ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on

- Sheet G0.0. 2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1.
- Civil Engineering may be required. If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

- 1. All submitted plan sets must be accompanied by a Building Permit Application.
- 2. All applications must include a site survey.

BUILDING DEPARTMENT

- 1. All applications must include a Construction Waste Management Plan.
- 2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

☐ PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
☐ RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

1A. Atascadero Municipal Code

- 1. California Building Code
- 2. California Residential Code

- 6. California Fire Code

5. California Mechanical Code

 California Electrical Code California Plumbing Code 		Green Building Standards Code Energy Efficiency Standards Code
PROJECT INFO	RMATION	OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE
PARCEL INFORMATION		
APN	I	
STREET ADDRESS		
CITY, STATE, ZIP		
LOT SIZE (in SF)		
EXISTING HOME SIZE (in SF)		
PARCEL OVER 10% SLOPE	YES NO	PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO
SRA FIRE HAZARD SEVERITY ZONE (WUI)		NOT APPLICABLE ARE SUBJECT TO CBC 7A, UNFORM CODE REQUIREMENTS DEVELOPED BY THE SEMILE TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.
PROJECT INFORMATION		
NUMBER OF STORIES	ONE (1)	
OCCUPANCY GROUP - R3	TYPE OF CONSTRUC	CTION - STANDARD/TYPE VB
MAIN RESIDENCE HAS FIRE SPRINKLERS	YES NO	
SERVED BY SEPTIC SYSTEM	YES NO	SEPTIC DESIGN BY A QUALIFIED PROFESSIONAL MUST BE INCLUDED WITH PERMIT SUBMITTAL

CITY, STATE, ZIP

PROPERTY OWNE

NAME

PHONE/EMAIL

DRAWING INDEX CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GO.0 COVER SHEET & PROJECT INFORMATION

- G0.1 OWNER PROVIDED SITE PLAN G1.0 GENERAL NOTES
- G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS
- G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS

ARCHITECTURAL

- A1.0 RANCH FLOORPLAN & ELEVATIONS
- A1.1 RANCH ROOF PLAN & RCP A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS
- A3.0 MODERN FLOORPLANS & ELEVATIONS
- A3.1 MODERN ROOF PLAN & RCP
- A4.0 BUNGALOW FLOORPLANS & ELEVATIONS
- A4.1 BUNGALOW ROOF PLAN & RCP
- A2.1 CRAFTSMAN ROOF PLAN & RCP
- A1.2 RANCH SECTIONS
- A2.2 CRAFTSMAN SECTIONS
- A4.2 BUNGALOW SECTIONS A5.0 EXTERIOR WALL ASSEMBLY DETAILS
- A5.2 EXTERIOR DETAILS
- A5.1 EXTERIOR WALL ASSEMBLY DETAILS
- A5.3 INTERIOR DETAILS & WALL PARTITIONS
- A6.0 SCHEDULES- ONE BEDROOM

STRUCTURAL

- SO.0 STRUCTURAL NOTES
- SO.1 TYPICAL DETAILS S1.0 ROOF/CEILING FRAMING & FOUNDATION PLAN
- S2.0 FOUNDATION DETAILS
- S2.1 ROOF FRAMING DETAILS
- S2.2 ROOF FRAMING DETAILS (CONT.)
- 1ECHANICAL
- MP0.1 GENERAL NOTES MP0.2 SCHEDULES & GAS DIAGRAM & PLUMBING
- MP2.1E MECHANICAL & PLUMBING PLANS ELECTRIC MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID
- ENERGY COMPLIANCE/TITLE 24 T24.9B TITLE 24 FORMS- ELECTRIC
- T24.10B TITLE 24 FORMS- ELECTRIC
- T24.11B TITLE 24 FORMS HYBRID
- T24.12B TITLE 24 FORMS HYBRID



CENTRAL COAST PRE-DESIGNED ADU

DWELLING UNIT - 626 GSF

PROJECT DIRECTORY

ARCHITECT OF RECORD CONSULTING ARCHITECT WORKBENCH RYAN BROCKETT ARCHITECT INC. 189 Walnut Avenue Santa Cruz, CA 95060 104 S. Main St. Unit B Templeton, CA 93565 831.227.2217 805.400.3025

MECHANICAL & PLUMBING ENGINEER STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC

4245 Capitola Rd, Suite #204 Capitola, CA 95010 99 Pacific St, Suite #375G Monterey, CA 93940 831.854.2484 831.641.7739 contact@cmtaylorse.com contact@zalengineering.com

info@brockitecture.com

CLEARLY MARK THE BOX FOR EACH SELECTION

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:

Wall Assembly Details: A5.0 or A5.1 - TYPE E2

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:

For this option, use the listed sheets and details:

Requires foundation coordination. See detail 4/A5.3

For this option, use the listed sheets and details:

Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E

For this option, use the listed sheets and details:

Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H

PARCELS WITHIN THE WUI/SRA ZONE MUST USE

MATERIALS IN COMPLIANCE WITH CBC 7A.

USE A5.1 "EXTERIOR DETAILS - WUI ZONES"

FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND

REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES;

Requires framing coordination.

Wall Assembly Details: A5.0 or A5.1 - TYPE E5

Wall Assembly Details: A5.0 or A5.1 - TYPE E4

Wall Assembly Details: A5.0 or A5.1 - TYPE E3

Wall Assembly Details: A5.0 or A5.1 - TYPE E1

SCOPE OF WORK

info@workbenchbuilt.com

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 626 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

PROJECT CHECKLIST

ARCHITECTURAL STYLE (SELECT	ONE)	
COASTAL RANCH		For this option, use the listed sheets and det A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
BACKYARD CRAFTSMAN		For this option, use the listed sheets and det

- For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
- For this option, use the listed sheets and details: A4.0. A4.1. A5.0 or A5.1. A5.2. A5.3. A6.0/4
- **ASPHALT SHINGLE** Roof Details: A5.2 For this option, use the listed sheets and details: METAL STANDING SEAM Roof Details: A5.2
- APPLICANT REVISION
- PRIMARY SIDING MATERIAL (SELECT ONE) VERTICAL PLANK FIBER CEMENT
- **BOARD & BATTEN FIBER CEMENT**
- HORIZONTAL LAP FIBER CEMENT
- SHINGLE FIBER CEMENT STUCCO
- APPLICANT REVISION
- DESIGN OPTIONS (SELECT IF DESIRED) **CURBLESS SHOWER**
- EXTERIOR SLIDING DOOR AT DEN
- APPLICANT REVISION MECHANICAL SYSTEM (SELECT ONE)

WUI/SRA ZONE

- ALL-ELECTRIC SYSTEM
- HYBRID (ELECTRIC W/ GAS H20 HEATER) GAS RANGE
- REQUIRED COMPLIANCE (CHECK IF APPLICABLE) PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE
- WITHIN 3-5 FT OF PROPERTY LINE, THE WALL **EXTERIOR WALL CLOSER THAN 5'** ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL TO PROPERTY LINE AREA. REFERENCE A5.0 "FIRE RATING NOTES"
- SITE PLAN (REQUIRED) OWNER PROVIDED SITE PLAN COMPLETE
 - Complete Sheet G0.1, Owner-Provided Site Plan

CITY REVIEW SET

REA CALCULATIONS - ONE BEDROOM











BROCKETT /ARCHITECT

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workbench

189 WALNUT AVENUE

SANTA CRUZ, CA 95060

WORKBENCHBUILT.COM

SING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS

PONSIBILITY ON THIS PROJECT, WORKBENCH, BROCKET

IS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMAND DGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

ARE SUBJECT TO COPYRIGHT PROTECTION, JETHE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND TH

COVER SHEET & PROJECT INFORMATION -ATASCADERO

LOCATION TO NEAREST FIRE HYDRANT

ed, sailed site plan containing the below this formation. This checklist is provided to help guide applicants through the creation of their project's site electrical A Site Plan" document published by the Community Development Department for sample site plans and results.

caining the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. ument published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.
EXPLANATION
SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND MET INCLUDE PROPANE TANK IF APPLICABLE.
SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MI BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
Including length, width, and slope of driveway
List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).

SITE PLAN LEGEND Use these symbols to draw and annotate your site plan						
N	NORTH ARROW (INDICATES LOCATION OF NORTH)					
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES					
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)					
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS					
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS					
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED					
	ARROW - USE TO POINT TO DRAWING AS NEEDED					

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12^q

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

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BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS

ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST RE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

OWNER PROVIDED SITE PLAN -ATASCADERO

G0.1

SCALE : AS NOTED

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND **SPECIFICATIONS**
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR **DETAILED OTHERWISE**
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- 13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- 27. CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES OF CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT
- 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- 33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- 1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
- 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE. 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH CBC 706A2.1.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5 RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
- ALL JAS COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K)
 - CEILING RECESSED DOWNLIGHT LUMINARIES
 - LED LUMINARIES WITH INTEGRAL SOURCES
 - PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- **GU-24 BASED LED LIGHT SOURCES**
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE **FOLLOWING REQUIREMENTS:**
 - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
 - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
 - PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
 - ASTRONOMICAL TIME SWITCH CONTROL
- **ENERGY MANAGEMENT CONTROL SYSTEMS** 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED
- "SUITABLE FOR WET LOCATIONS" CEC 410.10A 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A
- COLOR TEMPERATURE OF 3000K OR LESS.

HEAT/VENTILATION/AIR COND. **HOT WATER**

PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.**

ELECTRICAL NOTES

- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19. PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD
- OR MICROWAVE/HOOD UNIT PROVIDE SEPARATE CIRCUIT FOR DISWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF **ELECTRIC DRYERS PER CEC 220.54.**
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

ABBREVIATIONS

ANCHOR BOLT

AREA DRAIN

ADJACENT

ALUMINUM

ALTERNATE

AVERAGE

BUILDING

BLOCKING

BOTTOM

BETWEEN

BOTH WAYS

CATCH BASIN

CUBIC FEET

CAULKING

CLEANOUT

COLUMN

CONCRETE

CENTER

DOUBLE

CONTINUOUS

CERAMIC TILE

COLD WATER

DEPARTMENT

DIAMETER

DIAGONAL

DIMENSION

DEAD LOAD

DRAWING

EXISTING

DISHWASHER

EXPANSION BOLT

EXPANSION JOINT

EDGE NAILING

ELECTRICAL PANEL

ENCLOSURE

EQUIPMENT

FLOOR DRAIN

FINISH FLOOR

FLOW LINE

FLASHING

FACE OF CONCRETE

FACE OF STUD

FACE OF WALL

FRAMING FOOT

FOOTING

GAUGE

GALVANIZED

HOSE BIB

HOLDOWN

HEADER

HANGER

HOLLOW METAL

HORIZONTAL

GENERAL CONTRACTOR

GYPSUM WALL BOARD

FLOOR

FINISH

EXTERIOR

ELECTRIC/ELECTRICAL

ELEVATOR/ELEVATION

DOWN

DOOR

CEILING

CLEAR

CONTROL JOINT

CLEANOUT TO GRADE

BUILT-UP ROOFING

BOARD

ASPHALT CONCRETE

ABOVE FINISH FLOOR

ARCHITECT/ARCHITECTURAL

- 12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT CEC406.12.
- 13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- 15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A]
- SINGLE FAMILY RESIDENTIAL (150.0(s)).
- 18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY. 19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE
- FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB). PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED:
- FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
- 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A
- 22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED AD REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND A NEORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKET ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL N

THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE O HIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY IABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED INFORMATION CONTAINED THERON, ANY USE, REUSE, OR ALTERATI OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT TH RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, TH INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITO HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMAND JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSON

ARE SUBJECT TO COPYRIGHT PROTECTION, IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS

J

SCHEDULE STORM DRAIN SECTION SEE ELECTRICAL DRAWINGS **SQUARE FOOT SPECIFICATION** SEE PLUMBING DRAWINGS SEE STRUCTURAL DRAWINGS SOLID SURFACE STANDARD STEEL STRUCTURAL SUSPENDED

INCH/INCHES

INFORMATION

INSULATION

INTERIOR

KITCHEN

LAG BOLT

POUNDS

LINEAR FOOT

LIVE LOAD

LAG SCREW

MAXIMUM

MACHINE BOLT

MANUFACTURED

MANUFACTURE

MISCELLANEOUS

NOT IN CONTRACT

NOT APPLICABLE

NOT TO SCALE

ON CENTER

OPENING

PLYWOOD

PAVEMENT

RETURN AIR

ROOF DRAIN

REFERENCE

REQUIRED

REVISION

REFRIGERATOR

ROUGH OPENING

PAINTED

OVERHEAD/OVERHANG

POUNDS PER LINEAL FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

REFLECTED CEILING PLAN

PRESSURE TREATED

MECHANICAL

MICROWAVE

MINIMUM

MOUNTED

METAL

NEW

OVER

INSUL

MB

MFR

MTL

REQD

STRUCT

UON

TEMPERED TOP OF CURB TYPICAL

UNLESS OTHERWISE NOTED **VENTILATION/VENTILATOR VERTICAL VERIFY IN FIELD** WITH WATER CLOSET WOOD WATER HEATER WINDOW

WITHOUT WATERPROOF

16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.

17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR

OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH SLEEPING ROOM RECEPTACLE OUTLET.

GENERAL NOTES

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.304 OUTDOOR WATER USE 4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its available at: https://www.water.ca.gov/ 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY I.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. Exceptions: 1. Excavated soil and land-clearing debris.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush.

The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

gallons per minute at 80 psi. Showerheads shall be certified to the perfo WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

A hand-held shower shall be considered a showerhead.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)]

TABLE H-2

California Plumbing Code.

METERING FAUCETS

WATER CLOSET

URINALS

Product Class 1 (≤ 5.0 ozf) Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the

1.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A

CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE **FIXTURE TYPE** FLOW RATE SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 LAVATORY FAUCETS (RESIDENTIAL) LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI USE AREAS KITCHEN FAUCETS 1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

1.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

I.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.

bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be

2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or

Identify construction methods employed to reduce the amount of construction and demolition waste Specify that the amount of construction and demolition waste materials diverted shall be calculated weight or volume, but not by both.

.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and

tion waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste

materials will be diverted by a waste management company. I.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined

weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction

I.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section

2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the

following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major

appliances and equipment. b. Roof and yard drainage, including gutters and downspouts

c. Space conditioning systems, including condensers and air filters.

d. Landscape irrigation systems. e. Water reuse systems

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area.

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.

6. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5

feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.

11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper,

corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section

42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

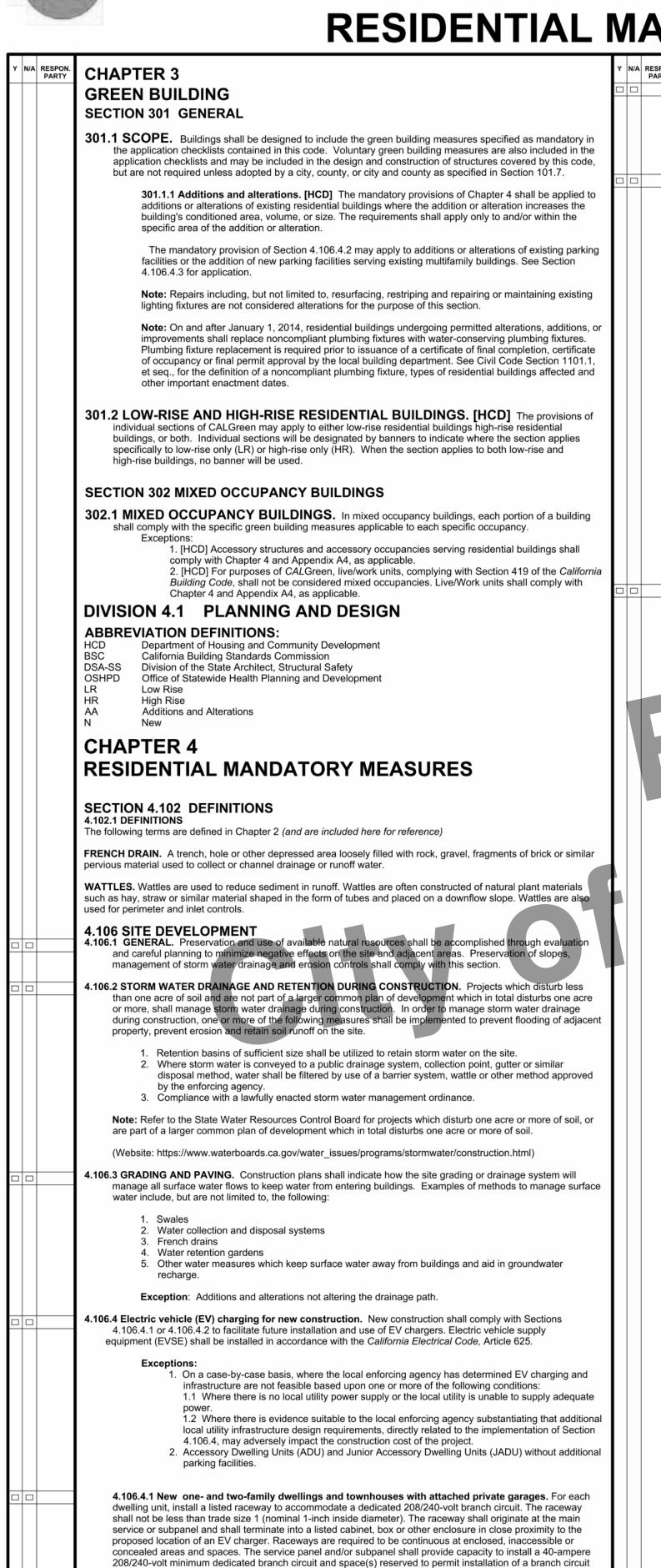
AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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overcurrent protective device.

accordance with the California Electrical Code.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to **1.EV Capable**. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all all required EV spaces at a minimum of 40 amperes. ne service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved r future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. eption: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be by a number equal to the number of EV chargers installed over the five (5) percent required a. Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV EV chargers are installed for use. **2.EV Ready.** Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable 4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options: 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall

comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready

spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch

raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall

circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall

originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close

have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

proximity to the location or the proposed location of the EV space. Construction documents shall identify the

4.106.4.2.3 EV space requirements.

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

workbench 189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

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California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



YES NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,

TABLE 4.504.2 - SEALANT VOC LIMIT TABLE 4.504.5 - FORMALDEHYDE LIMITS MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to (Less Water and Less Exempt Compounds in Grams per Liter) MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION hundredths of a gram (g O3/g ROC). **702 QUALIFICATIONS** SEALANTS **VOC LIMIT** PRODUCT **CURRENT LIMIT** Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper HARDWOOD PLYWOOD VENEER CORE **ARCHITECTURAL** 250 installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. certification program. Uncertified persons may perform HVAC installations when under the direct supervision and MARINE DECK HARDWOOD PLYWOOD COMPOSITE CORE 0.05 responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE ROOF 300 PARTICLE BOARD 0.09 article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of ROADWAY 250 MEDIUM DENSITY FIBERBOARD 0.11 product (excluding container and packaging). State certified apprenticeship programs. Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). Public utility training programs. SINGLE-PLY ROOF MEMBRANE 450 THIN MEDIUM DENSITY FIBERBOARD2 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to 4. Programs sponsored by manufacturing organizations. 420 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED ozone formation in the troposphere. 5. Other programs acceptable to the enforcing agency. BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL SEALANT PRIMERS MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE **702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. **ARCHITECTURAL** responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence NON-POROUS 250 to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to 4.503 FIREPLACES other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be 775 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM POROUS considered by the enforcing agency when evaluating the qualifications of a special inspector: 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed THICKNESS OF 5/16" (8 MM). 500 MODIFIED BITUMINOUS woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as Certification by a national or regional green building program or standard publisher. applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, 760 MARINE DECK 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building pellet stoves and fireplaces shall also comply with applicable local ordinances. **DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)** performance contractors, and home energy auditors. OTHER 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California 4.504 POLLUTANT CONTROL Successful completion of a third party apprentice training program in the appropriate trade. Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING 4. Other programs acceptable to the enforcing agency. from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final California Specification 01350) startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to 1. Special inspectors shall be independent entities with no financial interest in the materials or the See California Department of Public Health's website for certification programs and testing labs. project they are inspecting for compliance with this code. reduce the amount of water, dust or debris which may enter the system. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. homes in California according to the Home Energy Rating System (HERS). TABLE 4.504.3 - VOC CONTENT LIMITS FOR 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall ARCHITECTURAL COATINGS23 California Department of Public Health. "Standard Method for the Testing and Evaluation of Volatile Organic requirements of the following standards unless more stringent local or regional air pollution or air quality employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 management district rules apply: this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT (Emission testing method for California Specification 01350) particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a COMPOUNDS 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks recognized state, national or international association, as determined by the local agency. The area of certification See California Department of Public Health's website for certification programs and testing labs. COATING CATEGORY VOC LIMIT shall comply with local or regional air pollution control or air quality management district rules where shall be closely related to the primary job function, as determined by the local agency. applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic Note: Special inspectors shall be independent entities with no financial interest in the materials or the compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and project they are inspecting for compliance with this code. NON-FLAT COATINGS 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH GLOSS COATINGS 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving 703 VERIFICATIONS 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in esilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the SPECIALTY COATINGS units of product, less packaging, which do not weigh more than 1 pound and do not consist of more 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not esting and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including LUMINUM ROOF COATINGS /ersion 1.2, January 2017 (Emission testing method for California Specification 01350) limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. SEMENT SPECIALTY COATINGS 400 documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist. **4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of TUMINOUS ROOF COATINGS the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits ITUMINOUS ROOF PRIMERS apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss 350 OMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources nposite wood products used on the interior or exterior of the buildings shall meet the requirements for Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in ONCRETE CURING COMPOUNDS 350 Idehvde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), r before the dates specified in those sections, as shown in Table 4.504.5 ONCRETE/MASONRY SEALERS 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR 504.5.1 Documentation. Verification of compliance with this section shall be provided as requested DRIVEWAY SEALERS Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic by the enforcing agency. Documentation shall include at least one of the following: compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATINGS Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Product certifications and specifications. Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation AUX FINISHING COATINGS Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered enforcing agency. Documentation may include, but is not limited to, the following: Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Manufacturer's product specification 5. Other methods acceptable to the enforcing agency. RTS COATINGS (SIGN PAINTS) Field verification of on-site product containers TEMPERATURE COATINGS 420 4.505 INTERIOR MOISTURE CONTROL 250 INDUSTRIAL MAINTENANCE COATINGS **4.505.1 General.** Buildings shall meet or exceed the provisions of the California Building Standards Code. .OW SOLIDS COATINGS1 120 (Less Water and Less Exempt Compounds in Grams per Liter) **4.505.2 CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by MAGNESITE CEMENT COATINGS California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the ARCHITECTURAL APPLICATIONS California Residential Code, Chapter 5, shall also comply with this section. MASTIC TEXTURE COATINGS 100 METALLIC PIGMENTED COATINGS 500 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the CARPET PAD ADHESIVES MULTICOLOR COATINGS 250 OUTDOOR CARPET ADHESIVES 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with PRETREATMENT WASH PRIMERS a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, WOOD FLOORING ADHESIVES shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, PRIMERS, SEALERS, & UNDERCOATERS 100 RUBBER FLOOR ADHESIVES REACTIVE PENETRATING SEALERS 350 2. Other equivalent methods approved by the enforcing agency. SUBFLOOR ADHESIVES 3. A slab design specified by a licensed design professional. RECYCLED COATINGS 250 CERAMIC TILE ADHESIVES 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage ROOF COATINGS shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent VCT & ASPHALT TILE ADHESIVES moisture content. Moisture content shall be verified in compliance with the following: RUST PREVENTATIVE COATINGS 250 DRYWALL & PANEL ADHESIVES SHELLACS Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent COVE BASE ADHESIVES moisture verification methods may be approved by the enforcing agency and shall satisfy requirements 730 found in Section 101.8 of this code. MULTIPURPOSE CONSTRUCTION ADHESIVE 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end 550 of each piece verified. STRUCTURAL GLAZING ADHESIVES 3. At least three random moisture readings shall be performed on wall and floor framing with documentation SPECIALTY PRIMERS, SEALERS & SINGLE-PLY ROOF MEMBRANE ADHESIVES 250 acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. UNDERCOATERS 250 OTHER ADHESIVES NOT LISTED nsulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying STONE CONSOLIDANTS 450 SPECIALTY APPLICATIONS 510 SWIMMING POOL COATINGS PVC WELDING 4.506 INDOOR AIR QUALITY AND EXHAUST 490 TRAFFIC MARKING COATINGS 100 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the CPVC WELDING 325 420 TUB & TILE REFINISH COATINGS ABS WELDING 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 250 WATERPROOFING MEMBRANES 250 PLASTIC CEMENT WELDING 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a WOOD COATINGS 275 ADHESIVE PRIMER FOR PLASTIC WOOD PRESERVATIVES 350 a. Humidity controls shall be capable of adjustment between a relative humidity range less than or CONTACT ADHESIVE equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of 250 ZINC-RICH PRIMERS SPECIAL PURPOSE CONTACT ADHESIVE b. A humidity control may be a separate component to the exhaust fan and is not required to be 140 GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & STRUCTURAL WOOD MEMBER ADHESIVE integral (i.e., built-in) EXEMPT COMPOUNDS **TOP & TRIM ADHESIVE** 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS SUBSTRATE SPECIFIC APPLICATIONS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY METAL TO METAL THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. PLASTIC FOAMS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. 4.507 ENVIRONMENTAL COMFORT POROUS MATERIAL (EXCEPT WOOD)

workbench

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ENTRAL COAST E-DESIGNED ADL

PRINT DATE XX.XX.XXXX

BUILDING
REQUIREMENTS

32.1

SCALE - AS NOTE

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FIBERGLASS

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

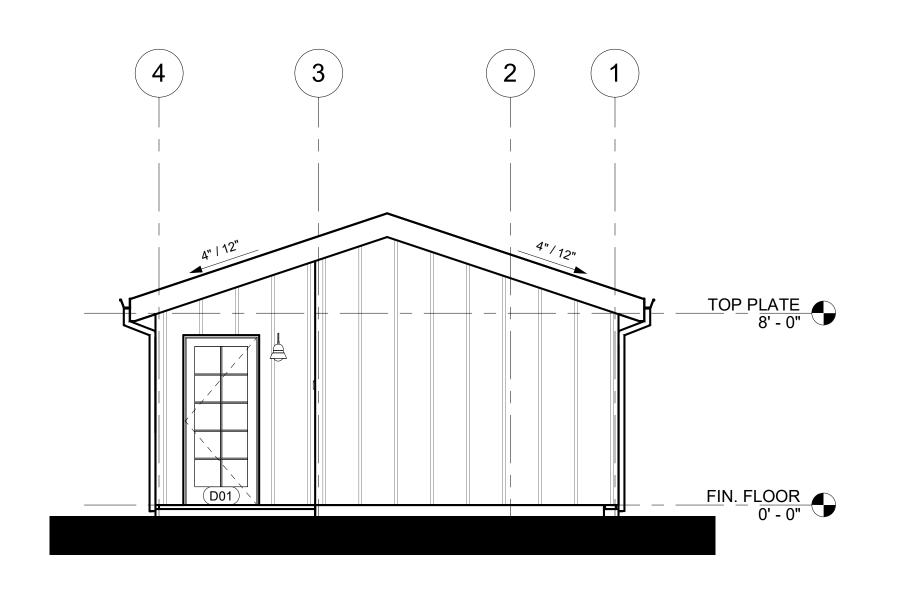
Exception: Use of alternate design temperatures necessary to ensure the system functions are

The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
 Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

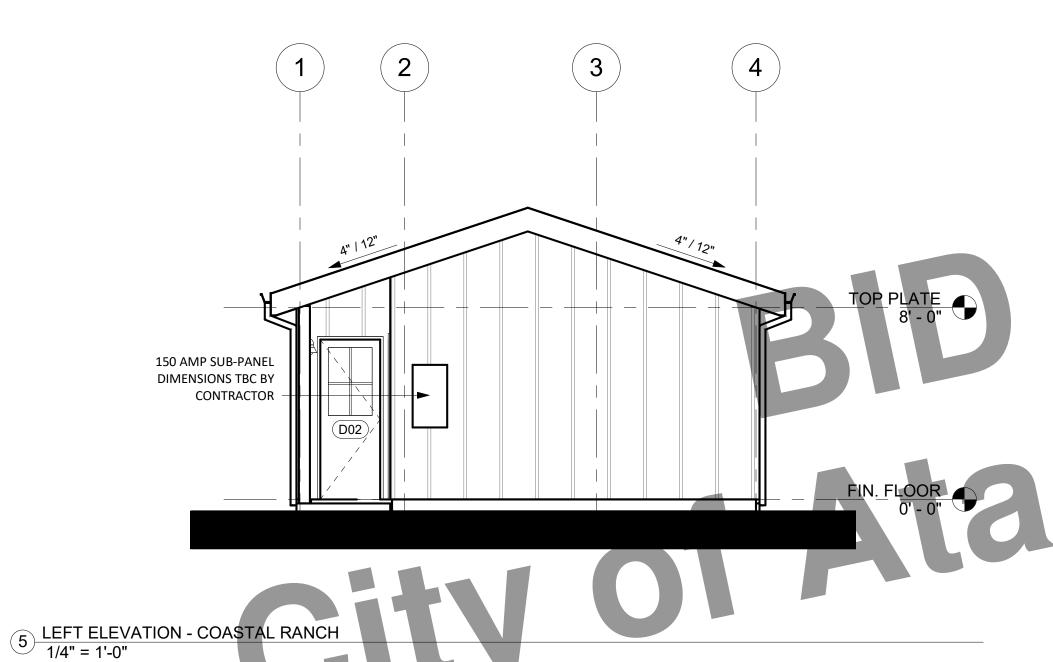
sized, designed and have their equipment selected using the following methods:

ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.



6 RIGHT ELEVATION - COASTAL RANCH 1/4" = 1'-0"

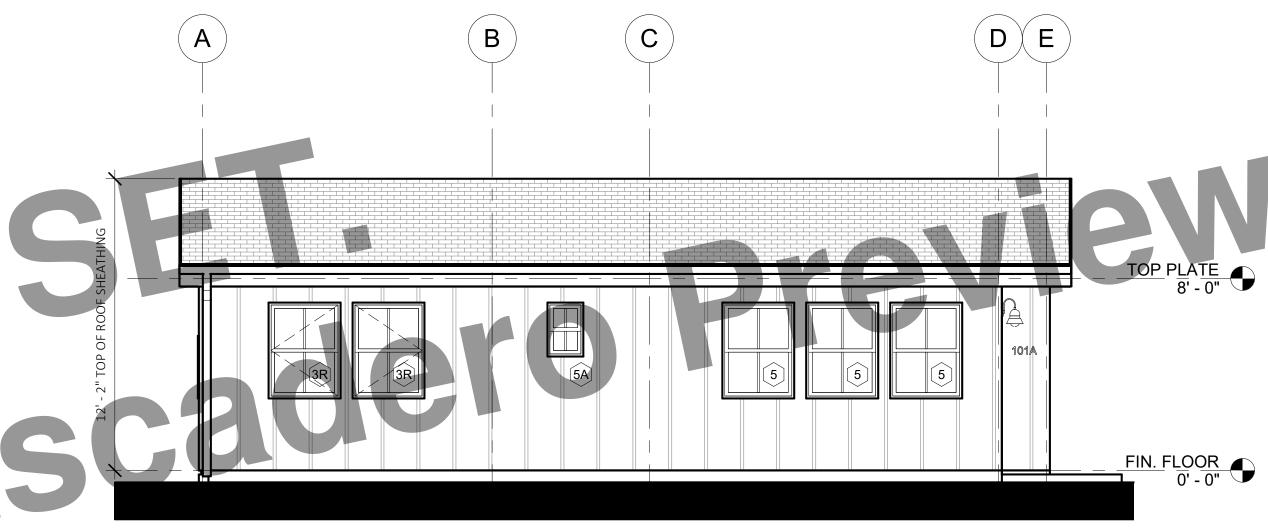




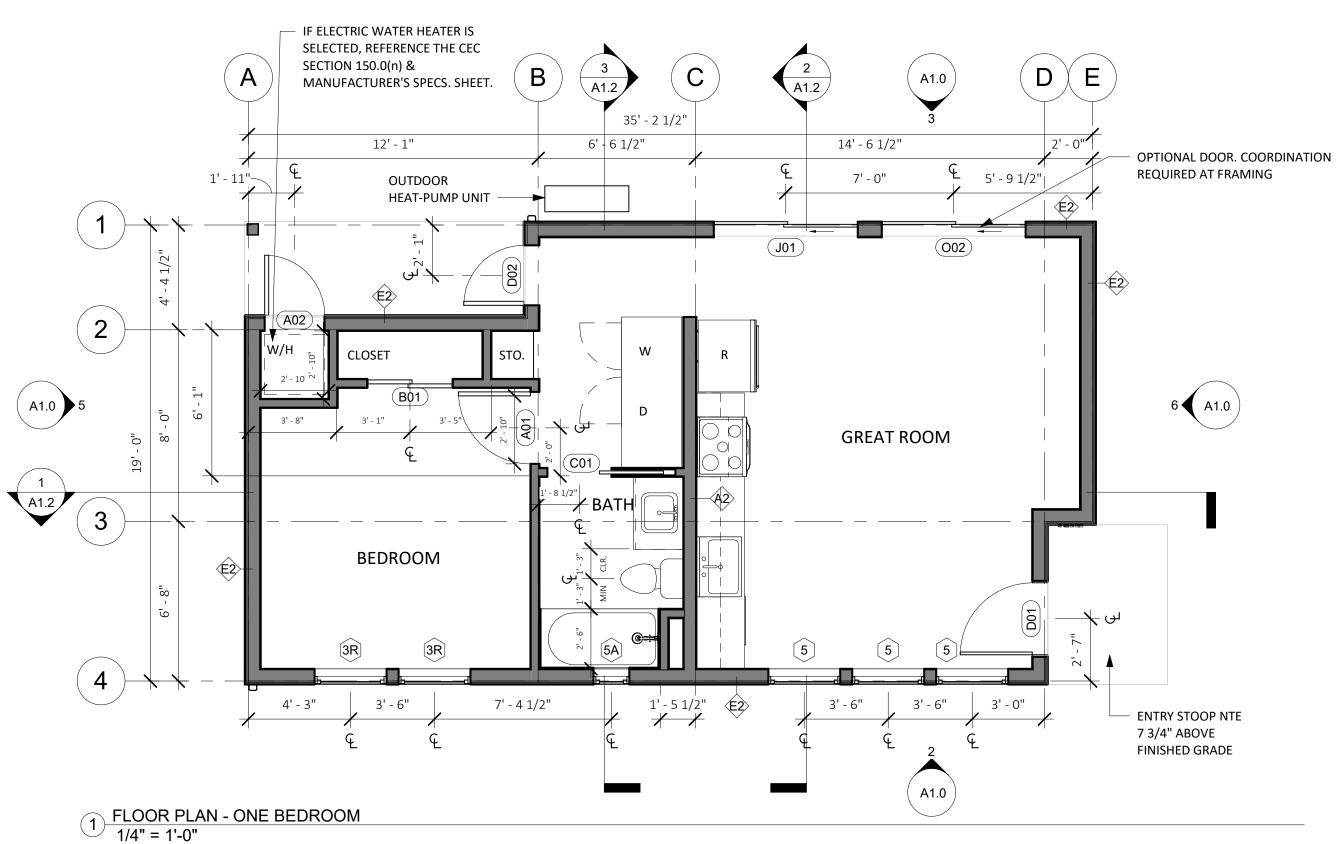
4 FRONT VIEW - ONE BEDROOM - COASTAL RANCH NO SCALE

TOP PLATE 8' - 0" 002 (A02) FIN. FLOOR 0' - 0" OPTIONAL EXTERIOR DOOR. COORDINATION REQUIRED AT FRAMING. REFERENCE PROJECT CHECKLIST GO.O AND SCHEDULE ON A6.2

3 REAR ELEVATION - COASTAL RANCH



PRONT ELEVATION - COASTAL RANCH 1/4" = 1'-0"

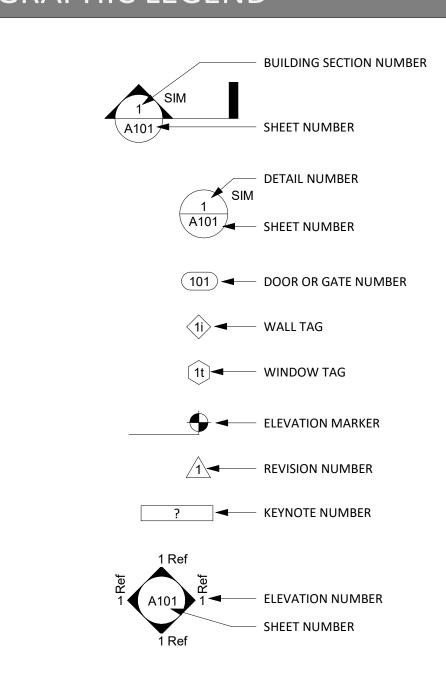


FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

—**∽**–(N) (N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or

- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

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ONE BEDROOM 626 GSF

J

FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

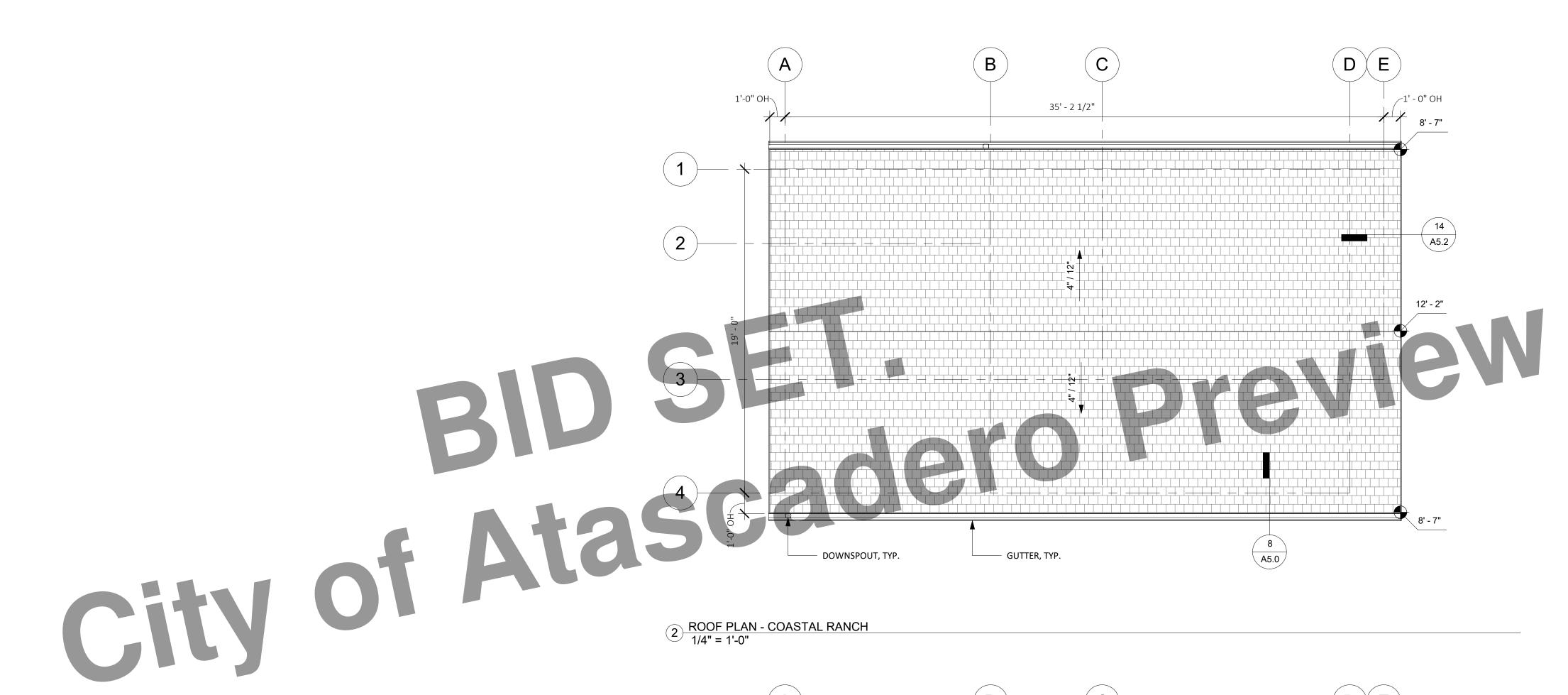
ELEVATION NOTES

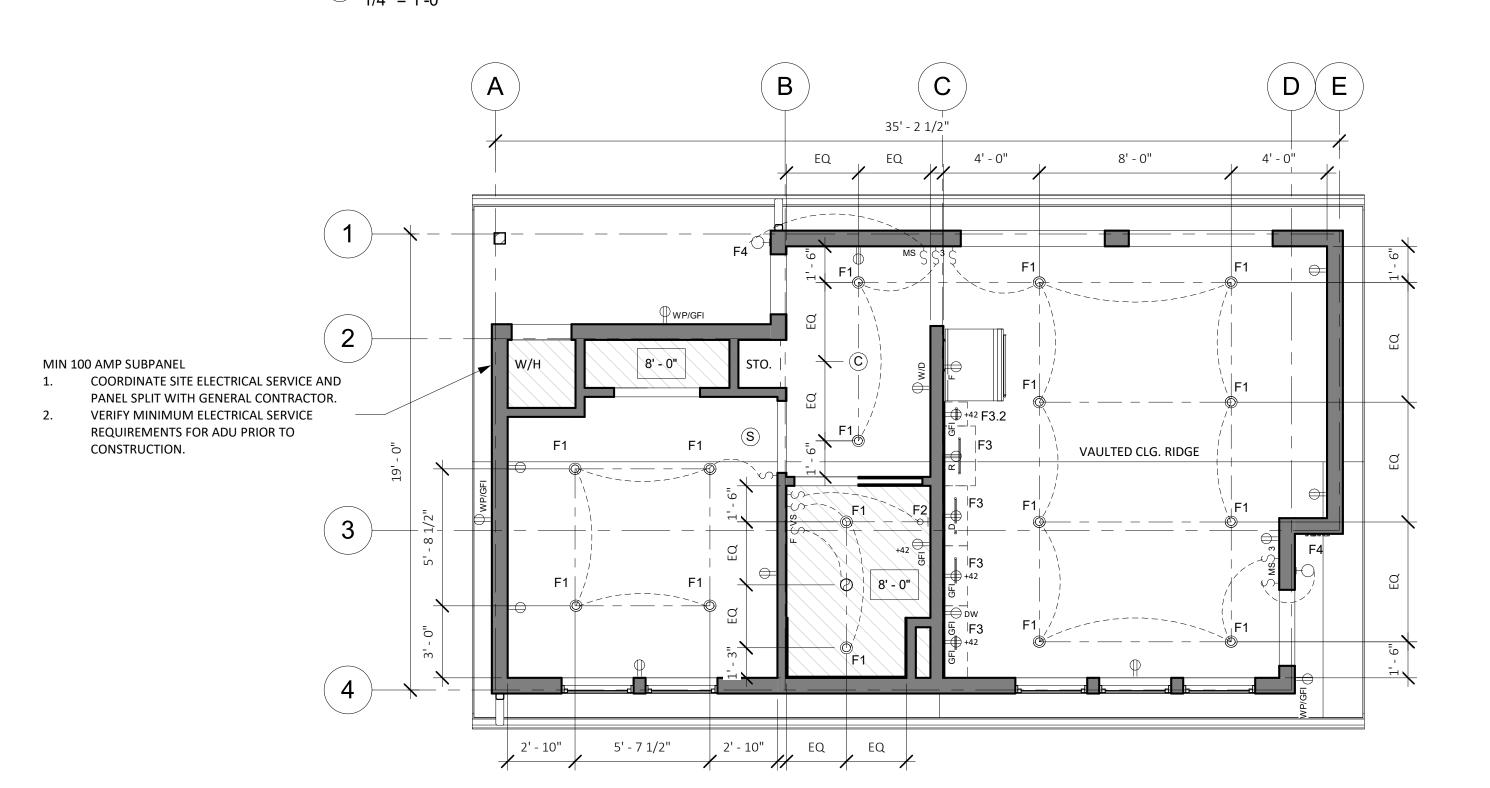
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

PRINT DATE XX.XX.XXXX

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RANCH - FLOORPLAN & ELEVATIONS





1 RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- 1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
 WOOD SHINGLES SHALL NOT BE USED.
- 4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.

 5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- 6. GANG VENTS WHENEVER POSSIBLE.
- 7. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- \$\dagger\$D Shvinter(\$\forall \text{SWITCH}\$
- \$MS MOTION-SENSOR SWITCH
- \$vs VACANCY SWITCH
- \$F FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE
 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S
 SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR
COMBINATION SMOKE DETECTOR AND CARBON
MONOXIDE DETECTOR TO BE CEILING MOUNTED.
HARDWIRED WITH BATTERY BACKUP. OWNER TO
APPROVE SELECTION PRIOR TO PURCHASE. CARBON
MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS
SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL
APPLICABLE STANDARDS, AND REQUIREMENTS FOR
LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE
FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- 2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- 3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PROTECTED.
- 5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT)
 HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- 6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.

 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

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AST ADU

NE BEDROOM 626 GSF

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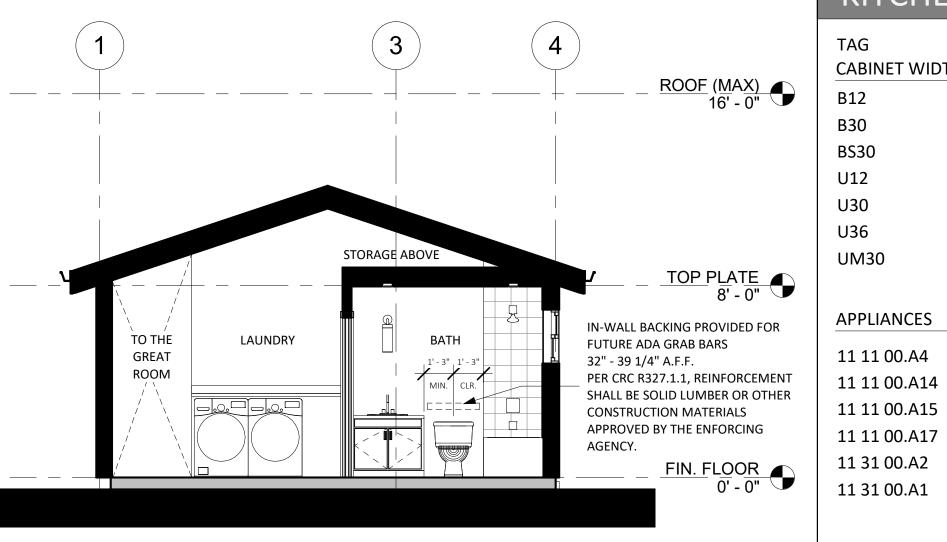
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RANCH - ROOF PLAN & RCP

A1.1

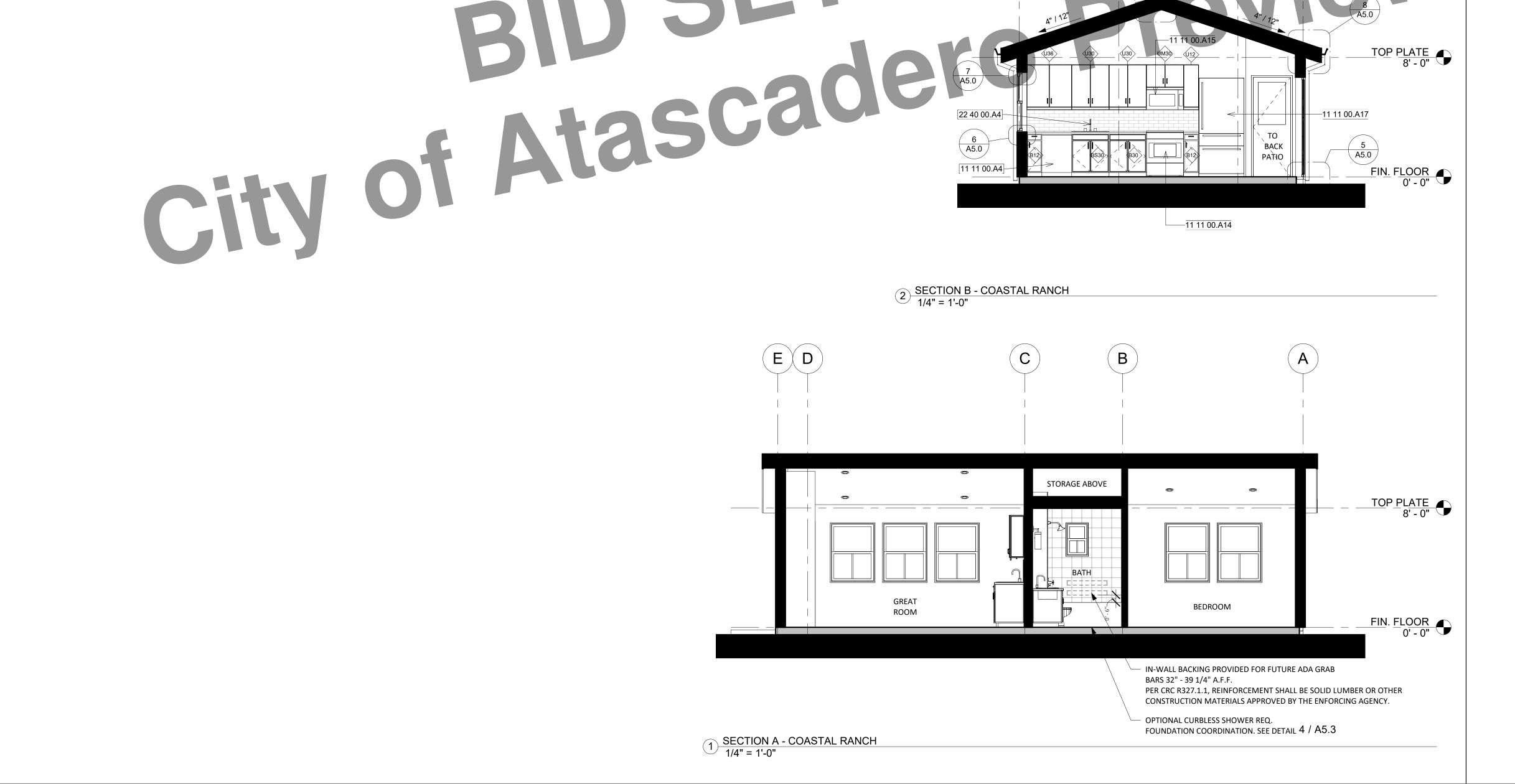
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3 SECTION C - COASTAL RANCH 1/4" = 1'-0" TOP PLATE 8' - 0" —11 11 00.A17 TO BACK PATIO

11 11 00.A14



KITCHEN LEGEND

TAG CABINET WIDTH	DESCRIPTION
B12	12" BASE CABINET
B30	30" BASE CABINET
BS30	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

1 11 00.A4	24" DISHWASHER
1 11 00.A14	30" ELECTRIC RANGE

30" MICROWAVE / HOOD VENT COMBO UNIT

11 11 00.A17 36" REFRIGERATOR FRONT LOAD DRYER 11 31 00.A2 11 31 00.A1 FRONT LOAD WASHER

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET

workbench

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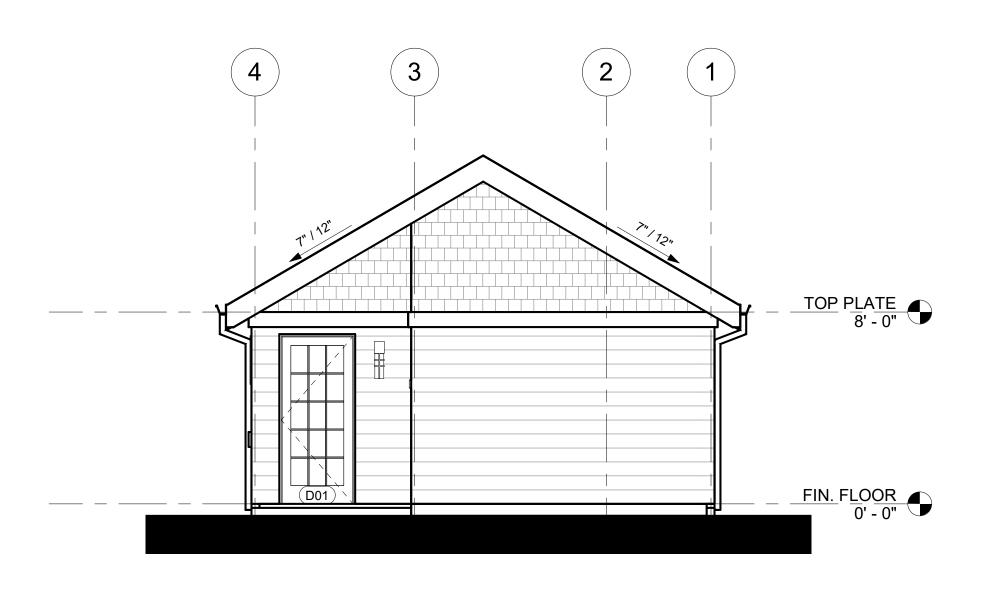
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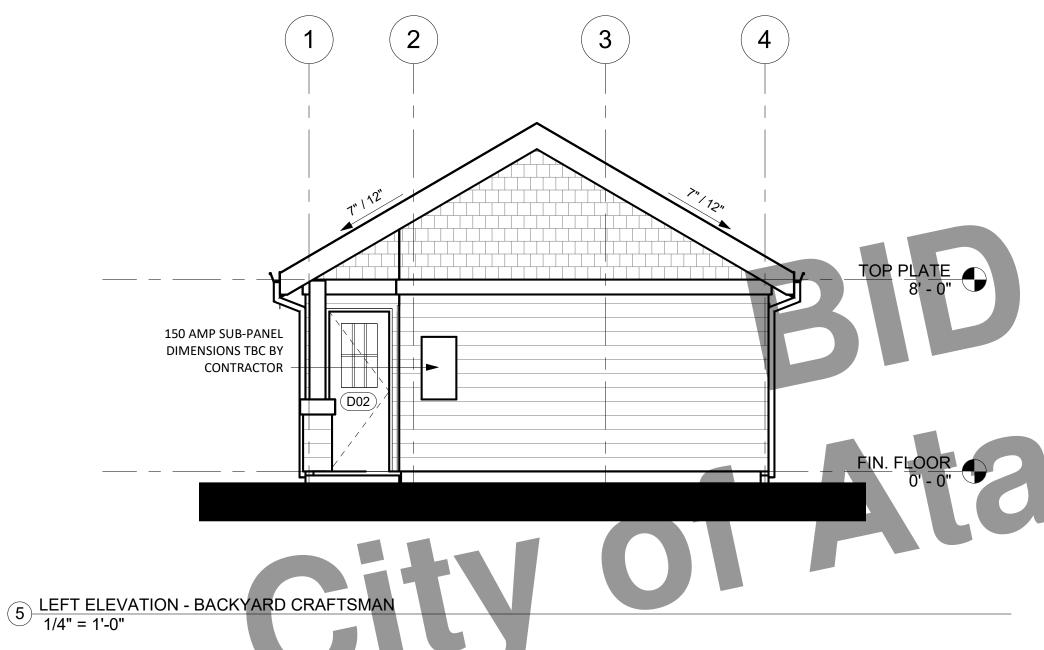
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RANCH - SECTIONS

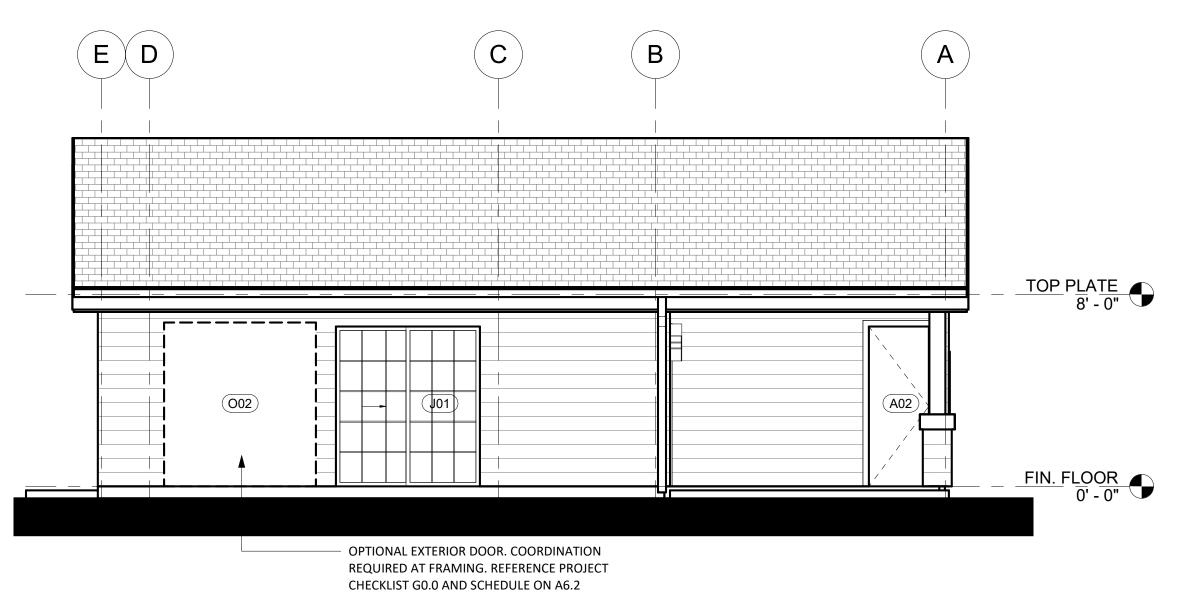


6 RIGHT ELEVATION - BACKYARD CRAFTSMAN 1/4" = 1'-0"

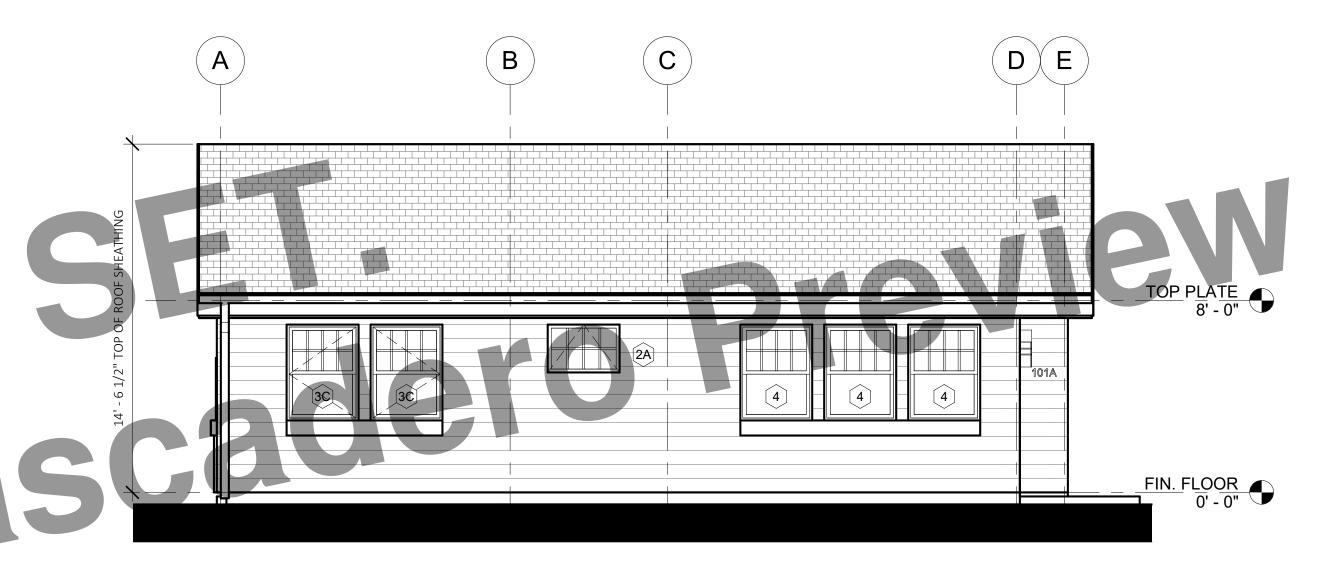




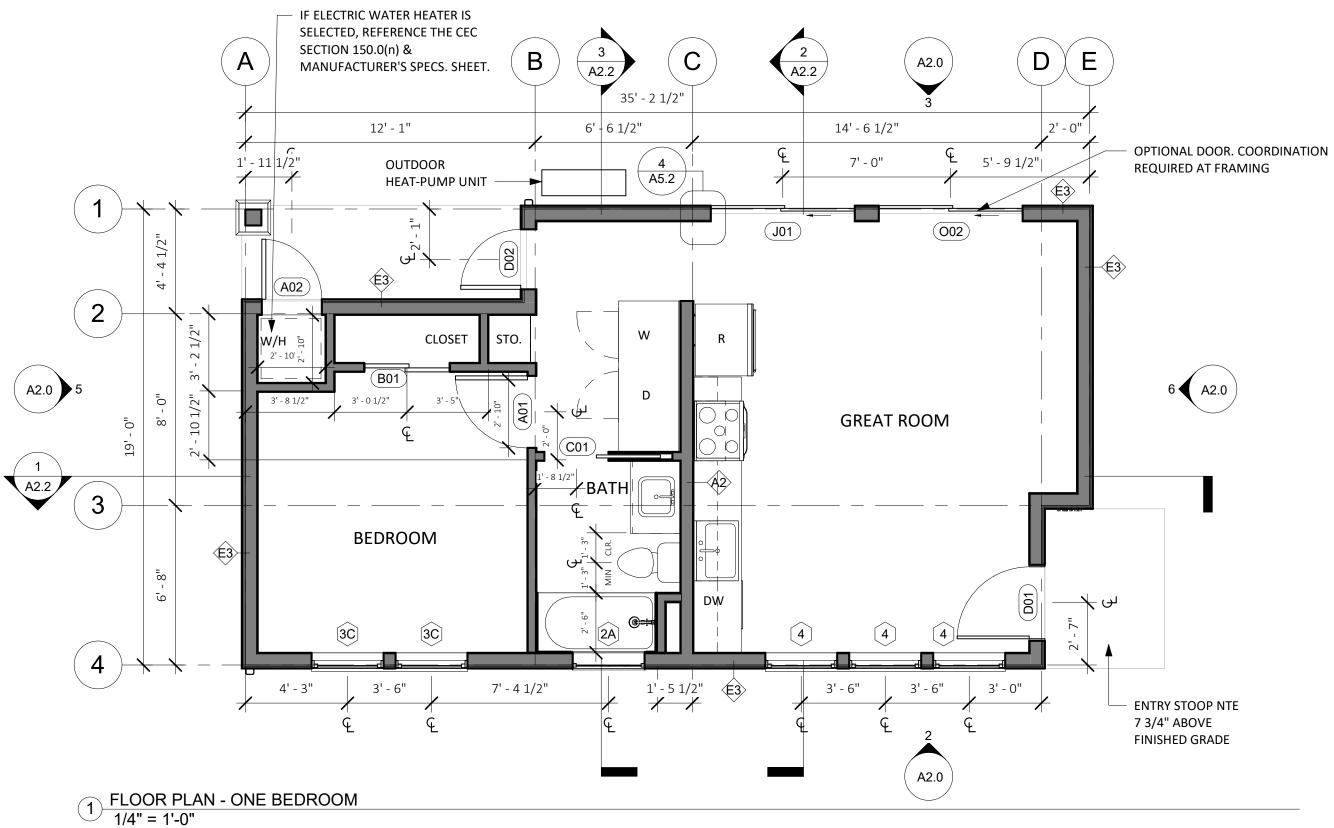
FRONT VIEW - ONE BEDROOM - BACKYARD CRAFTSMAN NO SCALE



3 REAR ELEVATION - BACKYARD CRAFTSMAN 1/4" = 1'-0"



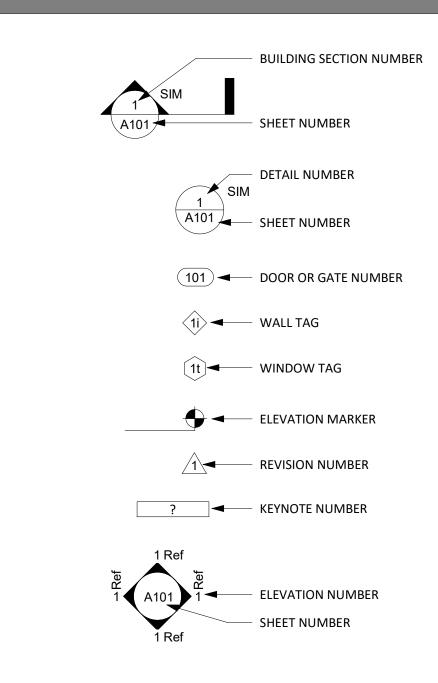
2 FRONT ELEVATION - BACKYARD CRAFTSMAN 1/4" = 1'-0"



FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N —**✓**—(N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.
- All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- 7. Where thresholds are required, provide accessible
- 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower.

ELEVATION NOTES

- 2. Gridlines are to edge of concrete, centerline of footing, or
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and
- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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ONE BEDROOM 626 GSF

J

FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- thresholds with maximum 1/2" elevation change.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- centerline of structural elements, unless otherwise noted.
- details.

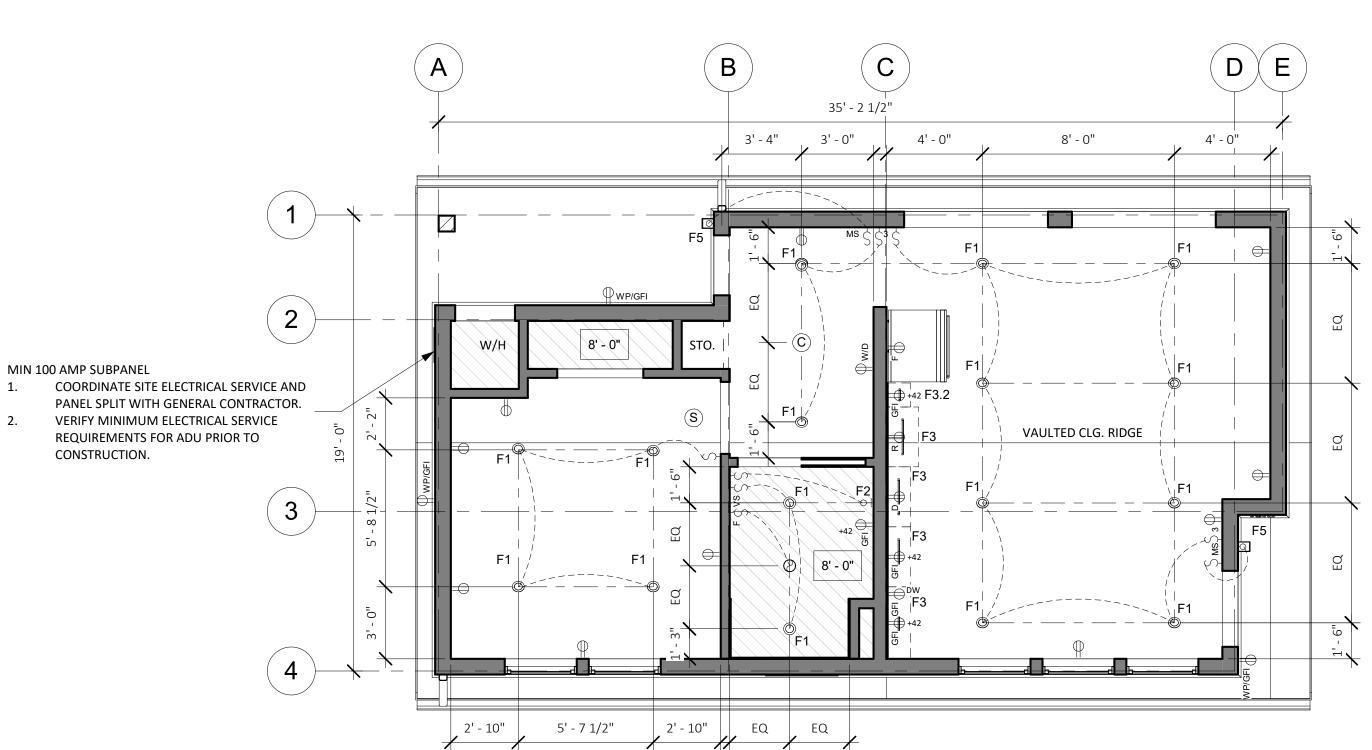
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CRAFTSMAN -FLOORPLANS & **ELEVATIONS**

A2.0

В C 1'-0" OH-35' - 2 1/2" 8' - 4" ∖ A5.2 / 2 City Of Atas GUTTER, TYP. 2 ROOF PLAN - BACKYARD CRAFTSMAN 1/4" = 1'-0"



1) RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL
- INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- ☐ GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT \Diamond
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH \$_{MS} MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS**

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

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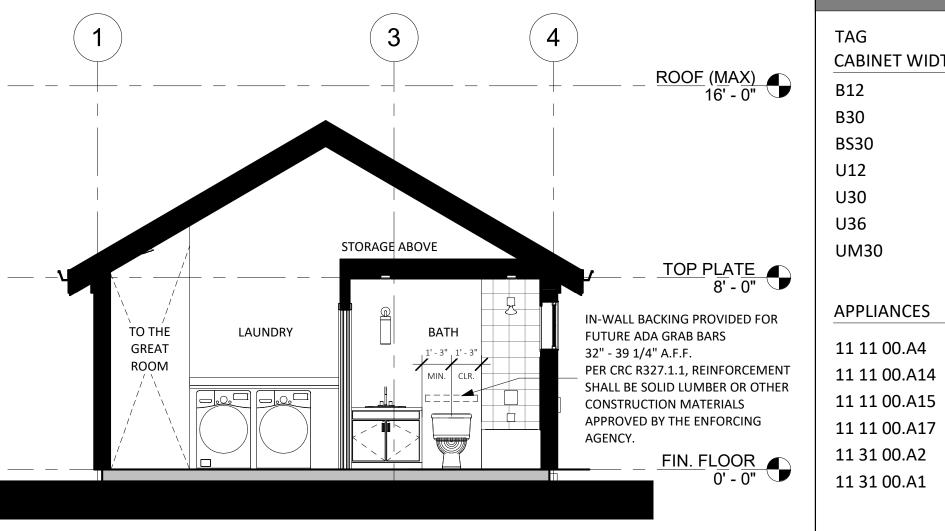
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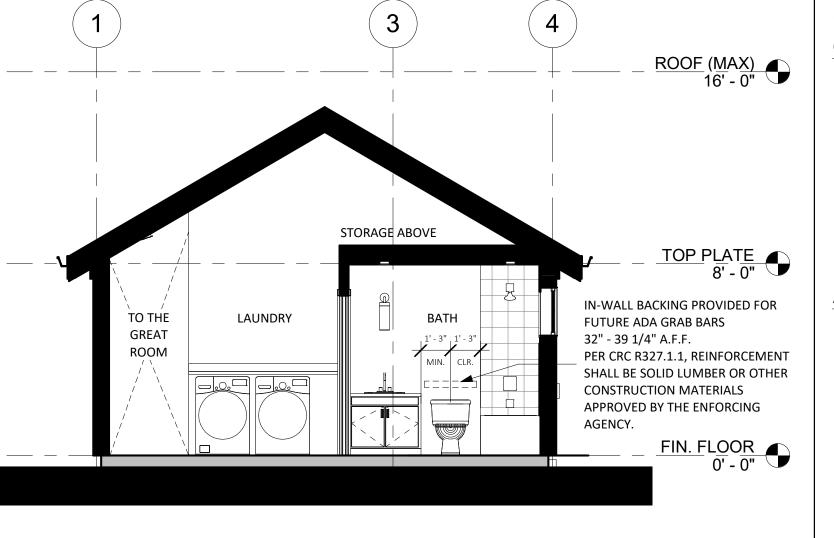
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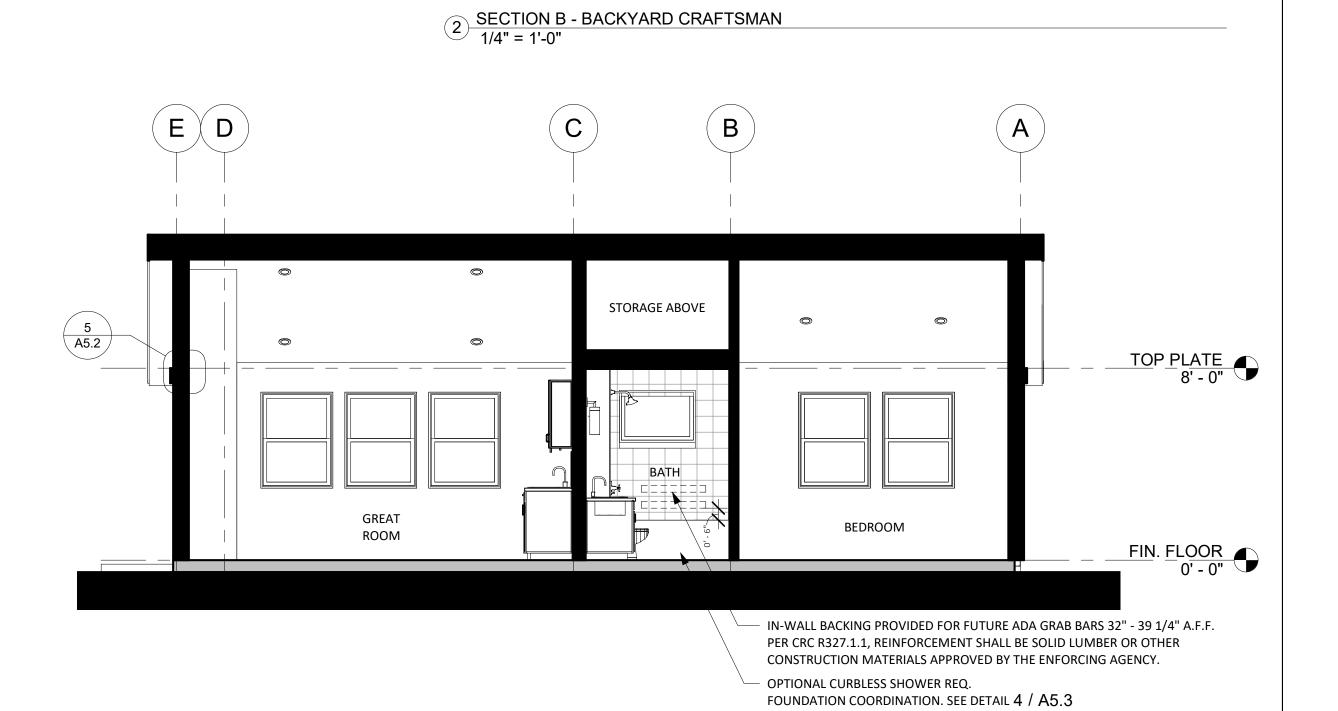
CRAFTSMAN - ROOF PLAN & RCP





City of Atasca TOP PLATE 8' - 0" 11 11 00.A17 TO BACK PATIO FIN. FLOOR 0' - 0"

3 SECTION C - BACKYAD CRAFTSMAN 1/4" = 1'-0"



KITCHEN LEGEND

TAG DESCRIPTION **CABINET WIDTH** B12 12" BASE CABINET B30 30" BASE CABINET BS30 30" BASE CABINET - SINK U12 12" UPPER CABINET U30 30" UPPER CABINET U36 36" UPPER CABINET UM30 30" UPPER CABINET - ABOVE MICROWAVE

30" MICROWAVE / HOOD VENT COMBO UNIT

APPLIANCES

11 11 00.A4 24" DISHWASHER 11 11 00.A14 30" ELECTRIC RANGE

11 11 00.A17 36" REFRIGERATOR FRONT LOAD DRYER 11 31 00.A2 11 31 00.A1 FRONT LOAD WASHER

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET

workbench

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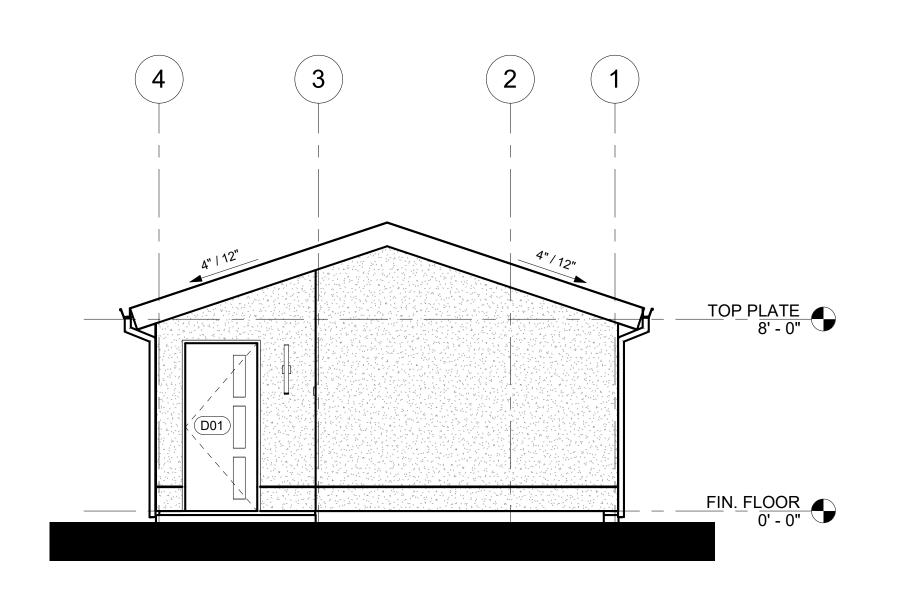
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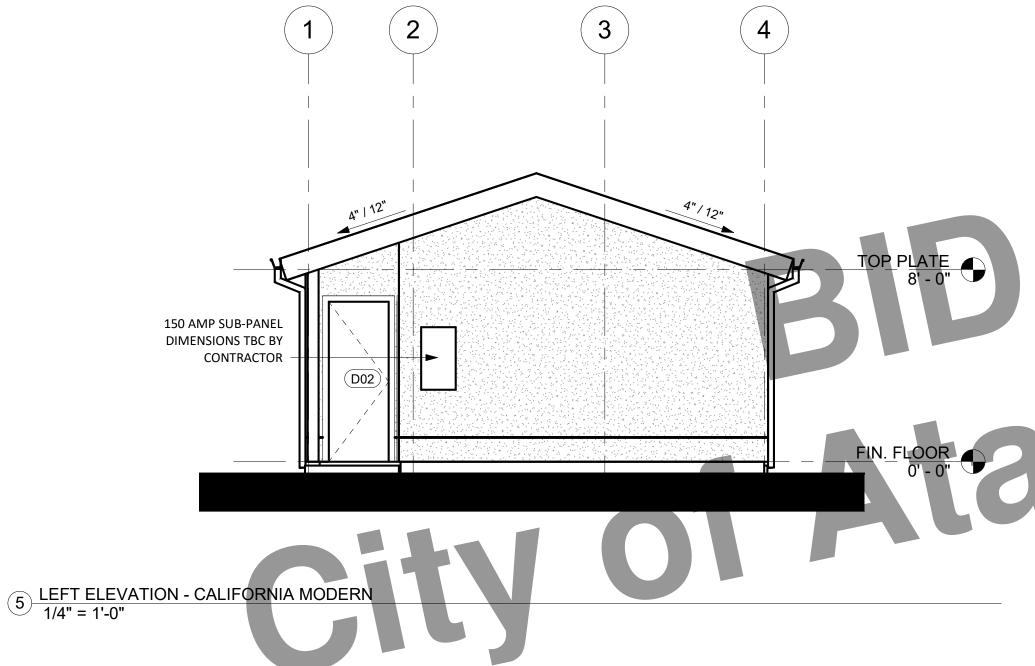
CRAFTSMAN -SECTIONS

A2.2

1 SECTION A - BACKYARD CRAFTSMAN 1/4" = 1'-0"

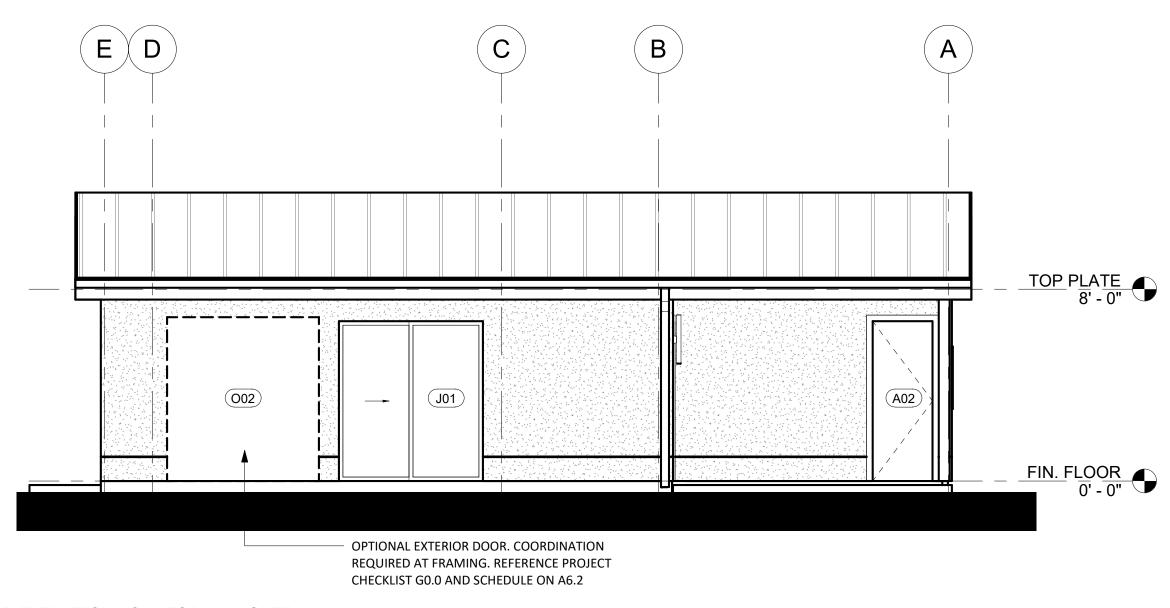


6 RIGHT ELEVATION - CALIFORNIA MODERN 1/4" = 1'-0"

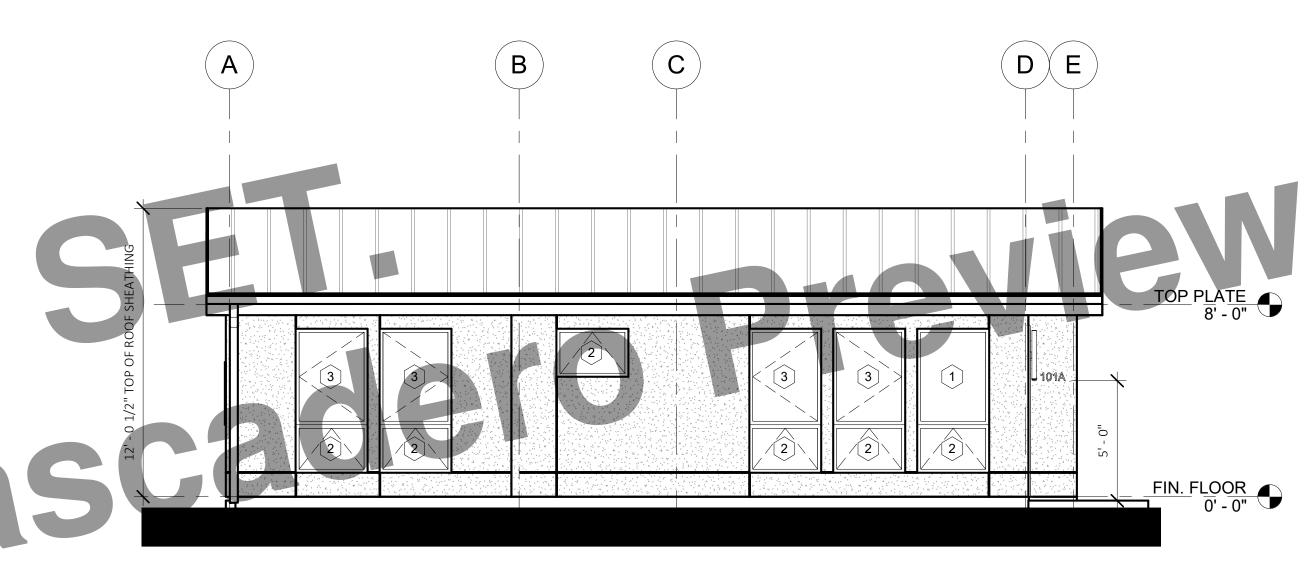




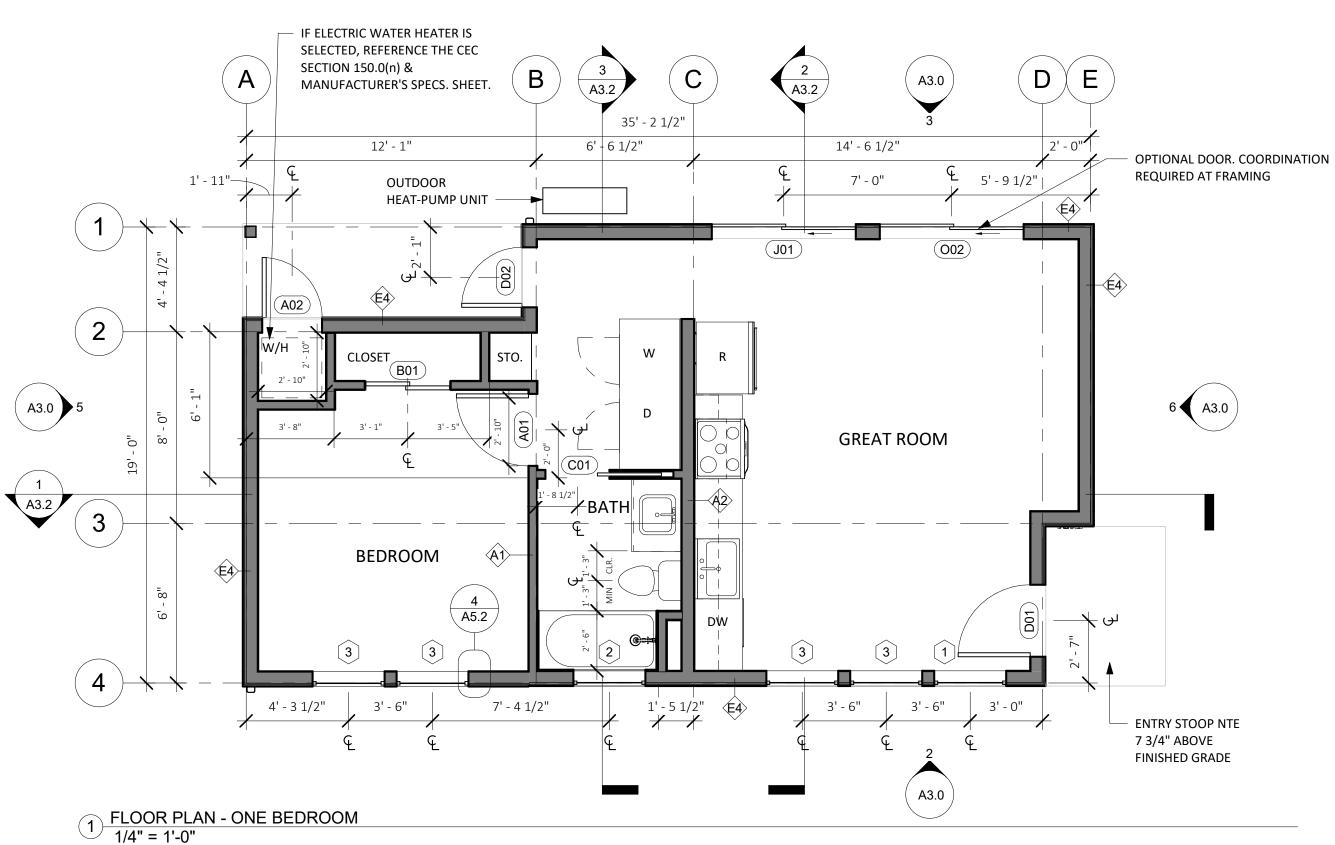
4 FRONT VIEW - ONE BEDROOM - CALIFORNIA MODERN NO SCALE



3 REAR ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN 1/4" = 1'-0"

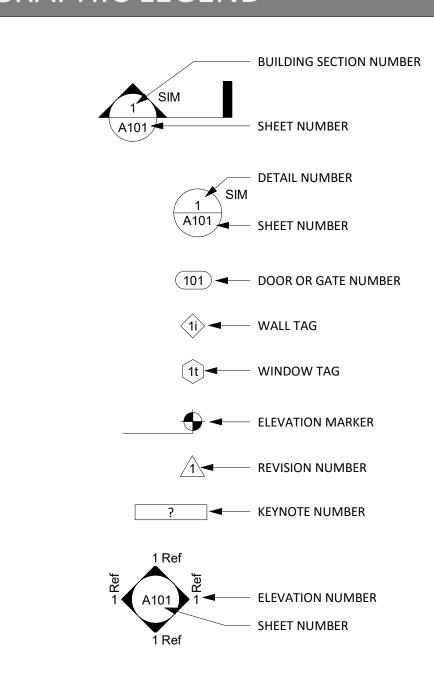


FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

—**✓**—(N) LIGHT SWITCH

GRAPHIC LEGEND



- 1. Floor Plan dimensions are to face of scheduled partition or
- centerline of structural elements, unless otherwise noted.

- 7. Where thresholds are required, provide accessible
- 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower.
- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.



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ONE BEDROOM 626 GSF

J

FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details. See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- thresholds with maximum 1/2" elevation change.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

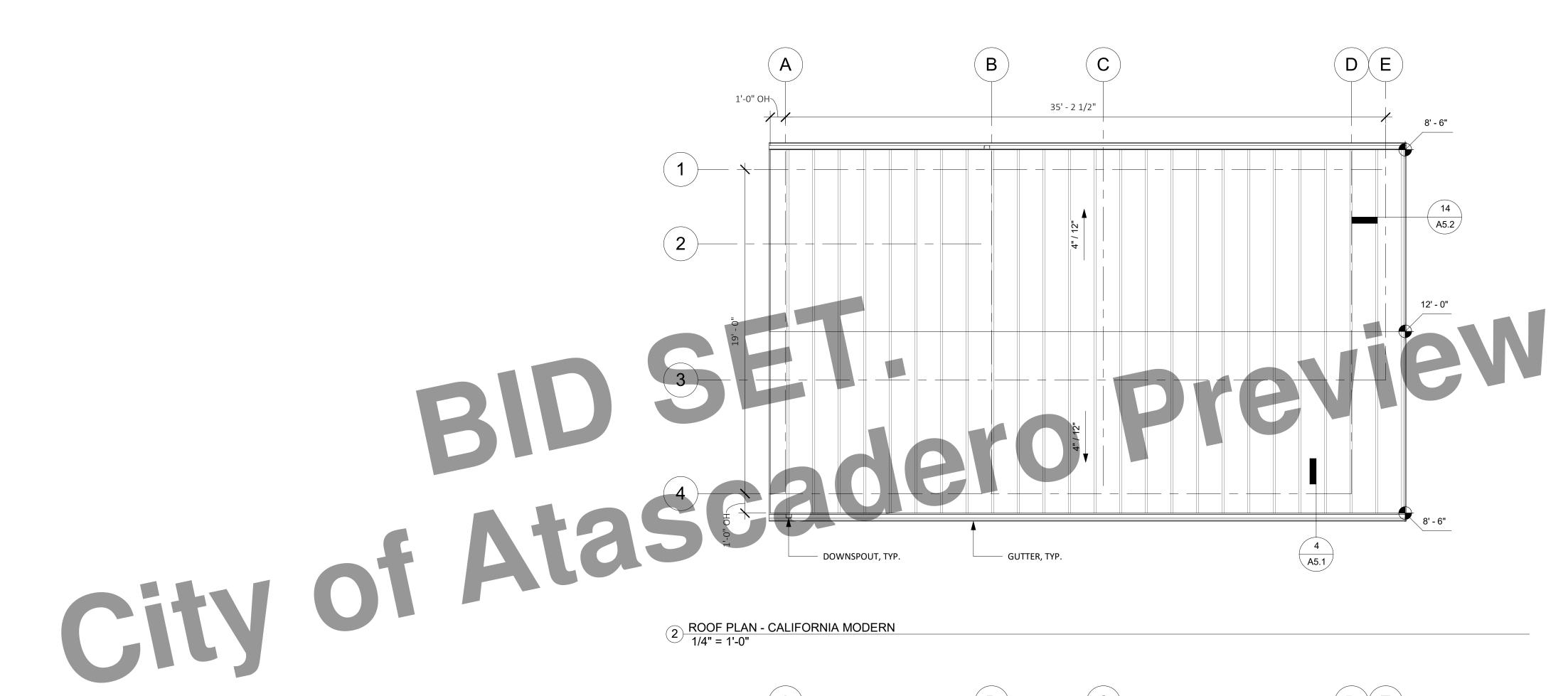
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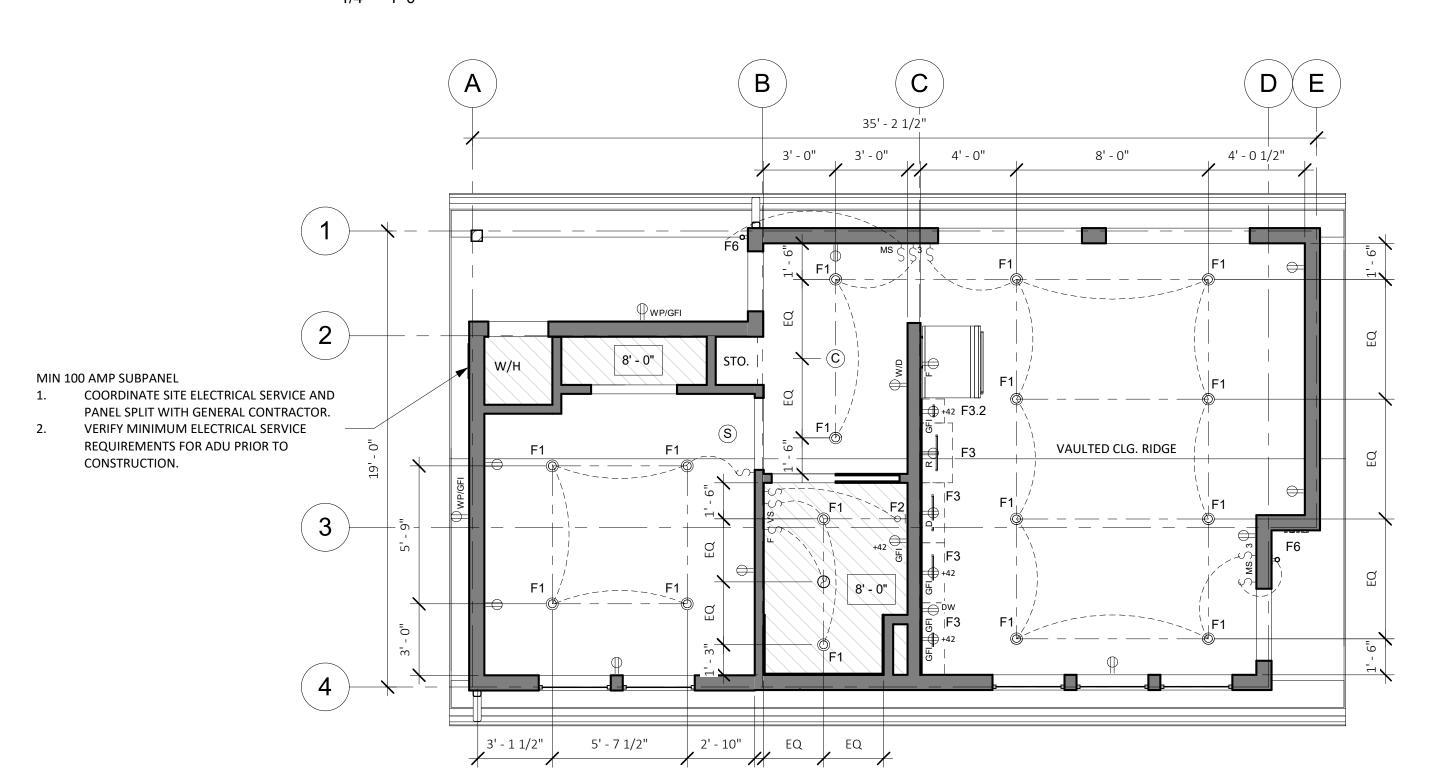
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MODERN -FLOORPLANS & **ELEVATIONS**

A3.0





1 RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- - RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH

DIMMER SWITCH

- 3-WAY SWITCH
- \$_{MS} MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- > < SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2. DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL
- TOTALS TO BE VERIFIED BY CONTRACTOR.
- 4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION

workbench

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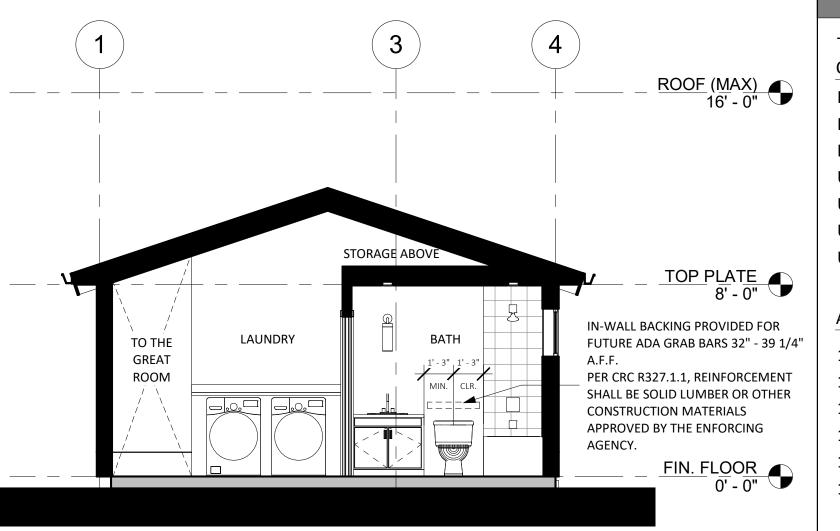
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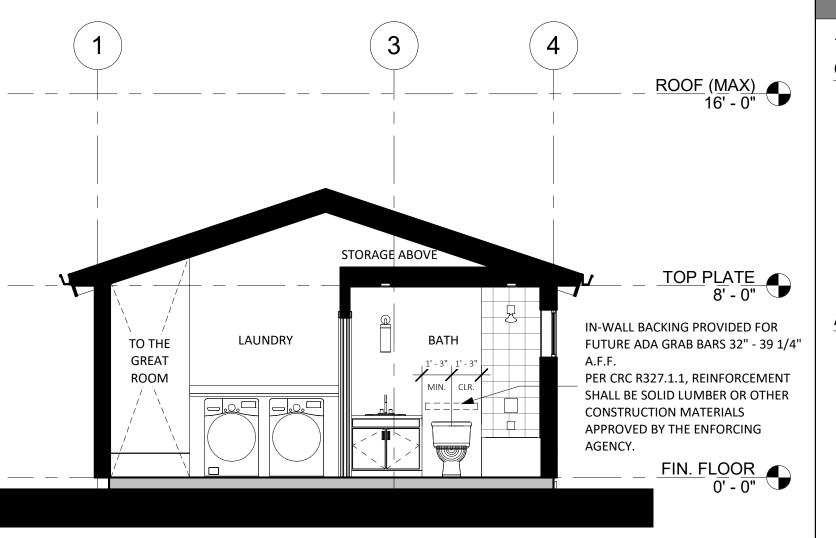
- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O.
- FINISH AT WALL
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.

- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. FOR PERSONNEL

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MODERN - ROOF PLAN & RCP

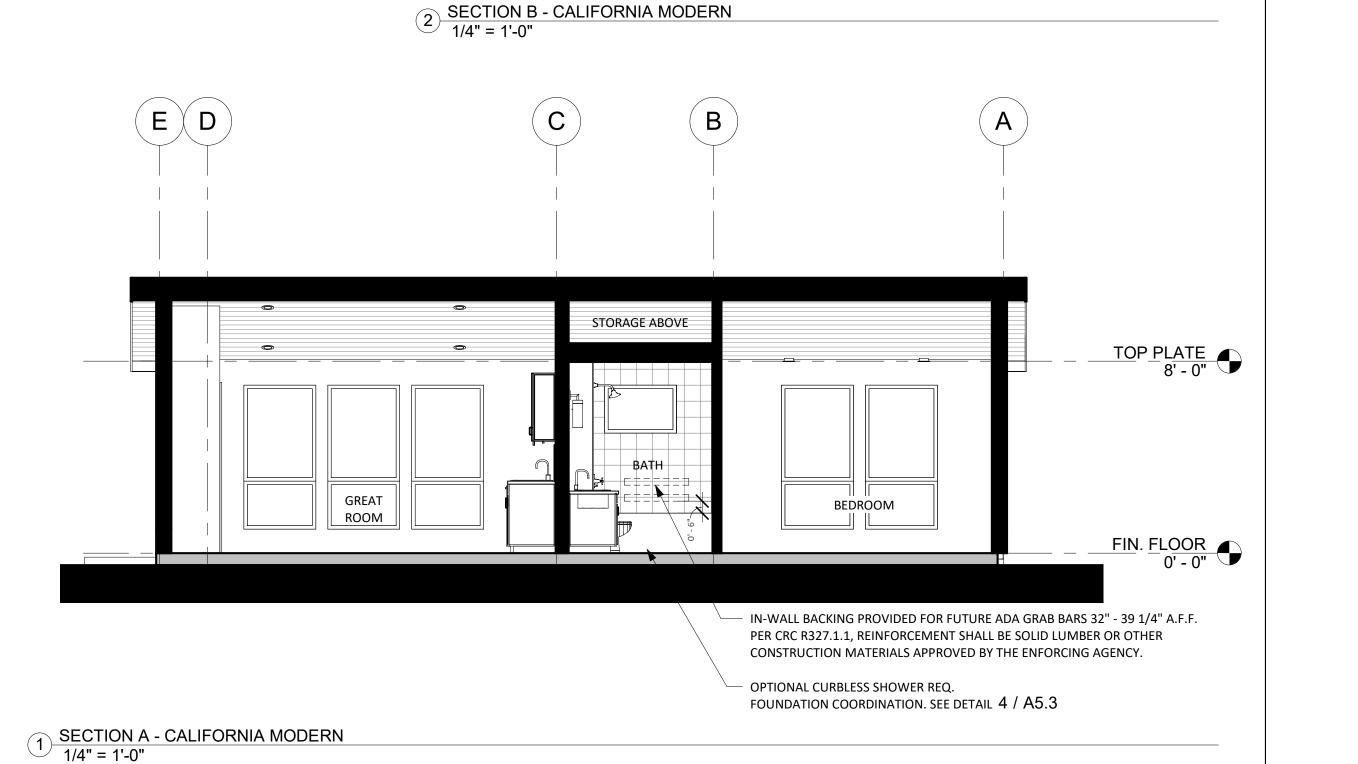




KITCHEN LEGEND TAG DESCRIPTION **CABINET WIDTH** B12 12" BASE CABINET B30 30" BASE CABINET BS30 30" BASE CABINET - SINK U12 12" UPPER CABINET U30 30" UPPER CABINET U36 36" UPPER CABINET UM30 30" UPPER CABINET - ABOVE MICROWAVE APPLIANCES 11 11 00.A4 24" DISHWASHER 11 11 00.A14 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT 11 11 00.A15 11 11 00.A17 36" REFRIGERATOR FRONT LOAD DRYER 11 31 00.A2 11 31 00.A1 FRONT LOAD WASHER PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET





3 SECTION C - CALIFORNIA MODERN 1/4" = 1'-0"



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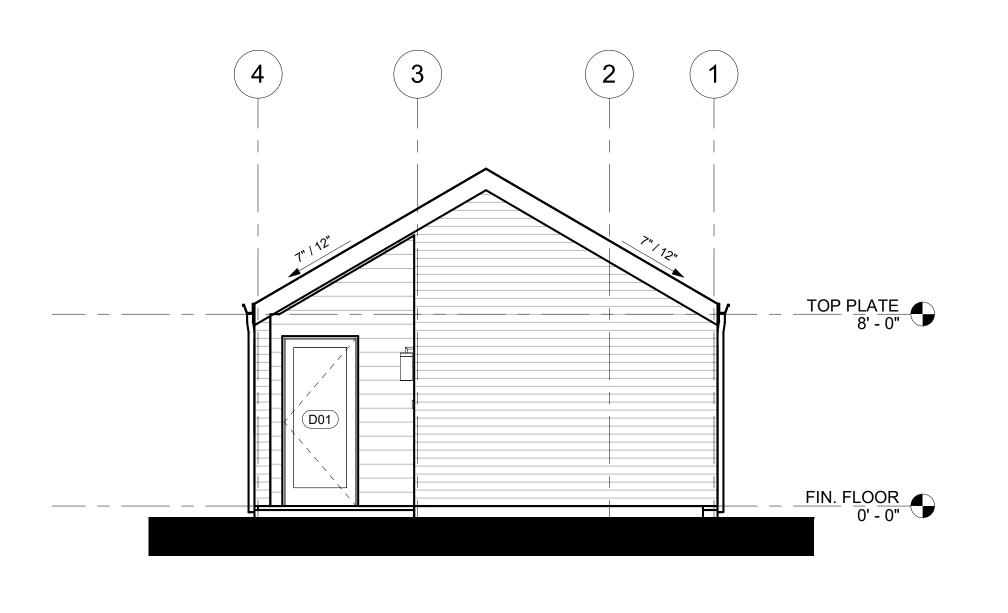
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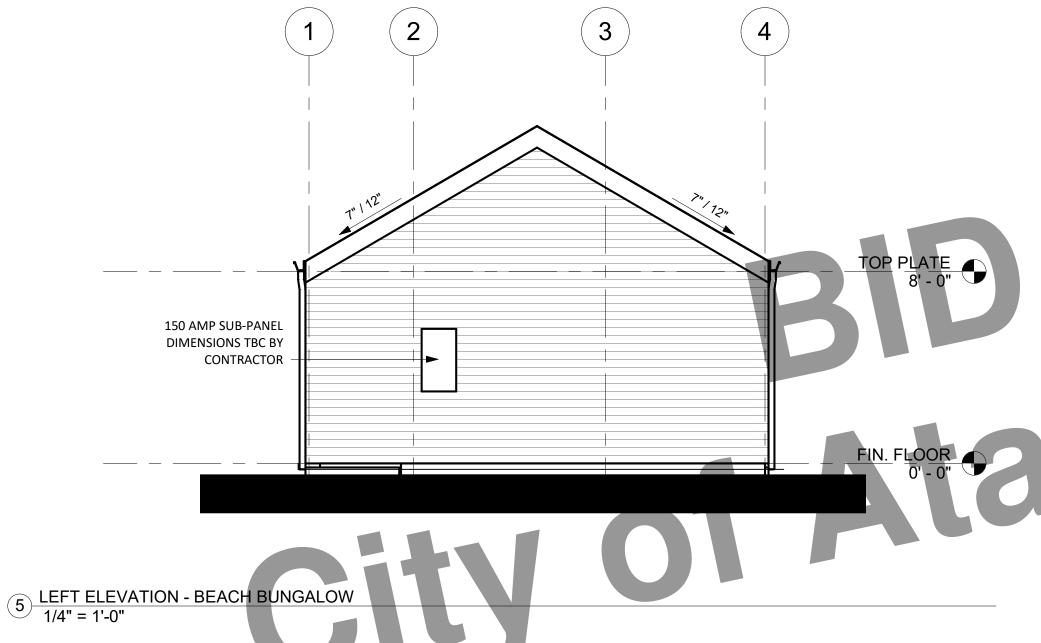
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MODERN - SECTIONS



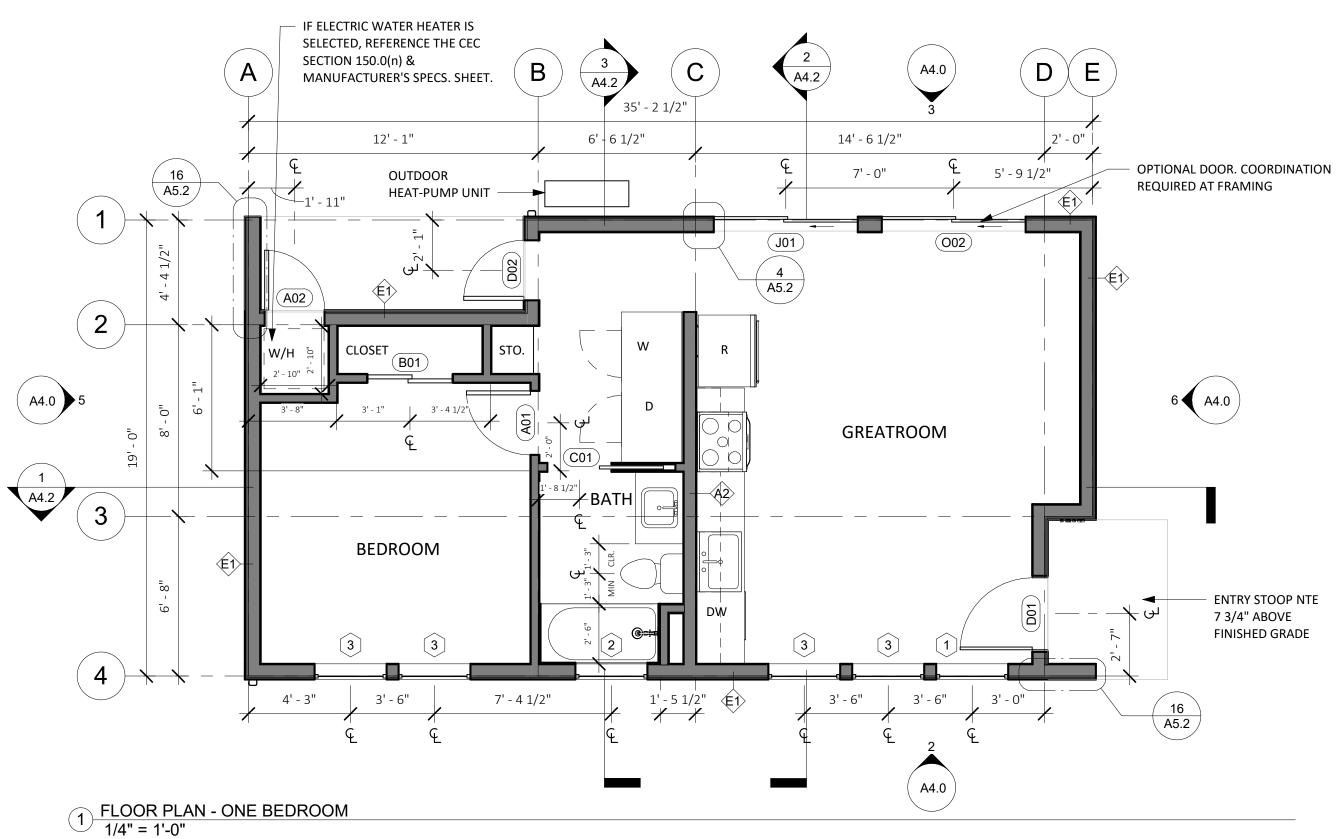
6 RIGHT ELEVATION - BEACH BUNGALOW 1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW 1/4" = 1'-0"

REAR ELEVATION - BEACH BUNGALOW

1/4" = 1'-0"



(J01)

OPTIONAL EXTERIOR DOOR. COORDINATION

REQUIRED AT FRAMING. REFERENCE PROJECT

CHECKLIST GO.O AND SCHEDULE ON A6.2

FLOORPLAN LEGEND

(N) PARTITION CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

—**∽**–(N) (N) LIGHT SWITCH

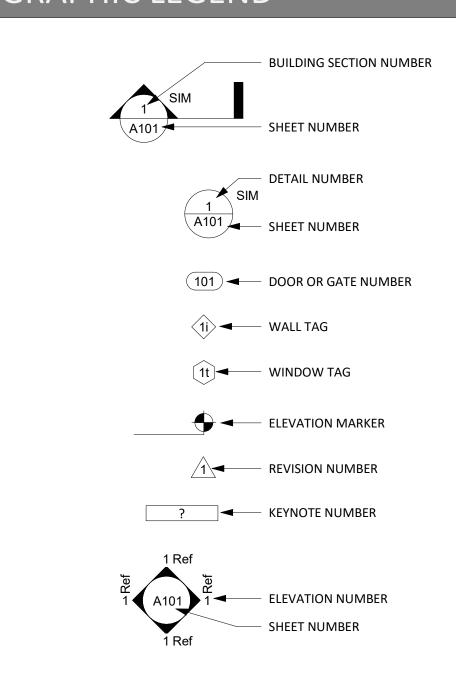
GRAPHIC LEGEND

TOP PLATE 8' - 0"

FIN. FLOOR
0' - 0"

FIN. FLOOR 0' - 0"

(A02)



- 1. Floor Plan dimensions are to face of scheduled partition or
- All INTERIOR walls are Type A1 unless otherwise noted.
- See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- 7. Where thresholds are required, provide accessible
- 8. Provide structural backing in walls to facilitate future
- installation of grab bars at toilet and shower.
- Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- 3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.

workbench

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ONE BEDROOM 626 GSF

J

FLOOR PLAN NOTES

- gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
- See elevations for transom window types and locations.
- Provide hanger rod and shelf at wardrobe closet.
- thresholds with maximum 1/2" elevation change.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- 4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

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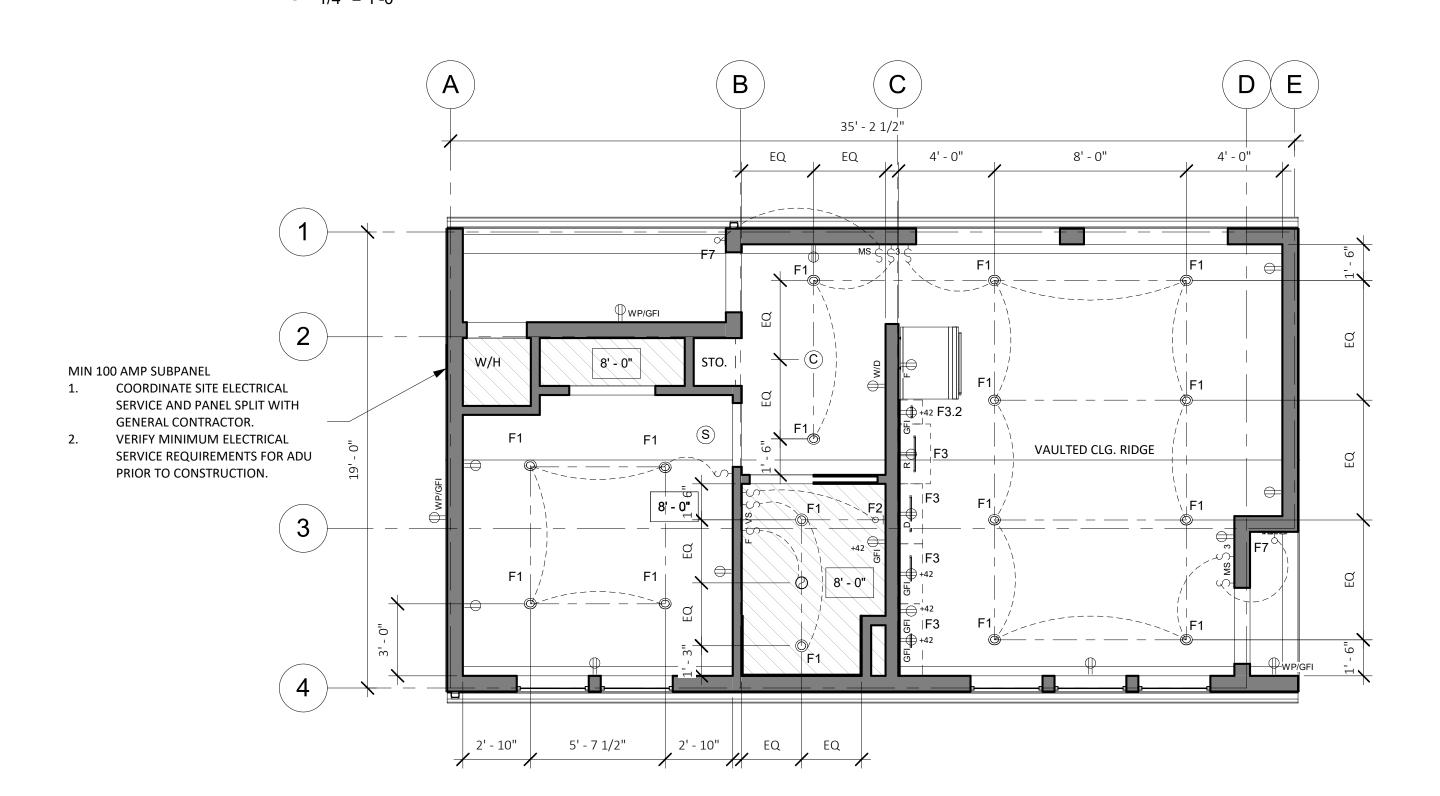
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BUNGALOW -FLOORPLANS & **ELEVATIONS**

A4.0

4 FRONT VIEW - ONE BEDROOM - BEACH BUNGALOW NO SCALE

В C35' - 2 1/2" A5.0 8' - 5" 2 DOWNSPOUT, TYP. NO OVERHANG, TYP.



1 RCP & ELECTRICAL PLAN - ONE BEDROOM 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
 - ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- \$_{MS} MOTION-SENSOR SWITCH
- ∜vs VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- > SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S **SPECIFICATIONS**

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS

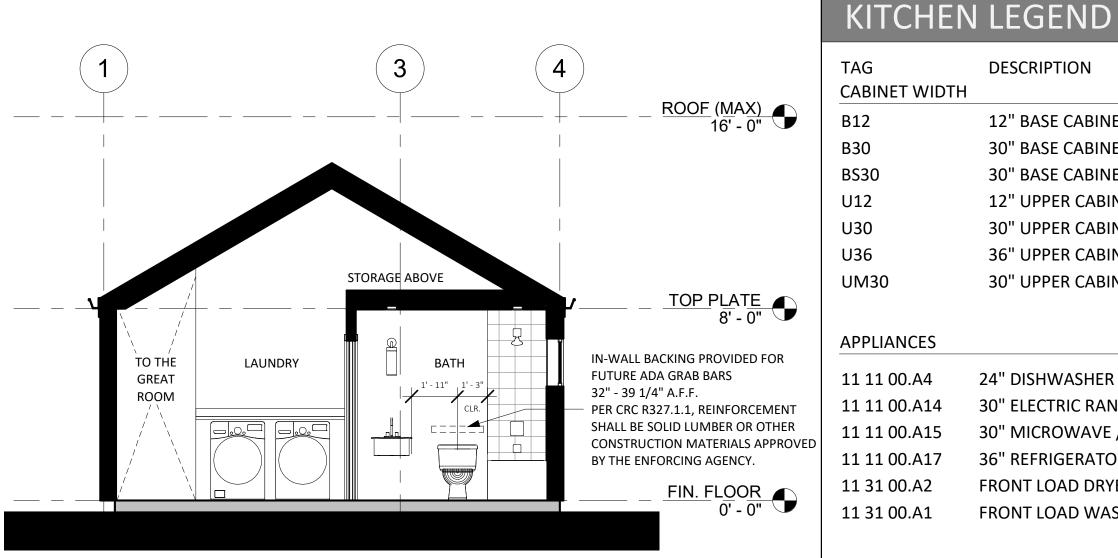
ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

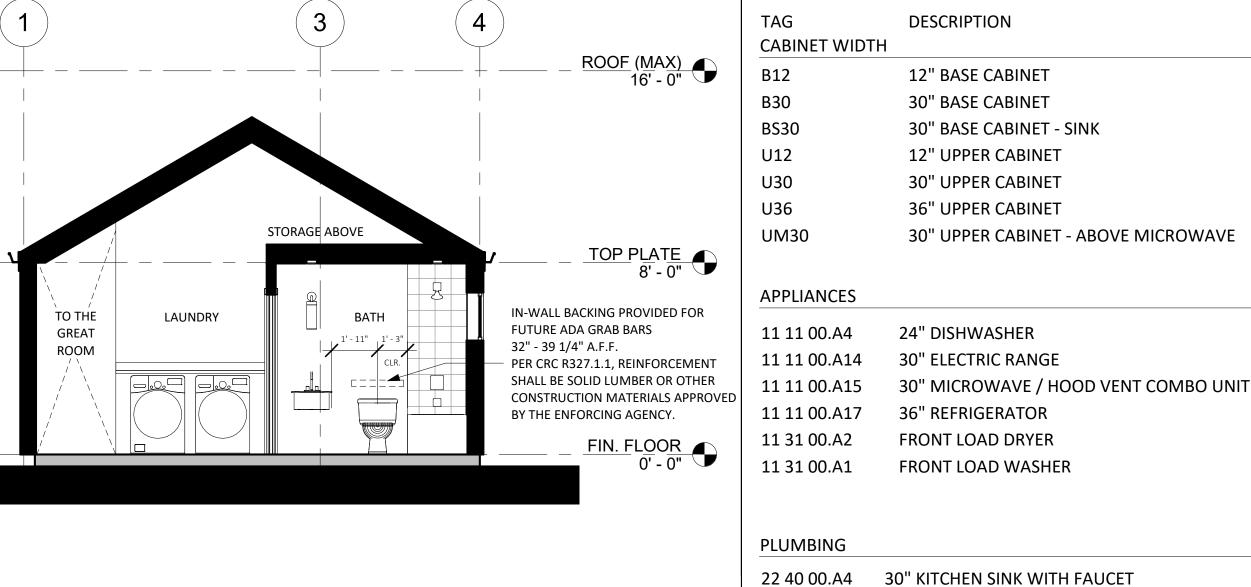
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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

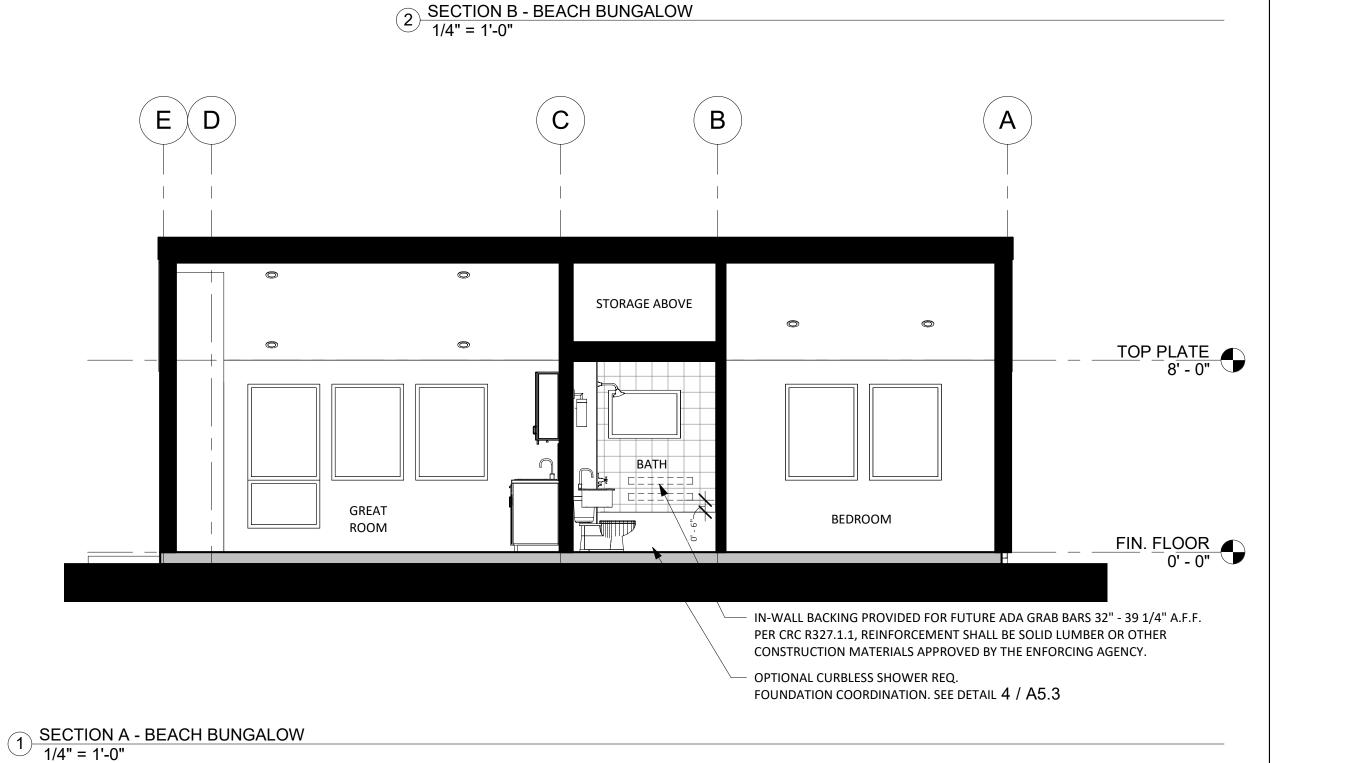
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BUNGALOW - ROOF PLAN & RCP









3 SECTION C - COASTAL BUNGALOW 1/4" = 1'-0"

workbench

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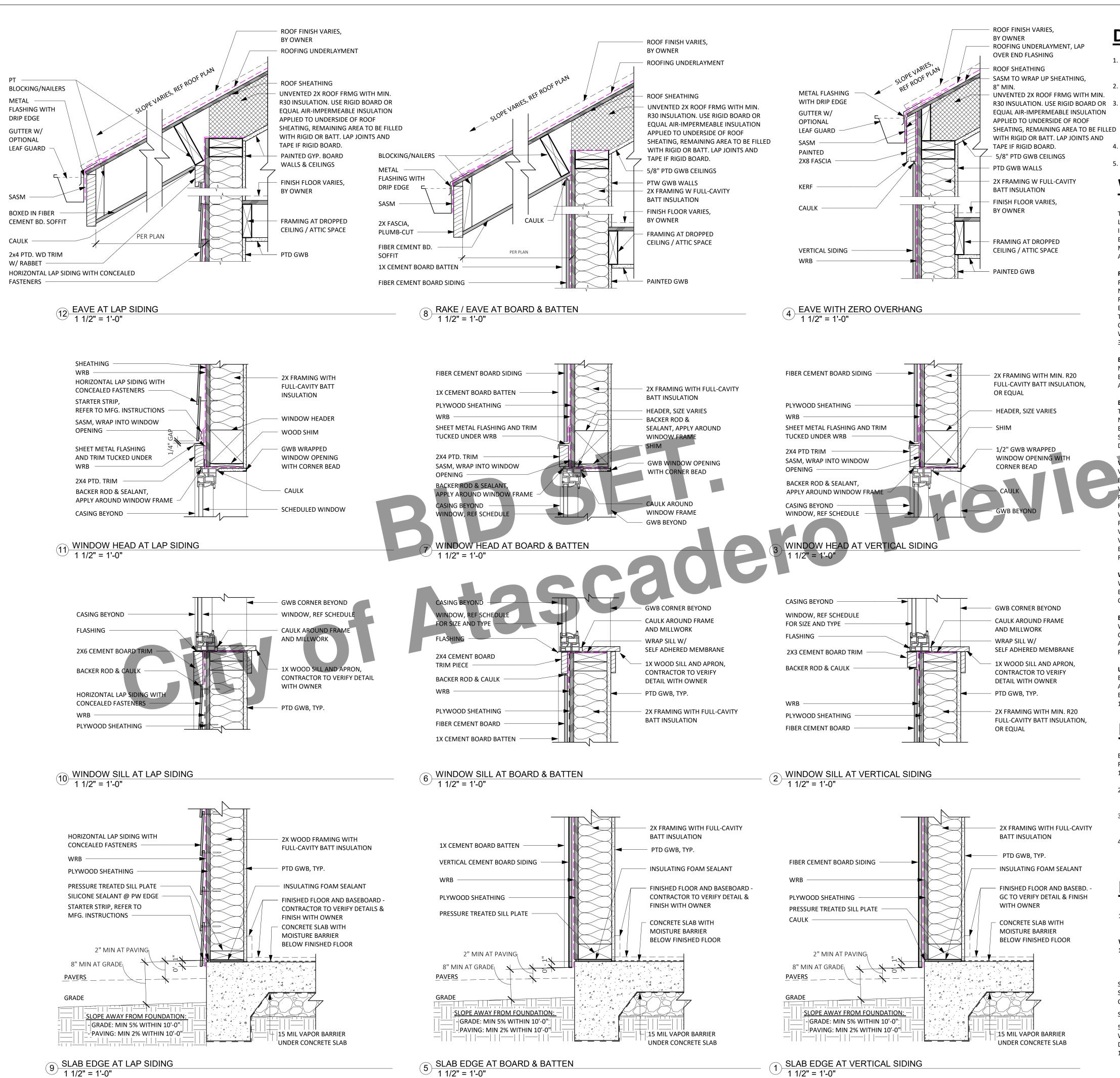
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PRINT DATE XX.XX.XXXX

BUNGALOW -SECTIONS

A4.2



(E2) BOARD & BATTEN SIDING

DETAIL GENERAL NOTES

- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
- . REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND—URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY — AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

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EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

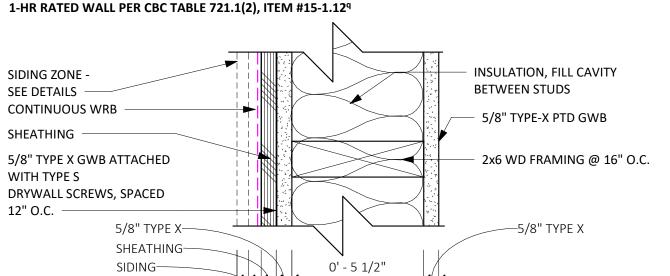
- 1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- 2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- 3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- 4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:

(E1) FIBER CEMENT VERTICAL SIDING



0' - 8 3/8"

workbench

189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM

BROCKETT /ARCHITECT

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TEMPLETON, CA 93465
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CENTRAL COAST RE-DESIGNED ADU

DATE XX.XX.XXXX

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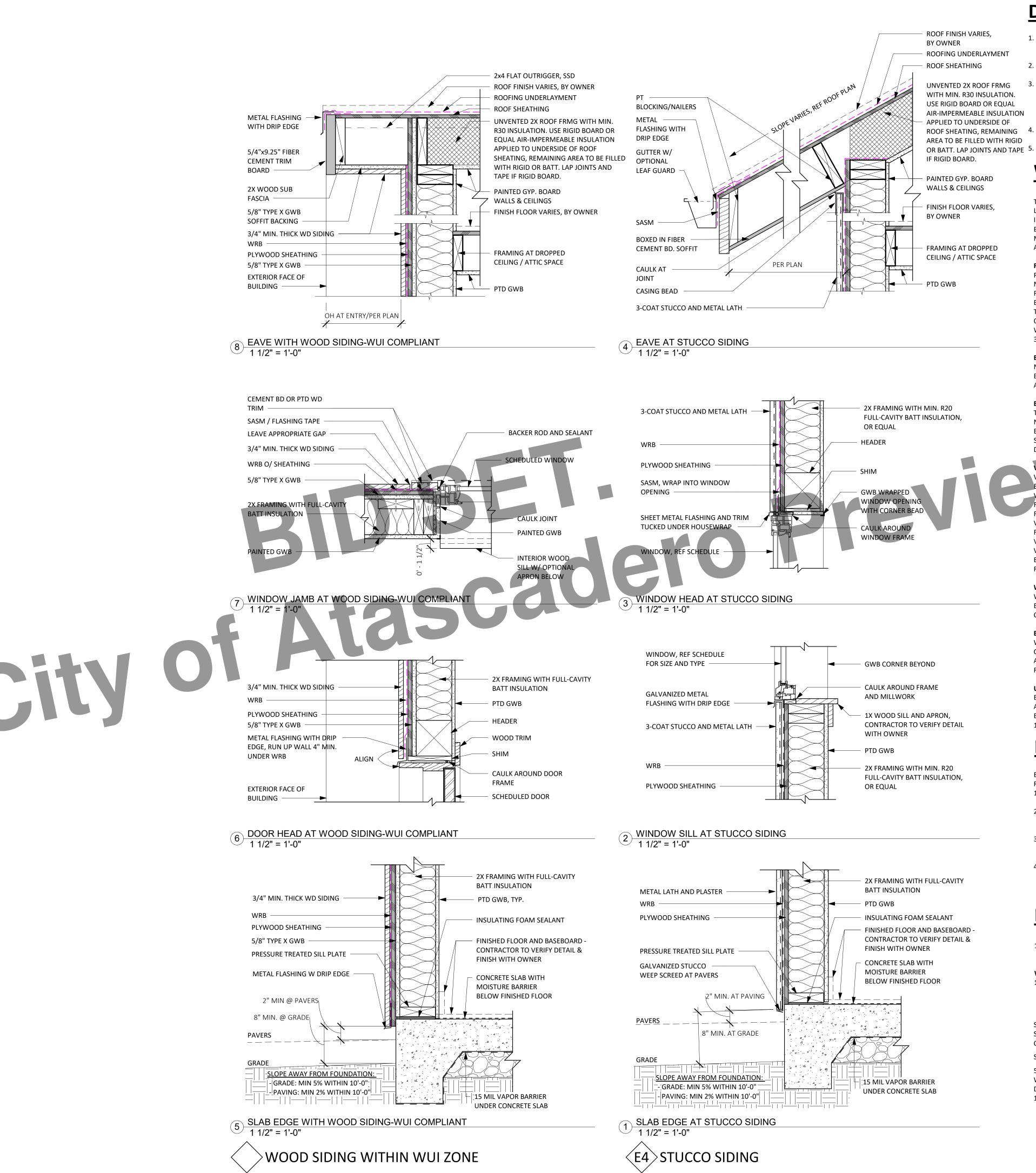
EXTERIOR WALL ASSEMBLY DETAILS

A5.0

E : AS NOTED

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<E3>FIBER CEMENT HORIZONTAL LAP SIDING



DETAIL GENERAL NOTES

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PERFORMANCE NOTES

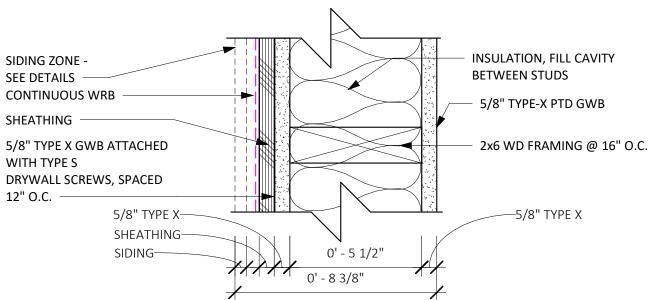
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- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- 2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- I. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12^q



NOT TO SCALE

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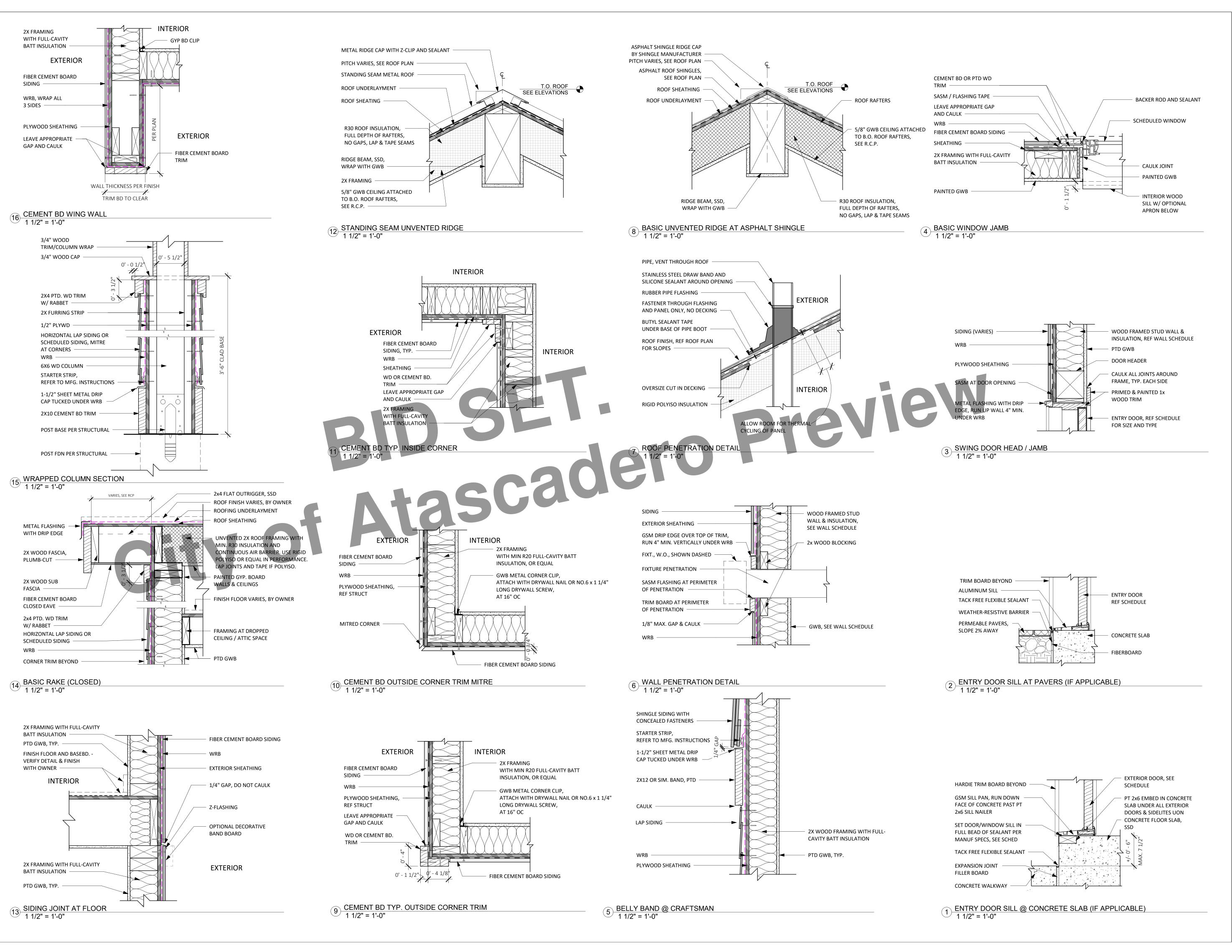
CENTRAL COAST RE-DESIGNED ADU

PRINT DATE XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

: AS NOTED



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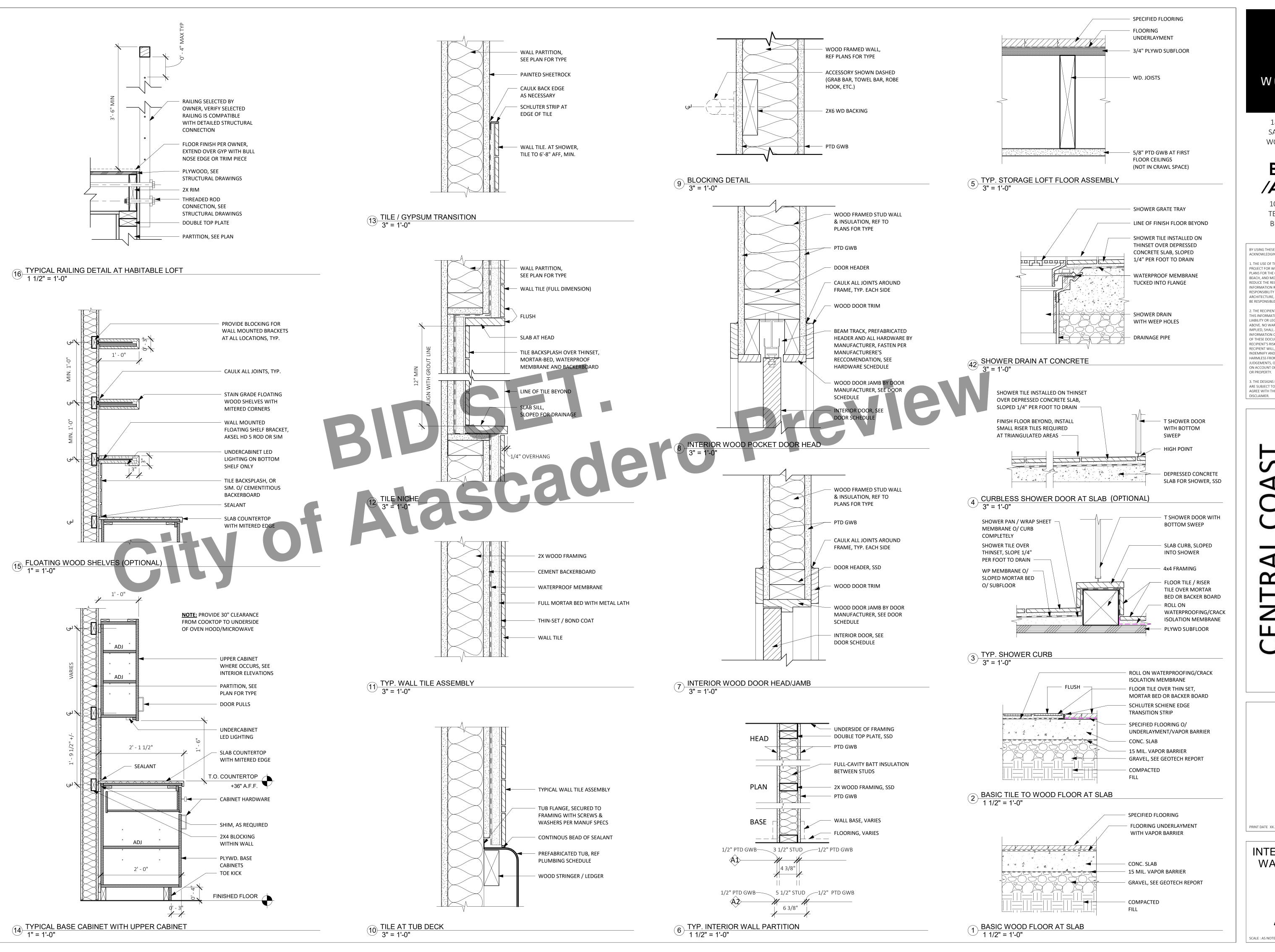
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-NTRAL COAST -DESIGNED ADL

PRINT DATE XX.XX.XXXX

EXTERIOR DETAILS

A5.2



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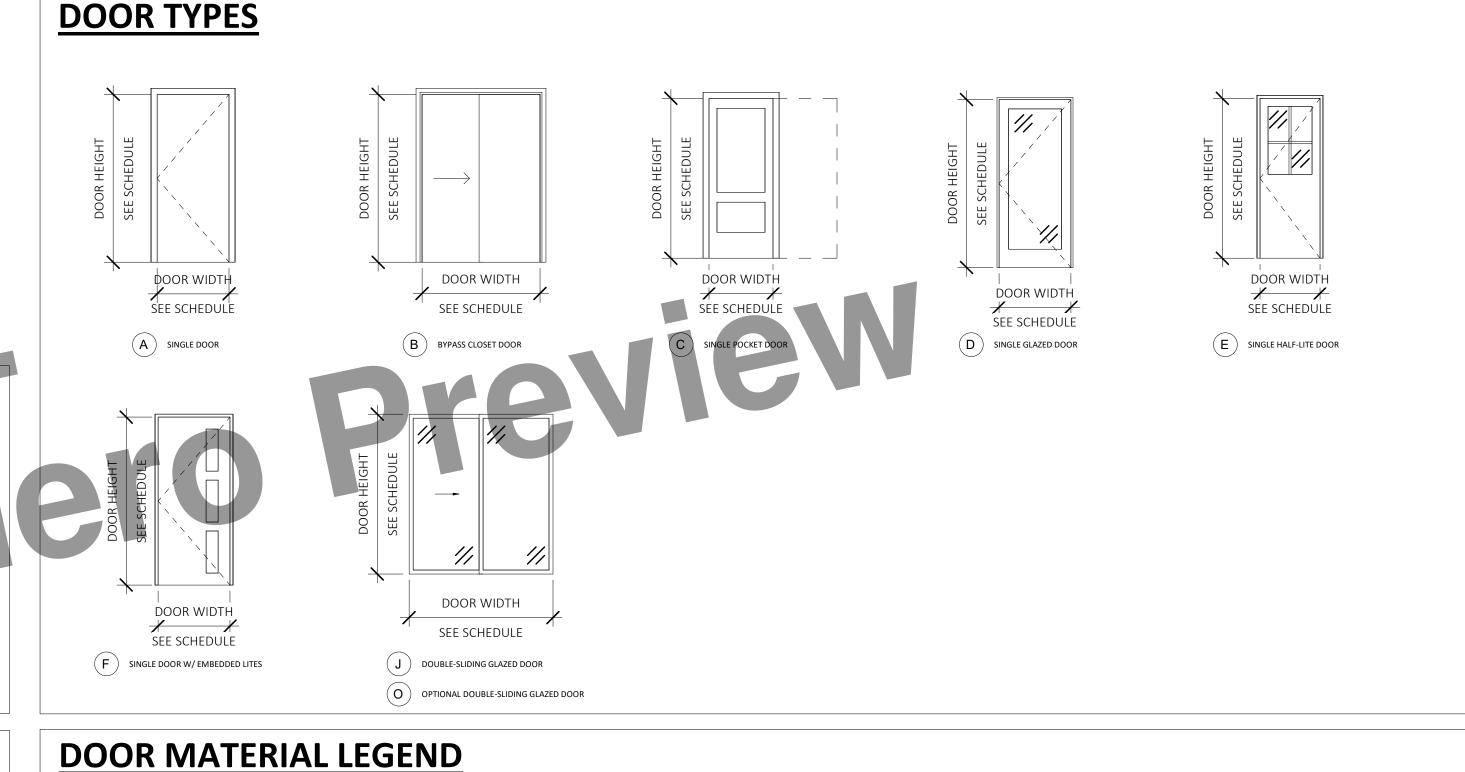
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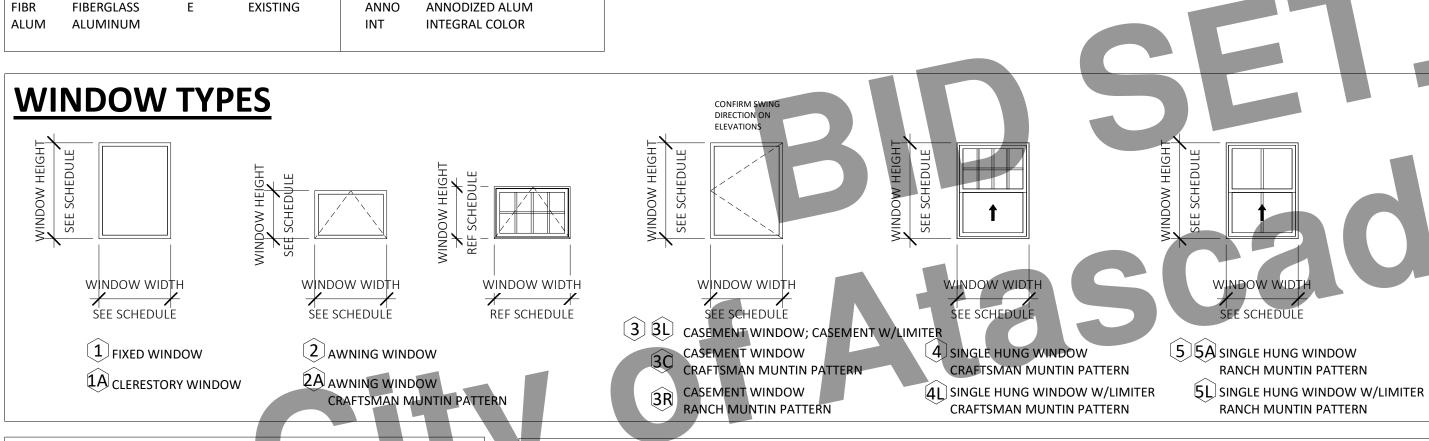
INTERIOR DETAILS & WALL PARTITIONS

A5.3



<u>D</u>	001	R SCHEDULE														
	DOOR SCHEDULE - ONE BEDROOM															
					DIMENSIONS		MATERIALS				DETAILS					
	DOOR			UNIT			DOOR	DOOR	GLAZING	1	FRAME				HARDWARE	
MAR	K TYPE	DESCRIPTION	LOCATION	WIDTH	UNIT HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	GROUP	NOTES
401	М		BEDROOM	3' - 0"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	7/A5.3	DED MAED	PER MFR	4	
A01		EXTERIOR BACK ENTRY SWING DOOR		2' - 6"	6' - 8"	0' - 2"	3C	PID	GL-2	VVD	PID	<u> </u>	3/A5.2		4	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
D02	A-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2 - 0	6 - 8	0 - 2			TEMP			3/A5.2 OR 6/A5.1(WUI)	1 '	1/A5.2 OR	1	ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.O.
												0,743.1(*****)		2/A5.2		REF. EXT. ELEVATIONS.
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3' - 0"	7' - 0"	0' - 1 3/8"			GL-2			3/A5.2 OR	3/A5.2	1/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
									TEMP			6/A5.1(WUI)		OR		ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.O.
														2/A5.2		REF. EXT. ELEVATIONS.
002	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED
									TEMP							ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.O.
104		SVTERIOR CLAZER SURING RATIO ROOF	CDEAT BOOM	CI OII	ci oli	01 4 2 /011	60145	10.17	CL 2	COLAR					252 4452	REF. EXT. ELEVATIONS.
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.O.
									IEIVIP							REF. EXT. ELEVATIONS.
A02	Α	EXTERIOR WATER HEATER CLOSET DOOR		2' - 6"	6' - 8"	0' - 2"			N/A						PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR
						_										VENTILATION
B01	В	INTERIOR BYPASS CLOSET DOOR	BEDROOM	3' - 6"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
C01	С	INTERIOR POCKET DOOR	BATH	2' - 8"	6' - 8"	0' - 1 1/2"	SC	PTD	N/A	WD	PTD	8/A5.3	PER MFR	PER MFR	3	





TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
 - GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCES ABOVE THE FLOOR. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.

ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE C GLAZING.)F TH

DO	DOOR MATERIAL		INISH	GLAZING TYPE		
НС	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGO		
SC	SOLID CORE WOOD	ST	STAINED	FACTORS, N.T.E.		
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM	CLA AUGUSTAN BUAN CLATER LOW FIGUR CLEAR		

ALUMINUM

EXISTING

	REFER	TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC	W
	FACTO	RS, N.T.E.	Н
LUM	- A	4 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Α
	GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR	F
	GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED	-
	GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT	

	WD	WOOD
	НМ	HOLLOW METAL
	ALUM	ALUMINUM
	E	EXISTING
SLUCENT		

FRAME MATERIAL

	PTD	PAINTED
L	ST	STAINED
	ANNO	ANNODIZED ALUM

FRAME FINISH

	NEI	BEDROOM 26 GSF
TRAL	ESIGI	ONE BEDRC 626 GSF
CEN	RE-DI	

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WINDOW FLASHING SEQUENCE CUT AND TEMPORARILY FOLD-UP / TURN BACK STEP 2

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

FRAME MATERIAL

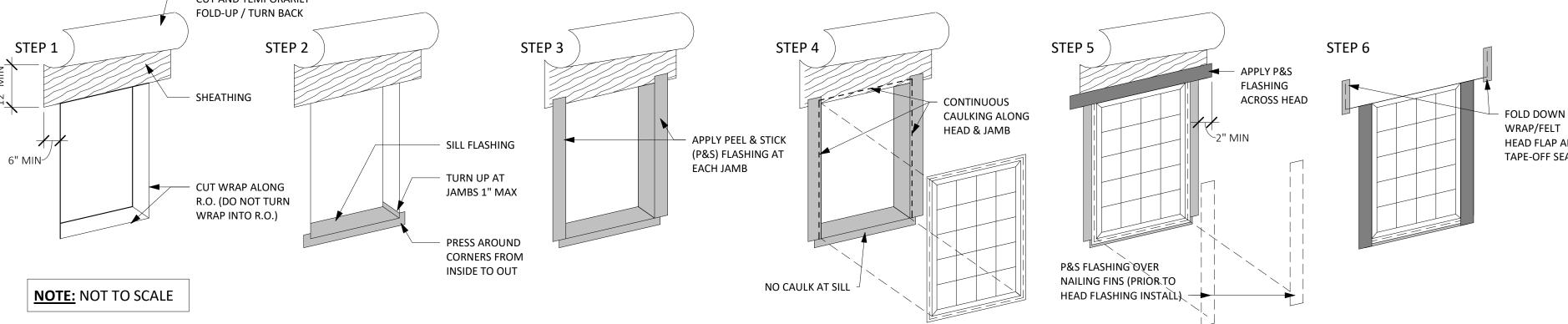
WOOD-CLAD

GLAZING TYPES

GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU

GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED

COMP COMPOSITE



	DO	OR HARDW	ARE SCHEDULE	OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS
	GROUP	DESCRIPTION	HARDW	ARE
	1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
N - AND EAMS	2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
	3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	
	4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:	

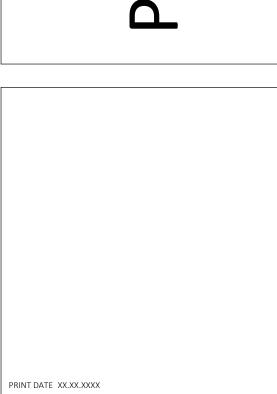
APPLIANCE SCHEDULE - ONE BEDROOM				
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

FRAME FINISH

STAINED

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			16
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			2

PLUMBING FIXTURE SCHEDULE - ONE BEDROOM						
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH		
2 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN					
2 40 00.A4	30" KITCHEN SINK/FAUCET					
	VANITY WITH SINK/FAUCET					
	TOILET					
	SHOWER OR SHOWER/TUB COMBO					



SCHEDULES- ONE **BEDROOM**

	PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES,	FIELD NAILING	TOP PLATE	MINIMUM FND PLATE	BOTTOM PLATE	ANC	HOR BOLTS	ALLOWABLE SHEAR (plf)	
IVIARK	IVIATERIAL	COLLECTORS AND TIES (EN)	(FN)	CONNECTION	THICKNESS		CONNECTION	SIZE	SPACING (O.C.)	ALLOV SHEAF
\triangle	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260	
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380	
3	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490	

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- 2. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING. 7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH
- 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.
- 9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES

	Α	BBR	REVIATION	SNC	5	
AB ABV ACI ALT APA	Anchor Bolt Above American Concrete Institute Alternate American Plywood	(E) EA EN ENGR EXT FLR FND	Existing Each Edge Nailing Engineer Exterior Floor Foundation	PLY PSF PSI PTDF RDWD REINF	Plywood Pounds per Square Foot Pounds per Square Inch Preservative Treated Douglas Fir Redwood Reinforcement	1
ARCH BD BLK(G) BLW BM BN BP BRG BTWN CBC CL CCONC CONC CONT CONT CNTR CRC	Association Architect Board Block(ing) Below Beam Boundary Nailing Base Plate Bearing Between CA Building Code Center Line Ceiling Clear, Clearance Column Concrete Connection Continuous Center CA Residential Code	FOC FOS FRMG FT FTG GALV GL GYP HDR HORIZ HT INT JST(S) MB MIN (N) OC OH OPNG	Face of Concrete Face of Stud Framing Foot or Feet Footing Galvanized Glued Laminated Gypsum Holdown Header Horizontal Height Interior Joist(s) Machine Bolt Malleable Iron Minimum New On Center Opposite Hand Opening	REQD RF RM RTW SAD SB SF SIM SPEC SQ SS STD STL SKYLT T&B T&G TOC TOW TR TYP UNO	Required Roof Room Retaining Wall See Architectural Drawings Solid Blocking Square Foot Similar Specifications Square Stainless Steel Standard Steel Skylight Top and Bottom Tongue and Groove Top of Concrete Top of Wall Threaded Rod Typical Unless Noted Otherwise	
DBL DF DIA DTL DWG	Double Douglas Fir Diameter Detail Drawing	PAF PL	Powder Acctuated Fastener Plate or Property Line	VIF Ø	Verify In Field Diameter	

STRUCTURAL NOTES AND SPECIFICATIONS

A. DESIGN CRITERIA

- 1. CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- FLOOR/LIVE LOAD/=40 PSF / 3. ROOF LIVE LOAD = 20 PSF

5. SEISMIC DESIGN DATA:

- 4. WIND DESIGN DATA: V_{ULT} = 91 MPH (V_{ASD} = 71 MPH), EXPOSURE D
- SITE CLASS = D (DEFAULT) S_S=1.096, S₁=0.403
- SEISMIC DESIGN CATEGORY = D SEISMIC FORCE RESISTING SYSTEM:

LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5 B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- 3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- 5. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- 7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

- OTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS .

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318,

E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318,

F. WOOD FRAMING

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED. PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- 5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

SILLS	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADER	SUP TO 4x - DF NO. 2
, , , , , ,	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTE
POSTS AND DOUBLE TOP PLATES	DF NO. 1
GLULAM BEAMS	DF 24F-V4

- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 4. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

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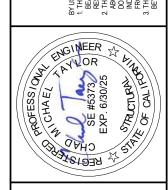
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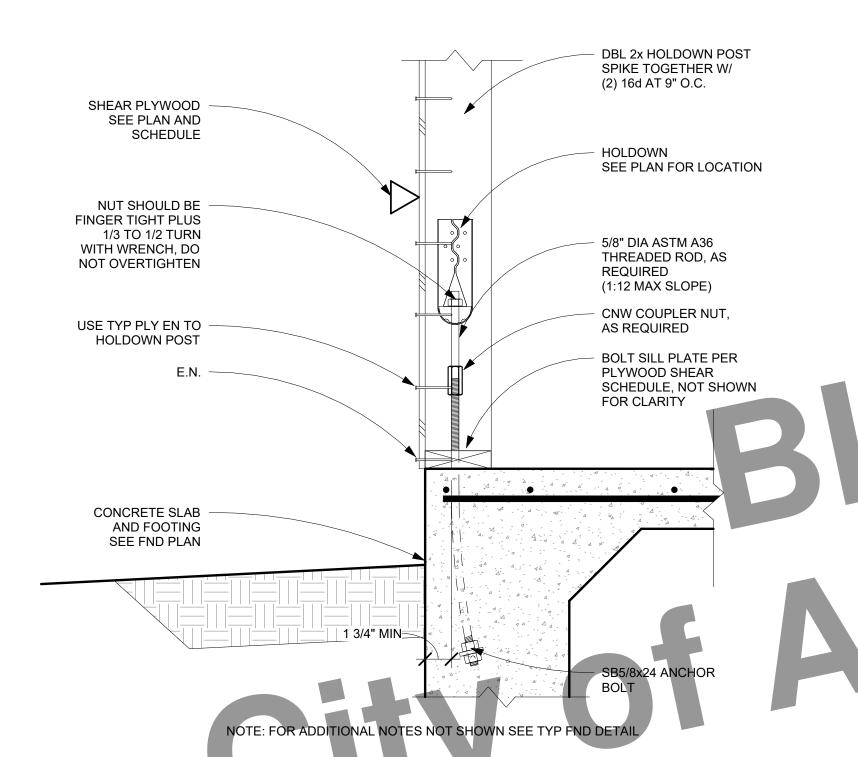
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DATE: 11-18-2022

21091 JOB NO: SHEET

NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB



STUD PANEL EDGES

BLOCKING AT OPENING

EN AROUND ALL **OPENINGS**

WINDOW OPENING

EN: TYP STAGGER

NAILS AROUND

PANEL EDGES

BLOCKING AT

HORIZONTAL

EDGES; TYP

SILL PLATE

2x STUDS TYP

1. INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.

FRAMING

FULL HT EN AT ALL

HOLDOWNS POSTS

HOLDOWN ANCHORS AND POST WHERE OCCURS; SEE

FOUNDATION PLAN SHEET

FINISH FLOOR

2. (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOTCOUNT AS A SILL BOLT.

STUD 1/2" MIN

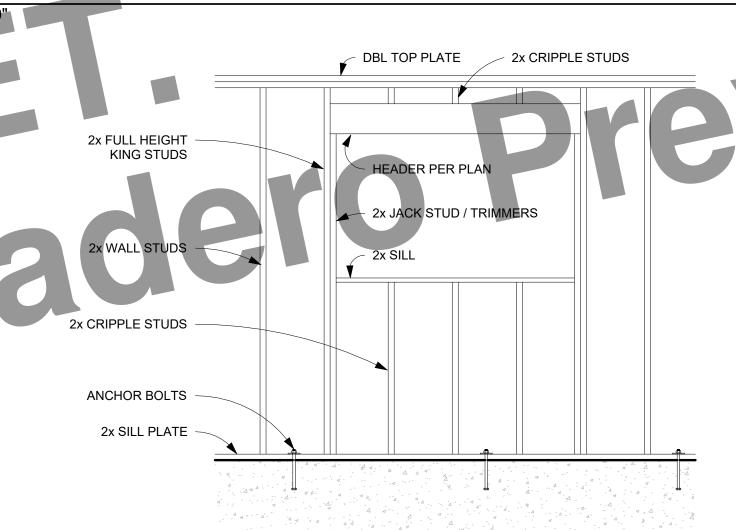
- 3. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL
- 4. SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.

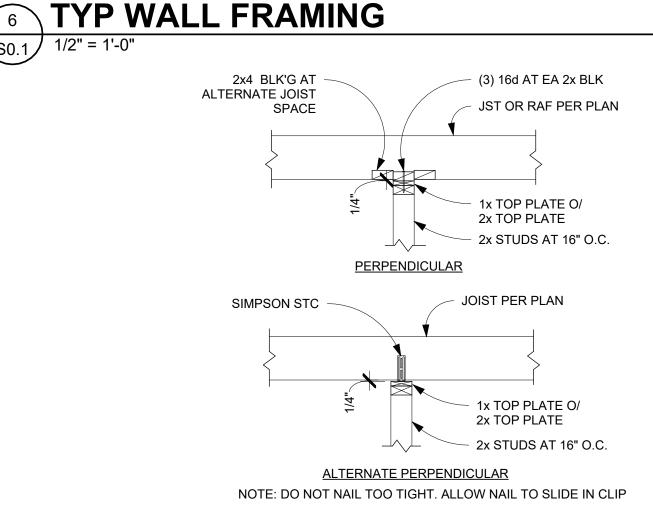
OR NAILING SEE

SHEAR SCHEDULE

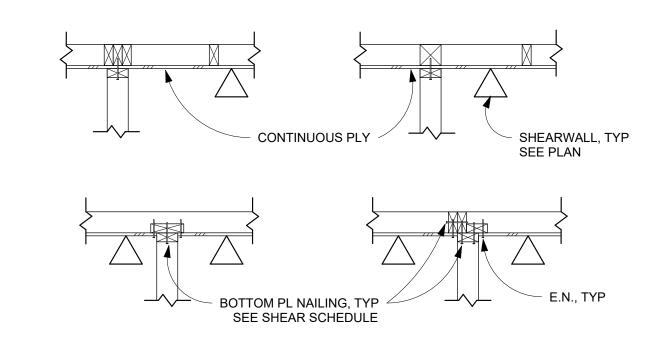
- 5. SEE PLAN FOR SHEARWALL SCHEDULE.
- 6. THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY

TYP SHEAR WALL FRAMING

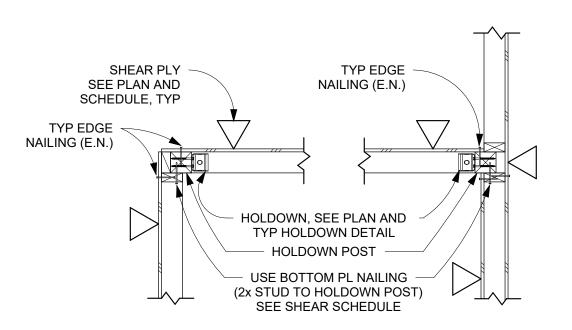




NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP S_{0.1} 3/4" = 1'-0"

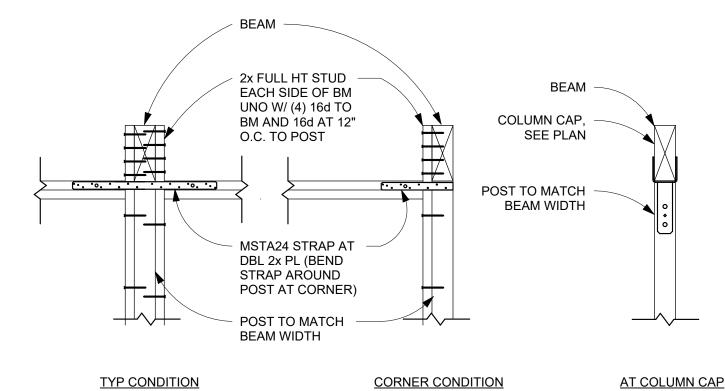


CONT SHEAR WALL PLAN DETAIL

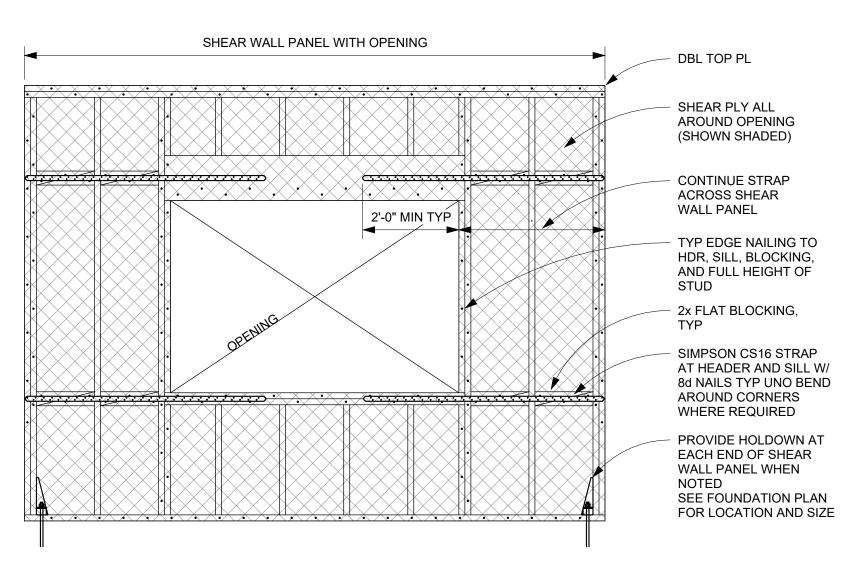


INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL

3/4" = 1'-0"



TYPICAL POST TO BEAM CONN



 PLACE STRAPS OVER PLYWOOD 2. HOLDOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED, SEE FRAMING PLAN

STRAP AROUND OPENING

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SHEET S_{0.1}

TYP HOLDOWN AT INTERIOR FOOTING S_{0.1} 1 1/2" = 1'-0"

TYP HOLDOWN AT PERIM FTG

SHEAR PLYWOOD SEE PLAN AND SCHEDULE

NUT SHOULD BE

FINGER TIGHT PLUS 1/3 TO 1/2 TURN

WITH WRENCH, DO

NOT OVERTIGHTEN

USE TYP PLY EN TO

HOLDOWN POST

SB5/8x24 ANCHOR

DBL 2x HOLDOWN POST SPIKE TOGETHER W/ (2) 16d AT 9" O.C.

SEE PLAN FOR LOCATION

5/8" DIA ASTM A36

REQUIRED (1:12 MAX SLOPE) CNW COUPLER NUT,

AS REQUIRED

FOR CLARITY

THREADED ROD, AS

BOLT SILL PLATE PER PLYWOOD SHEAR

SCHEDULE, NOT SHOWN

NOTE: FOR ADDITIONAL NOTES NOT SHOWN SEE INTERIOR FOUNDATION DTL

ONE BEDROOM STUDIO ROOF FRAMING PLAN

ROC	ONEBED OF & CEILING FRAMING PLAN KEYNOTES
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CELING FRAMING NOTES
5	6x6 RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC66 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN

LEGEND

1 KEYNOTE TAG,
SEE KEYNOTE TABLES

HOLDOWN TAG,
SEE HOLDOWN SCHEDULE

11-0"
SHEARWALL TAG

TAG SEE DETAIL 4 /

WALL ABOVE

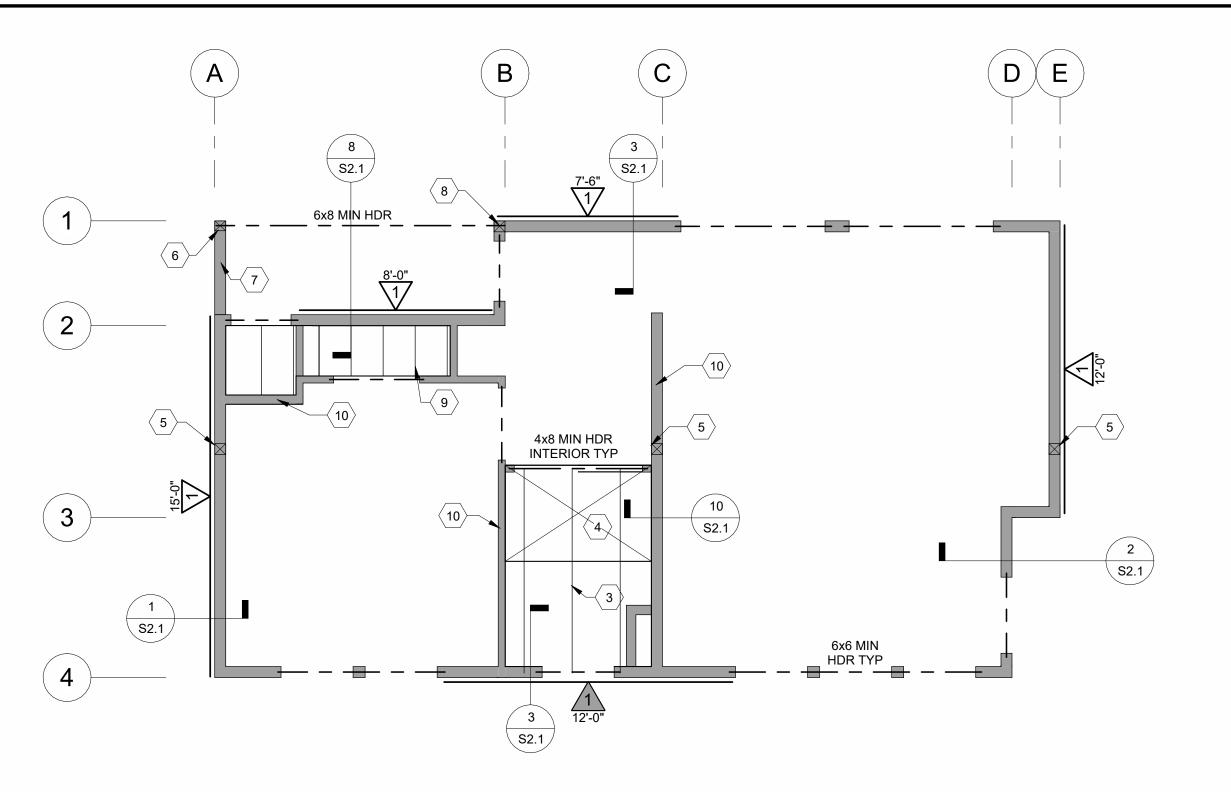
WALL BELOW

FOUNDATION PLAN NOTES

- 1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED
 OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S
 PLANS BEFORE BEGINNING WORK.
- 3. HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- 4. INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- 5. CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONEBED FOUNDATION PLAN KEYNOTES				
NOTE NUMBER	NOTE TEXT			
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.			
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL			
3	POST ABOVE			
4	6x6 POST WITH PBS66 OR CBS66			
5	ISOLATED PEDESTAL AND FOOTING			
6	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW			
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD			

☐ HOLDOWN SCHEDULE							
HOLDOWN MARK MODEL POST SIZE ANCHOR TYPE DETAIL							
Α	HDU2	DBL 2x6	SB5/8x24	9/S0.1			
В	HDU4	DBL 2x6	SB5/8x24	9/S0.1			
С	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/\$0.1			
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1			
Е	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1			
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1			



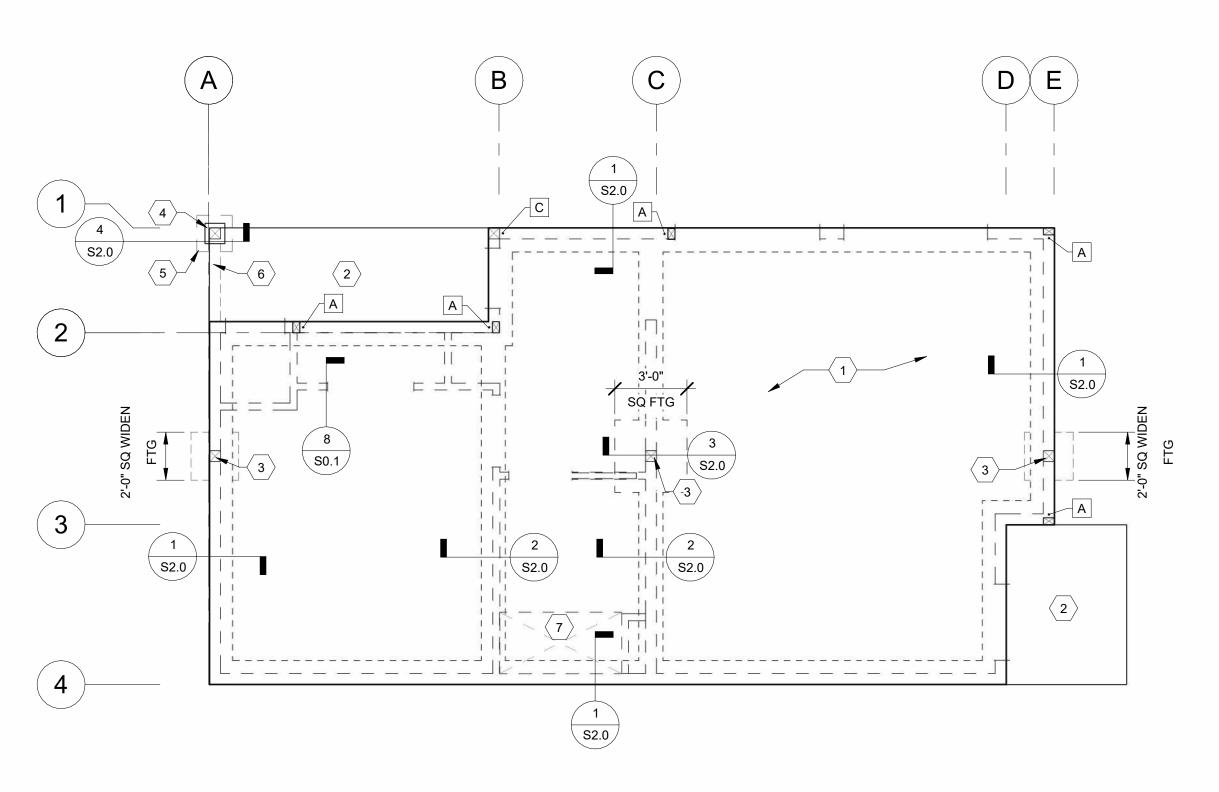
ONE BEDROOM STUDIO CEILING FRAMING PLAN

1/4" = 1'-0

ROOF AND CEILING/LOFT FRAMING NOTES

. SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES

- 2. ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24, FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- 3. ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- 4. SHEAR WALLS ARE INDICATED BY 💢 ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDU
- 5. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE 1.
- 6. CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.



ONE BEDROOM STUDIO FOUNDATION PLAN

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CM CM Taylor Editor Editor Structural Engineering, Inc., 4245 Capitola Rd.

SENTERNAL RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

AINTON IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THE WAS PREPARED FOR (THE PRE-DESIGNED AUD PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADER ACKNOWLEDGING, AROUND FOR THE CITIES OF ARROYO GRANDE, ATASCADER AROUND FOR THE NEW AND THE UNIVERSITY TO VERIEN AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND PACET, WORKBERCH, RROCKET THIS INFORMATION WILL BE AT THER SOLE BESK AND WANT LARD INFORMATION WILL BE AT THE ROLE BESK AND WANT LARD INFORMATION WILL BE A SEX AND WANT LARD INFORMATION WILL BE AT THE ROLE BESK AND WANT LARD INFORMATION WILL BE AT THE ROLE BESK AND WANT LARD INFORMATION WILL BE AT THE ROLE BESK AND WANT LARD INFORMATION WILL BE AND WANT LARD INFORMATION WILL BE AND WANT AND WANT LARD WANT

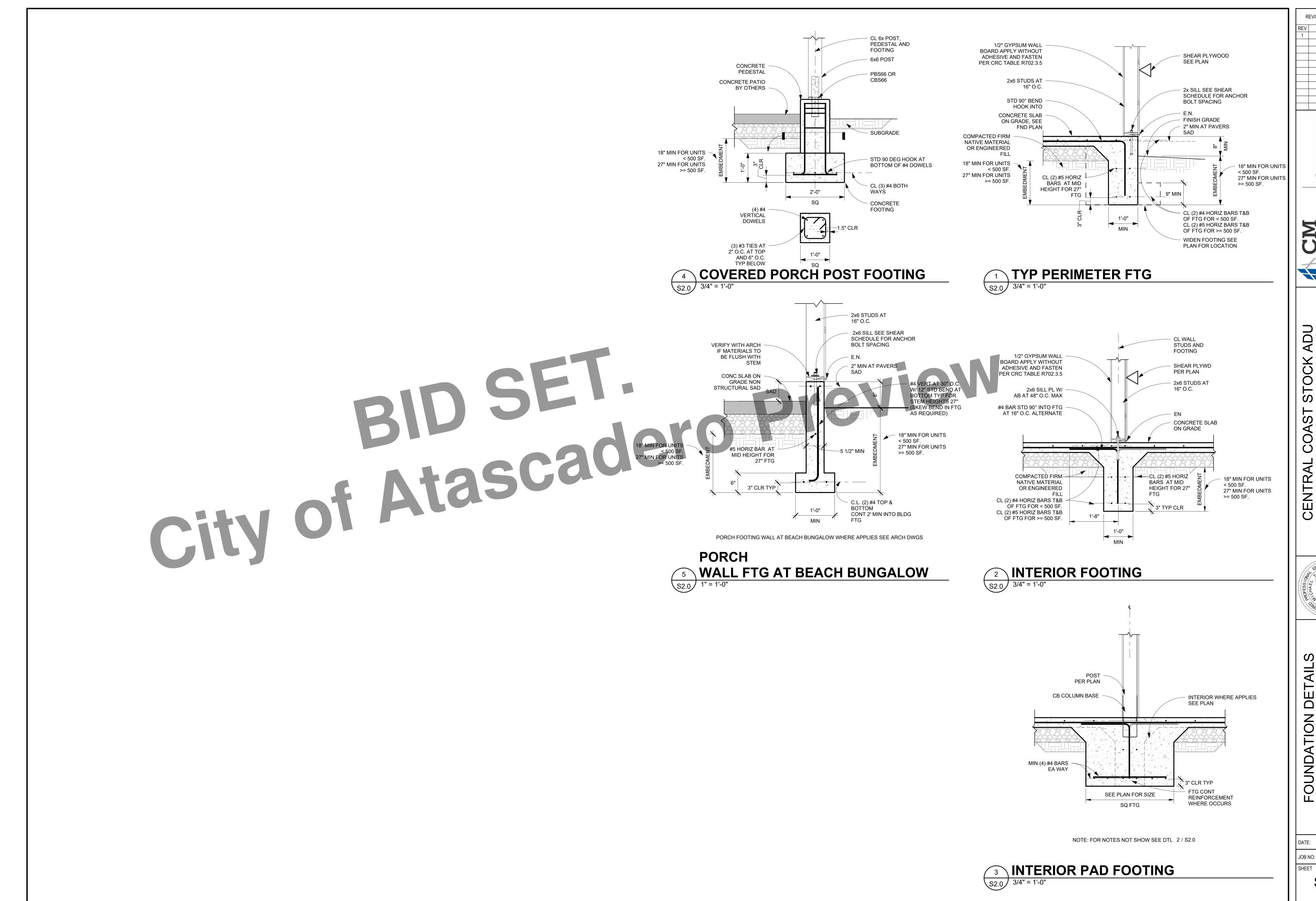
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ONE BEDROOM ROOF/CEILING FRAMING AND FOUNDATION PLAN

DATE: 11-18-2022

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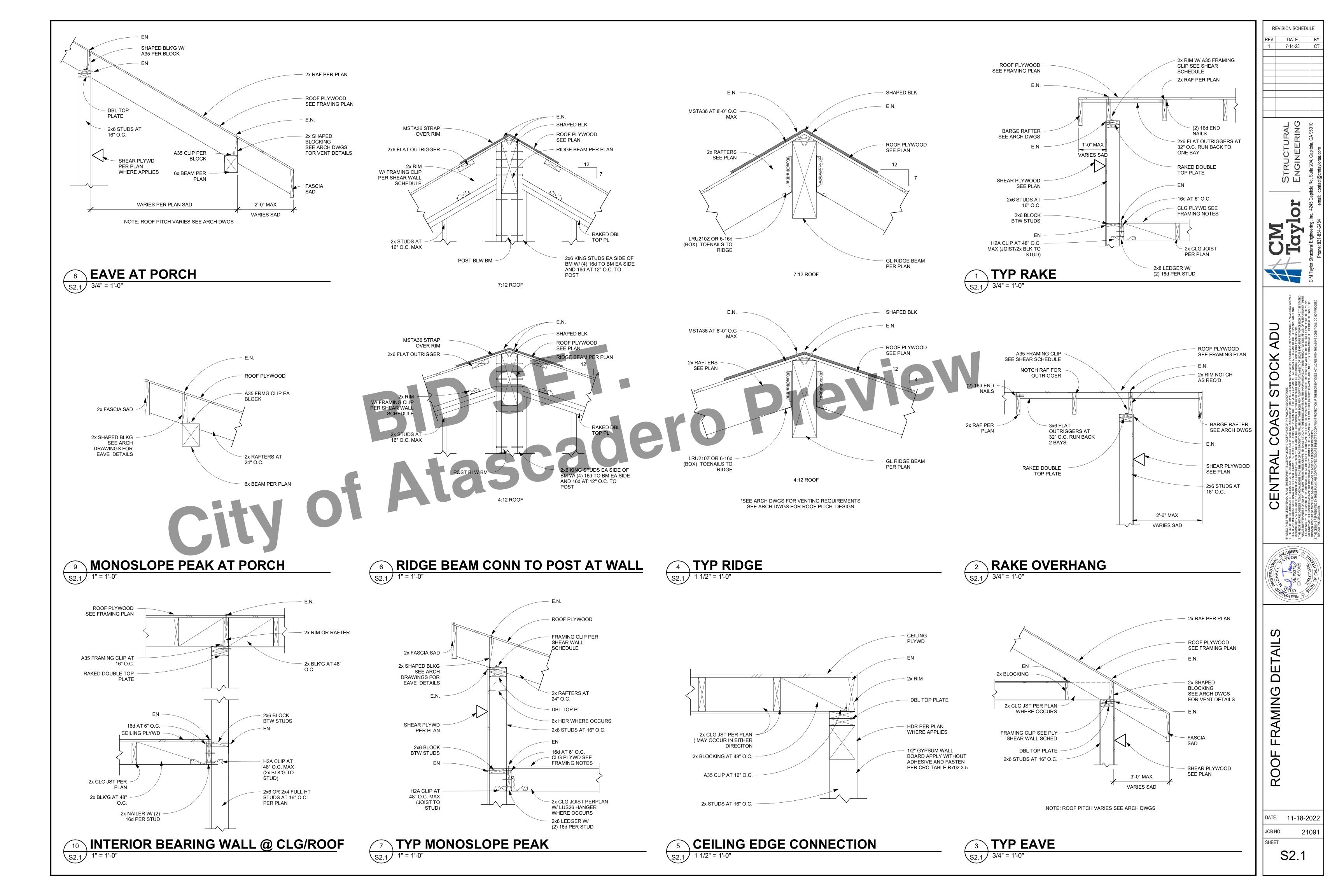
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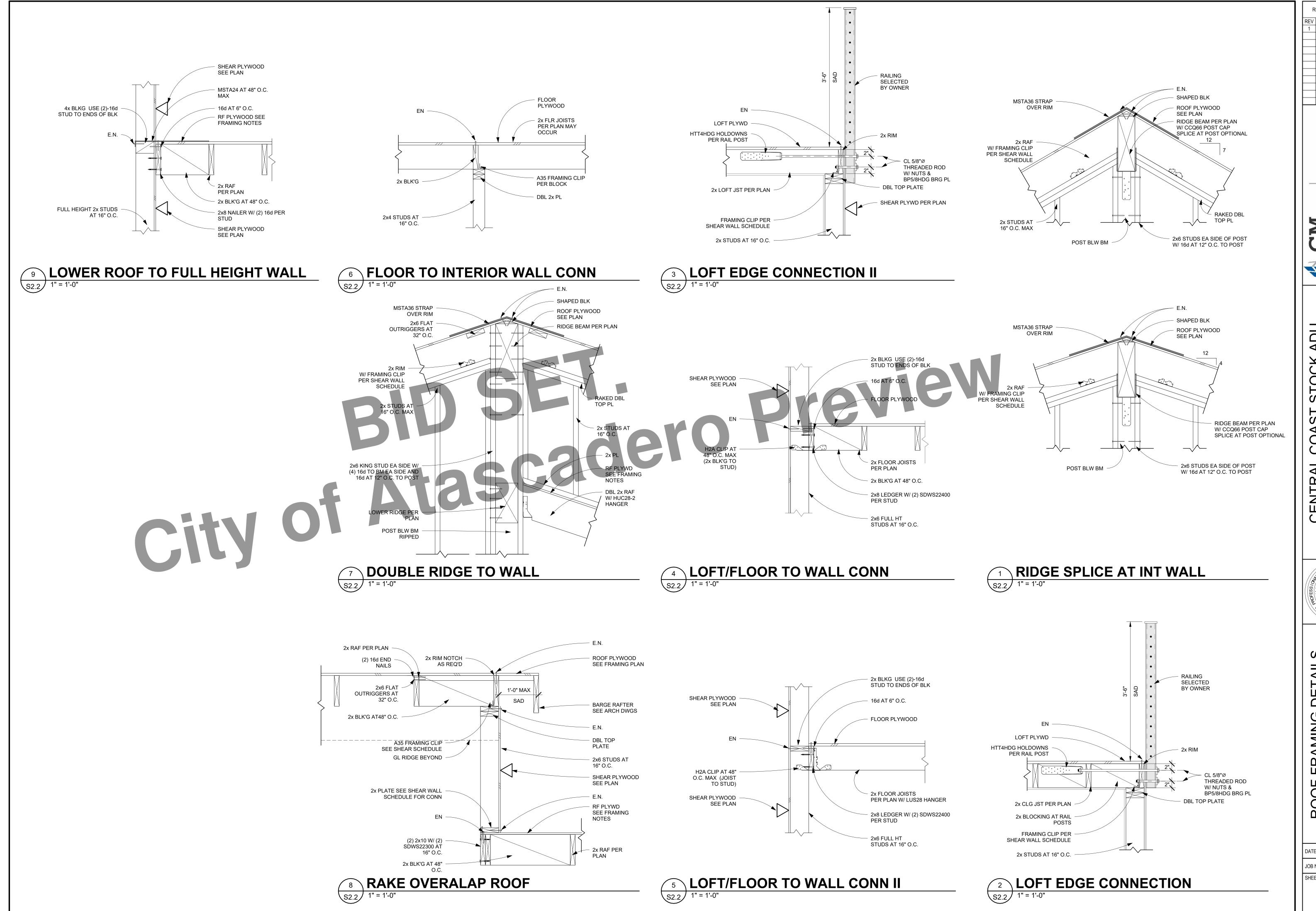
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CM Taylor Structural Engineering, Inc., 4245 Capitola Rd

ENTRAL COARDON SERVICE STATES AND GRAND GRANDED THE FOLLOWING CONDITIONS.

FERSICIED TO THE ORIGINAL PROJECT FRANKHOLI THY WAS REPEARED FOR THE PELESIONED ADD PLANS FOR THE CITIES OF ARROYO GRANDE, A TASSCADERO, CAN FORENCE PROCEST ARCHITECTURE, ANDOR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION RELEGAL, FROSURED TO THE WAS OFTEN INFORMATION WILL BE AT THER SOLE RISK AND INTENDED. THE THE SOLE RISK AND WITHOUT MAY FOR LEGAL EXPOSURE TO WORKERED ON FOR CITIES AND WELL ATTACH TO THESE DOCUMENTS MAND THE INFORMATION CONTAINED THEROL ANY USE, REUSE, OR ALTERATION OF CONTAINED THEROL ANY USE, REUSE, OR ALTERATION OF THE PARAINON OF THE PARA

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F FRAMING DETAILS (CONTINUED)

DATE: 11-18-2022

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SHEET

S2.2

SYMBOLS & ABBREVIATIONS (MECHANICAL) ∕ВТ BYPASS TIMER EC ELECTRICAL CONTRACTOR EDB ENTERING DRY BULB CENTER LINE EOD EXTENT OF DEMOLITION ———CD—— CONDENSATE DRAIN ETR EXISTING TO REMAIN EWB ENTERING WET BULB DIAMETER EWT ENTERING WATER TEMPERATURE EXHAUST, RETURN, SUPPLY DEGREES FAHRENHEIT AIR DUCT (EXISTING) FLEXIBLE CONNECTION EXHAUST, RETURN, SUPPLY FD FIRE DAMPER AIR DUCT (NEW) FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER EXTENT OF DEMOLITION FT.HD. FEET HEAD FTR FLUE THRU ROOF UP, DOWN, PENE & DEMO GC GENERAL CONTRACTOR FIRE/SMOKE DAMPER GPM GALLONS PER MINUTE HORSE POWER FIRE DAMPER KW KILOWATTS POINT OF CONNECTION LBS POUNDS LWT LEAVING WATER TEMPERATURE P/T PLUG MBH 1,000 BTU/HR RETURN OR EXHAUST AIR _____ MC MECHANICAL CONTRACTOR RETURN DUCT (N) NEW UP, DOWN, PENE & DEMO NIC NOT IN CONTRACT SPEED CONTROL SWITCH NTS NOT TO SCALE OBD OPPOSED BLADE DAMPER SPIN-IN EXTRACTOR/DAMPER OSA OUTSIDE AIR SUPPLY DUCT PC PLUMBING CONTRACTOR UP, DOWN, PENE \$ DEMO PENE PENETRATION SUPPLY OR OUTSIDE AIR PD PRESSURE DROP PHASE T THERMOSTAT at + 48" POC POINT OF CONNECTION X X X TO BE REMOVED P/N PART NUMBER ____ TRANSFER AIR PRV PRESSURE REDUCING VALVE PSI POUNDS PER SQUARE INCH \leftarrow TURNING VANES P/T PRESSURE / TEMPERATURE VOLUME DAMPER RA RETURN AIR RAD RETURN AIR DUCT (RL) RELOCATE RPM REVOLUTIONS PER MINUTE SUPPLY AIR ACCESS DOOR SAD SUPPLY AIR DUCT ABOVE FINISH FLOOR SD SUPPLY DIFFUSER ACOUSTICALLY LINED SP STATIC PRESSURE ACCESS PANEL 55 STAINLESS STEEL BD BALANCING DAMPER STD STANDARD BDD BACKDRAFT DAMPER TV TURNING VANES BHP BRAKE HORSE POWER TYP TYPICAL BETWEEN JOIST UCD UNDERCUT DOOR BTU BRITISH THERMAL UNIT UON UNLESS OTHERWISE NOTED CONDUIT VOLT CA COMBUSTION AIR VD VOLUME DAMPER CD CONDENSATE DRAIN VIF VERIFY IN FIELD CFM CUBIC FEET PER MINUTE W/ WITH DEMO DEMOLITION WC WATER COLUMN DOOR LOUVER WEIGHT **EXISTING** (E) W/O WITH OUT EAD EXHAUST AIR DUCT

GENERAL MECHANICAL NOTES

- I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES. AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- 2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- 3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- 7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE I " ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR
- 8. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES
- 9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- IO. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- II. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- 13. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS
- PRESCRIBED IN CBC SECTION 714. 14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL
- 15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO
- SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DN, WELDING AND PAINTING SHALL BE IN ACCORDANC STITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO

ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO

- VINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- T BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- 20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA
- 21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118
- 22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- 23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

CVM/ROLG & ARRDEN/IATIONIC (PLLIM/RINIC)

SYMBO	LS & ABBREVIATI	IONS	(PLUMBING)
	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
		BV	BALL VALVE
	CAP	CA	COMPRESSED AIR PIPING
	CHECK VALVE	СВ	CATCH BASIN
	CLEANOUT	CD	CONDENSATE
	DOMESTIC COLD	CFH	CUBIC FEET PER HOUR
	WATER (EXISTING)	CI	CAST IRON
	DOMESTIC COLD	CP DCW	CHROME PLATED DOMESTIC COLD WATER
	WATER (NEW)	DHW	DOMESTIC GOLD WATER
	DOMESTIC HOT WATER (EXISTING)	DHWR	DOMESTIC HOT WATER RETURN
		DCV	DETECTOR CHECK VALVE
	DOMESTIC HOT WATER (NEW)	DN	DOWN
	DOMESTIC HOT WATER RETURN (EXISTING)	DS DS	DOWN SPOUT
	DOMESTIC HOT WATER RETURN	DSP	DRY STAND PIPE
	(NEW)	(E)	EXISTING
	DIRECTION OF FLOW	EC EL	ELECTRICAL CONTRACTOR ELEVATION
DSP	DRY STANDPIPE	(F)	FIRE SPRINKLER PIPING
		FC FC	FLEX CONNECTOR
FL	FIRE SPRINKLER PIPING	FCO	FLOOR CLEANOUT
	FLANGED UNION	FD	FLOOR DRAIN
	FLOOR DRAIN	FL FM	FIRE LINE
	FLOOR SINK	FS	FORCE MAIN FLOOR SINK
	FORCE MAIN	FSC	FIRE SPRINKLER CONTRACTOR
G	GAS PIPING (EXISTING)	GC	GENERAL CONTRACTOR
G	GAS PIPING (NEW)	GCO	GROUND CLEANOUT
_	GAS COCK	GPM HB	GALLONS PER MINUTE HOSE BIBB
	GATE VALVE	HWS	HOT WATER SUPPLY
, T.		I IE:	INVERT ELEVATION
	GLOBE VALVE	LAV	LAVATORY
<u> </u>	HOSE BIBB (3/4" MIN.)	МС	MECHANICAL CONTRACTOR
	PETES PLUG	NPW	NON POTABLE WATER
	PIPE (ABOVE THE CEILING)	(N) OFD	NEW OVERFLOW DRAIN
\times	PIPE HANGER	PC	PLUMBING CONTRACTOR
<u> </u>	PIPE TURNING UP (RISE)	PIV	POST INDICATION VALVE
(——	PIPE TURNING DOWN (DROP)	POC	POINT OF CONNECTION
	PIPE TEE DOWN	POD PP	POINT OF DEMOLITION PETES PLUG
	PRESSURE REDUCING VALVE	PRV	PRESSURE REDUCING VALVE
	I & PRV RELIEF VALVE	PVC	POLYVINYL CHLORIDE PIPE
	POINT OF CONNECTION	RD	ROOF DRAIN
	TO EXISTING	RPBFP	BACKFLOW PREVENTOR REDUCED PRESSURE
RWL	RAIN WATER LEADER (EXISTING)	RWL	RAIN WATER LEADER
DWI.	PAIN WATER LEADER	SD	STORM DRAIN

REDUCER

STRAINER

UNDERGROUND (NEW)

WATERHAMMER ARRESTOR

TRAP PRIMER (TP)

UNION

---- VENT PIPING (EXISTING)

---- WASTE PIPING (EXISTING) ----- (N) WASTE PIPING (NEW)

STORM DRAIN (EXISTING)

STORM DRAIN (NEW)

— — — — — SUB-SOIL PIPING

----- VENT PIPING (NEW)

——II——

ROOF DRAIN

STORM DRAIN

TRAP PRIMER

VALVE BOX

VTR VENT THRU ROOF

WASTE

VERIFY IN FIELD

WATER CLOSET

WALL CLEANOUT

WATER HEATER

WATER METER

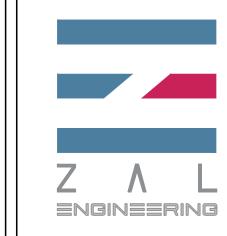
WATER HAMMER ARRESTOR

SHUTOFF VALVE

SANITARY SEWER

GENERAL PLUMBING NOTES

- 1. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- 2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- 4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- 6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- 7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- IO. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- II. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- 12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO
- 13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- 14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- 15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.





GENERAL

NO.	DESCRIPTION	DATE
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ENGINE	EER BY:	
DRAW	N BY:	

CHECKED BY:

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BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
- 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
- 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

OU	ITDOOR	UNIT											
	CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
				SEER					(LBS)	LEVELING		SERVED	
	OU-I	MITSUBISHI	MXZ-2C2ONA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
	OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
	OU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	

INDOOF	R UNIT SCH	EDULE																		
CODE	MFR	MODEL		SUPPLY FAN	1	E	LECTRICA	L			COOLII	NG COIL		HE	EATING CC	DIL				COMMENTS
			CFM	ESP (ın)	ВНР	V/PH	MCA	MOCP	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-I	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1
NOTES:	IOTES: I. PROVIDE CONDENSATE PUMP. RUN CD & DISCHARGE IN APPROVED LOCATION.																			

EXHAUST	FAN SCHEDUL	_E											
CODE	MFR	MODEL	CFM	ESP (ın)	RPM	ВНР	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							HP		ISOLATORS	(LBS)			
EF- I	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	115/1	7	9.5	BATHROOMS	0.8	1
NOTES:	I. CONTROLLED BY	HUMIDISTAT. ADD OVER	RRIDE SWITCH;	COORDINATE LO	CATION W/ ARC	HITECT.							

CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE		MIN. ROUGH	-IN CONN (IN)		LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW		
L- I	LAVATORY	_	_	_	•	2	11/2	1/2	1/2	BATHROOMS	I.2 GPM
BT-1	BATHTUB	_	•	-	_	2	11/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD
WC-I	WATER CLOSET	_	_	•	_	3	2	1/2	-	BATHROOMS	1.28 GPF
SK-I	KITCHEN SINK	_	_	•	_	2	11/2	1/2	1/2	KITCHENS	I.8 GPM
CWB- I	WASHER	_	_	-	•	2	11/2	1/2	1/2	CLOSETS	W/ WHA
HB-I	HOSE BIB	_	_	_	•		-	1/2		EXTERIOR WALLS	

WATER HE	EATER SCHEDU	LE													
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG	REMARKS	
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.			
WH-I	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	I	64	26.4	RU199e	RINNAI	UEF: 0.93	
EWH-I	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE4OT OHS45	RHEEM	DUCT HEAT REJECTION	N TO OUTSIDE

REMARKS

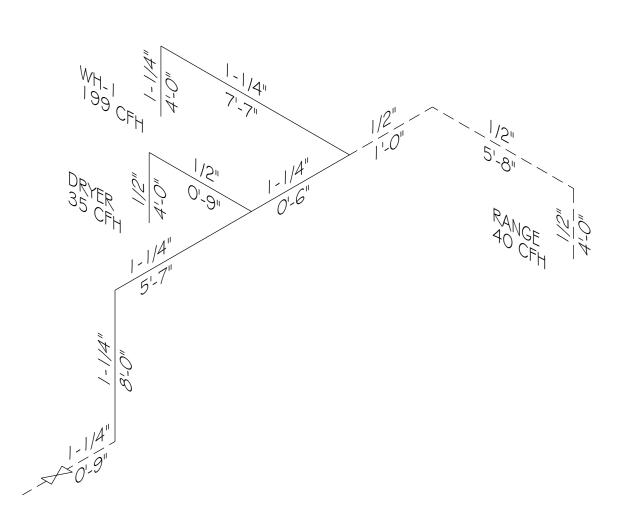
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DUCT HEAT REJECTION TO OUTSIDE

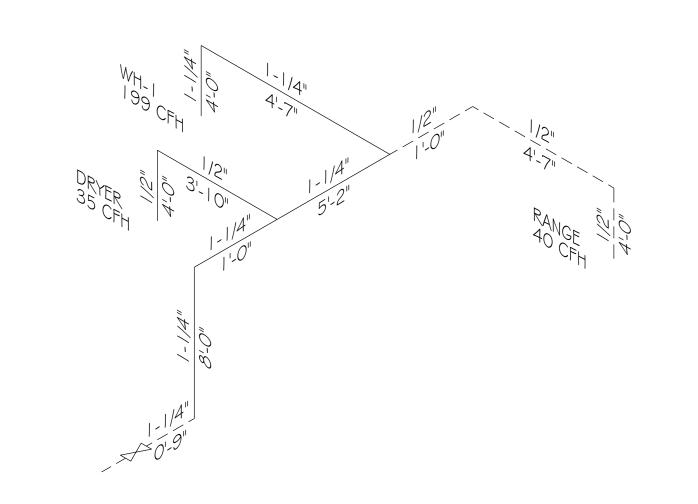
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GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS

MPO.2 NO SCALE







GAS ISOMETRIC DIAGRAM - EFFICIENCY

APO. 2 NO SCALE

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

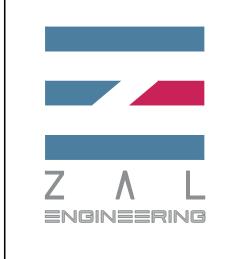
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THE CITY OF CAPITOLA SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

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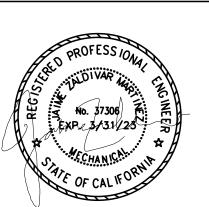
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ECHANICAL CONSULTANTS

PACIFIC ST, STE 375G

DATEREY, CA 93940





CENTRAL COAST PRE-DESIGNED AD

SCHEDULES & GAS DIAGRAMS MECHANICAL & PLUMBING

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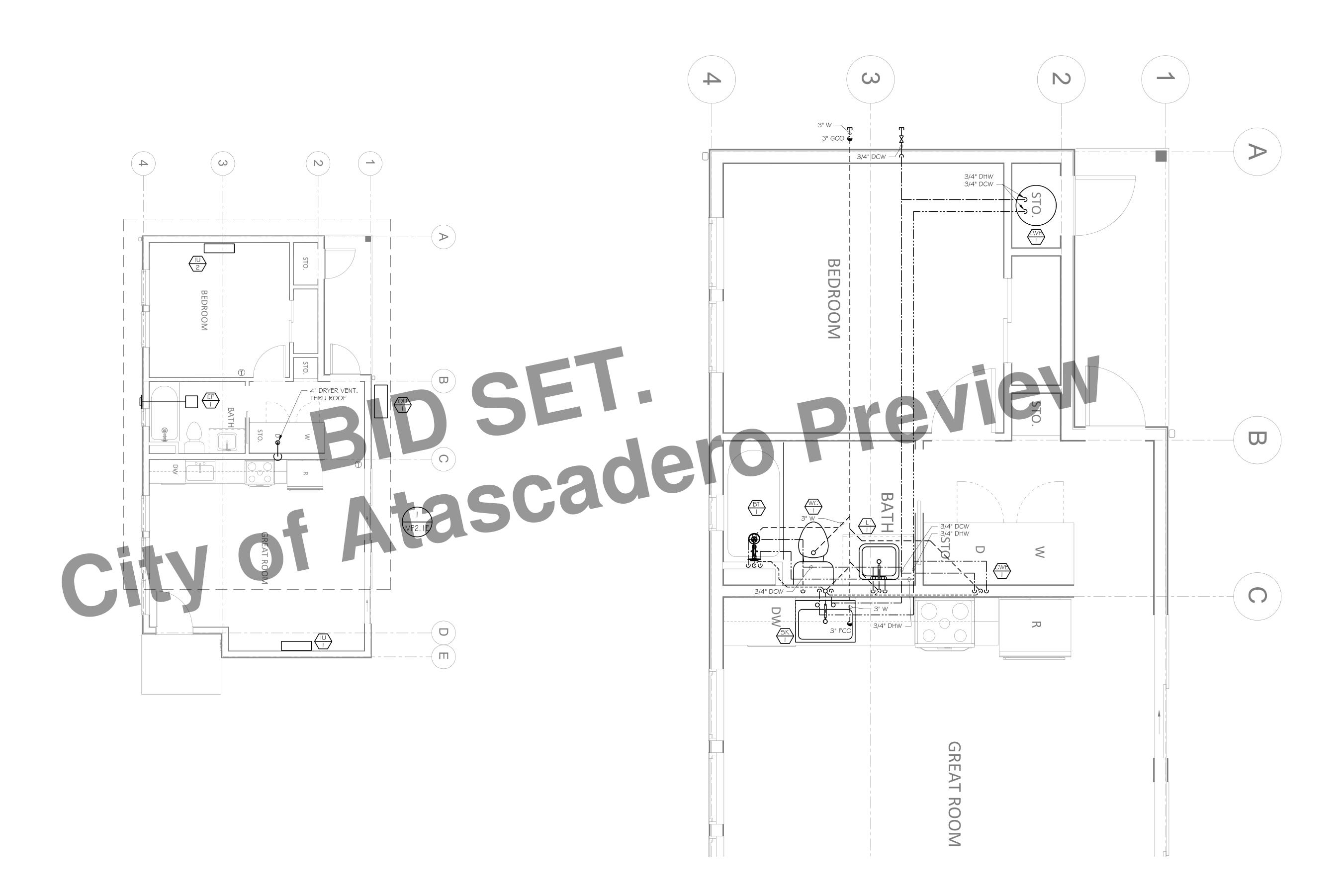
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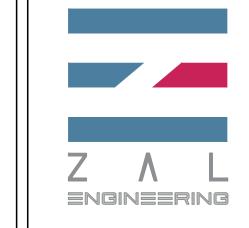
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SHEET OF

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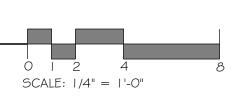




ONE BED MECHANICAL & PLUMBING PLANS - E

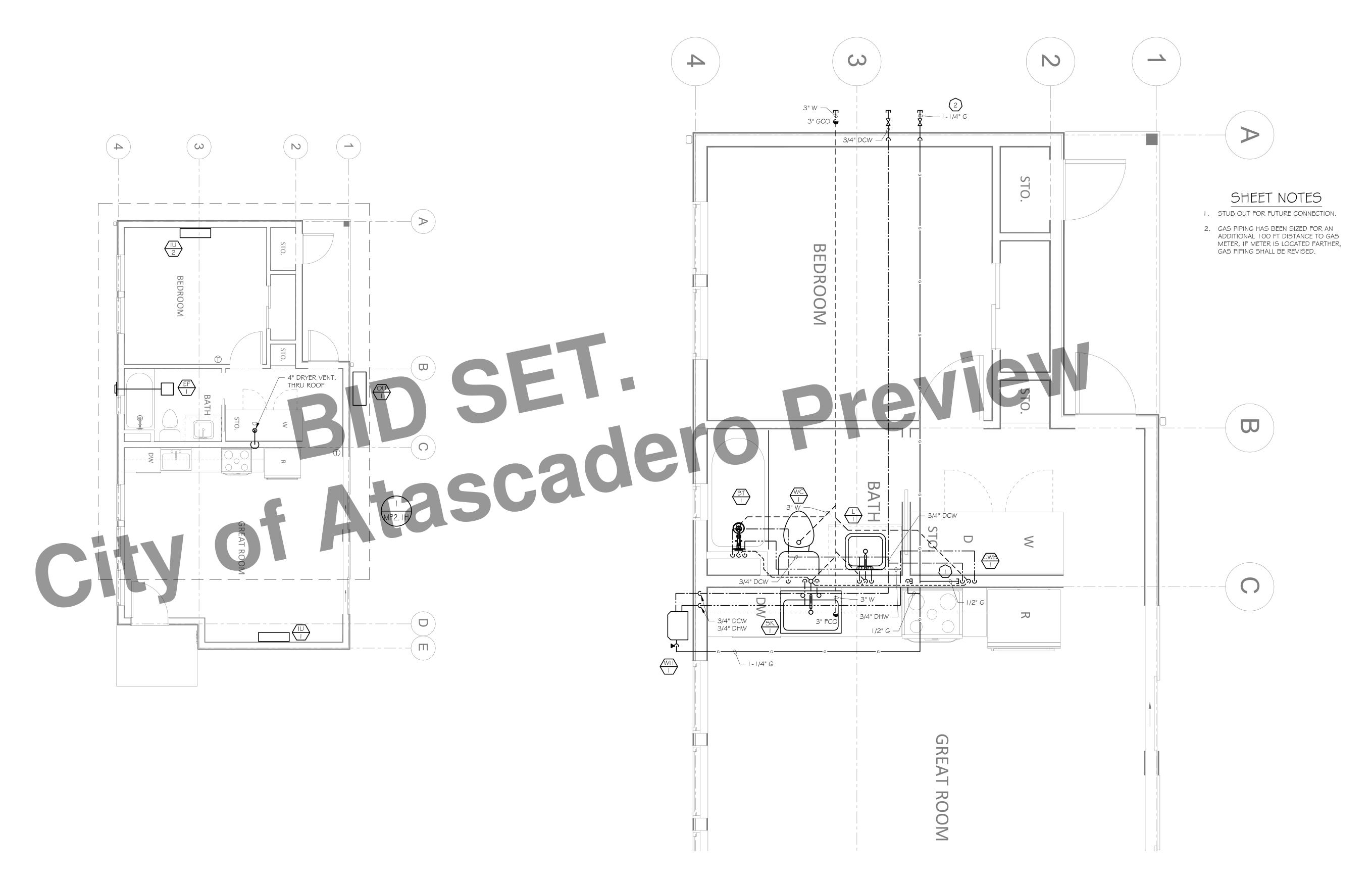
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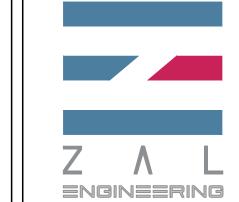






SCALE: 1/2" = 1'-0"





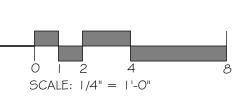




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CalCERTS inc.

CF1R-PRF-01-E

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HERS Provider:

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Jaime Zaldiv contact@zalengineeri 831-641 ZAL (zalengineerii

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	Z A Engineeri	L

Z A L ENGINEERING

ONE BED T24 FORMS ELECTRIC

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CERTIFICATE OF Project Name: C	Central Coast		L PERFORMAI	NCE COMPL	IANCE ME	Ca			2023-08-24T19 E_CZ4.ribd22x			CF1R-PRF-01-E (Page 8 of 13)		CERTIFICATE OF Project Name: 0 Calculation Des	Central Coast	ADU OB	PERFORMANCE C	OMPLIANCE N	Ca		ne: 2023-08-24T1 OB_E_CZ4.ribd22:			CF1R-PRF-01-E (Page 7 of 13)
OPAQUE SURFAC						_				1		_		ZONE INFORMAT	ION				,					
01	02	03	04		05	06		07	08	09	10	11		01	1	02	03	в	04		05	06		07
Name	Zone	Constructio	n Azimu	th Ori	ientation	Area (ft	t²) S	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	e Cool Roof		Zone Nan	ne	Zone Type	HVAC Syste	em Name	Zone Floor Ar	ea (ft²) Avg.	Ceiling Height	Water Heating S	System 1	Status
Roof 4	One Bed	R-38 Roof N Attic	0		Front	144.48	8	0	3	0.75	0.85	Yes	1	One Bed	1	Conditioned	OU-	-	523.99		8	DHW Sys	1	New
				•		-							1	OPAQUE SURFAC	ES									
FENESTRATION /	Т		T	1	T	T T						T	-	01		02	03		04	05	06	-)7	08
01	02	03	04	05	06			09 10		12	13	14	-	Name		Zone	Constructio	n ,	Azimuth	Orientation	Gross Area (ft ²	1 I	and Door	Tilt (deg)
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Minit	Area (ft ²) U-fac	tor U-facto	I SHGC	SHGC Source	Exterior Shading		Front Wall		One Bed	R-21 Wall		180	Back	143.92	Ale	(ft2)	90
Window	Window	Lateral 1 Wall	Front	0	3	4	_	12 0.2	8 NFRC	0.35	NFRC	Bug Screen	1	Lateral 1 Wa		One Bed	R-21 Wall		0	Front	128		36	90
				0	3	4		12 0.2			NFRC		-	Lateral 2 Wa		One Bed	R-21 Wall		90	Left	128	3	34	90
Window 2	Window	Lateral 1 Wall	Front		3		ab /			0.35		Bug Screen	-	Lateral 2 Wal	1 2	One Bed	R-21 Wall		90	Left	52.33		0	90
Window 3	Window	Lateral 1 Wall	Front	0	3	4	1	12 0.2	8 NFRC	0.35	NFRC	Bug Screen		Back Wall		One Bed	R-21 Wall		0 5	Front	26.25		7.5	90
Window OP	Window	Lateral 2 Wall	Left	90	6	7	1	42 0.2	8 NFRC	0.35	NFRC	Bug Screen		Lateral 1 Wal		One Bed	R-21 Wall		270	Right	40	(ii)	.5	90
Window OP 2	Window	Lateral 2 Wall	Left	90	R65	7	A (42 0.2	8 NFRC	0.35	NFRC	Bug Screen		Lateral 1 Wal Lateral 2 Wal		One Bed	R-21 Wall		270 180	Right	90 42.99		0	90
Window 4	Window	Lateral 1 Wall 2	Right	270	1.5	3	1	4.5 0.2	8 NFRC	0.35	NFRC	Bug Screen	1	Back Wall 2		One Bed	R-21 Wall		0	Front	93.66		0	90
Window 5	Window	Lateral 1 Wall 3	Right	270	3	4	1	12 0.2	8 NFRC	0.35	NFRC	Bug Screen	1		-	I								
					+ -	+-+						-	-	OPAQUE SURFAC			- 04	I 0F	1 00	07	- 00	1 00	10	- 44
Window 6	Window	Lateral 1 Wall 3	Right	270	3	4	1	12 0.2	8 NFRC	0.35	NFRC	Bug Screen	J	01	02	03	04	05	06	07 Skylight Are	08 Roof Rise (x ir	09 Roof	10	11
OPAQUE DOORS]	Name	Zone	Construction	Azimuth	Orientation	Area (ft	(ft ²)	12)	Reflectance	Roof Emittano	e Cool Roof
	01			02				03			04			Roof	One Bed	R-38 Roof No Attic	180	Back	274.52	0	3	0.75	0.85	Yes
	Name			Side of Build	ding			Area (f	t ²)		U-factor			D (0		R-38 Roof No						0.77	0.05	<u> </u>
	Door B			Front Wa Back Wal				21 17.5			0.2			Roof 2	One Bed	Attic	0	Front	59.49	0	3	0.75	0.85	Yes
Registration Nur	223-P010	1107155A-000-000-00 Standards - 2022 Re		pliance		Registration Report Vers Schema Ver	sion: 2022	2023-08-25 17: 2.0.000	19:50	HERS Pro	vider: enerated: 2023-08-	CalCERTS inc -24 17:21:46).	Registration Nun	223-P0101	07155A-000-000-0000 andards - 2022 Res	0000-0000 sidential Compliance	1		Date/Time: 2023-08-29 ion: 2022.0.000 sion: rev 20220901	i 17:19:50	HERS Pro Report G	vider: enerated: 2023-08	CalCERTS inc -24 17:21:46
CERTIFICATE OF Project Name: (Calculation Des	Central Coast		L PERFORMAI	NCE COMPL	LIANCE ME	Ca			2023-08-24T1 <u>9</u> _E_CZ4.ribd22x			CF1R-PRF-01-E (Page 5 of 13)		CERTIFICATE OF Project Name: (Calculation Des ENERGY USE SUN	Central Coast Acciption: Title	ADU OB 24 Analysis	PERFORMANCE C		Ca Inp	out File Name: 3_	ne: 2023-08-24T1 OB_E_CZ4.ribd22:			CF1R-PRF-01-E (Page 4 of 13)
		Standa	ard Design (kBt	u/ft ² - yr)	Propo	sed Design (I	kBtu/ft ² -	- yr) Com	pliance Margin (kBtu/ft ² - yr)	Margin Pe	ercentage		Energy Use	e Ener	andard Design Sou gy (EDR1) (kBtu/fi		Design TDV Ene) (kTDV/ft ² -yr)		sed Design Source EDR1) (kBtu/ft ² -yı) (EDR2) (kT	DV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
North Facing								Т		Т				Space Heati		1.82		12.41		1.85		.68	-0.03	-2.27
Gro	oss EUI ¹		30.07			28.03	3		2.04		6.7	78		Space Cooli	ng	0.85		32.55		0.58	30	.67	0.27	1.88
Ne	et EUI ²		12.49			10.45	5		2.04		16.	.33		IAQ Ventilati	ion	1.01		10.86		0.84	9.	03	0.17	1.83
East Facing						1								Water Heati	ing	3.77		40.64		2.57	29	98	1.2	10.66
Gro	oss EUI ¹		30.07			27.22	2		2.85		9,4	48		Self Utilization/Flex	ibility)		0
Ne	et EUI ²		12.49			9.64			2.85		22.	.82]	Credit										
South Facing			2007						2 29		71	F0		South Facir Efficiency Comp Total		7.45		96.46		5.84	84	36	1.61	12.1
Gro	oss EUI ¹		30.07			27.79			2.28		7.5	58		Space Heati	ng	1.82		12.41		2.35	18	3.8	-0.53	-6.39
Ne	et EUI ²		12.49			10.21			2.28		18.	.25]	Space Cooli	ng	0.85		32.55		0.3	20	0.9	0.55	11.65
West Facing														IAQ Ventilati		1.01		10.86		0.84		03	0.17	1.83
Gro	oss EUI ¹		30.07			27.93	3		2.14		7.:	12]	Water Heati		3.77		40.64		2.59		.14	1.18	10.5
N.	et EUI ²		12.49			10.35	5		2.14		17.	.13	1		-						+			

(Page 2 of 13)

Utilization/Flexibility

Credit

West Facing Efficiency

Registration Number: 223-P010107155A-000-000-000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Compliance Total

verified fleat pump rate	ed fleating capacity						
UILDING - FEATURES INFOR	MATION						
01	02		03	04	0.5	06	07
Project Name	Conditioned Floor Area	(ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OB	523.99		1	1	1	0	1
Registration Number: 223-P01	0107155A-000-000-0000000-00	00		Registration Date/Time:	23-08-25 17:19:50	HERS Provider:	CalCERTS i

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

2.8 0.8

One Bed

One Bed

One Bed

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03

Module Type

Standard (14-17%)

04

Array Type

Fixed

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual

detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Registration Number: 223-P010107155A-000-000-0000000-0000

02

IAQ Ventilation System: as low as 0.30303 W/CFM

IAQ Ventilation System: fault indicator display

IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE

Recirculating with demand control, occupancy/motion sensor

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Central Coast ADU OB

REQUIRED PV SYSTEMS

DC System Size

(kWdc)

1.7

REQUIRED SPECIAL FEATURES

IERS FEATURE SUMMARY

Indoor air quality, balanced fan

Window overhangs and/or fins Compact distribution system basic credit

Quality insulation installation (QII)

Indoor air quality ventilation

Verified Refrigerant Charge

Kitchen range hood

Calculation Description: Title 24 Analysis

03

Area (ft²)

274.52

59.49

45.5

144.48

Project Name: Central Coast ADU OB

OVERHANGS AND FINS

Window

Window 2

Window OP 2 Window 4

Window 5 Window 6

Name

Slab-on-Grade

Slab-on-Grade 2

Slab-on-Grade 3

Slab-on-Grade 4

Calculation Description: Title 24 Analysis

CF1R-PRF-01-E

(Page 9 of 13)

80

Heated

No

No

No

CalCERTS inc.

CF1R-PRF-01-E

(Page 6 of 13)

Depth Top Up Dist R Bot Up

Calculation Date/Time: 2023-08-24T19:21:10-05:00

Dist L Bot Up

06 Edge Insul. R-value

and Depth

0

0

0

0

Calculation Date/Time: 2023-08-24T19:21:10-05:00

Input File Name: 3_OB_E_CZ4.ribd22x

Carpeted Fraction

100%

100%

100% 100%

Report Generated: 2023-08-24 17:21:46

Report Generated: 2023-08-24 17:21:46

Input File Name: 3_OB_E_CZ4.ribd22x

02 03 04 05 06 07 08 09 10 11 12 13 14

2.8 0.8 5 5 0.75 0 0 0 0 0 0

Edge Insul. R-value

and Depth

none

none

none

none

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2022.0.000

none

Schema Version: rev 20220901

0.75 0

0.75

5 0.75 0

Perimeter (ft)

0.1

0.1

0.1

0.1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD		CF1R-PRF-01-E
Project Name: Central Coast ADU OB	Calculation Date/Time: 2023-08-24T19:21:10-05:00	(Page 3 of 13)
Calculation Description: Title 24 Analysis	Input File Name: 3_OB_E_CZ4.ribd22x	

Report Version: 2022.0.000

Schema Version: rev 20220901

Calculation Description	n: Title 24 Analysis	Input File Name: 3_OB_E_CZ4.ribd22x									
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2					
Space Heating	1.82	12.41	2.41	18.63	-0.59	-6.22					
Space Cooling	0.85	32.55	0.37	20.43	0.48	12.12					
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83					
Water Heating	3.77	40.64	2.58	30.06	1.19	10.58					
Self Utilization/Flexibility Credit	A			0		0					
North Facing Efficiency Compliance Total	7,45	96.46	6.2	78.15	1.25	18.31					
Space Heating	1,82	12.41	1.69	13.24	0.13	-0.83					
Space Cooling	0.85	32.55	F 13 6.23	5 F15.91	0.62	16.64					
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83					
Water Heating	3.77	40.64	2.58	30.02	1.19	10.62					
Self Utilization/Flexibility Credit				0		0					
East Facing Efficiency Compliance Total	7.45	96.46	5.34	68.2	2.11	28.26					

Registration Number: 223-P010107155A-000-000-000000-0000	Registration Date/Time: 2023-08-25 17:19:50	HERS Provider:	CalCERTS i
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-24	17:21:46

Registration Number: 223-P010107155A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance	Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901	HERS Provider: CalCERTS inc. Report Generated: 2023-08-24 17:21:46
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIAN	СЕ МЕТНОД	CF1R-PRF-01-E

Calculation Date/Time: 2023-08-24T19:21:10-05:00

Gross EUI is Energy Use Total (not including PV) / Total Building Area.

2. Net EUI is Energy Use Total (including PV) / Total Building Area.

Project Name: Central Coast ADU OB

Standard Design PV Capacity: 1.70 kWdc

Registration Number: 223-P010107155A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

		Energy Design Ratings			Compliance Margins	
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	30.4	30.9	30.6			
		Propose	d Design			
North Facing	28.3	25	27.1	2.1	5.9	3.5
East Facing	27	21.8	25.3	3.4	9.1	5.3
South Facing	27.8	27	28.3	2.6	3.9	2.3
West Facing	28.1	25.2	27.3	2.3	5.7	3.3
		RESULT	3: PASS			

³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Proposed PV Capacity Scaling: North (1.70 kWdc) East (1.70 kWdc) South (1.70 kWdc) West (1.70 kWdc)

Registration Date/Time: 2023-08-25 17:19:50	HERS Provider: CalCERTS inc.
Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-24 17:21:46

-	ne: Central Coast ADU OB Description: Title 24 Analysis			ation Date/Time: 2023-08-24T19:21:10-0 File Name: 3_OB_E_CZ4.ribd22x	05:00 (Page 1 of 2
GENERAL IN	FORMATION				
01	Project Name	Central Coast ADU OB			
02	Run Title	Title 24 Analysis			
03	Project Location	-			
04	City	Atascadero	05	Standards Version	2022
06	Zip code	93423	07	Software Version	EnergyPro 9.0
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	All orientations
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Newly Constructed	13	Number of Bedrooms	1
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Stories	1
16	Existing Cond. Floor Area (ft ²)	n/a	17	Fenestration Average U-factor	0.28
18	Total Cond. Floor Area (ft²)	523.99	19	Glazing Percentage (%)	28.30%
20	ADU Bedroom Count	n/8			
01	Building Complies with Computer		47.00	ertified HERS rater under the supervision of a	o CCC anazoread UCDC availdes
02		s that require field testing and/or verification more Special Features shown below	on by a ce	ertified HERS rater under the supervision of a	a CEC-approved HERS provider.
Registration	Number: 223-P010107155A-000-000-00000		ation Dat	e/Time: H 2023-08-25 17:19:50	ERS Provider: CalCERTS

Report Version: 2022.0.000 Schema Version: rev 20220901

Registration Date/Time:

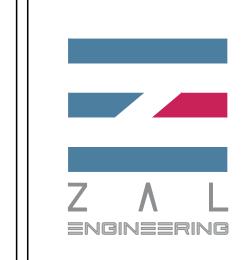
Report Version: 2022.0.000

Schema Version: rev 20220901

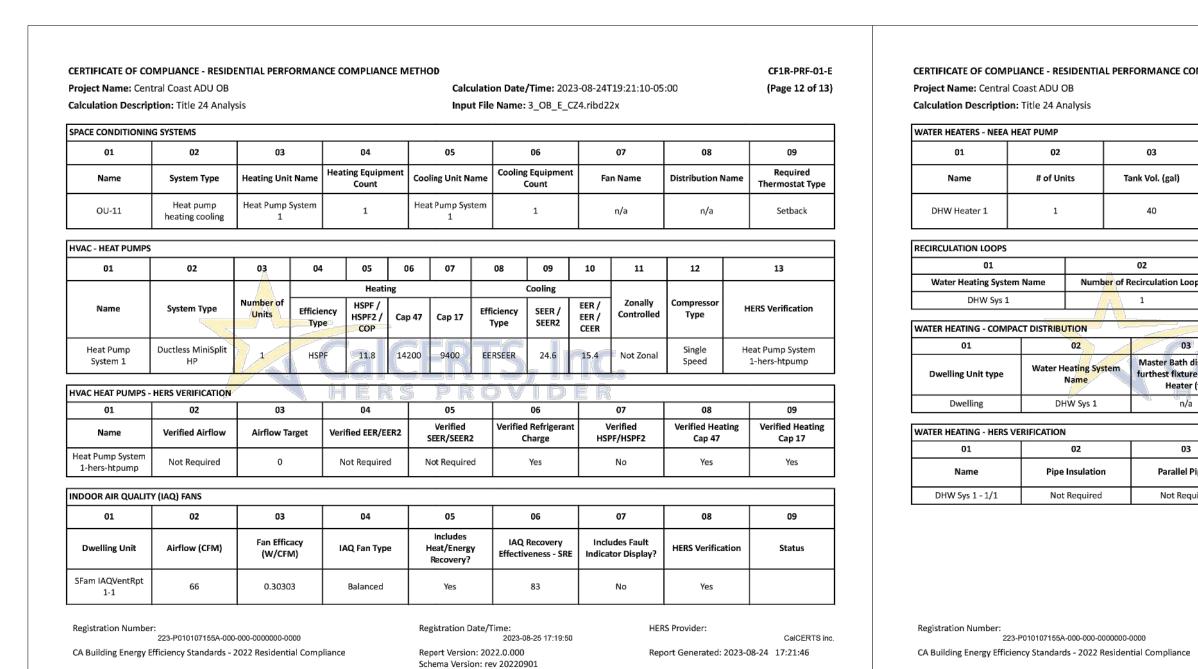
2023-08-25 17:19:50

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



BID SET. City of Atascadero P



CERTIFICATE OF COM	PLIANCE - RE	SIDENTIAL PER	RFORMANCE COMPL	IANCE METHOD					CF1R-PRF-01-	
Project Name: Central	Coast ADU	ОВ			Calculation Date	e/Time: 2023-08-24T	19:21:10-05:00		(Page 11 of 13	
Calculation Descriptio	n: Title 24 A	nalysis			Input File Name	: 3_OB_E_CZ4.ribd22	×			
WATER HEATERS - NEEA	HEAT PUMP									
01	02		03	04	05	06		07	08	
Name	# of Units		Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pur Model	mp Tank Locatio	ion Duct Inlet Air Source		Duct Outlet Air Source	
DHW Heater 1	ter 1 1		40	Rheem	RheemXE40T10H 0	Outside	О	ne Bed	One Bed	
RECIRCULATION LOOPS										
01	01 02				03	04			05	
Water Heating Syste	Water Heating System Name Number of Recir		Recirculation Loops	Loop Insulati	on Thickness (in)	Recirculation Lo	op Location	Recirculation Pump Power (W)		
DHW Sys 1 1		1		1.5	Conditio	ned		0		
WATER HEATING - COM	PACT DISTRIB	UTION		-						
01		02	03		04	05	06		07	
Dwelling Unit type	Water H	leating System Name	Master Bath distan furthest fixture to V Heater (ft)	Water furthest fix	1007 - 7007 - 100	rthest Third furthest ture to Water Heater (ft)	Compactnes	s Factor	HERS Verification	
Dwelling	D	HW Sys 1	n/a		n/a	n/a	0.7		n/a	
WATER HEATING - HERS	VERIFICATION	N								
01		02	03		04	05	06		07	
Name	Pipe	Insulation	Parallel Piping	Compact	Distribution	ompact Distribution Type	Recirculation	Control	ihower Drain Water Hea Recovery	
DHW Sys 1 - 1/1	No	t Required	Not Required	Not I	Required	Basic	Not Requ	iired	Not Required	

Registration Date/Time: 2023-08-25 17:19:50

Report Version: 2022.0.000

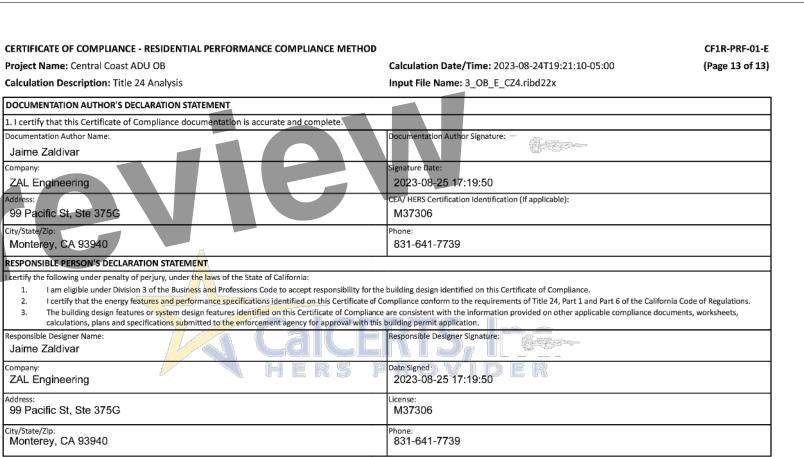
Schema Version: rev 20220901

HERS Provider:

Report Generated: 2023-08-24 17:21:46

CalCERTS inc.

1. I certify that this (
at recitify that this t	Certificate of Comp		mentation is a	ccurate and	complete.							
Documentation Author	Name:					Documen	ntation Author Si	gnature: —				
Jaime Zaldivar			_			Signature	Date:		387 -			
ZAL Engineerin	g						-08-25 17:19					
Address: 99 Pacific St, St	e 375G					сеа/ нег M373	RS Certification Id	dentification (If a	pplicable	e):		
City/State/Zip:						Phone:						
Monterey, CA 9						831-6	341-7739					
RESPONSIBLE PERSO	inder penalty of perj	ury, under the	laws of the Stat									
I certify that	at the energy feature	s and perform	nance specificati	ions identified	on this Cert		conform to the r	requirements of	Title 24,	Part 1 and F	Part 6 of the California Co	
						Compliance are consist at with this building p			ed on otl	her applicat	ole compliance documen	its, worksheets,
Responsible Designer N Jaime Zaldivar	lame:	110				Responsi	ble Designer Sign	nature:		in the second		
Company:				HE		Date Sign	765	DE				
ZAL Engineerin			*2.3			License:	-08-25 17:19	0:50				
99 Pacific St, St	e 375G					M373	06					
City/State/Zip: Monterey, CA 9	3940					Phone: 831-6	341-7739					
Digitally signed by C Registration Provide	alCERTS. This dig r responsibility for t	ital signature he accuracy	e is provided in of the informat	order to sec tion.	ure the cor	ntent of this register	ed document, a	nd in no way in	plies		3	
												Easy to Verify
						Registration Date	/Time:			HER	_ at S Provider:	CalCERTS.com
Pogistration Number	ar:						e/ mme,			HER	3 Flovidei.	
Registration Number	223-P010107155A			alianaa		Ü	2023-08-25	5 17:19:50		Pon	ort Congrated, 2022 (
Registration Number CA Building Energy CERTIFICATE OF CO	223-P010107155/ Efficiency Standar	ds - 2022 Re	sidential Comp		LIANCE M	Report Version: Schema Version:	2022.0.000	5 17:19:50		Rep	ort Generated: 2023-0	08-24 17:21:46
CA Building Energy	223-P0101071554 Efficiency Standar DMPLIANCE - RE	ds - 2022 Re	sidential Comp		LIANCE M	Report Version: Schema Version: ETHOD Calcula	2022.0.000	me: 2023-08-				08-24 17:21:46 CF1R-PRF-0
CA Building Energy CERTIFICATE OF CO Project Name: Cer Calculation Descri	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A	ds - 2022 Re SIDENTIAL OB nalysis	PERFORMAN		LIANCE M	Report Version: Schema Version: ETHOD Calcula	2022.0.000 rev 20220901 ution Date/Tir iile Name: 3_1	me: 2023-08- OB_E_CZ4.ril		21:10-05	:00	08-24 17:21:46 CF1R-PRF-0 (Page 10 of
CA Building Energy CERTIFICATE OF CO Project Name: Cer Calculation Descri	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A	ds - 2022 Re	sidential Comp		LIANCE M	Report Version: Schema Version: ETHOD Calcula	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_1	me: 2023-08- OB_E_CZ4.ril 06	od22x		:00	08-24 17:21:46 CF1R-PRF-0
CA Building Energy CERTIFICATE OF CO Project Name: Cer Calculation Descri	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A	ds - 2022 Re SIDENTIAL OB nalysis	PERFORMAN	NCE COMPI		Report Version: Schema Version: ETHOD Calcula	2022.0.000 rev 20220901 ution Date/Tir iile Name: 3_1	me: 2023-08- OB_E_CZ4.ril	erior	21:10-05	:00	08-24 17:21:46 CF1R-PRF-0 (Page 10 of
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis D2 ce Type	PERFORMAN 03 Construction	NCE COMPI	F	Report Version: Schema Version: ETHOD Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_i 05 Total Cavity R-value	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor	:00 Assemb Inside Finish: Sheathing / Insula	CF1R-PRF-0 (Page 10 of Wy Layers Gypsum Board tion: R-5 Sheathin
CERTIFICATE OF CO Project Name: Cer Calculation Descri	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis	PERFORMAN	NCE COMPI	F	Report Version: Schema Version: ETHOD Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir iile Name: 3_u 05 Total Cavity	me: 2023-08- OB_E_CZ4.ril	erior us	21:10-05	Assemb Inside Finish: Sheathing / Insula Cavity / Fran	CF1R-PRF-0 (Page 10 of
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis D2 ce Type	PERFORMAN 03 Construction	NCE COMPI	F	Report Version: Schema Version: ETHOD Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_i 05 Total Cavity R-value	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor	Assemb Inside Finish: Sheathing / Insula Cavity / Fran	CF1R-PRF-0 (Page 10 of (Page 10 of D8 V Layers Gypsum Board tion: R-5 Sheathin ne: R-22 / 2x6 : 3 Coat Stucco
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na R-21 Wall	223-P0101071554 Efficiency Standar DMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis D2 D2 DE Type OF Walls	PERFORMAN 03 Construction	on Type	F 2x6 @	Report Version: Schema Version: Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir file Name: 3_f 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor 0.047	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat	CF1R-PRF-0 (Page 10 of (Page 10 of (Page 12 of (Page 13 of (Page 14 of (Page 15 of (Page 16 of (Page 17 of (Page 16 of (Page 17 of (Page 18 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na	223-P0101071554 Efficiency Standar DMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis D2 ce Type	PERFORMAN 03 Construction Wood Fram	on Type	F 2x6 @	Report Version: Schema Version: ETHOD Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_i 05 Total Cavity R-value	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof Det Siding/sheat Radiant	CF1R-PRF-0 (Page 10 of White the second of
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na R-21 Wall	223-P0101071554 Efficiency Standar DMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (me Surface	ds - 2022 Re SIDENTIAL OB nalysis D2 D2 DE Type OF Walls	PERFORMAN 03 Construction Wood Fram	on Type	F 2x6 @	Report Version: Schema Version: Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir file Name: 3_f 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor 0.047	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De Siding/sheat Radian Cavity / Fram	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na R-21 Wall	223-P0101071554 Efficiency Standard OMPLIANCE - REINTRAL COAST ADU CONSTRUCTIONS CONSTRUCTIONS Exterior Exterior Cathedra	ds - 2022 Re SIDENTIAL OB nalysis O2 De Type Or Walls	PERFORMAN 03 Construction Wood Fram	on Type	F 2x6 @	Report Version: Schema Version: Calcula Input F	2022.0.000 rev 20220901 ation Date/Tir file Name: 3_f 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.rib 06 Interior / Ext Continuo R-value	erior us	21:10-05 07 U-factor 0.047	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De Siding/sheat Radian Cavity / Fram	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Nat R-21 Wall R-38 Roof No At BUILDING ENVELOP	223-P0101071554 Efficiency Standar OMPLIANCE - RE ntral Coast ADU (ption: Title 24 A CONSTRUCTIONS (Exterio Exterio	ds - 2022 Re SIDENTIAL OB nalysis D2 De Type Dr Walls	PERFORMAN 03 Construction Wood Fram Wood Fram Ceilin	on Type	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Graming 0 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_t 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None	erior us	21:10-05 07 U-factor 0.047	Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat Radiani Cavity / Fran Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE C 01 Construction Na R-21 Wall R-38 Roof No At BUILDING ENVELOP 01 Quality Insulation	223-P0101071554 Efficiency Standard OMPLIANCE - REINTRAL COAST ADU CONSTRUCTIONS CONSTRUCTIONS Exterior Exterior Cathedra Installation (QII)	ds - 2022 Re SIDENTIAL OB nalysis D2 De Type Dr Walls	PERFORMAN 03 Construction Wood Fram Ceillin 02 Iue Spray Foar	on Type amed hg m insulation	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Graming 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_t 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None	erior us	21:10-05 07 U-factor 0.047	Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat Radiani Cavity / Fran Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Nat R-21 Wall R-38 Roof No At BUILDING ENVELOP	223-P0101071554 Efficiency Standard OMPLIANCE - REINTRAL COAST ADU CONSTRUCTIONS CONSTRUCTIONS Exterior Exterior Cathedra Installation (QII)	ds - 2022 Re SIDENTIAL OB nalysis D2 De Type Dr Walls	PERFORMAN 03 Construction Wood Fram Wood Fram Ceilin	on Type amed hg m insulation	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Graming 0 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_t 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None	erior us	21:10-05 07 U-factor 0.047	Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat Radiani Cavity / Fran Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE C 01 Construction Na R-21 Wall R-38 Roof No At BUILDING ENVELOP 01 Quality Insulation	223-P0101071554 Efficiency Standard DMPLIANCE - REINTRAL COAST ADU (ption: Title 24 A CONSTRUCTIONS (me Surface Exterior Title 24 A CONSTRUCTIONS	ds - 2022 Re SIDENTIAL OB nalysis D2 De Type Dr Walls	PERFORMAN 03 Construction Wood Fram Ceillin 02 Iue Spray Foar	on Type amed hg m insulation	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Graming 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_t 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None	erior us	21:10-05 07 U-factor 0.047	Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat Radiani Cavity / Fran Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cel Calculation Descri OPAQUE SURFACE C 01 Construction Na R-21 Wall R-38 Roof No At BUILDING ENVELOP 01 Quality Insulation Requi	223-P0101071554 Efficiency Standard DMPLIANCE - REINTRAL COAST ADU (ption: Title 24 A CONSTRUCTIONS (me Surface Exterior Title 24 A CONSTRUCTIONS	ds - 2022 Re SIDENTIAL OB nalysis D2 De Type Dr Walls	PERFORMAN 03 Construction Wood Fram Ceillin 02 Iue Spray Foar	on Type amed hg m insulation	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Graming 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_t 05 Total Cavity R-value R-22	me: 2023-08- OB_E_CZ4.rik 06 Interior / Ext Continuo R-value 5 / None	erior us	21:10-05 07 U-factor 0.047	Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof De: Siding/sheat Radiani Cavity / Fran Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na R-21 Wall R-38 Roof No At BUILDING ENVELOP 01 Quality Insulation Requi	223-P0101071554 Efficiency Standard OMPLIANCE - REINTRAL COAST ADU CONSTRUCTIONS CONSTRUCTIONS Exterio Exterio E - HERS VERIFICA Installation (QII) ired	ds - 2022 Re SIDENTIAL OB nalysis O2 OF Type OF Walls High R-va	PERFORMAN 03 Construction Wood Fram Ceilin 02 Iue Spray Foar Not Required	on Type led Wall amed bg	2x6 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Framing 16 in. O. C.	2022.0.000 rev 20220901 ation Date/Tir ille Name: 3_0 05 Total Cavity R-value R-22 R-39	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None None / No	erior us ne	21:10-05 07 U-factor 0.047 0.028	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof Der Siding/sheat Radiant Cavity / Fram Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1
CERTIFICATE OF CO Project Name: Cer Calculation Descri OPAQUE SURFACE CO 01 Construction Na R-21 Wall R-38 Roof No At BUILDING ENVELOP 01 Quality Insulation Requi	DMPLIANCE - REINTRAL COAST ADU CONSTRUCTIONS CONSTRUCTIONS Exterior E - HERS VERIFICA Installation (QII) ired STEMS 02	SIDENTIAL OB nalysis TION High R-va	PERFORMAN 03 Construction Wood Fram Ceilin 02 Iue Spray Foar Not Required	on Type med Wall minsulation	2x12 @	Report Version: Schema Version: Schema Version: Calcula Input F 04 Framing 016 in. O. C. 016 in. O. C.	2022.0.000 rev 20220901 Ation Date/Tir File Name: 3_0 05 Total Cavity R-value R-22 R-39 06 Solar He	me: 2023-08- OB_E_CZ4.ril 06 Interior / Ext Continuo R-value 5 / None None / No	erior us ne 04 07 Comp	21:10-05 07 U-factor 0.047 0.028	Assemb Inside Finish: Sheathing / Insula Cavity / Fran Exterior Finish Roofing: Light Roc Roof Der Siding/sheat Radiant Cavity / Fram Inside Finish:	CF1R-PRF-0 (Page 10 of (Page 1



Registration Number: 223-P010107155A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-24 17:21:46



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NO.	DESCRIPTION	DATE
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DRAW	N BY:	

CHECKED BY:

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR TO SUCH USE, RE-USE, REFRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

CF1R-PRF-01-E

Report Generated: 2023-08-25 16:18:15

HERS Provider:

Report Generated: 2023-08-25 16:18:15

CalCERTS inc.

Jaıme Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

ENGINEERING

ONE BED T24 FORMS HYBRID

DESCRIPTION

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ENGINEER BY:

DRAWN BY:

CHECKED BY:

ZONE INFORMATIO	ON													
01		02	03			04			05	Τ	06			07
Zone Name	1	Zone Type	HVAC Syste	m Name	Zc	ne Floor A	rea (ft²)	Avg.	Ceiling Height	Wa	ter Heating Sys	tem 1	St	atus
IU-1&2 Conditioned			OU-:	11		523.99	.99		8		DHW Sys 1		N	lew
OPAQUE SURFACES	s													
01		02	03		(04		05	06		07			08
Name		Zone	Construction	1	Aziı	muth	Ori	entation	Gross Area (f	t²)	Window an Area (f		Ti	lt (deg)
Front Wall	I	J-1&2	R-21 Wall		3	15		n/a	143.92		21			90
Lateral 1 Wall	II	J-1&2	R-21 Wall		1	35		n/a	128		36			90
Lateral 2 Wall	ų.	J-1&2	R-21 Wall		2	25		n/a	128		84			90
Lateral 2 Wall 2	2 11	U-1&2	R-21 Wall		2	25	do- file	n/a	52.33		0			90
Back Wall	II	J-1&2	R-21 Wall		1	35		n/a	26.25	3	17.5			90
Lateral 1 Wall 2	2 11	J-1&2	R-21 Wall			45		n/a	40		4.5			90
Lateral 1 Wall	3 11	J-1&2	R-21 Wall			45		n/a	90	>	24			90
Lateral 2 Wall	3 11	J-1&2	R-21 Wall		315		n/a		42.99		0			90
Back Wall 2	I	J-1&2	R-21 Wall		1	135 n/a 93.66			0		90			
Interior Surface	e IU-1&	2>>IU-1&2	R-0 Wall		r	n/a		n/a	93.66		0			n/a
OPAQUE SURFACES	S - CATHEDRAL (CEILINGS												
01	02	03	04	05	5	06		07	08		09	10		11
Name	7	Comptonetion	0-1	Oriona	1		2.	Skylight Are	a Roof Rise (x	in	Roof	D = = f E == :44		Cool Boo

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Number: 223-P010107161A-000-000-000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

10 11 Roof Emittance Cool Roof
Poof Emittanea Coal Boof
ROOI EIIIILIAIICE COOI ROOF
0.85 Yes
0.85 Yes
0.85 Yes
0.85 er:

Report Version: 2022.0.000

Schema Version: rev 20220901

	Project Name: Central Calculation Description			Calculation Date/Time Input File Name: 3_OB	: 2023-08-25T18:17:45-05:00		(Page 4 of 13)
	ENERGY USE SUMMARY	i. Title 24 Allalysis		input rile ivalile. 5_0b	_11_CZ4.11b022X		
	Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (KTDV/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
	Space Heating	1.48	11.01	1.25	9.44	0.23	1.57
	Space Cooling	0.73	30.39	0.52	24.51	0.21	5.88
	IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
	Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
	Self Utilization/Flexibility Credit				0		0
	South Facing Efficiency Compliance Total	17.16	110.67	14.96	95.76	2.2	14.91
	Space Heating	1.48	11.01	1.02	7.48	0.46	3.53
	Space Cooling	0.73	30.39	0.51	22.92	0.22	7.47
	IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
	Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
	Self Utilization/Flexibility Credit				0		0
	West Facing Efficiency Compliance Total	17.16	110.67	14.72	92.21	2.44	18.46

		ERFORMANCE COMPLIANCE METHOD			CF1R-PRF-0
-	ne: Central Coast ADU OB			ation Date/Time: 2023-08-25T18:17:45-0	05:00 (Page 1 of :
Calculation	Description: Title 24 Analysis		Input	File Name: 3_OB_H_CZ4.ribd22x	
GENERAL IN	FORMATION				
01	Project Name	Central Coast ADU OB			
02	Run Title	Title 24 Analysis			
03	Project Location	_			
04	City	Atascadero	05	Standards Version	2022
06	Zip code	93423	07	Software Version	EnergyPro 9.0
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	All orientations
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Newly Constructed	13	Number of Bedrooms	1
14	Addition Cond. Floor Area (ft ²)	0	15 Number of Stories 1		
16	Existing Cond. Floor Area (ft ²)	n/a	17	0.27	
18	Total Cond. Floor Area (ft²)	523.99	19	Glazing Percentage (%)	28.30%
20	ADU Bedroom Count	n/a			
COMPLIANC	E RESULTS				
01	Building Complies with Computer	Performance		OVIDER	
02	This building incorporates feature	s that require field testing and/or verificatio	n by a co	ertified HERS rater under the supervision of a	CEC-approved HERS provider.
03	This building incorporates one or	more Special Features shown below			

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Schema Version: rev 20220901

Project Nam	E OF COMPLIANCE - RESIDENTIAL P ne: Central Coast ADU OB Description: Title 24 Analysis	ERFORMANCE COMPLIANCE M	Calcula	tion Date/Time: 2023-08-25T18:17:45 ile Name: 3_OB_H_CZ4.ribd22x	5-05:00	CF1R-PRF-01- (Page 1 of 13
GENERAL INF	ORMATION					
01	Project Name	Central Coast ADU OB				
02	·	Title 24 Analysis				
03	Project Location	,				
04		Atascadero	05	Standards Version	on 2022	
06	Zip code		07	Software Version		
08	Climate Zone		09	Front Orientation (deg/ Cardina		
10	Building Type		11	Number of Dwelling Uni	`	
12		Newly Constructed	13	Number of Bedroon		
14	Addition Cond. Floor Area (ft²)	· ·	15	Number of Storie		
16	Existing Cond. Floor Area (ft ²)	n/a	17	Fenestration Average U-factor	or 0.27	
18	Total Cond. Floor Area (ft²)	523.99	19	Glazing Percentage (9	6) 28.30%	
20	ADU Bedroom Count	n/a			•	
COMPLIANCE						
01	Building Complies with Computer			OVIDER		
02				tified HERS rater under the supervision o	f a CEC-approved HERS provid	ler.
03	This building incorporates one or	more Special Features shown belo	w			

ulation Description: Tit	tle 24 Analys	sis					ion Date/Ti le Name: 3_						age 9 of 1
RHANGS AND FINS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
			Overhang				Left	Fin			Righ	t Fin	
Window	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Тор Uр	Dist L	Bot Up	Depth	Тор Uр	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	3	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5		0.75		0		0	0	0	0	0

SLAB FLOORS						LAB FLOORS													
01	02	03	04	05	06	07	08												
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated												
Slab-on-Grade	IU-1&2	274.52	0.1	none	0	100%	No												
Slab-on-Grade 2	IU-1&2	59.49	0.1	none	0	100%	No												
Slab-on-Grade 3	IU-1&2	45.5	0.1	none	0	100%	No												
Slab-on-Grade 4	IU-1&2	144.48	0.1	none	0	100%	No												

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	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25	16:18:15

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD)	CF1R-PRF-01-E
Project Name: Central Coast ADU OB	Calculation Date/Time: 2023-08-25T18:17:45-05:00	(Page 6 of 13)

Input File Name: 3_OB_H_CZ4.ribd22x

REQUIRED PV SYS	TEMS										
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
1.7	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	<=7:12	96	98

REQUIRED SPECIA	L FEATURES								
The following are	features that must be ir	stalled as condition for	meeting the mode	led energy performance	for this o	omputer anal	ysis.		4

The fo	ollowing are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
•	Indoor air quality, balanced fan
•	IAQ Ventilation System: as low as 0.30303 W/CFM

IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual IAQ Ventilation System: fault indicator display

Calculation Description: Title 24 Analysis

- Window overhangs and/or fins Compact distribution system basic credit Recirculating with demand control, occupancy/motion sensor
- HERS FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for the detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Quality insulation installation (QII)
- Indoor air quality ventilation Kitchen range hood Verified heat pump rated heating capacity

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OB	523,99	1	1	1	0	1

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Project Name: Central Coast ADU OB	Calculation Date/Time: 2023-08-25T18:17:45-05:00	(Page 3 of 13)
Calculation Description: Title 24 Analysis	Input File Name: 3_OB_H_CZ4.ribd22x	

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.48	11.01	0.75	5.63	0.73	5.38
Space Cooling	0.73	30.39	0.62	26.57	0.11	3.82
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	17.16	110.67	14.56	94.01	2.6	16.66
Space Heating	1,48	11.01	1.07	8.06	0.41	2.95
Space Cooling	0.73	30.39	0.65	29.62	0.08	0.77
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	17.16	110.67	14.91	99.49	2.25	11.18

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
North Facing				
Gross EUI ¹	40.02	37,19	2.83	7.07
Net EUI ²	22.44	19.61	2.83	12.61
East Facing				
Gross EUI ¹	40.02	37.4	2.62	6.55
Net EUI ²	22.44	19.82	2.62	11.68
South Facing				
Gross EUI ¹	40.02	37.44	2.58	6.45
Net EUI ²	22.44	19.86	2.58	11.5
West Facing		N		
Gross EUI ¹	40.02	37.24	2.78	6.95
Net EUI ²	22.44	19.66	2.78	12.39

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Cool Roof

Bug Screen

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SHGC Source Exterior Shading

NFRC

NFRC

NFRC

NFRC

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Skylight Area Roof Rise (x in

07 08 09

12)

SHGC

0.23

NFRC 0.23

NFRC 0.23

NFRC 0.23

NFRC 0.23

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42 0.27

12 0.27

Area (ft²)

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0.27

0.27

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

R-38 Roof No Attic

Lateral 1 Wall

02 03 04 05

315

n/a

Side of Building

Front Wall

144.48

Project Name: Central Coast ADU OB

Calculation Description: Title 24 Analysis

OPAQUE SURFACES - CATHEDRAL CEILINGS

FENESTRATION / GLAZING

OPAQUE DOORS

IU-1&2

Window Lateral 1 Wall

Window 3 Window Lateral 1 Wall

Window OP 2 Window Lateral 2 Wall

Window 4 Window Lateral 1 Wall 2

Window 5 Window Lateral 1 Wall 3 Window 6 Window Lateral 1 Wall 3

Registration Number: 223-P010107161A-000-000-0000000-0000

Project Name: Central Coast ADU OB

Calculation Description: Title 24 Analysis

CA Building Energy Efficiency Standards - 2022 Residential Compliance

1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

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Calculation Description: Title 24 Analysis	Input File Name: 3_OB_H_CZ4.ribd22x	

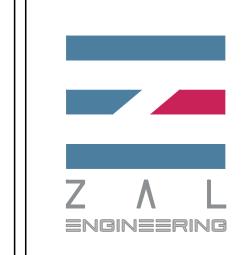
		Energy Design Ratings		Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	49.9	51.9	43.7			
Proposed Design						
North Facing	45.5	44	39.7	4.4	7.9	4
East Facing	46	46.6	41	3.9	5.3	2.7
South Facing	46.1	44.9	40.1	3.8	7	3.6
West Facing	45.7	43.2	39.2	4.2	8.7	4.5

Efficiency EDR includes improvements like a better building envelope and more efficient equipment Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded
Standard Design PV Capacity: 1.70 kWdc Proposed PV Capacity Scaling: North (1.70 kWdc) East (1.70 kWdc) South (1.70 kWdc) West (1.70 kWdc)

Registration Number: 223-P010107161A-000-000-000000-0000	Registration Date/Time: 2023-08-25 17:28:18	HERS Provider:	CalCERTS i
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901	Report Generated: 2023-08-25	16:18:15

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)



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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU OB

Registration Number: 223-P010107161A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Cent Calculation Descrip	tral Coast ADU OB otion: Title 24 Analy	rsis						_	/Time: 202 3_OB_H_0		T18:17:45-05: 22x	:00		(Page 12 of 13)
SPACE CONDITIONIN	G SYSTEMS													
01	02	03		04		05			06		07	08		09
Name	System Type	Heating Unit	Name	Heating Equips Count	ment	Cooling Unit N	ame	_	g Equipment Count	i Fa	an Name	Distribution N	lame	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump S 1	ystem	1		Heat Pump Sys 1	tem		1		n/a	n/a		Setback
HVAC - HEAT PUMPS														
01	02	03	04	1 05	06	07		08	09	10	11	12		13
				Heating					Cooling					
Name	System Type	Number of Units	Efficie Typ	' HSPE2 /	Сар	47 Cap 17		iciency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	н	ERS Verification
Heat Pump System 1	Ductless MiniSplit HP	71	HSF	PF 10	2200	00 15000	EE	RSEER	20	12.7	Not Zonal	Single Speed		eat Pump System 1-hers-htpump
HVAC HEAT PUMPS -	HERS VERIFICATION			THIET	75									
01	02	03	-67	04		05			06	T	07	08		09
Name	Verified Airflow	Airflow Ta	rget	Verified EER/E	ER2	Verified SEER/SEER	2		d Refrigeran Charge		/erified PF/HSPF2	Verified Hear Cap 47	ting	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Not Require	d	Not Require	ed		No		No	Yes		Yes
INDOOR AIR QUALIT	Y (IAQ) FANS													
01	02	03		04		05			06		07	08		09
Dwelling Unit	Airflow (CFM)	Fan Effica (W/CFN		IAQ Fan Typ	ъе	Includes Heat/Energ Recovery?		1 -	Recovery veness - SRE		udes Fault ator Display?	HERS Verifica	ation	Status
SFam IAQVentRpt 1-1	66	0.30303	3	Balanced	\Box	Yes			83		No	Yes		

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CA Building Energy Efficiency Standards - 2022 Residential Compliance

Calculation D	escription: T	itle 24 Analysi				Input	File Nam	e: 3_	OB_H_CZ4.rib	d22x					
WATER HEATE	RS						,								
01	02	03	04	05	06	, [07	08		09	10	11		12	13
Name	Heating Element Type	Tank Type	# of Units	ts lank vol. Ef		ing ency e	Efficiency	Rated In Type		Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby or Reco Eff	very	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneo us	1	o	UEI	F	0.93	Btu/Hr		200000	0	n/a	١	n/a	
RECIRCULATIO	N LOOPS														
	01		/ ₁ 0	2			03				04		05		
Water Heating System Name Number of R			umber of Rec	Recirculation Loops Loop Insulation Thickness (in)				Recirculation Loop Location Recir			Recirc	Recirculation Pump Power (W)			
DHW Sys 1				1.5					Conditioned 0						
MATER HEATIN	NG - COMPACT	T DISTRIBUTION				7			3						
01		02		03			04			05		06		1 (07
	Water Heating System			Master Bath distance of furthest fixture to Water Heater (ft)						est Third furthe to Water Heat (ft)			ness Factor HERS Ve		rification
Dwell	ling	DHW Sy:	s 1	n/a			n/a	n/a			0.7		n/a		
			•								•			•	
	NG - HERS VER			03			04			OF.	Т	06		Т,	7
01 02 Name Pipe Insulation		ation	Parallel Piping	;	Con	npact Distribut	ion	05 Compact Distribution Type		n Recircu	06 Recirculation Control		07 Shower Drain Water Her		
DHW Sys 1 - 1/1 Not Required		ired	Not Required		Not Required		Basic		Not Required		d	Not Required			

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	- RESIDENTIAL PERFORMANCE COMPLIANCE METHOD		CF1R-PRF-01-
Project Name: Central Coast A		Calculation Date/Time: 2023-08-25T18:17:45-05:00	(Page 13 of 13
Calculation Description: Title	24 Analysis	Input File Name: 3_OB_H_CZ4.ribd22x	
DOCUMENTATION AUTHOR'S DE	CLARATION STATEMENT		
1. I certify that this Certificate of	Compliance documentation is accurate and complete.		
Documentation Author Name: Jaime Zaldivar		Documentation Author Signature:	
Company: ZAL Engineering		Signature Date: 2023-08-25 17:28:18	
Address: 99 Pacific St, Ste 375G	WIV	CEA/ HERS Certification Identification (If applicable): M37306	
City/State/Zip: Monterey, CA 93940		Phone: 831-641-7739	
RESPONSIBLE PERSON'S DECLAR	ATION STATEME <mark>NT</mark>		
I certify that the energy for the building design feature.		Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the Calif e are consistent with the information provided on other applicable compliance do	**
ZAL Engineering		2023-08-25 17:28:18	
Address: 99 Pacific St, Ste 375G		License: M37306	
City/State/Zip:		Phone: 831-641-7739	

Registration Provider responsibility for the accuracy of the information.

Easy to Verify at CalCERTS.com

CalCERTS inc.

Registration Number: 223-P010107161A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

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OPAQUE SURFACE CONSTR	RUCTIONS						
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2хб @ 24 in. О. С.	R-30	4.2 / None	0.041	Inside Finish: Gypsum Board Sheathing / Insulation: R-4.2 Sheathing Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-39	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board
R-0 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. 0. C.	R-O	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board

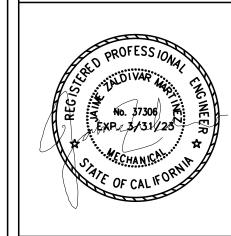
BUILDING ENVELOPE - HERS VERIFICAT	TION HE	RS PROV		
01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

Registration Number: 223-P010107161A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

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ONE BED T24 FORMS HYBRID

NO.	DESCRIPTION	DA				
	٠					
2						
3						
4						
ENGINEER BY:						
DRAWN BY:						
CHECK	ED BY:					

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