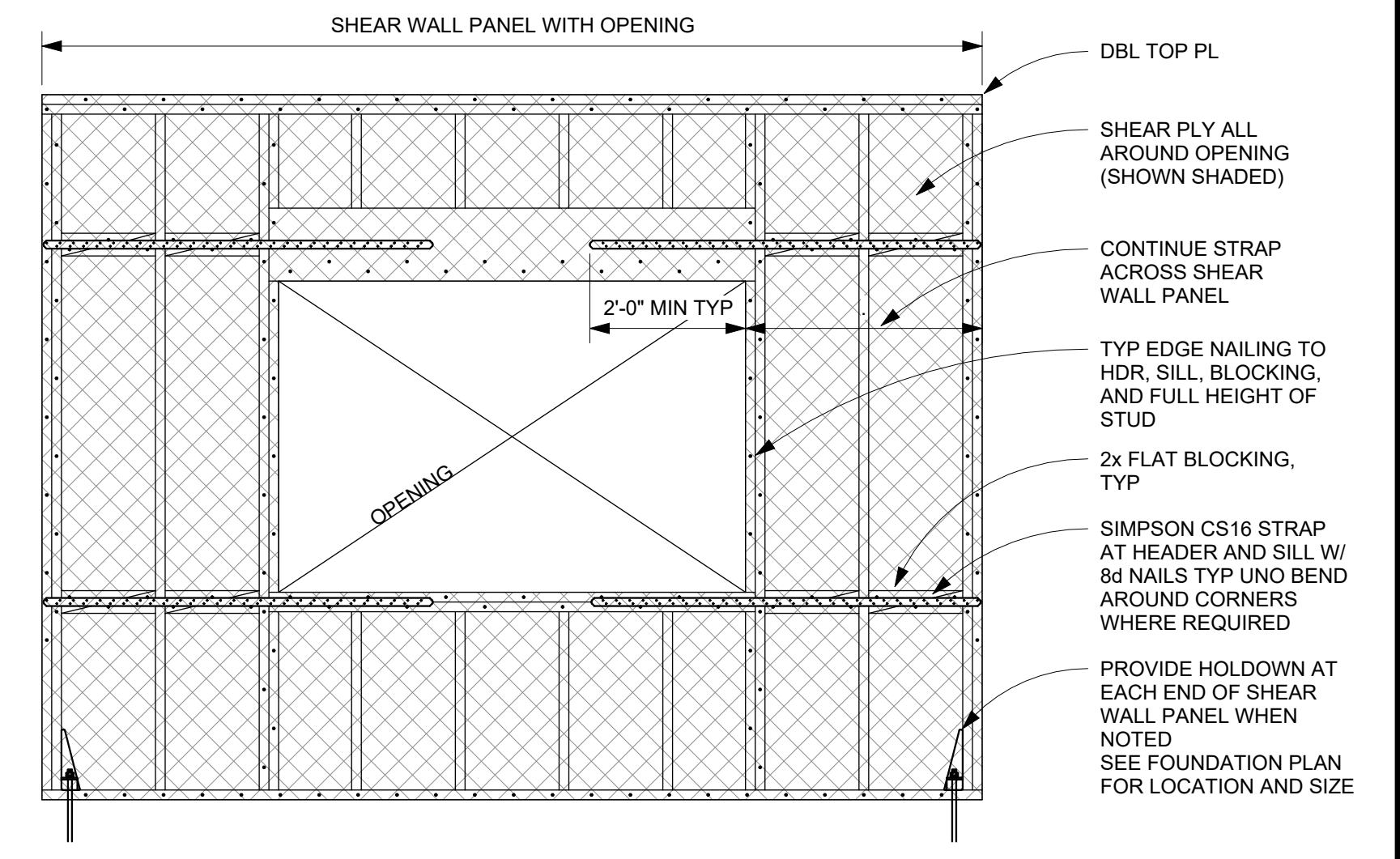
1 CONT SHEAR WALL PLAN DETAIL  
 S0.1 3/4" = 1'-0"



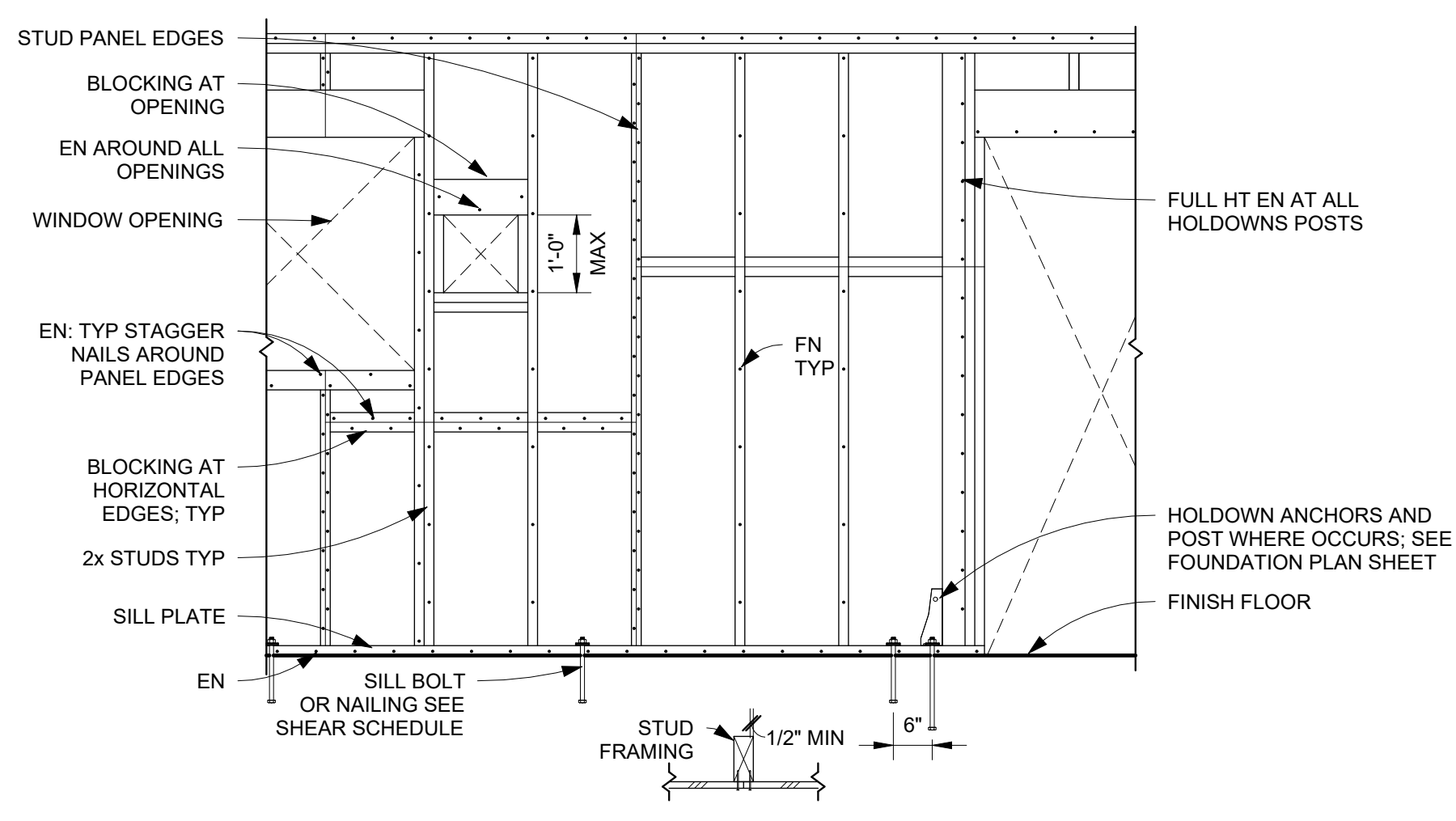
2 INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL  
 S0.1 3/4" = 1'-0"



3 TYPICAL POST TO BEAM CONN  
 S0.1 3/4" = 1'-0"

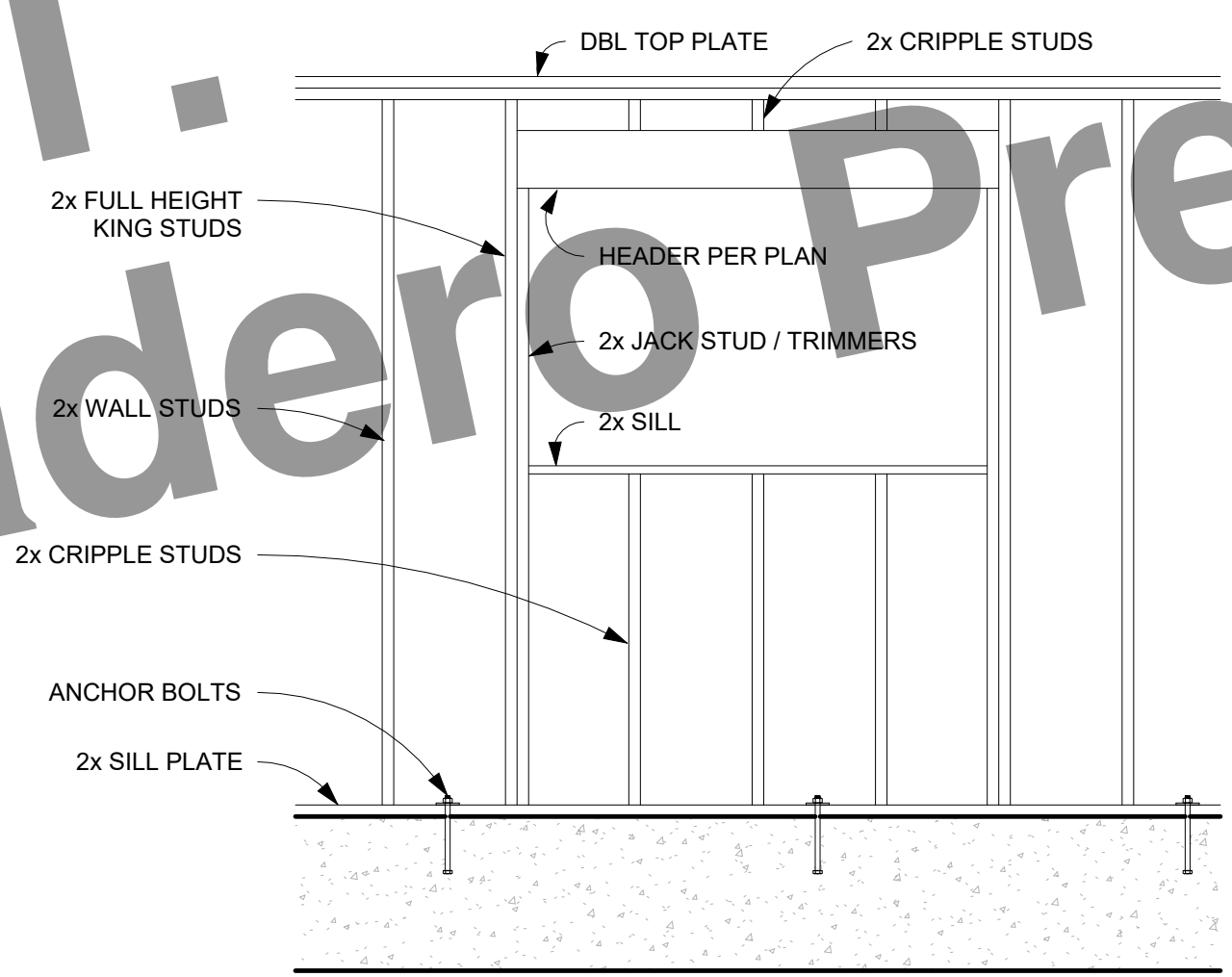


4 STRAP AROUND OPENING  
 S0.1 1/2" = 1'-0"

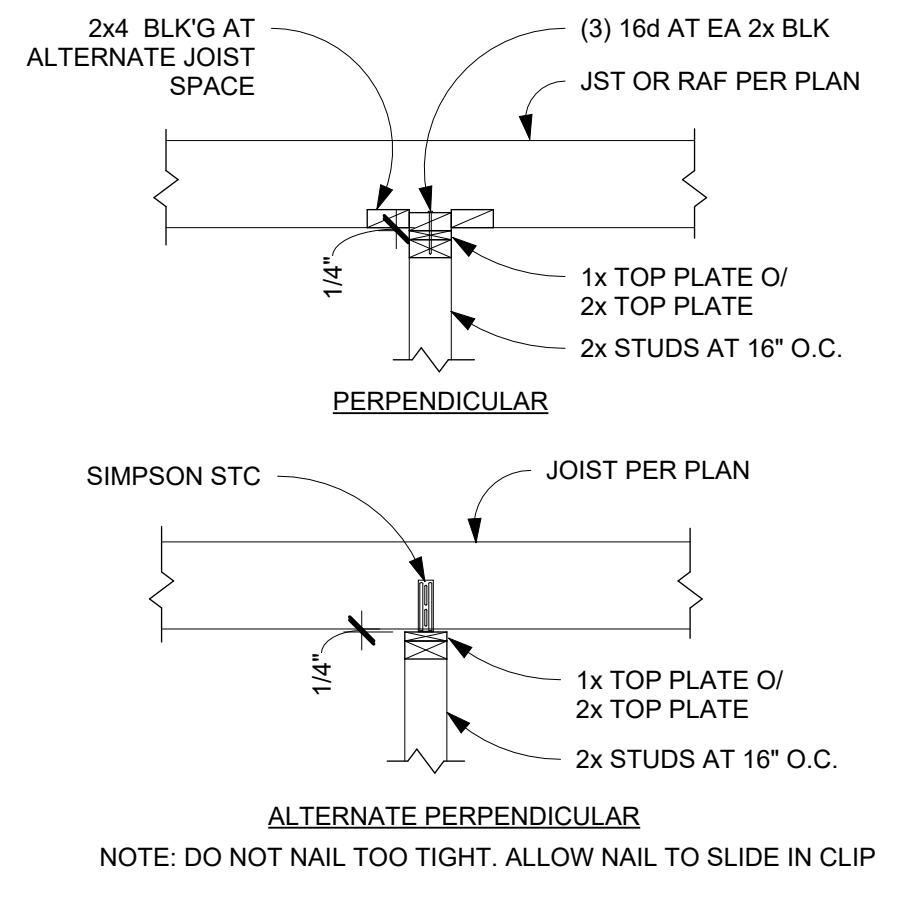


- NOTES:
- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
  - (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
  - WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
  - SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
  - SEE PLAN FOR SHEARWALL SCHEDULE.
  - THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY.

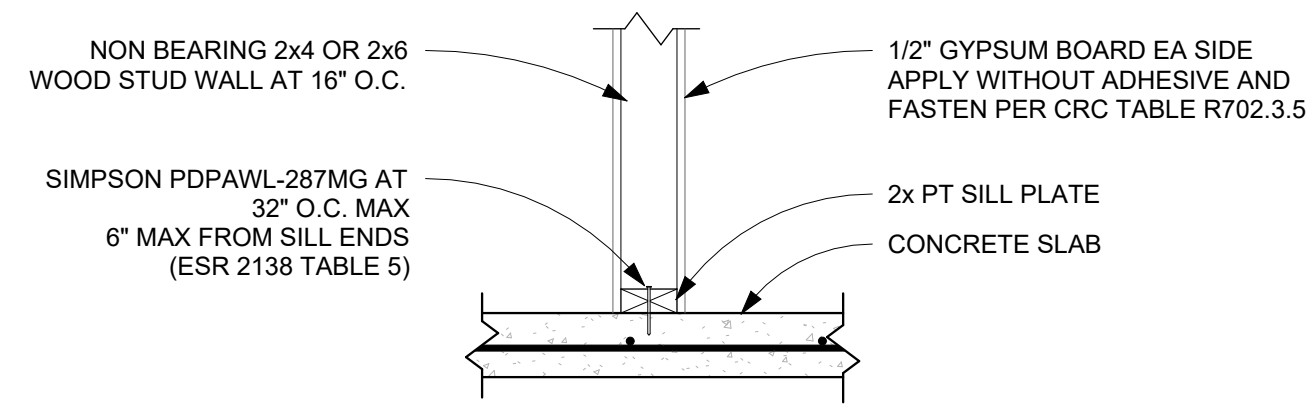
5 TYP SHEAR WALL FRAMING  
 S0.1 1/2" = 1'-0"



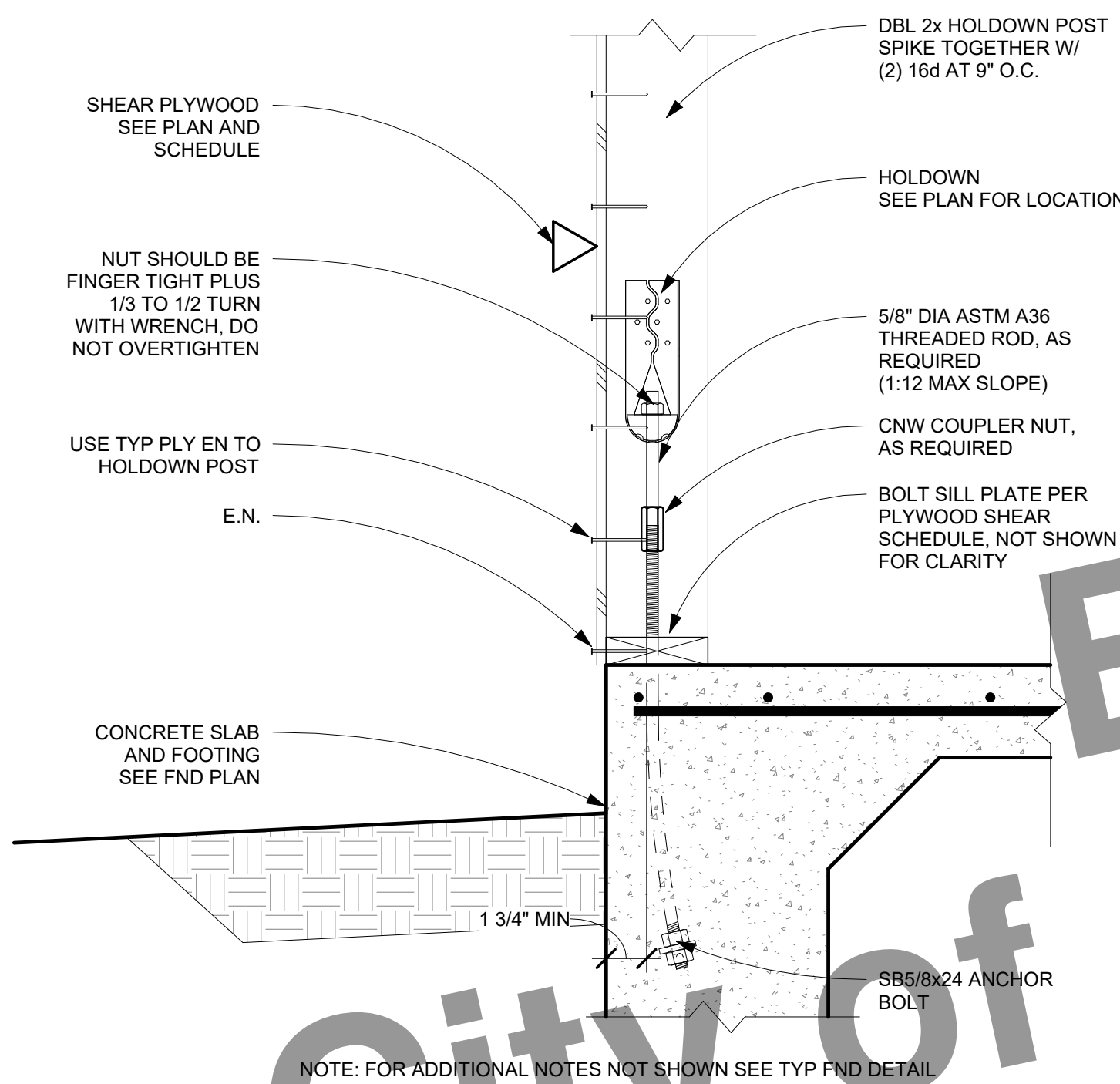
6 TYP WALL FRAMING  
 S0.1 1/2" = 1'-0"



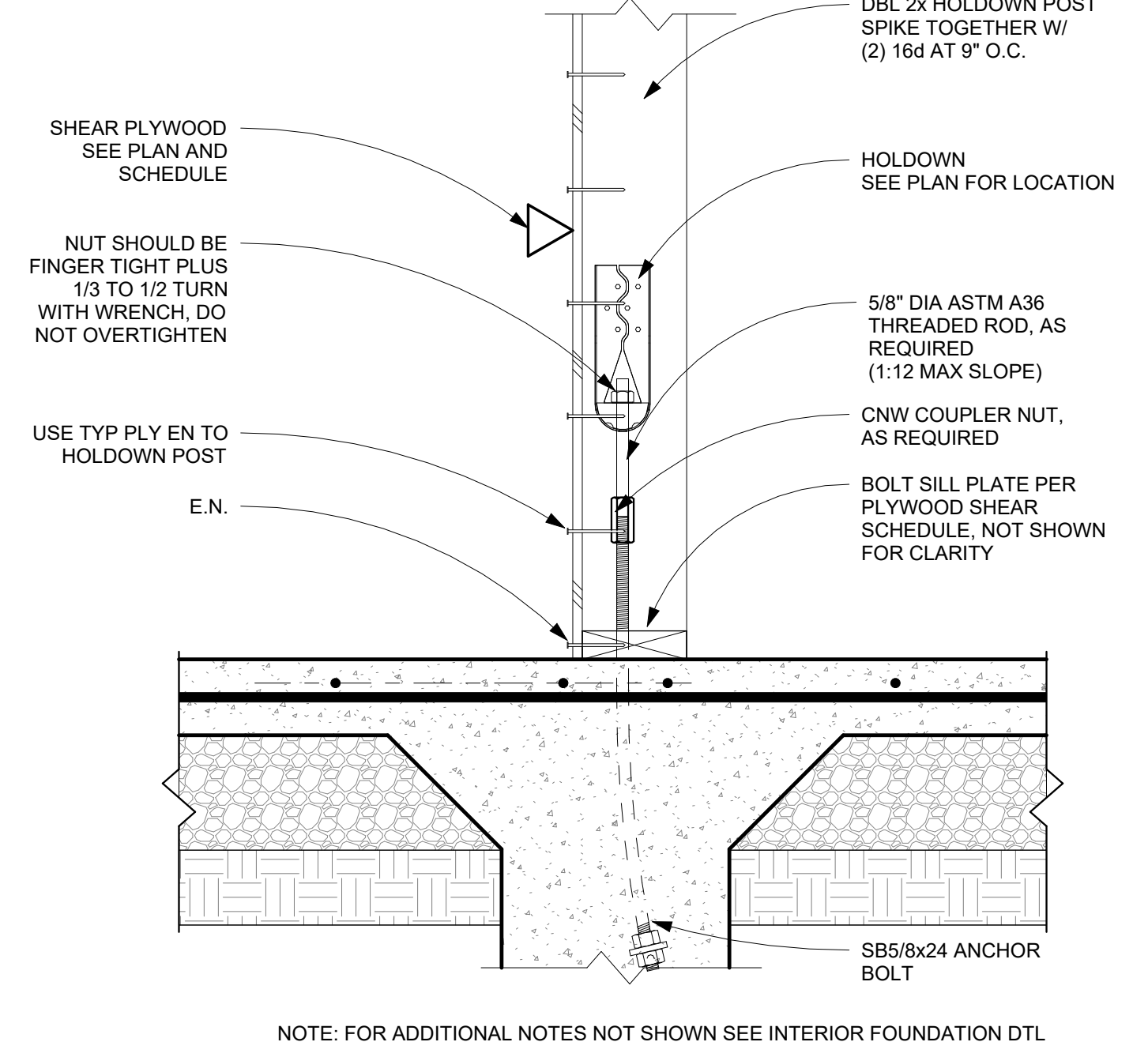
7 NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP  
 S0.1 3/4" = 1'-0"



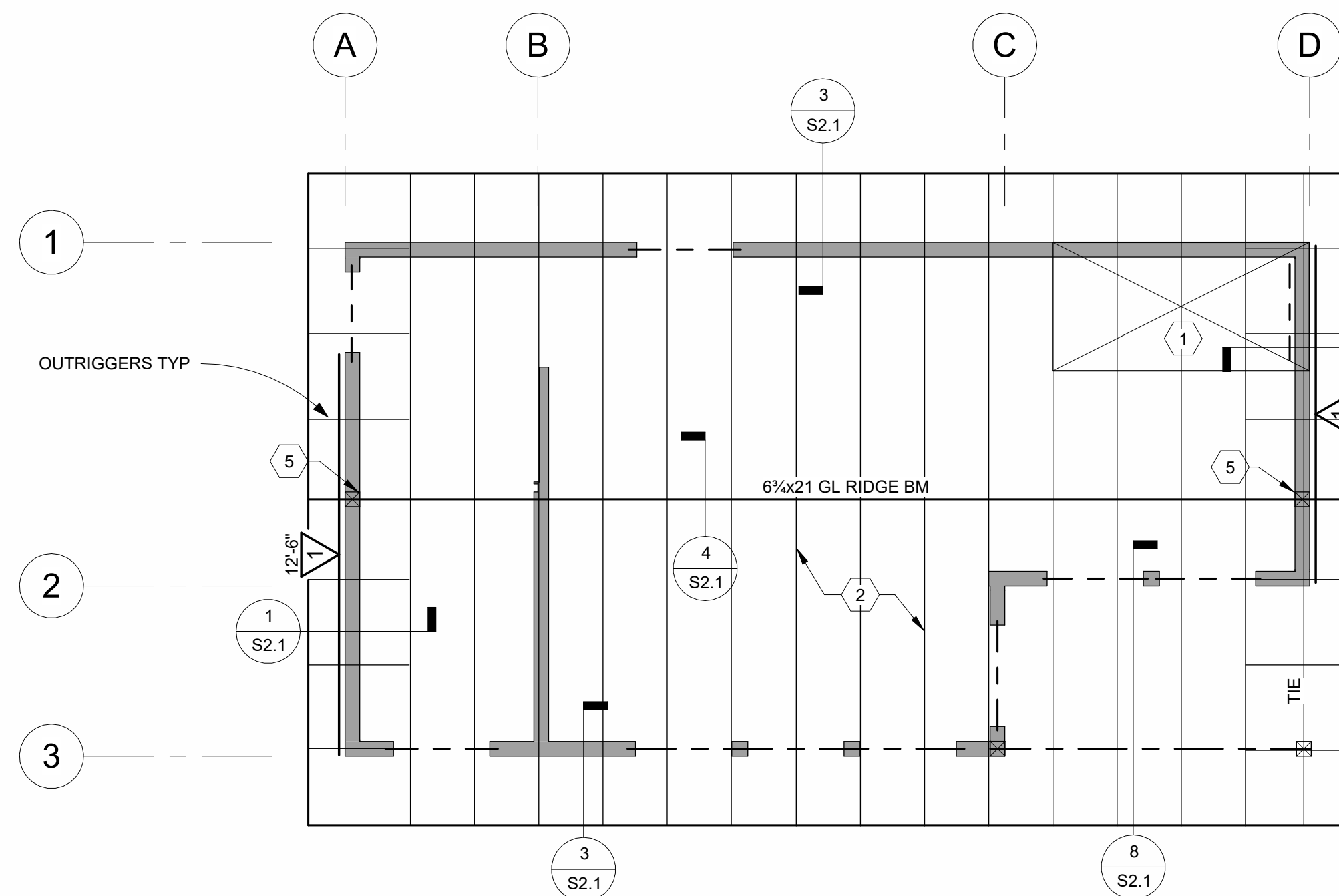
8 NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB  
 S0.1 1" = 1'-0"



9 TYP HOLDOWN AT PERIM FTG  
 S0.1 1 1/2" = 1'-0"

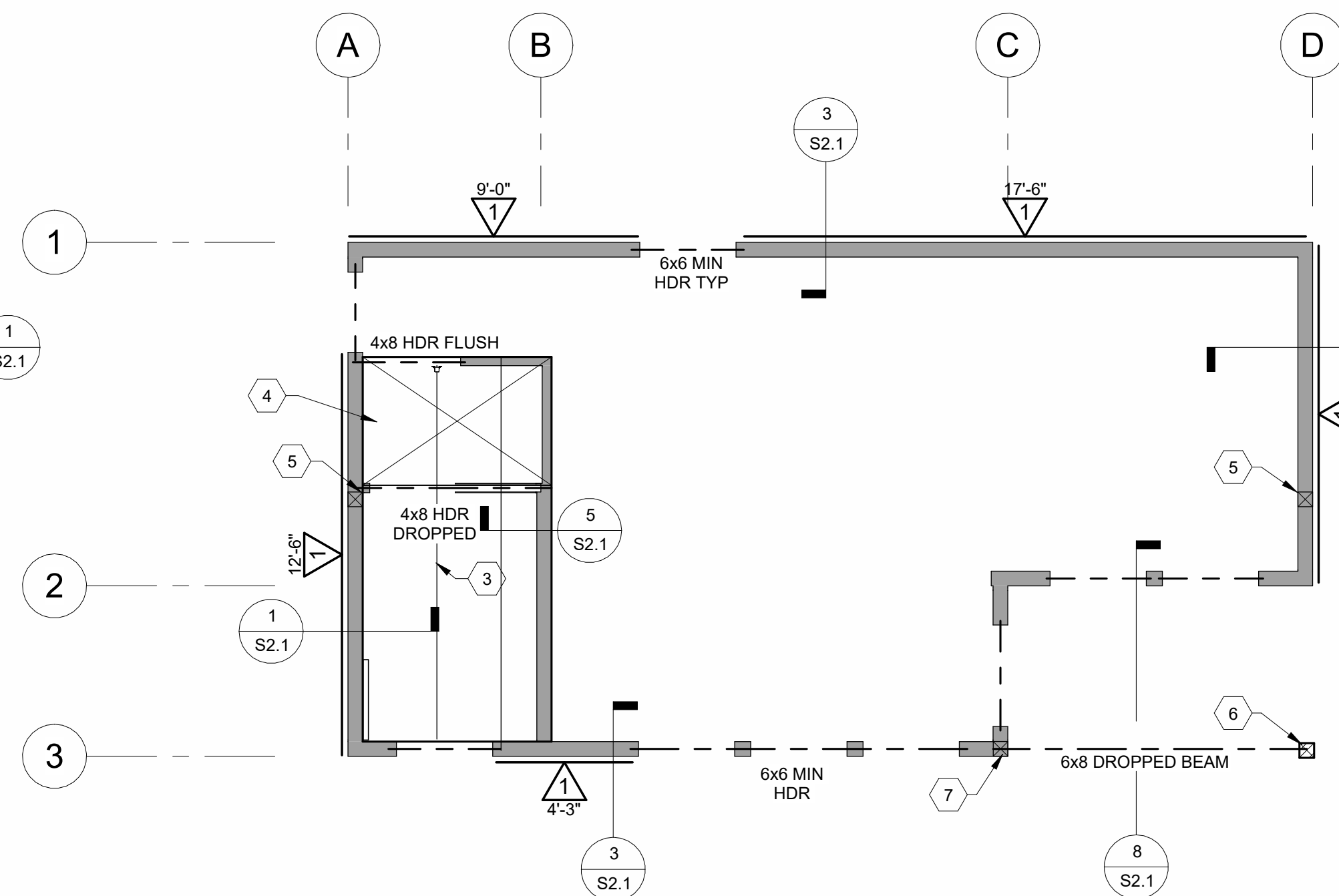


10 TYP HOLDOWN AT INTERIOR FOOTING  
 S0.1 1 1/2" = 1'-0"



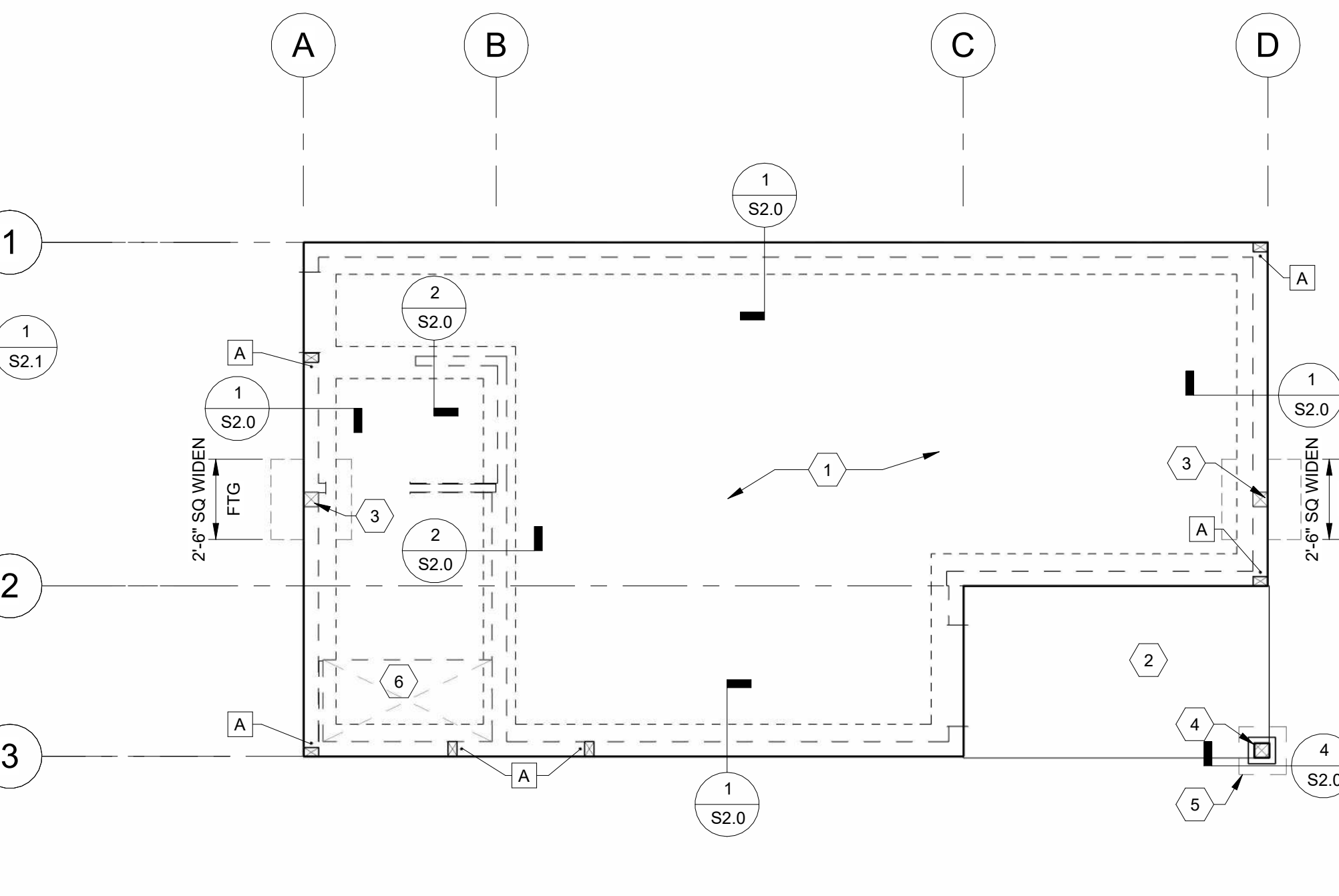
**STANDARD GABLE STUDIO ROOF FRAMING PLAN**

1/4" = 1'-0"



**STANDARD GABLE STUDIO CEILING FRAMING PLAN**

1/4" = 1'-0"



**STANDARD GABLE STUDIO FOUNDATION PLAN**

1/4" = 1'-0"

**ROOF AND CEILING/LOFT FRAMING NOTES**

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

**LEGEND**

- KEYNOTE TAG, SEE KEYNOTE TABLES
- HOLDOWN TAG, SEE HOLDOWN SCHEDULE
- SHEARWALL TAG
- PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
- HOLDOWN POST
- WALL ABOVE
- WALL BELOW

**FOUNDATION PLAN NOTES**

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC. UNLESS NOTED OTHERWISE, NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC. SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- \* INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

**STANDARD GABLE ROOF & CEILING FRAMING PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C. WITH LUS26 HANGER WHERE APPLIES
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x8 RIPPED RIDGE POST
6	6x8 POST WITH EPC6Z OR ECC66 POST CAP
7	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x BEAM UNDER DBL TOP PLATE

**STANDARD GABLE FOUNDATION PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	6x8 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

**HOLDOWN SCHEDULE**

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

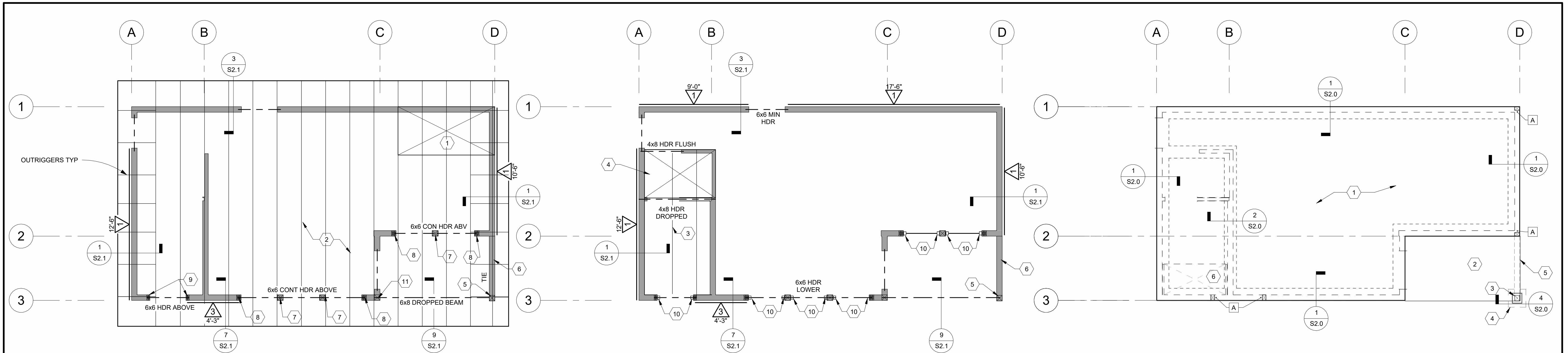
**REVISION SCHEDULE**

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL ENGINEERING  
**CM Taylor**  
 C.M. Taylor Structural Engineering, Inc. 1426 Capitola Rd. Suite 204, Capitola, CA 95010  
 Phone: 831-854-2484 email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU

STANDARD GABLE ROOF/CEILING FRAMING AND FOUNDATION PLAN  
 DATE: 11-18-2022  
 JOB NO: 21091  
 SHEET  
**S1.0G**



**STANDARD MONOSLOPE STUDIO ROOF FRAMING PLAN**  
1/4" = 1'-0"

**STANDARD MONOSLOPE STUDIO CEILING FRAMING PLAN**  
1/4" = 1'-0"

**STANDARD MONOSLOPE STUDIO FOUNDATION PLAN**  
1/4" = 1'-0"

**ROOF AND CEILING/LOFT FRAMING NOTES**

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE 4'-0" MIN.
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

**LEGEND**

- KEYNOTE TAG, SEE KEYNOTE TABLES
- HOLDDOWN TAG, SEE HOLDDOWN SCHEDULE
- SHEARWALL TAG
- PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
- HOLDDOWN POST
- WALL ABOVE
- WALL BELOW

**FOUNDATION PLAN NOTES**

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC. UNLESS NOTED OTHERWISE, NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC. SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- INDICATES HOLDDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
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**STANDARD MONOSLOPE ROOF & CEILING FRAMING PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C. WITH LUS26 HANGER WHERE APPLIES
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x6 POST WITH EPC6Z OR ECC66 POST CAP
6	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
7	6x6 POST
8	2x TRIMMER WITH DBL 2x KING STUD
9	2x TRIMMER AND 2x KING STUD
10	HUC66 HANGER
11	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x6 BEAM UNDER DBL TOP PLATE

**STANDARD MONOSLOPE FOUNDATION PLAN KEYNOTES**

NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	6x6 POST WITH PBS66 OR CBS66
4	ISOLATED PEDESTAL AND FOOTING
5	SEE DETAIL S/S2.0 WALL AT BEACH BUNGALOW
6	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

**HOLDOWN SCHEDULE**

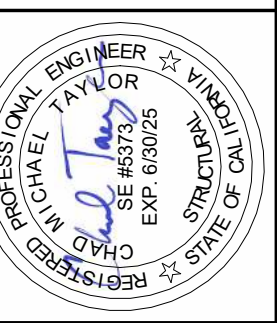
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

REVISION SCHEDULE

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL ENGINEERING  
**CM Taylor**  
C.M. Taylor Structural Engineering, Inc. 1426 Capitola Rd. Suite 204, Capitola, CA 95010  
Phone: 831-854-2484  
email: contact@cmtyaylor.com

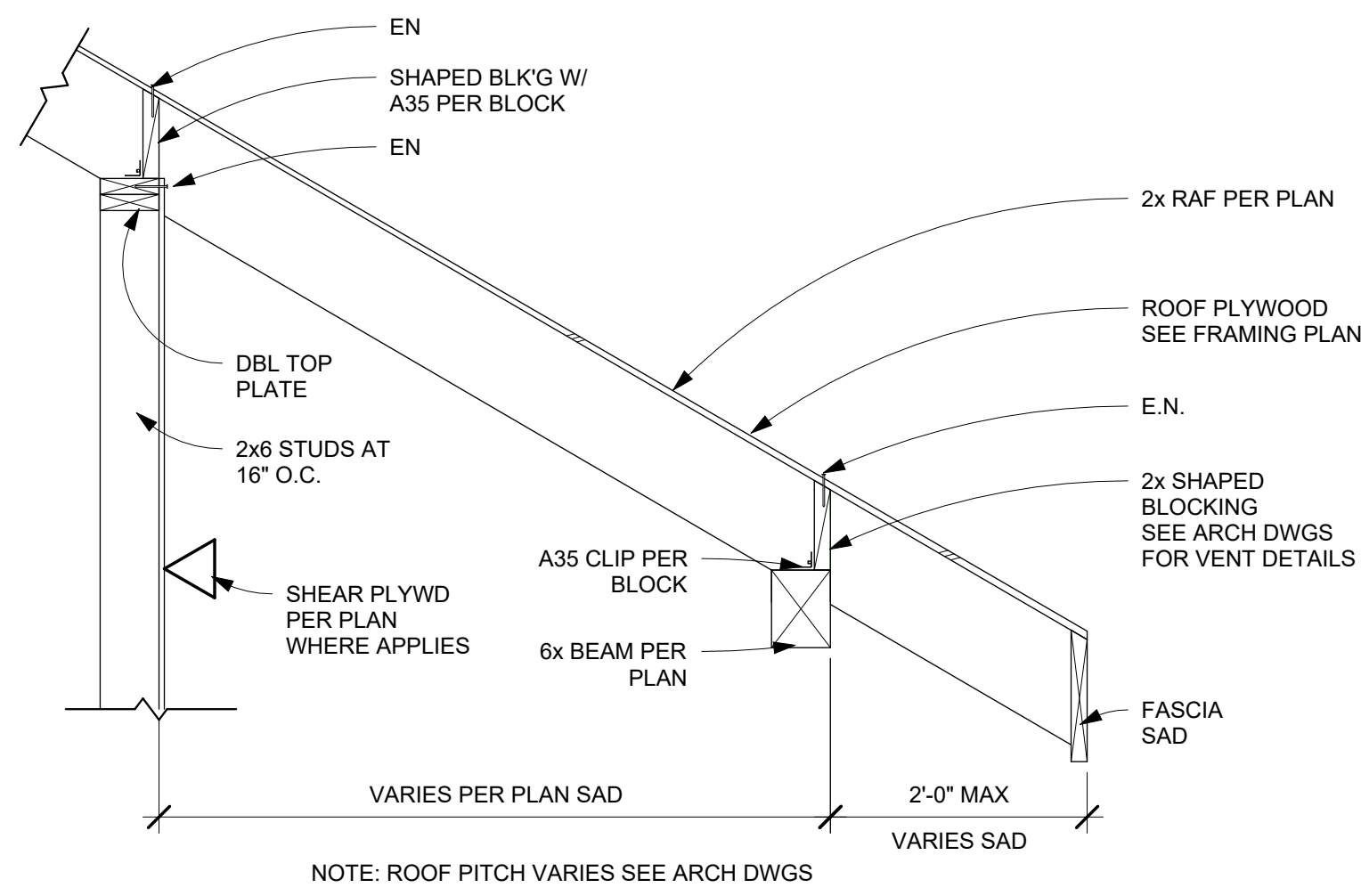
CENTRAL COAST STOCK ADU



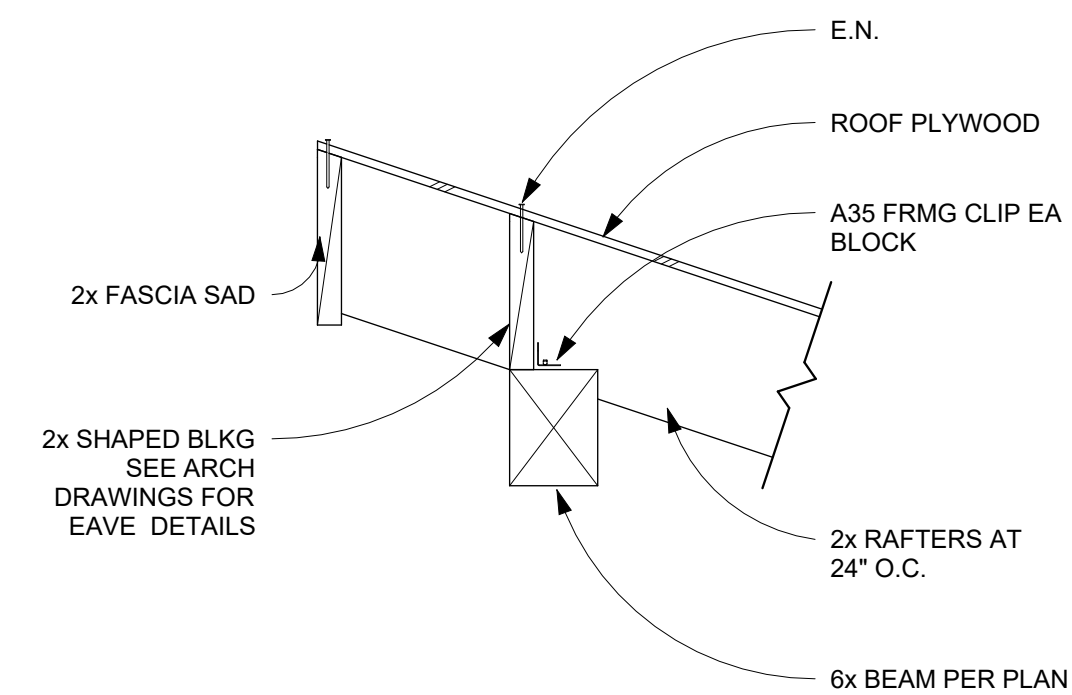
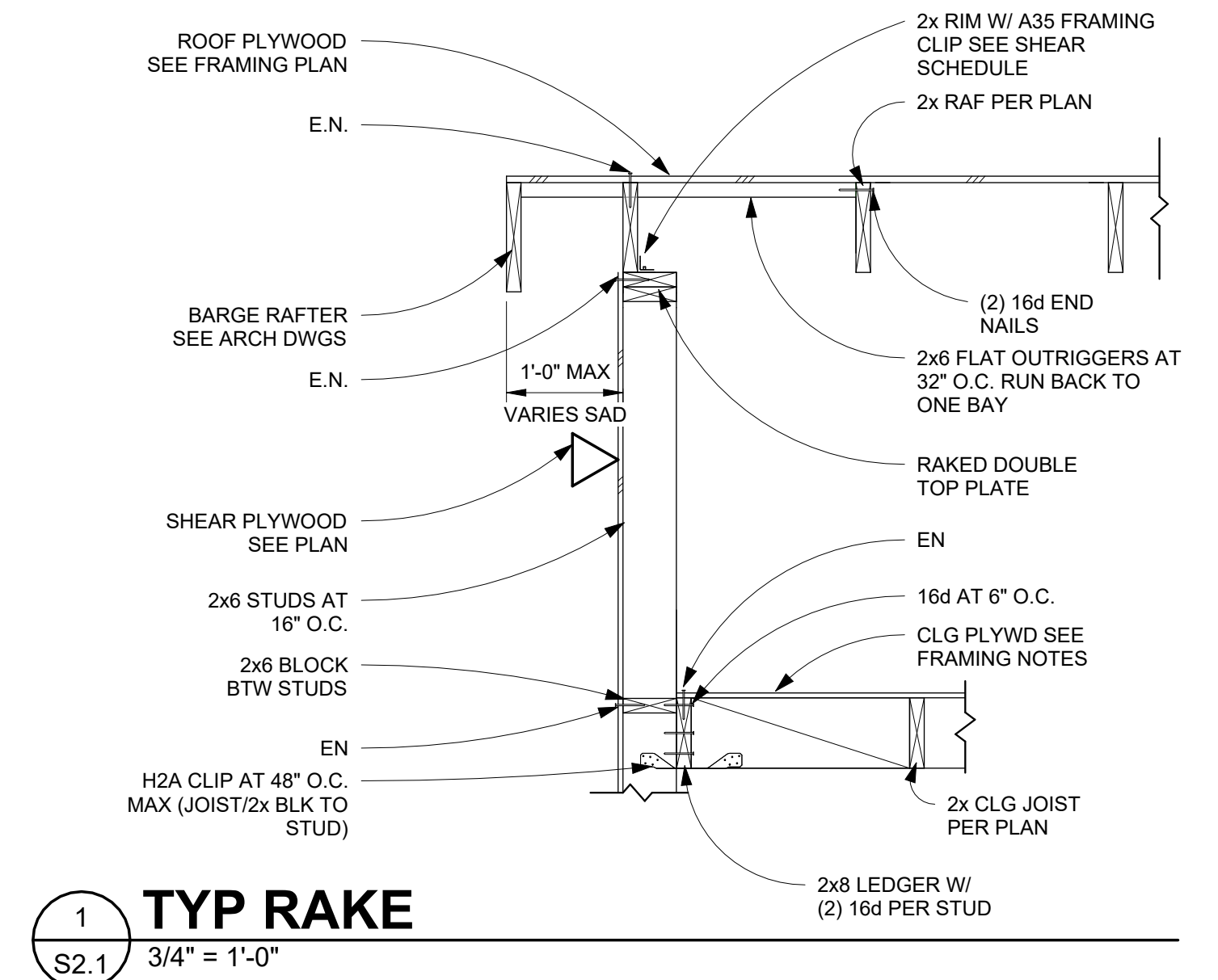
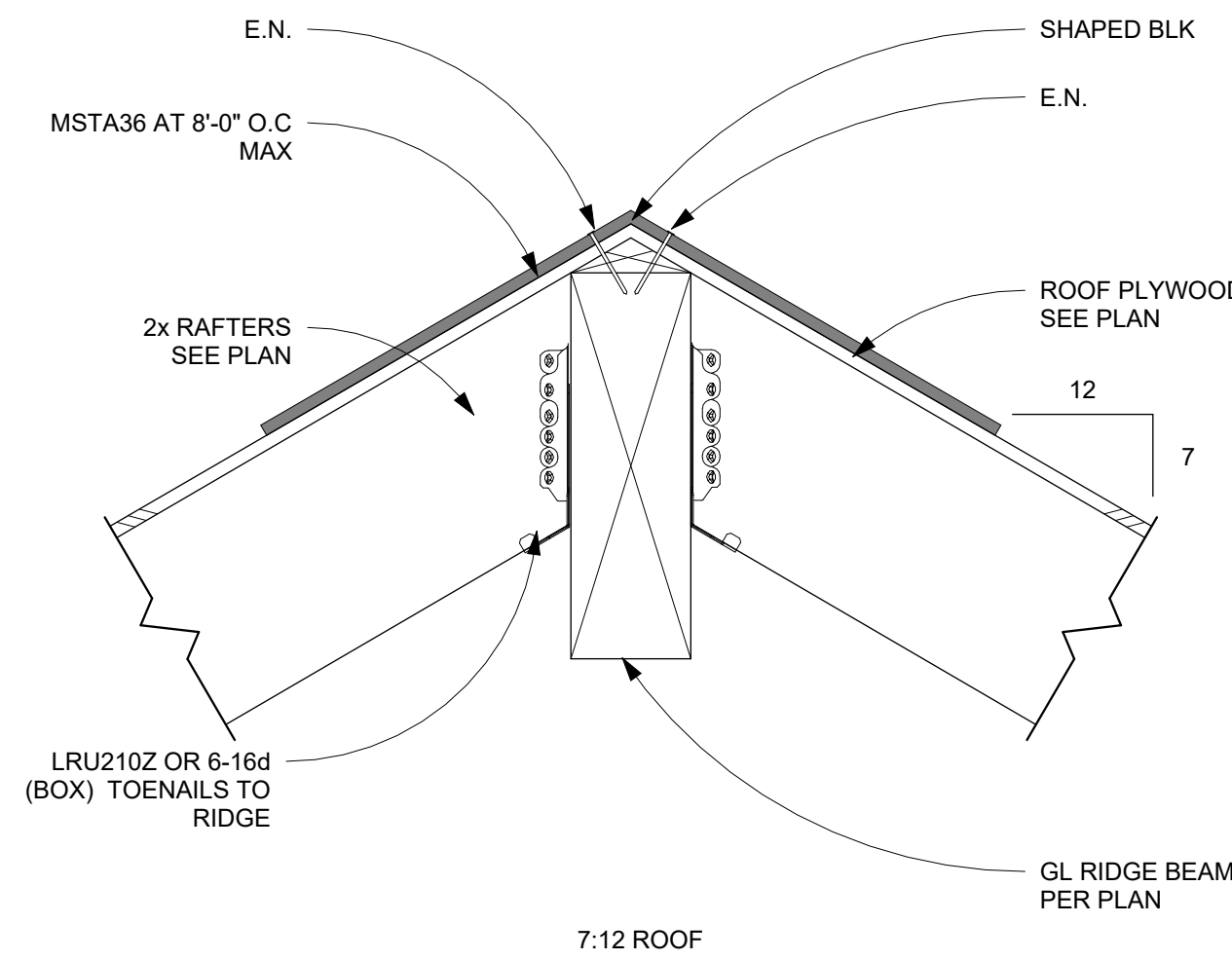
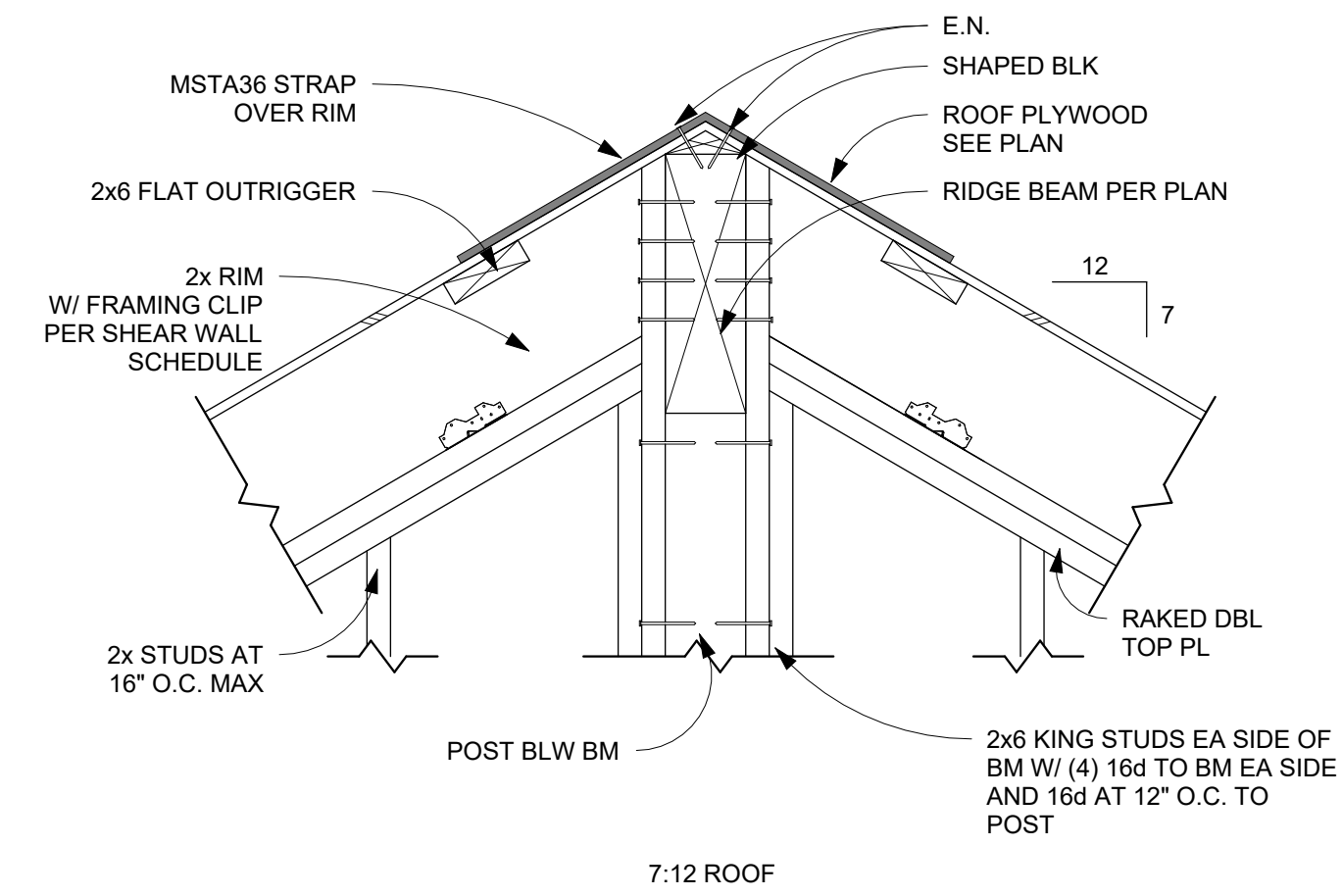
STANDARD MONOSLOPE ROOF/CEILING FRAMING & FOUNDATION PLAN

DATE: 11-18-2022  
JOB NO: 21091  
SHEET  
**S1.0M**

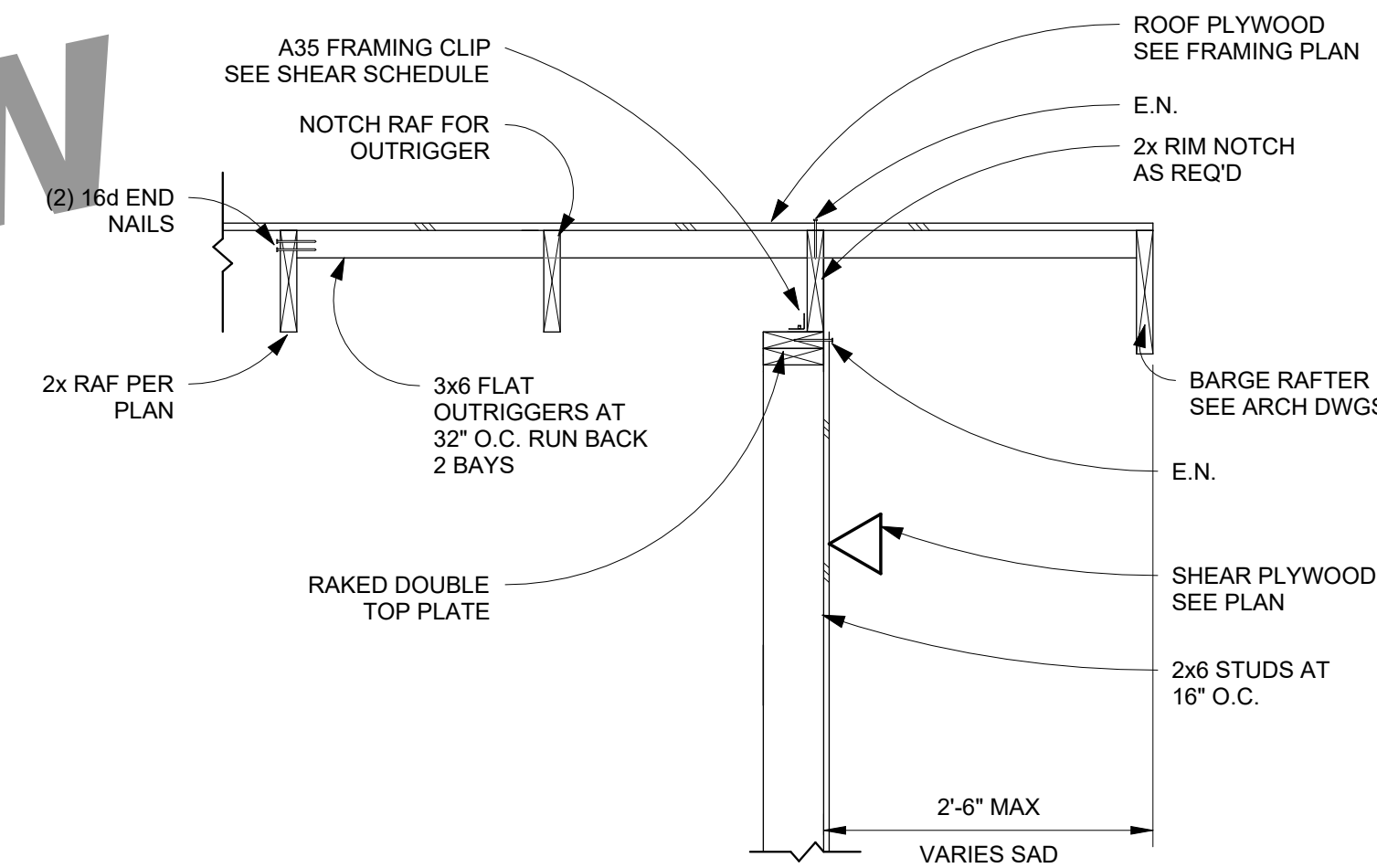
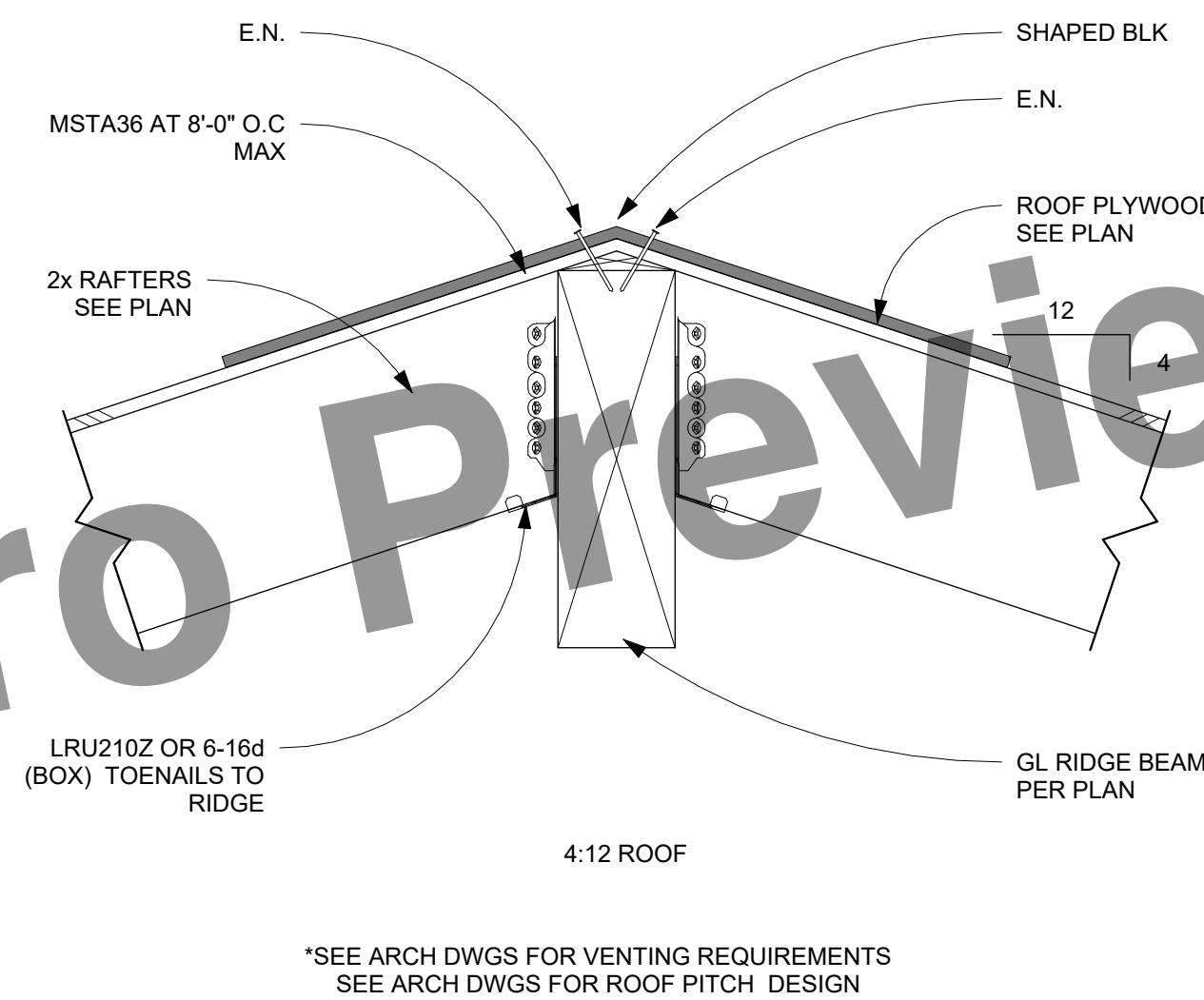
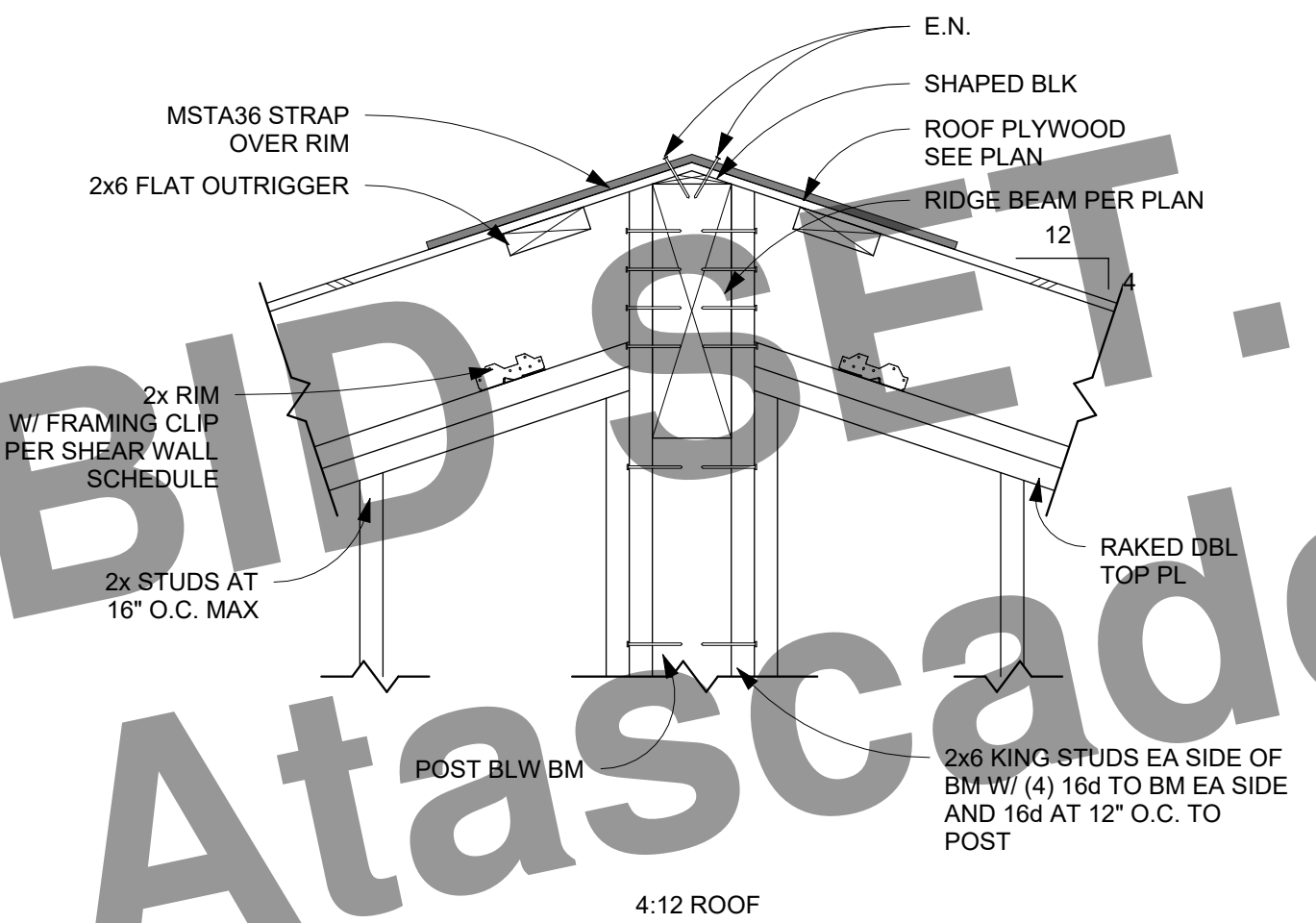




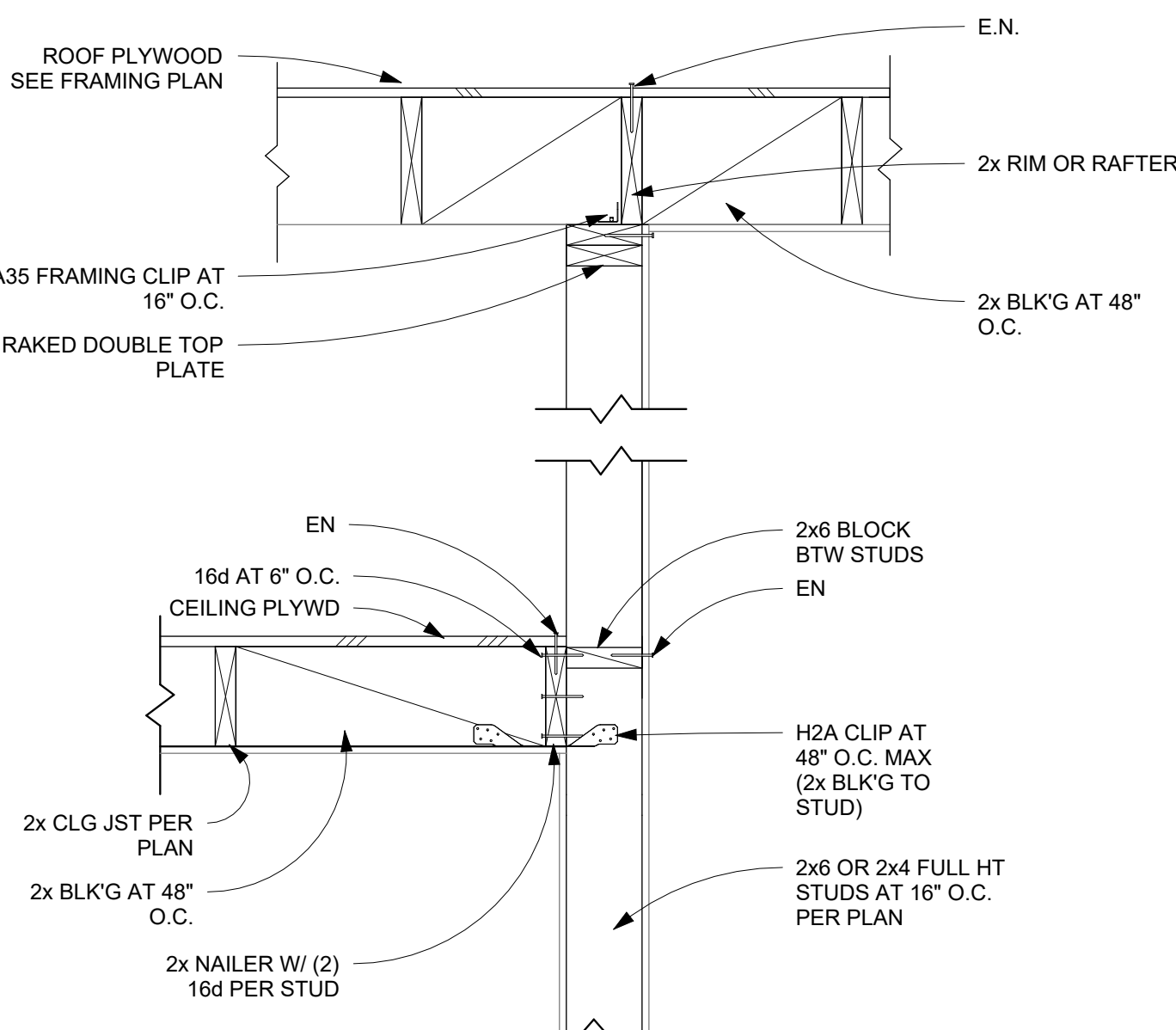
8 EAVE AT PORCH  
S2.1 3/4" = 1'-0"



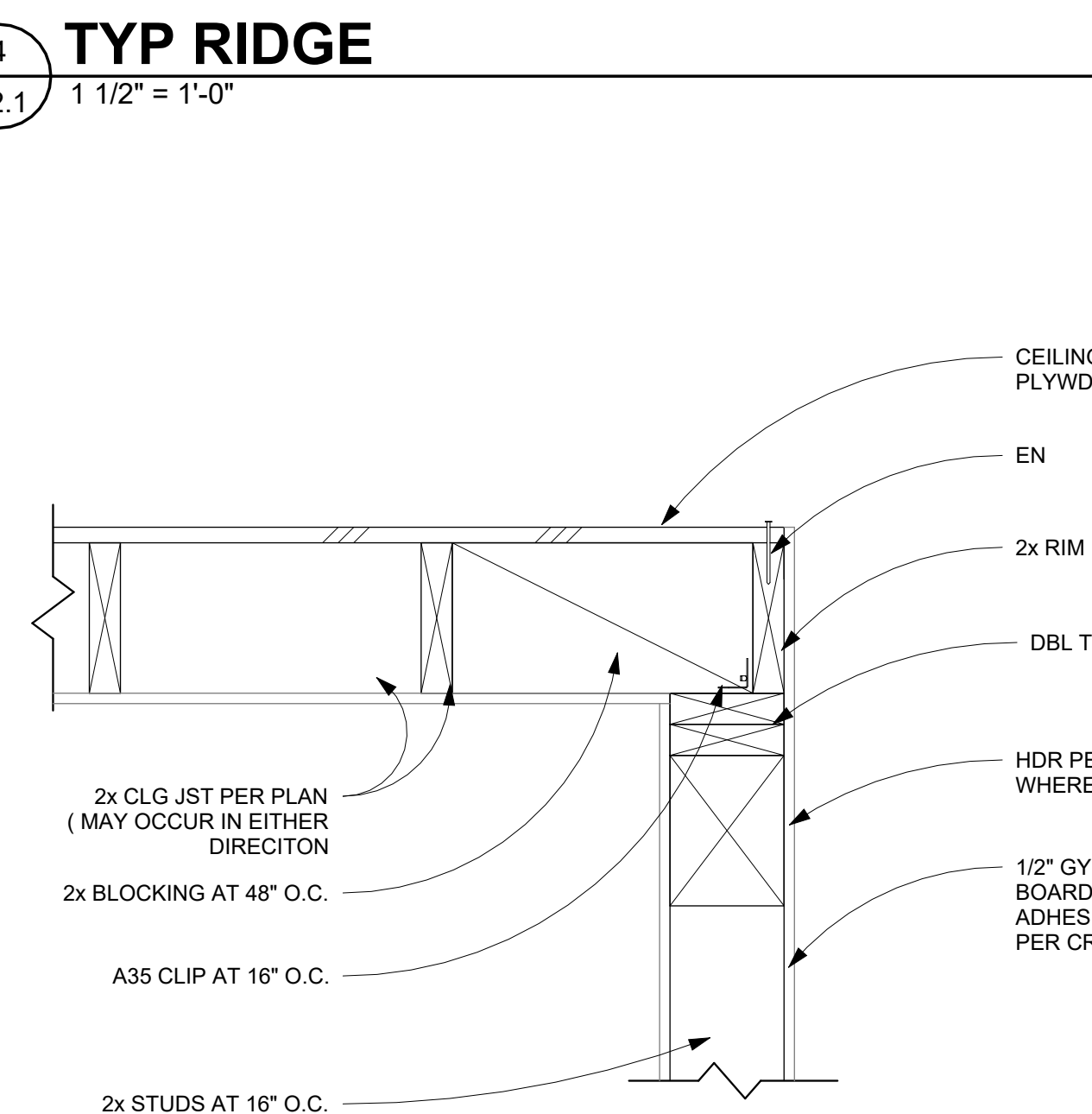
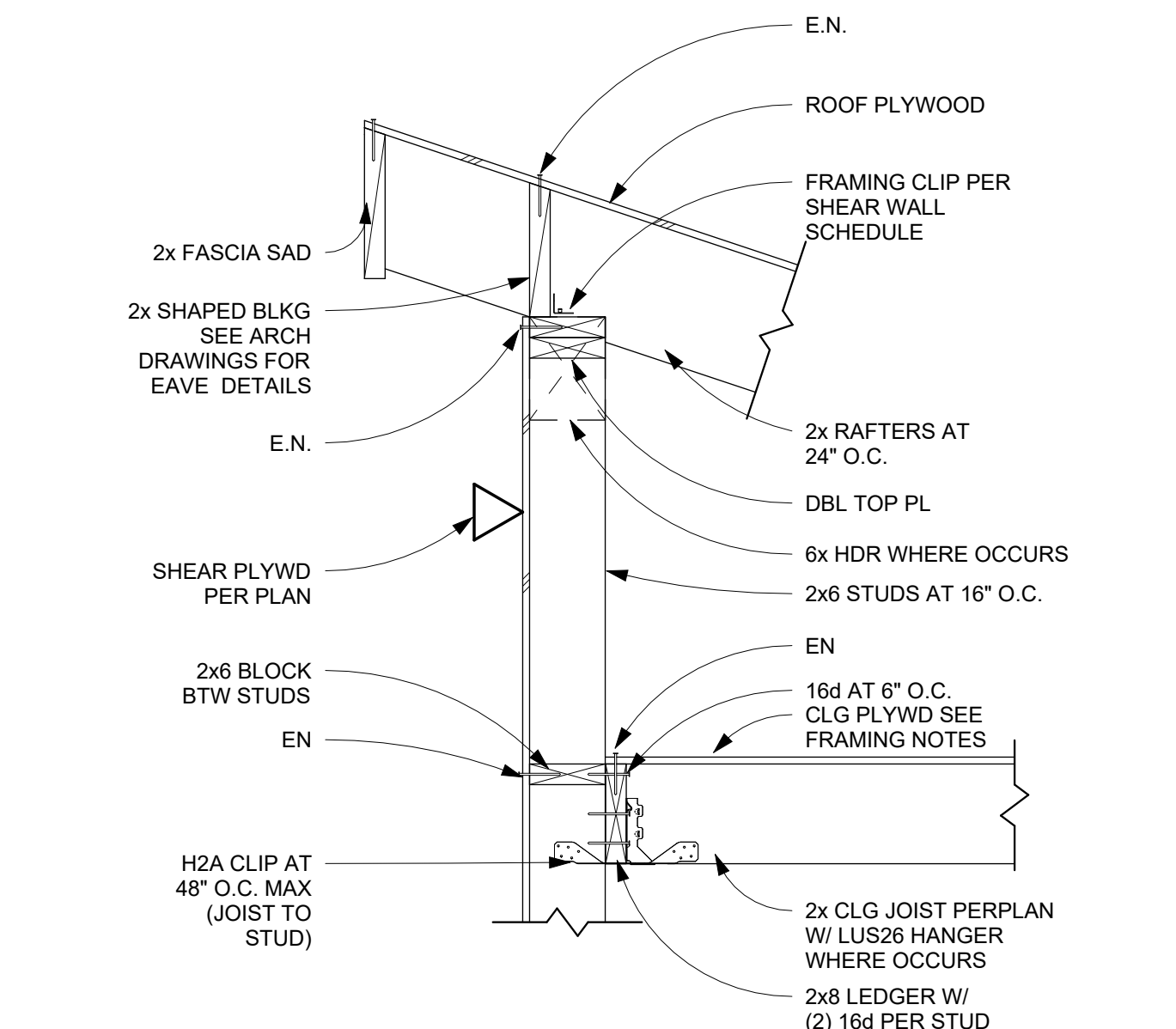
9 MONOSLOPE PEAK AT PORCH  
S2.1 1" = 1'-0"



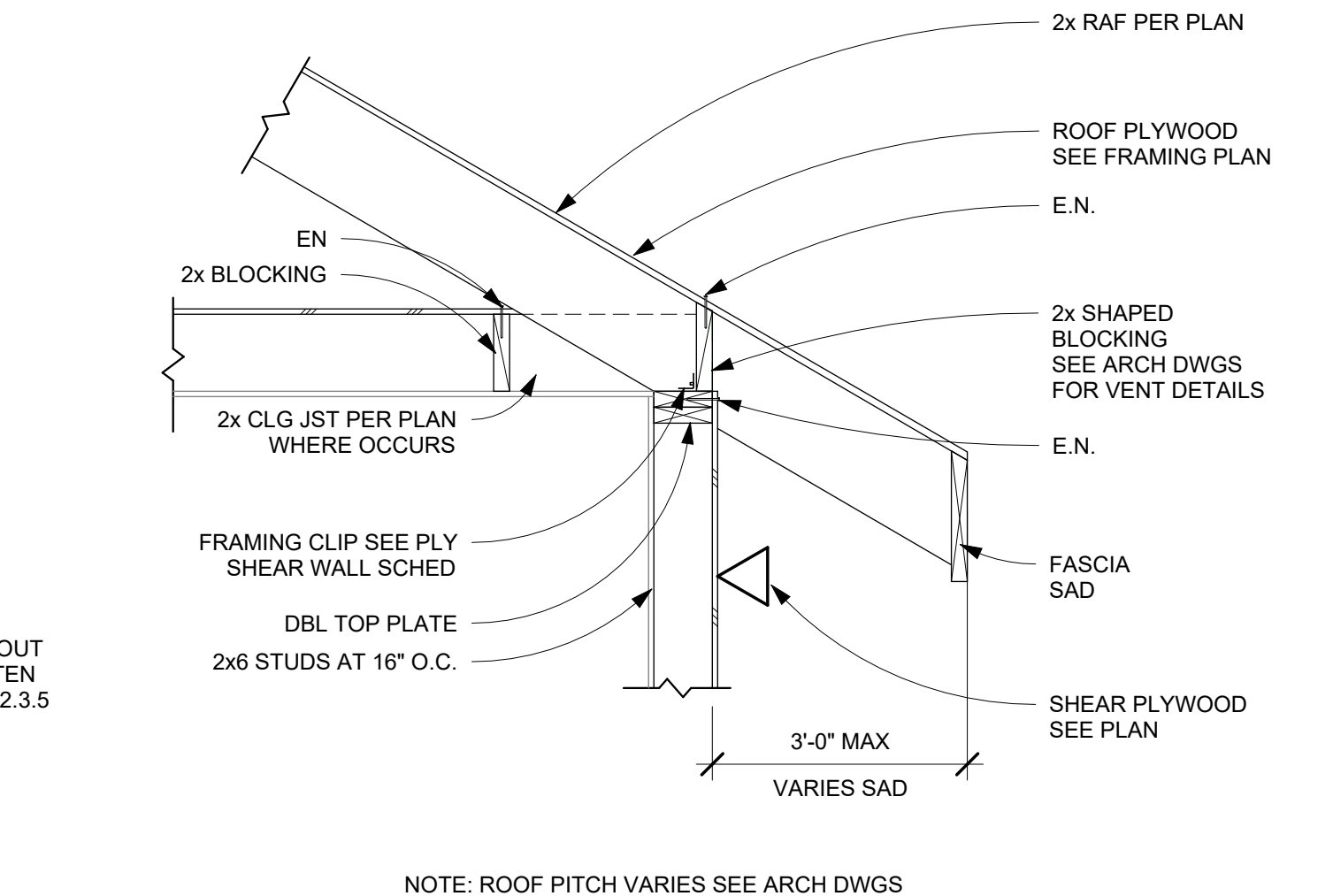
2 RAKE OVERHANG  
S2.1 3/4" = 1'-0"



10 INTERIOR BEARING WALL @ CLG/ROOF  
S2.1 1" = 1'-0"



5 CEILING EDGE CONNECTION  
S2.1 1 1/2" = 1'-0"



3 TYP EAVE  
S2.1 3/4" = 1'-0"

BID SET. Preview

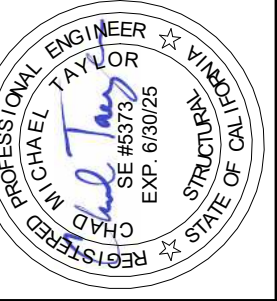
City of Atascadero

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL  
ENGINEERING  
**CM Taylor**  
C.M. Taylor Structural Engineering, Inc. 4246 Capitola Rd. Suite 204, Capitola, CA 95010  
Phone: 831-854-2484  
email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU

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ROOF FRAMING DETAILS

DATE: 11-18-2022  
JOB NO: 21091  
SHEET  
S2.1



REV	DATE	BY
1	7-14-23	CT

STRUCTURAL  
ENGINEERING

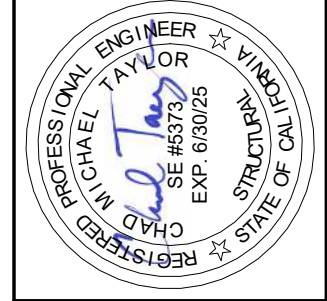
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CENTRAL COAST STOCK ADU

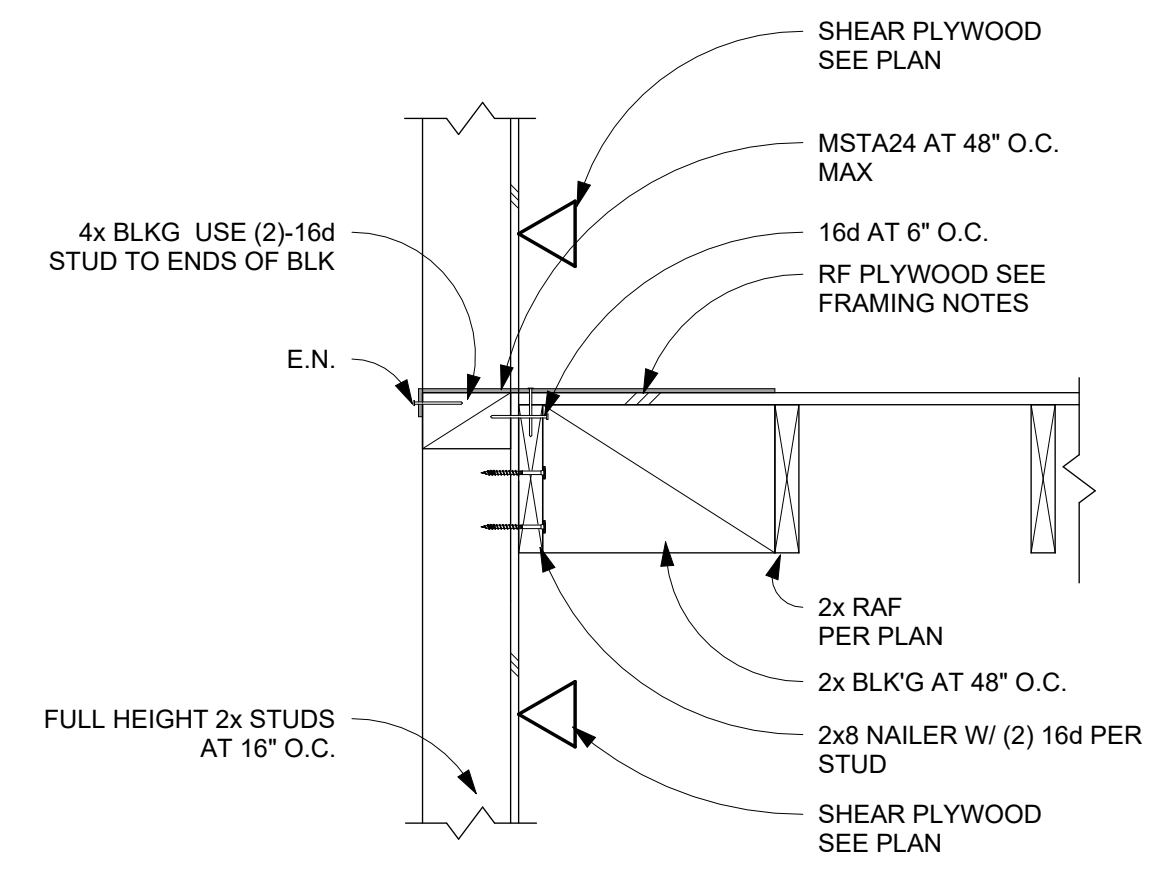
**BID SET.**

City of Atascadero Preview

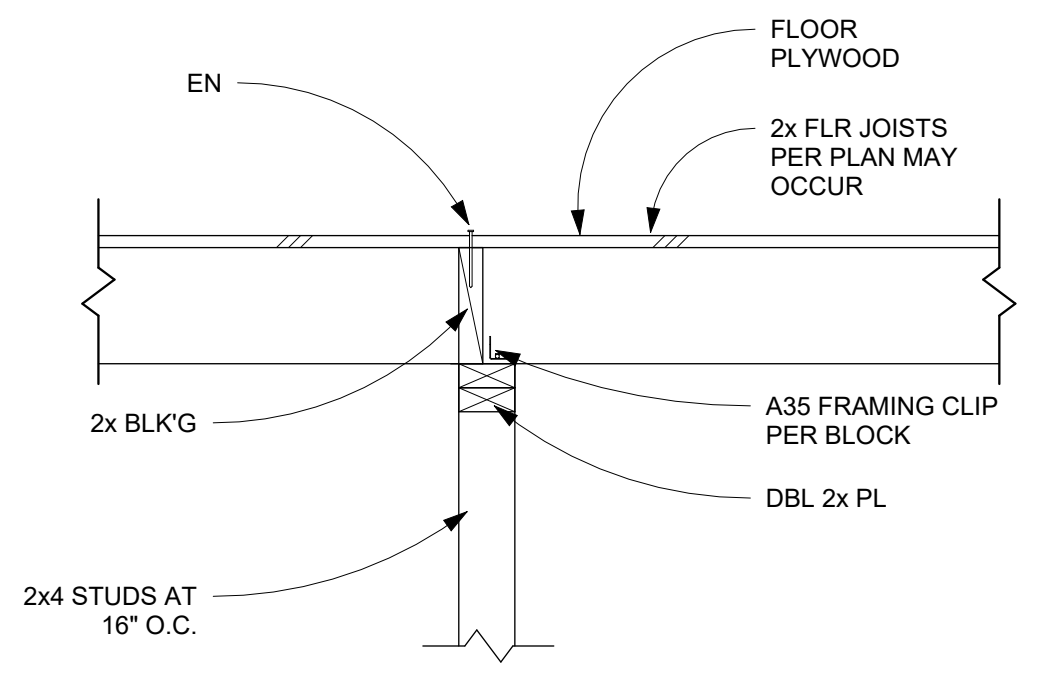


ROOF FRAMING DETAILS  
(CONTINUED)

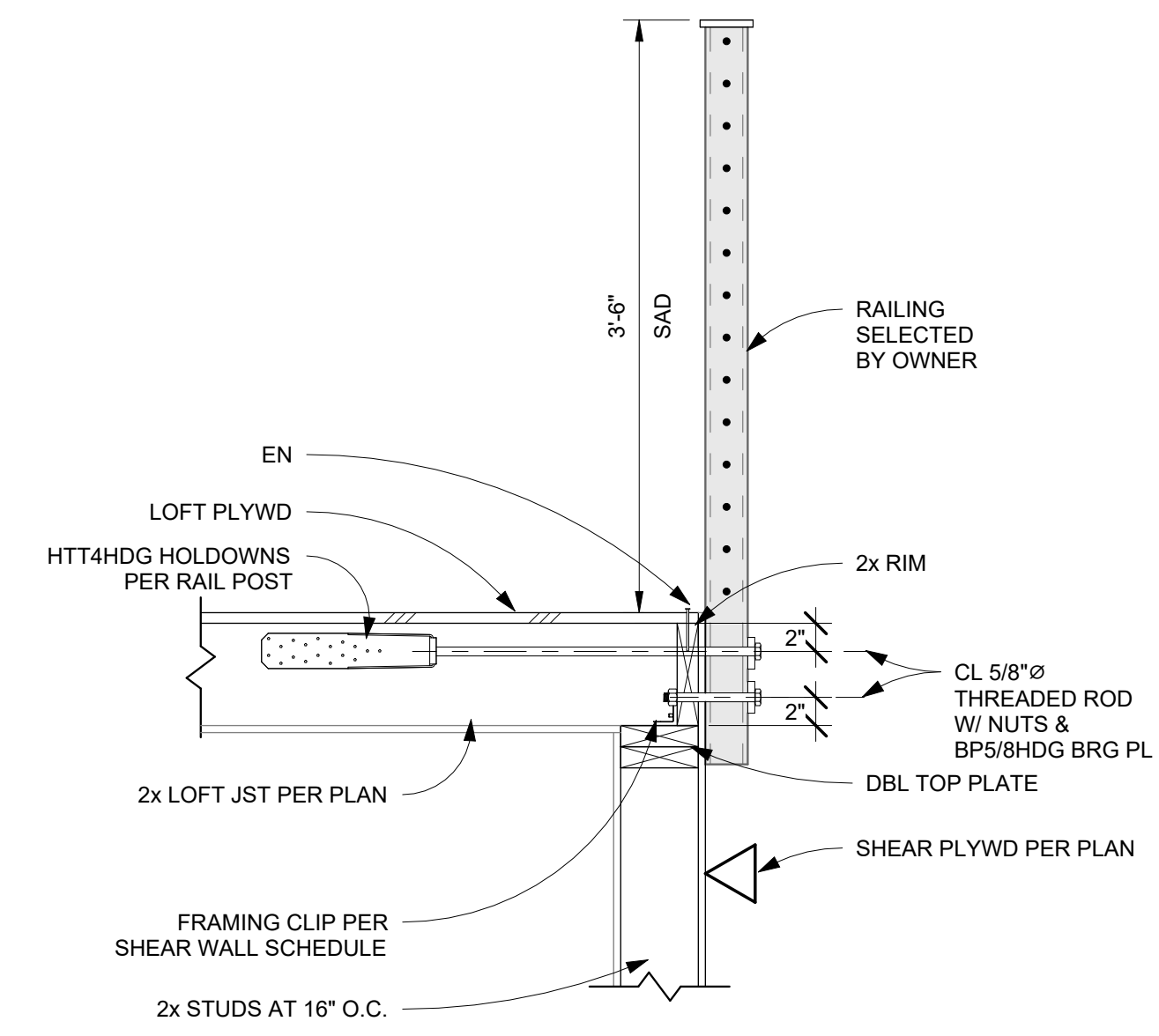
DATE: 11-18-2022  
JOB NO: 21091  
SHEET  
S2.2



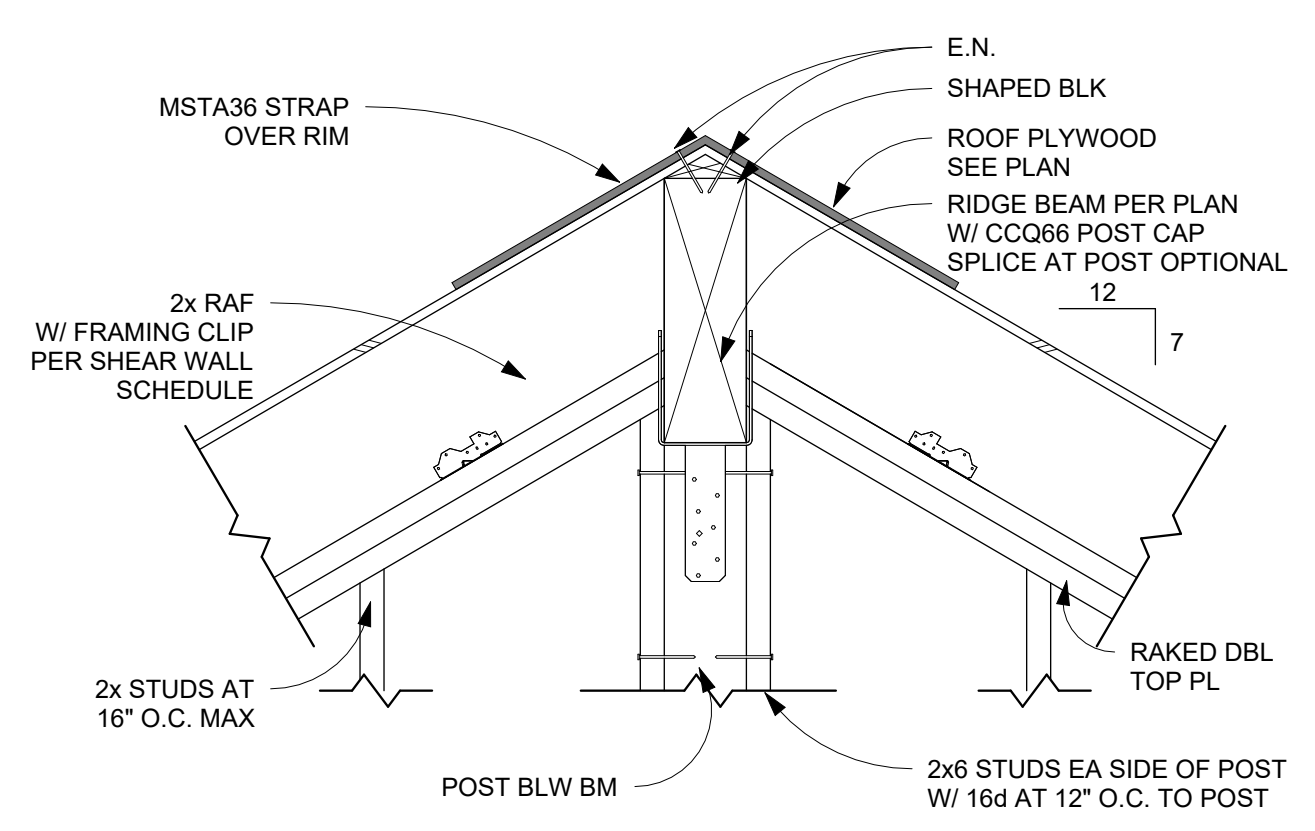
9 LOWER ROOF TO FULL HEIGHT WALL  
S2.2 1" = 1'-0"



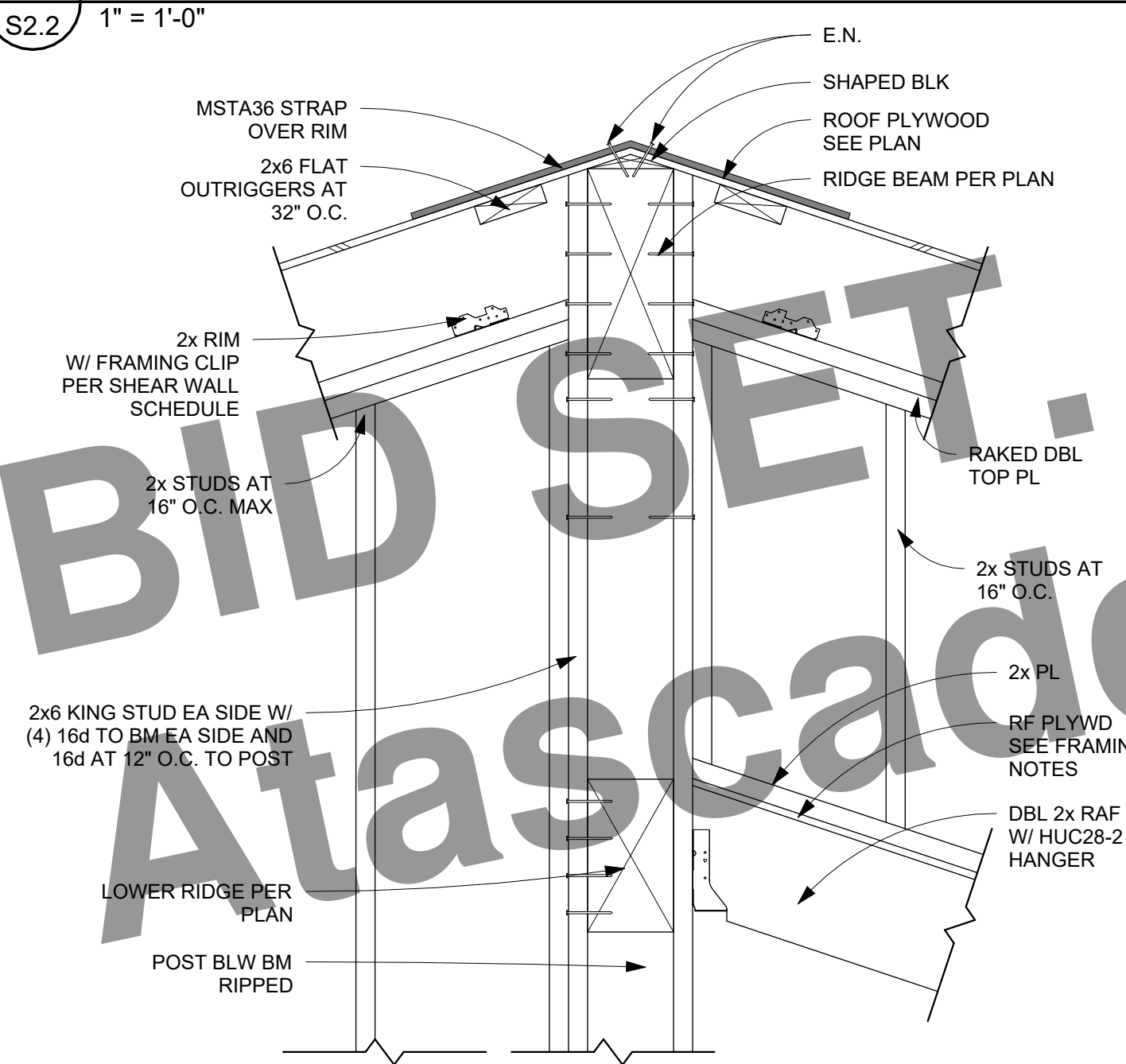
6 FLOOR TO INTERIOR WALL CONN  
S2.2 1" = 1'-0"



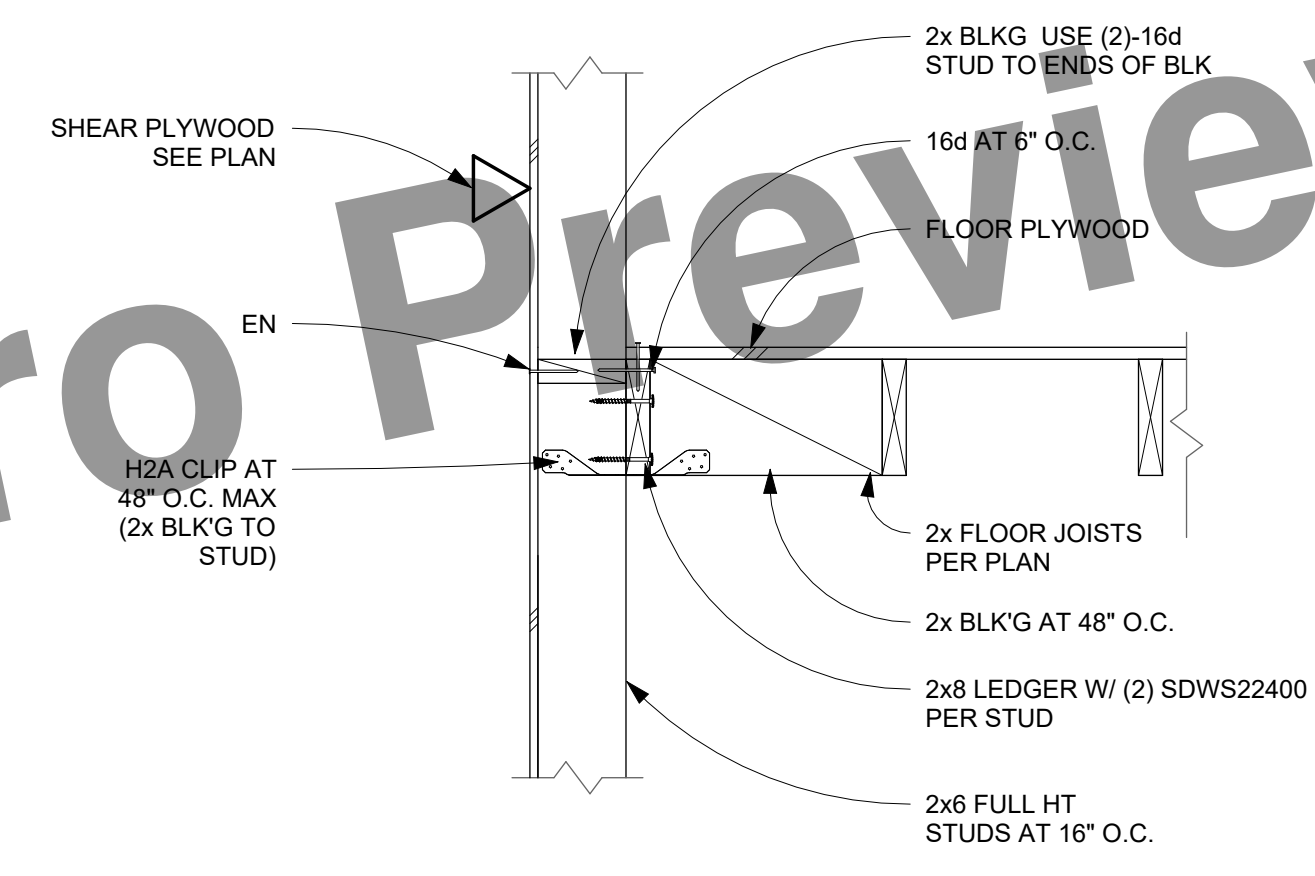
3 LOFT EDGE CONNECTION II  
S2.2 1" = 1'-0"



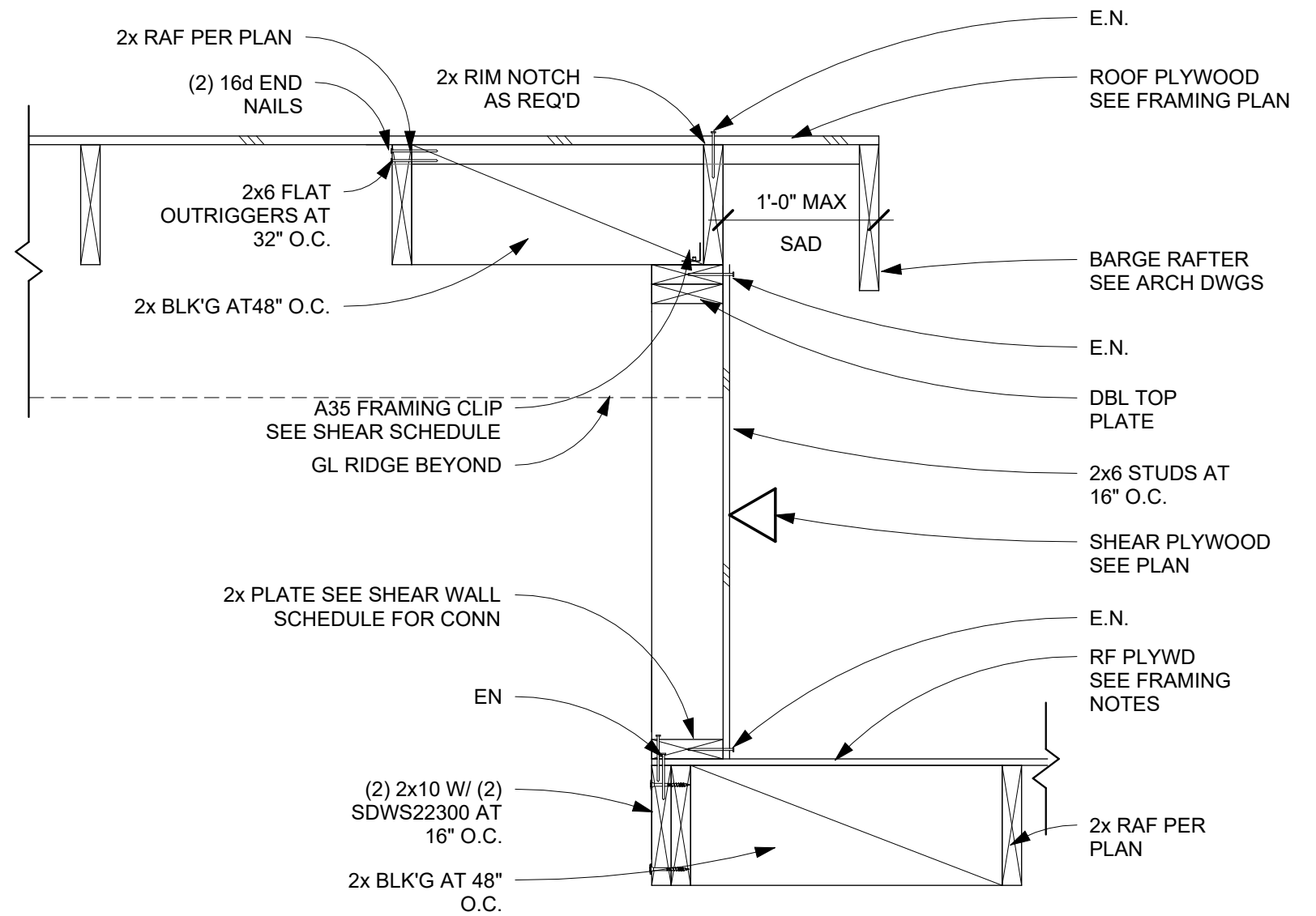
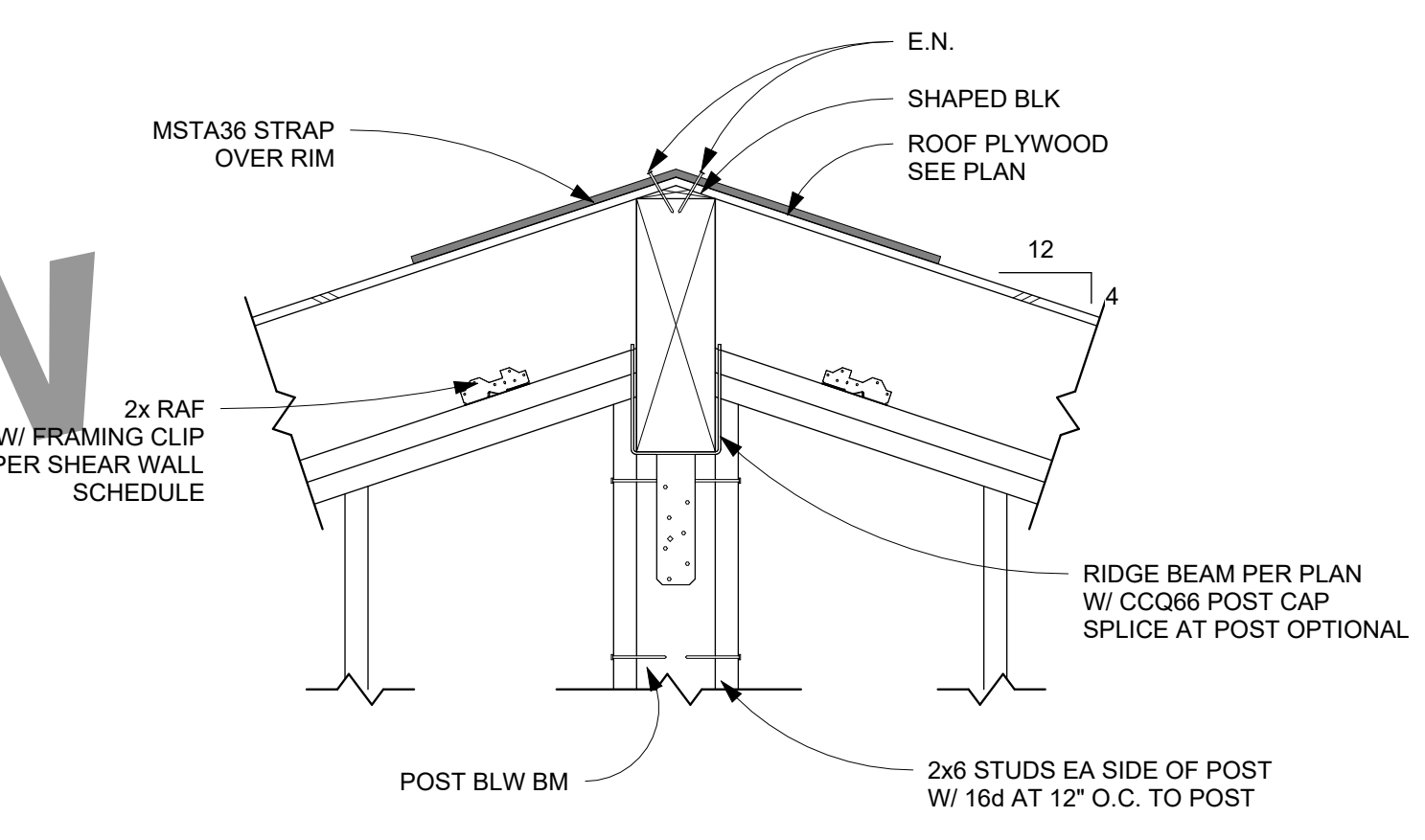
1 RIDGE SPLICE AT INT WALL  
S2.2 1" = 1'-0"



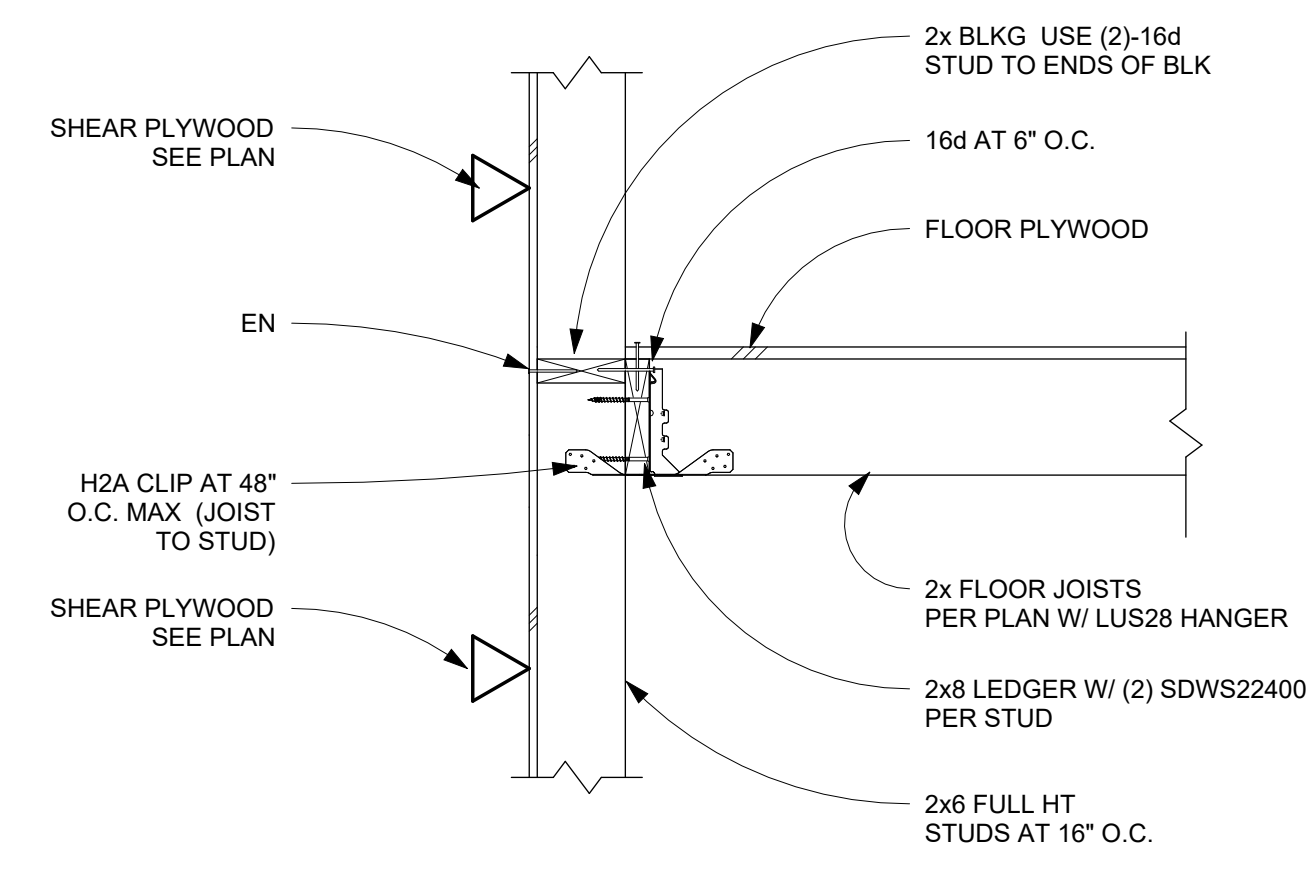
7 DOUBLE RIDGE TO WALL  
S2.2 1" = 1'-0"



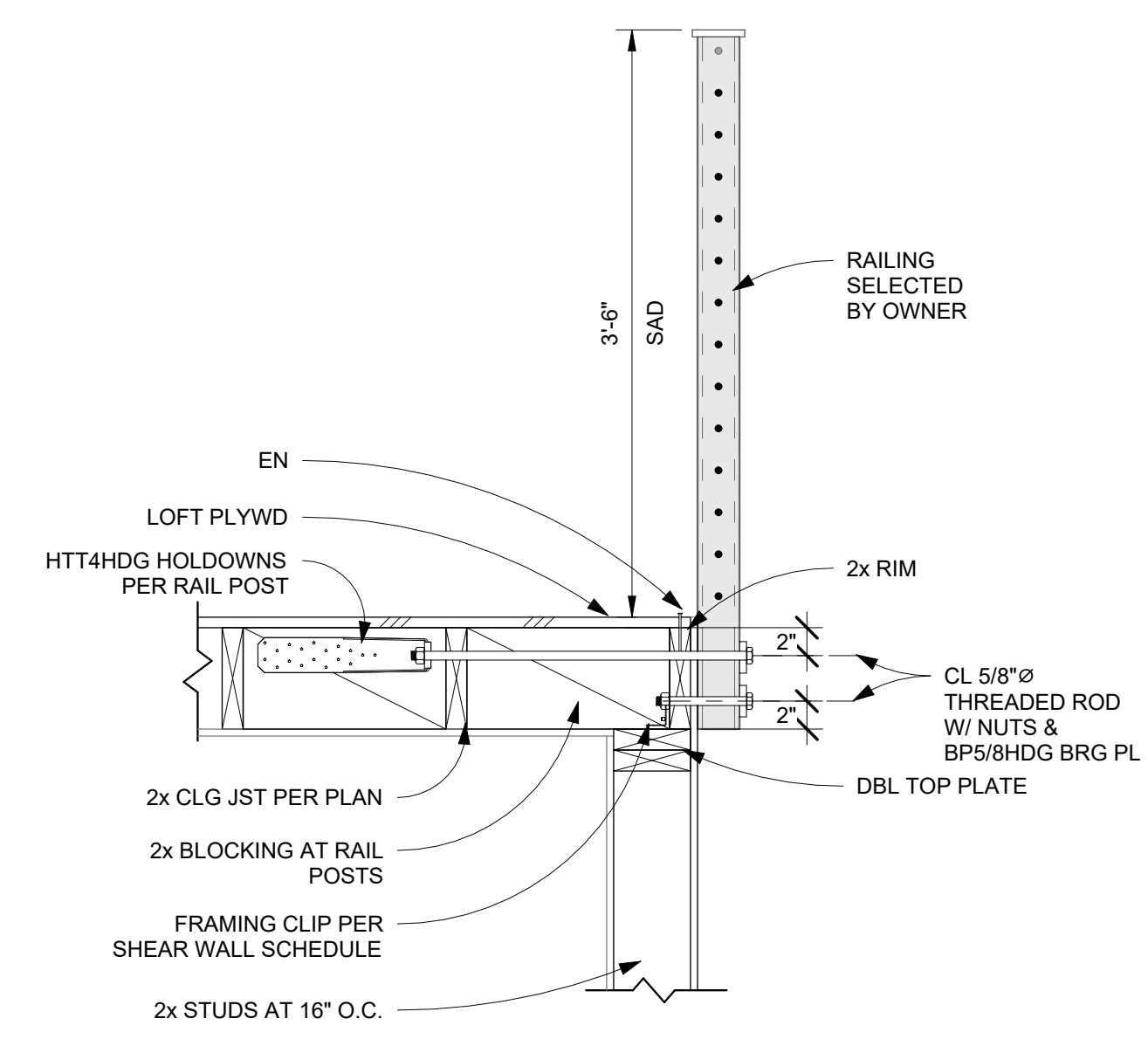
4 LOFT/FLOOR TO WALL CONN  
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF  
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II  
S2.2 1" = 1'-0"



2 LOFT EDGE CONNECTION  
S2.2 1" = 1'-0"



OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY SEER	REFR	V/PH	MCA	MOCP	WT. (LBS)	HT. W/O LEVELING	CRTS.	EQUIP. SERVED	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1/5/16	TSTAT.	IU-1	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1/1/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAH2	19.1	R410A	208/1	42	45	278	52-1/1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR.	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL				HEATING COIL			HT W/O LEVELING	WEIGHT (LBS)	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT °F DB	°F WB	LAT	CAPACITY (MBH)	SENS	EAT °F DB	LAT	CAP				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	I	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	I	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	I

NOTES: 1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.

EXHAUST FAN SCHEDULE													
CODE	MFR.	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR HP	V/PH	HT. W/O ISOLATORS	WEIGHT (LBS)	AREAS SERVED	SONES	COMMENTS
EF-1	PANASONIC	FV-051VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8	I

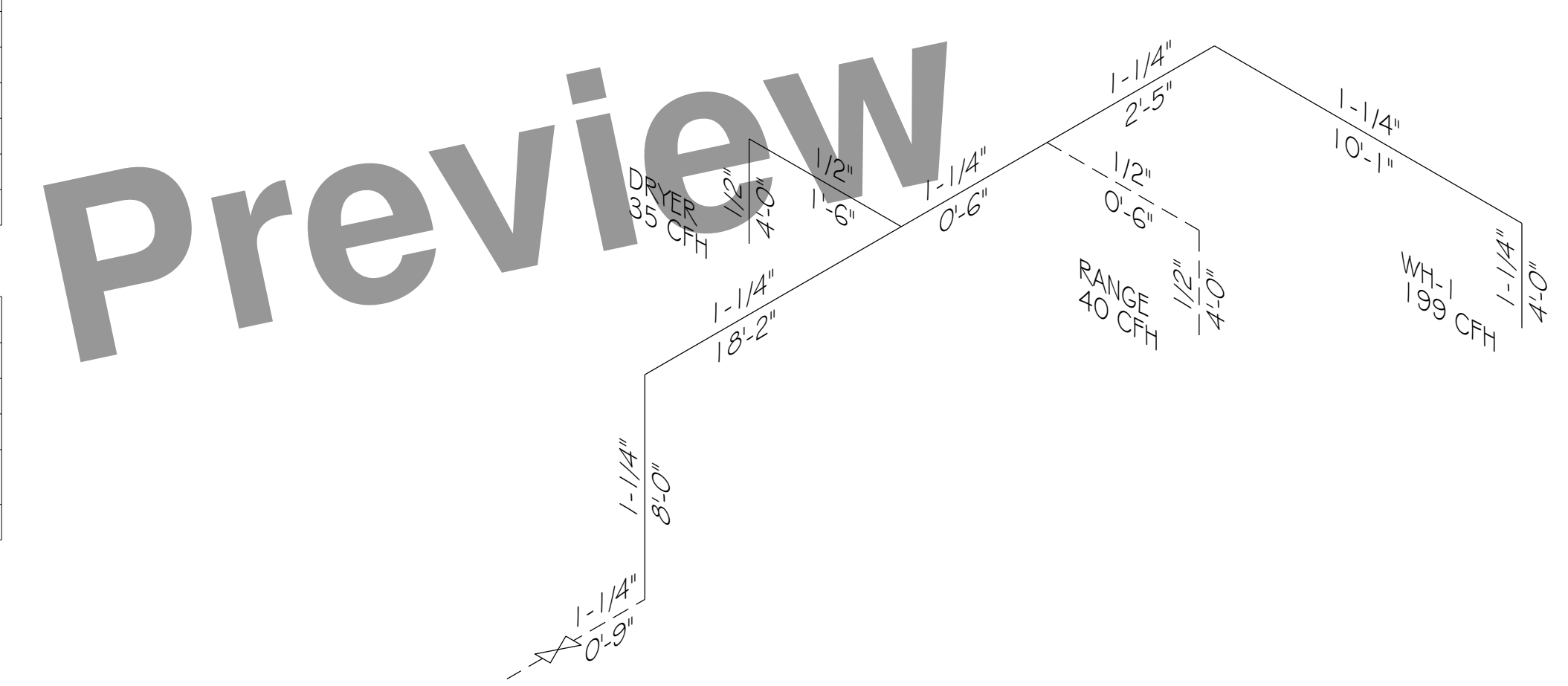
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM	
BT-1	BATHTUB	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	--	--	--	•	3	2	1/2	--	BATHROOMS	1.28 GPF	
SK-1	KITCHEN SINK	--	--	--	•	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM	
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA	
HB-1	HOSE BIB	--	--	--	•				1/2	EXTERIOR WALLS		

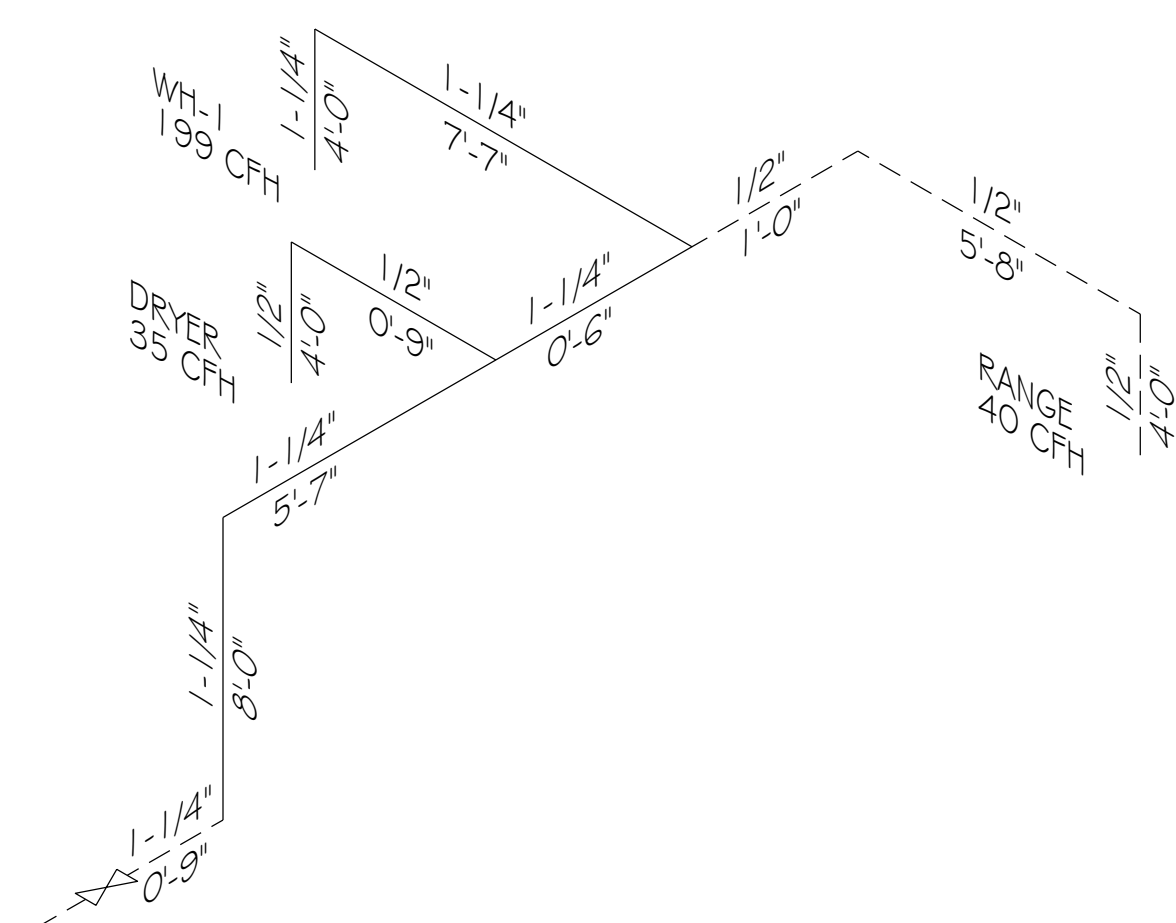
WATER HEATER SCHEDULE														
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY INPUT	TANK CAPACITY	GPH @ FRISE	ELECTRICAL			WEIGHT (LBS)	HEIGHT (IN)	PART NO.	MFG	REMARKS
							H.P.	VOLT	PH					
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	EU199	RINNAI	UEF: 0.93
EW-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	68	XE40T (0HS45) UO	RHEEM	DUCT HEAT REJECTION TO OUTSIDE

BID SET

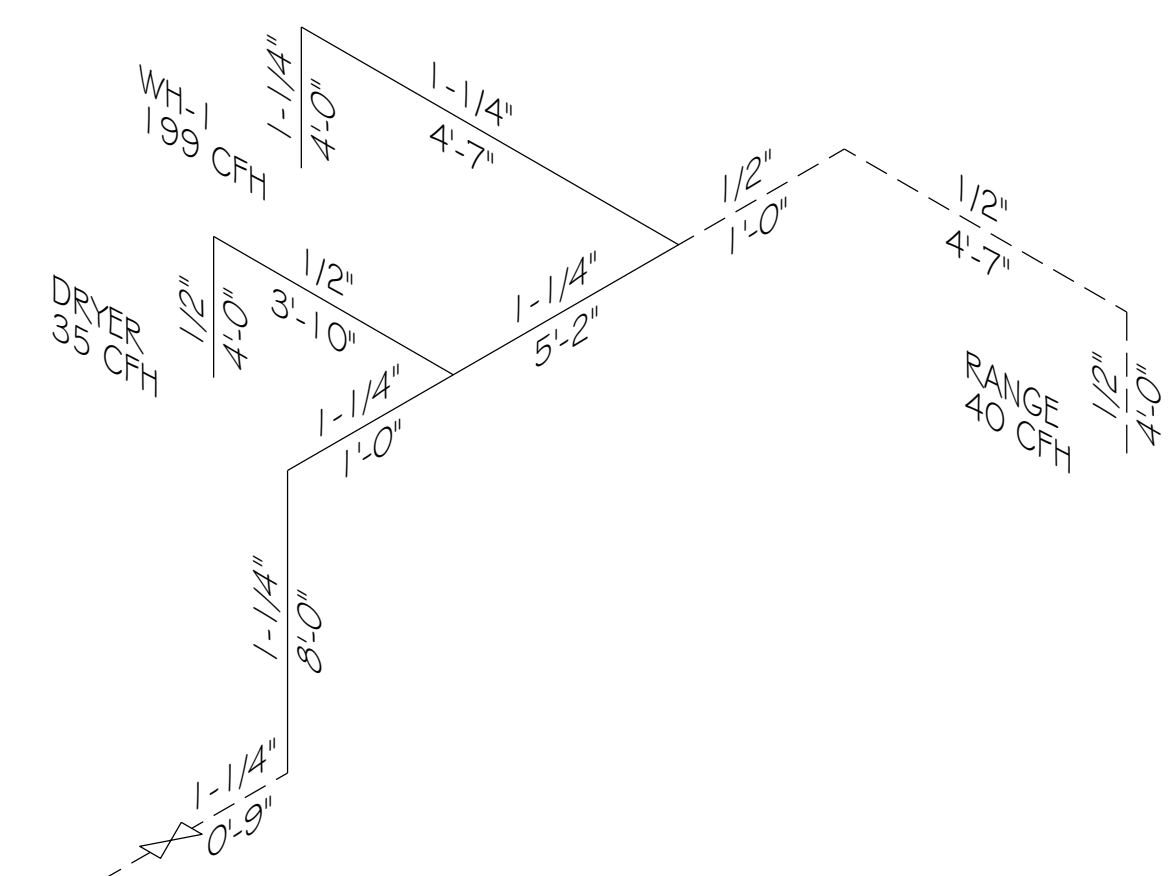
City of Atascadero



3 GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS  
MPO.2 NO SCALE

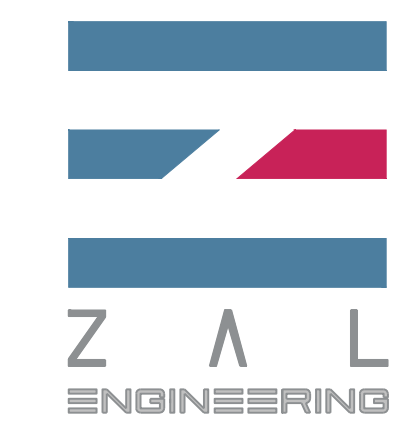


2 GAS ISOMETRIC DIAGRAM - STUDIO  
MPO.2 NO SCALE



1 GAS ISOMETRIC DIAGRAM - EFFICIENCY  
MPO.2 NO SCALE

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**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST. STE. 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

SCHEDULES  
& GAS  
DIAGRAMS  
MECHANICAL  
& PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

**MPO.2**

SHEET OF

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**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

STUDIO  
MECHANICAL  
& PLUMBING  
PLANS - E

NO.	DESCRIPTION	DATE
1		
2		
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ENGINEER BY:

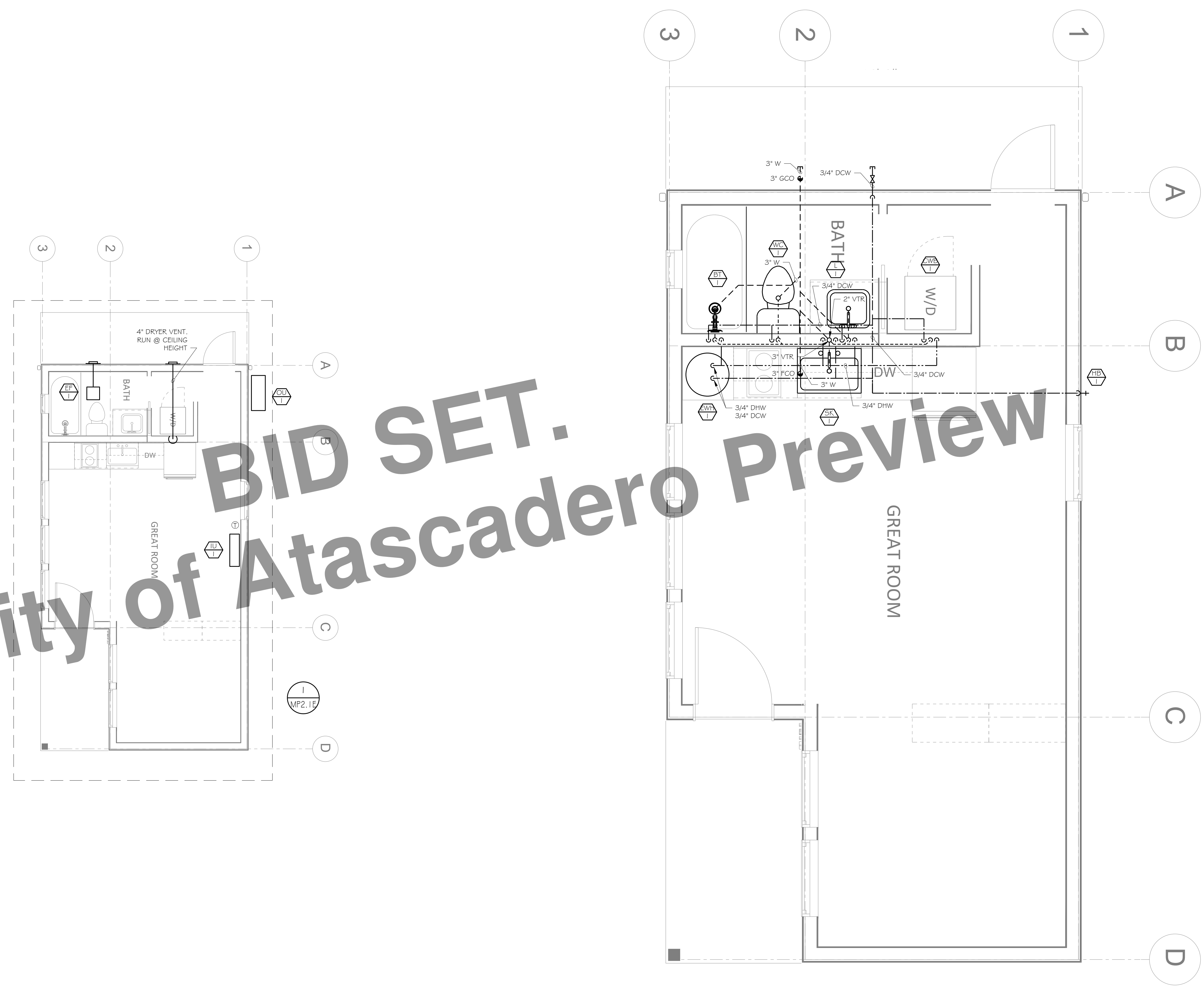
DRAWN BY:

CHECKED BY:

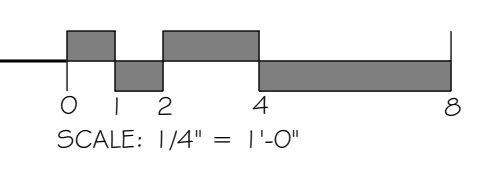
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**MP2.1E**

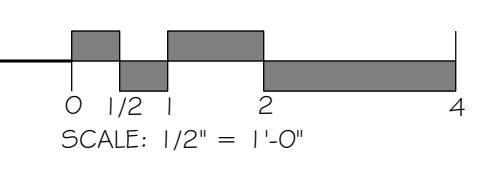
SHEET OF  
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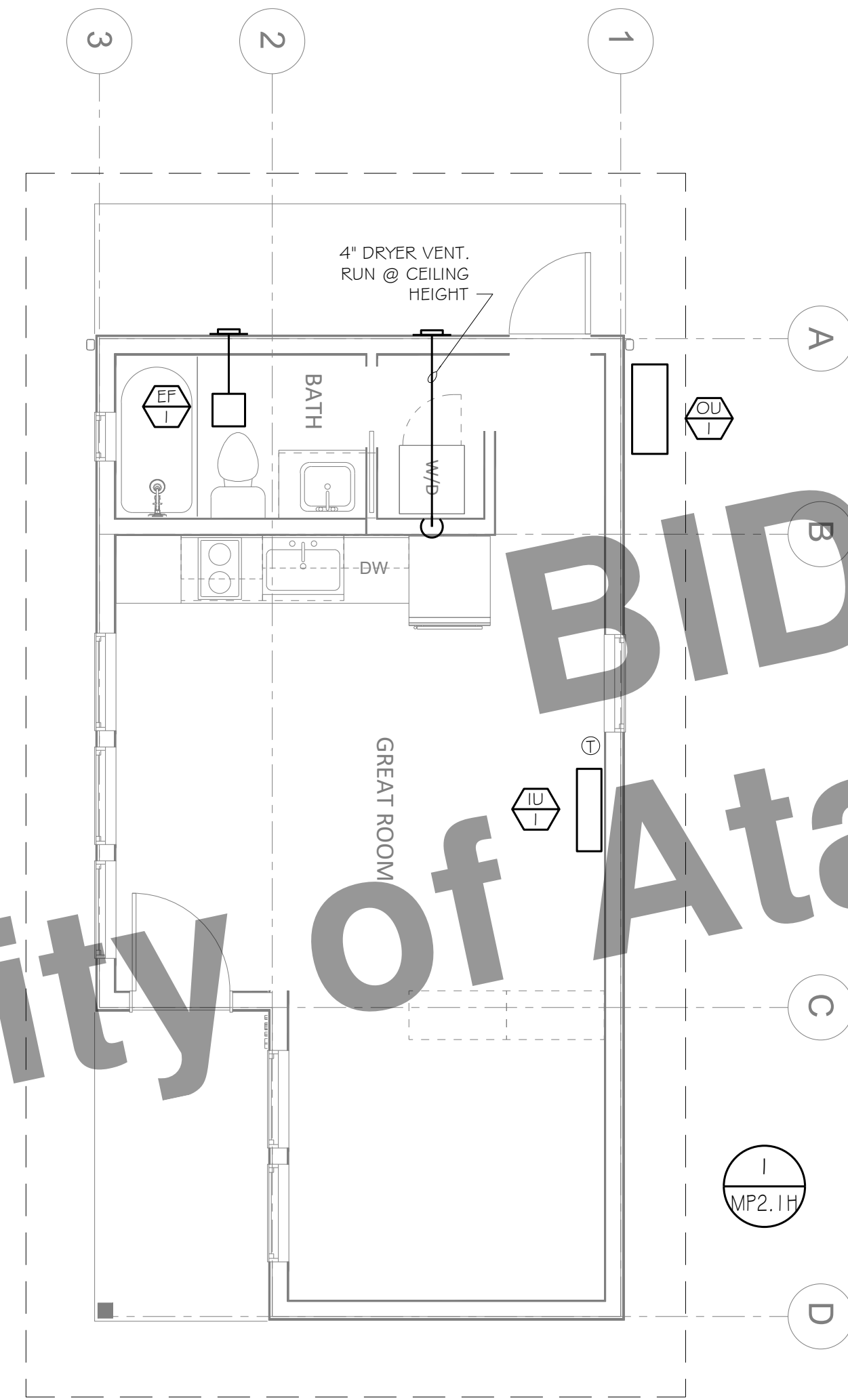
**2** FLOOR PLAN - STUDIO - NEW MECHANICAL  
MP2.1E SCALE: 1/4" = 1'-0"



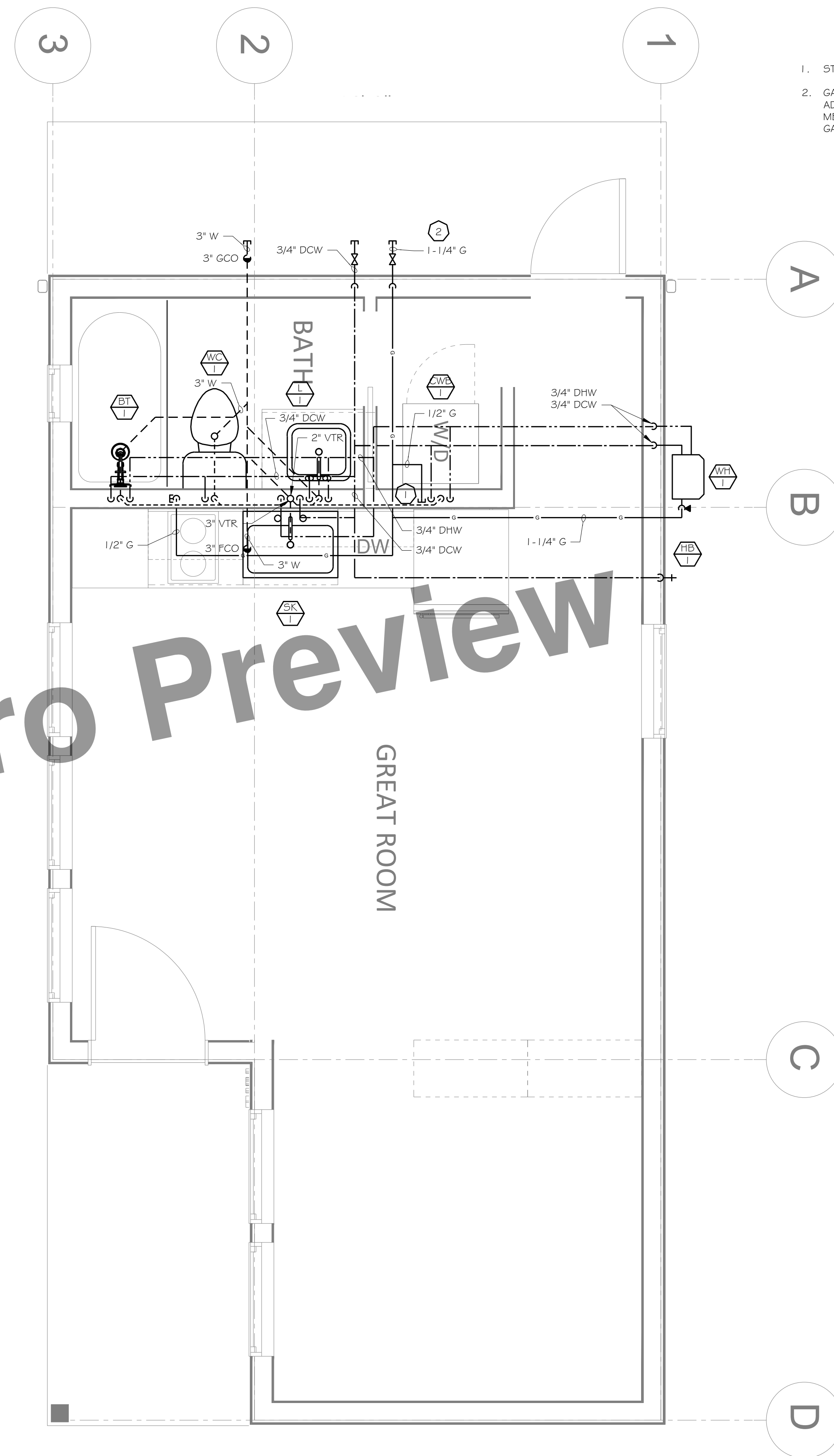
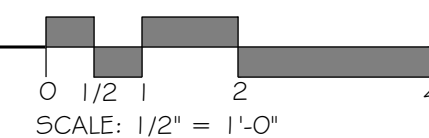
**1** ENLARGED FLOOR PLAN - STUDIO - NEW PLUMBING  
MP2.1E SCALE: 1/2" = 1'-0"



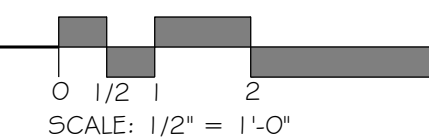
City of Atascadero Preview



2 FLOOR PLAN - STUDIO - NEW MECHANICAL  
MP2.1H SCALE: 1/2" = 1'-0"

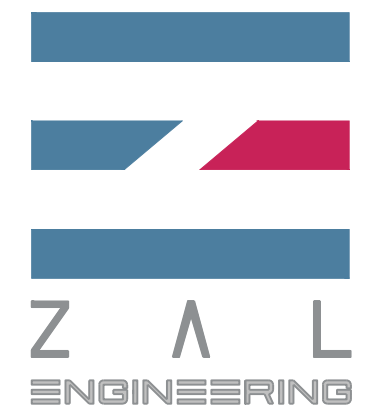


1 FLOOR PLAN - STUDIO - NEW PLUMBING  
MP2.1H SCALE: 1/2" = 1'-0"



SHEET NOTES

1. STUB OUT FOR FUTURE CONNECTION.
2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.



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**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

STUDIO  
MECHANICAL  
& PLUMBING  
PLANS - H

NO.	DESCRIPTION	DATE
1		
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ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

MP2.1H

SHEET OF

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 9 of 13)

Table with 14 columns (01-14) and 14 rows (01-14) detailing window specifications including depth, dist up, left extent, right extent, flap ht, depth, top up, bot up, depth, top up, dist r, bot up.

Table with 8 columns (01-08) detailing slab floor information including name, zone, area, perimeter, edge insul, edge insul, carpeted fraction, heated.

Table with 8 columns (01-08) detailing opaque surface constructions including construction name, surface type, construction type, framing, total cavity r-value, interior/exterior continuous r-value, u-factor, assembly layers.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 8 of 13)

Table with 14 columns (01-14) detailing fenestration/glazing information including name, type, surface, orientation, azimuth, width, height, mult, area, u-factor, u-factor source, shgc, shgc source, exterior shading.

Table with 4 columns (01-04) detailing opaque doors including name, side of building, area, u-factor.

Table with 14 columns (01-14) detailing overhangs and fins including depth, dist up, left extent, right extent, flap ht, depth, top up, dist l, bot up, depth, top up, dist r, bot up.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 7 of 13)

Table with 7 columns (01-07) detailing zone information including zone name, zone type, hvac system name, zone floor area, avg ceiling height, water heating system, status.

Table with 8 columns (01-08) detailing opaque surfaces including name, zone, construction, azimuth, orientation, gross area, window and door area, tilt.

Table with 11 columns (01-11) detailing opaque surfaces - cathedral ceilings including name, zone, construction, azimuth, orientation, area, skylight area, roof rise, roof reflectance, roof emittance, cool roof.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 6 of 13)

Table with 12 columns (01-12) detailing required PV systems including dc system size, exception, module type, array type, power electronics, cfi, azimuth, tilt, array angle, tilt, inverter eff, annual solar access.

REQUIRED SPECIAL FEATURES: The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. Indoor air quality, balanced fan, IAQ Ventilation System: as low as 0.30303 W/CFM, IAQ Ventilation System Heat Recovery: minimum 80 BRE and 83 ASRE, IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual, IAQ Ventilation System: fault indicator display, Cool roof, Window overhangs and/or fins, Compact distribution system basic credit, Recirculating with demand control, occupancy/motion sensor, Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed.

HERS FEATURE SUMMARY: The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry. Quality insulation installation (QII), Indoor air quality ventilation, Kitchen range hood, Verified Refrigerant Charge, Verified heat pump rated heating capacity.

Table with 7 columns (01-07) detailing building features information including project name, conditioned floor area, number of dwelling units, number of bedrooms, number of zones, number of ventilation cooling systems, number of water heating systems.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 5 of 13)

Table with 4 columns (01-04) detailing energy use intensity including standard design, proposed design, compliance margin, margin percentage. Rows include North Facing, East Facing, South Facing, West Facing.

Notes: 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 4 of 13)

Table with 7 columns (01-07) detailing energy use summary including energy use, standard design source energy, standard design tdv energy, proposed design source energy, proposed design tdv energy, compliance margin, compliance margin.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 3 of 13)

Table with 7 columns (01-07) detailing energy design summary including energy use, standard design source energy, standard design tdv energy, proposed design source energy, proposed design tdv energy, compliance margin, compliance margin.

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 2 of 13)

Table with 6 columns (01-06) detailing energy design ratings including source energy, efficiency, total eDR, source energy, efficiency, total eDR. Rows include Standard Design, Proposed Design, North Facing, East Facing, South Facing, West Facing.

Efficiency EDR includes improvements like a better building envelope and more efficient equipment. Total EDR includes efficiency and demand response measures such as plug-load, (PS) system and batteries. Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded. Standard Design PV Capacity: 1.69 kWdc. Proposed PV Capacity Scaling: North (1.69 kWdc) East (1.69 kWdc) South (1.69 kWdc) West (1.69 kWdc).

Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00 CF1R-PRF-01-E (Page 1 of 13)

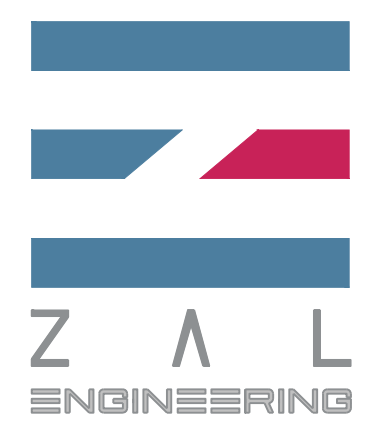
Table with 20 columns (01-20) detailing general information including project name, run title, project location, city, zip code, climate zone, building type, project scope, addition cond. floor area, existing cond. floor area, total cond. floor area, adu bedroom count.

COMPLIANCE RESULTS: 01 Building Complies with Computer Performance. 02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CE-approved HERS provider. 03 This building incorporates one or more Special Features shown below.

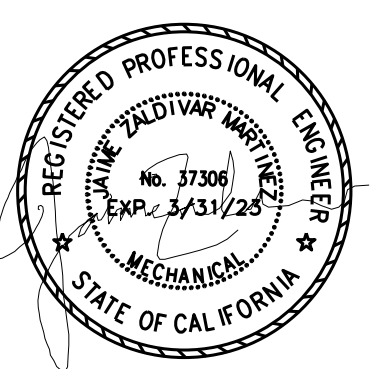
Registration Number: 223-P010107154A-000-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 16:09:35 Schema Version: rev 20220901

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



ZAL ENGINEERING MECHANICAL CONSULTANTS 99 PACIFIC ST. STE. 375G MONTEREY, CA 93940 TELEPHONE (831) 641-7739 JOB NO. 22002.00



CENTRAL COAST PRE-DESIGNED ADU CENTRAL COAST, CALIFORNIA

STUDIO T24 FORMS ELECTRIC

Table with 3 columns (NO., DESCRIPTION, DATE) for tracking changes.

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

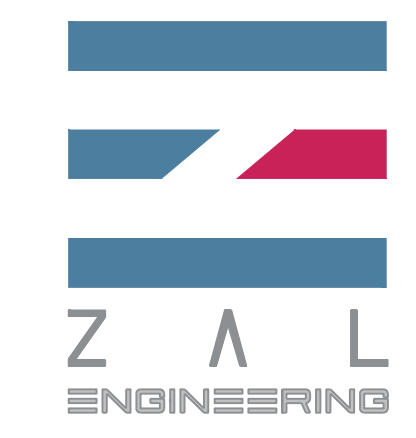
T24.5B

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# City of Atascadero PRE-BID SET.

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Jaime Zaldivar, P.E.  
contact@zalengineering.com  
831-641-7739  
ZAL (zalengineering.com)



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MECHANICAL CONSULTANTS  
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JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU  
CENTRAL COAST, CALIFORNIA**

**STUDIO  
T24 FORMS  
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.6B

SHEET OF

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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00  
Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_E\_C24.rbd22x

HVAC - HEAT PUMPS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-HERS-HPump

HVAC HEAT PUMPS - HERS VERIFICATION									
01	02	03	04	05	06	07	08	09	10
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17	HERS Verification
Heat Pump System 1-HERS-HPump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes	Yes

INDOOR AIR QUALITY (IAQ) FANS								
01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Stam IAQventBot 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

Registration Number: 223-P01010715AA-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50  
CA Building Energy Efficiency Standards - 2022 Residential Compliance HERS Provider: CalCERTS Inc.  
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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 11 of 13)

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00  
Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_E\_C24.rbd22x

RECIRCULATION LOOPS				
01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

WATER HEATING - COMPACT DISTRIBUTION						
01	02	03	04	05	06	07
Dwelling Unit	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

WATER HEATING - HERS VERIFICATION						
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery	HERS Verification
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPACE CONDITIONING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Registration Number: 223-P01010715AA-000-0000000-0000 Registration Date/Time: 2023-08-25 17:19:50  
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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 10 of 13)

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:08:58-05:00  
Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_E\_C24.rbd22x

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Heating/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION				
01	02	03	04	05
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	n/a	n/a	n/a

WATER HEATING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (ft)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP							
01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemNEA0T10H2ZU0	Studio	Studio	Studio

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CA Building Energy Efficiency Standards - 2022 Residential Compliance HERS Provider: CalCERTS Inc.  
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 9 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 14 columns (01-14) and 7 rows (Window 3-7) detailing window specifications like depth, overhang, and right fin.

Table with 8 columns (01-08) and 4 rows (Slab-on-Grade 1-3) detailing slab floor specifications like zone, area, and perimeter.

Table with 8 columns (01-08) and 2 rows (R-21 Wall) detailing opaque surface construction specifications like framing and assembly layers.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 8 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 14 columns (01-14) and 7 rows (Window 1-7) detailing fenestration/glazing specifications like surface, orientation, and SHGC.

Table with 4 columns (01-04) and 3 rows (Door) detailing opaque door specifications like side of building and area.

Table with 14 columns (01-14) and 3 rows (Window 1-2) detailing overhangs and fins specifications like depth, overhang, and right fin.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 7 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 7 columns (01-07) and 2 rows (Studio) detailing zone information like zone name, type, and HVAC system.

Table with 8 columns (01-08) and 7 rows (Front Wall, Lateral 1 Wall, Lateral 2 Wall, Back Wall) detailing opaque surface specifications like construction, azimuth, and orientation.

Table with 11 columns (01-11) and 3 rows (Roof) detailing opaque surface-cathedral ceiling specifications like zone, construction, and area.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 6 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 12 columns (01-12) and 2 rows (1.69) detailing required PV systems specifications like exception, module type, and array type.

- REQUIRED SPECIAL FEATURES: The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- HERS FEATURE SUMMARY: The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Table with 7 columns (01-07) and 2 rows (Central Coast ADU ST) detailing building features information like conditioned floor area and number of bedrooms.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 5 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 4 columns (01-04) and 10 rows (North Facing, East Facing, South Facing, West Facing) detailing energy use intensity specifications like standard design, proposed design, and compliance margin.

1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 4 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 10 columns (01-10) and 12 rows (Energy Use Summary) detailing energy use summary specifications like energy use, standard design source, and proposed design TDV energy.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 3 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 8 columns (01-08) and 11 rows (Space Heating, Space Cooling, IAQ Ventilation, Water Heating) detailing energy design summary specifications like energy use, standard design source, and proposed design TDV energy.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 2 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

Table with 6 columns (01-06) and 6 rows (Standard Design, Proposed Design, North Facing, East Facing, South Facing, West Facing) detailing energy design ratings specifications like energy design ratings and compliance margins.

Efficiency EDR includes improvements like a better building envelope and more efficient equipment. Total EDR includes efficiency and demand response measures such as plug-load, (PV) system and batteries.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00 (Page 1 of 13)

Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

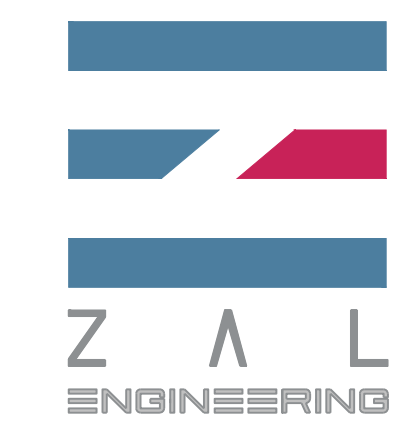
Table with 19 columns (01-19) and 19 rows (General Information) detailing general information specifications like project name, run title, project location, city, zip code, climate zone, building type, project scope, addition cond. floor area, existing cond. floor area, total cond. floor area, and ADU bedroom count.

Table with 3 columns (01-03) and 3 rows (Compliance Results) detailing compliance results specifications like building complies with computer performance and field testing and/or verification.

Registration Number: 223-P010107160A-000-000-000000-0000 Registration Date/Time: 2023-08-25 17:28:18 HERS Provider: CalCERTS, Inc.

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.

Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.



ZAL ENGINEERING MECHANICAL CONSULTANTS 99 PACIFIC ST. STE. 375G MONTEREY, CA 93940 TELEPHONE (831) 641-7739 JOB NO. 22002.00



CENTRAL COAST PRE-DESIGNED ADU CENTRAL COAST, CALIFORNIA

STUDIO T24 FORMS HYBRID

Table with 3 columns (NO., DESCRIPTION, DATE) and 4 rows for tracking revisions.

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.7B

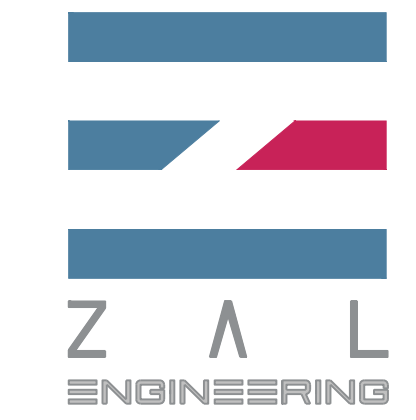
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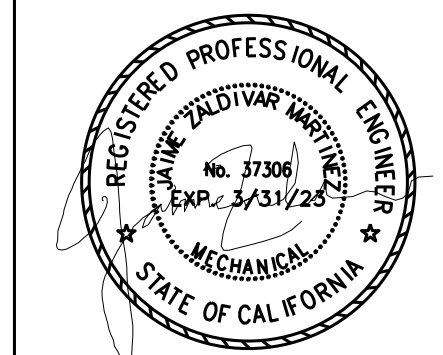


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Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.  
contact@zalengineering.com  
831-641-7739  
ZAL (zalengineering.com)



**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST. STE. 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 22002.00



**CENTRAL COAST  
PRE-DESIGNED ADU**  
CENTRAL COAST, CALIFORNIA

**STUDIO  
T24 FORMS  
HYBRID**

NO.	DESCRIPTION	DATE
1		
2		
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**BID SET.**  
**City of Atascadero**

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 12 of 13)  
Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00  
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01	02	03	04	05	06	07	08	09
OU-11	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

**HWAC - HEAT PUMPS**

01	02	03	04	05	06	07	08	09	10	11	12	13
Heat Pump System 1	Ductless MiniSplit HP	HSFP	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump	

**HWAC HEAT PUMPS - HERS VERIFICATION**

01	02	03	04	05	06	07	08	09
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

**INDOOR AIR QUALITY (IAQ) FANS**

01	02	03	04	05	06	07	08	09
Sfam IAQventRpt 1-1	66	0.30303	balanced	Yes	83	No	Yes	

Registration Number: 223-P010107160A-000-0000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance  
Registration Date/Time: 2023-08-25 17:28:18  
Report Version: 2022.0.000  
Schema Version: rev 20220901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2023-08-25 16:12:59

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00  
Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

**WATER HEATERS**

01	02	03	04	05	06	07	08	09	10	11	12	13
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Btu/hr	200000	0	n/a	n/a	

**RE-CIRCULATION LOOPS**

01	02	03	04	05
DHW Sys 1	1	1.5	Conditioned	0

**WATER HEATING - COMPACT DISTRIBUTION**

01	02	03	04	05	06	07
Dwelling Unit Type	Water Heating System Name	Master Bath Distance of furthest Fixture to Water Heater (ft)	Niche distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

**WATER HEATING - HERS VERIFICATION**

01	02	03	04	05	06	07
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

Registration Number: 223-P010107160A-000-0000000-0000  
CA Building Energy Efficiency Standards - 2022 Residential Compliance  
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Project Name: Central Coast ADU ST Calculation Date/Time: 2023-08-25T18:12:32-05:00  
Calculation Description: Title 24 Analysis Input File Name: 2\_ST\_H\_C24.rbd22x

**DRAPED SURFACE CONSTRUCTIONS**

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

**BUILDING ENVELOPE - HERS VERIFICATION**

01	02	03	04	05
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	n/a	n/a	n/a

**WATER HEATING SYSTEMS**

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (ft)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

Registration Number: 223-P010107160A-000-0000000-0000  
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