

ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedroom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT

1. Enter PROJECT INFORMATION and a VICINITY MAP in the space provided on Sheet G0.0.
2. Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
3. Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
4. If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
5. Submit your application materials using the instructions on the City website.
6. If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

1. All submitted plan sets must be accompanied by a Building Permit Application.
2. All applications must include a site survey.

BUILDING DEPARTMENT

1. All applications must include a Construction Waste Management Plan.
2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

- PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

- | | | |
|-------------------------------|--------------------------------|--|
| 1A. Atascadero Municipal Code | 1. California Building Code | 5. California Mechanical Code |
| | 2. California Residential Code | 6. California Fire Code |
| | 3. California Electrical Code | 7. California Green Building Standards Code |
| | 4. California Plumbing Code | 8. California Energy Efficiency Standards Code |

PROJECT INFORMATION

OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION	
APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE (in SF)	
EXISTING HOME SIZE (in SF)	
PARCEL OVER 10% SLOPE	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.</small>
SRA FIRE HAZARD SEVERITY ZONE (WUI)	<input type="checkbox"/> APPLICABLE <input type="checkbox"/> NOT APPLICABLE <small>PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A, UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.</small>

PROJECT INFORMATION	
NUMBER OF STORIES	ONE (1)
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE VB

MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO
SERVED BY SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO <small>SEPTIC DESIGN BY A QUALIFIED PROFESSIONAL MUST BE INCLUDED WITH PERMIT SUBMITTAL</small>

PROPERTY OWNER	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

GENERAL SHEETS	
<input type="checkbox"/>	G0.0 COVER SHEET & PROJECT INFORMATION
<input type="checkbox"/>	G0.1 OWNER PROVIDED SITE PLAN
<input type="checkbox"/>	G1.0 GENERAL NOTES
<input type="checkbox"/>	G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS
<input type="checkbox"/>	G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS
ARCHITECTURAL	
<input type="checkbox"/>	A1.0 RANCH - FLOORPLAN & ELEVATIONS
<input type="checkbox"/>	A1.1 RANCH - ROOF PLAN & RCP
<input type="checkbox"/>	A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A3.0 MODERN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A3.1 MODERN - ROOF PLAN & RCP
<input type="checkbox"/>	A4.0 BUNGALOW - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A4.1 BUNGALOW - ROOF PLAN & RCP
<input type="checkbox"/>	A2.1 CRAFTSMAN - ROOF PLAN & RCP
<input type="checkbox"/>	A1.2 RANCH - SECTIONS
<input type="checkbox"/>	A2.2 CRAFTSMAN - SECTIONS
<input type="checkbox"/>	A3.2 MODERN - SECTIONS
<input type="checkbox"/>	A4.2 BUNGALOW - SECTIONS
<input type="checkbox"/>	A5.0 EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.1 EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.2 EXTERIOR DETAILS
<input type="checkbox"/>	A5.3 INTERIOR DETAILS & WALL PARTITIONS
<input type="checkbox"/>	A6.0 SCHEDULES- ONE BEDROOM
STRUCTURAL	
<input type="checkbox"/>	S0.0 STRUCTURAL NOTES
<input type="checkbox"/>	S0.1 TYPICAL DETAILS
<input type="checkbox"/>	S1.0 ROOF/CEILING FRAMING & FOUNDATION PLAN
<input type="checkbox"/>	S2.0 FOUNDATION DETAILS
<input type="checkbox"/>	S2.1 ROOF FRAMING DETAILS
<input type="checkbox"/>	S2.2 ROOF FRAMING DETAILS (CONT.)
MECHANICAL	
<input type="checkbox"/>	MP0.1 GENERAL NOTES
<input type="checkbox"/>	MP0.2 SCHEDULES & GAS DIAGRAM & PLUMBING
<input type="checkbox"/>	MP2.1E MECHANICAL & PLUMBING PLANS - ELECTRIC
<input type="checkbox"/>	MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID
ENERGY COMPLIANCE/TITLE 24	
<input type="checkbox"/>	T24.9B TITLE 24 FORMS- ELECTRIC
<input type="checkbox"/>	T24.10B TITLE 24 FORMS- ELECTRIC
<input type="checkbox"/>	T24.11B TITLE 24 FORMS- HYBRID
<input type="checkbox"/>	T24.12B TITLE 24 FORMS- HYBRID



CENTRAL COAST PRE-DESIGNED ADU

CITY REVIEW SET

PROJECT DIRECTORY

ARCHITECT OF RECORD WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	CONSULTING ARCHITECT RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93465 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	MECHANICAL & PLUMBING ENGINEER ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 626 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN.

REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/>	COASTAL RANCH <small>For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1</small>
<input type="checkbox"/>	BACKYARD CRAFTSMAN <small>For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2</small>
<input type="checkbox"/>	CALIFORNIA MODERN <small>For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3</small>
<input type="checkbox"/>	BEACH BUNGALOW <small>For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4</small>
ROOFING MATERIAL (SELECT ONE)	
<input type="checkbox"/>	ASPHALT SHINGLE <small>For this option, use the listed sheets and details: Roof Details: A5.2</small>
<input type="checkbox"/>	METAL STANDING SEAM <small>For this option, use the listed sheets and details: Roof Details: A5.2</small>
<input type="checkbox"/>	APPLICANT REVISION
PRIMARY SIDING MATERIAL (SELECT ONE)	
<input type="checkbox"/>	VERTICAL PLANK FIBER CEMENT <small>For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1</small>
<input type="checkbox"/>	BOARD & BATTEN FIBER CEMENT <small>For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2</small>
<input type="checkbox"/>	HORIZONTAL LAP FIBER CEMENT <small>For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3</small>
<input type="checkbox"/>	SHINGLE FIBER CEMENT <small>For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4</small>
<input type="checkbox"/>	STUCCO <small>For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5</small>
<input type="checkbox"/>	APPLICANT REVISION
DESIGN OPTIONS (SELECT IF DESIRED)	
<input type="checkbox"/>	CURBLESS SHOWER <small>Requires foundation coordination. See detail 4/A5.3</small>
<input type="checkbox"/>	EXTERIOR SLIDING DOOR AT DEN <small>Requires framing coordination.</small>
<input type="checkbox"/>	APPLICANT REVISION
MECHANICAL SYSTEM (SELECT ONE)	
<input type="checkbox"/>	ALL-ELECTRIC SYSTEM <small>For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E</small>
<input type="checkbox"/>	HYBRID (ELECTRIC W/ GAS H2O HEATER) <small>For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H</small>
<input type="checkbox"/>	GAS RANGE
REQUIRED COMPLIANCE (CHECK IF APPLICABLE)	
<input type="checkbox"/>	PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE <small>PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"</small>
<input type="checkbox"/>	EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE <small>WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"</small>
SITE PLAN (REQUIRED)	
<input type="checkbox"/>	OWNER PROVIDED SITE PLAN COMPLETE <small>Complete Sheet G0.1, Owner-Provided Site Plan</small>

AREA CALCULATIONS - ONE BEDROOM
DWELLING UNIT - 626 GSF
EXT. COVERED PORCHES - 59 GSF

COASTAL RANCH EXTERIOR - PERSPECTIVE VIEW



BACKYARD CRAFTSMAN EXTERIOR - PERSPECTIVE VIEW



CALIFORNIA MODERN - PERSPECTIVE VIEW



BEACH BUNGALOW EXTERIOR - PERSPECTIVE VIEW



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BROCKETT ARCHITECT

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BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET & PROJECT INFORMATION - ATASCADERO

GO.0

SCALE: AS NOTED

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



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BID SET.
City of Atascadero Preview

SITE PLAN CHECKLIST The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND
Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12¹

**CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF**

PRINT DATE: XX.XX.XXXX

**OWNER PROVIDED
SITE PLAN -
ATASCADERO**

GO.1
SCALE: AS NOTED

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections: CHAPTER 3 GREEN BUILDING, SECTION 301 GENERAL, SECTION 302 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, SECTION 4.103 GRADING AND PAVING, SECTION 4.104 ELECTRIC VEHICLE CHARGING.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections: 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities, 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, 4.106.4.2.3 Electric vehicle charging stations (EVCS), 4.106.4.2.4 Electric vehicle charging stations (EVCS) dimensions, 4.106.4.2.5 Accessible EV spaces, 4.106.4.2.6 Electric vehicle charging stations (EVCS) requirements.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections: 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities, 4.106.4.3.1 Single Showerhead, 4.106.4.3.2 Multiple showerheads serving one shower, 4.106.4.3.3 Faucets, 4.106.4.3.4 Kitchen Faucets, 4.106.4.3.5 Pre-rinse spray valves, TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES, 4.303.2 Submeters for multifamily buildings, 4.303.3 Standards for plumbing fixtures and fittings.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections: 4.304 OUTDOOR WATER USE, 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.408.1 CONSTRUCTION WASTE MANAGEMENT, 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.408.3 WASTE MANAGEMENT COMPANY, 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE, 4.408.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, SECTION 4.502 DEFINITIONS, AGRIFIBER PRODUCTS, COMPOSITE WOOD PRODUCTS, DIRECT-VENT APPLIANCE.

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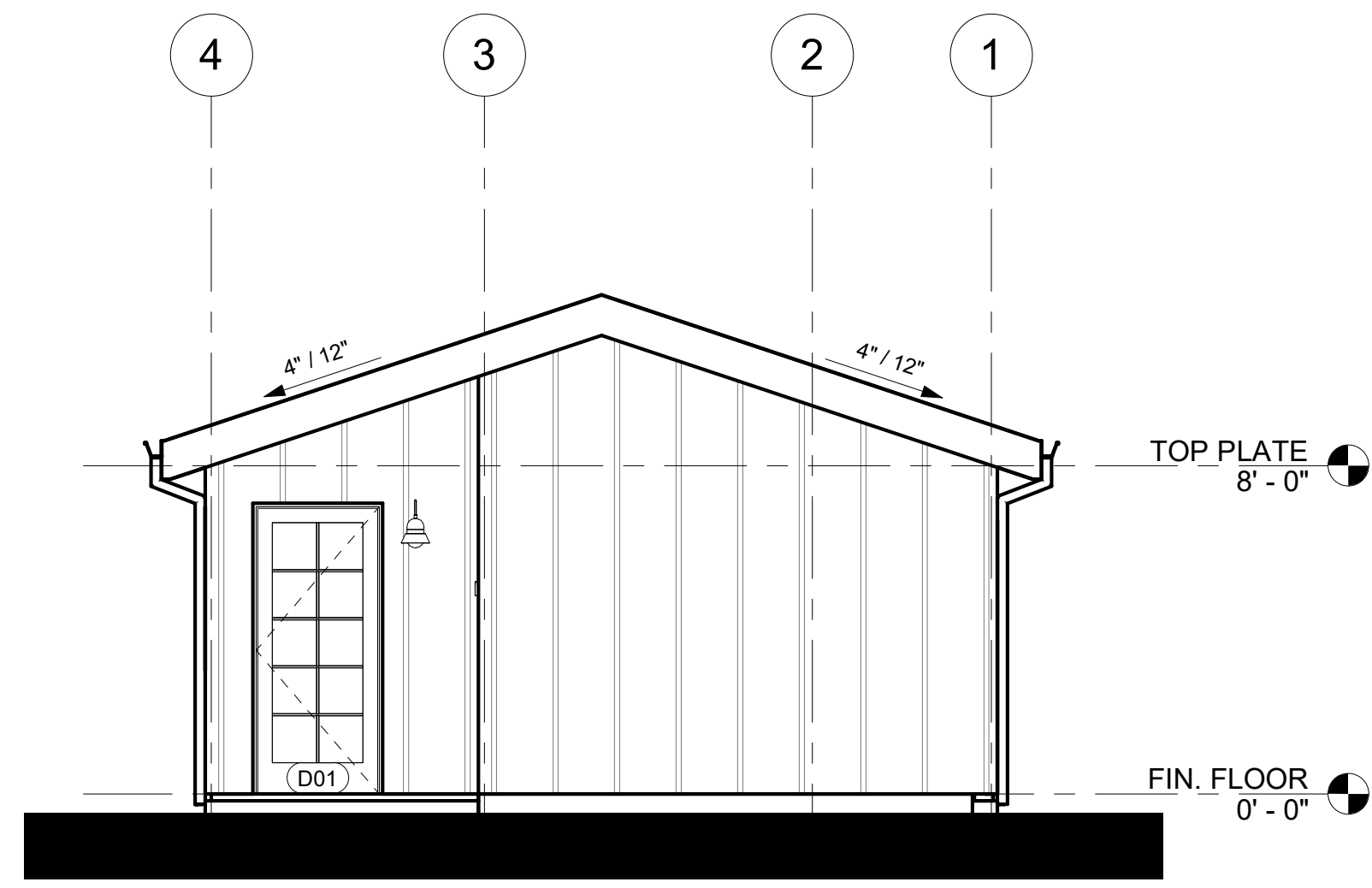
CENTRAL COAST PRE-DESIGNED ADU ONE BEDROOM 626 GSF

PRINT DATE: XXXXXX

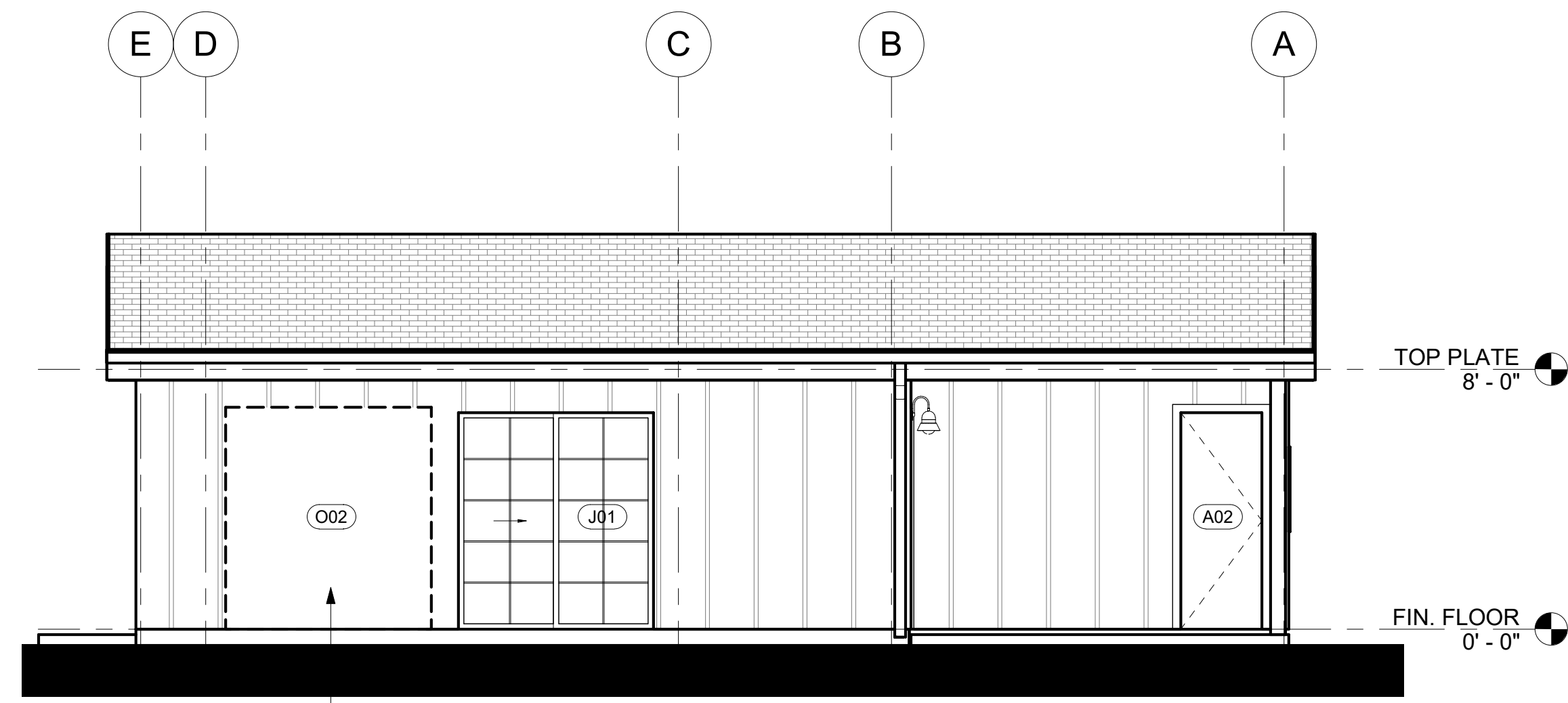
CAL GREEN/GREEN BUILDING REQUIREMENTS

G2.0

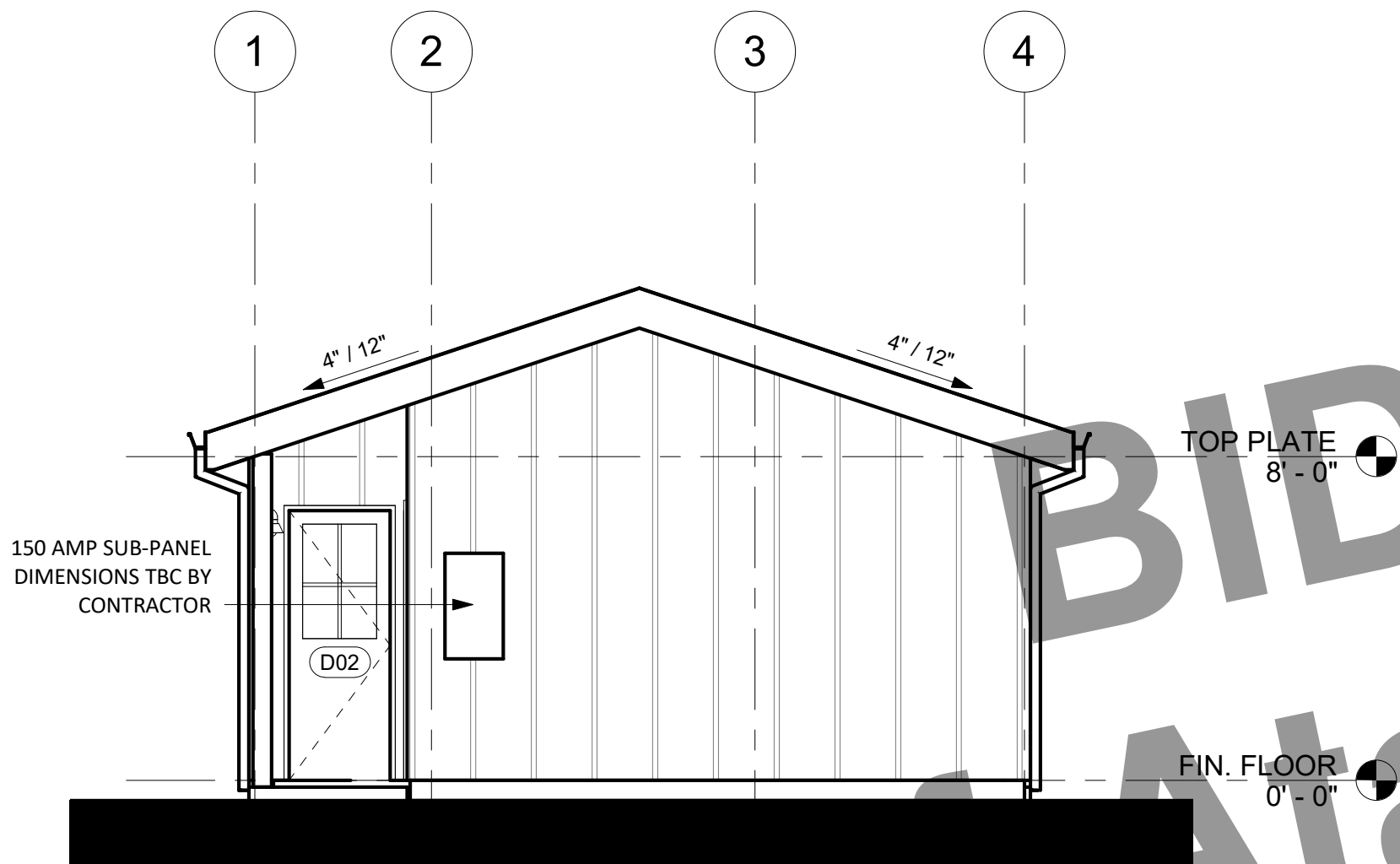
SCALE: AS NOTED



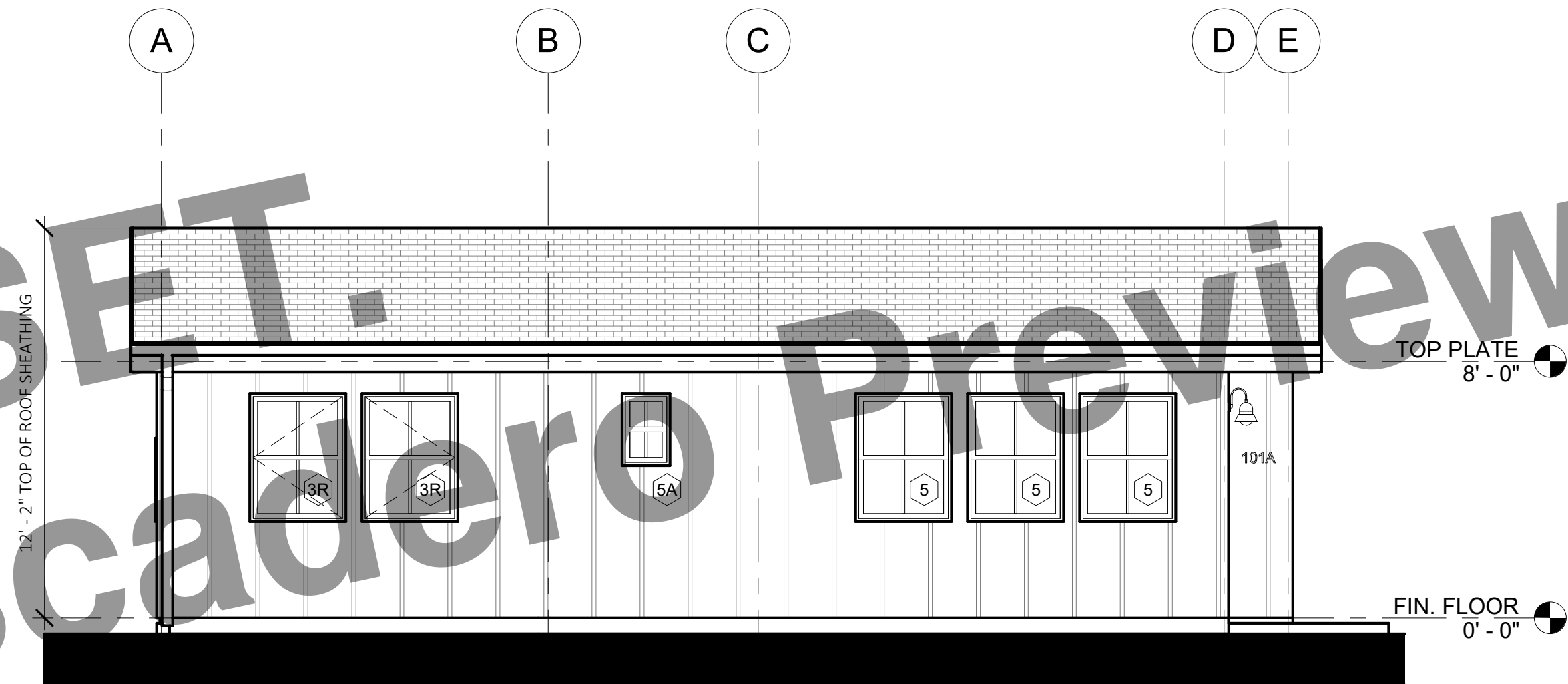
6 RIGHT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH
1/4" = 1'-0"



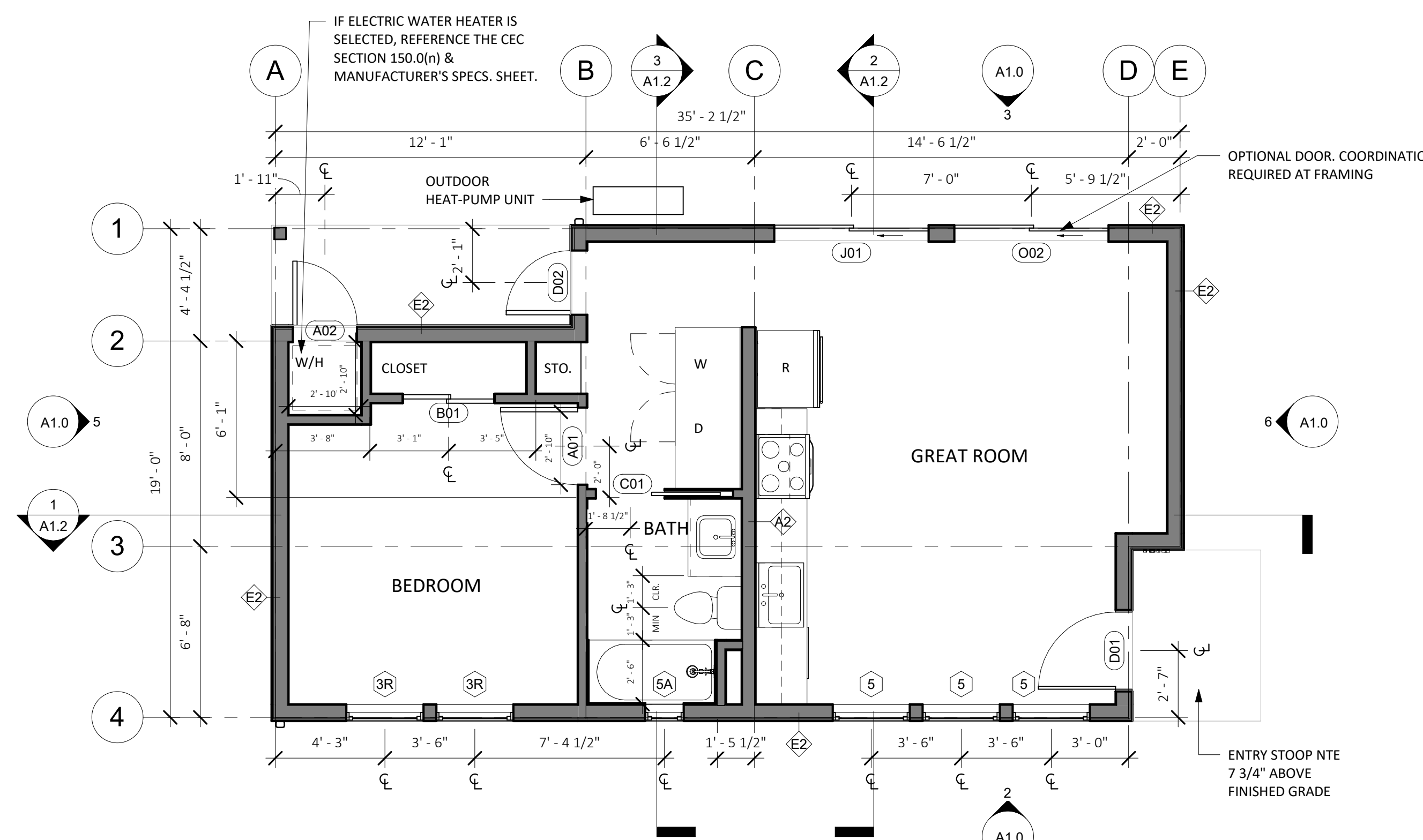
5 LEFT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM - COASTAL RANCH
NO SCALE



1 FLOOR PLAN - ONE BEDROOM
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

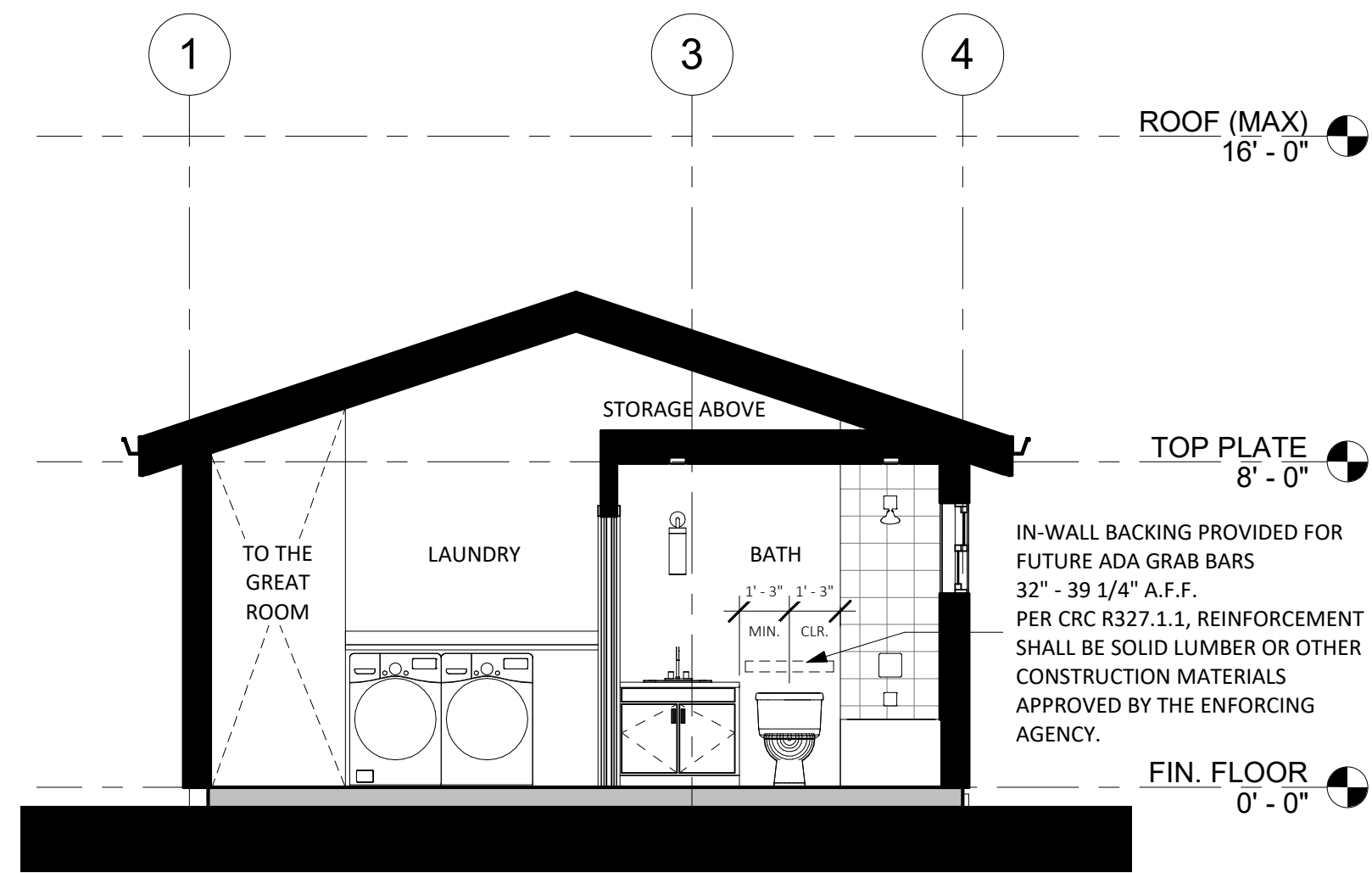
RANCH - FLOORPLAN
& ELEVATIONS

A1.0

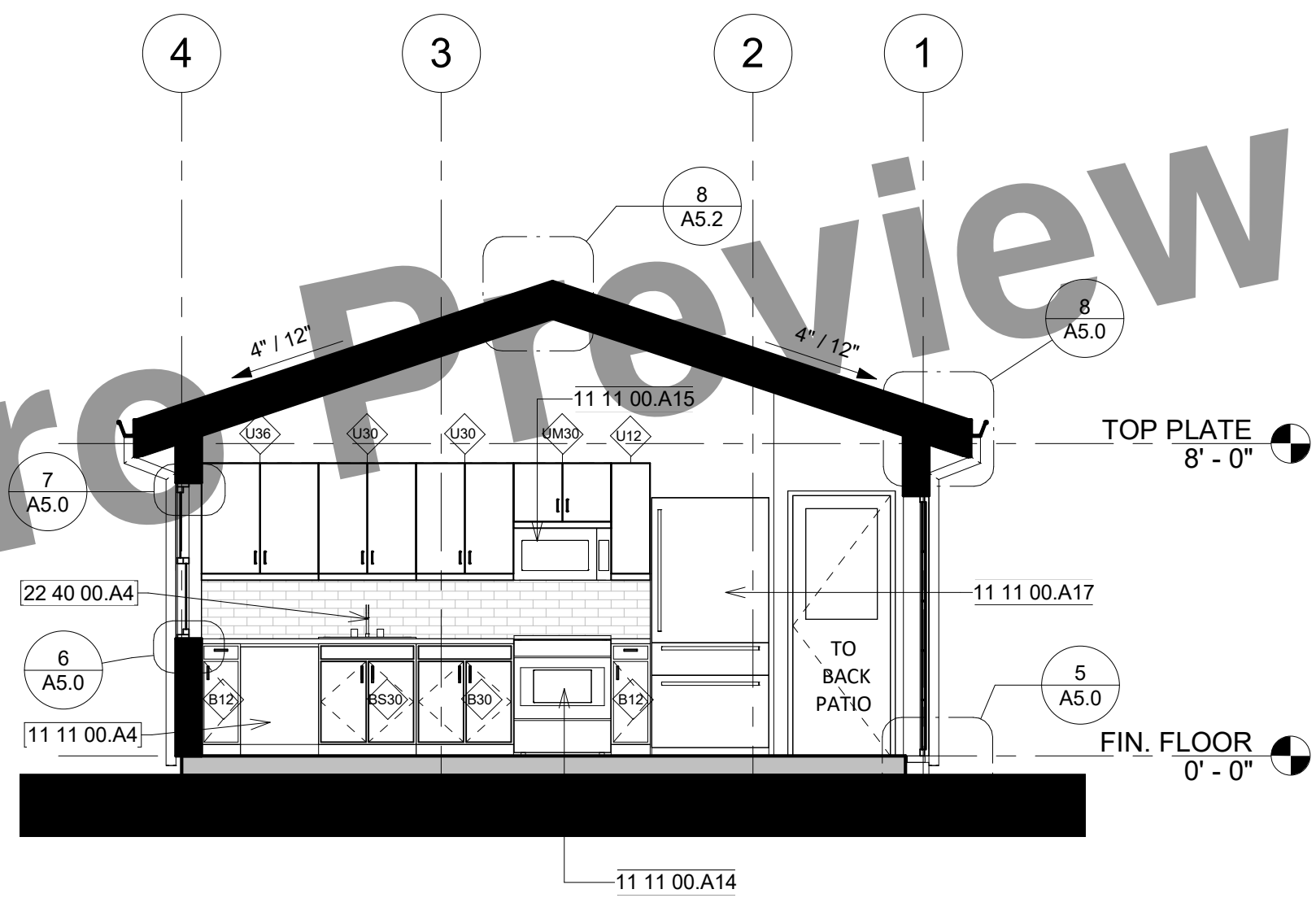
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BID SET.
City of Atascadero

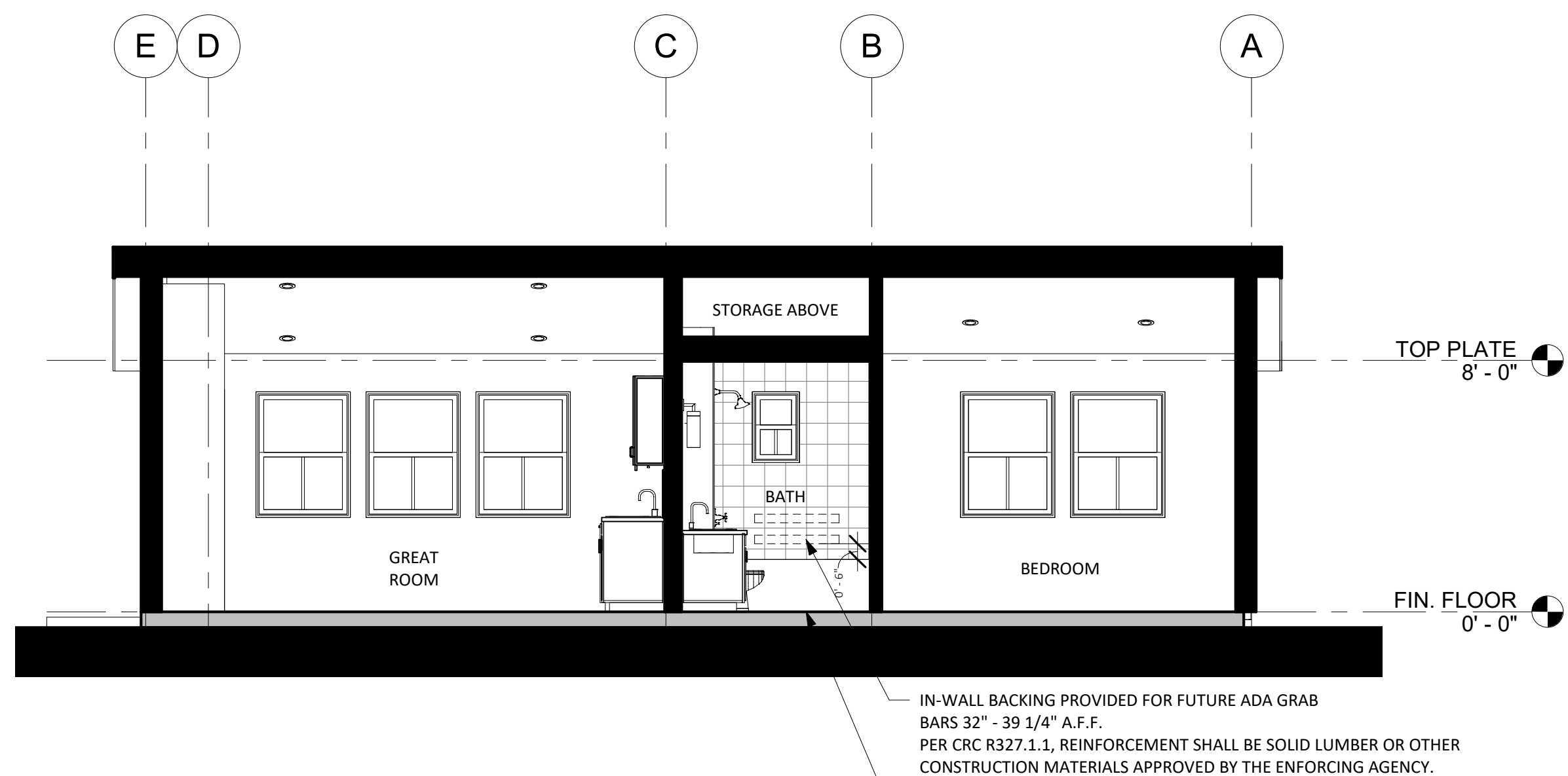
Preview



③ SECTION C - COASTAL RANCH
1/4" = 1'-0"



② SECTION B - COASTAL RANCH
1/4" = 1'-0"



① SECTION A - COASTAL RANCH
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



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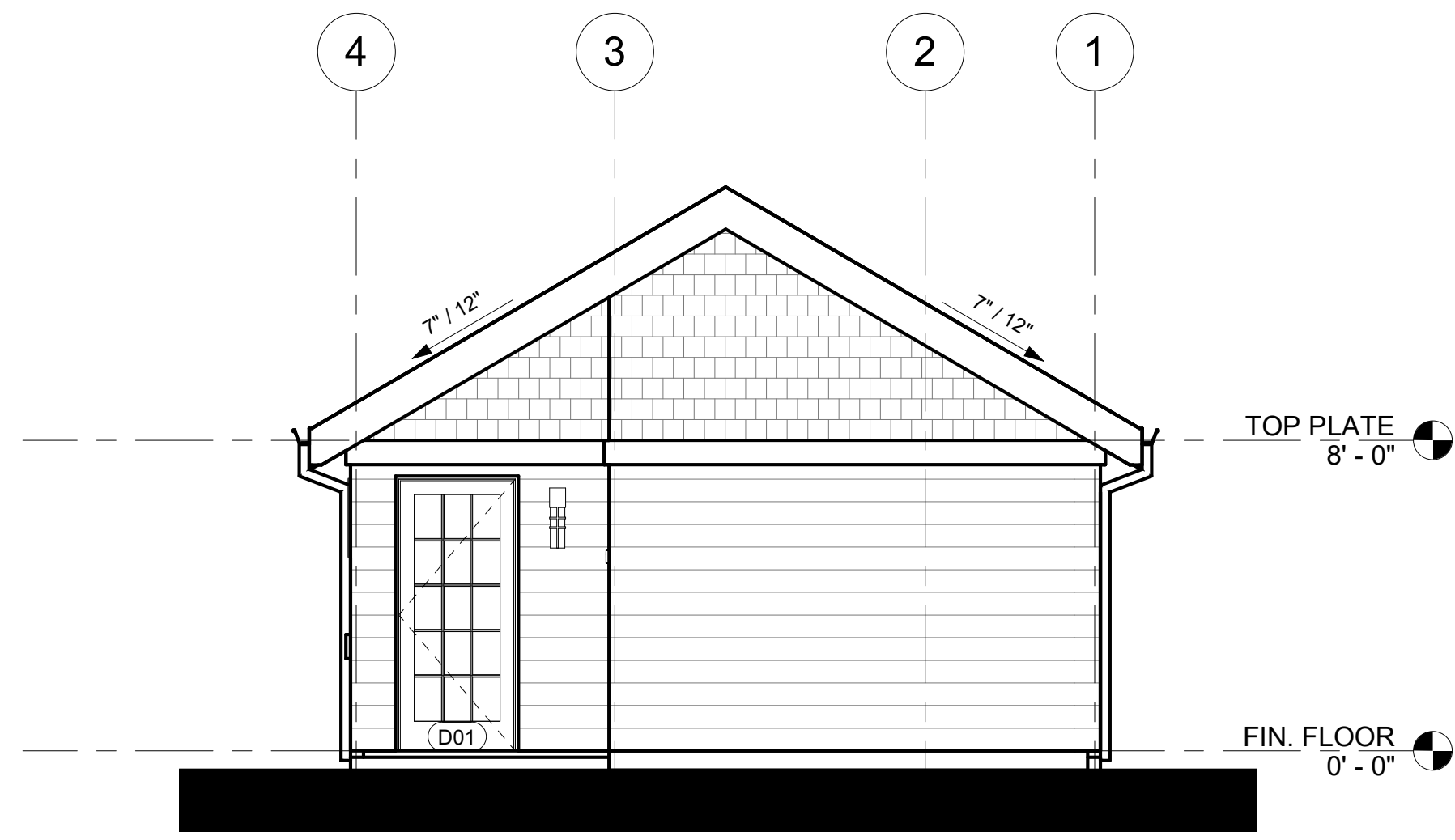
CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

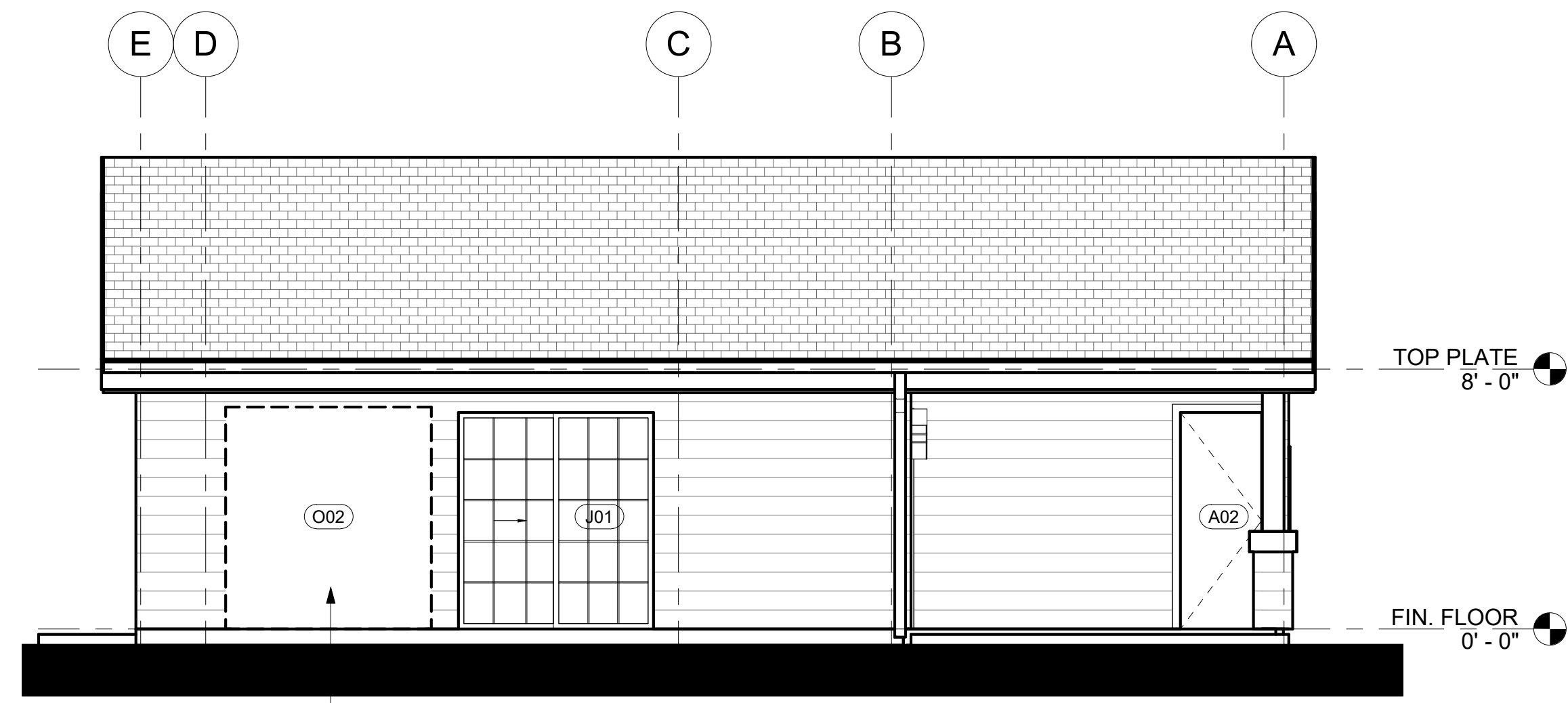
RANCH - SECTIONS

A1.2

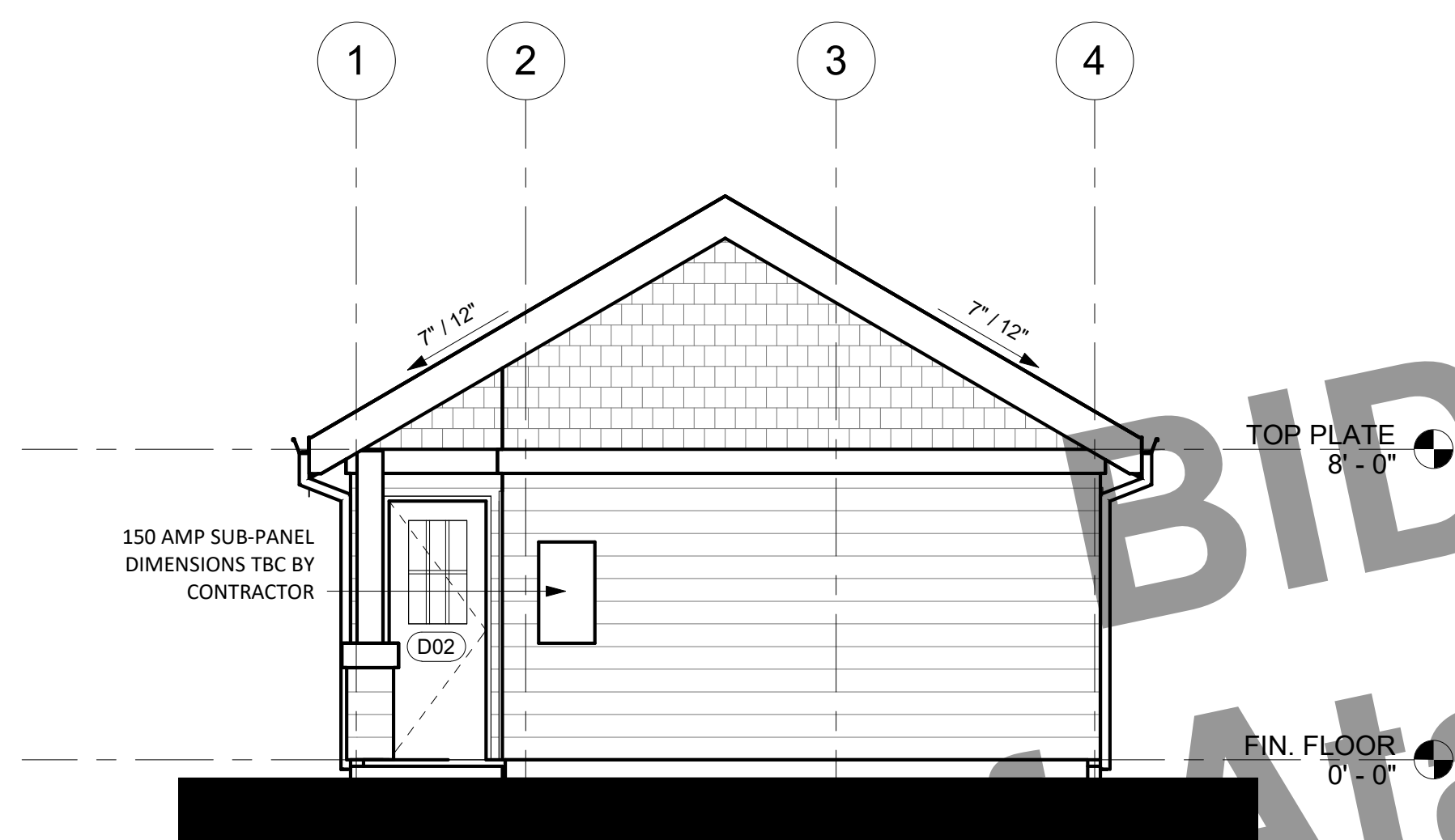
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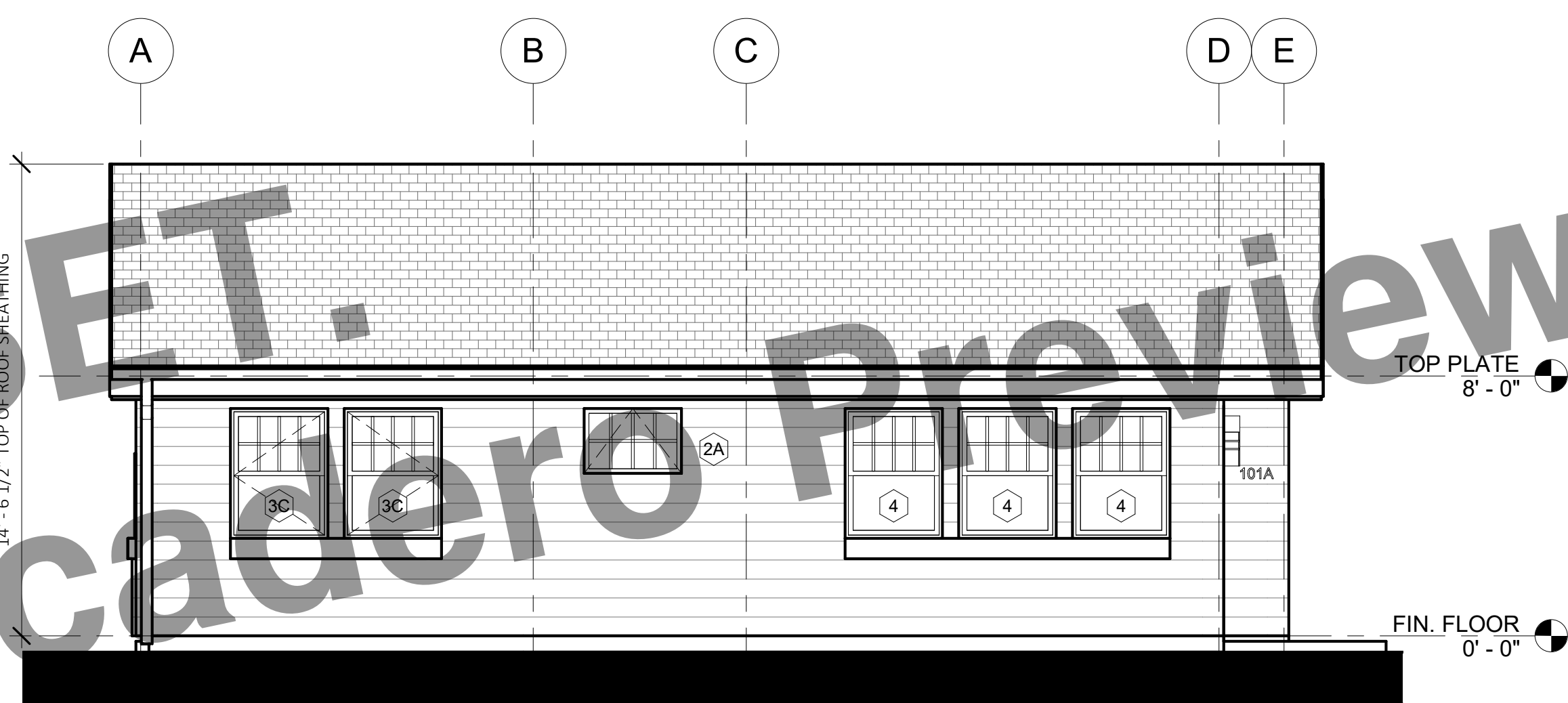
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



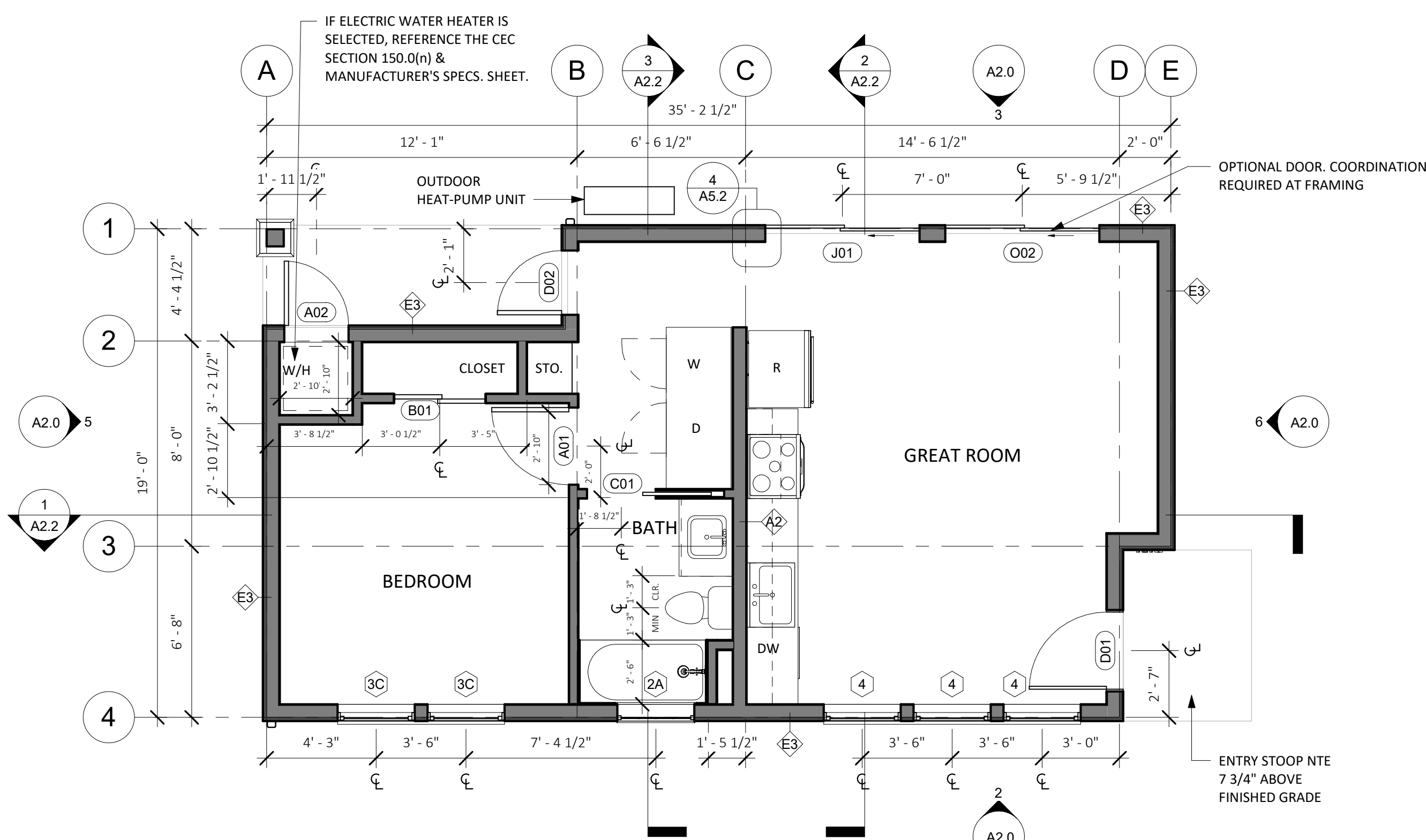
5 LEFT ELEVATION - BACKYARD CRAFTSMAN
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2 FRONT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM - BACKYARD CRAFTSMAN
NO SCALE



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1/4" = 1'-0"

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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

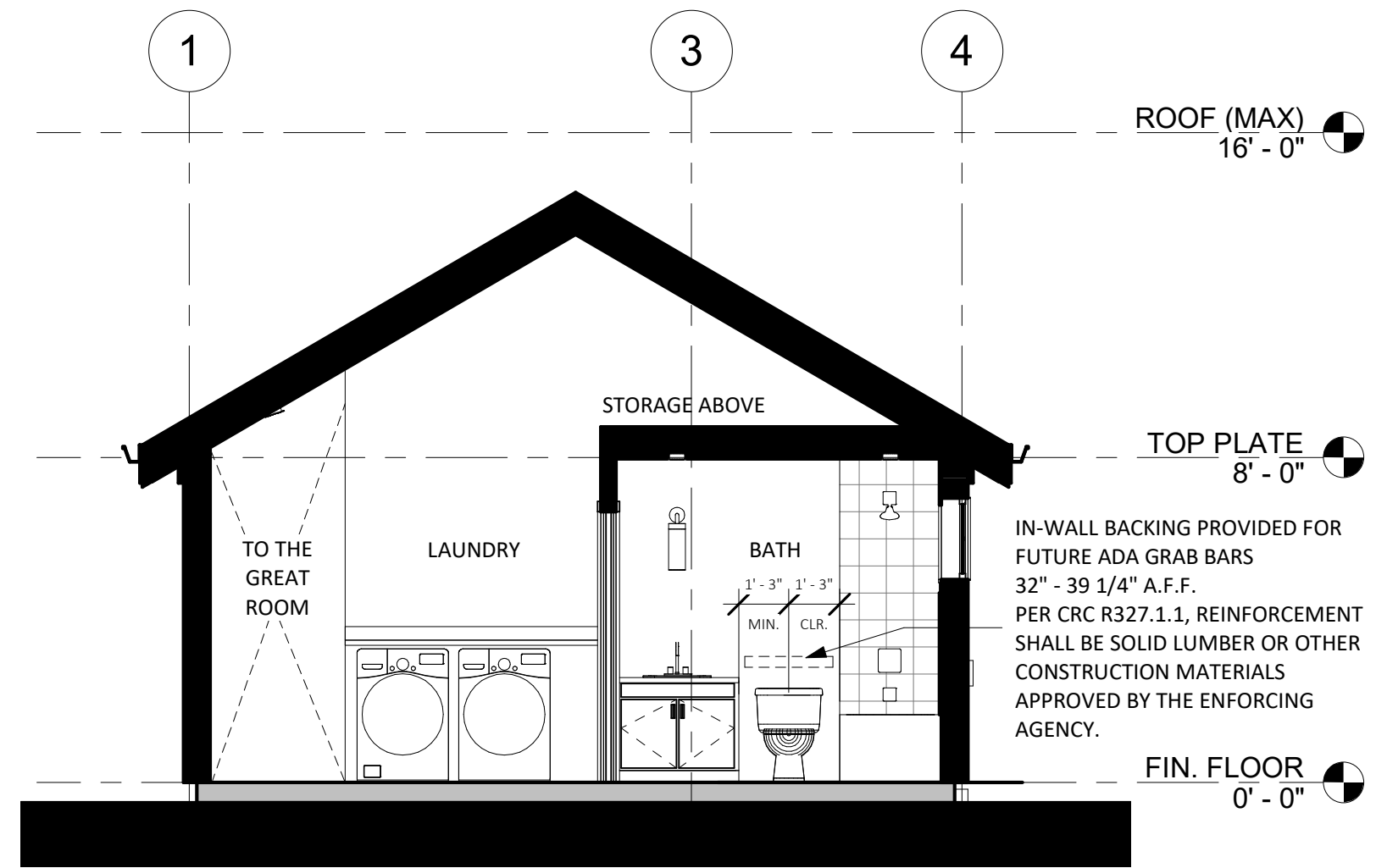
CRAFTSMAN -
FLOORPLANS &
ELEVATIONS

A2.0

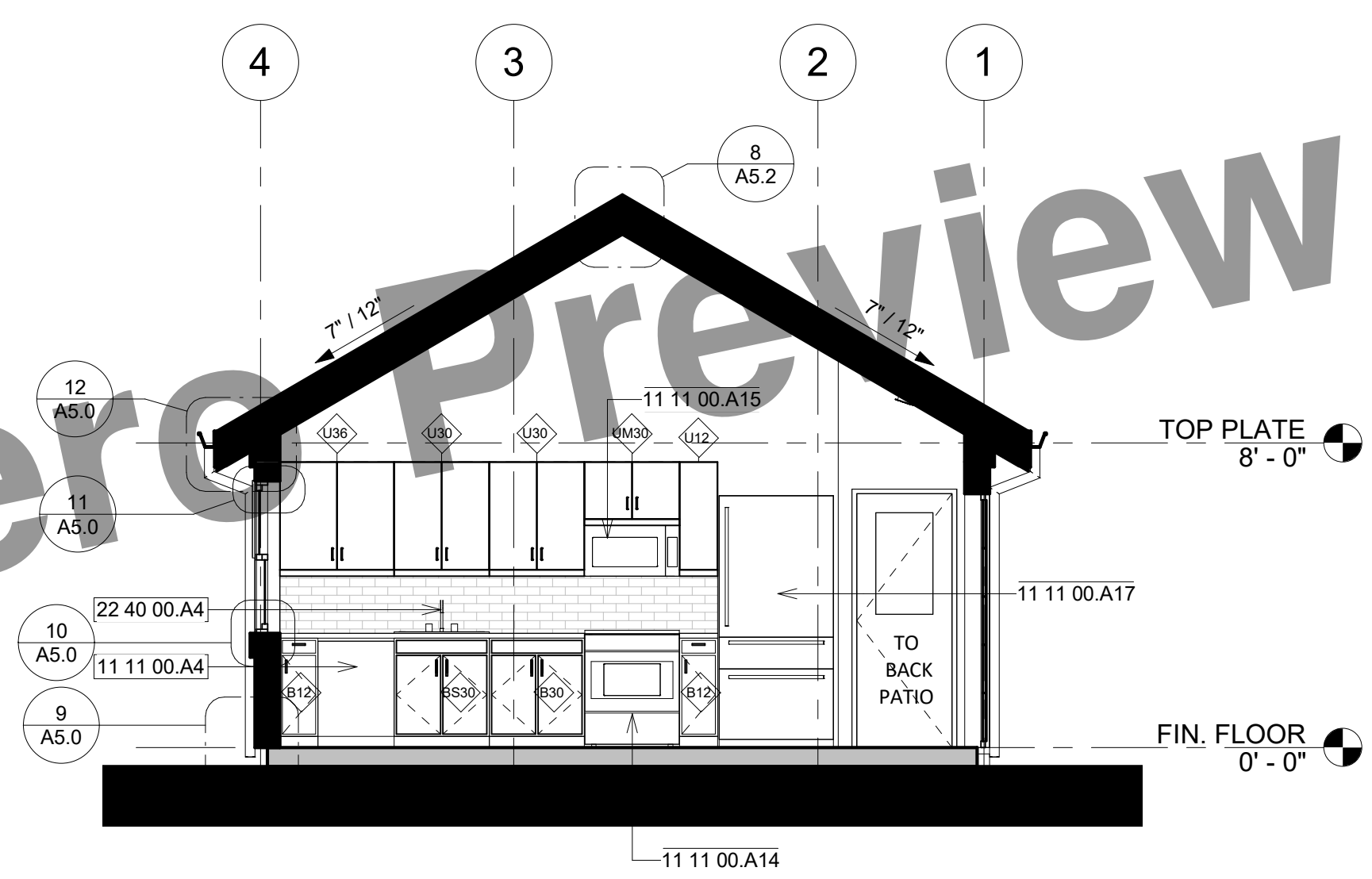
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BID SET.
City of Atascadero

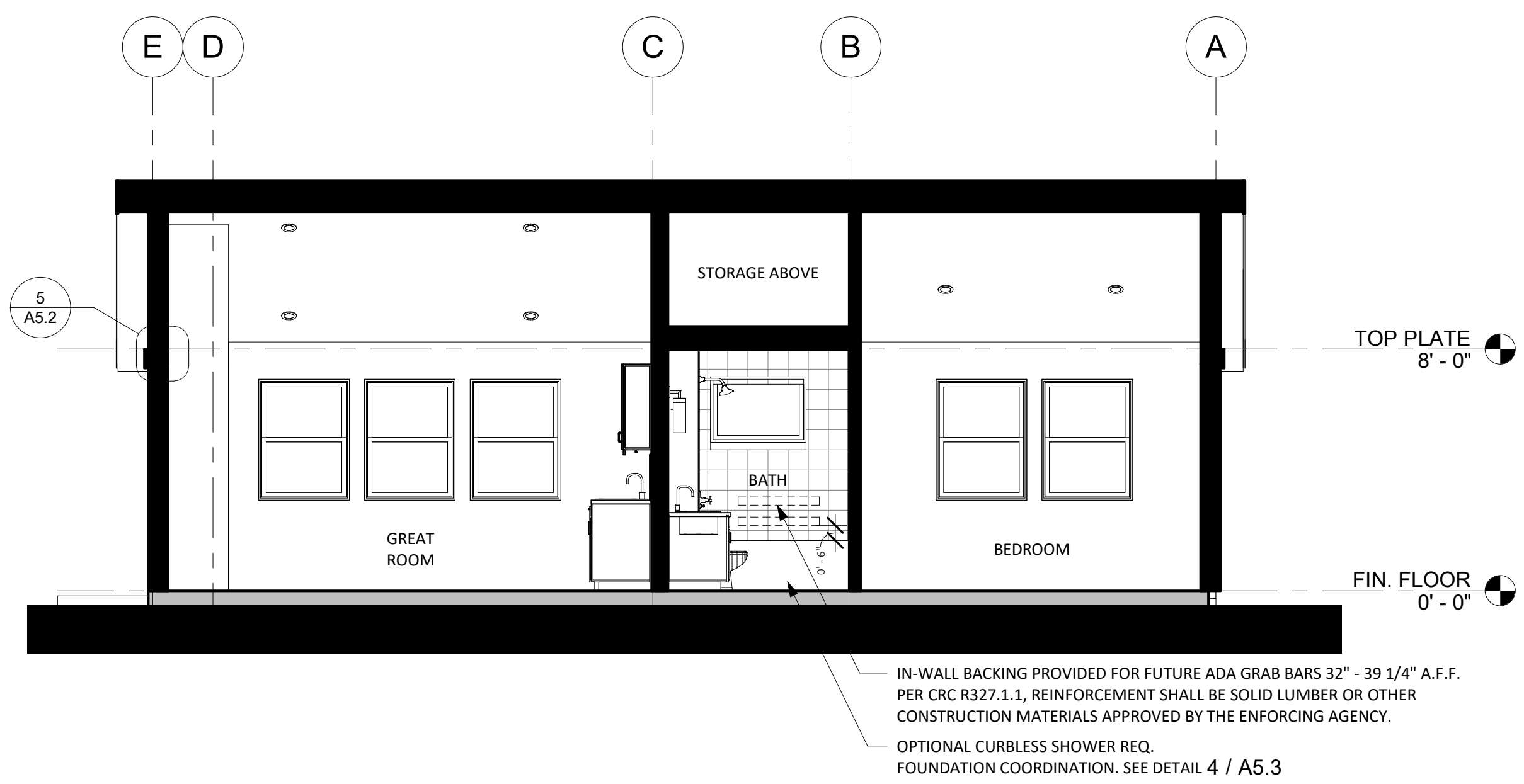
Preview



3 SECTION C - BACKYARD CRAFTSMAN
1/4" = 1'-0"



2 SECTION B - BACKYARD CRAFTSMAN
1/4" = 1'-0"



1 SECTION A - BACKYARD CRAFTSMAN
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
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B30	30" BASE CABINET
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workbench
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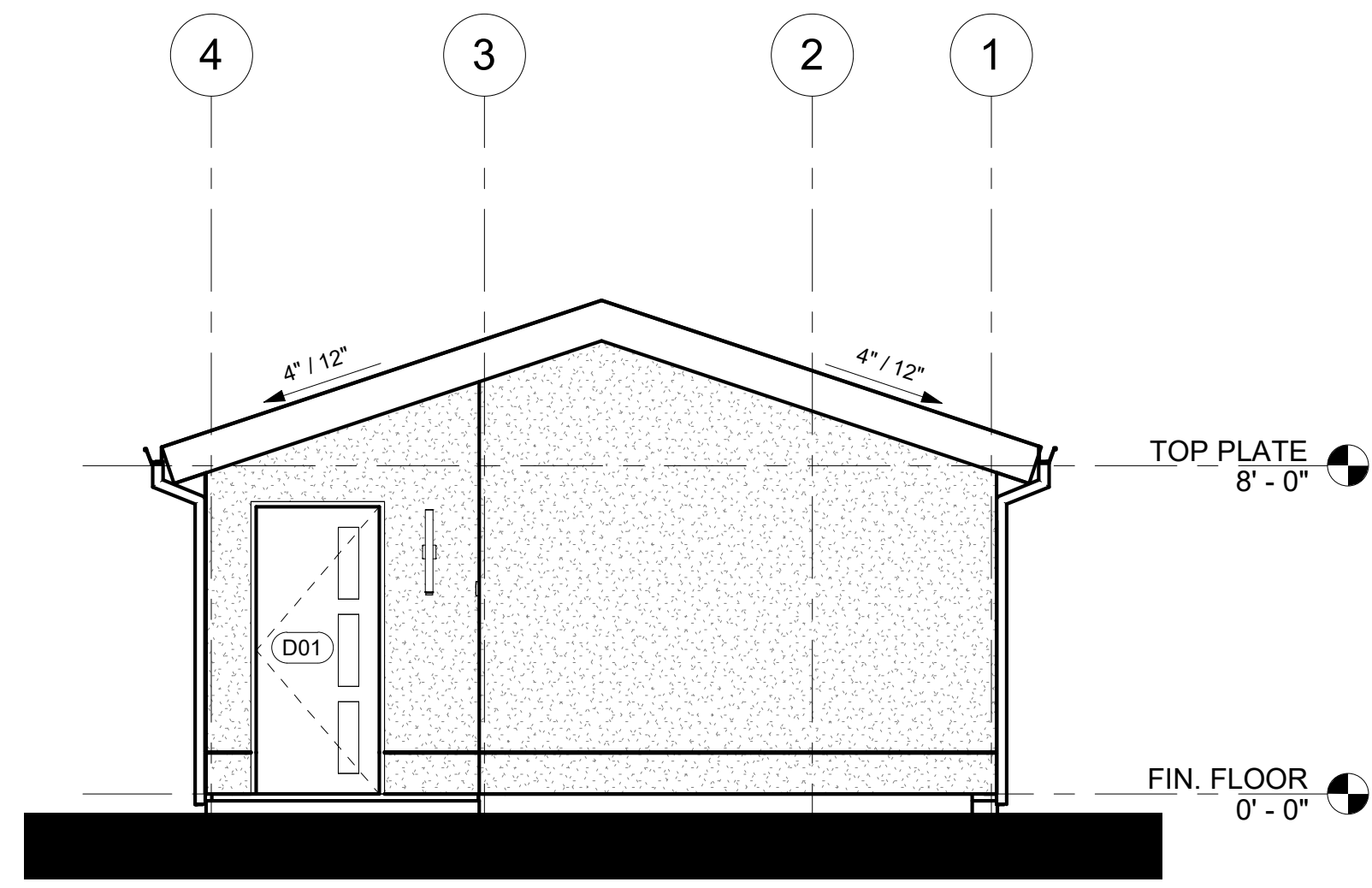
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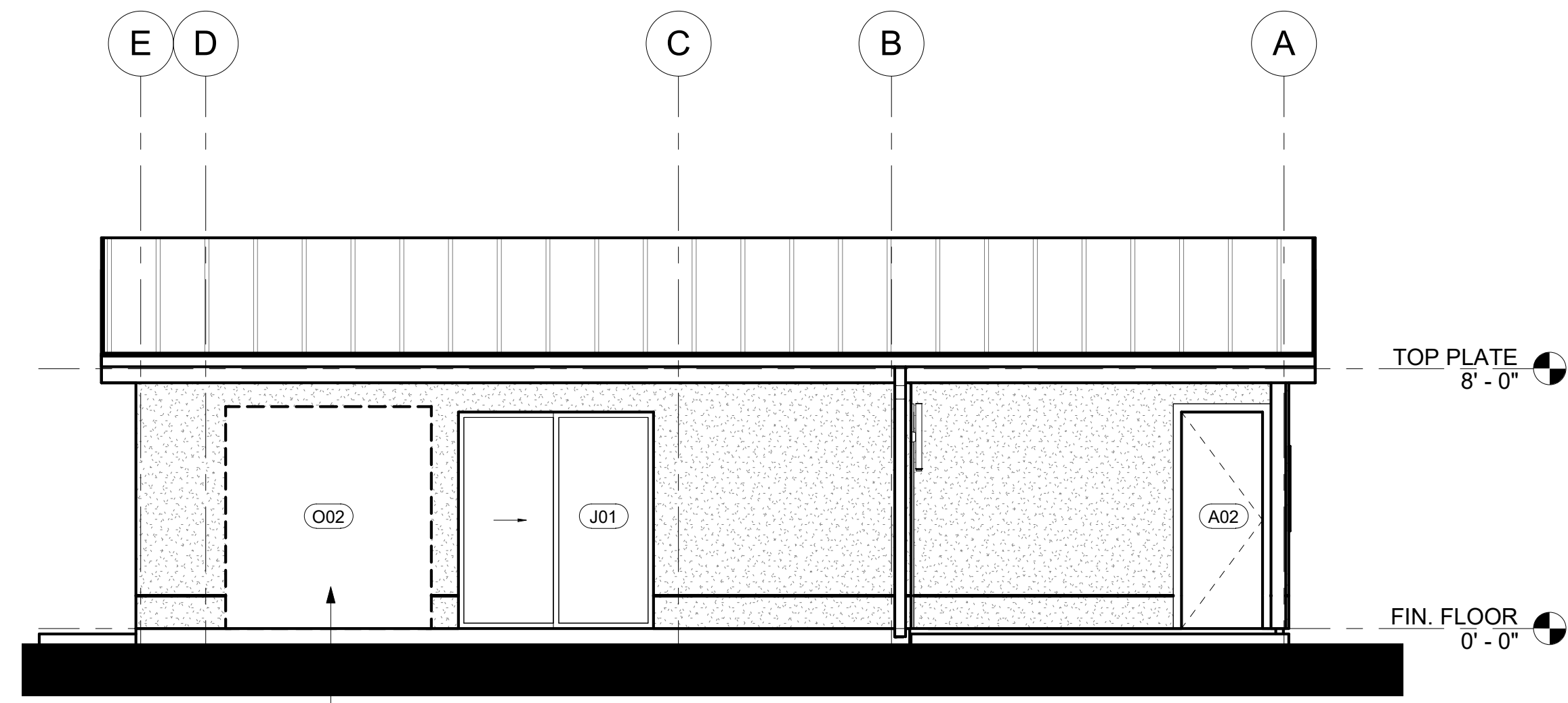
CENTRAL COAST
PRE-DESIGNED ADU
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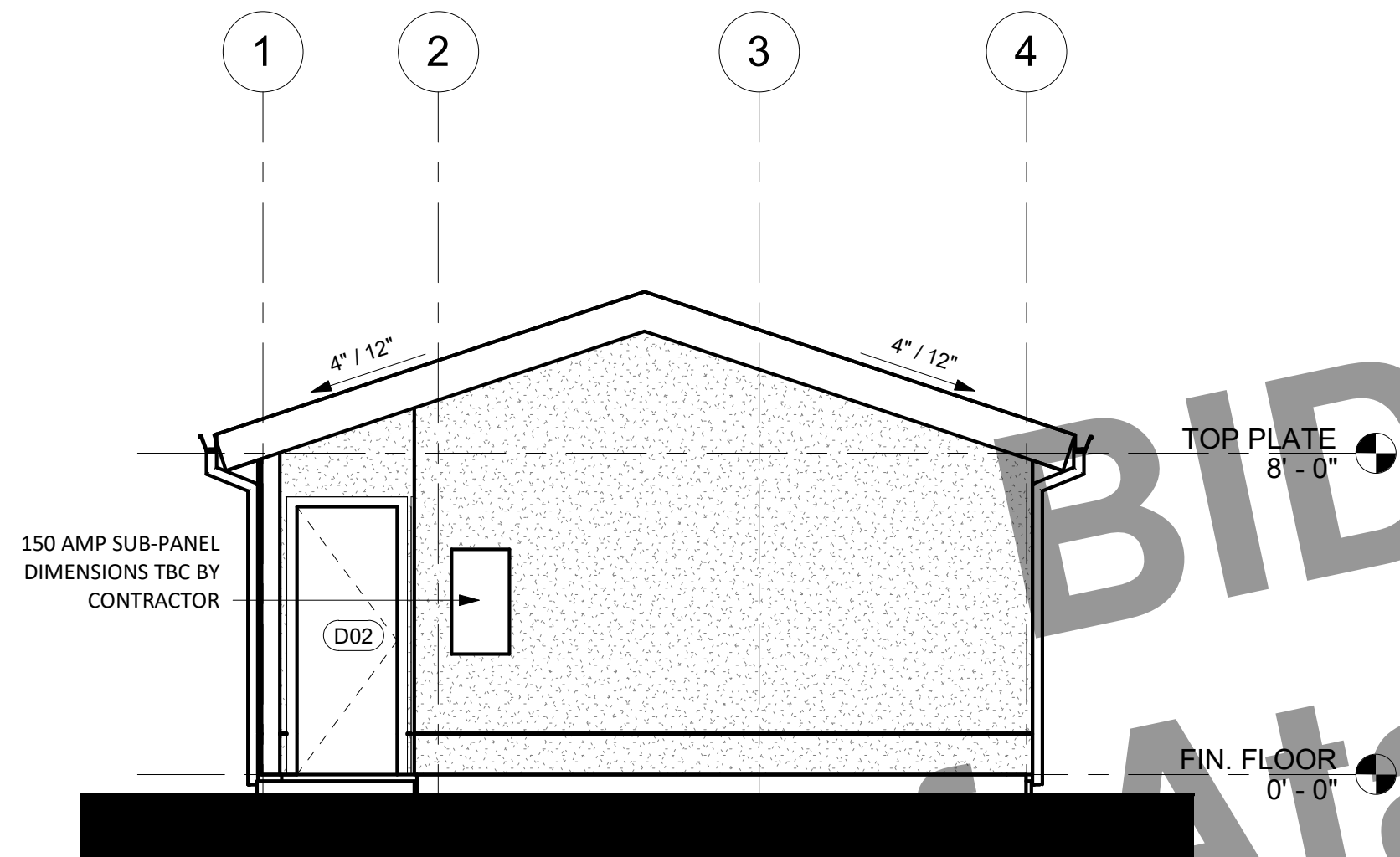
CRAFTSMAN -
SECTIONS
A2.2
SCALE: AS NOTED



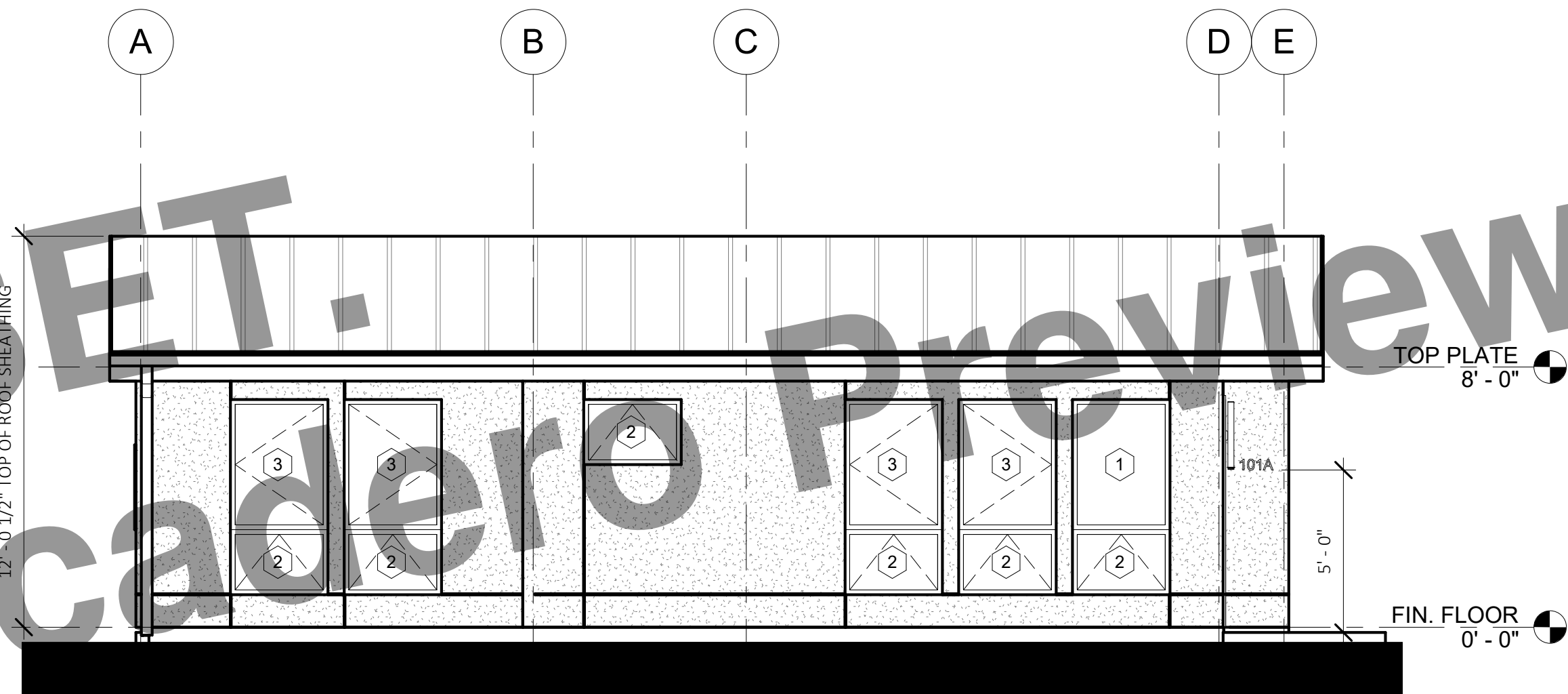
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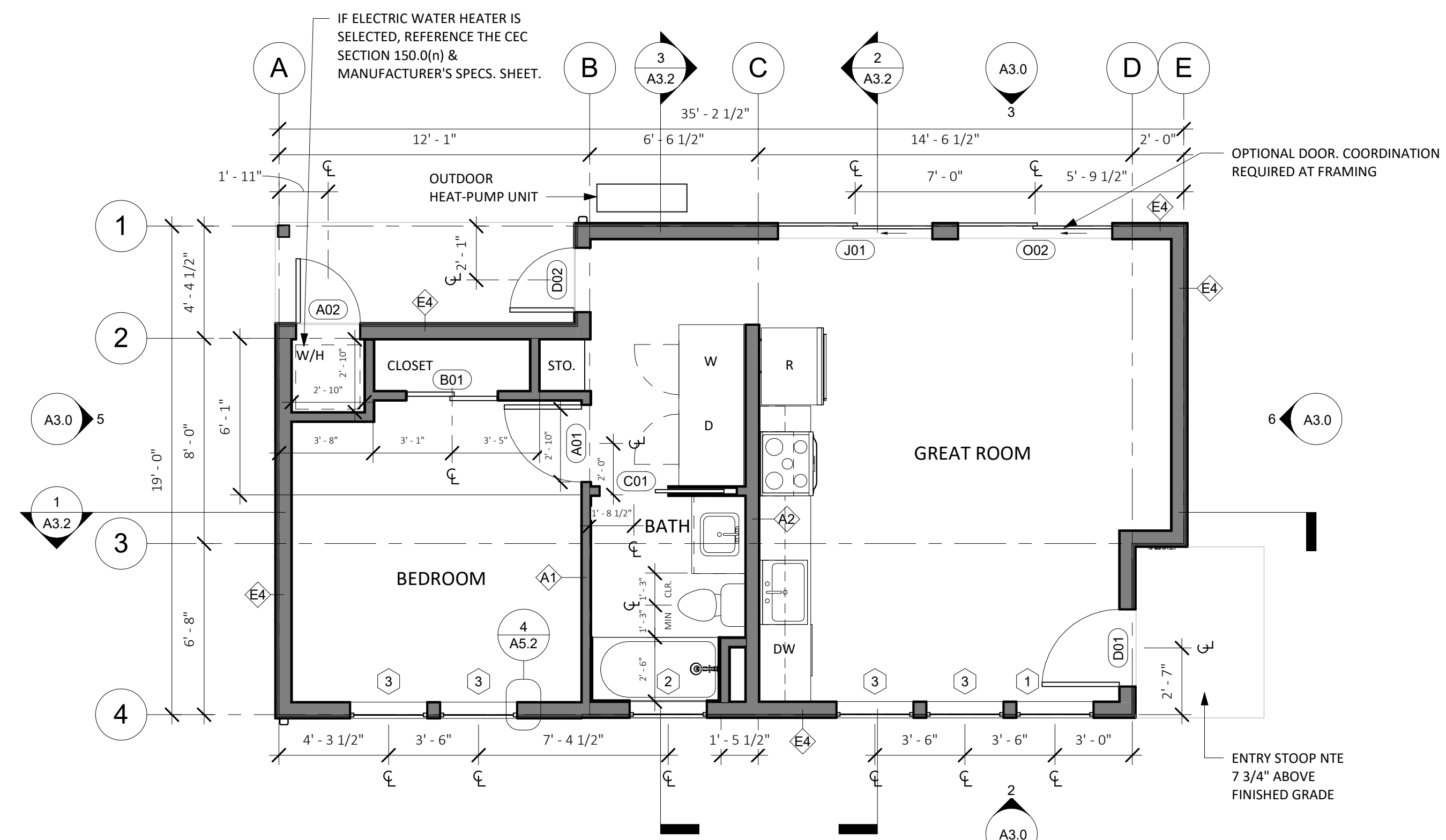
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2 FRONT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM - CALIFORNIA MODERN
NO SCALE



1 FLOOR PLAN - ONE BEDROOM
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

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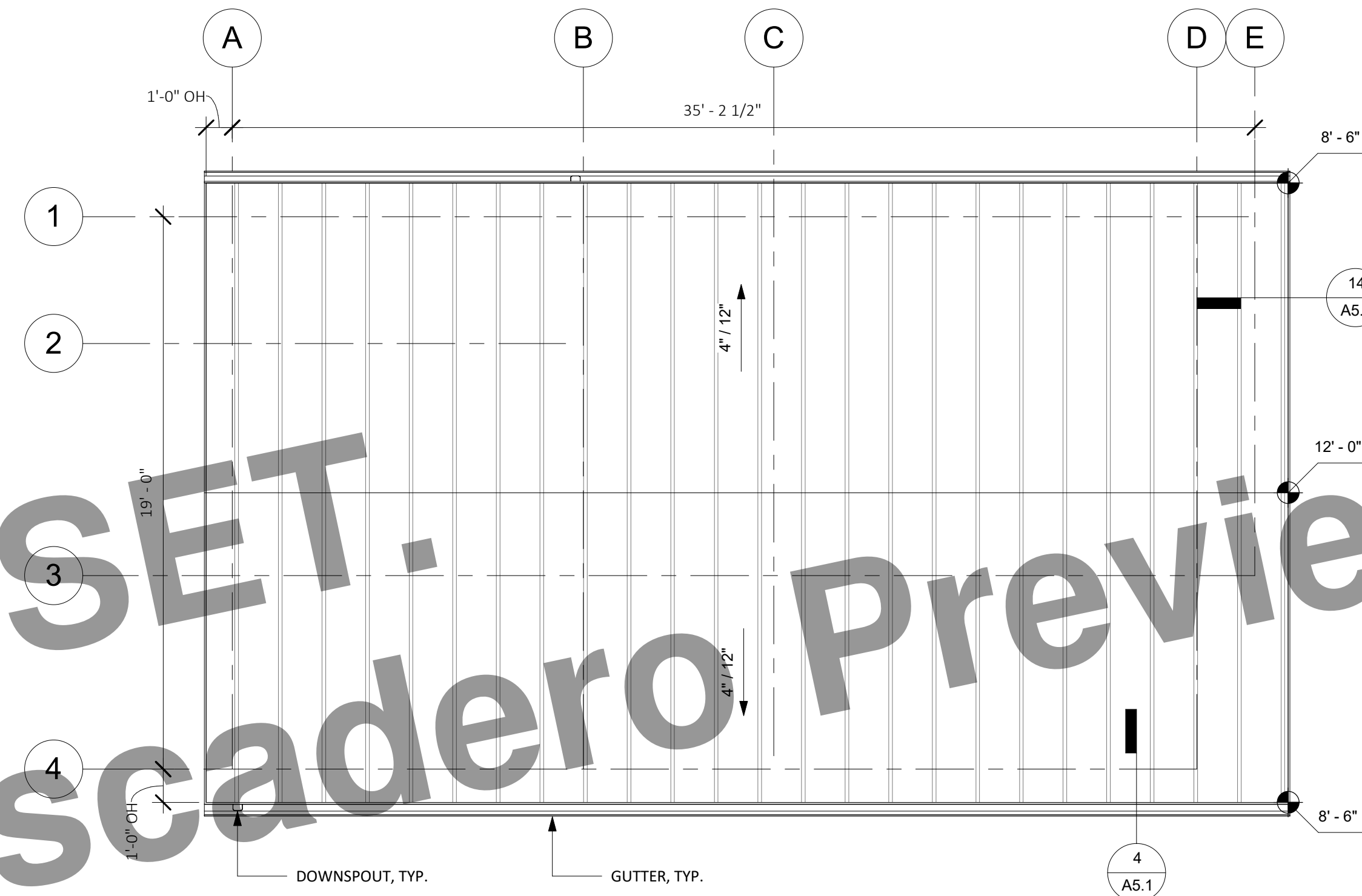
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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM
626 GSF

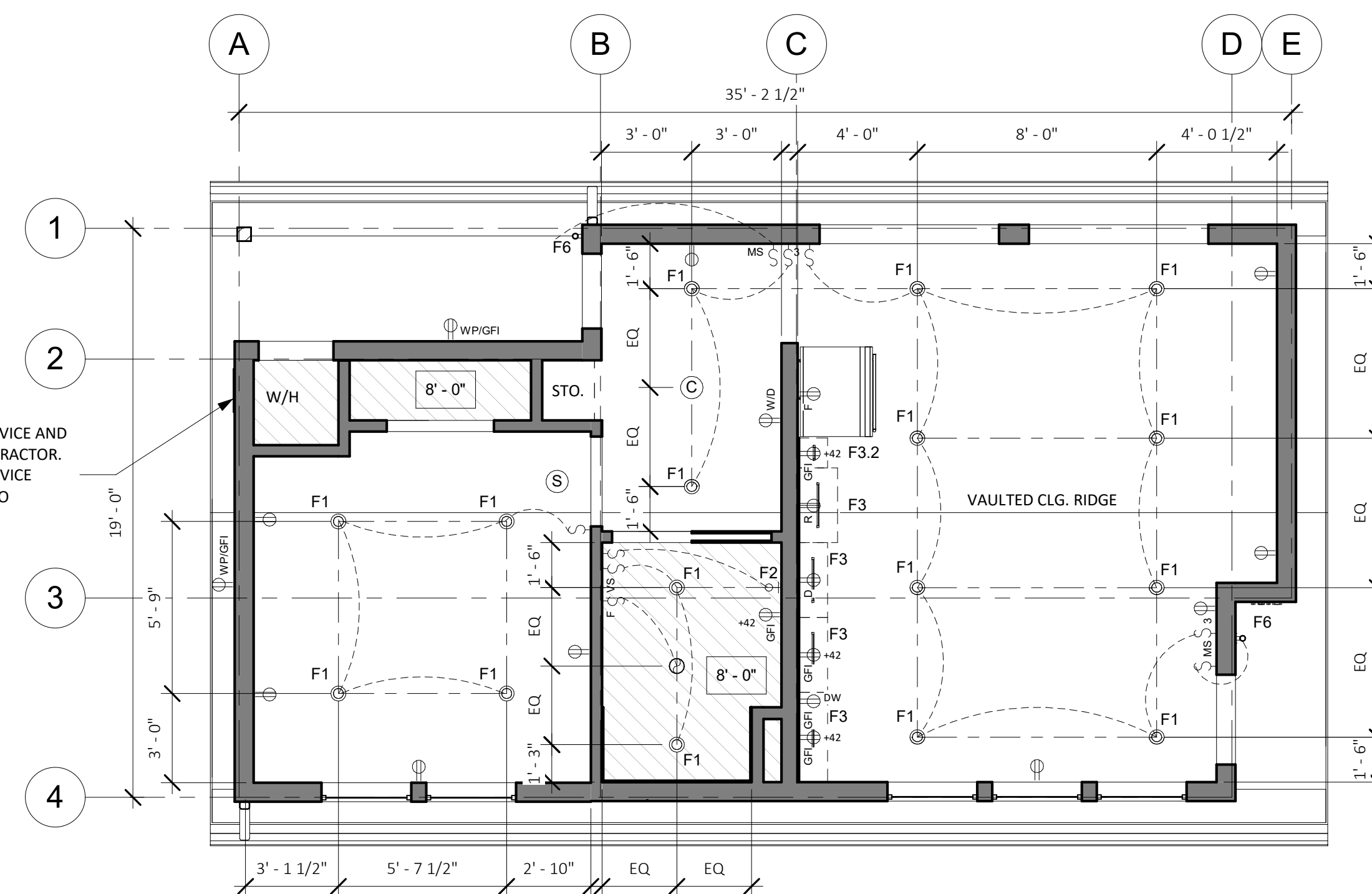
PRINT DATE: XX.XX.XXXX

MODERN -
FLOORPLANS &
ELEVATIONS
A3.0
SCALE: AS NOTED

BID SET.
City of Atascadero Preview



2 ROOF PLAN - CALIFORNIA MODERN
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM
1/4" = 1'-0"

- MIN 100 AMP SUBPANEL
- COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 - VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTINGS.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

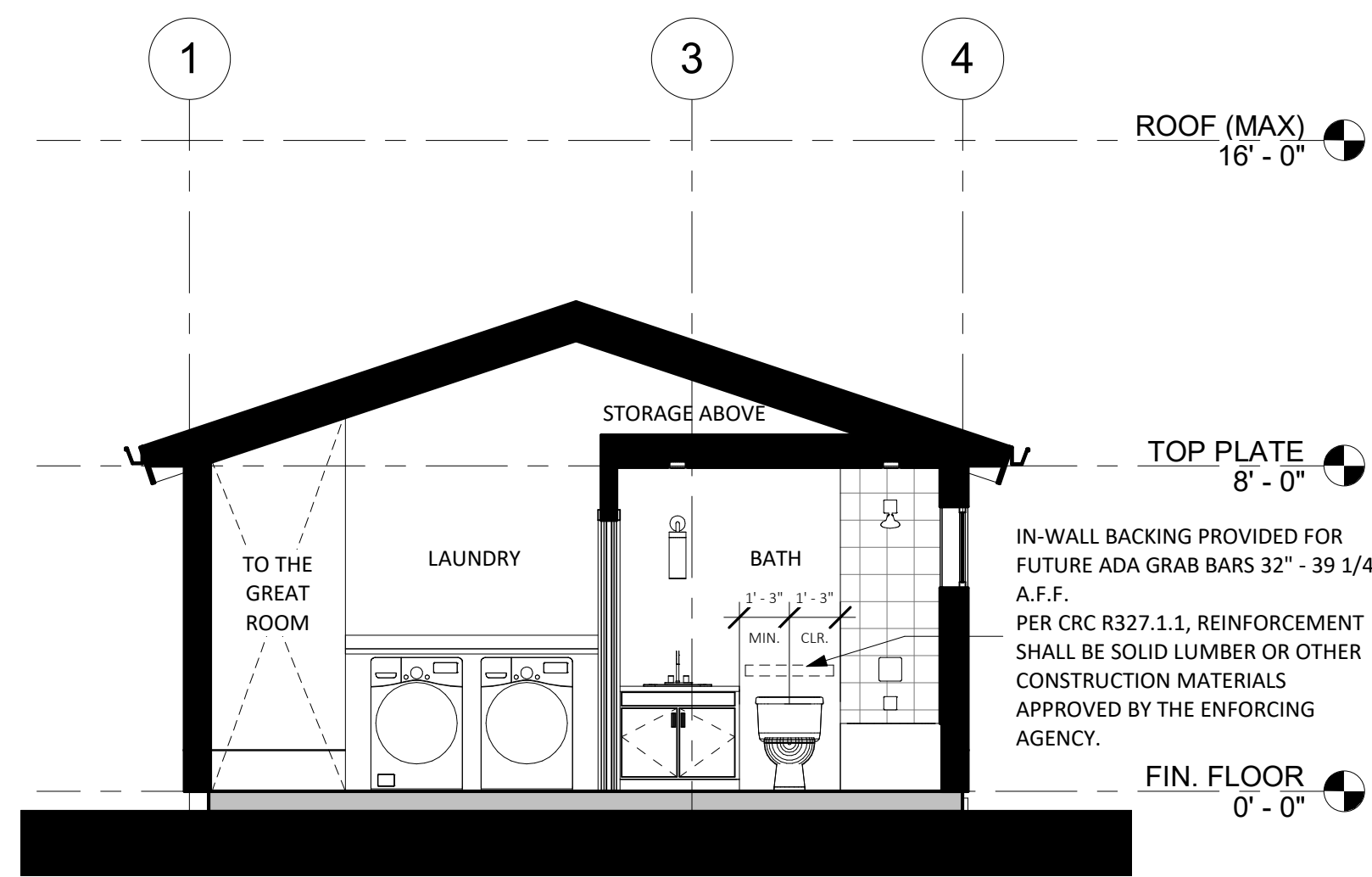
MODERN - ROOF
PLAN & RCP

A3.1

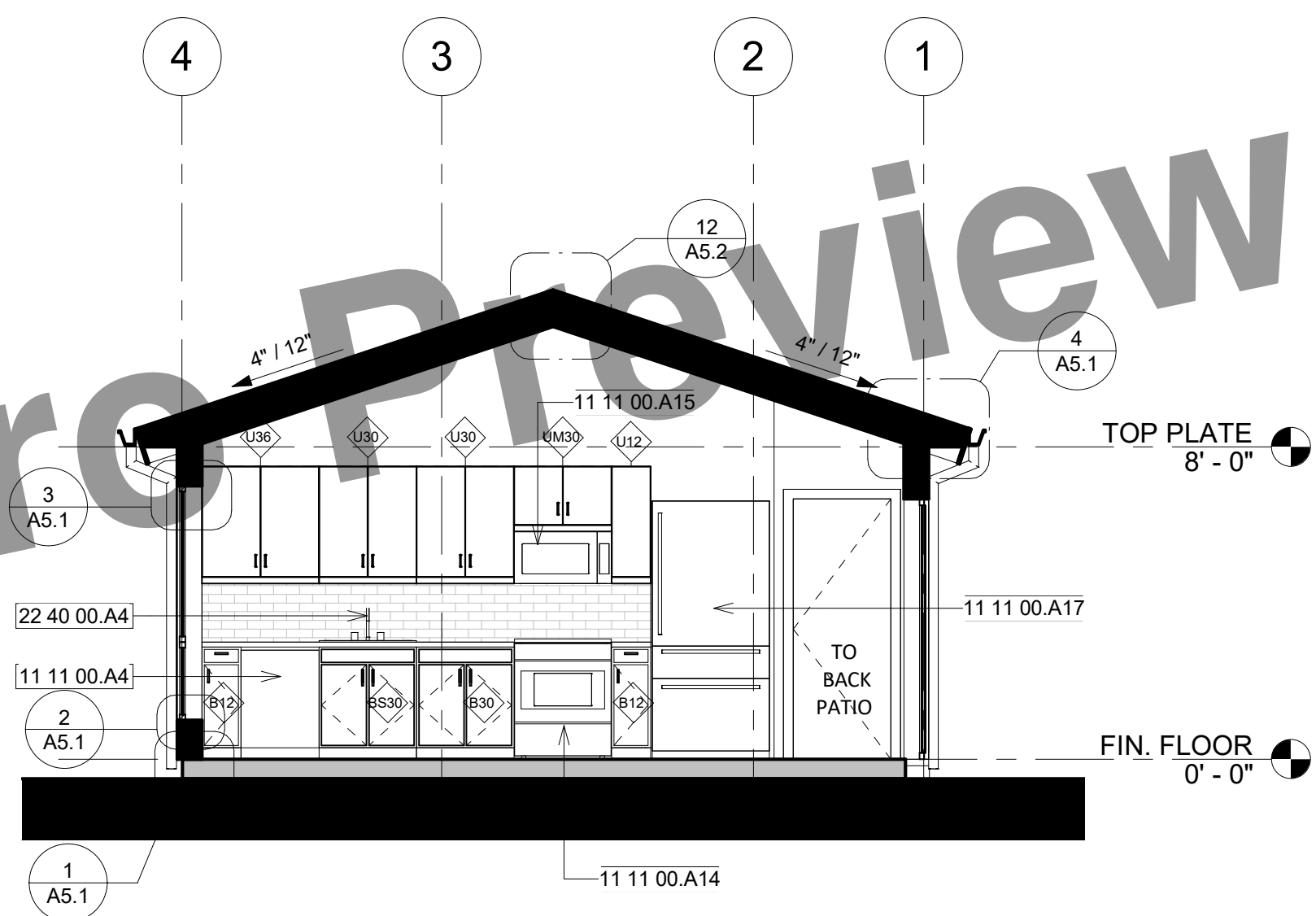
SCALE: AS NOTED

BID SET.
City of Atascadero

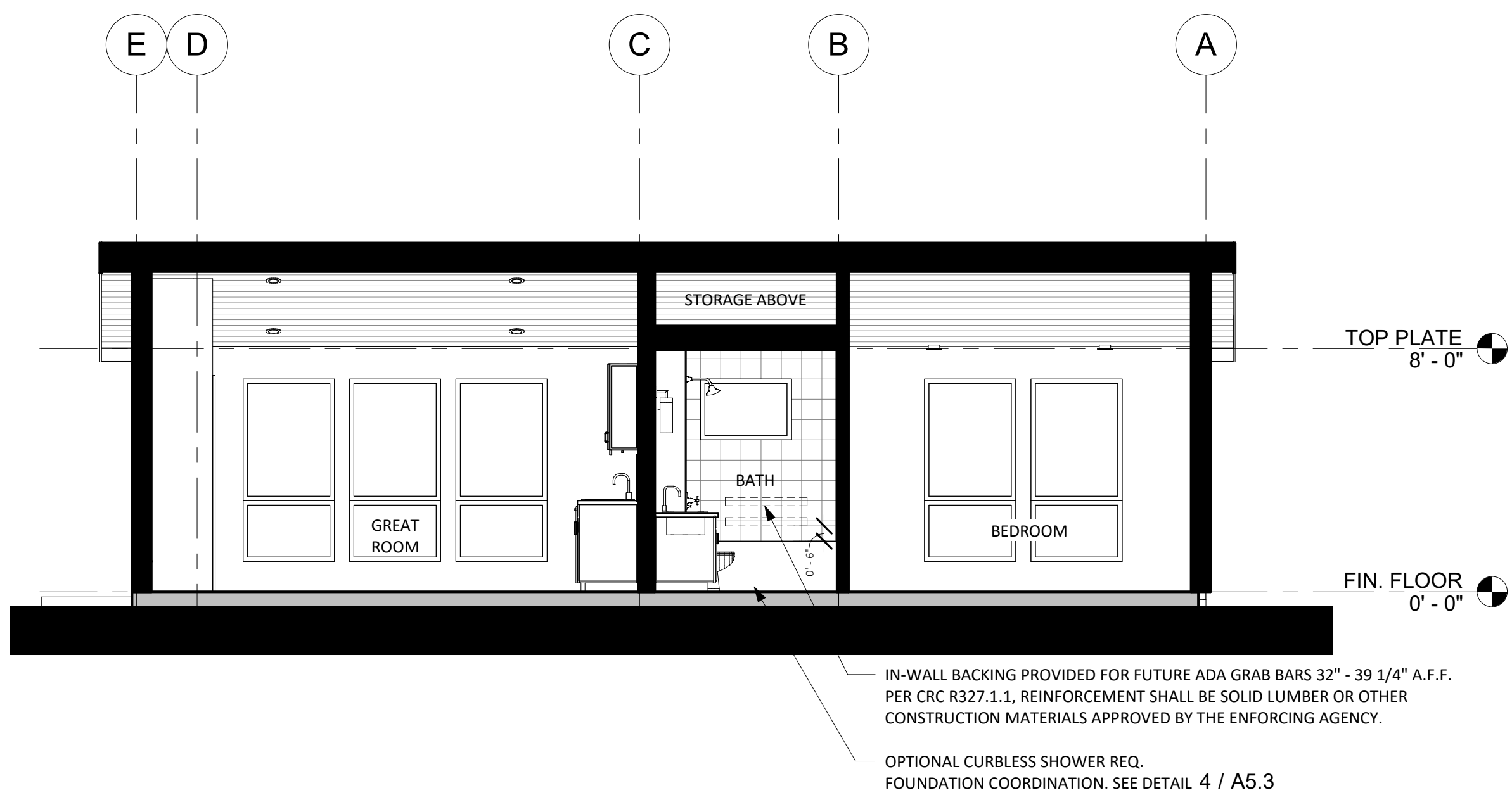
Preview



3 SECTION C - CALIFORNIA MODERN
1/4" = 1'-0"



2 SECTION B - CALIFORNIA MODERN
1/4" = 1'-0"



1 SECTION A - CALIFORNIA MODERN
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



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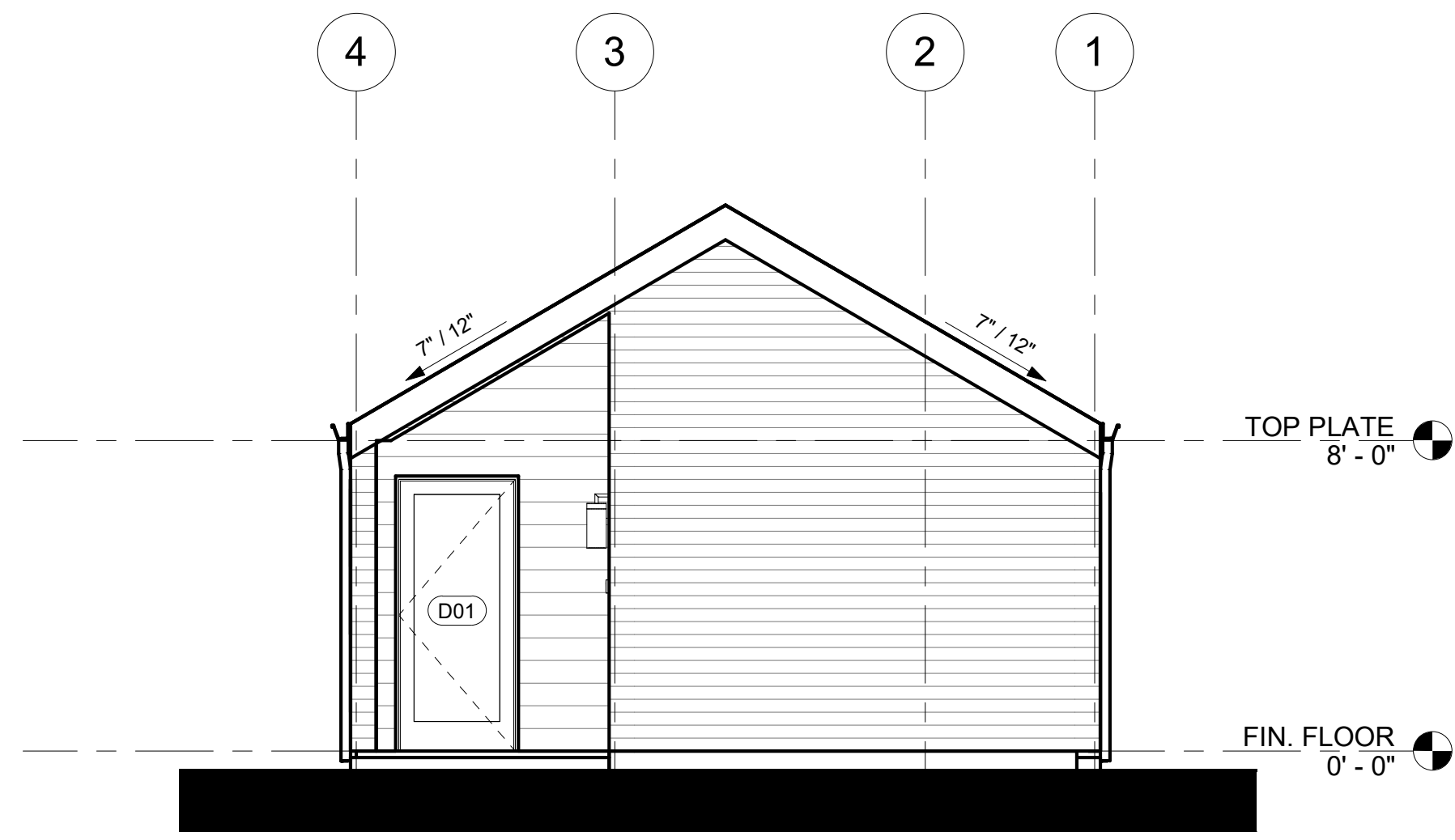
CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

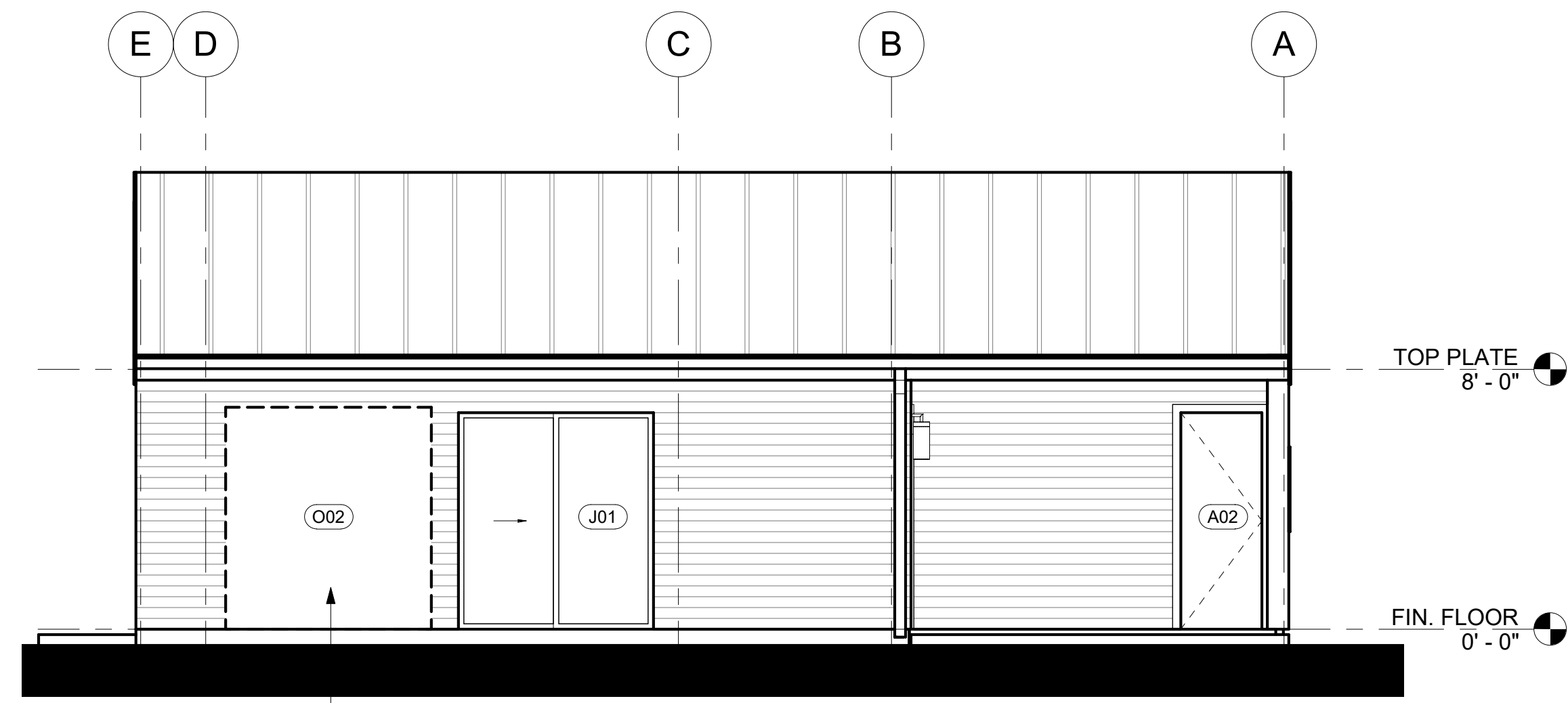
MODERN - SECTIONS

A3.2

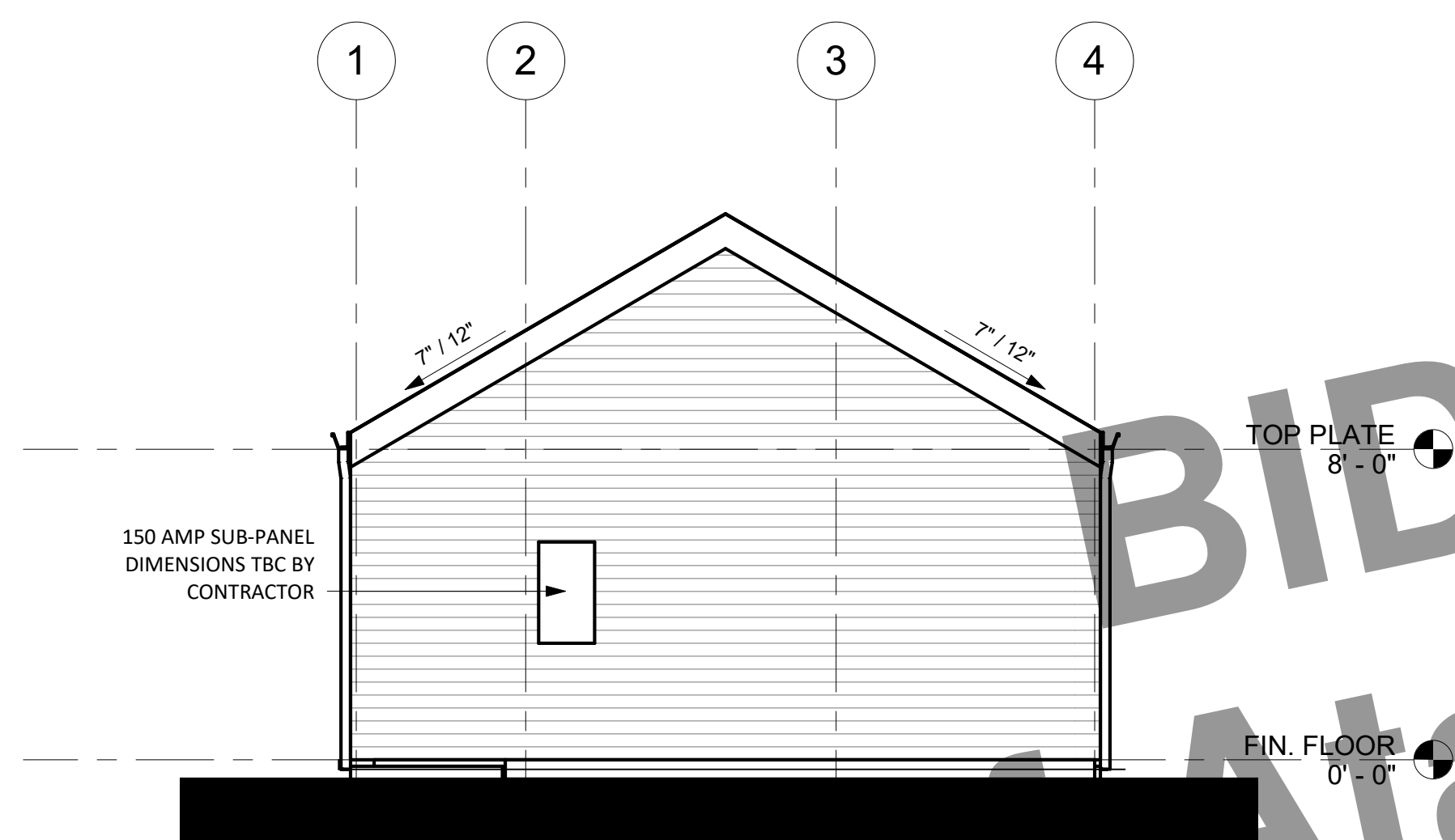
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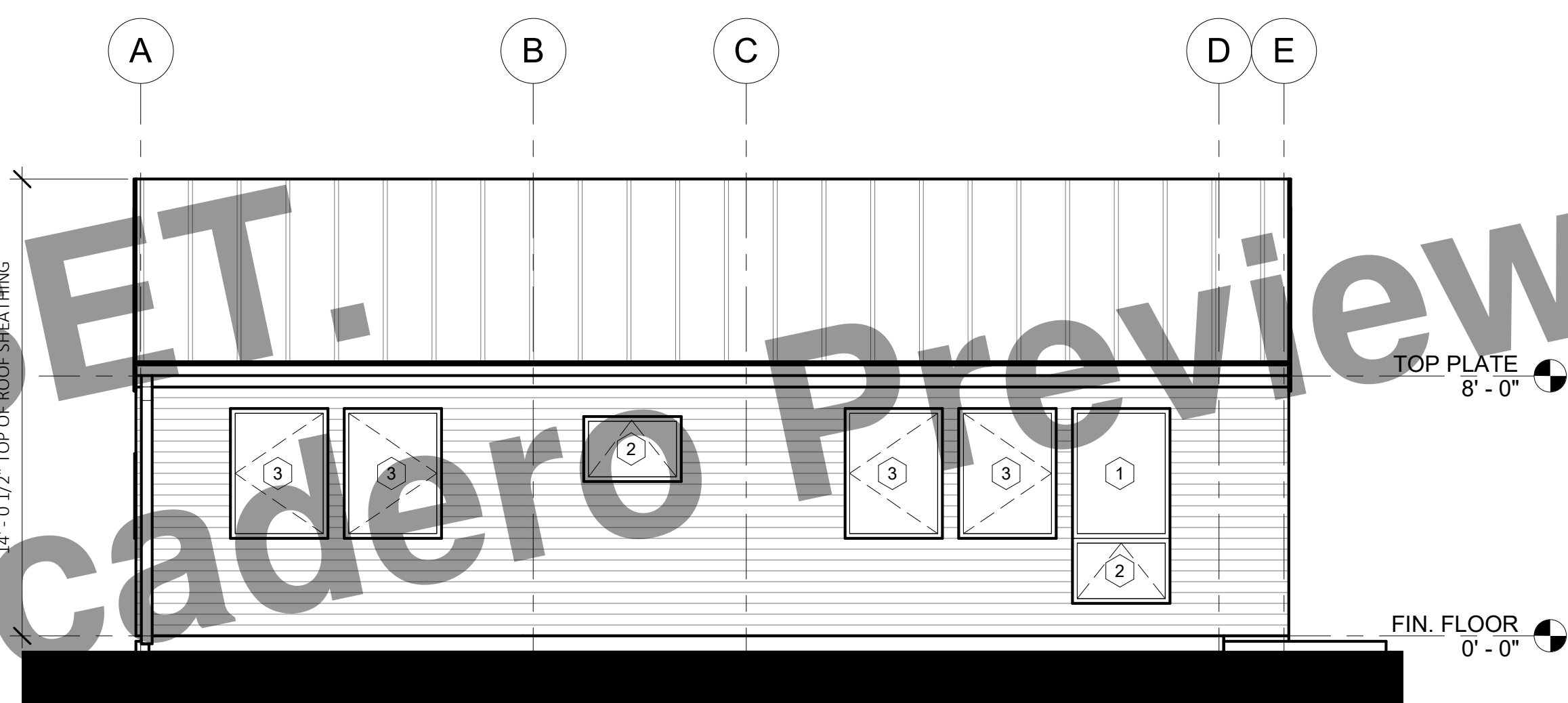
6 RIGHT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



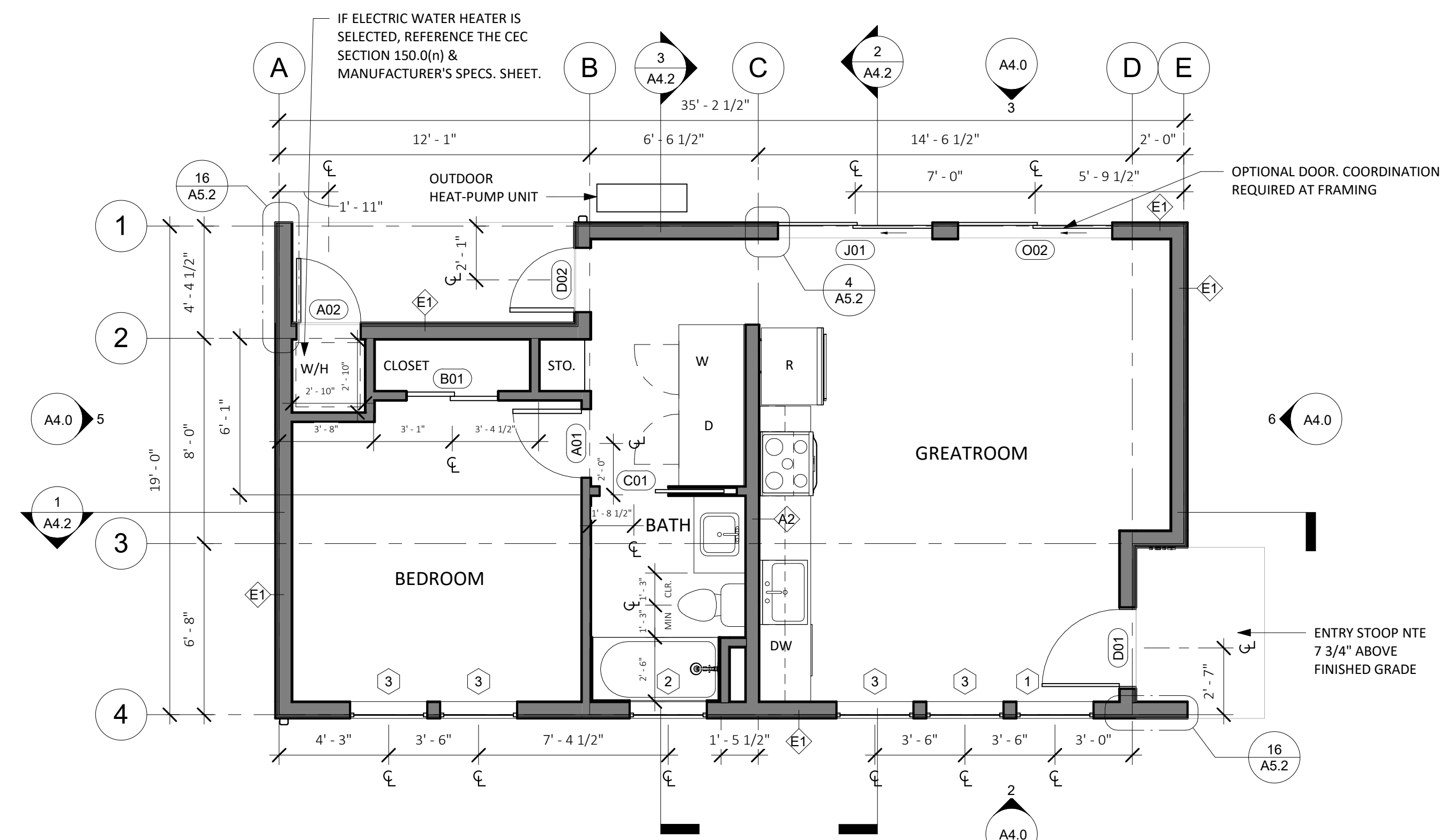
5 LEFT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



2 FRONT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM - BEACH BUNGALOW
NO SCALE



1 FLOOR PLAN - ONE BEDROOM
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM
626 GSF

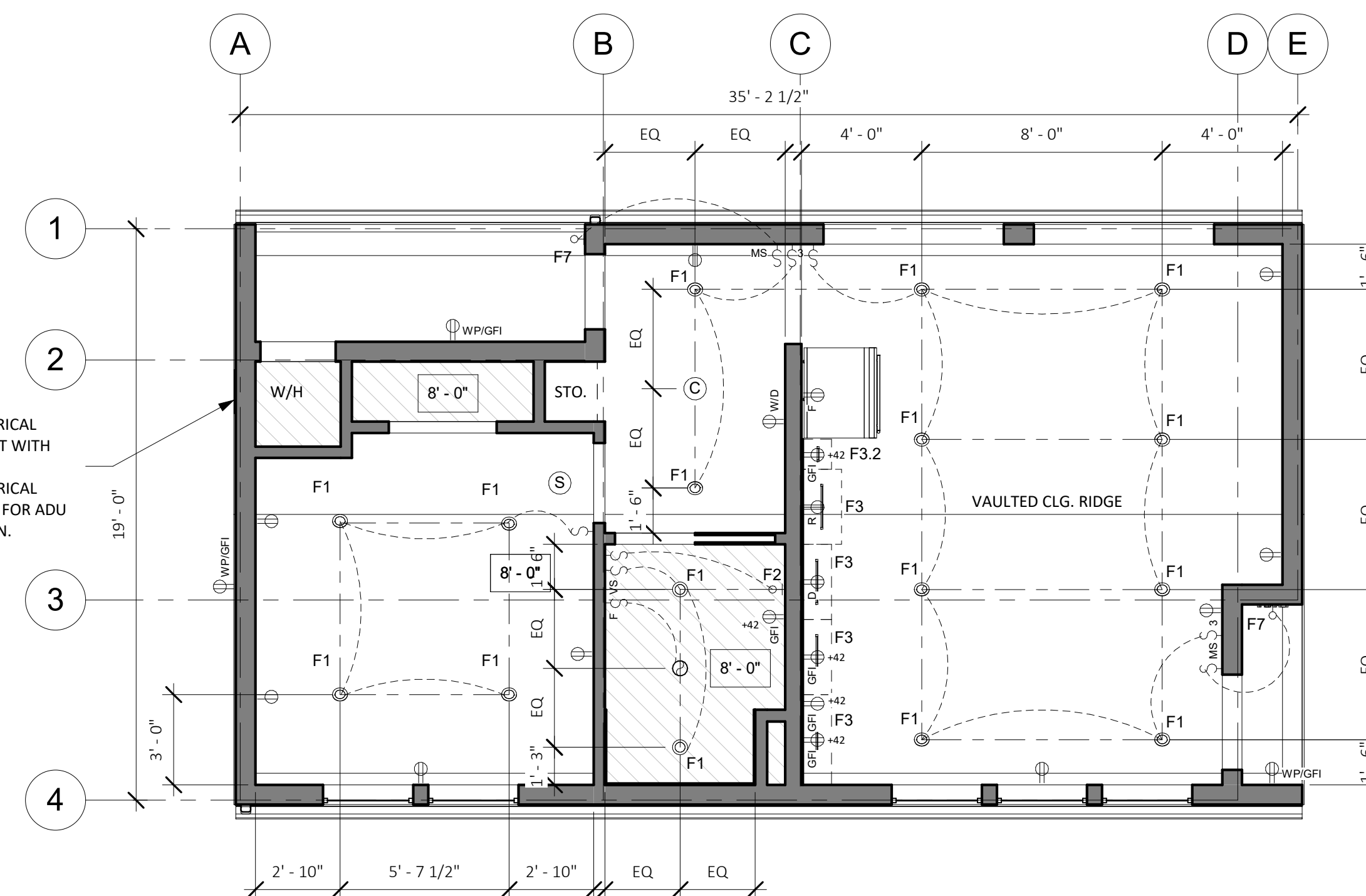
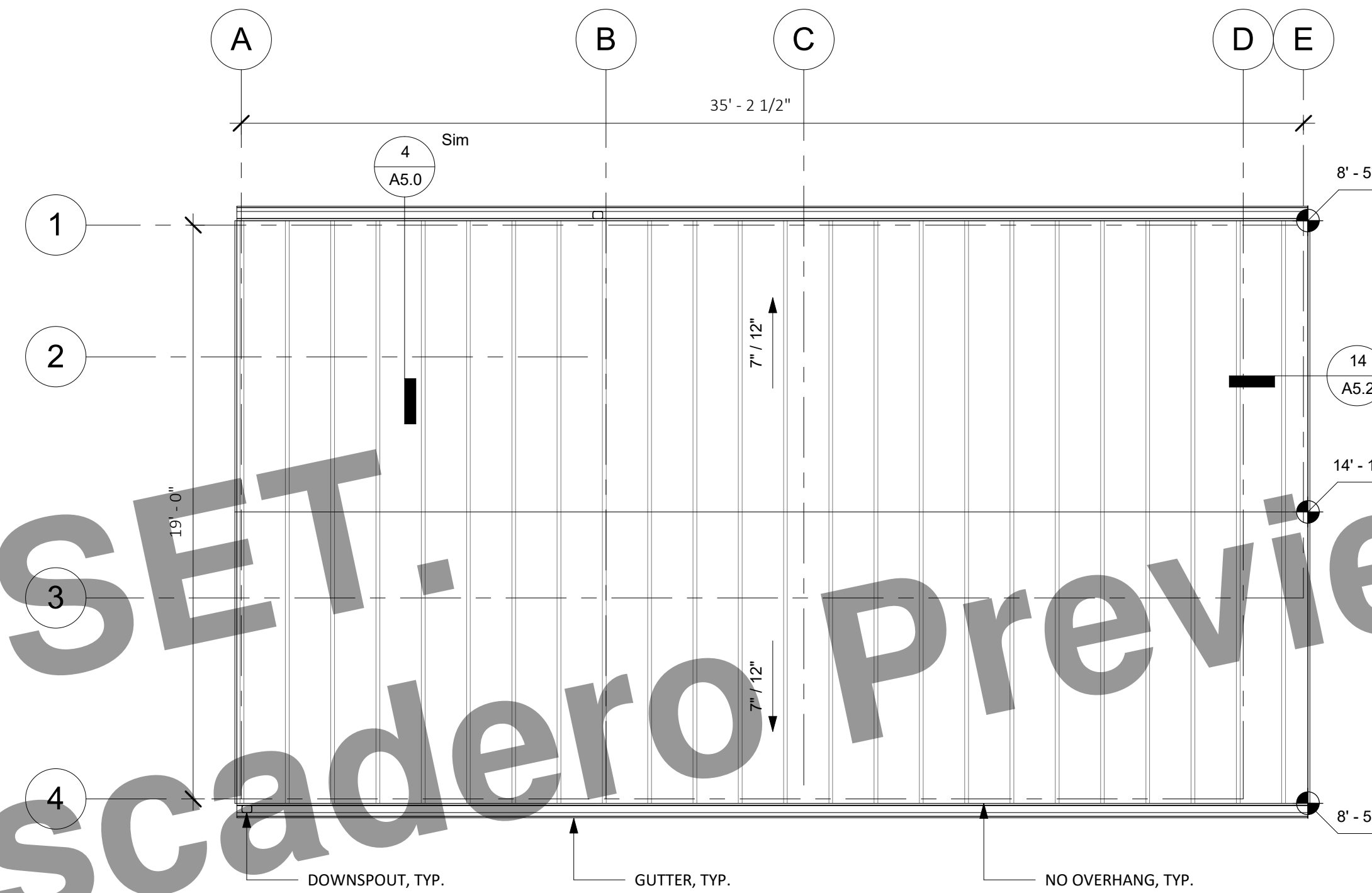
BUNGALOW -
FLOORPLANS &
ELEVATIONS

A4.0

SCALE: AS NOTED

BID SET. Preview

City of Atascadero



- MIN 100 AMP SUBPANEL
- COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 - VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

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- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
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- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
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CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

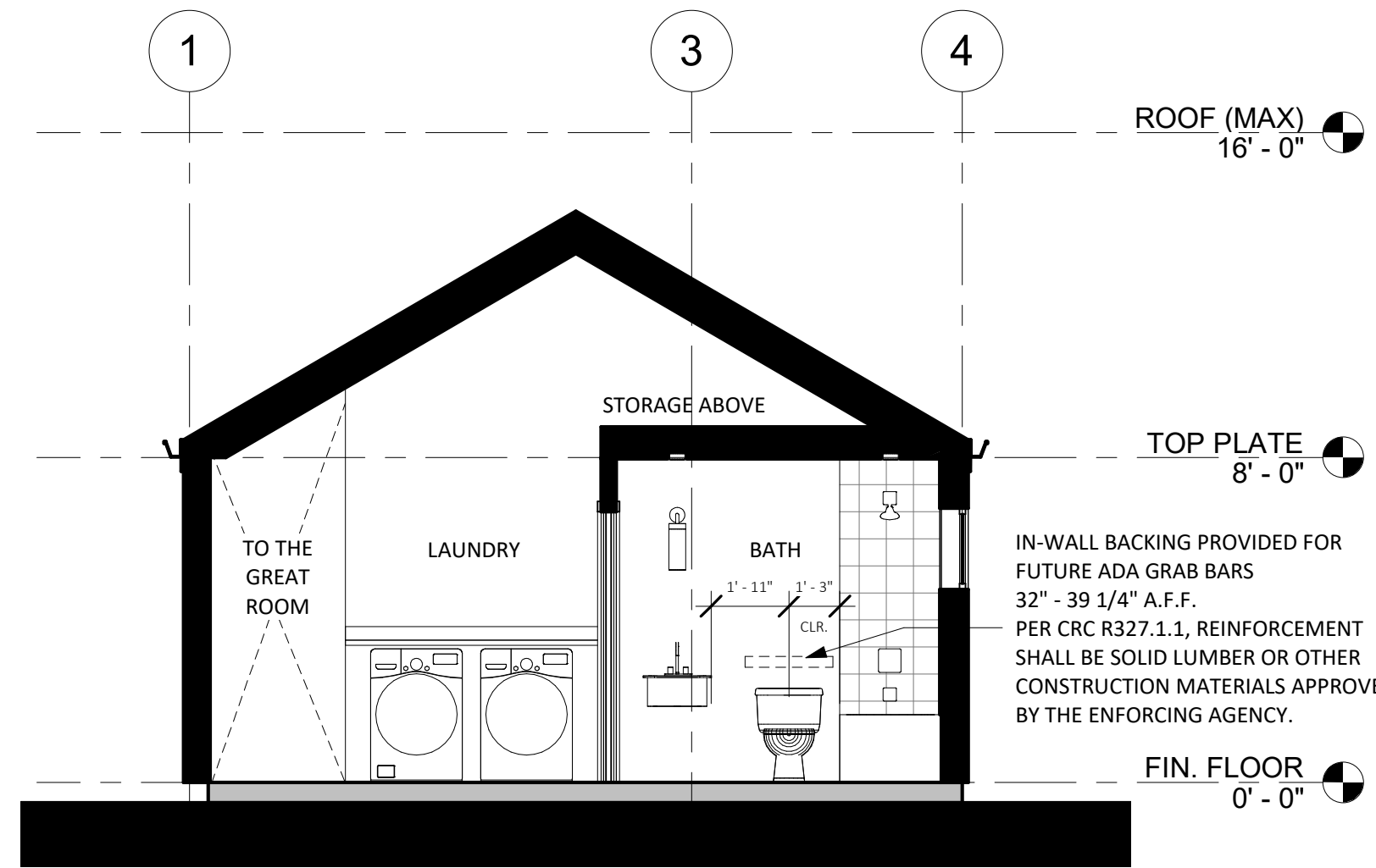
BUNGALOW - ROOF
PLAN & RCP

A4.1

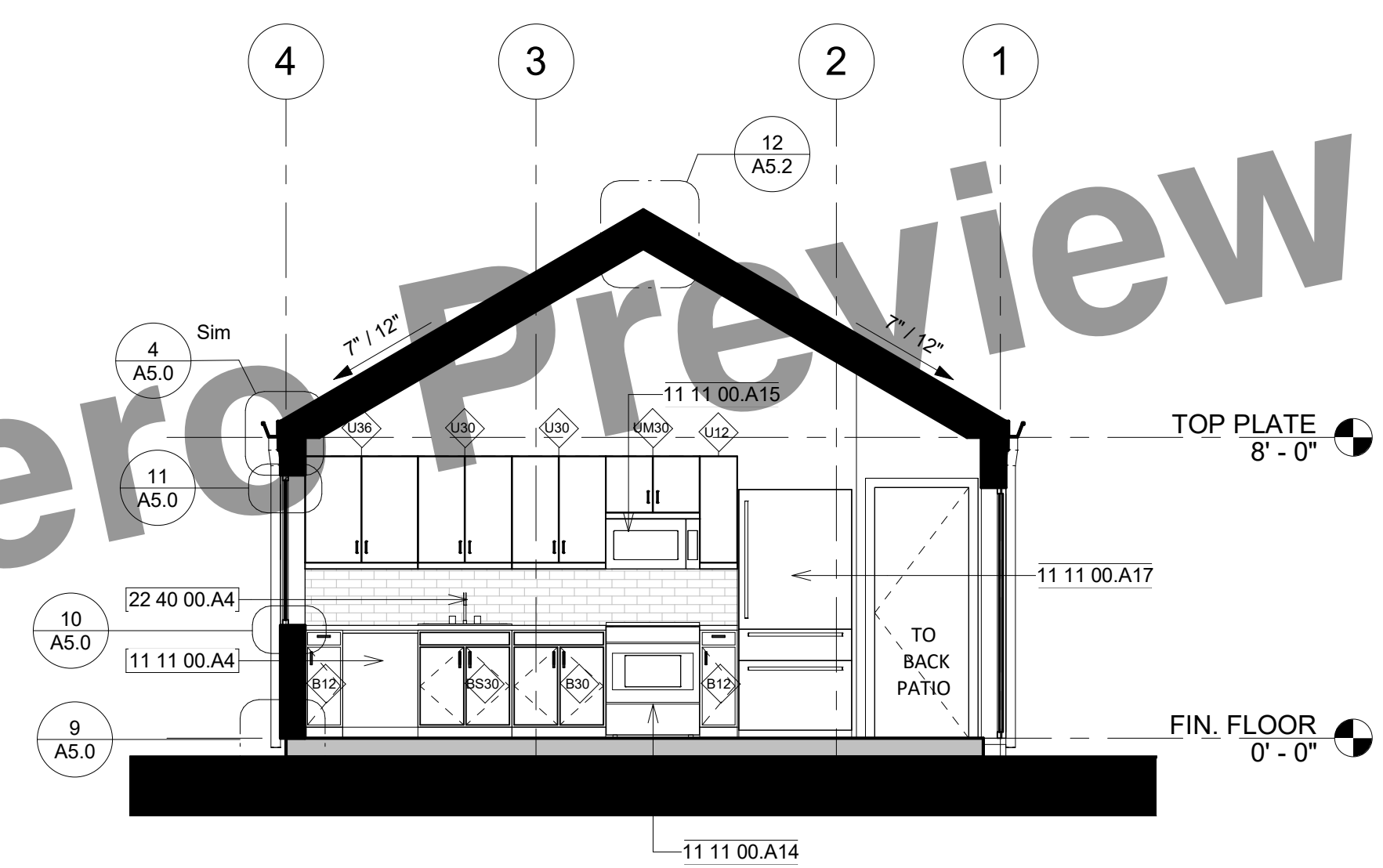
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City of Atascadero

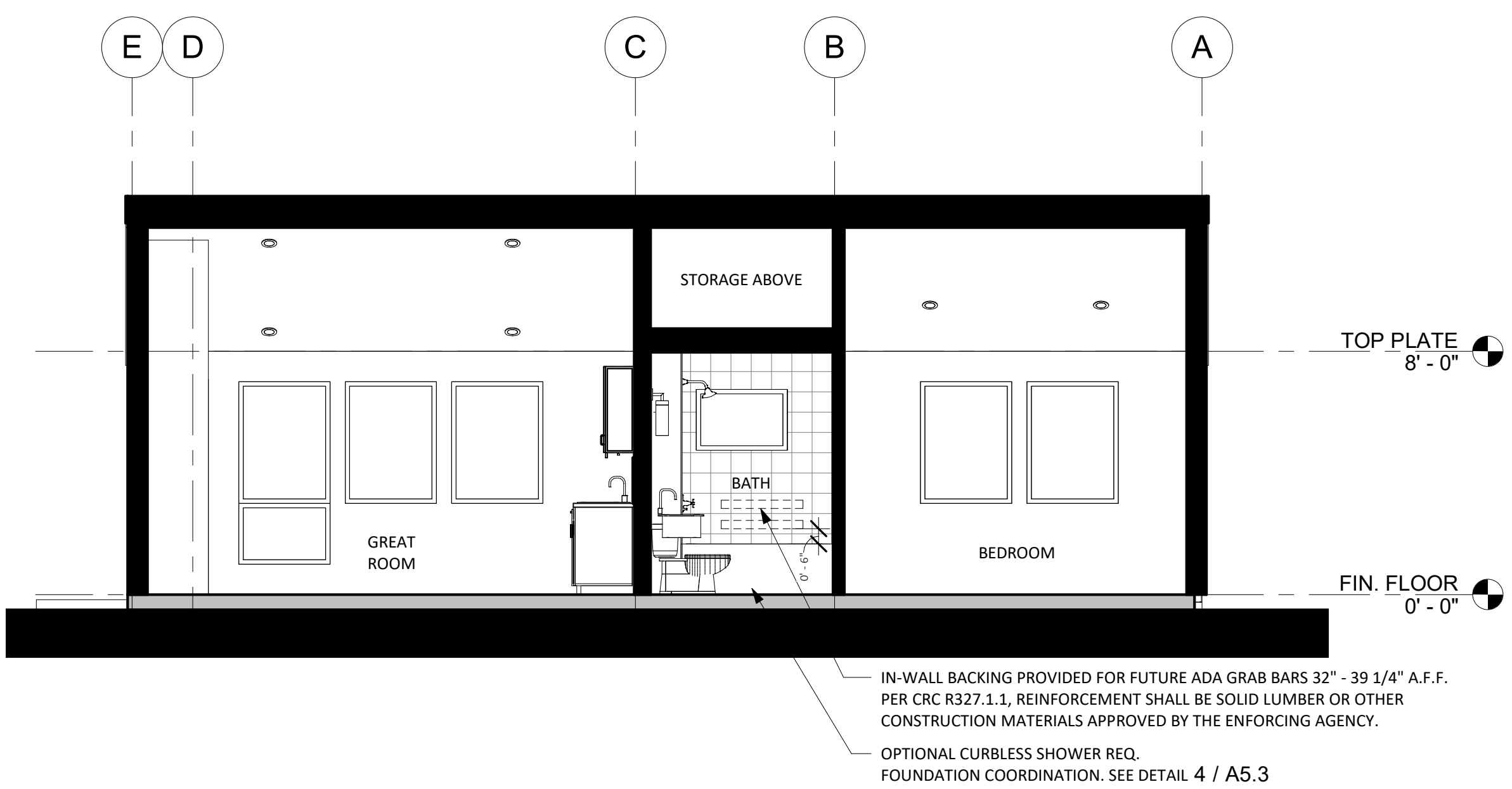
Preview



3 SECTION C - COASTAL BUNGALOW
1/4" = 1'-0"



2 SECTION B - BEACH BUNGALOW
1/4" = 1'-0"



1 SECTION A - BEACH BUNGALOW
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
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PLUMBING	
22 40 00.A4	30" KITCHEN SINK WITH FAUCET



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ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

BUNGALOW - SECTIONS

A4.2

SCALE: AS NOTED



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CENTRAL COAST PRE-DESIGNED ADU ONE BEDROOM 626 GSF

EXTERIOR WALL ASSEMBLY DETAILS

A5.0

SCALE: AS NOTED

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- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
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VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

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WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

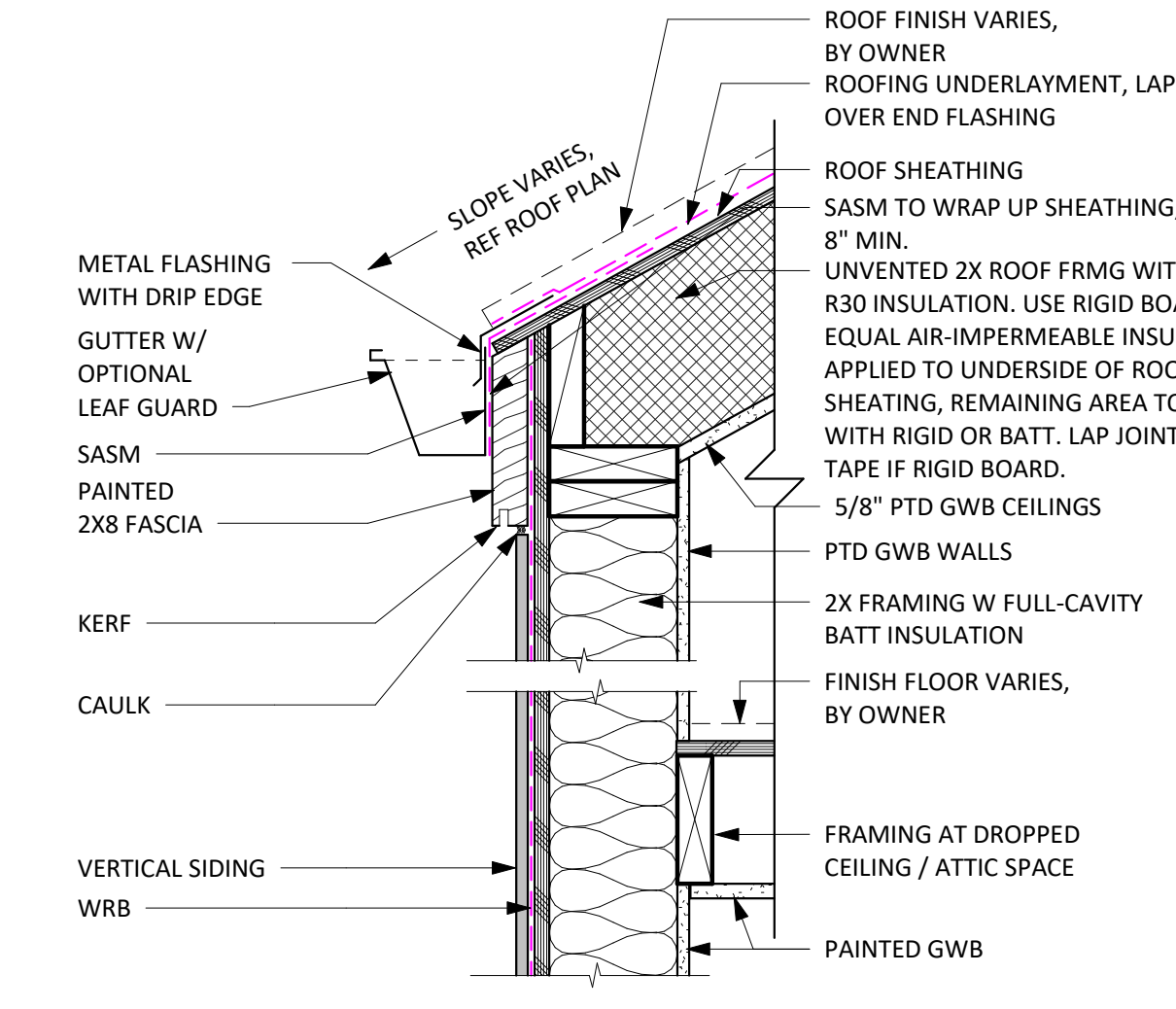
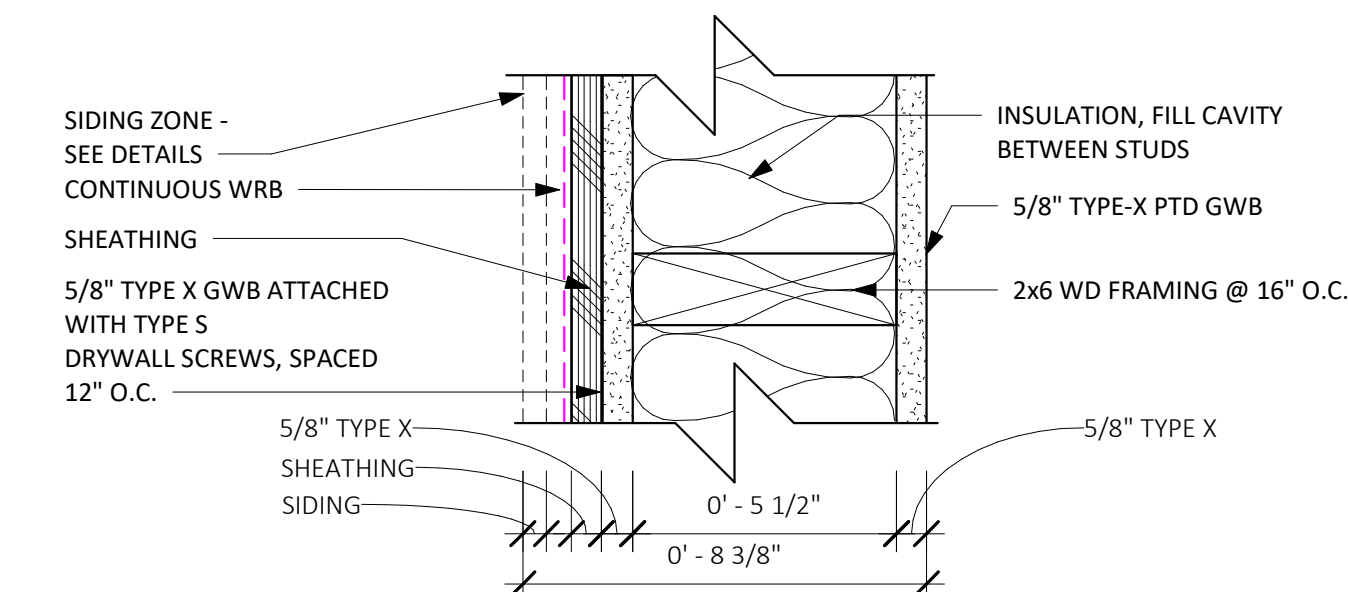
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

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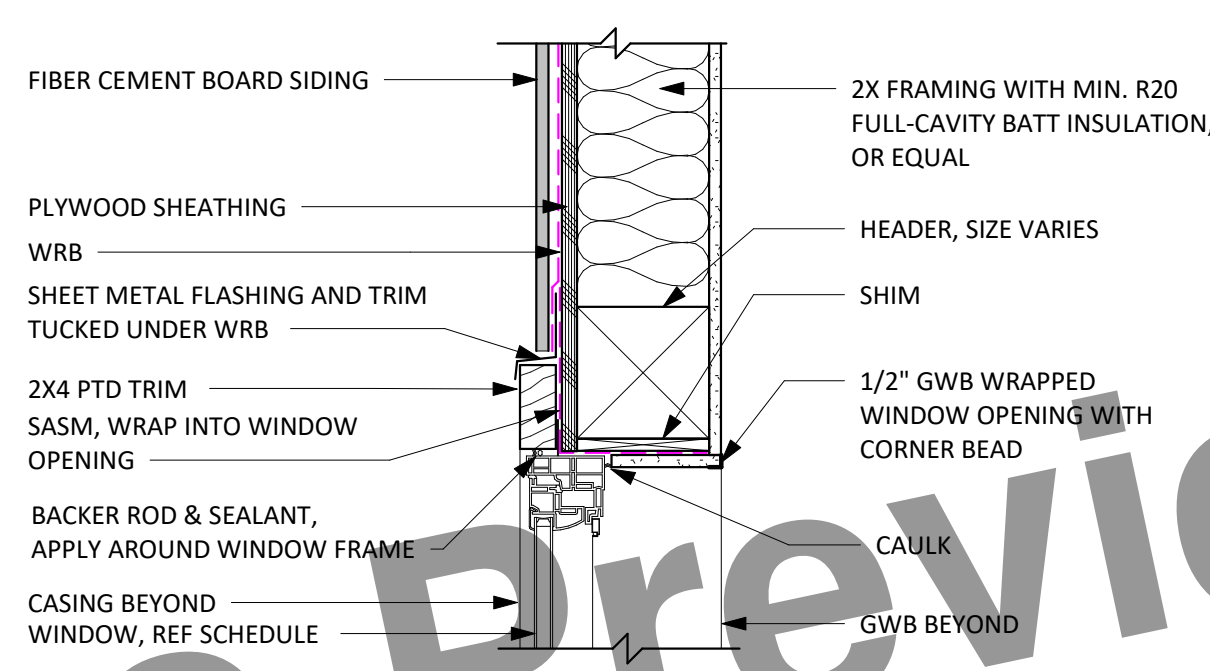
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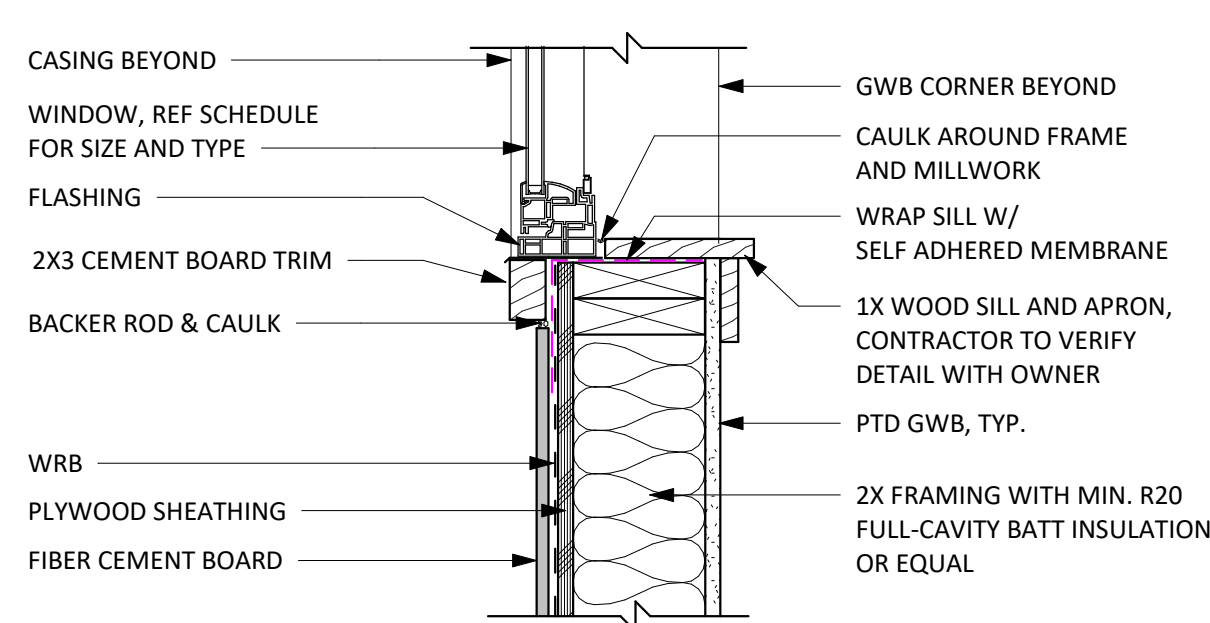
WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12*



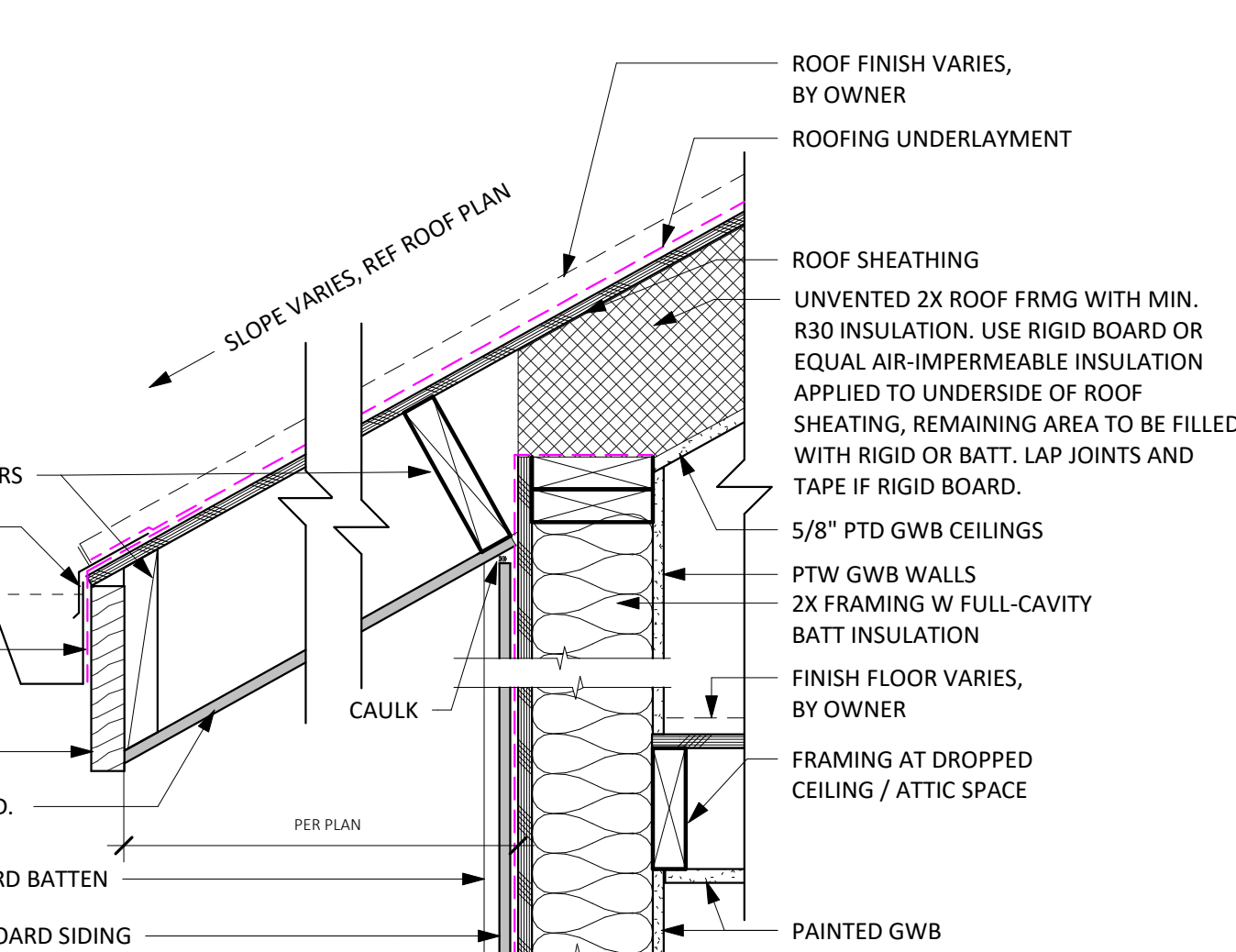
4 EAVE WITH ZERO OVERHANG
1 1/2" = 1'-0"



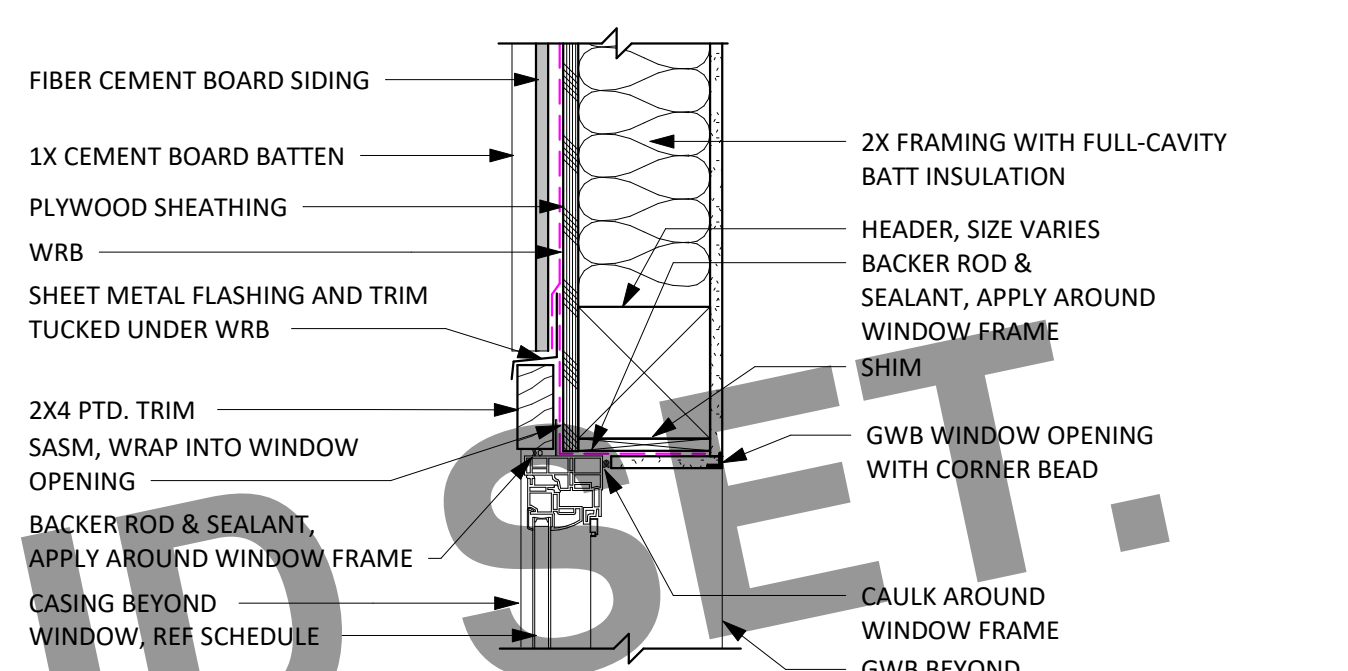
3 WINDOW HEAD AT VERTICAL SIDING
1 1/2" = 1'-0"



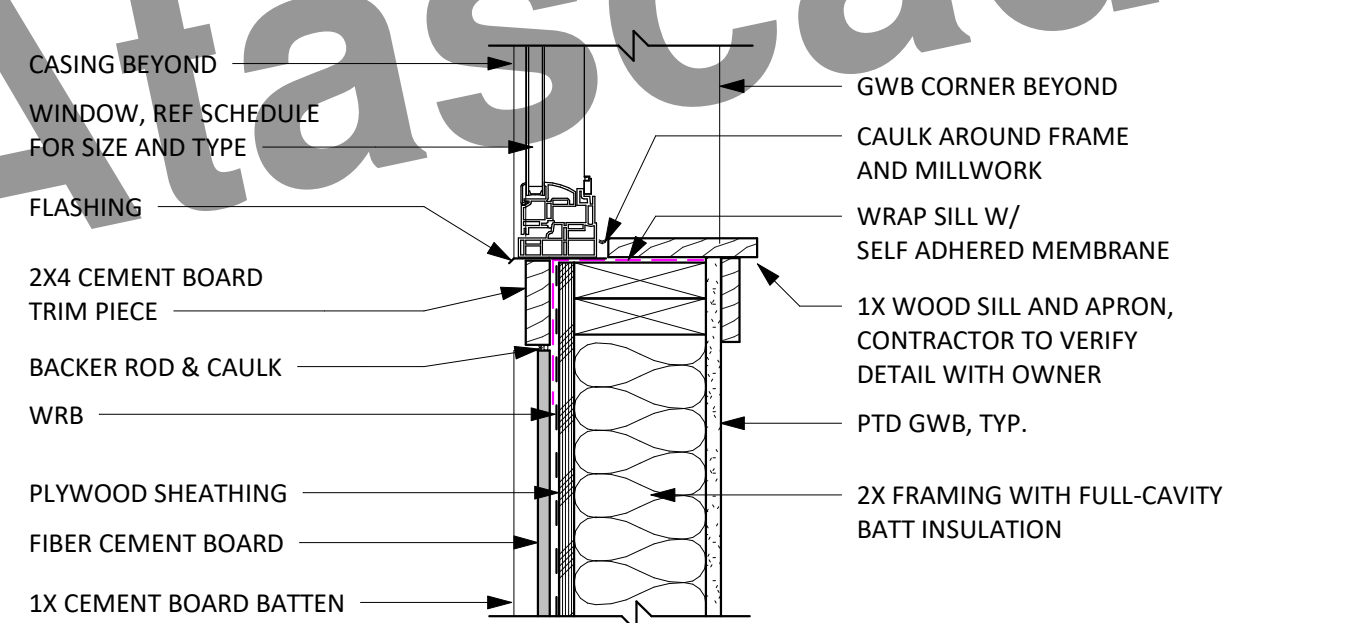
2 WINDOW SILL AT VERTICAL SIDING
1 1/2" = 1'-0"



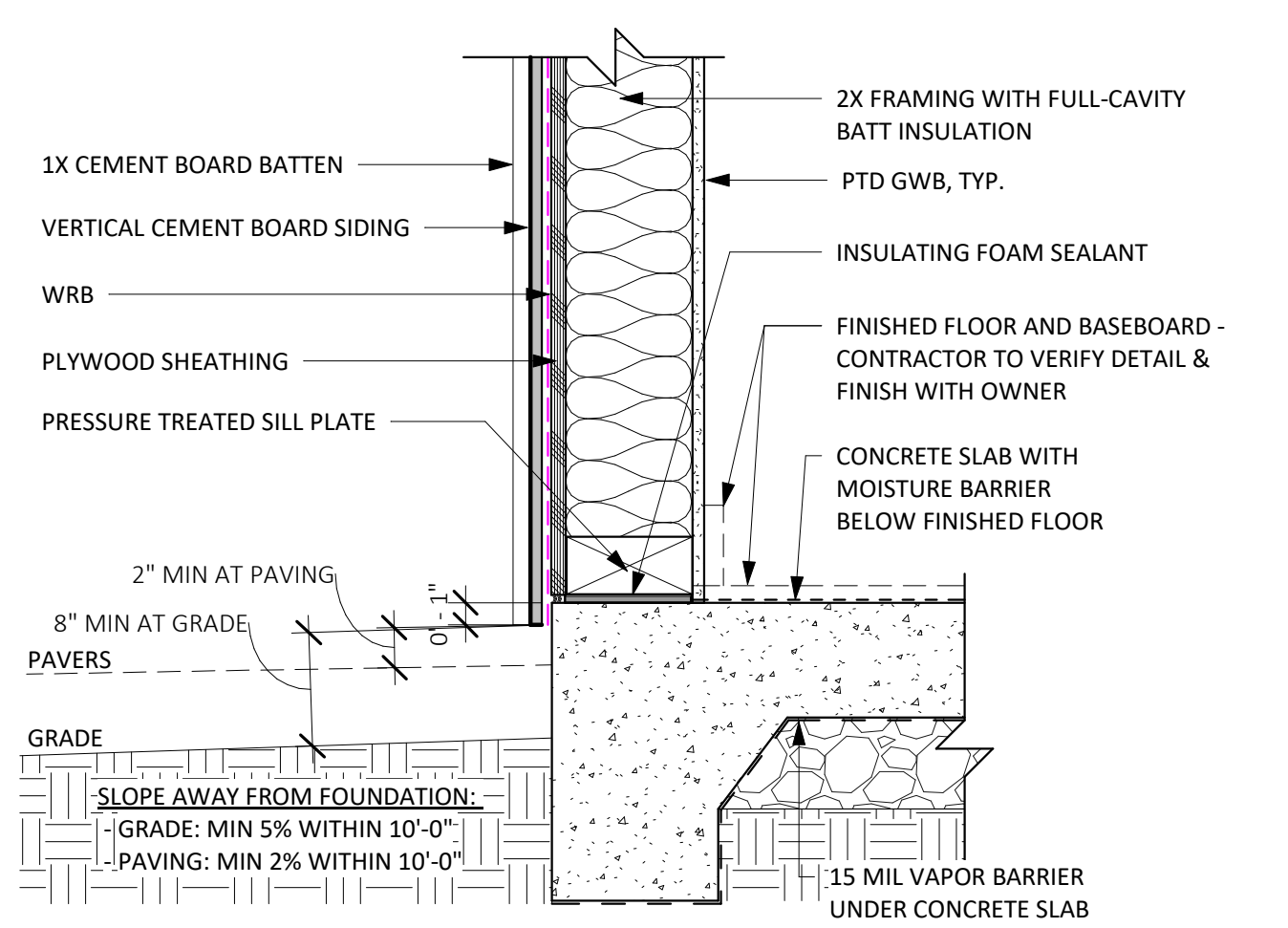
8 RAKE / EAVE AT BOARD & BATTEN
1 1/2" = 1'-0"



7 WINDOW HEAD AT BOARD & BATTEN
1 1/2" = 1'-0"

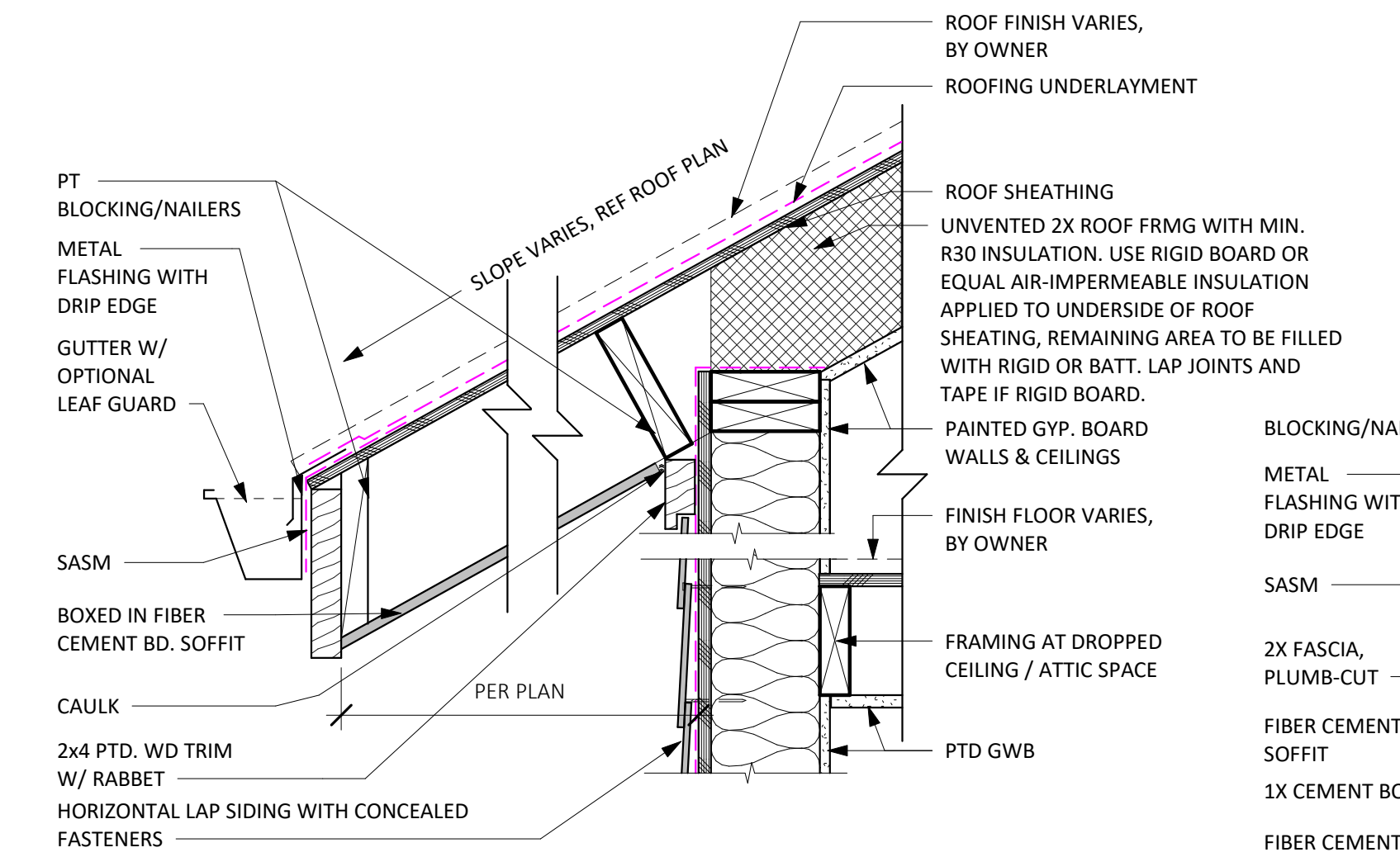


6 WINDOW SILL AT BOARD & BATTEN
1 1/2" = 1'-0"

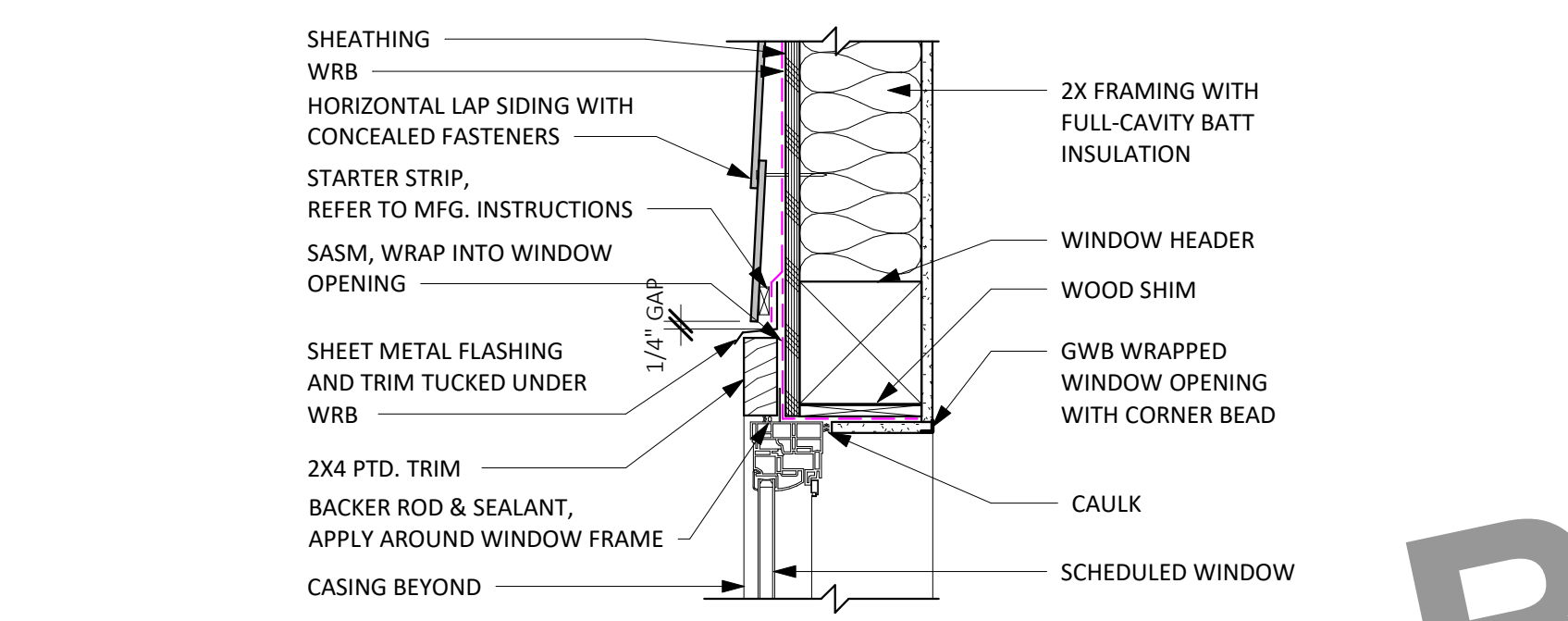


5 SLAB EDGE AT BOARD & BATTEN
1 1/2" = 1'-0"

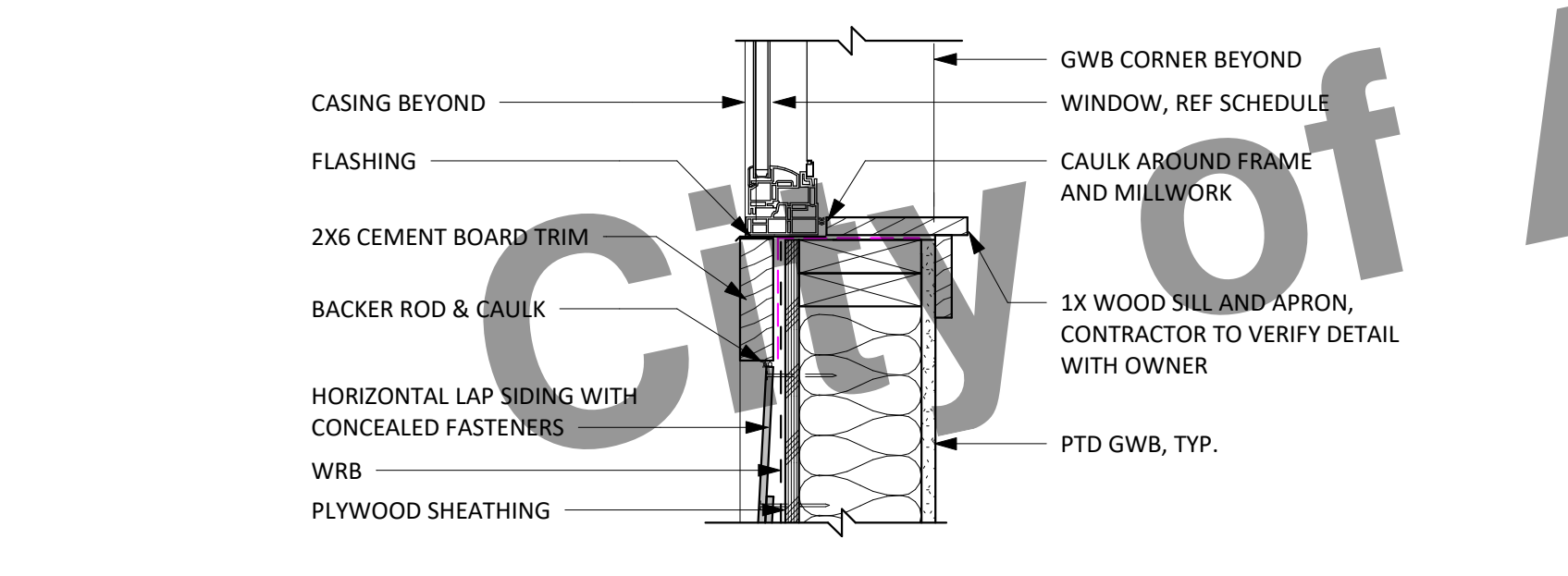
E2 BOARD & BATTEN SIDING



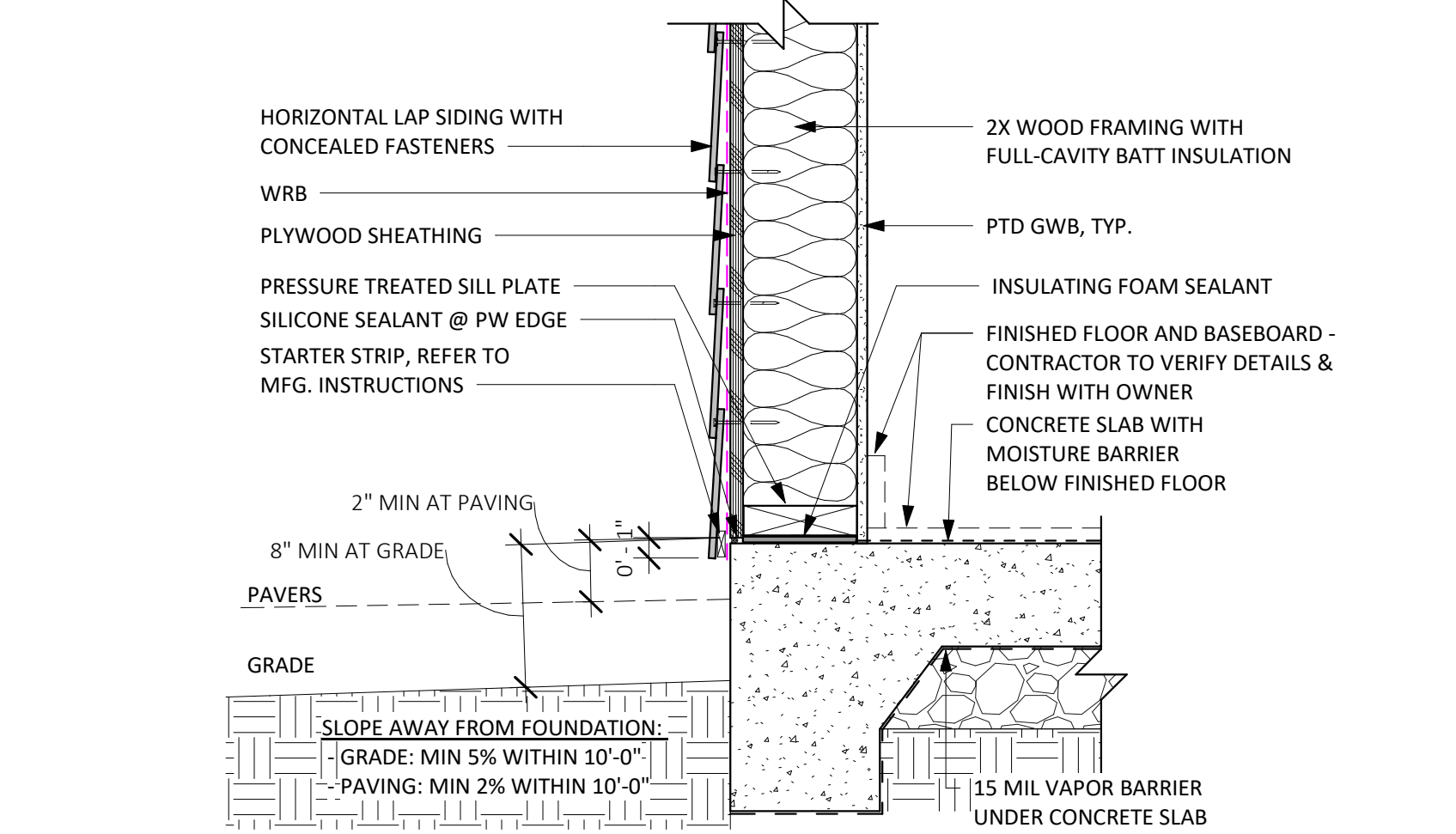
12 EAVE AT LAP SIDING
1 1/2" = 1'-0"



11 WINDOW HEAD AT LAP SIDING
1 1/2" = 1'-0"



10 WINDOW SILL AT LAP SIDING
1 1/2" = 1'-0"



9 SLAB EDGE AT LAP SIDING
1 1/2" = 1'-0"

E3 FIBER CEMENT HORIZONTAL LAP SIDING



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PRINT DATE: XX.XX.XXXX

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A5.1

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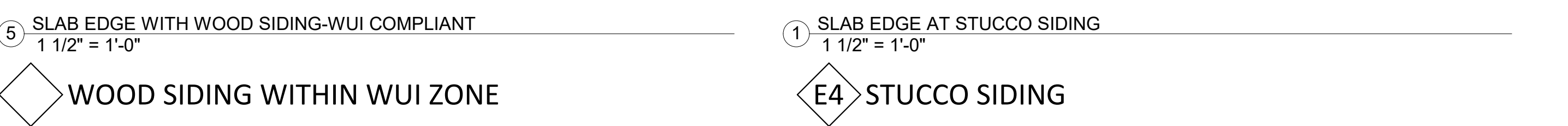
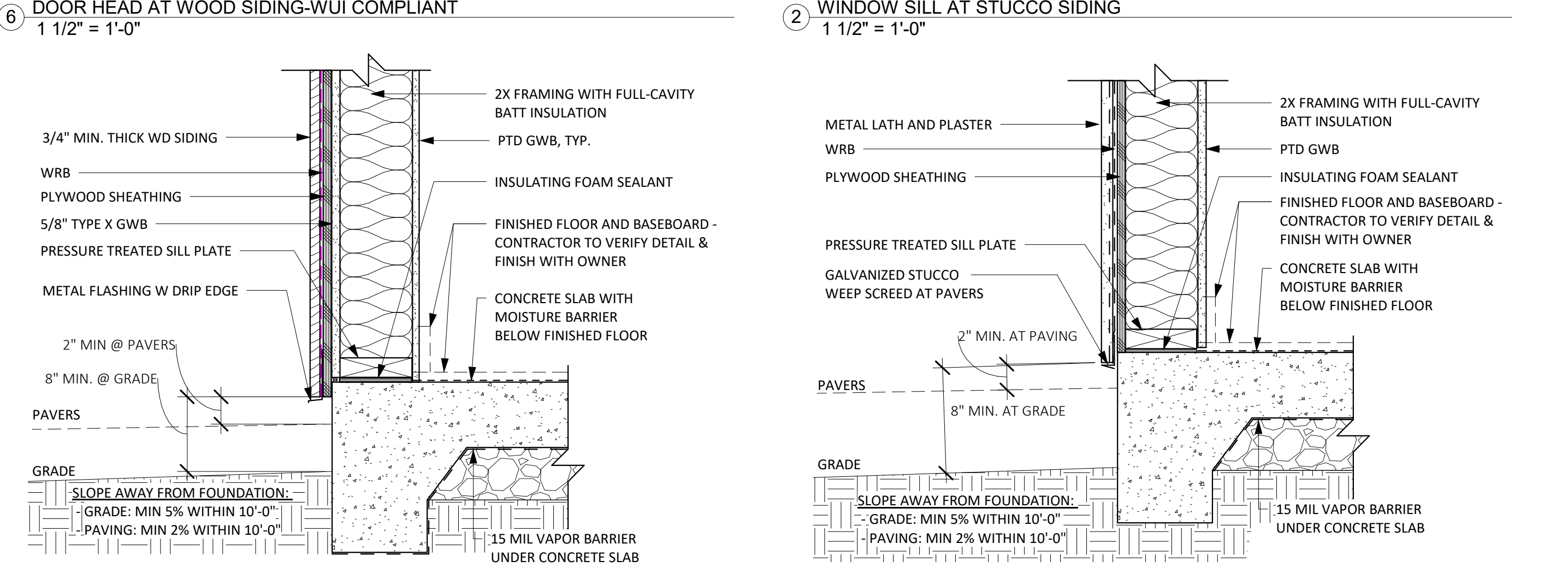
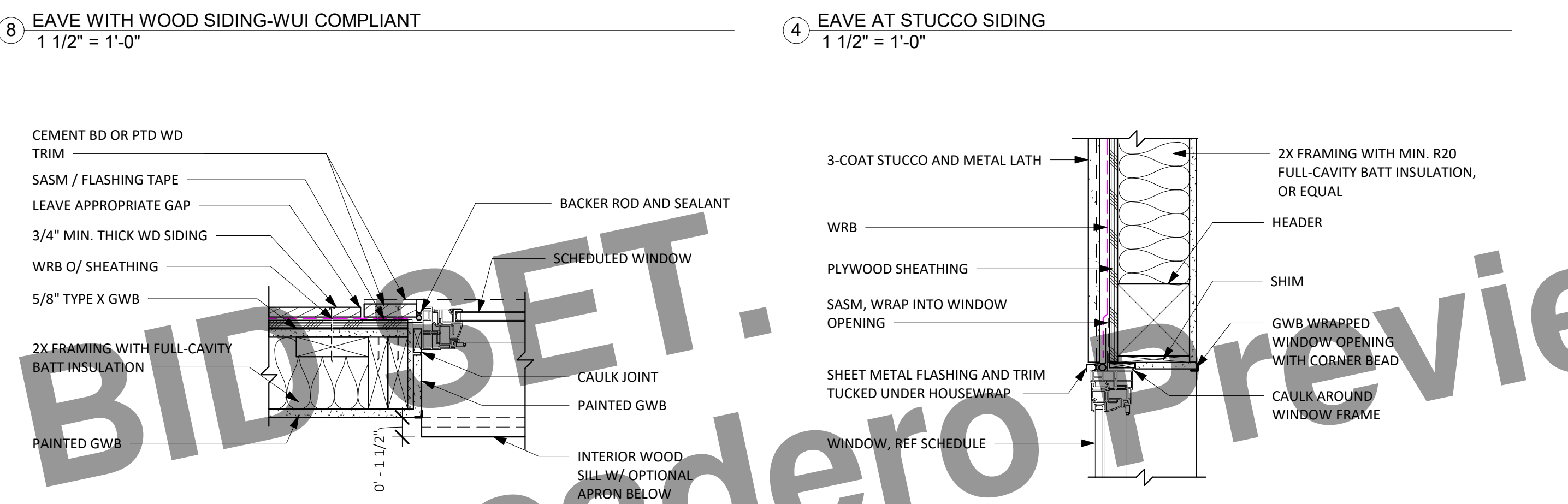
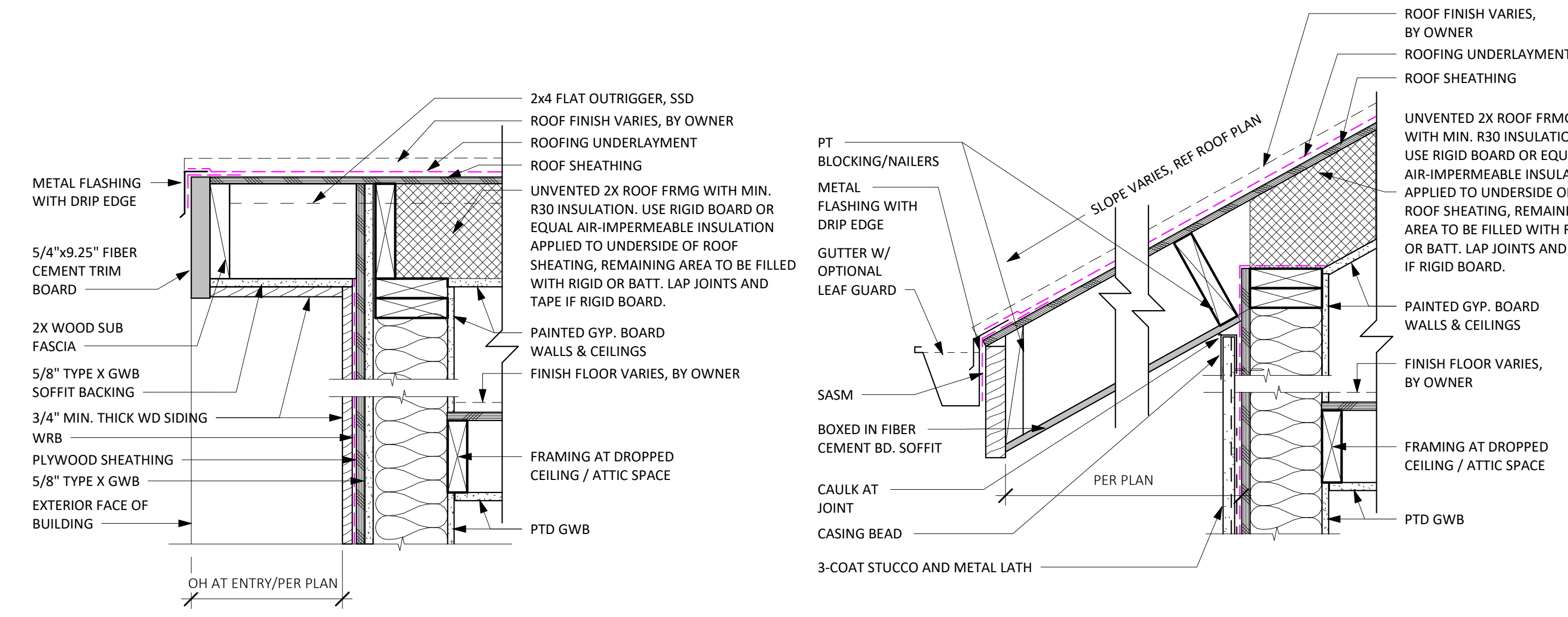
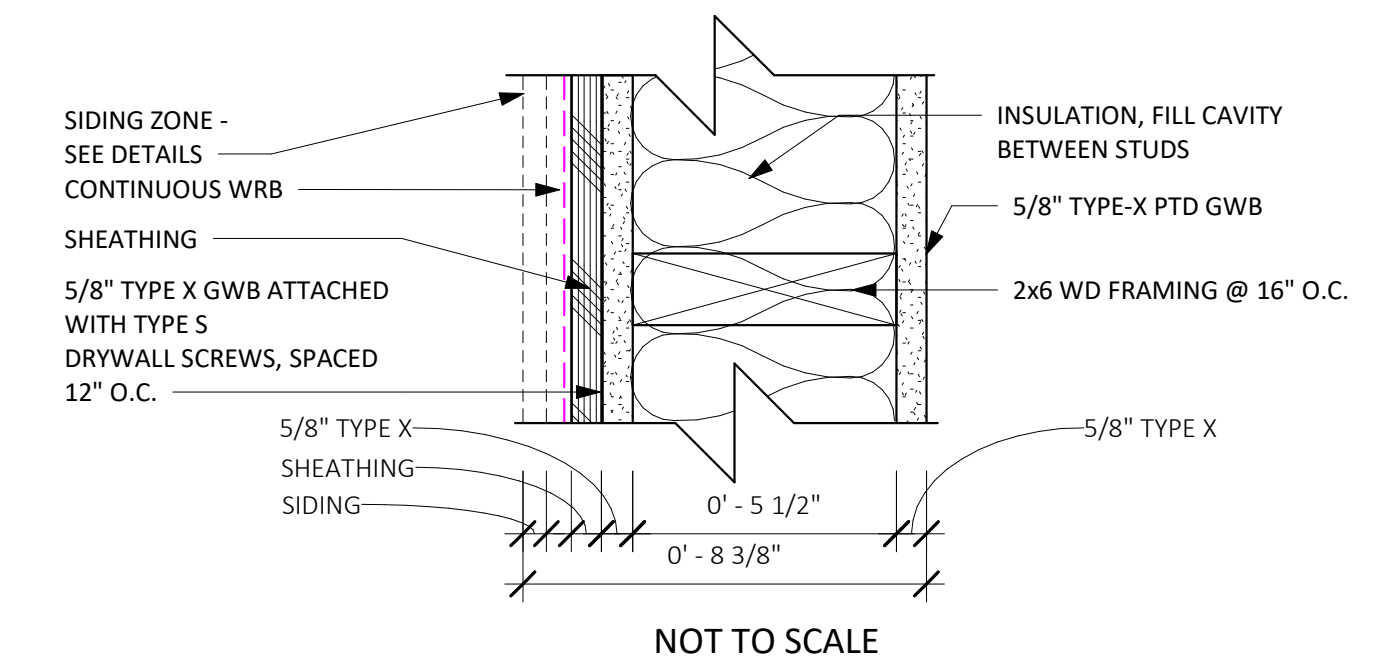
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1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12"



BID SET. City of Atascadero Preview

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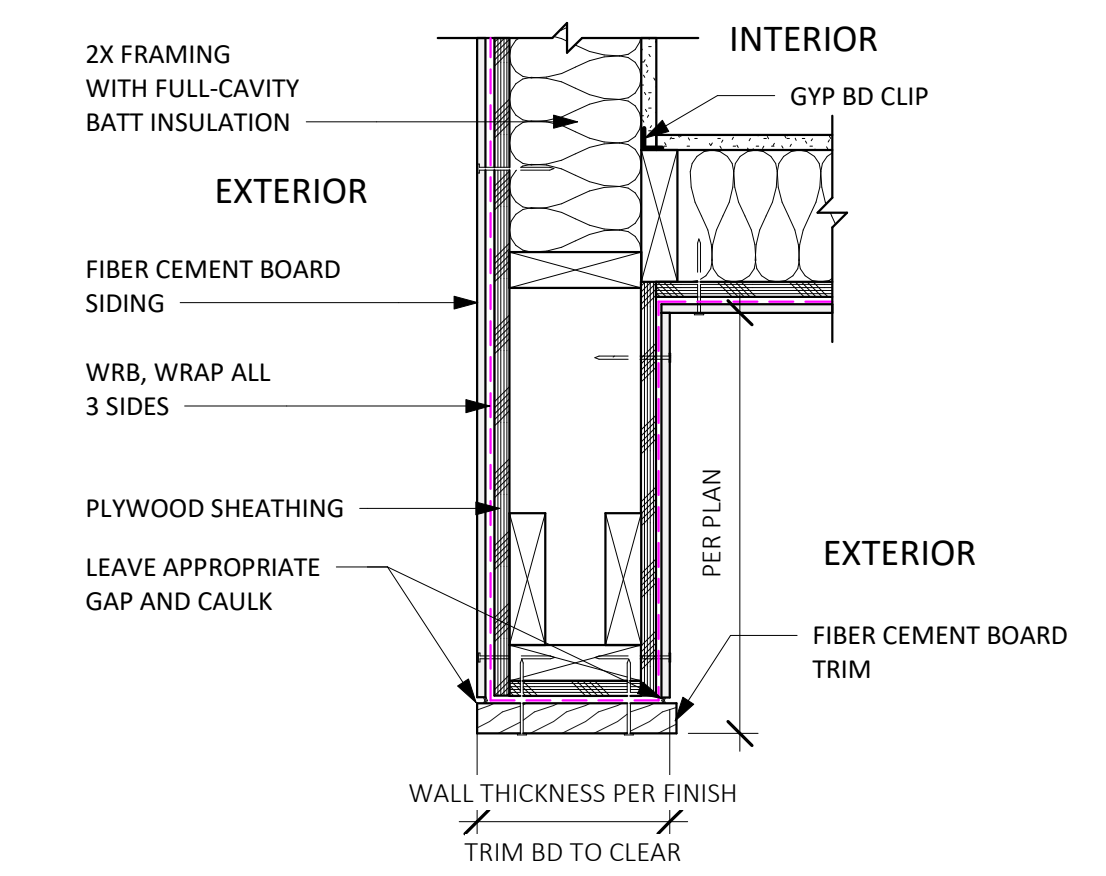
**CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF**

PRINT DATE: XX.XX.XXXX

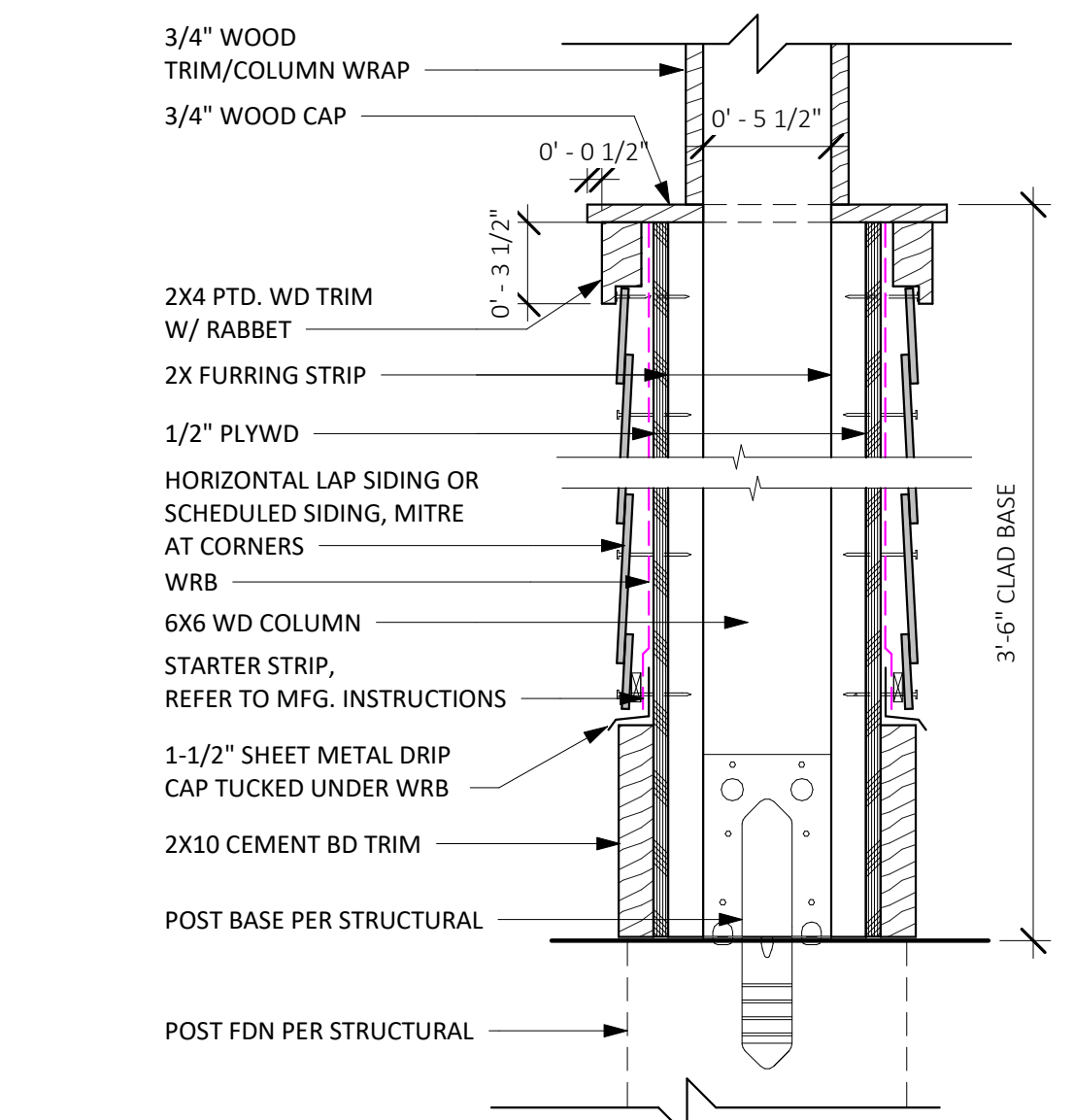
EXTERIOR DETAILS

A5.2

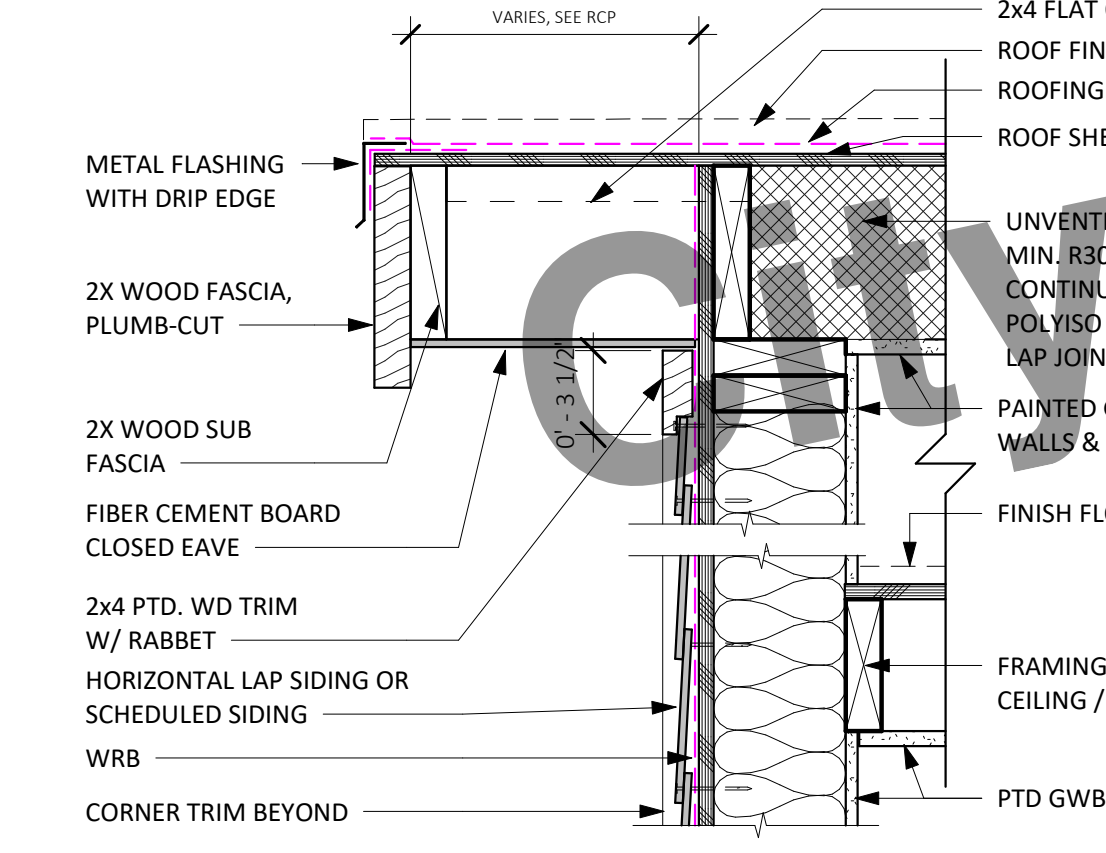
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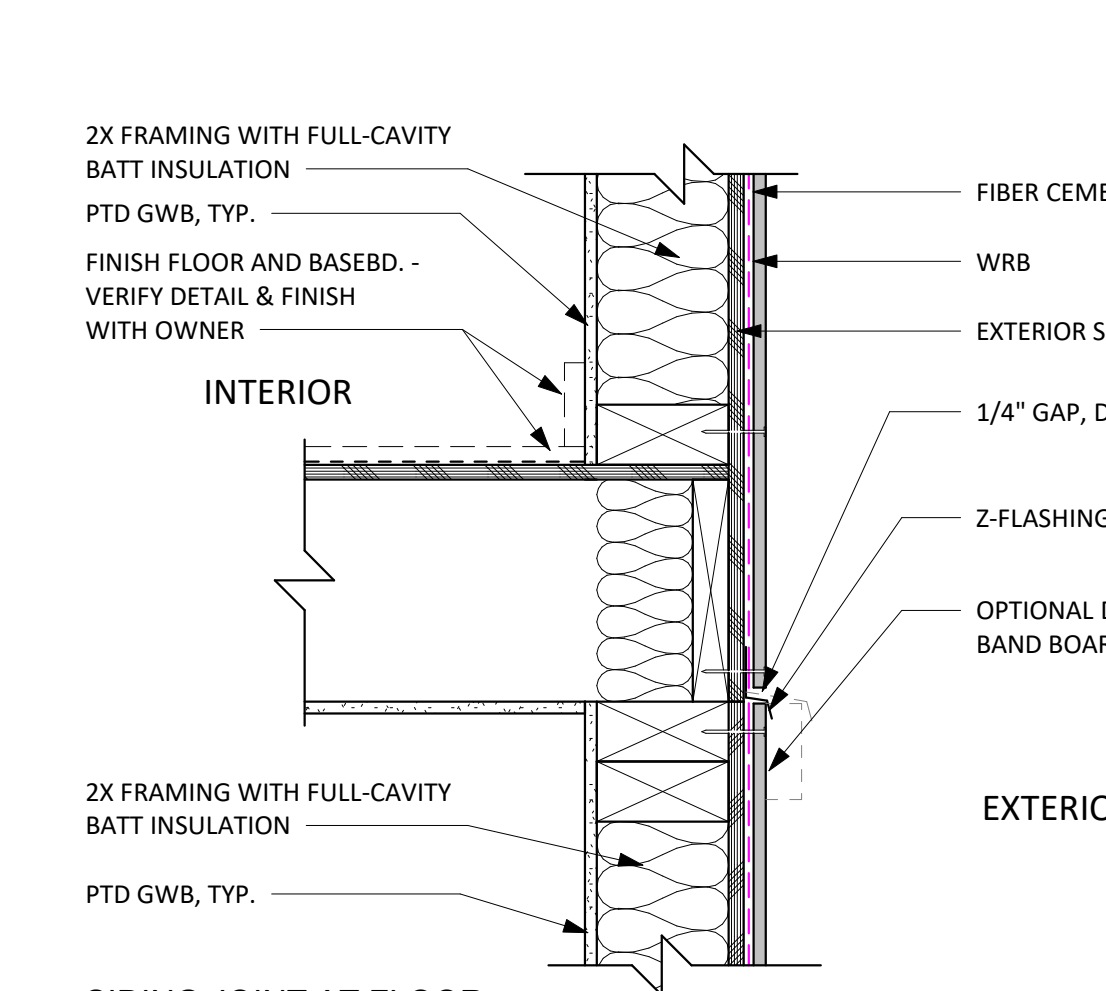
16. CEMENT BD WING WALL
1 1/2" = 1'-0"



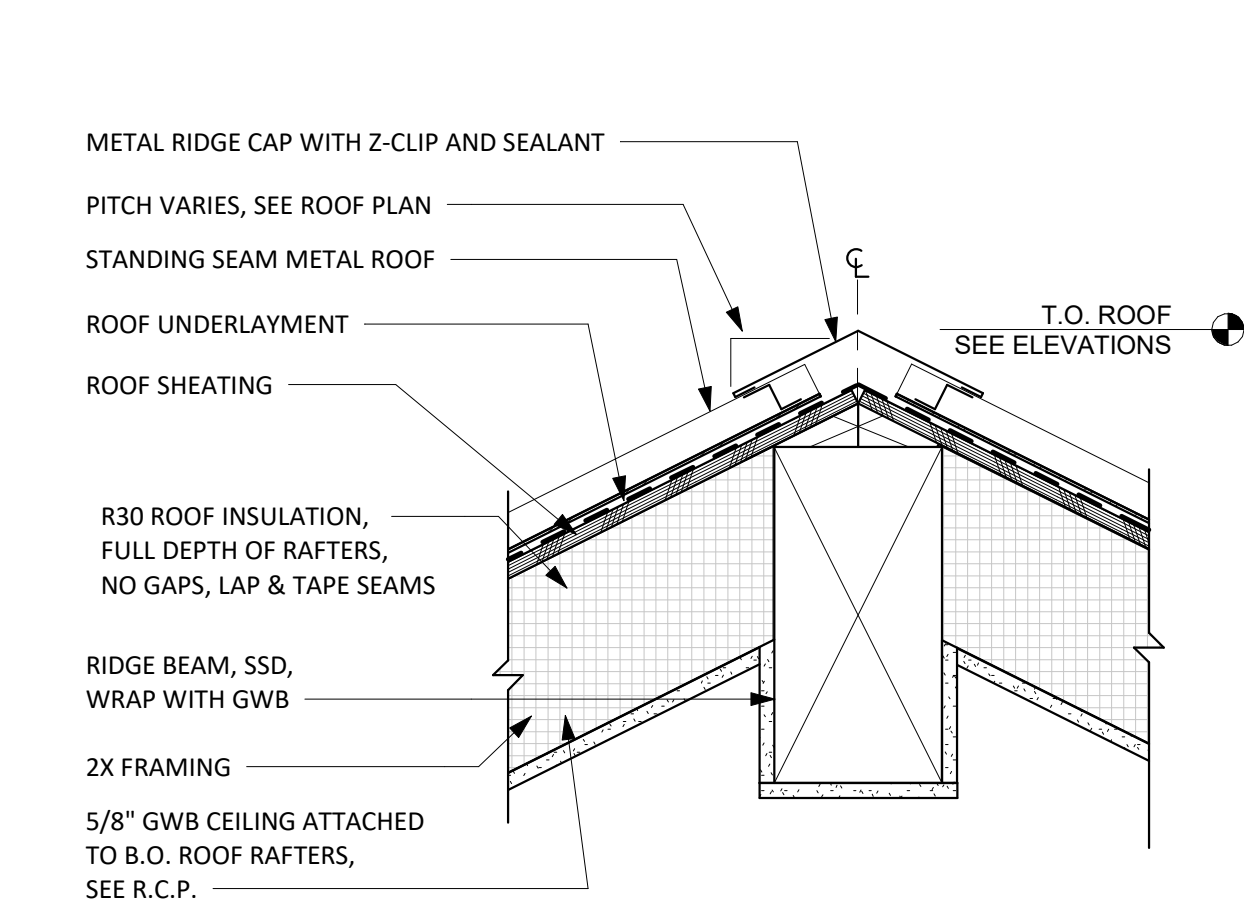
15. WRAPPED COLUMN SECTION
1 1/2" = 1'-0"



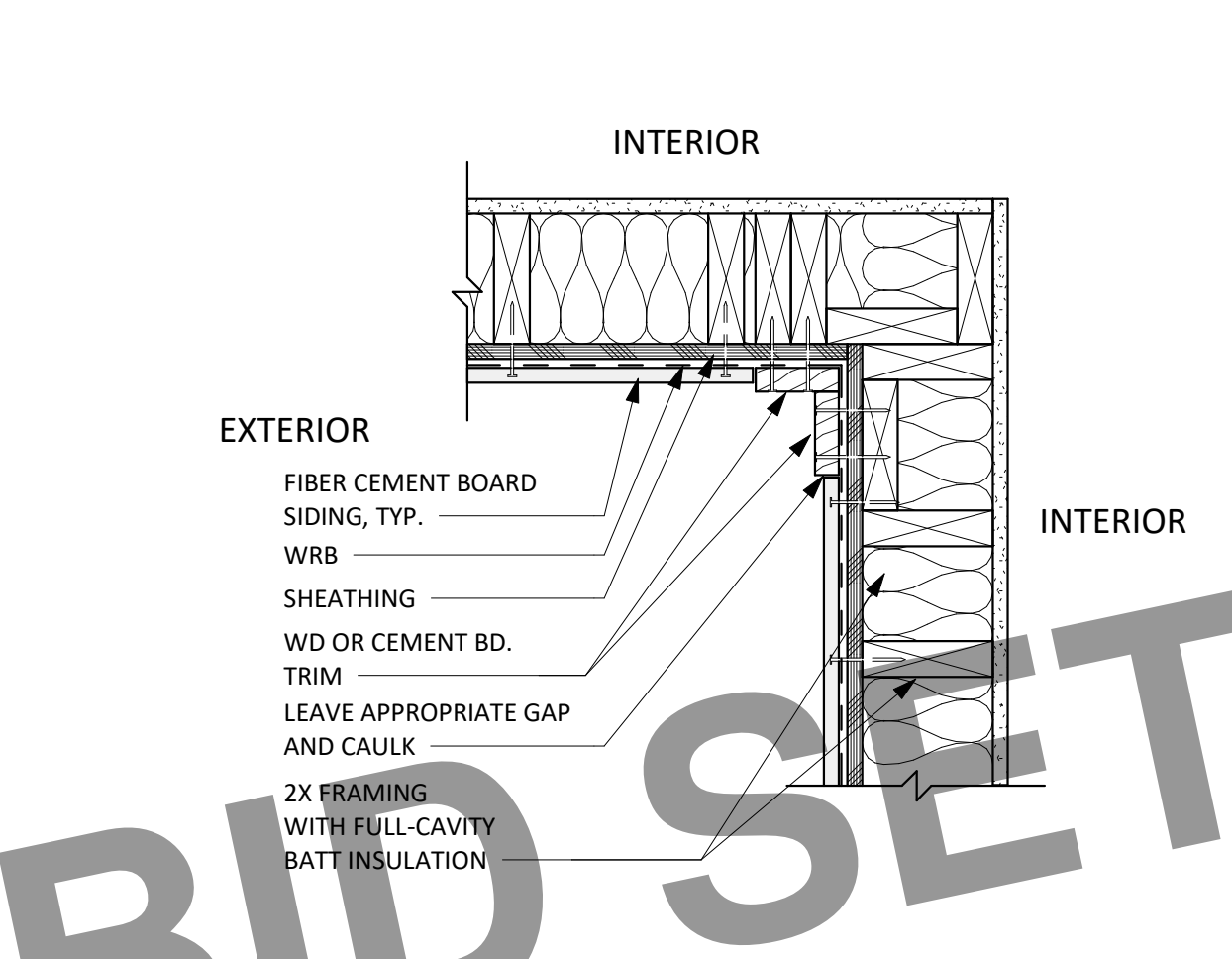
14. BASIC RAKE (CLOSED)
1 1/2" = 1'-0"



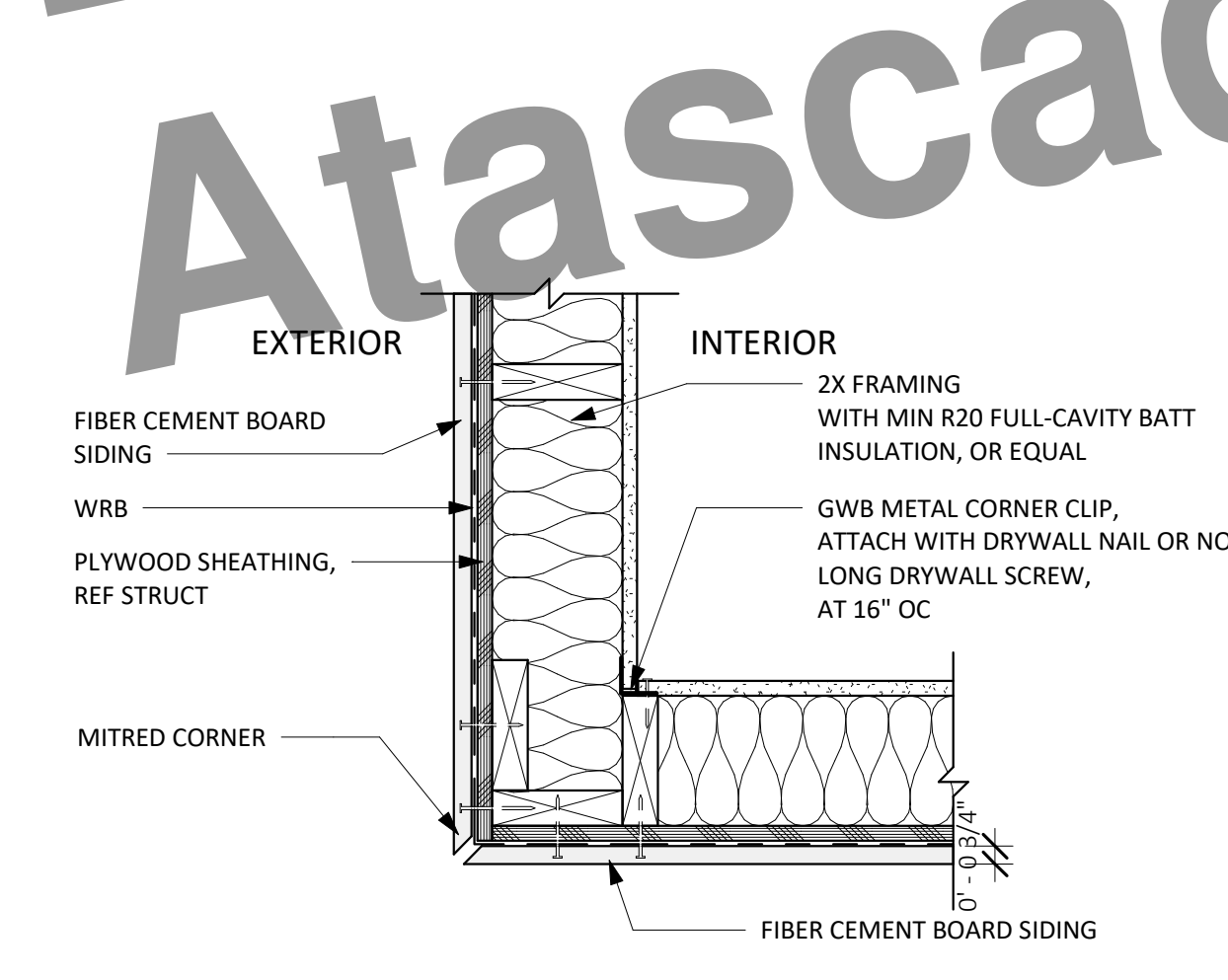
13. SIDING JOINT AT FLOOR
1 1/2" = 1'-0"



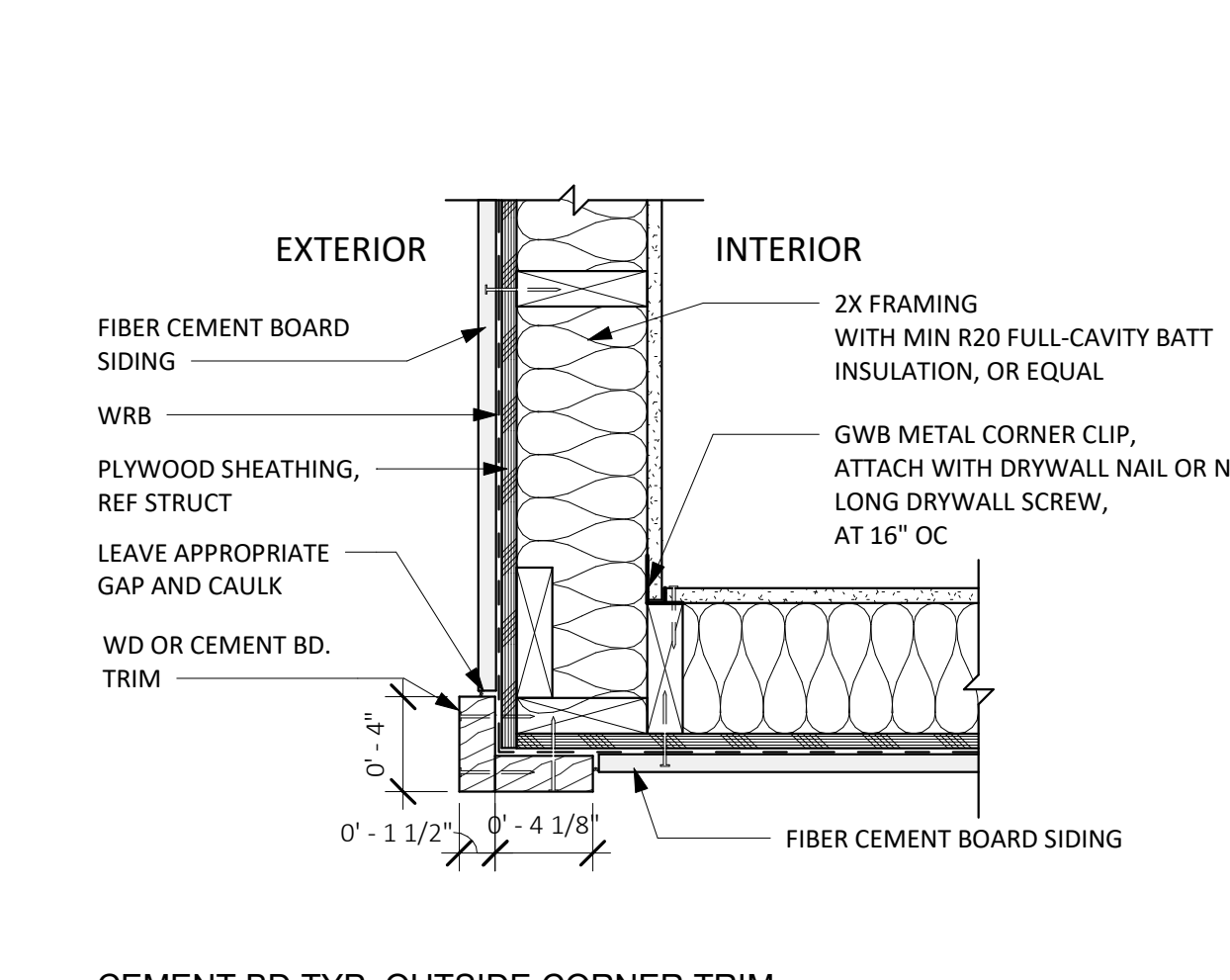
12. STANDING SEAM UNVENTED RIDGE
1 1/2" = 1'-0"



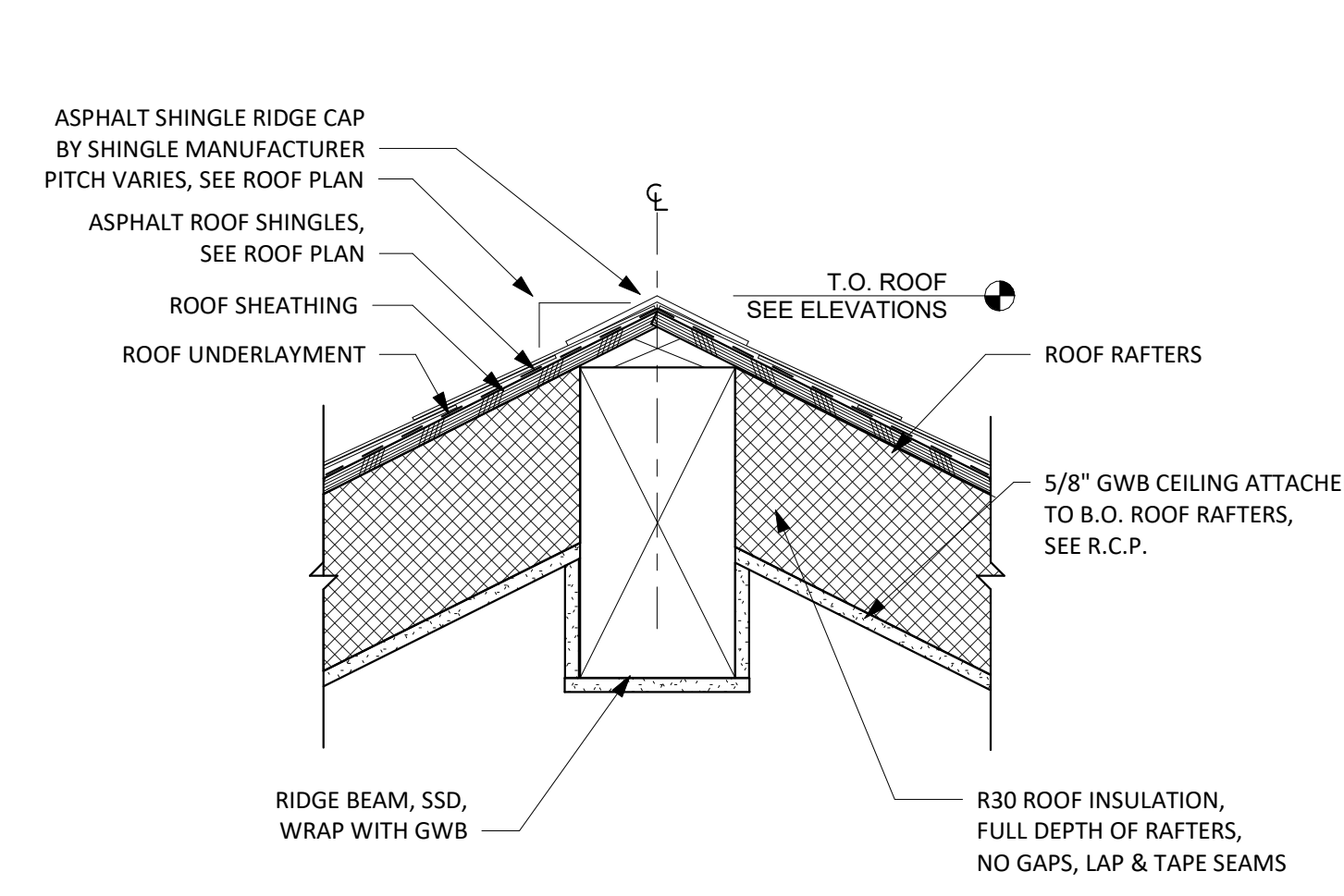
11. CEMENT BD TYP. INSIDE CORNER
1 1/2" = 1'-0"



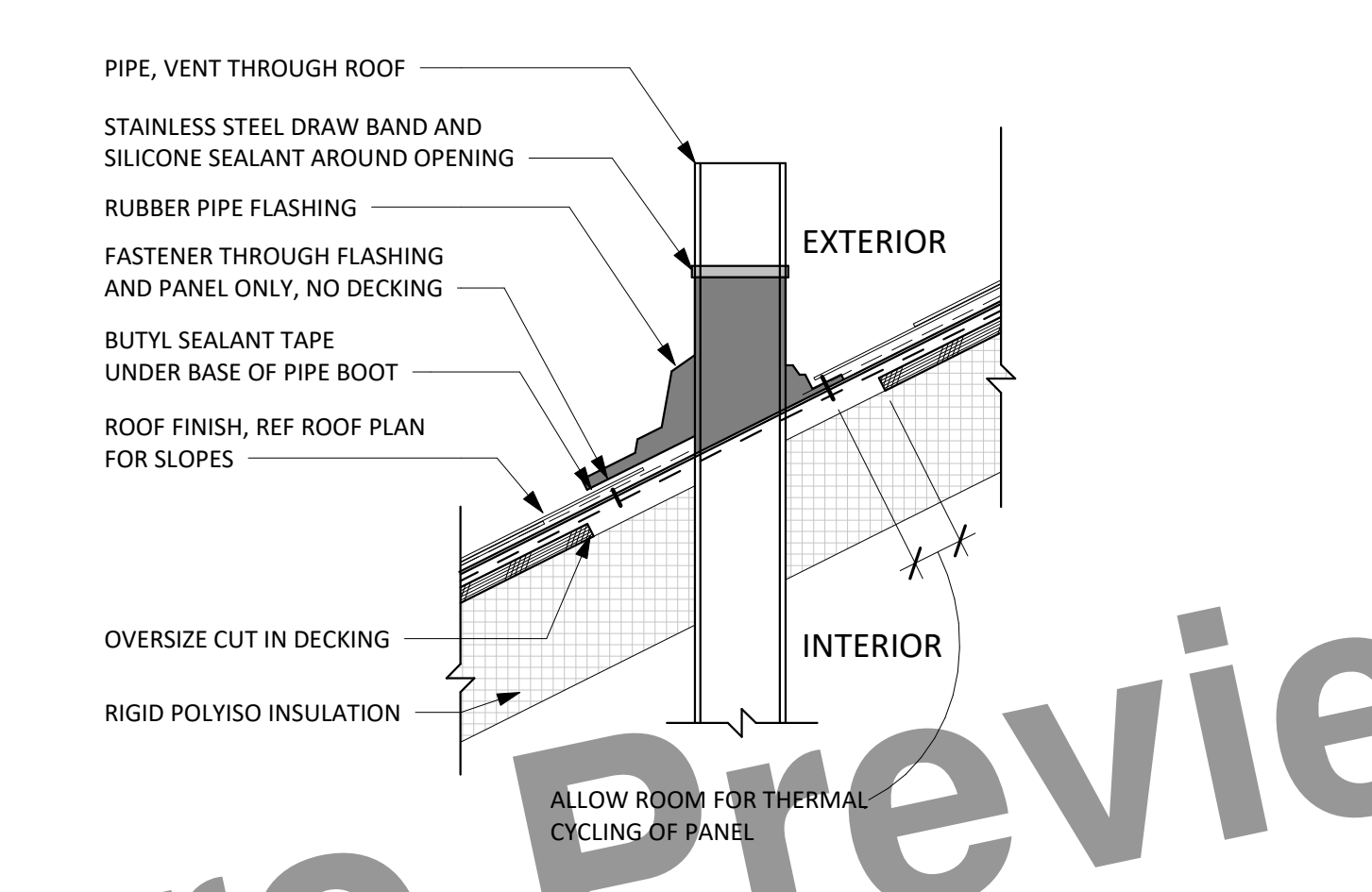
10. CEMENT BD OUTSIDE CORNER TRIM MITRE
1 1/2" = 1'-0"



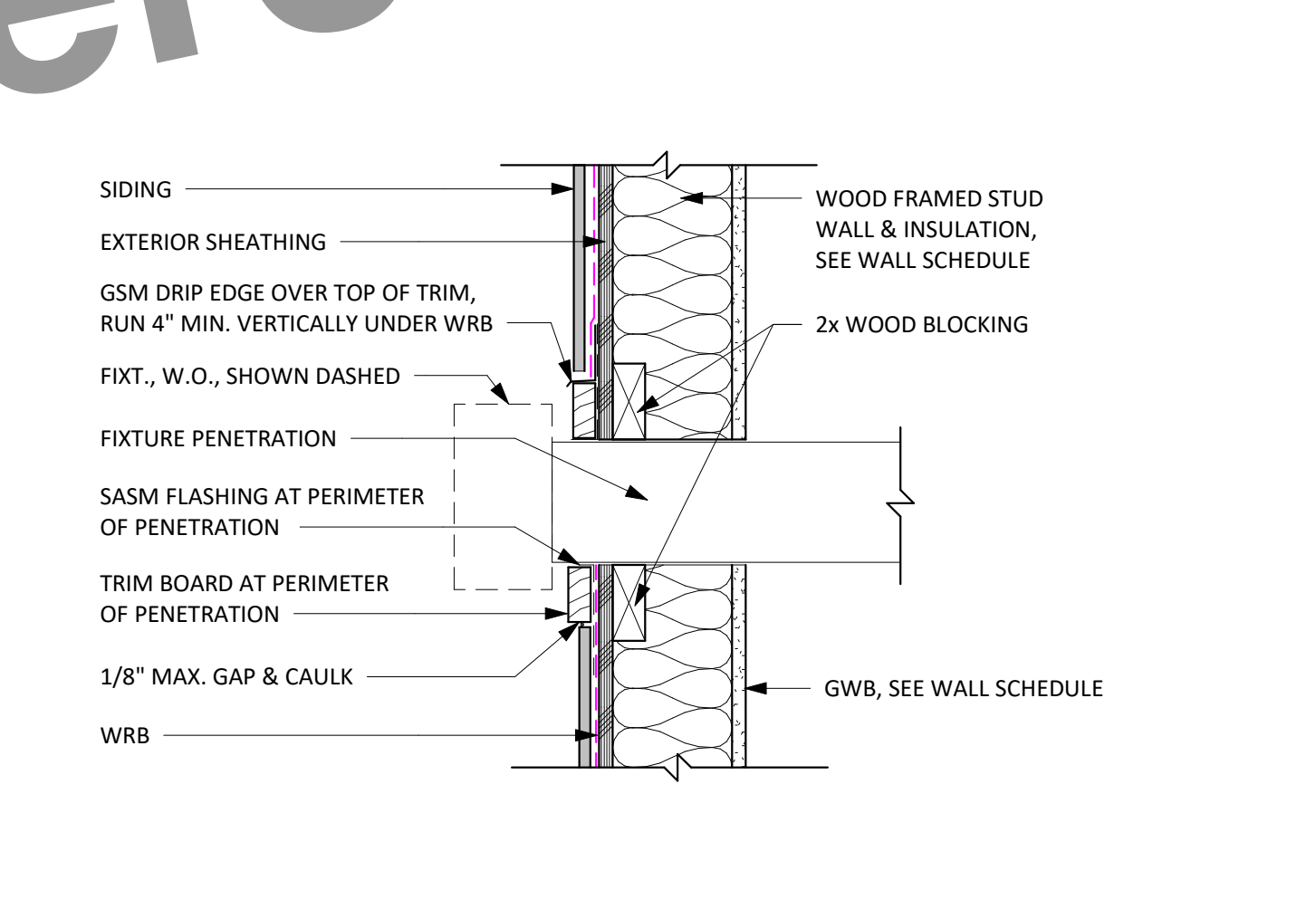
9. CEMENT BD TYP. OUTSIDE CORNER TRIM
1 1/2" = 1'-0"



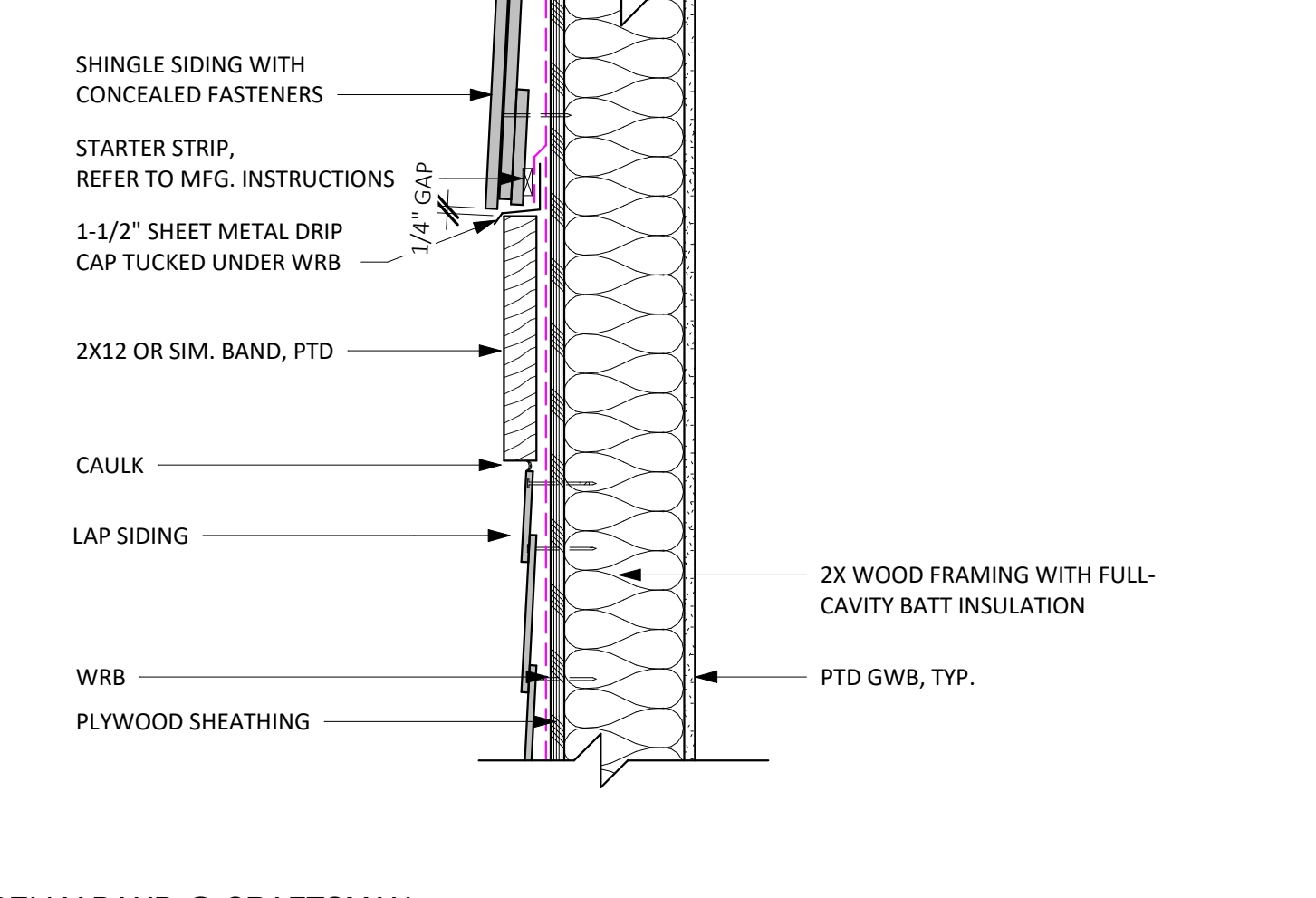
8. BASIC UNVENTED RIDGE AT ASPHALT SHINGLE
1 1/2" = 1'-0"



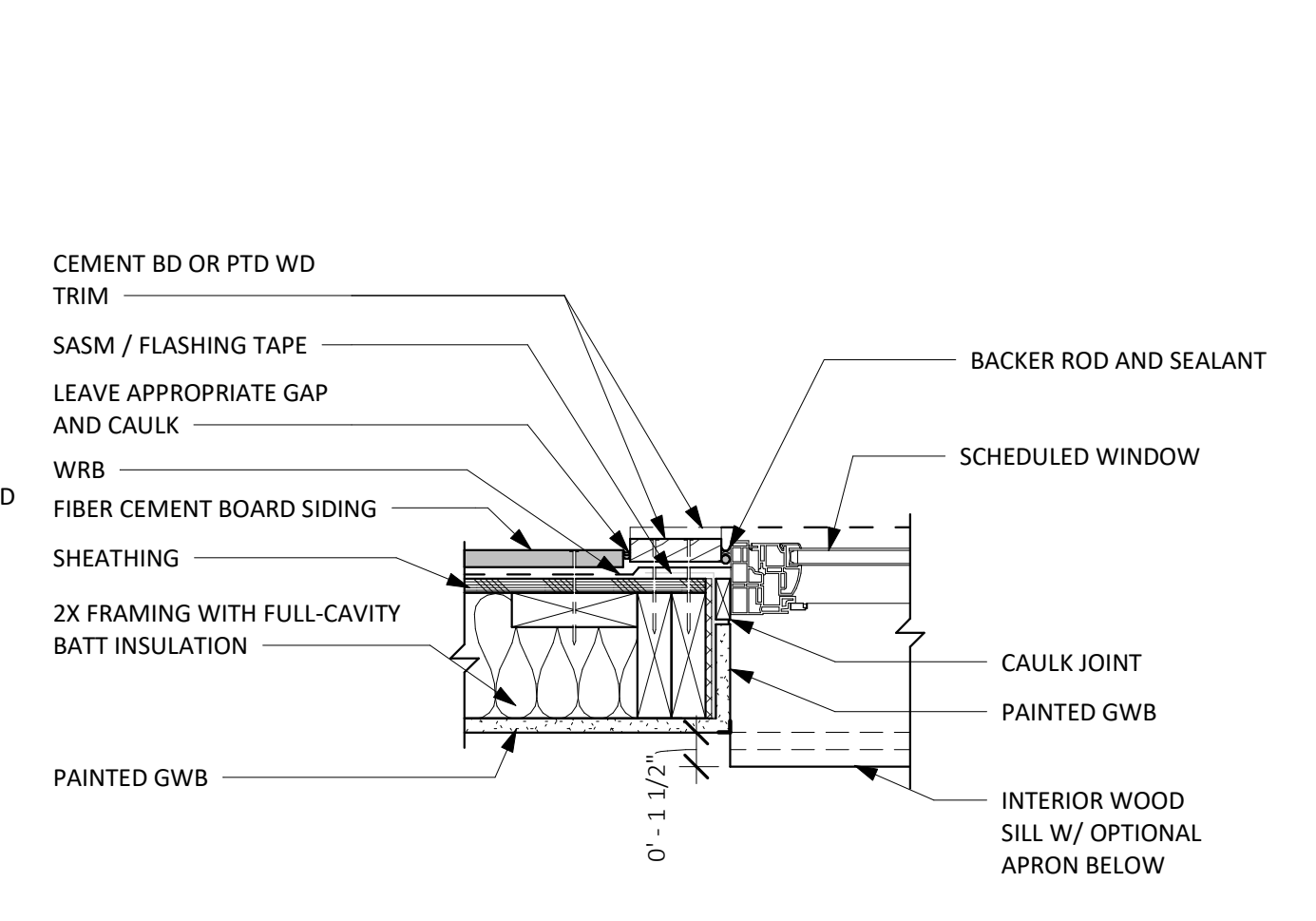
7. ROOF PENETRATION DETAIL
1 1/2" = 1'-0"



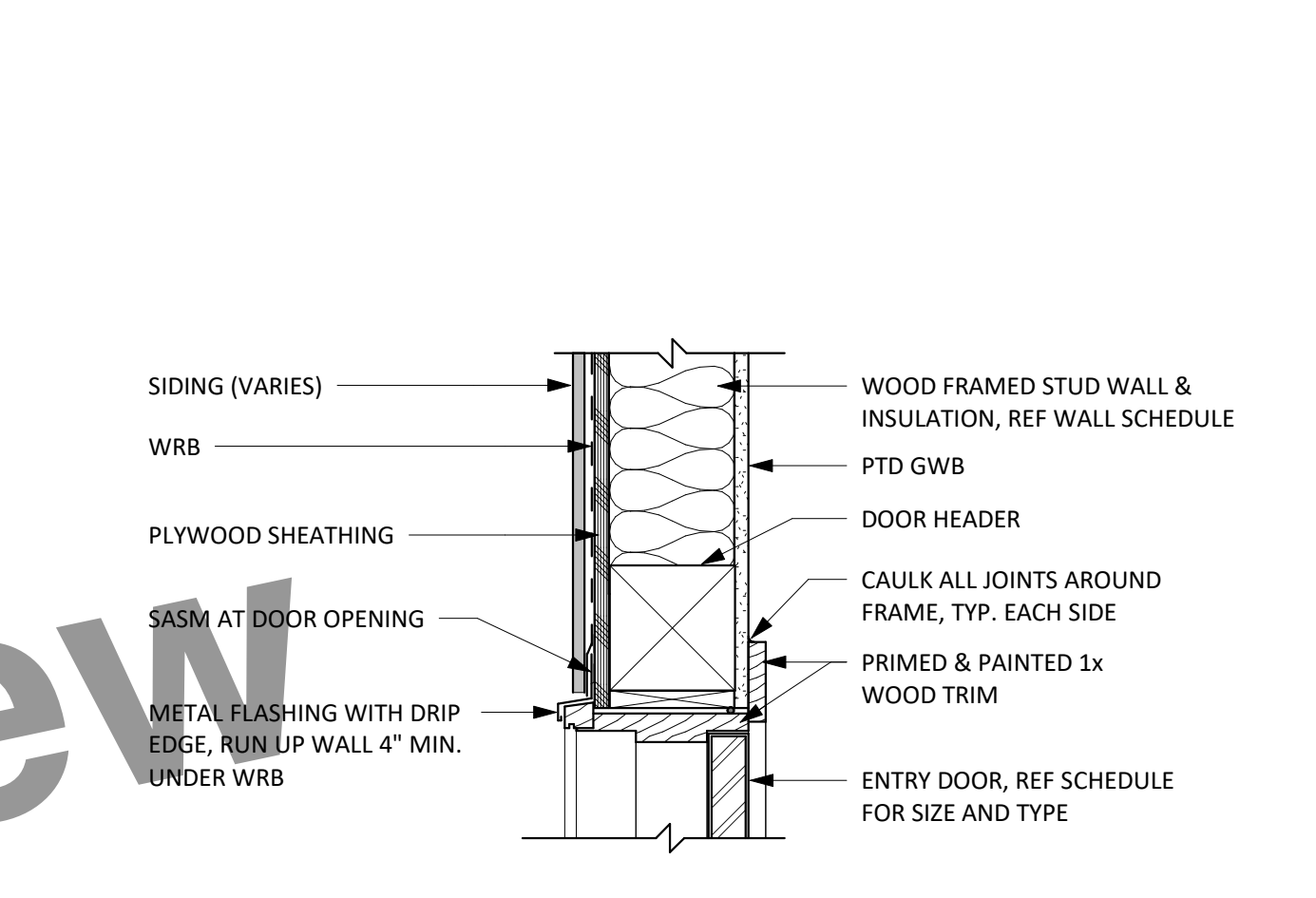
6. WALL PENETRATION DETAIL
1 1/2" = 1'-0"



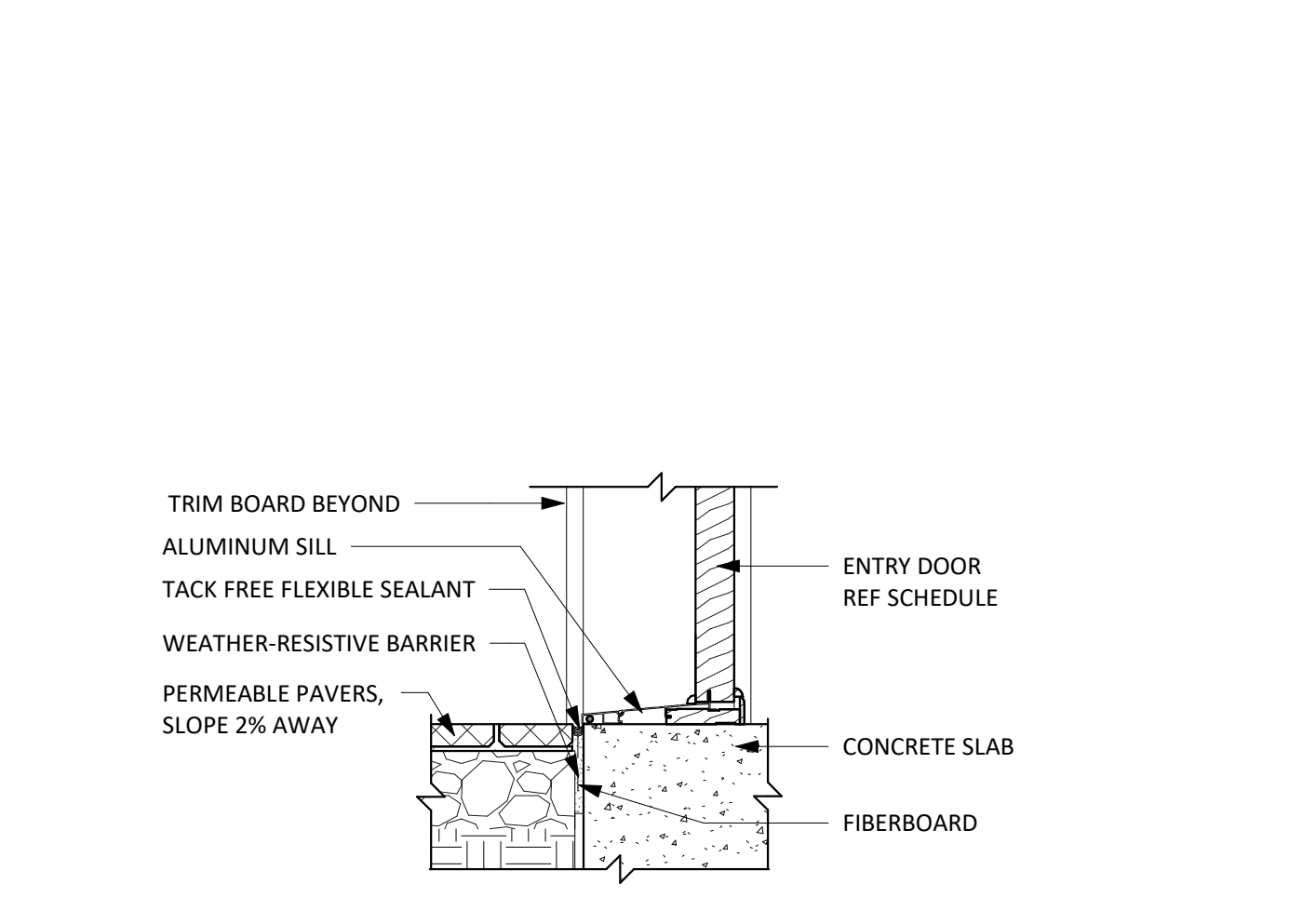
5. BELLY BAND @ CRAFTSMAN
1 1/2" = 1'-0"



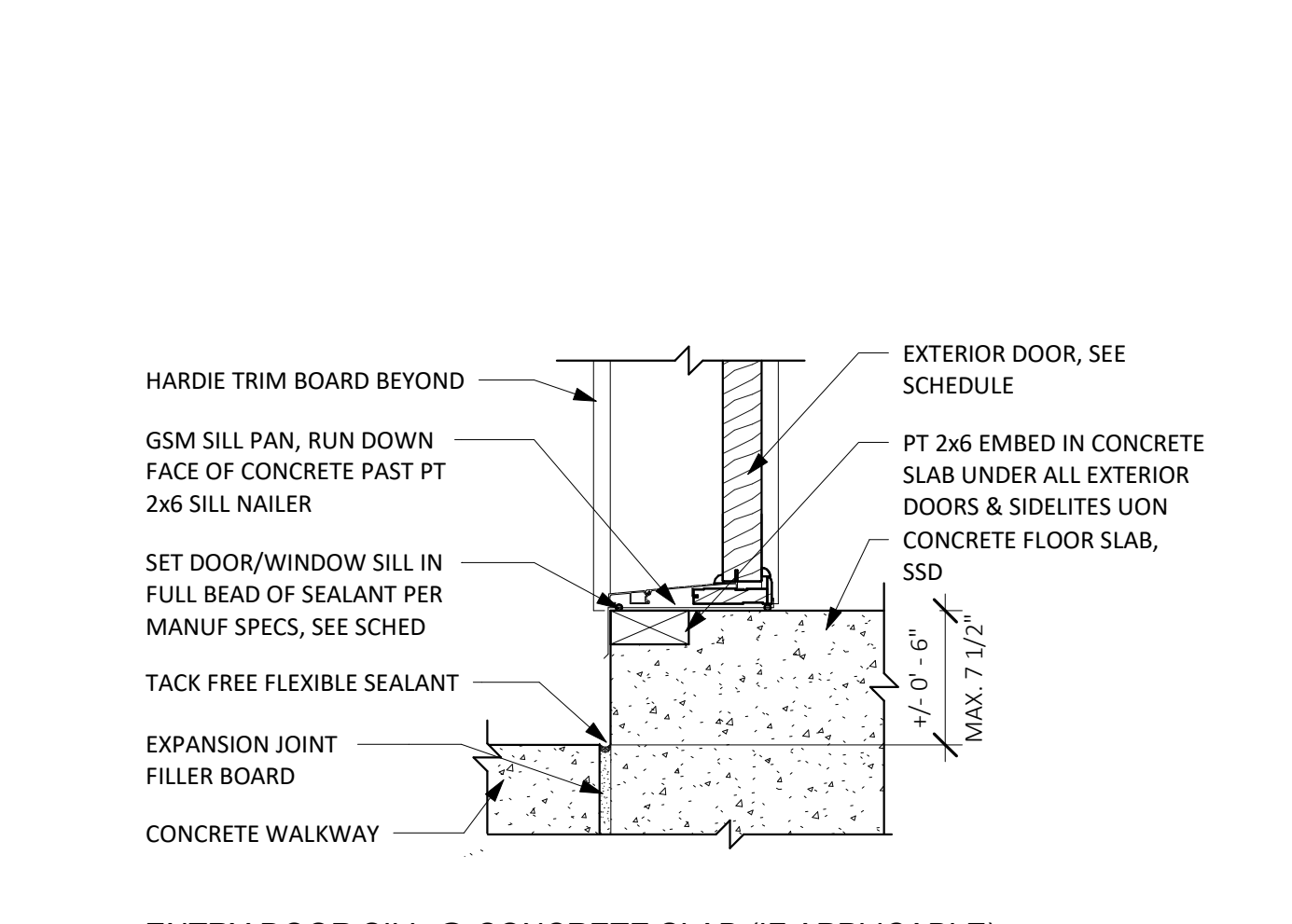
4. BASIC WINDOW JAMB
1 1/2" = 1'-0"



3. SWING DOOR HEAD / JAMB
1 1/2" = 1'-0"



2. ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)
1 1/2" = 1'-0"



1. ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)
1 1/2" = 1'-0"

BID SET. of Atascadero Preview



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/ARCHITECT**

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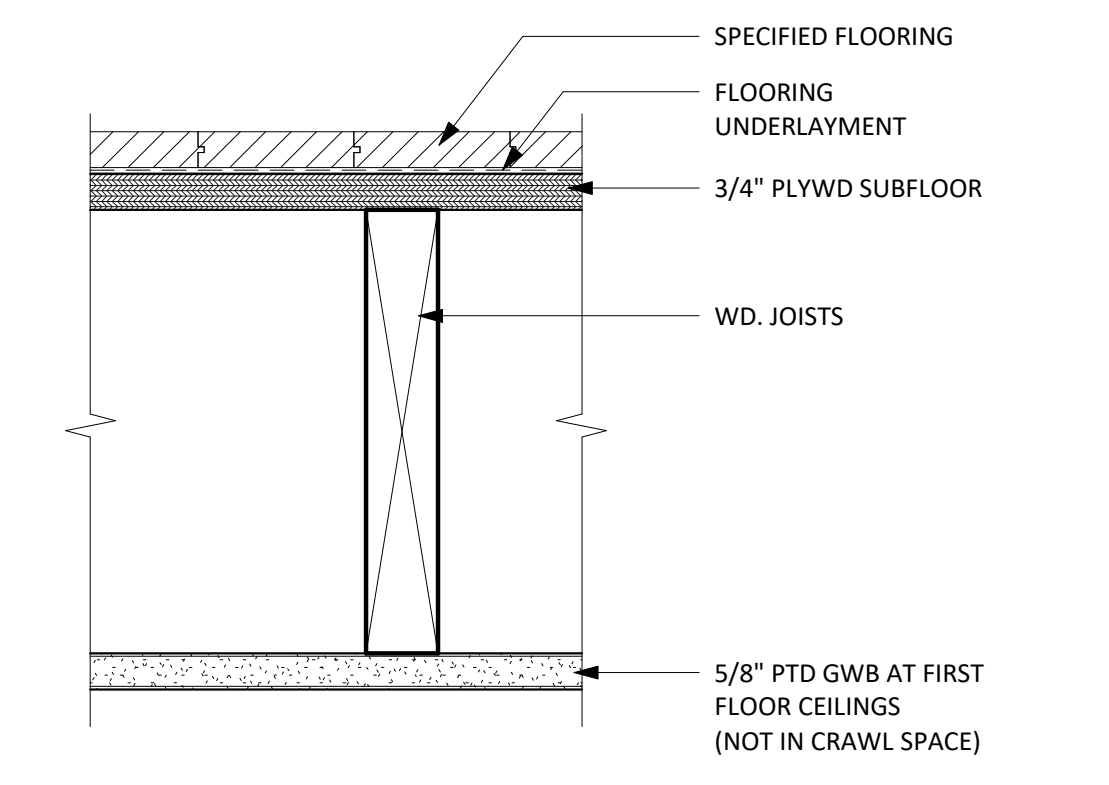
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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM
626 GSF

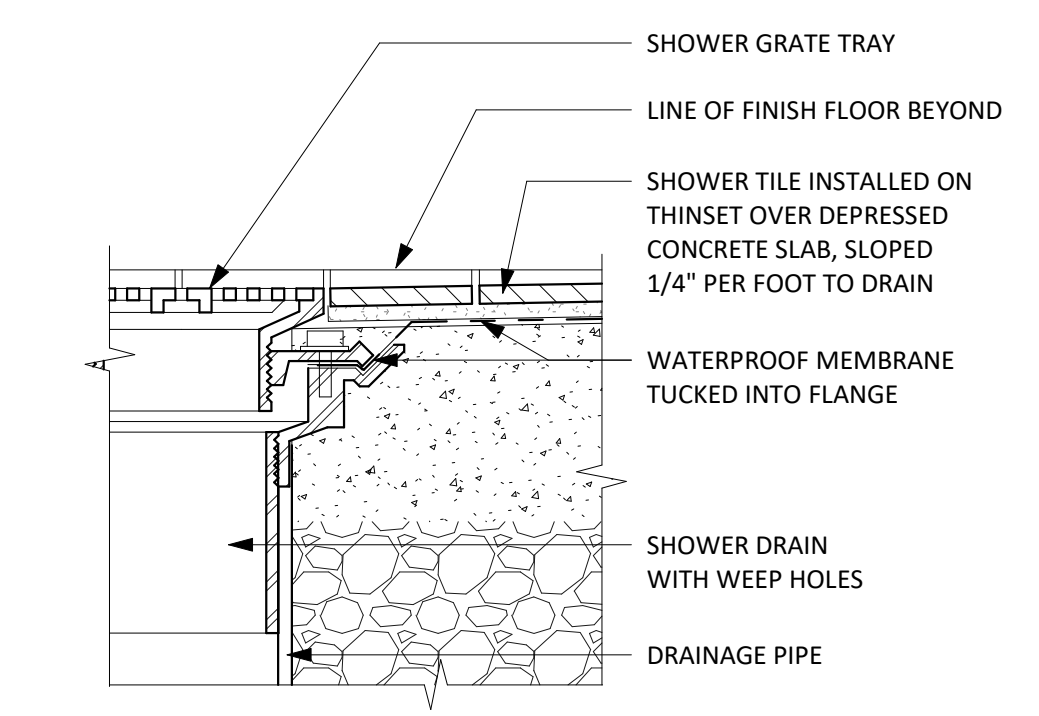
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**INTERIOR DETAILS &
WALL PARTITIONS**

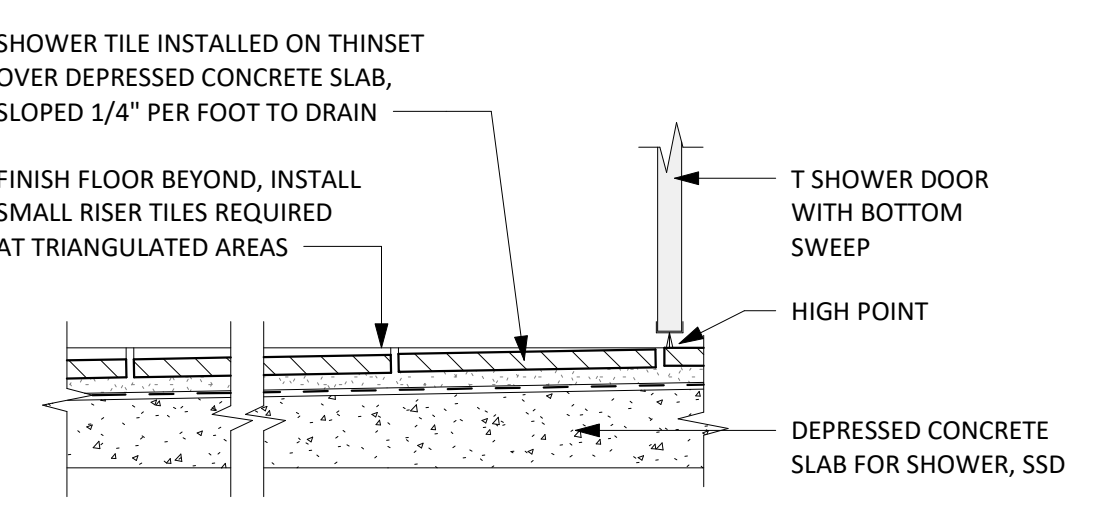
A5.3
SCALE: AS NOTED



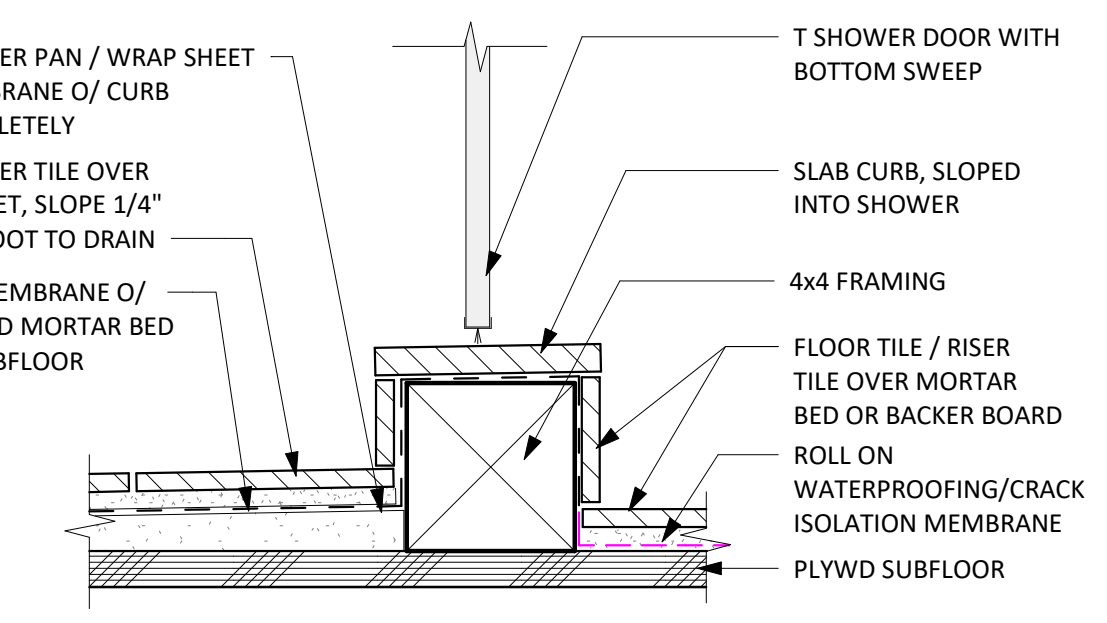
5 TYP. STORAGE LOFT FLOOR ASSEMBLY
3" = 1'-0"



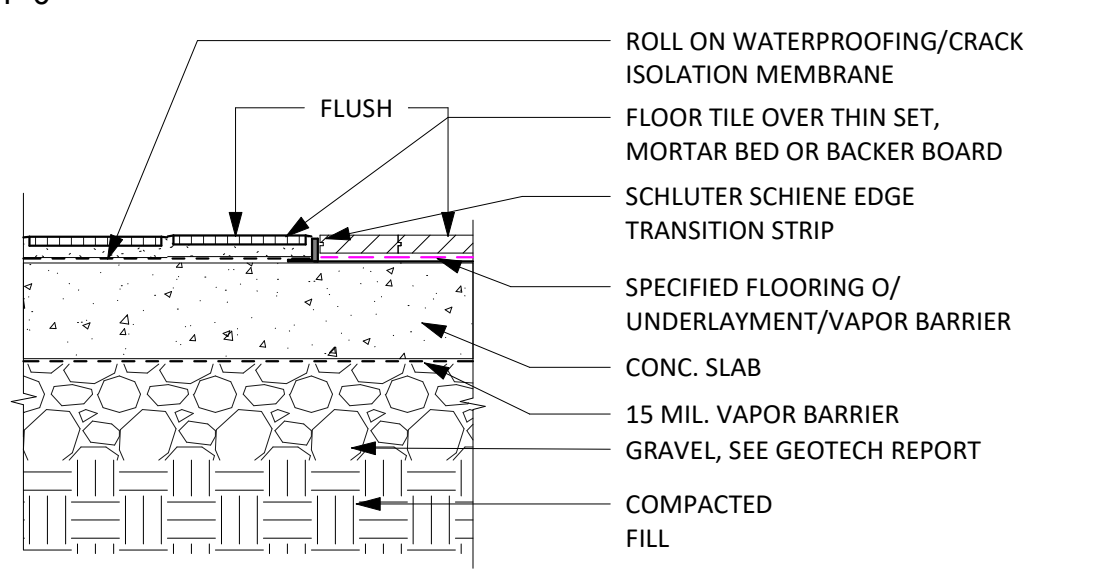
42 SHOWER DRAIN AT CONCRETE
3" = 1'-0"



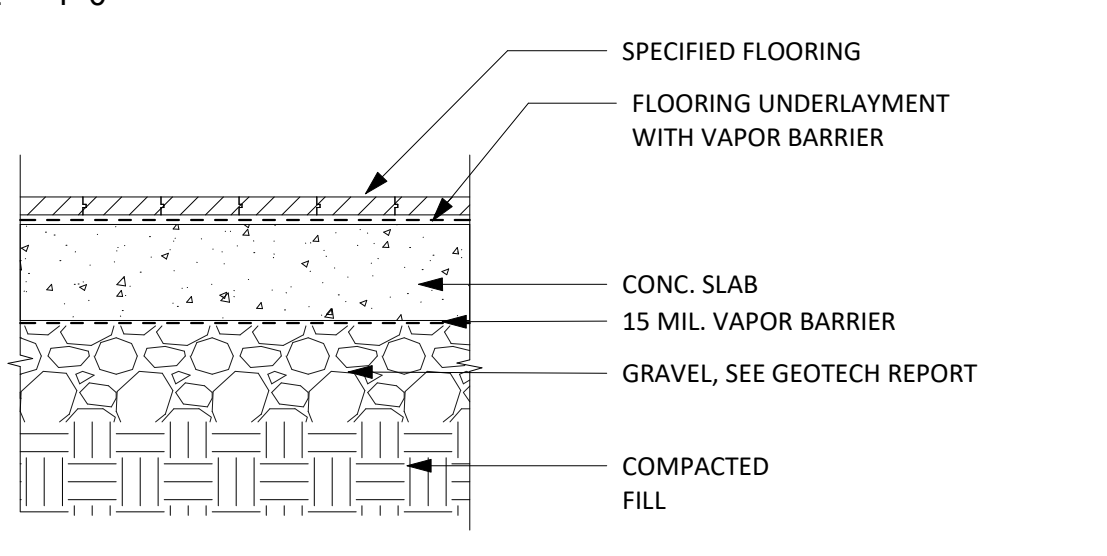
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)
3" = 1'-0"



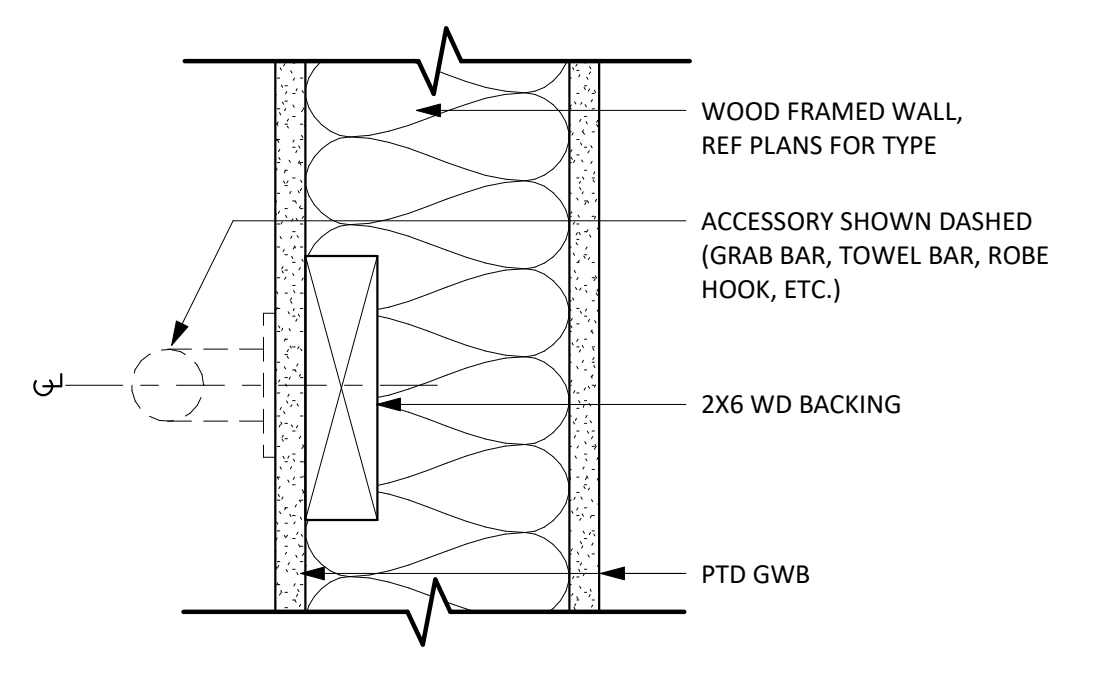
3 TYP. SHOWER CURB
3" = 1'-0"



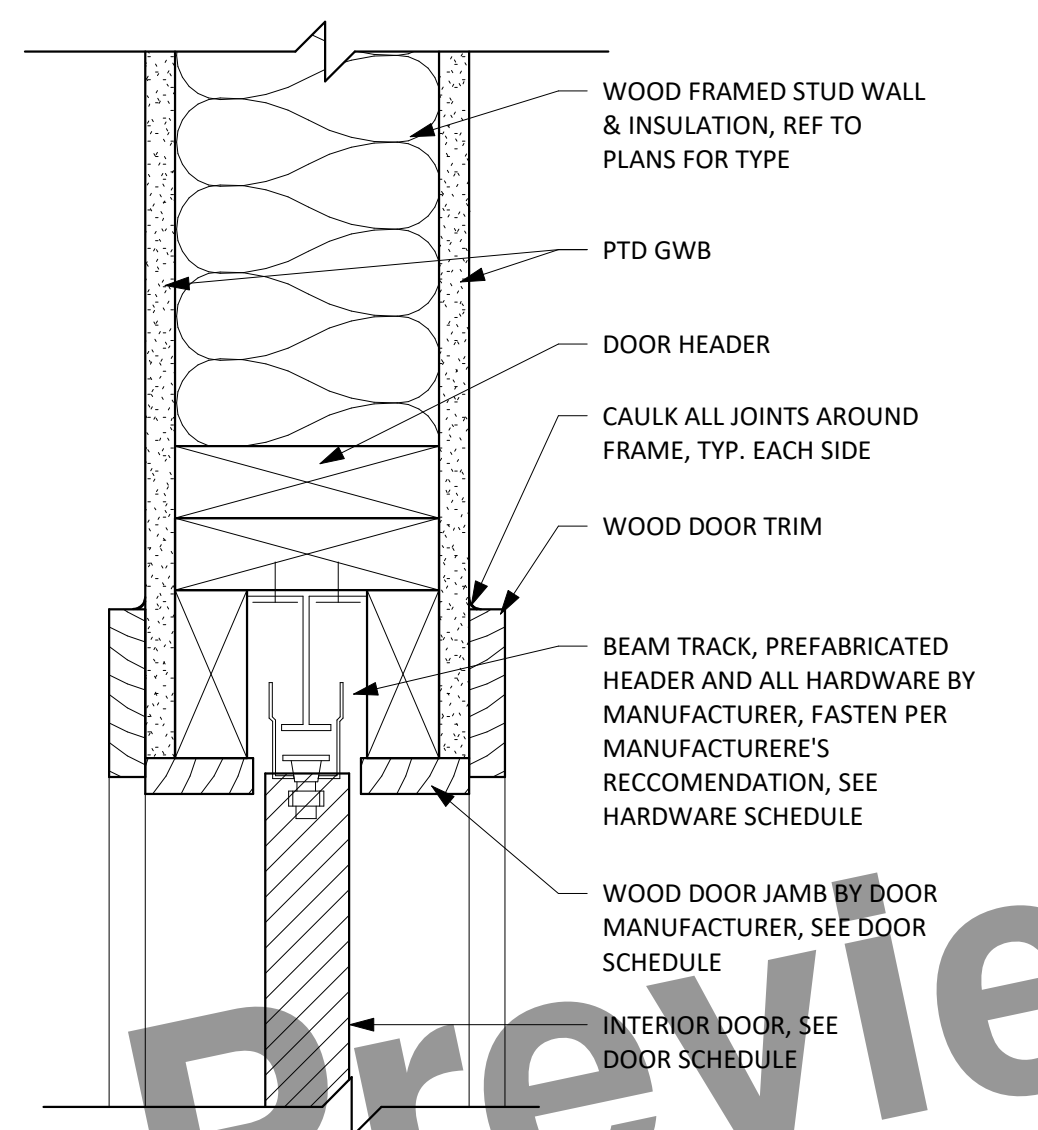
2 BASIC TILE TO WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



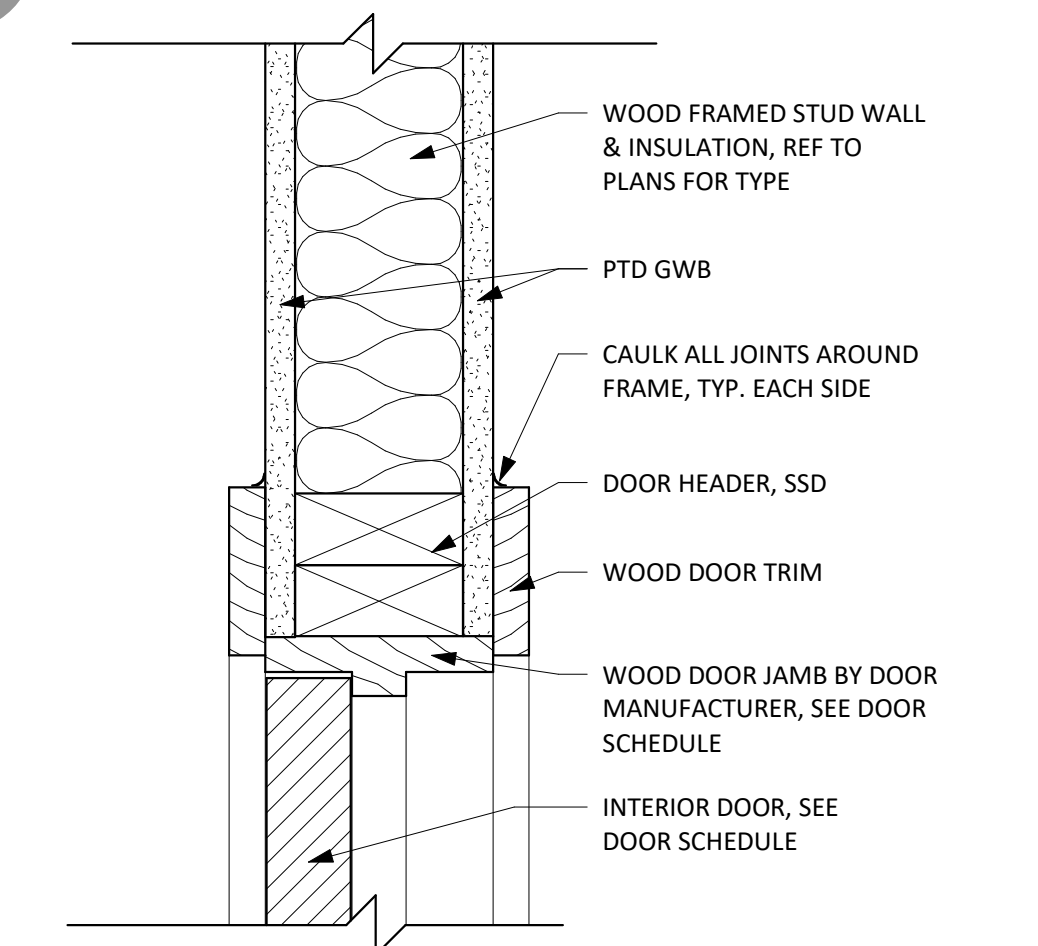
1 BASIC WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



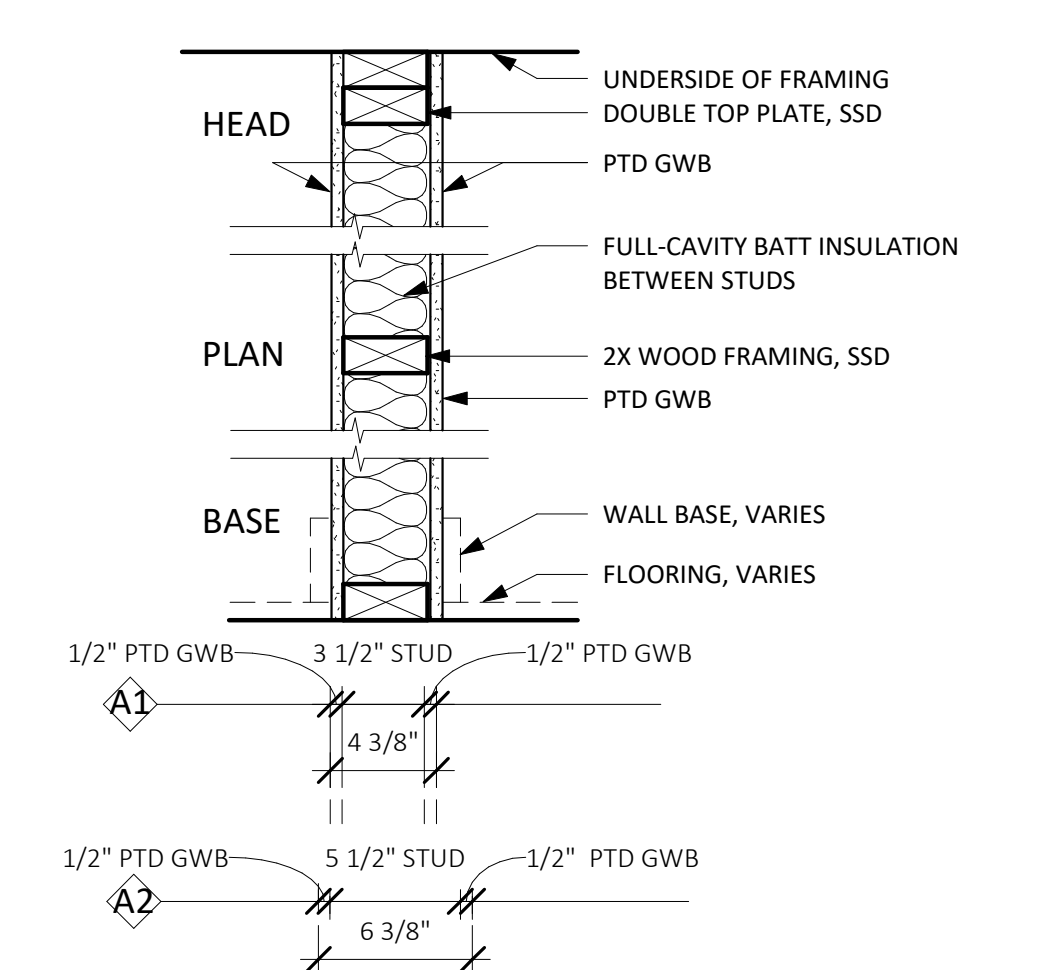
9 BLOCKING DETAIL
3" = 1'-0"



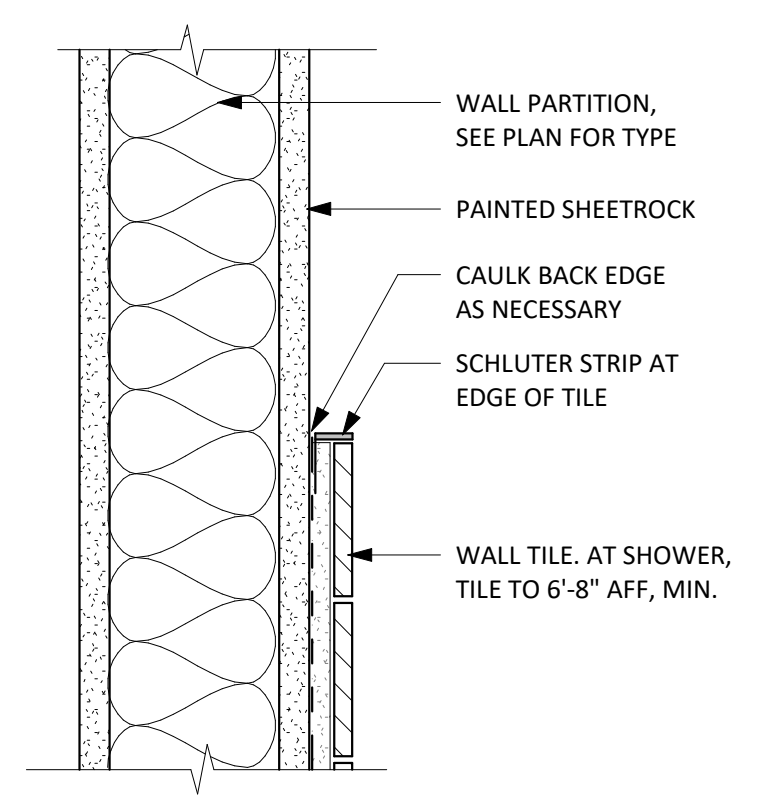
8 INTERIOR WOOD POCKET DOOR HEAD
3" = 1'-0"



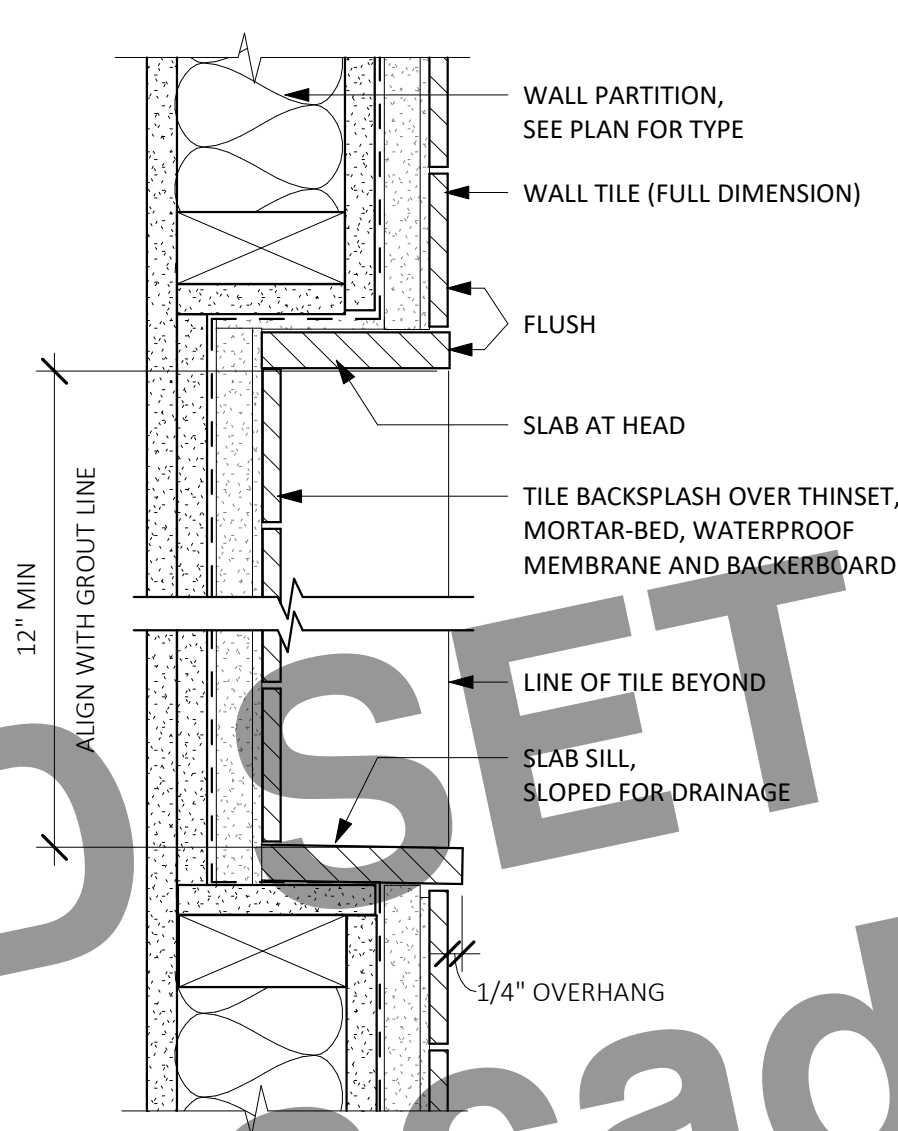
7 INTERIOR WOOD DOOR HEAD/JAMB
3" = 1'-0"



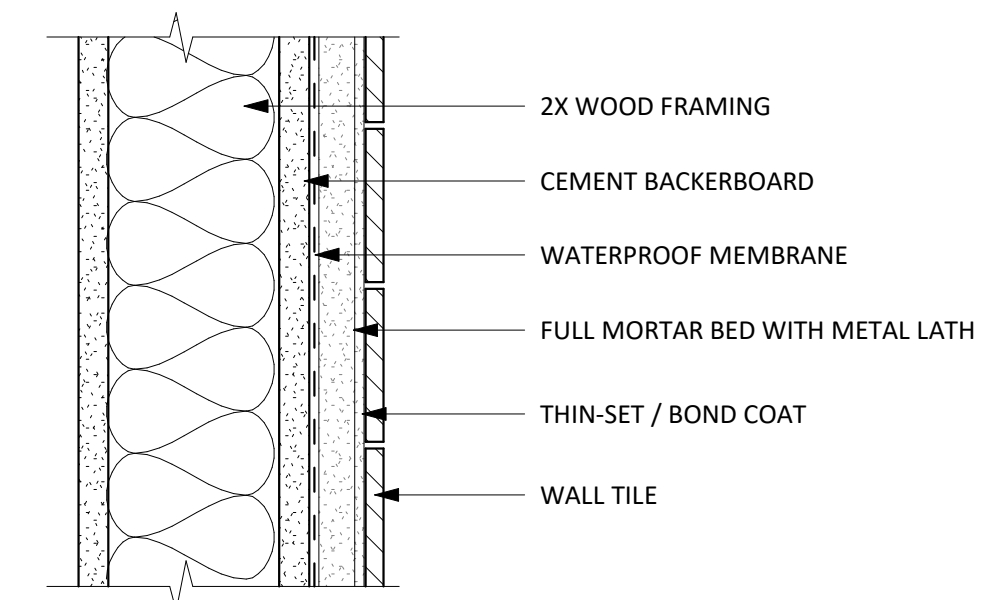
6 TYP. INTERIOR WALL PARTITION
1 1/2" = 1'-0"



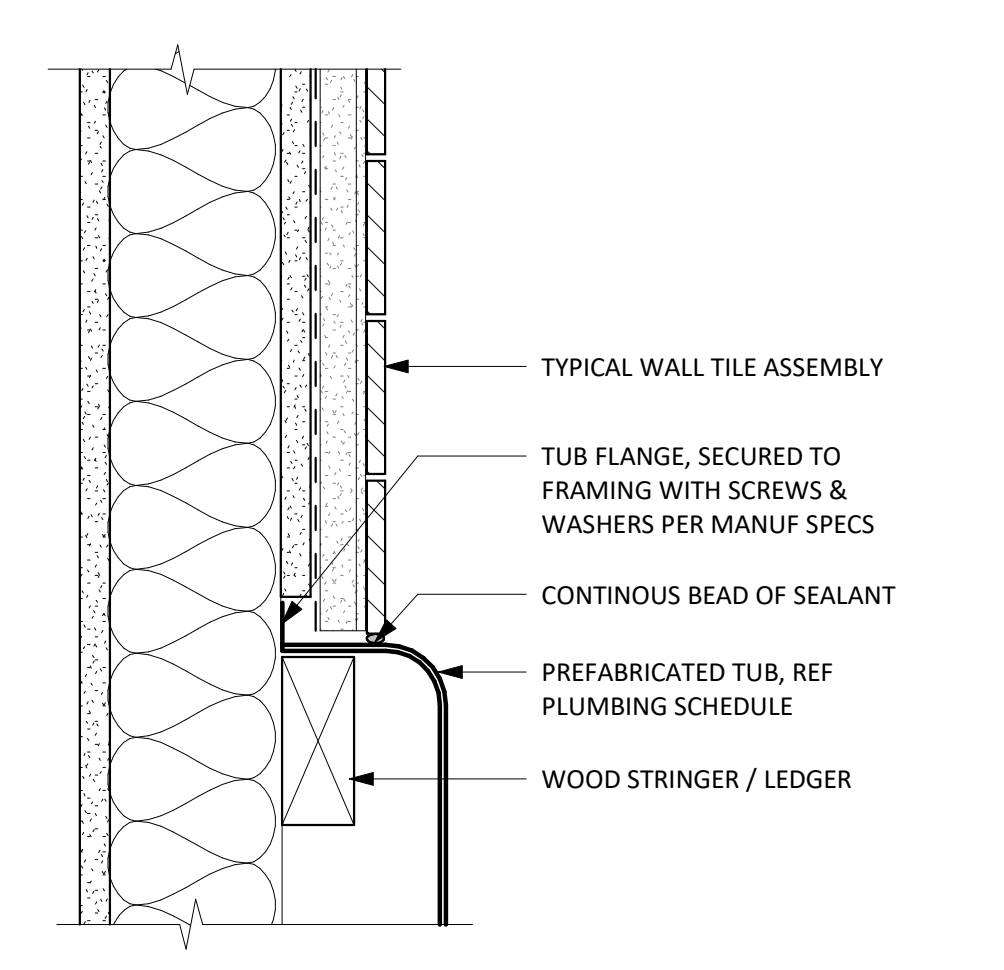
13 TILE / GYPSUM TRANSITION
3" = 1'-0"



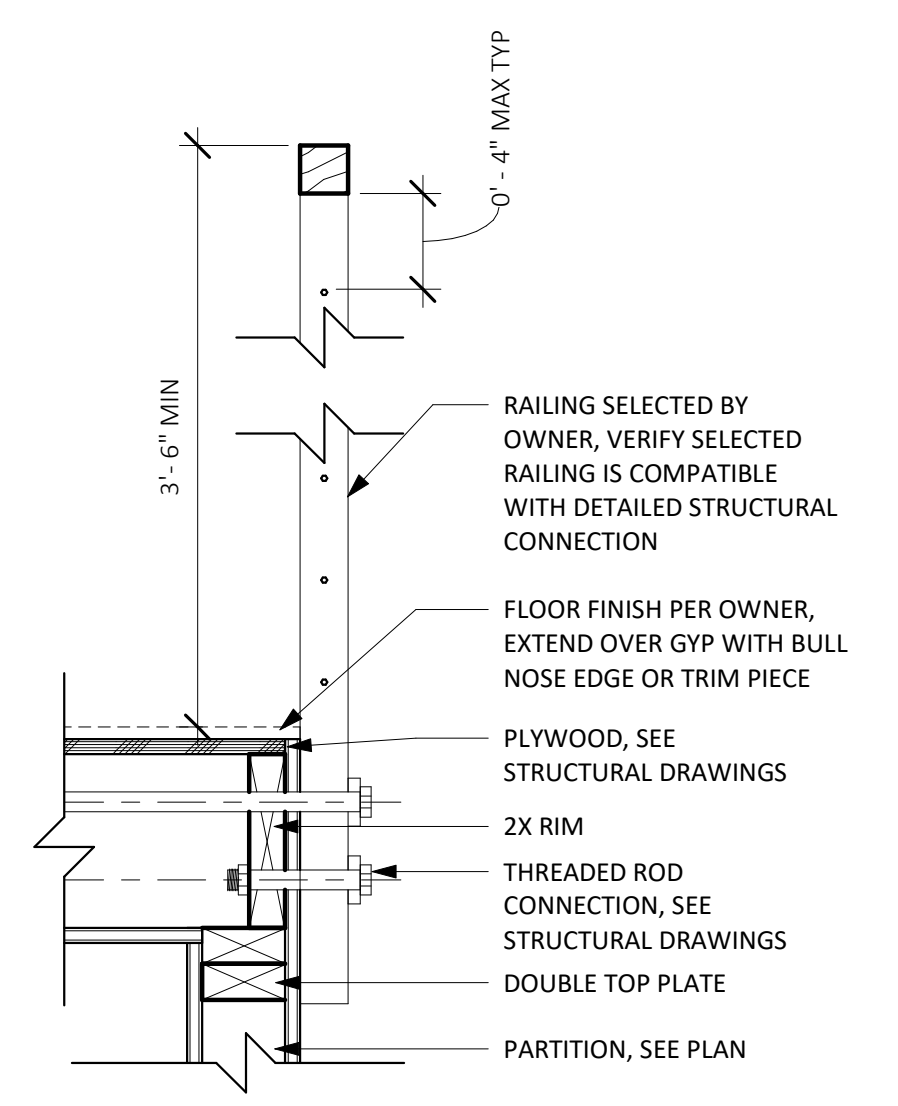
12 TILE NICHE
3" = 1'-0"



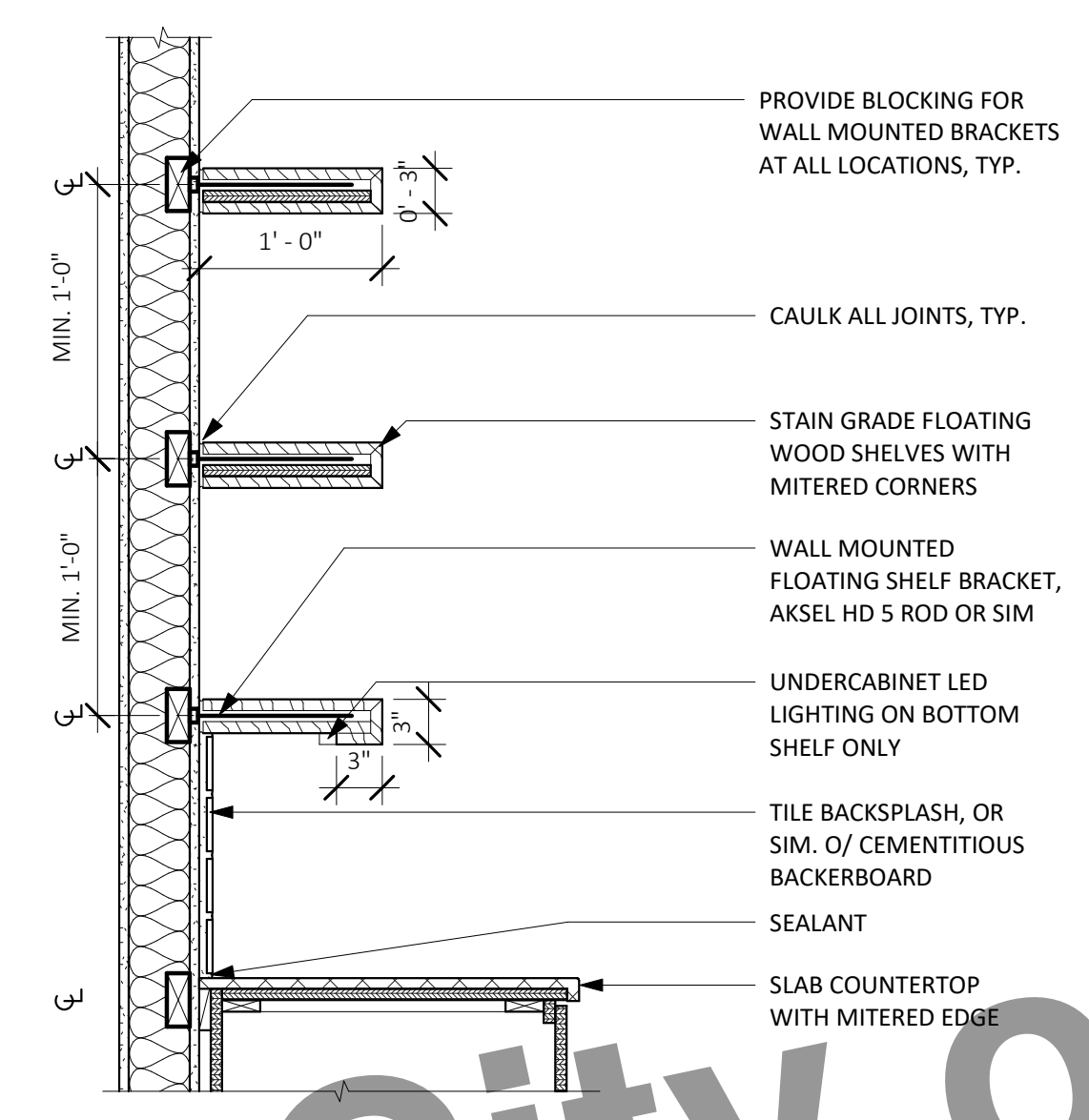
11 TYP. WALL TILE ASSEMBLY
3" = 1'-0"



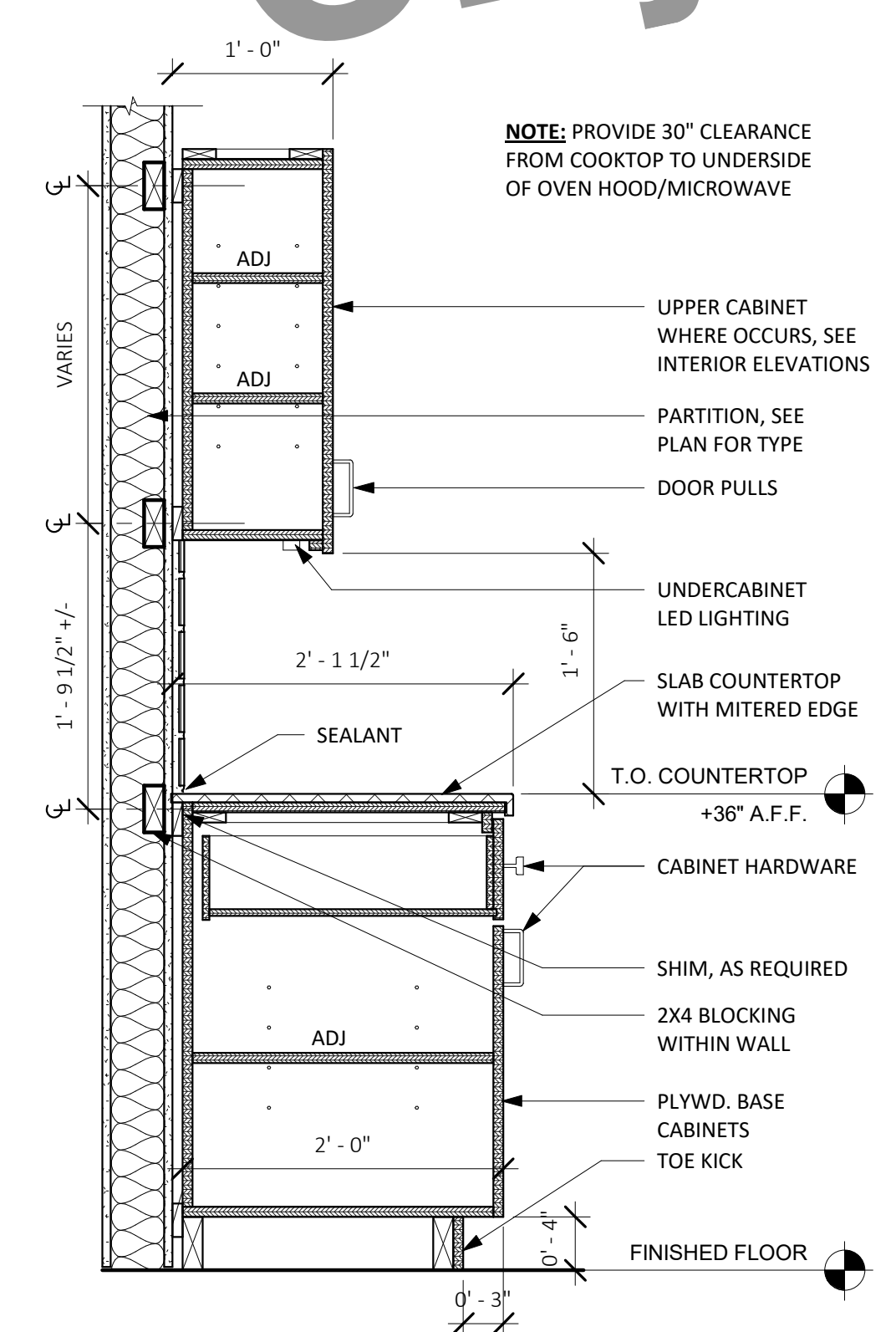
10 TILE AT TUB DECK
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET
1" = 1'-0"

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WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - ONE BEDROOM - COASTAL RANCH

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
3R	CASEMENT	2	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5	SINGLE HUNG	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1'-6"	2'-3"	7'-0"	4'-9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - ONE BEDROOM - BACKYARD CRAFTSMAN

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3'-0"	2'-0"	7'-0"	5'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3C	CASEMENT	2	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - ONE BEDROOM - CALIFORNIA MODERN

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	6	3'-0"	2'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

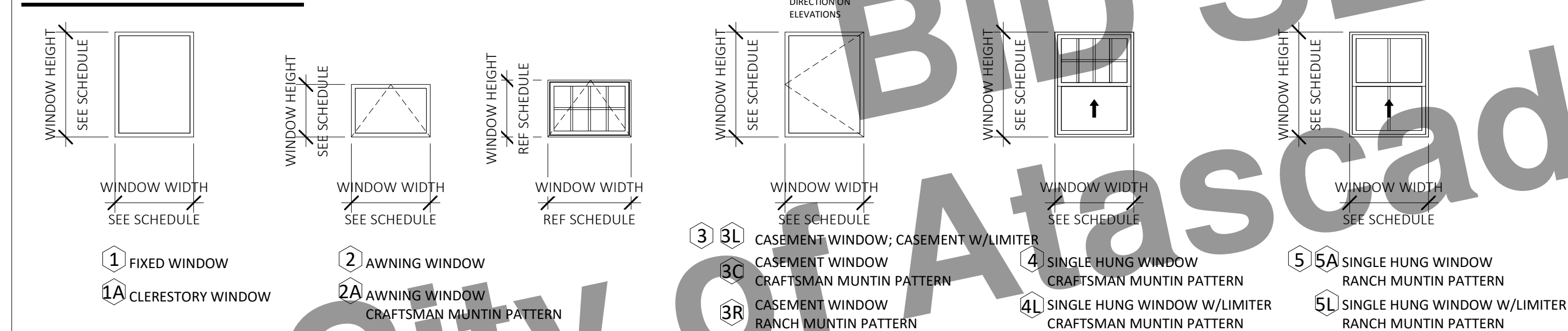
WINDOW SCHEDULE - ONE BEDROOM - BEACH BUNGALOW

WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	3	3'-0"	2'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW MATERIAL LEGEND

FRAME MATERIAL				FRAME FINISH	
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

WINDOW TYPES



GLAZING TYPES

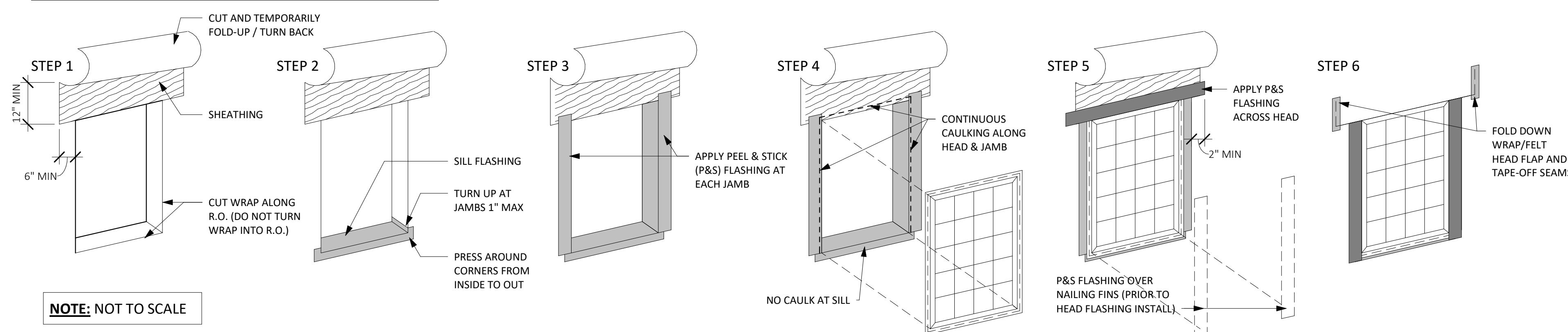
REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

WINDOW FLASHING SEQUENCE



NOTE: NOT TO SCALE

APPLIANCE SCHEDULE - ONE BEDROOM

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

LIGHTING FIXTURE SCHEDULE - ONE BEDROOM

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			16
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			2

PLUMBING FIXTURE SCHEDULE - ONE BEDROOM

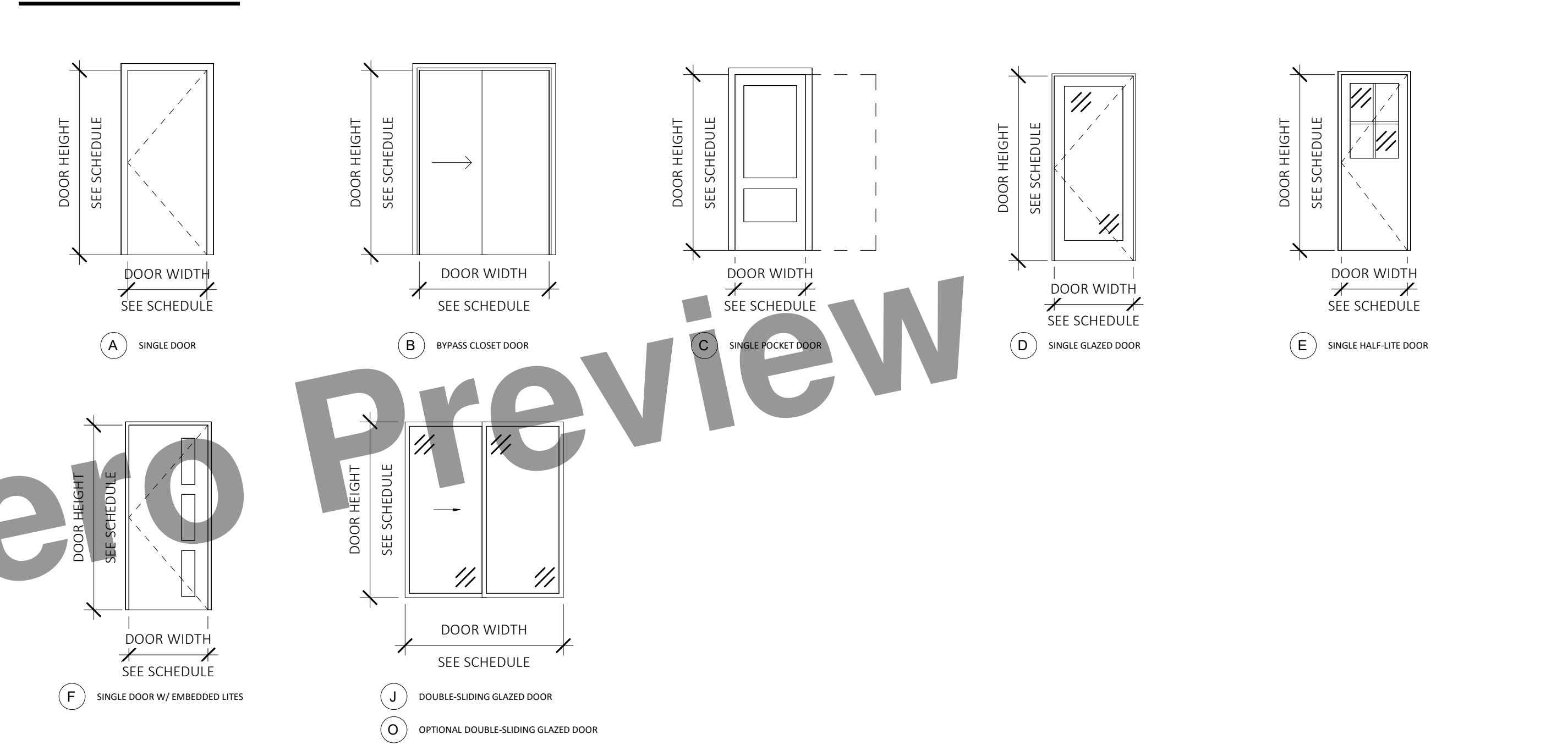
KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	VANITY WITH SINK/FAUCET			
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

DOOR SCHEDULE

DOOR SCHEDULE - ONE BEDROOM

MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS				DETAILS			HARDWARE GROUP	NOTES	
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB			SILL
A01	M		BEDROOM	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	7/AS.3	PER MFR	PER MFR	4	
D02	A-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2'-6"	6'-8"	0'-2"			GL-2 TEMP			3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"			GL-2 TEMP			3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
002	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
A02	A	EXTERIOR WATER HEATER CLOSET DOOR		2'-6"	6'-8"	0'-2"			N/A						PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR VENTILATION
B01	B	INTERIOR BYPASS CLOSET DOOR	BEDROOM	3'-6"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
C01	C	INTERIOR POCKET DOOR	BATH	2'-8"	6'-8"	0'-1 1/2"	SC	PTD	N/A	WD	PTD	8/AS.3	PER MFR	PER MFR	3	

DOOR TYPES



DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



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CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM
626 GSF

PRINT DATE: XX.XX.XXXX

SCHEDULES- ONE BEDROOM

A6.0

SCALE: AS NOTED

PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES, COLLECTORS AND TIES (EN)	FIELD NAILING (FN)	TOP PLATE CONNECTION	MINIMUM FND PLATE THICKNESS	BOTTOM PLATE CONNECTION	ANCHOR BOLTS		ALLOWABLE SHEAR (k/ft)
							SIZE	SPACING (O.C.)	
1	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
3	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING, OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
- ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7" INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS. UNO, THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING
- OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.
- PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES

ABBREVIATIONS		
AB	Anchor Bolt	(E) Existing
ABV	Above	EA Each
ACI	American Concrete Institute	EN Edge Nailing
ALT	Alternate	ENGR Engineer
APA	American Plywood Association	EXT Exterior
ARCH	Architect	FLR Floor
BD	Board	FND Foundation
BLK(G)	Block(ing)	FOC Face of Concrete
BLW	Below	FRMG Framing
BM	Beam	FT Foot or Feet
BN	Boundary Nailing	FTG Footing
BP	Base Plate	GALV Galvanized
BRG	Bearing	GL Glued Laminated
BTWN	Between	GYP Gypsum
CBC	CA Building Code	HD Holddown
CL	Center Line	HDR Header
CLG	Ceiling	HORIZ Horizontal
CLR	Clear, Clearance	HT Height
COL	Column	INT Interior
CONC	Concrete	JST(S) Joist(s)
CONN	Connection	MB Machine Bolt
CONT	Continuous	MI Malleable Iron
CNTR	Center	MIN Minimum
CRC	CA Residential Code	(N) New
DBL	Double	OC On Center
DF	Douglas Fir	OH Opposite Hand
DIA	Diameter	OPNG Opening
DTL	Detail	PAF Powder Accreted
DWG	Drawing	PL Plate or Property Line
		PLY Plywood
		PSP Pounds per Square Foot
		PTDF Preservative Treated
		RDWD Redwood
		REINF Reinforcement
		REQD Required
		RF Roof
		RM Room
		RTW Retaining Wall
		SAD See Architectural Drawings
		SB Solid Blocking
		SF Square Foot
		SIM Similar
		SPEC Specifications
		SQ Square
		SS Stainless Steel
		STD Standard
		STL Steel
		SKYLT Skylight
		T&B Top and Bottom
		T&G Tongue and Groove
		TOC Top of Concrete
		TOW Top of Wall
		TR Threaded Rod
		TYP Typical
		UNO Unless Noted Otherwise
		VIF Verify In Field
		Ø Diameter

STRUCTURAL NOTES AND SPECIFICATIONS

A. DESIGN CRITERIA

- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- FLOOR LIVE LOAD = 40 PSF
- ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA: V₁₀ = 91 MPH (V₃₀ = 71 MPH), EXPOSURE D
- SEISMIC DESIGN DATA: SITE CLASS = D (DEFAULT) S_s = 1.096, S_i = 0.403 SEISMIC DESIGN CATEGORY = D SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS, THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED, THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

- FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

D. CONCRETE

- POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER.
- CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

- ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

- DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

SILLS.....	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS.....	UP TO 4x - DF NO. 2
8x - DF NO. 1	
STUDS AND BLOCKING.....	DF STANDARD, NO. 2 OR BETTER
POSTS AND DOUBLE TOP PLATES.....	DF NO. 1
GLULAM BEAMS.....	DF 24F-V4
- FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT

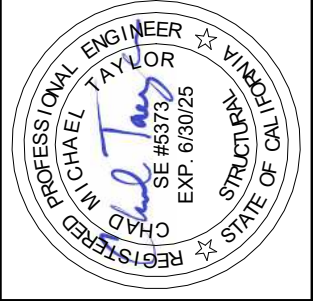
STRUCTURAL ENGINEERING

CM Taylor

CM Taylor Structural Engineering, Inc. 4246 Capitola Rd, Suite 204, Capitola, CA 95010
Phone: 831-854-2484
email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU

I, THE ENGINEER, HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THESE DRAWINGS WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. THE INFORMATION CONTAINED ON THESE DRAWINGS IS THE PROPERTY OF CM TAYLOR STRUCTURAL ENGINEERING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF CM TAYLOR STRUCTURAL ENGINEERING, INC. IS STRICTLY PROHIBITED. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. THE INFORMATION CONTAINED ON THESE DRAWINGS IS THE PROPERTY OF CM TAYLOR STRUCTURAL ENGINEERING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF CM TAYLOR STRUCTURAL ENGINEERING, INC. IS STRICTLY PROHIBITED.



STRUCTURAL NOTES

DATE: 11-18-2022

JOB NO: 21091

SHEET

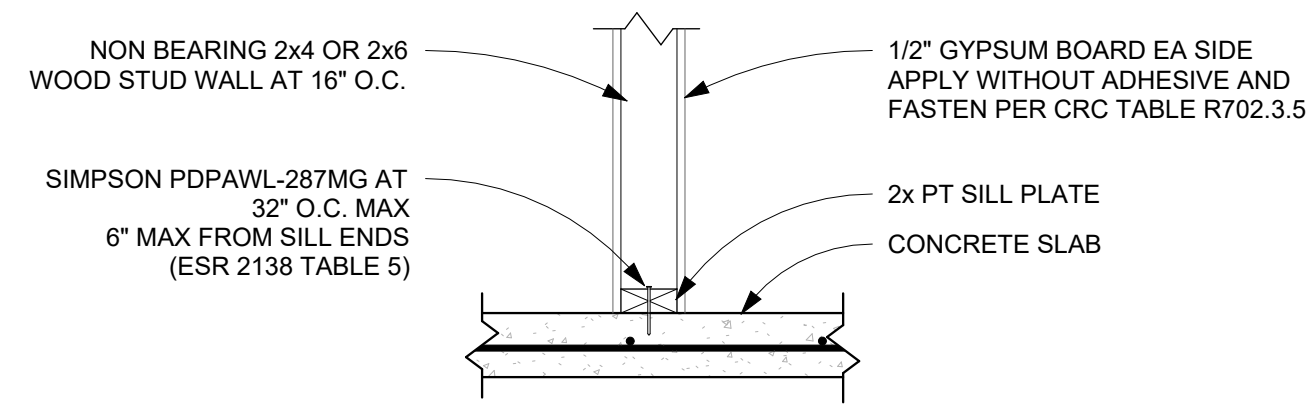
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REV	DATE	BY
1	7-14-23	CT

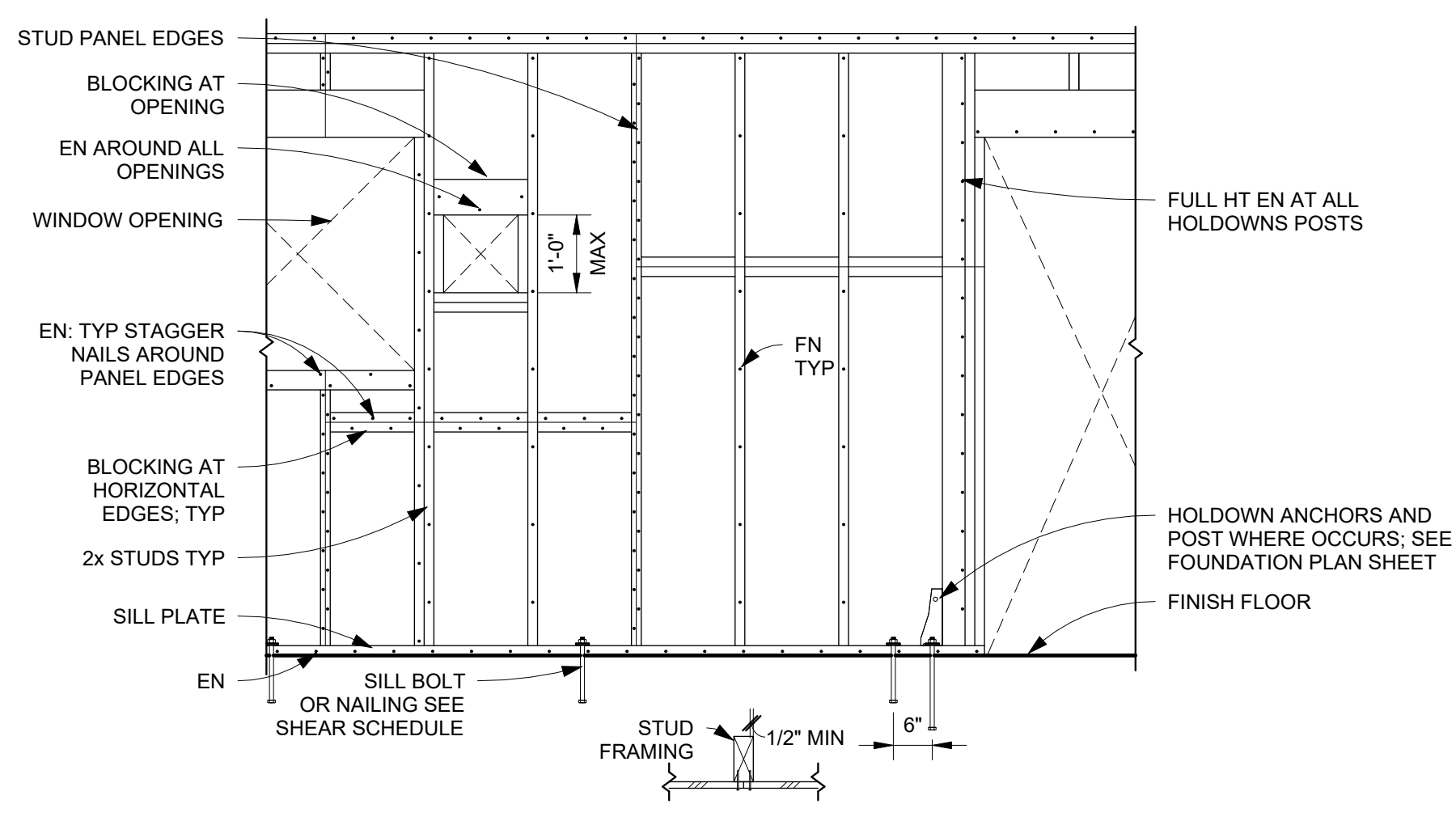
STRUCTURAL ENGINEERING
CM Taylor
 C.M. Taylor Structural Engineering, Inc. 7426 Capitola Rd., Suite 204, Capitola, CA 95010
 Phone: 831-854-2484
 email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU
 PROJECT NO. 21091
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

TYPICAL DETAILS
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

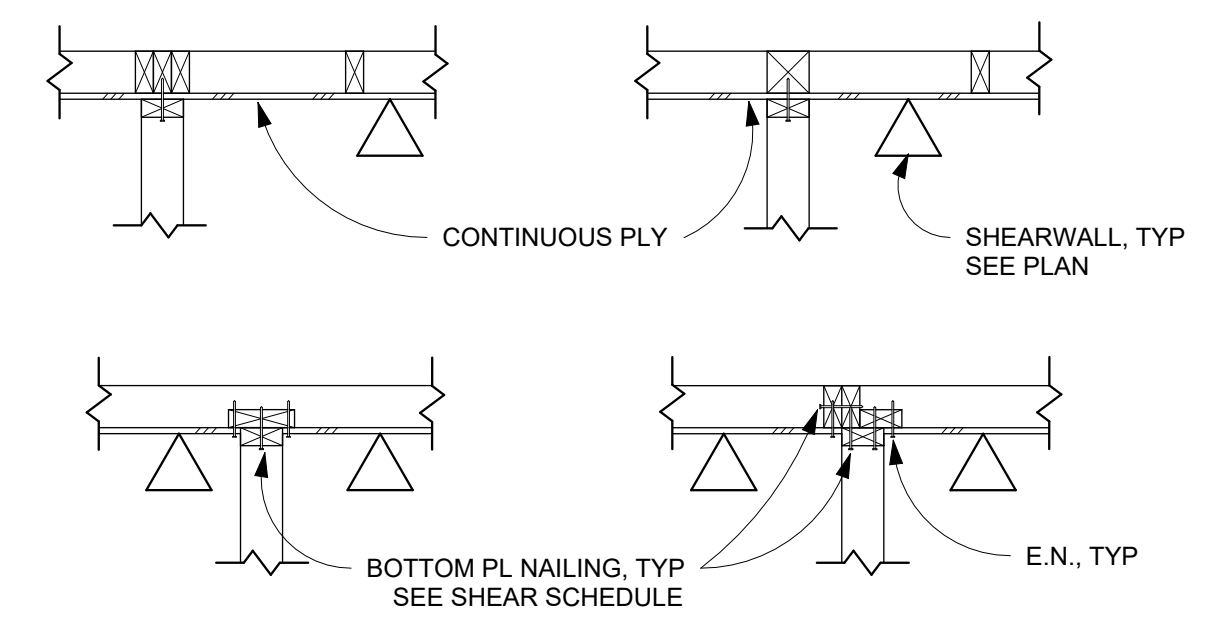


NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB
 1" = 1'-0"

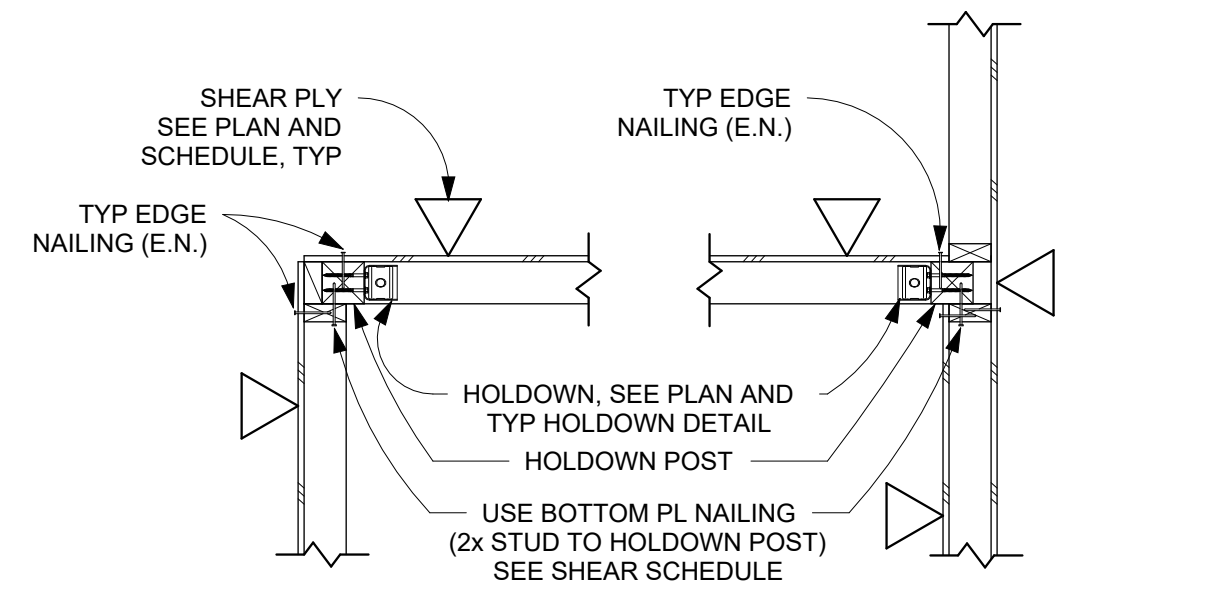


- NOTES:
- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
 - (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLDOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
 - WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
 - SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
 - SEE PLAN FOR SHEARWALL SCHEDULE.
 - THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY.

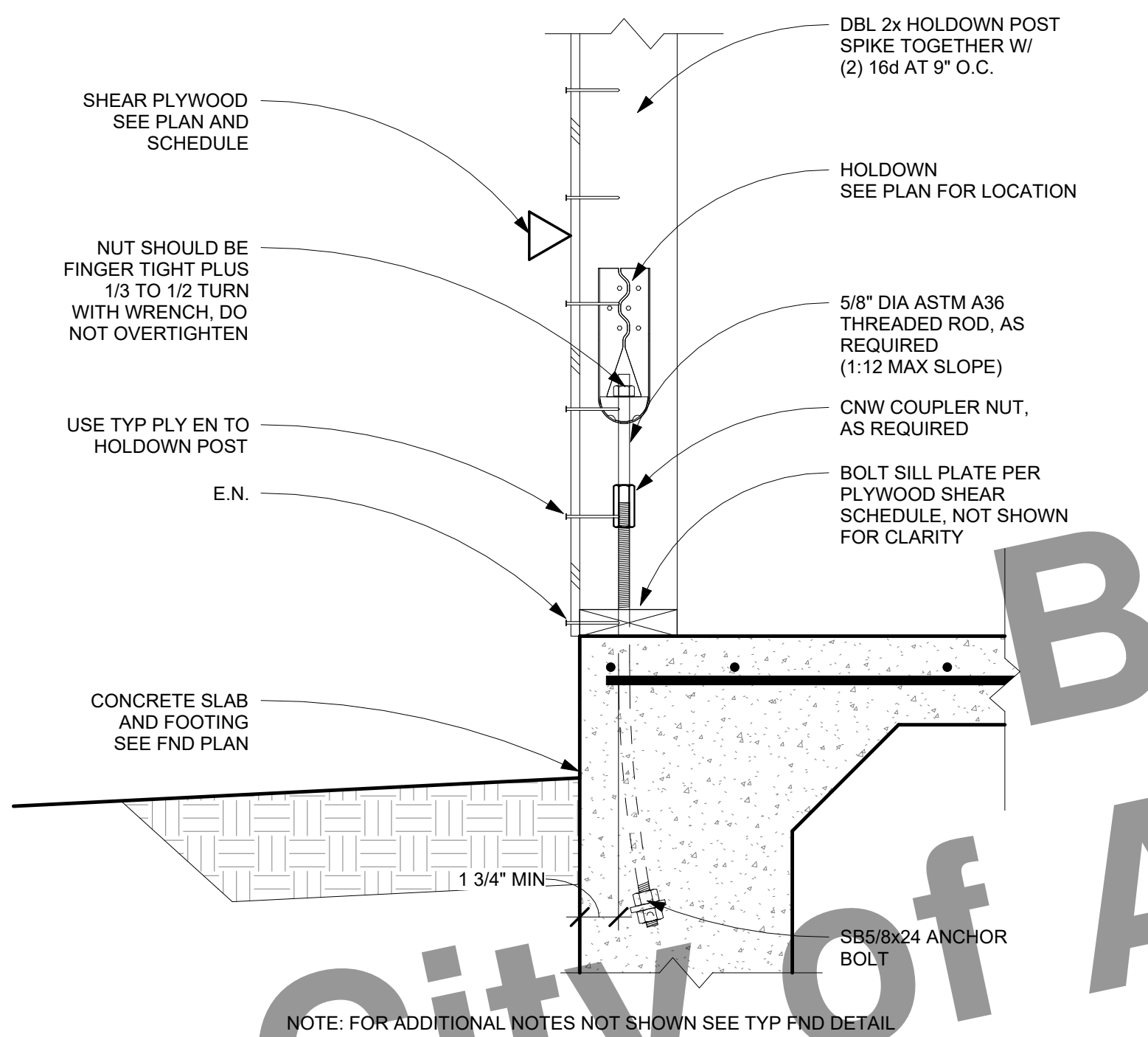
5 TYP SHEAR WALL FRAMING
 1/2" = 1'-0"



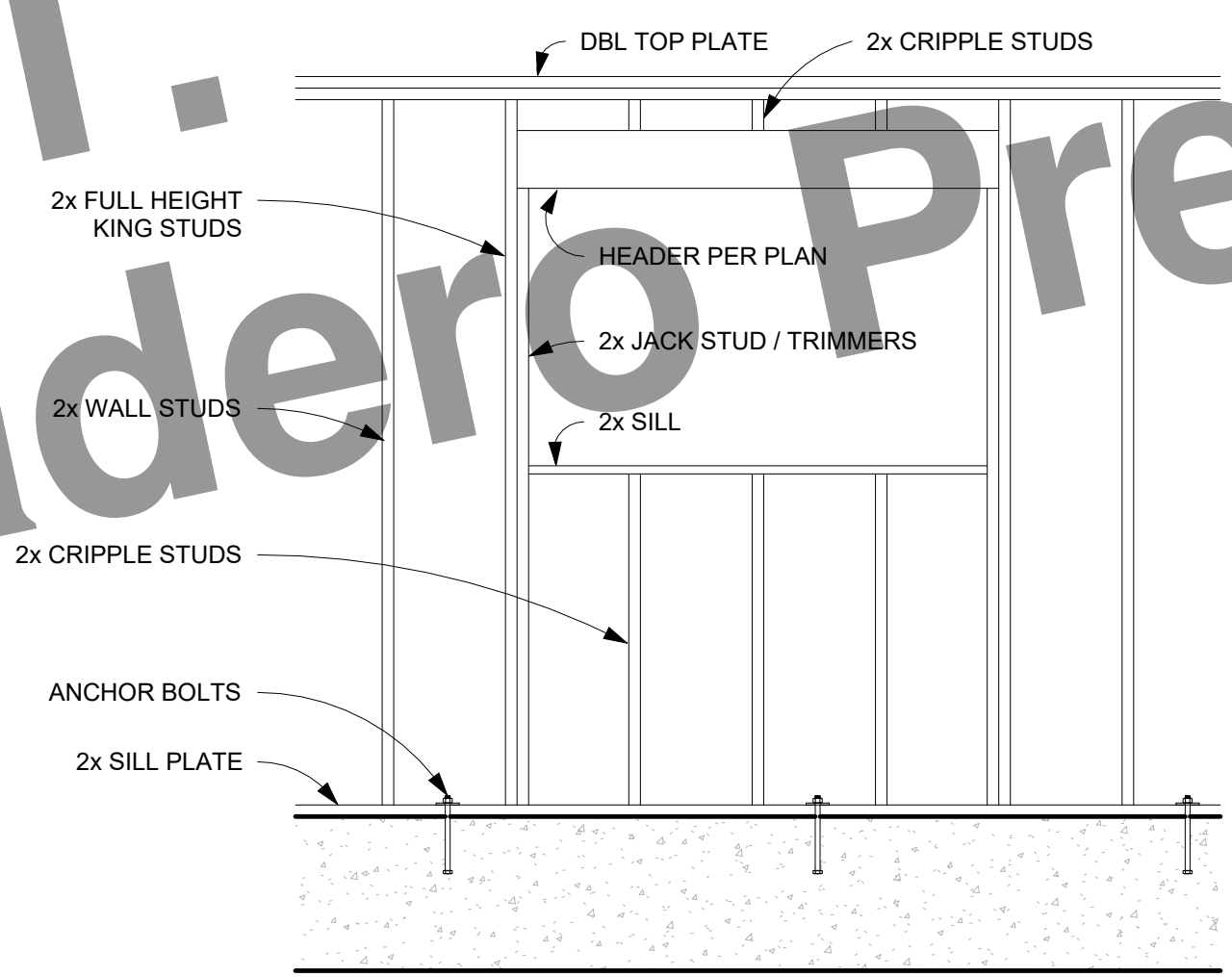
1 CONT SHEAR WALL PLAN DETAIL
 3/4" = 1'-0"



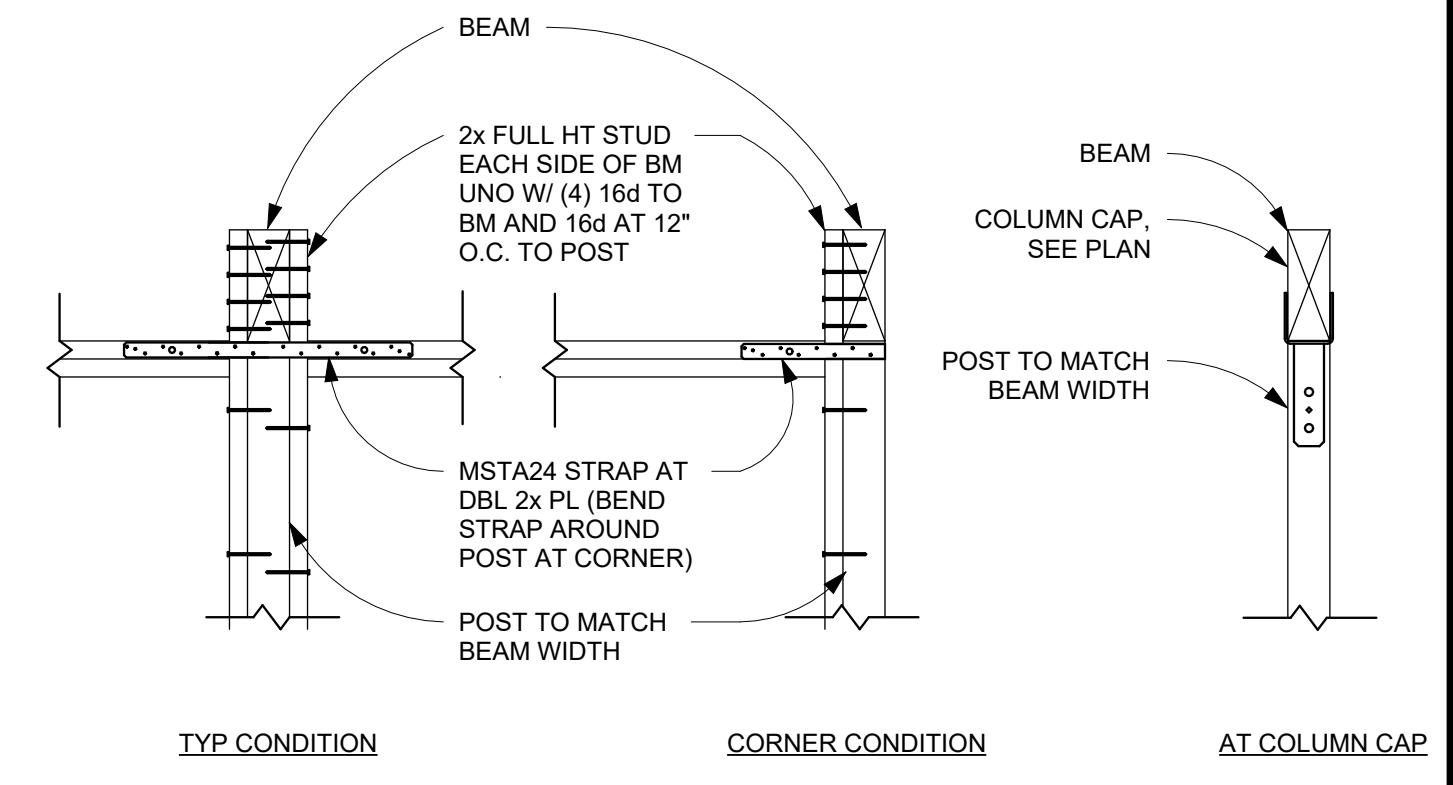
2 INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL
 3/4" = 1'-0"



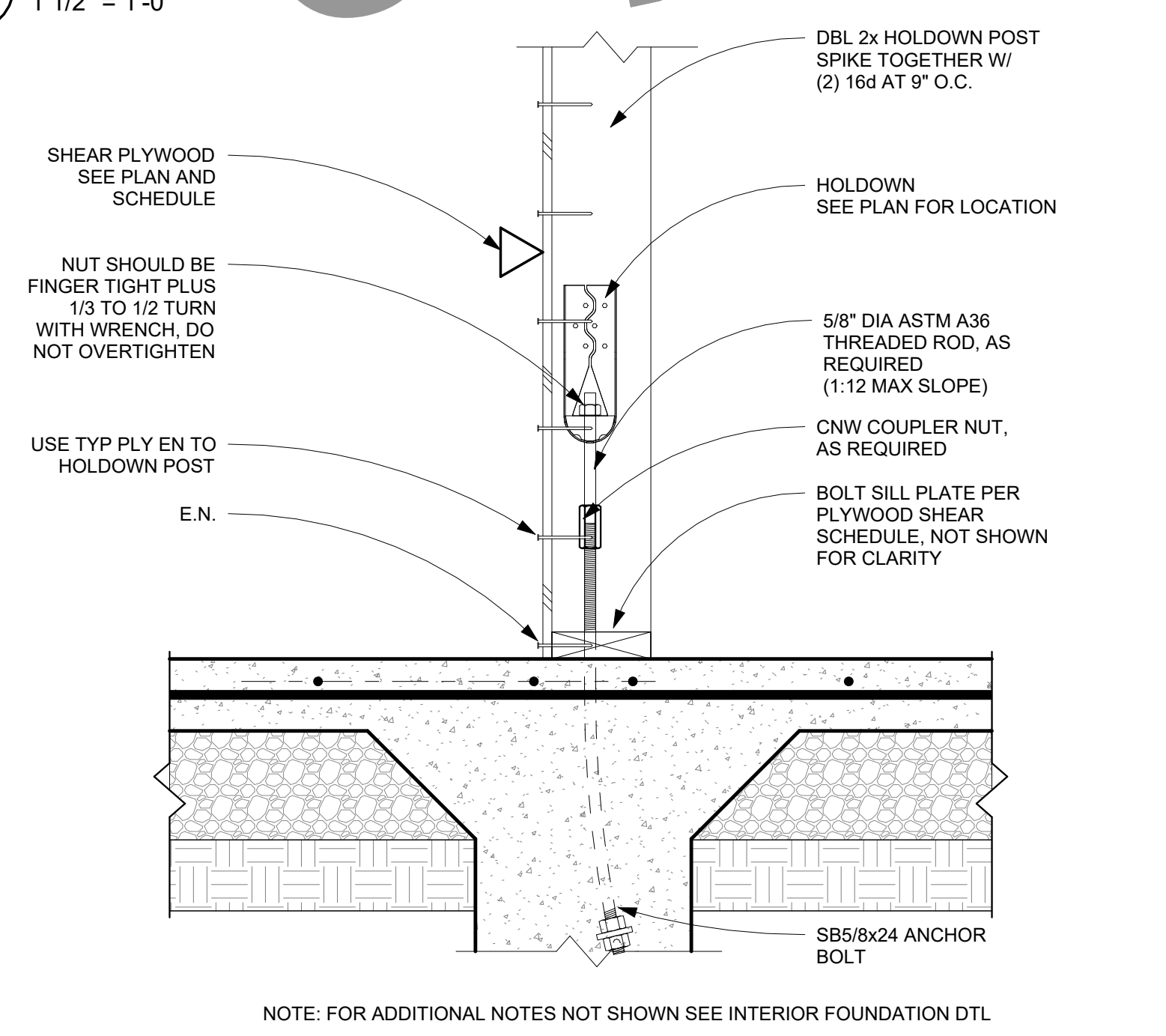
9 TYP HOLDOWN AT PERIM FTG
 1 1/2" = 1'-0"



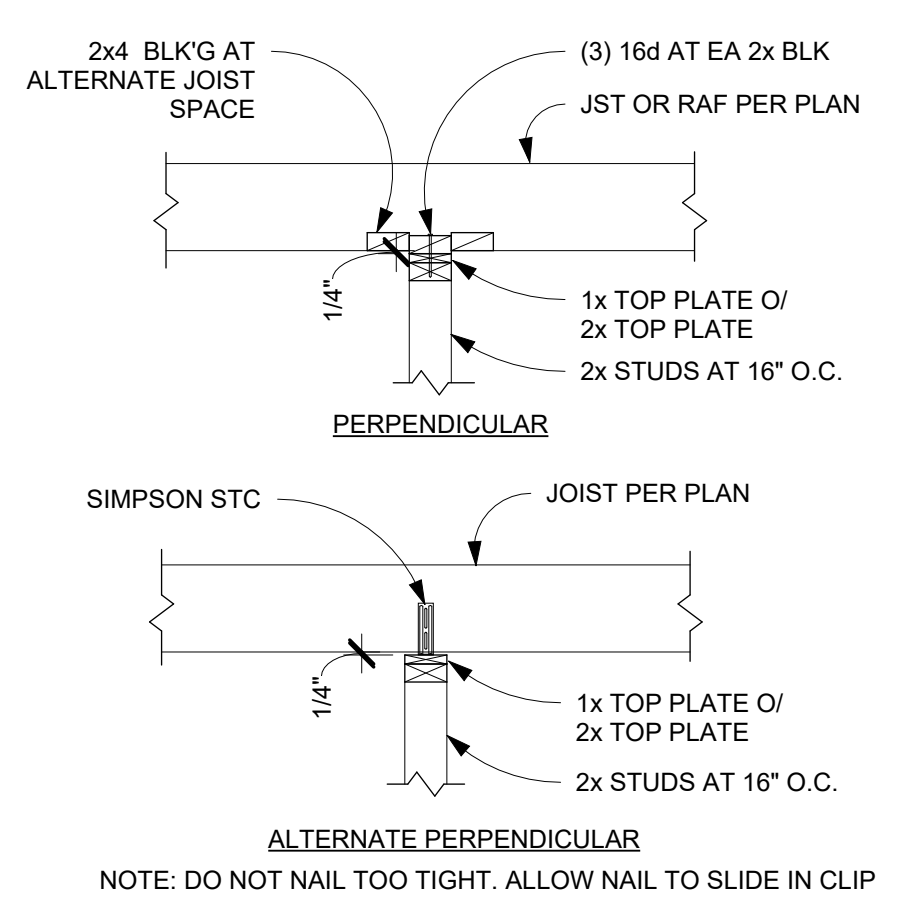
6 TYP WALL FRAMING
 1/2" = 1'-0"



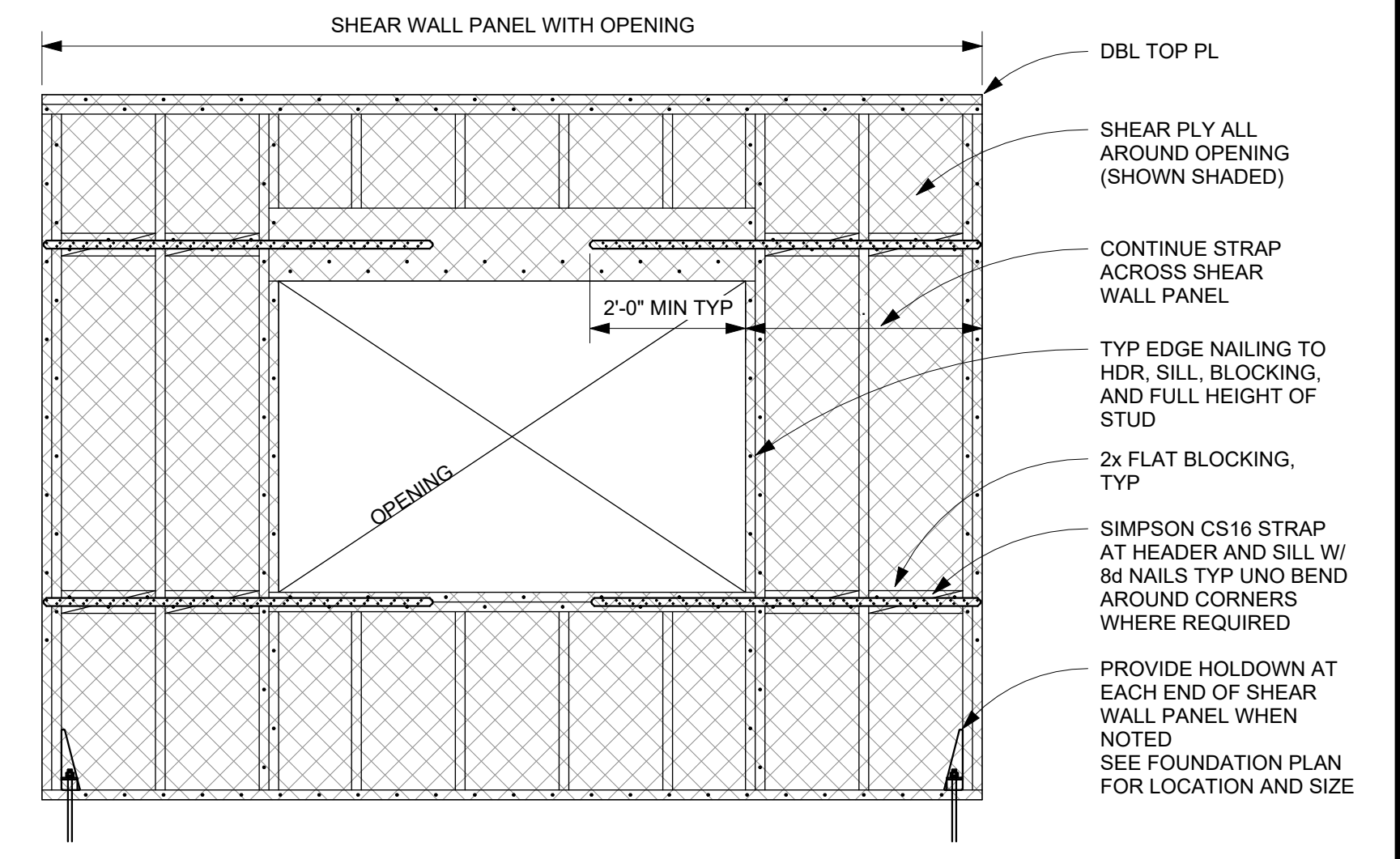
3 TYPICAL POST TO BEAM CONN
 3/4" = 1'-0"



10 TYP HOLDOWN AT INTERIOR FOOTING
 1 1/2" = 1'-0"

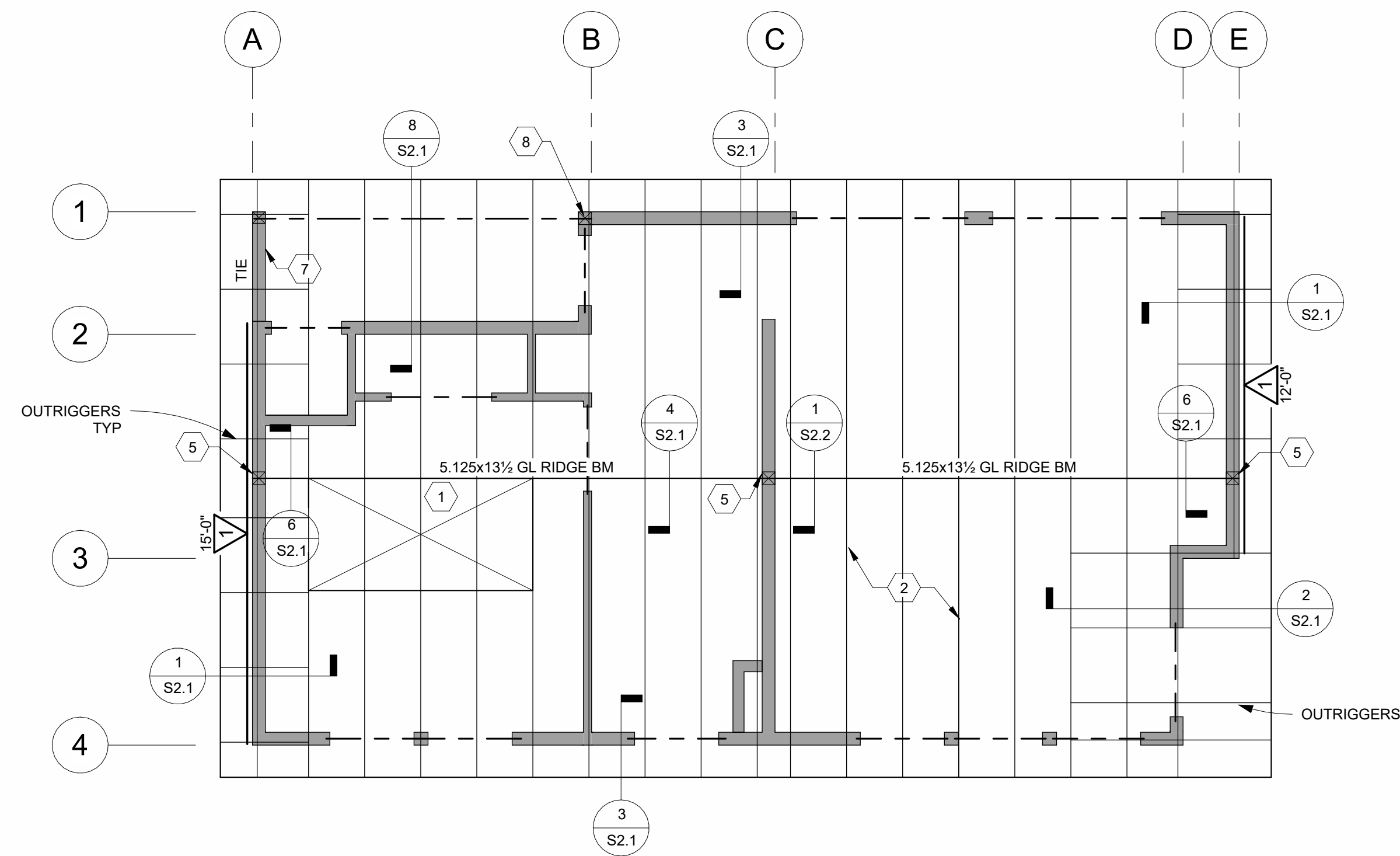


7 NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP
 3/4" = 1'-0"



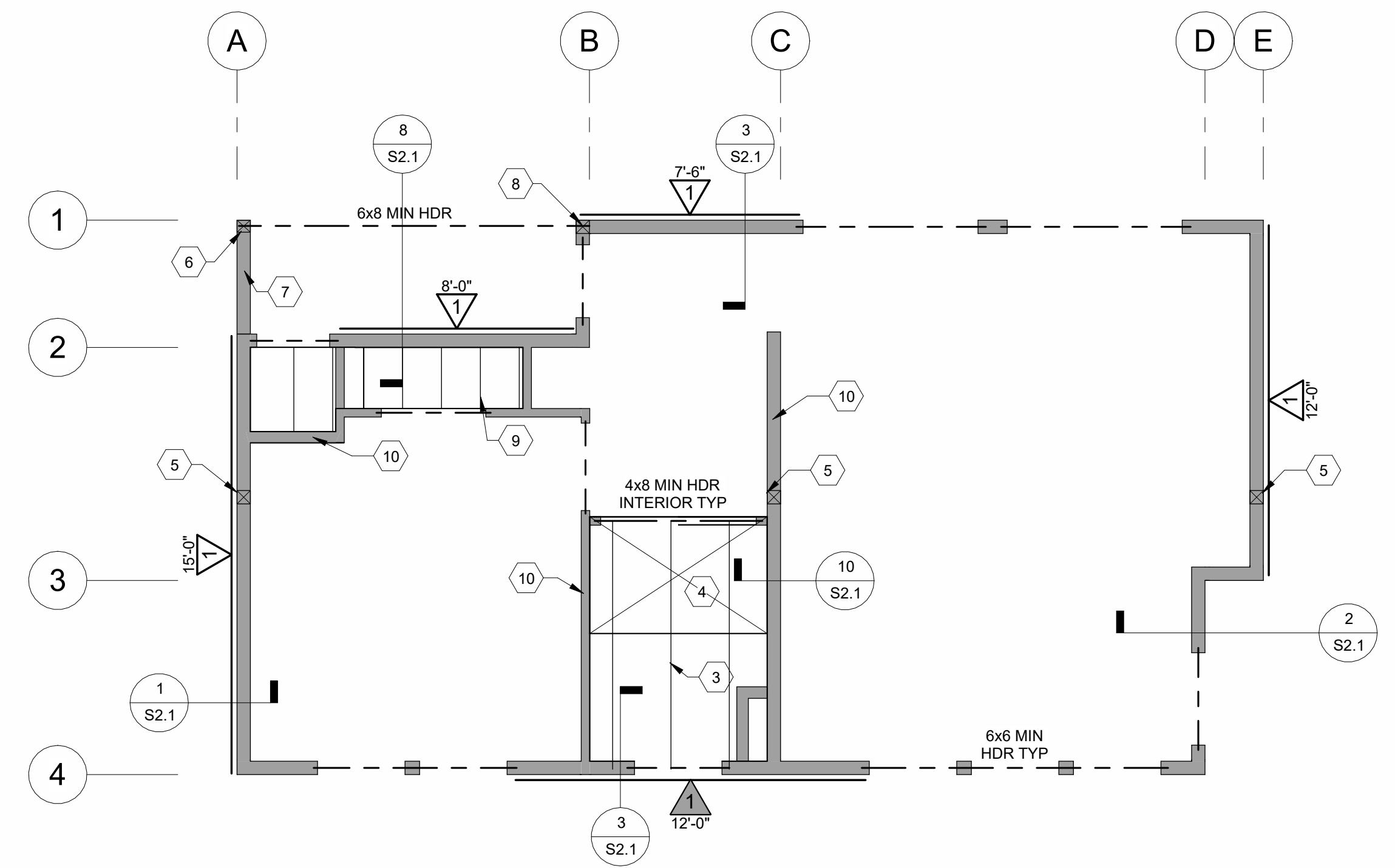
4 STRAP AROUND OPENING
 1/2" = 1'-0"

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 City of Atascadero



ONE BEDROOM STUDIO ROOF FRAMING PLAN

1/4" = 1'-0"



ONE BEDROOM STUDIO CEILING FRAMING PLAN

1/4" = 1'-0"

ONEBED ROOF & CEILING FRAMING PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 24" O.C.
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x6 RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC60 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6X BEAM UNDER DBL TOP PLATE
9	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
10	FULL HEIGHT WALLS

LEGEND	
1	KEYNOTE TAG, SEE KEYNOTE TABLES
A	HOLDOWN TAG, SEE HOLDOWN SCHEDULE
15'-0"	SHEARWALL TAG
1'-0"	PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
□	HOLDOWN POST
---	WALL ABOVE
—	WALL BELOW

ROOF AND CEILING/LOFT FRAMING NOTES

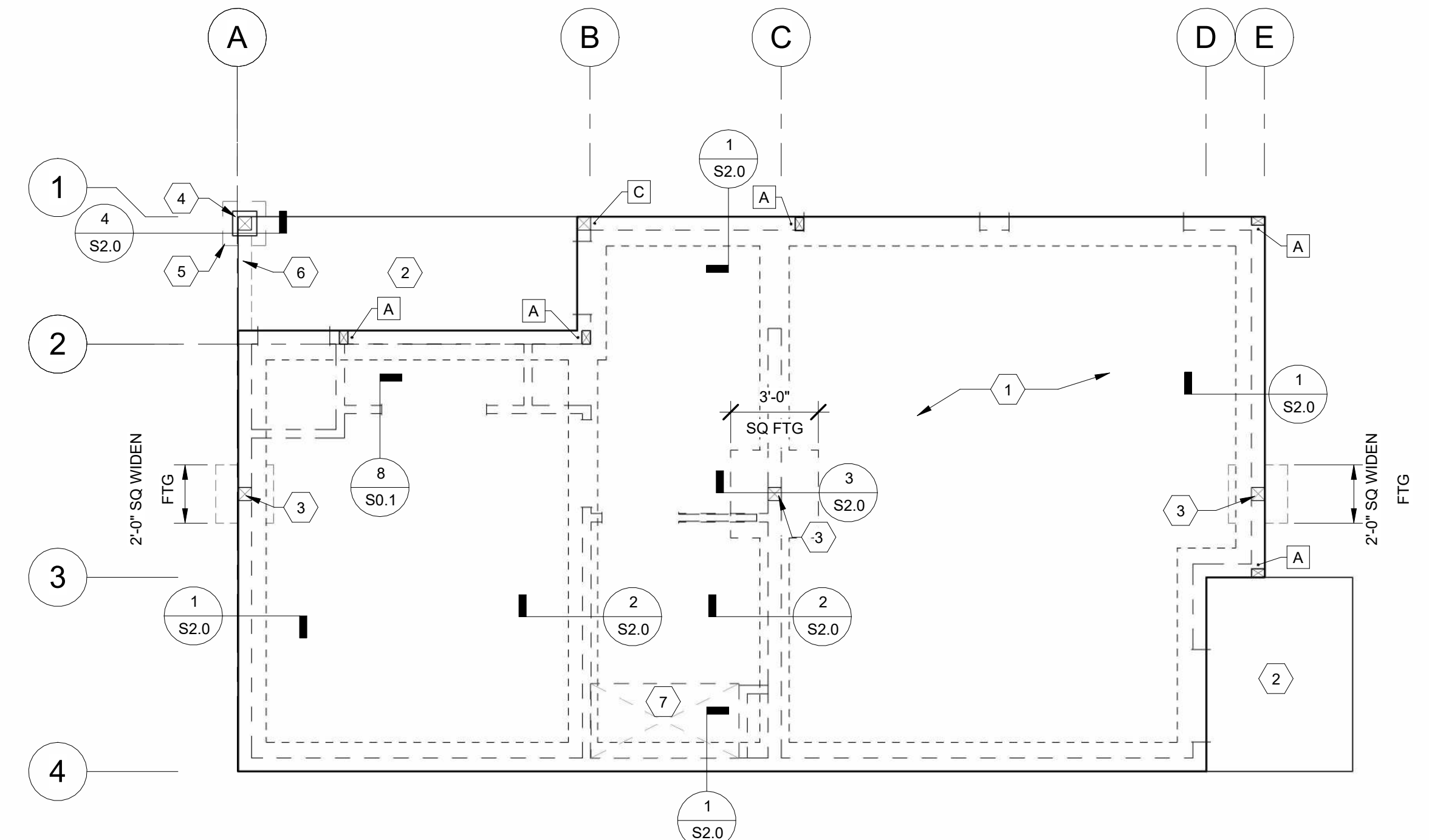
- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

FOUNDATION PLAN NOTES

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE, NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONEBED FOUNDATION PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	6x6 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	SEE DETAIL 9/S2.0 WALL AT BEACH BUNGALOW
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

□ HOLDOWN SCHEDULE				
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1



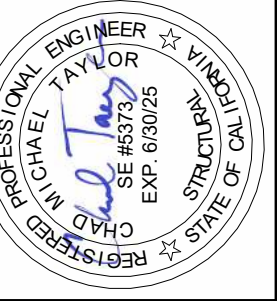
ONE BEDROOM STUDIO FOUNDATION PLAN

1/4" = 1'-0"

REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT

STRUCTURAL ENGINEERING
CM Taylor
C.M. Taylor Structural Engineering, Inc. 1426 Capitola Rd. Suite 204, Capitola, CA 95010
Phone: 831-854-2484
email: contact@cmtylors.com

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I hereby certify that the information contained in the drawings and specifications is true and correct to the best of my knowledge and belief, and that I am a duly licensed Professional Engineer in the State of California, License No. 45678. I am not providing any services in this project that require a license in another state or jurisdiction. I am not providing any services in this project that require a license in another state or jurisdiction. I am not providing any services in this project that require a license in another state or jurisdiction.



**ONE BEDROOM
ROOF/CEILING FRAMING
AND FOUNDATION PLAN**

DATE: 11-18-2022

JOB NO: 21091

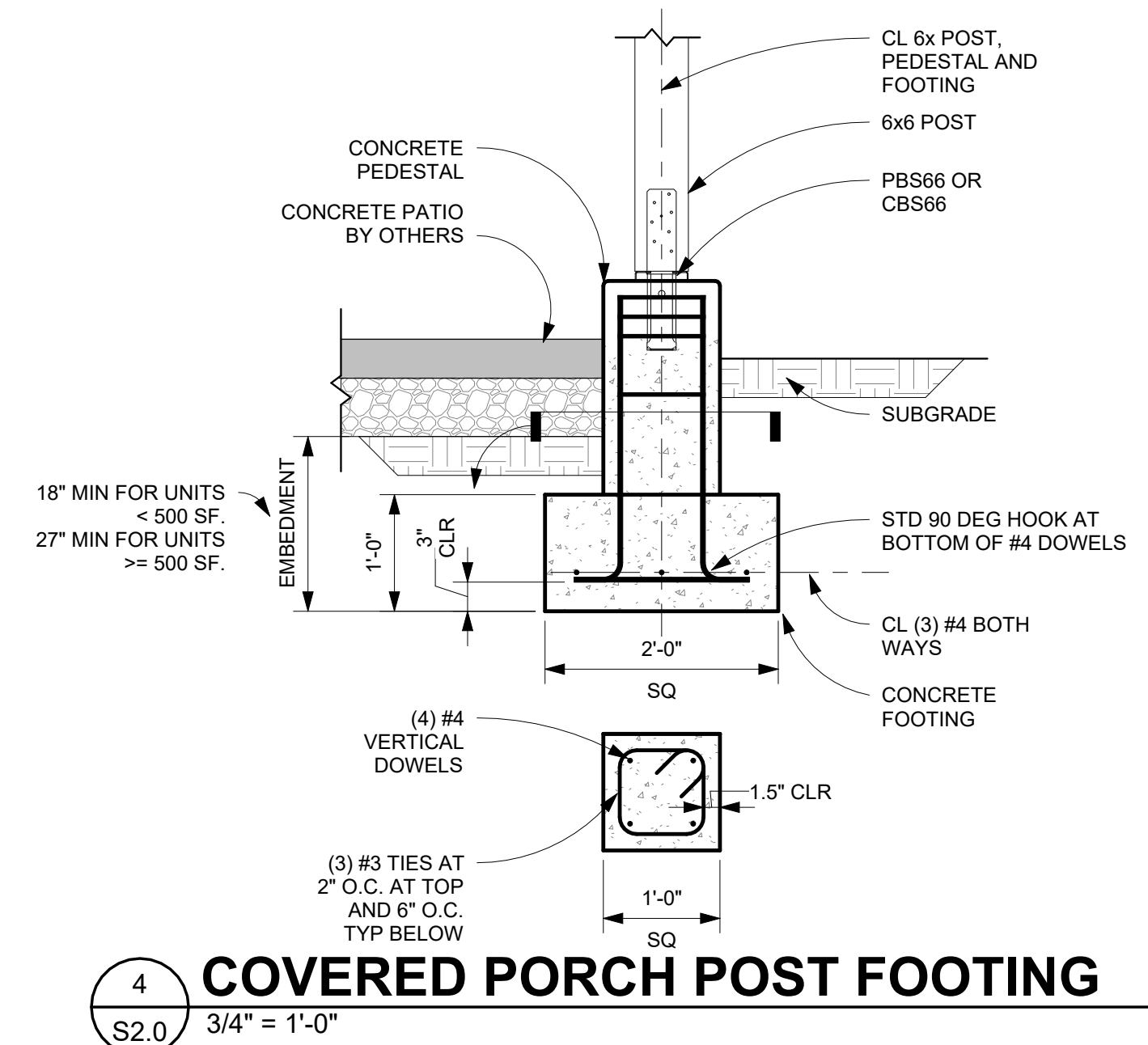
SHEET

S1.0

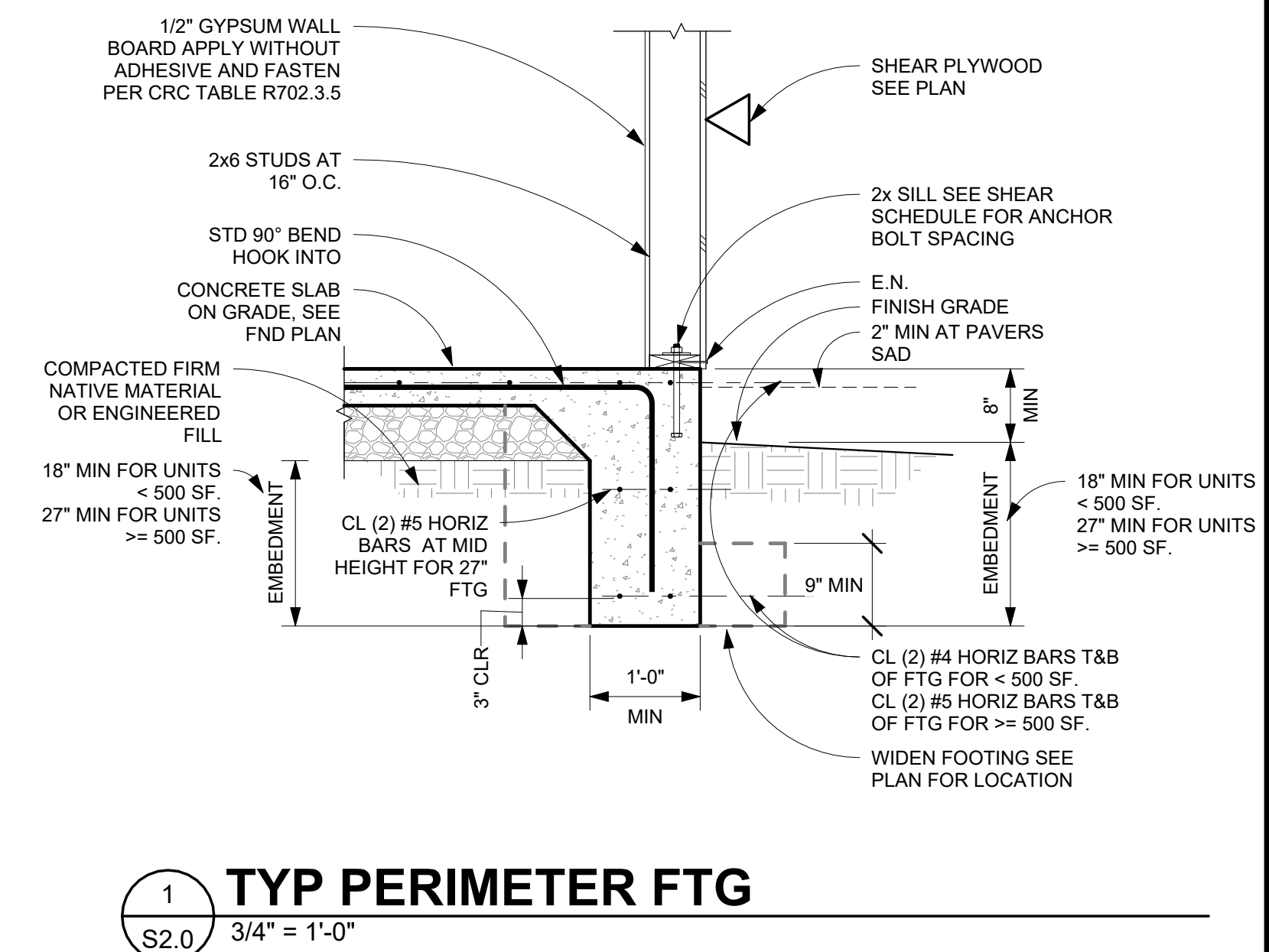
City of Atascadero

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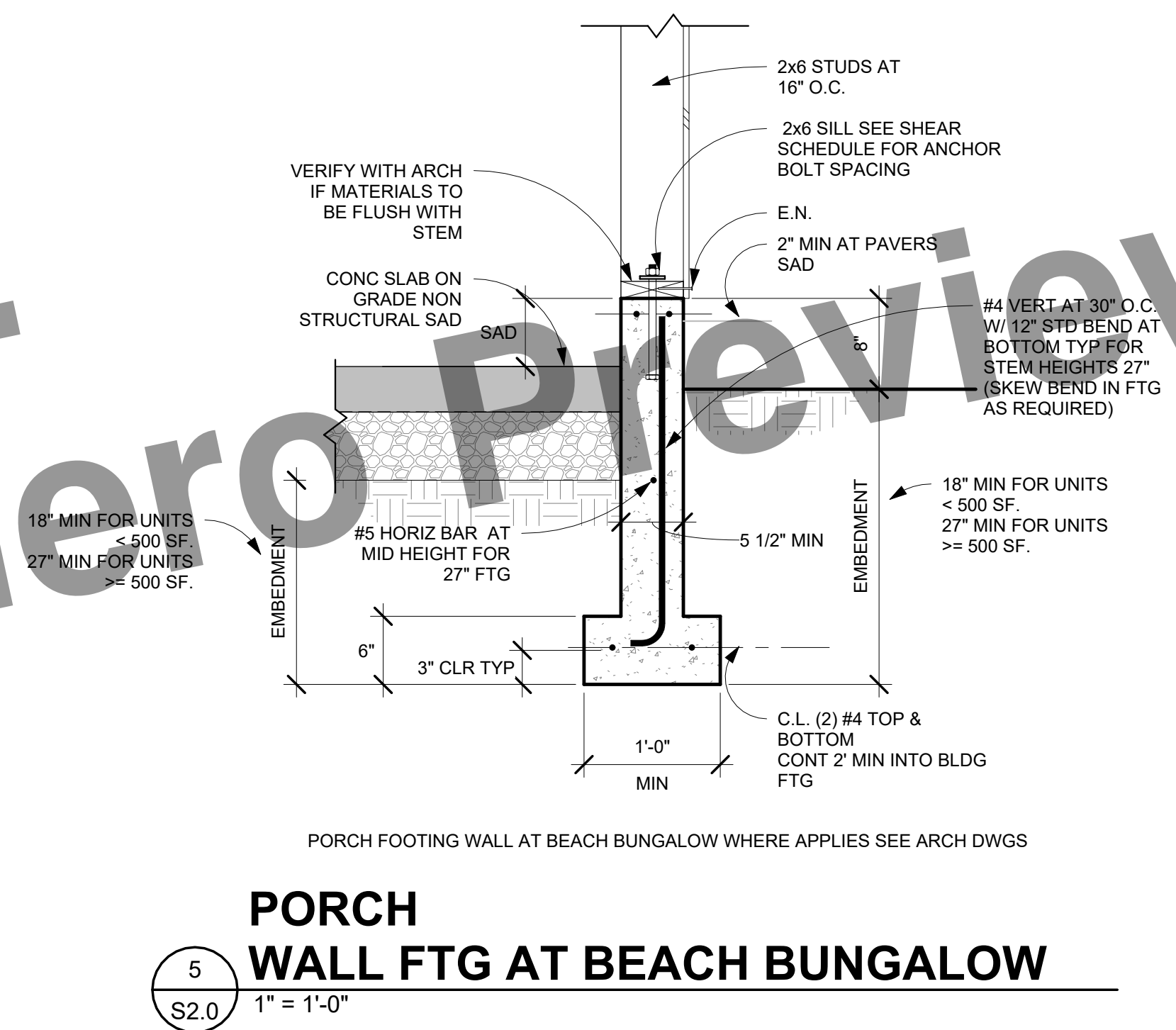
Preview



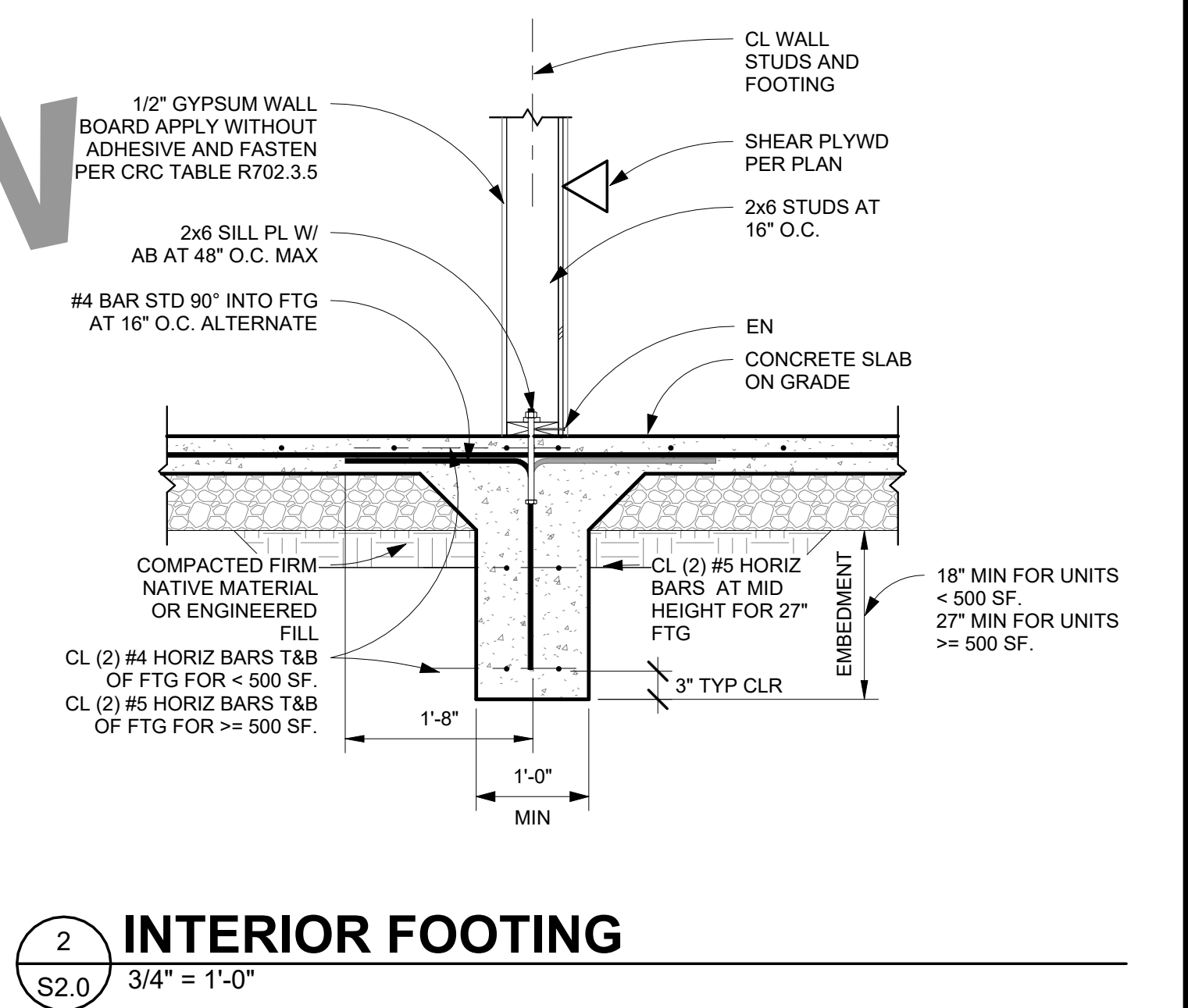
4 COVERED PORCH POST FOOTING
S2.0 3/4" = 1'-0"



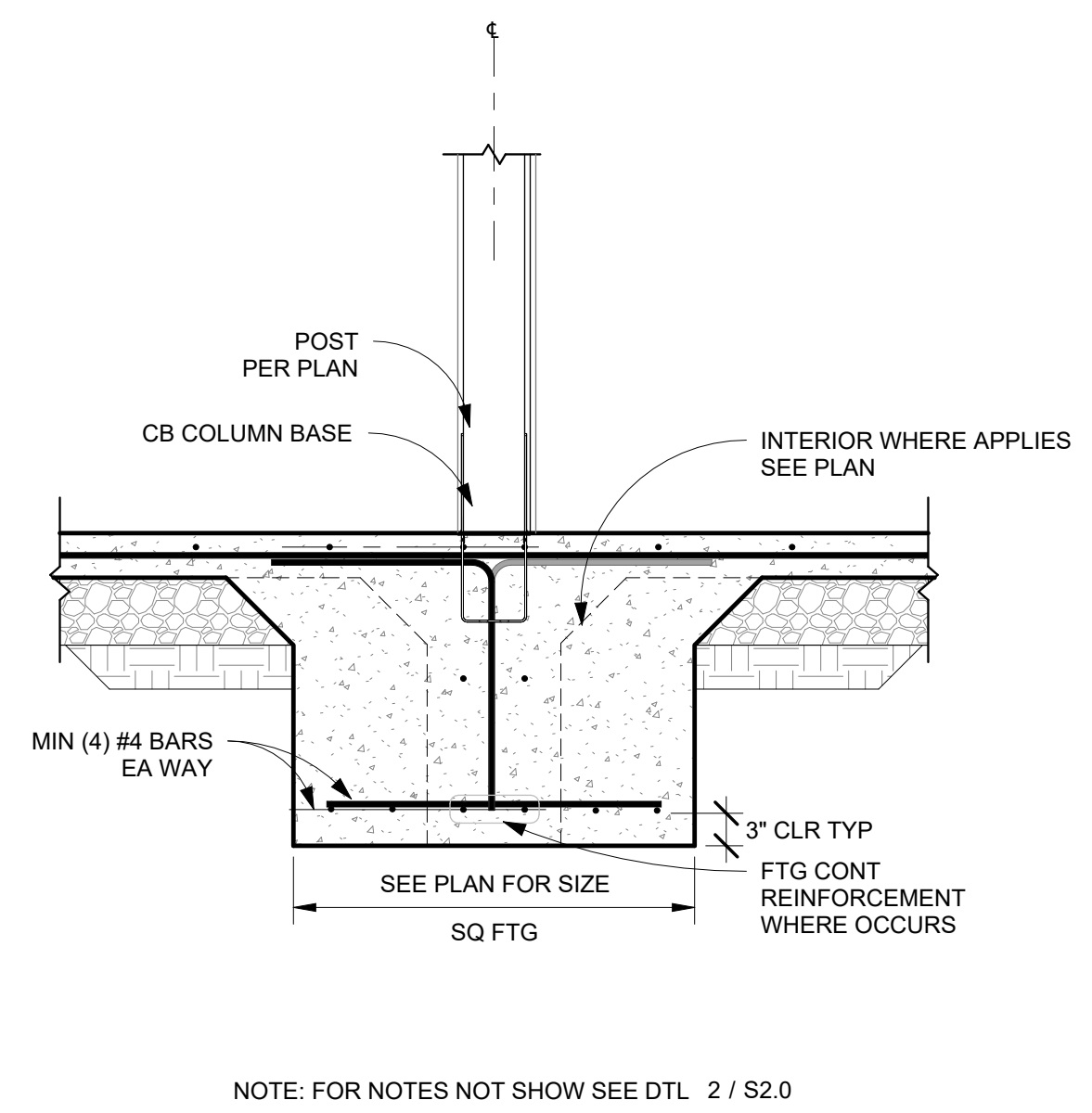
1 TYP PERIMETER FTG
S2.0 3/4" = 1'-0"



5 PORCH FTG WALL AT BEACH BUNGALOW
S2.0 1" = 1'-0"



2 INTERIOR FOOTING
S2.0 3/4" = 1'-0"



3 INTERIOR PAD FOOTING
S2.0 3/4" = 1'-0"

NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

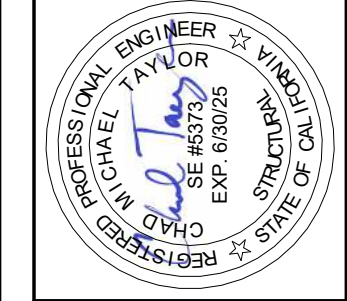
REV	DATE	BY
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STRUCTURAL ENGINEERING

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email: contact@cmtylors.com
Phone: 831-854-2484

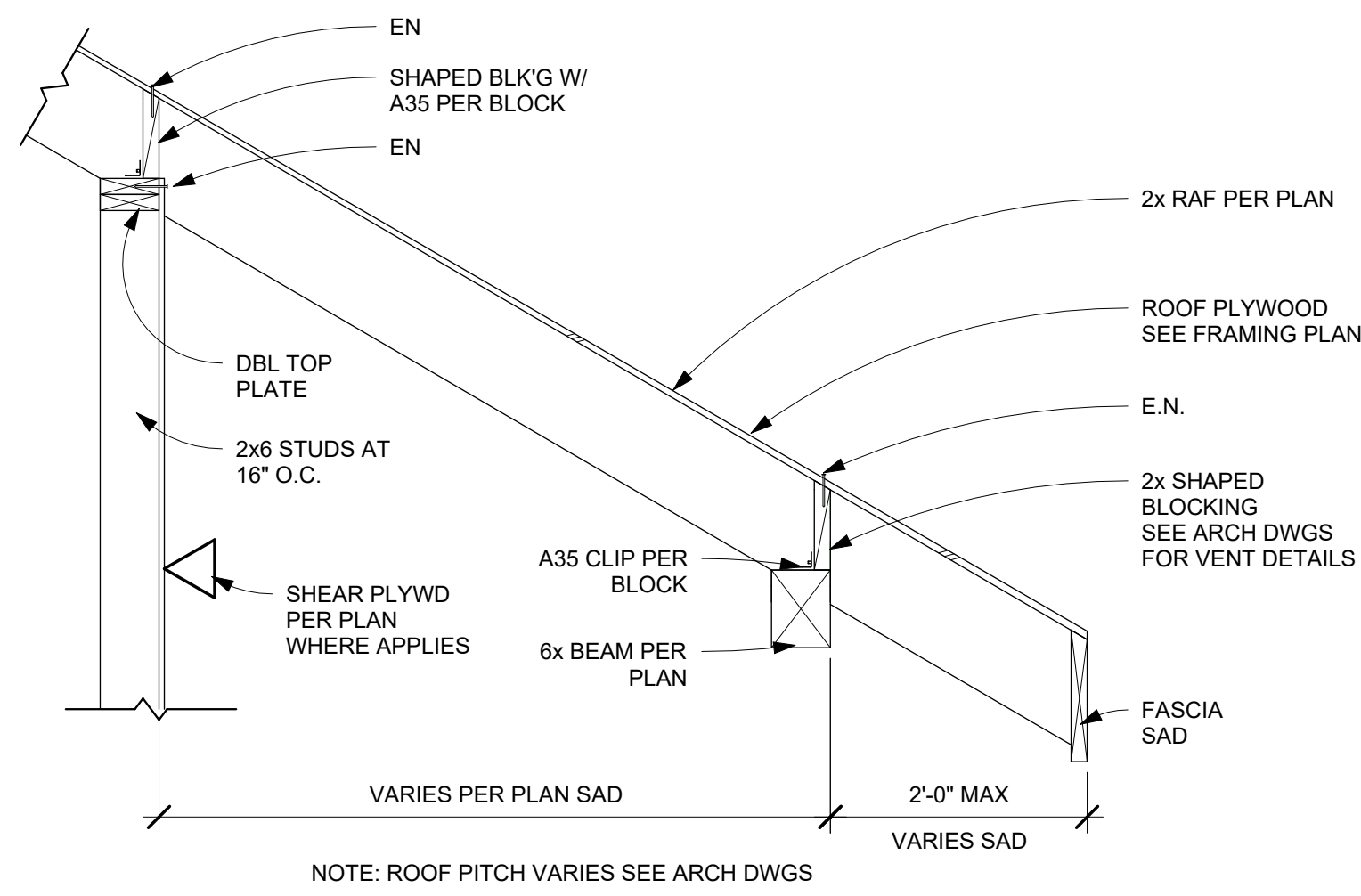
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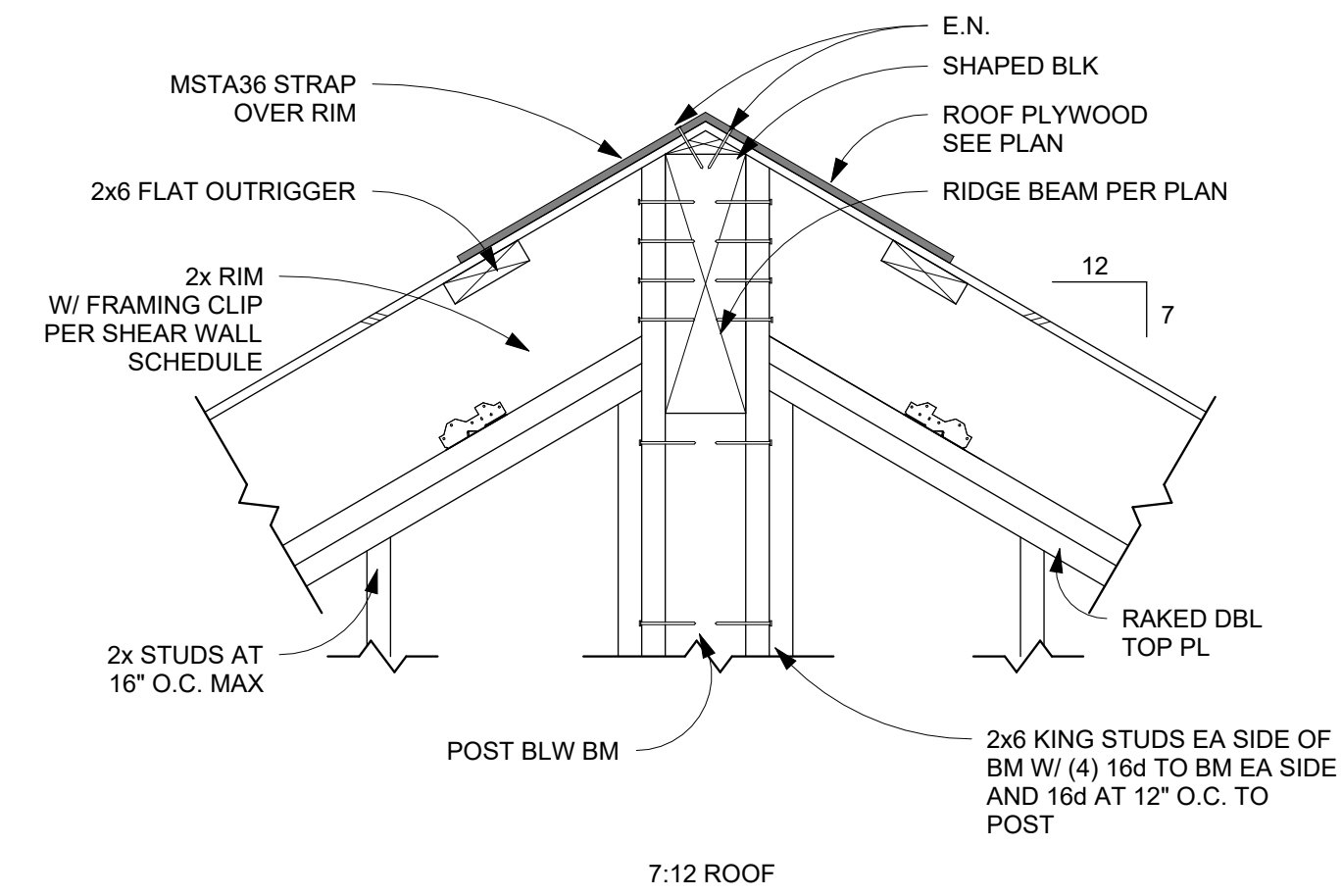


FOUNDATION DETAILS

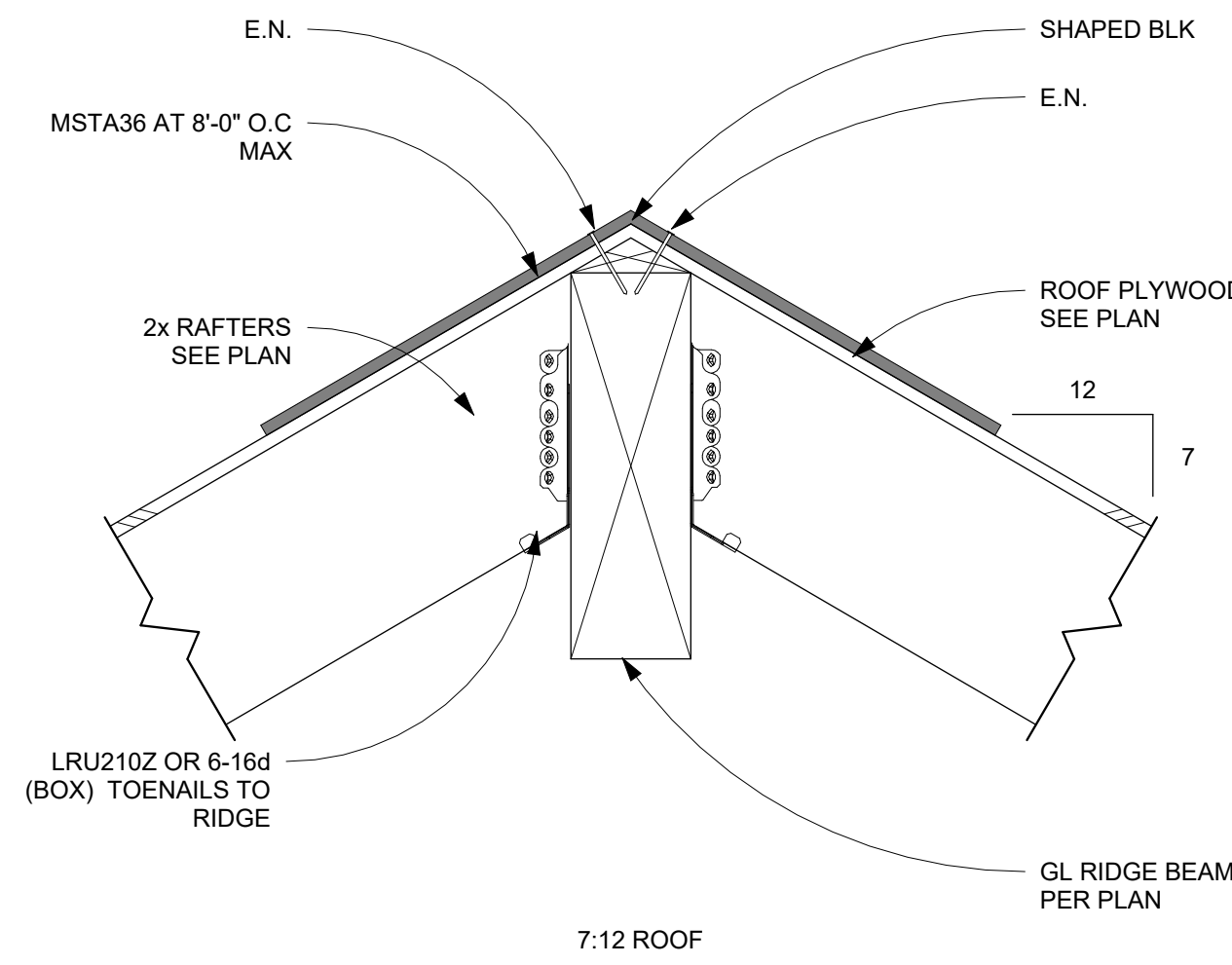
DATE:	11-18-2022
JOB NO:	21091
SHEET	S2.0



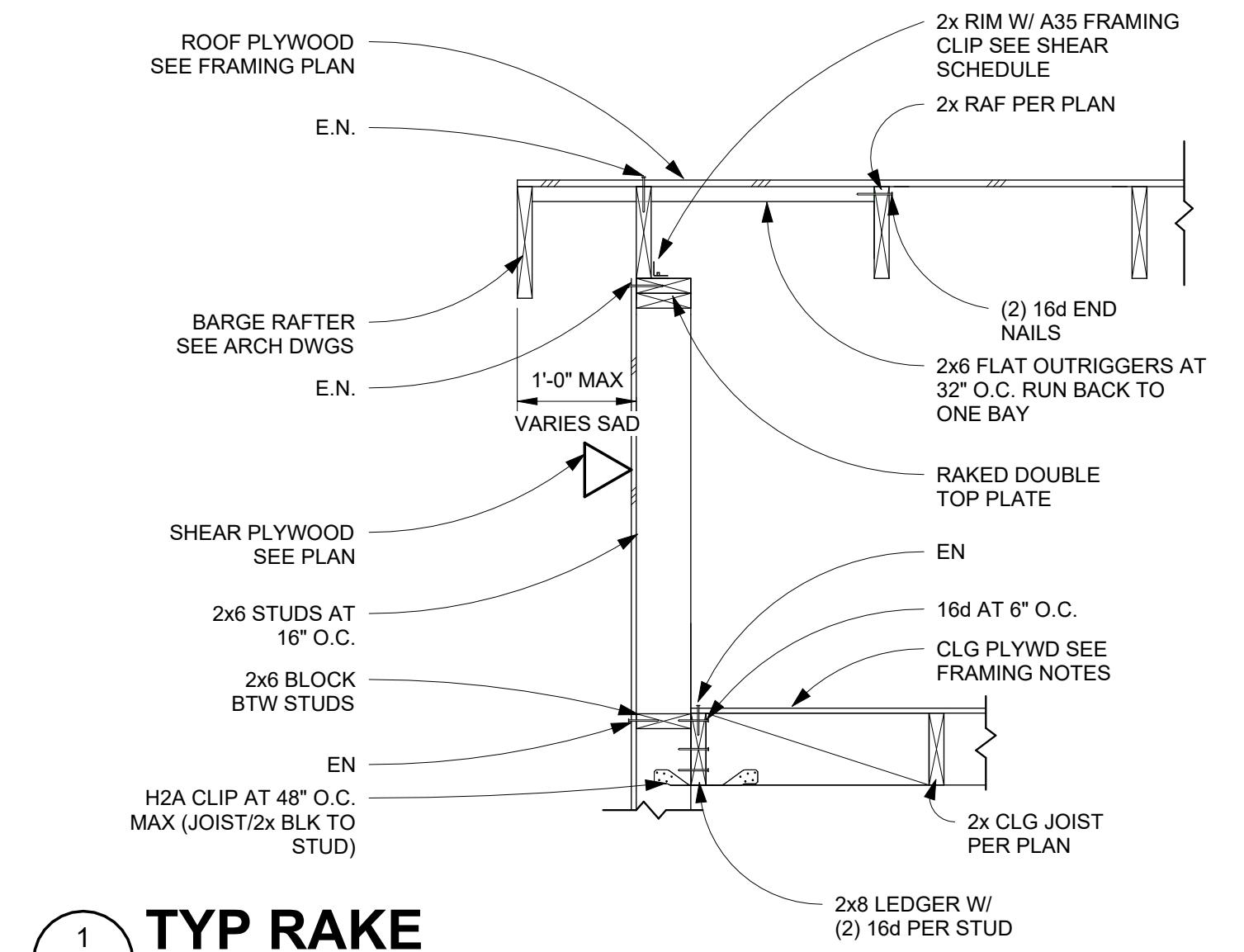
8 EAVE AT PORCH
S2.1 3/4" = 1'-0"



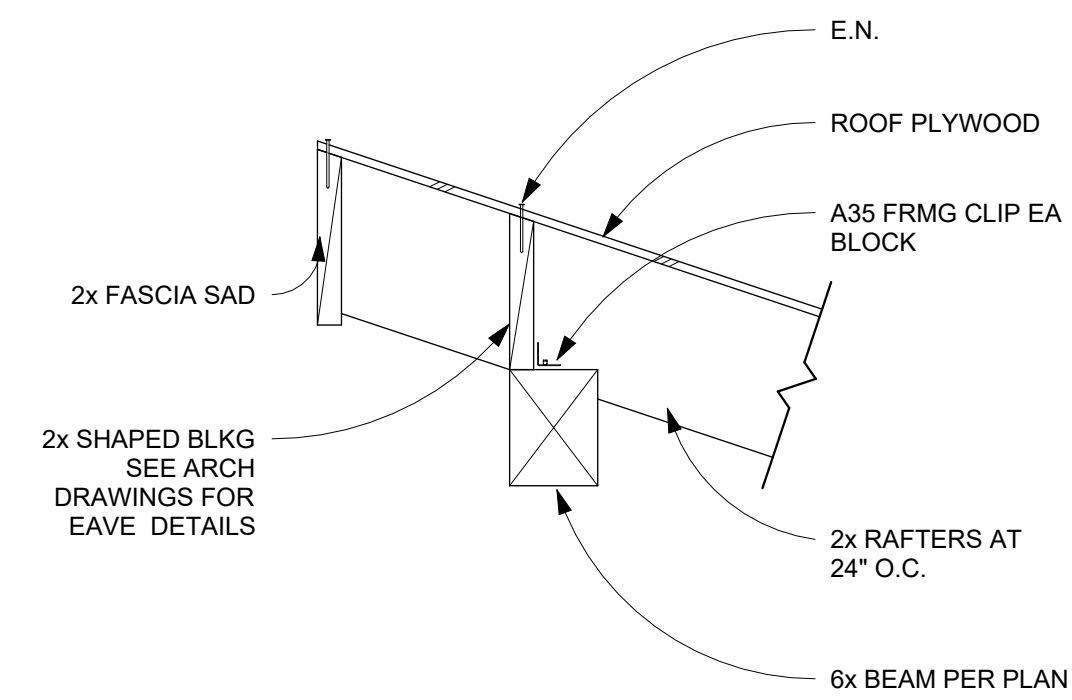
7:12 ROOF



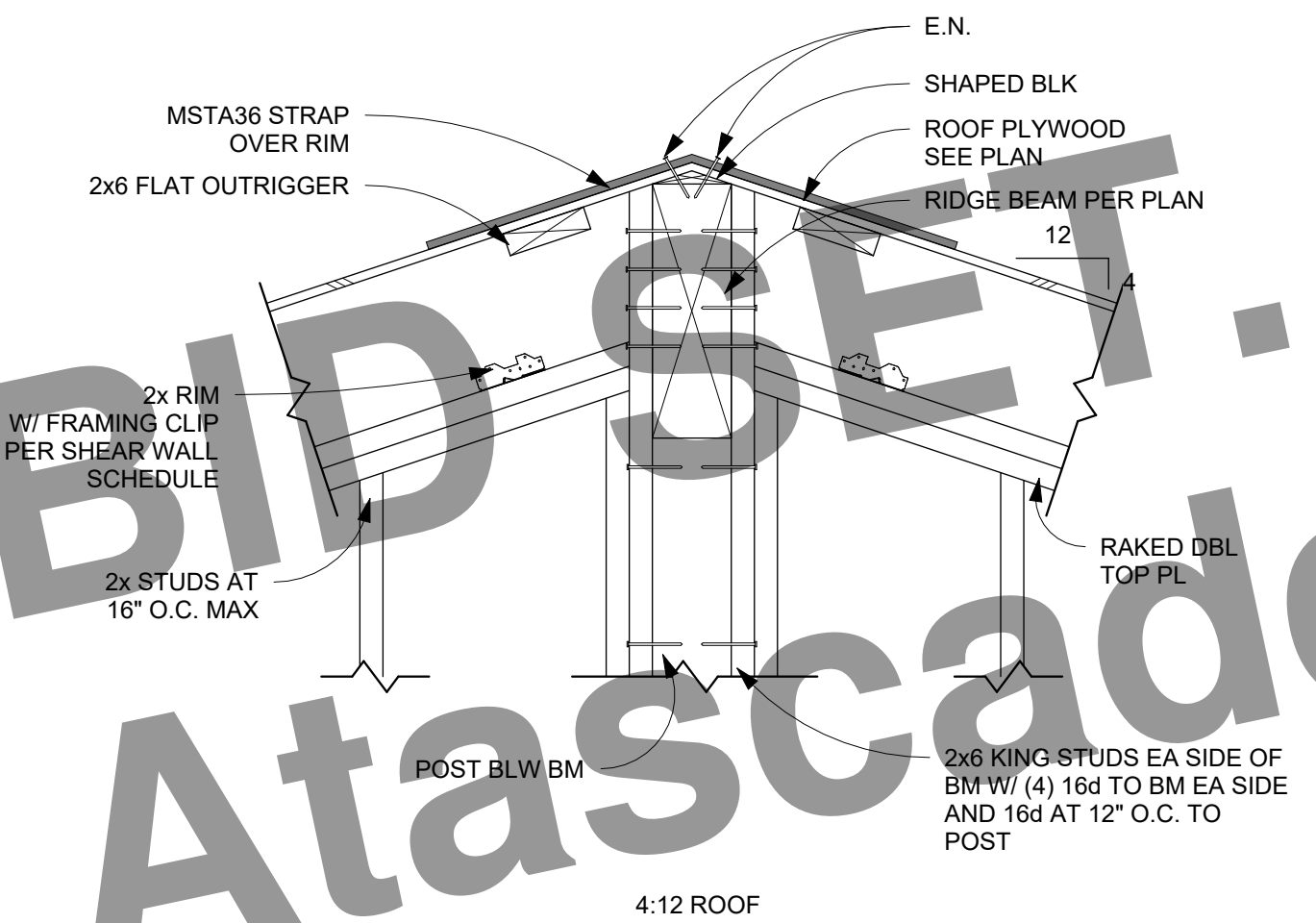
7:12 ROOF



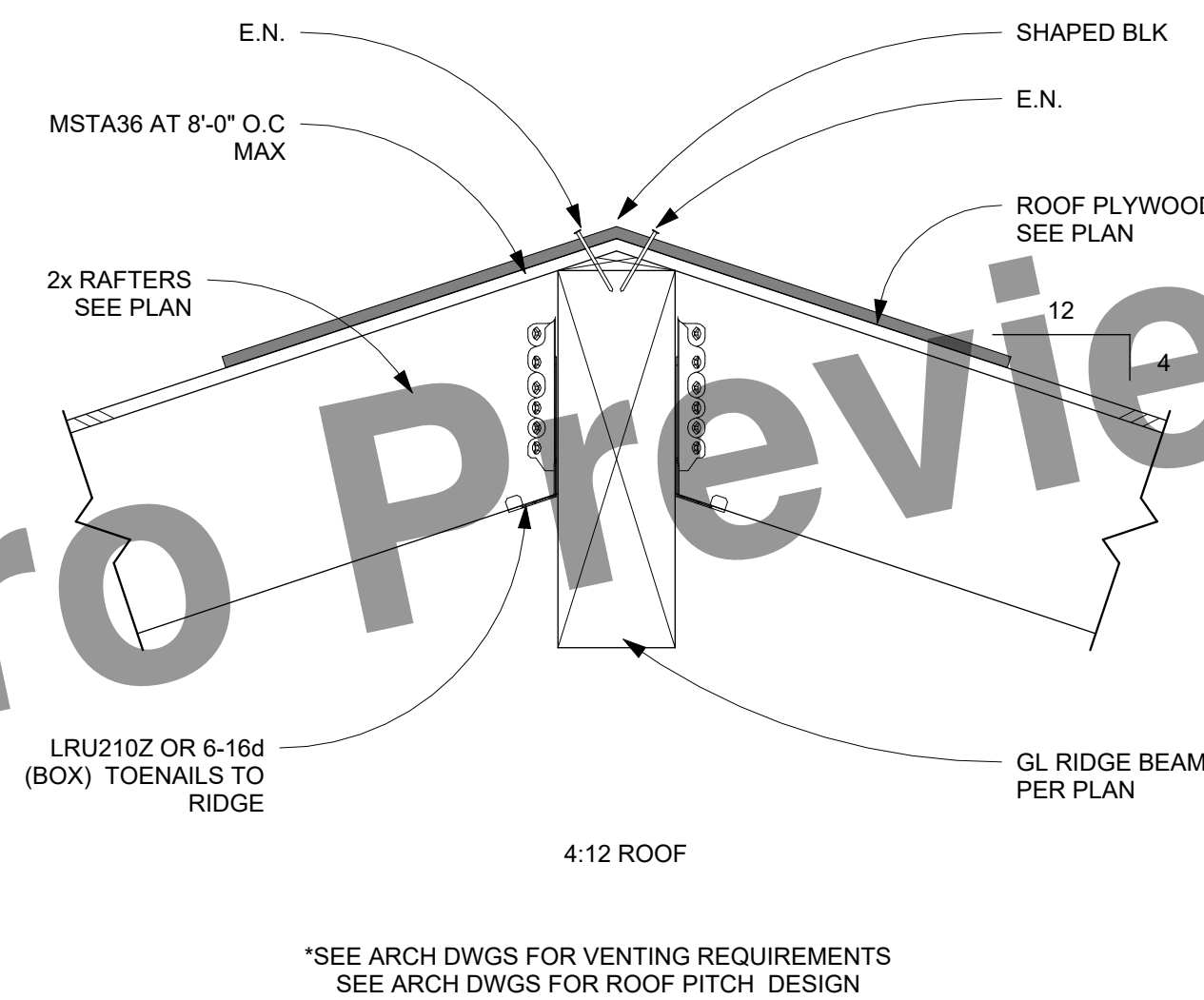
1 TYP RAKE
S2.1 3/4" = 1'-0"



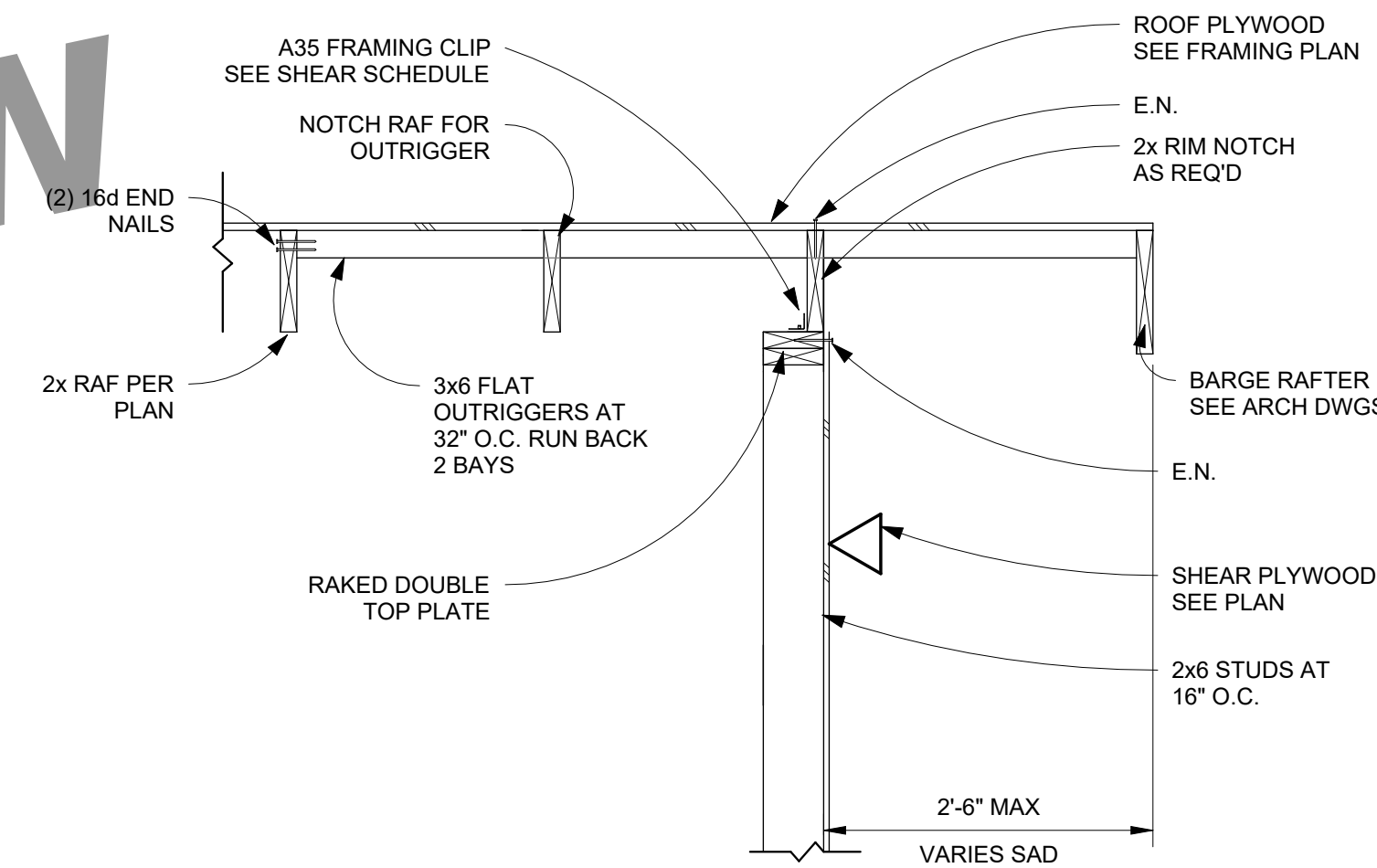
9 MONOSLOPE PEAK AT PORCH
S2.1 1" = 1'-0"



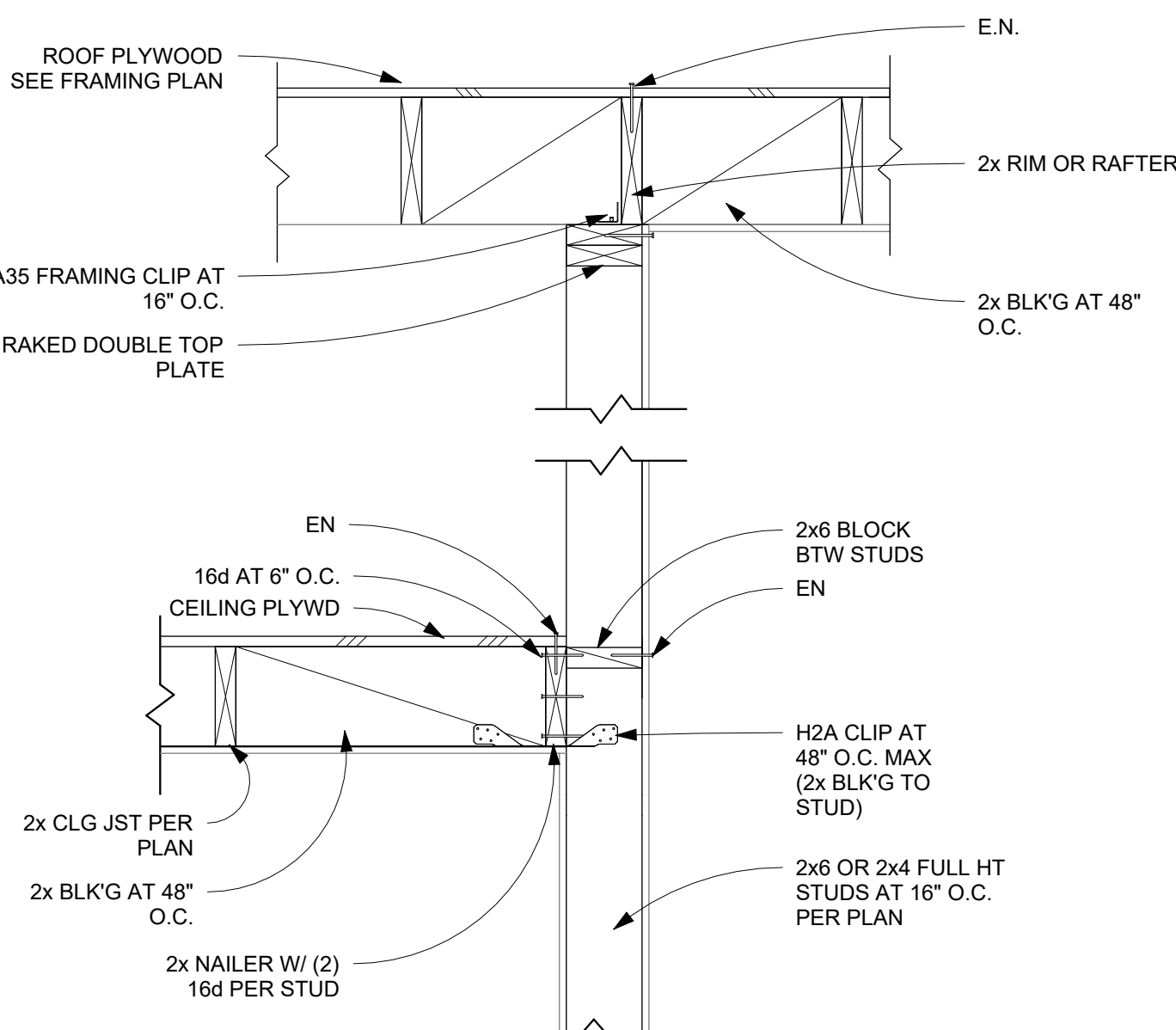
4:12 ROOF



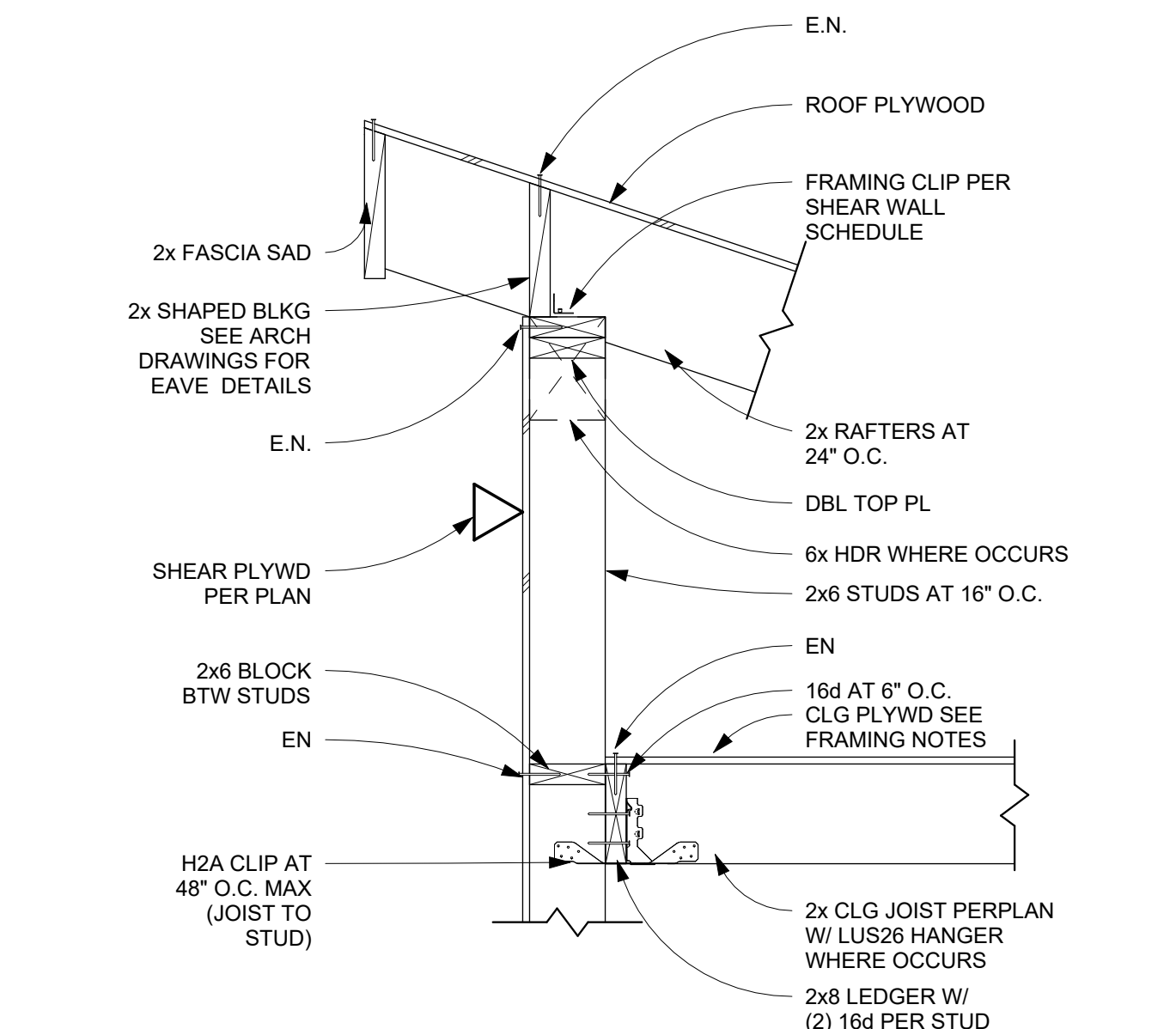
4:12 ROOF



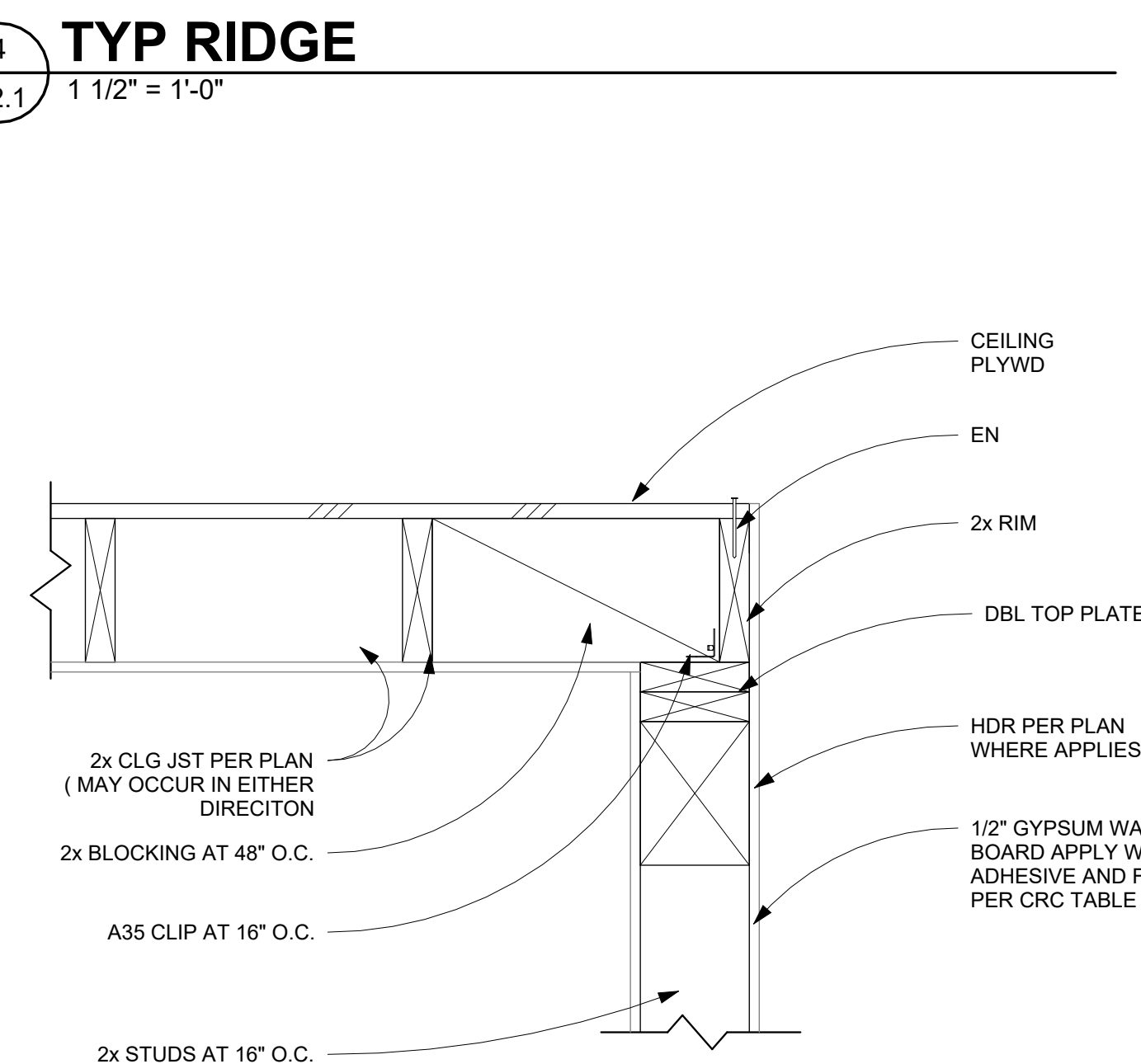
2 RAKE OVERHANG
S2.1 3/4" = 1'-0"



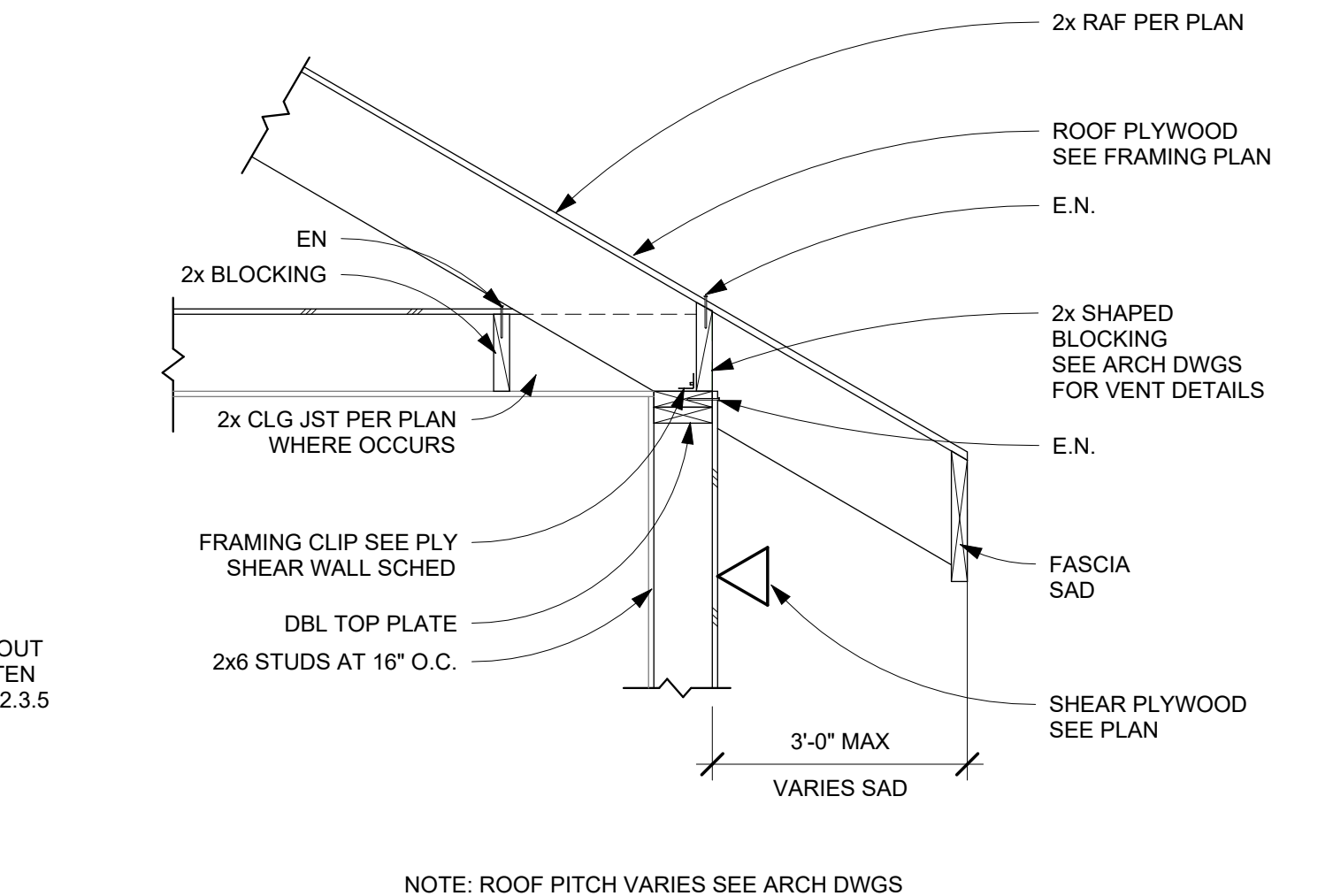
10 INTERIOR BEARING WALL @ CLG/ROOF
S2.1 1" = 1'-0"



7 TYP MONOSLOPE PEAK
S2.1 1" = 1'-0"



5 CEILING EDGE CONNECTION
S2.1 1 1/2" = 1'-0"



3 TYP EAVE
S2.1 3/4" = 1'-0"

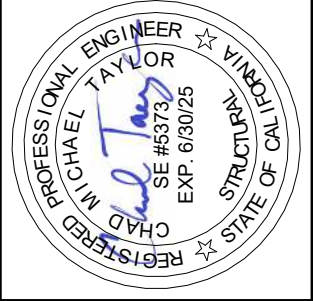
BID SET.
 City of Atascadero Preview

REV	DATE	BY
1	7-14-23	CT

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CM Taylor
 C.M. Taylor Structural Engineering, Inc. 4246 Capitola Rd. Suite 204, Capitola, CA 95010
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ROOF FRAMING DETAILS
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S2.1

REV	DATE	BY
1	7-14-23	CT

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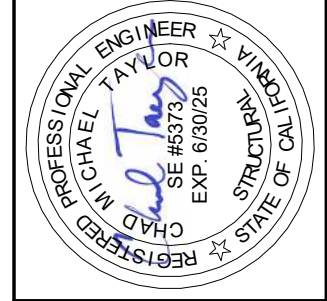
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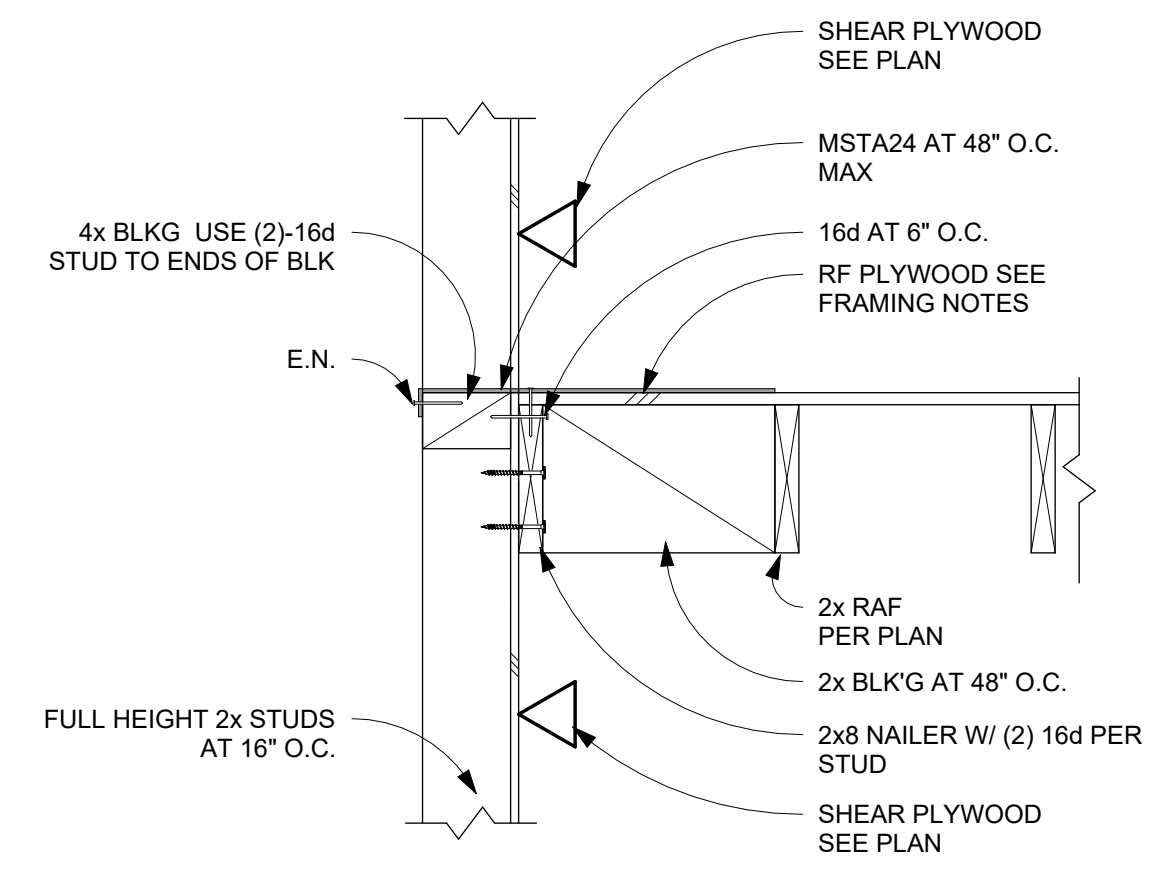
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City of Atascadero Preview

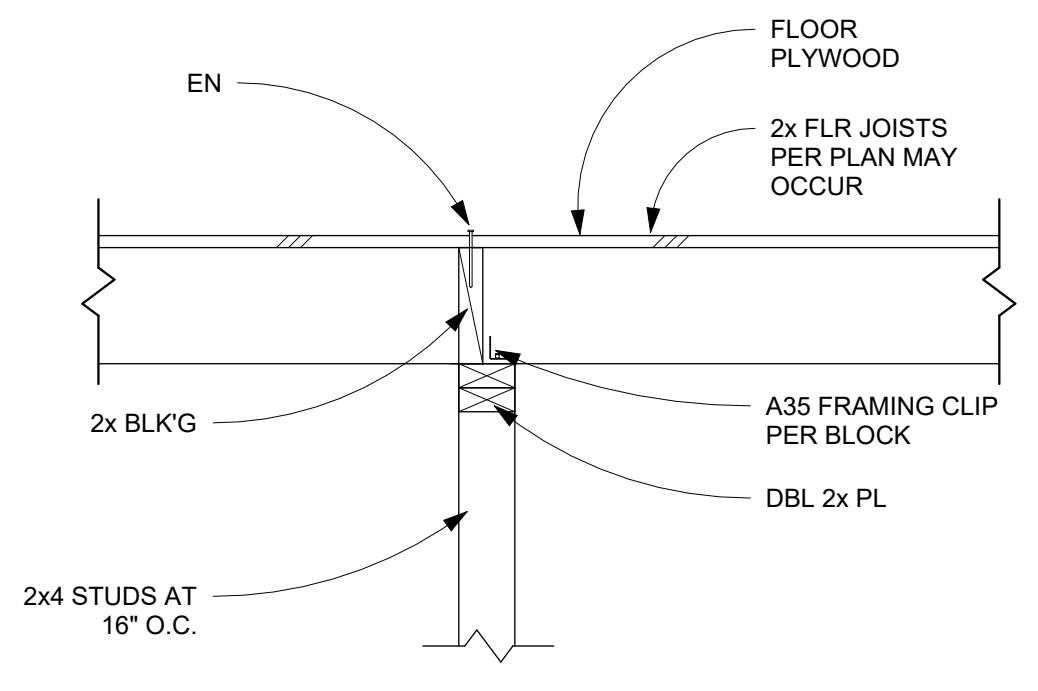


ROOF FRAMING DETAILS
(CONTINUED)

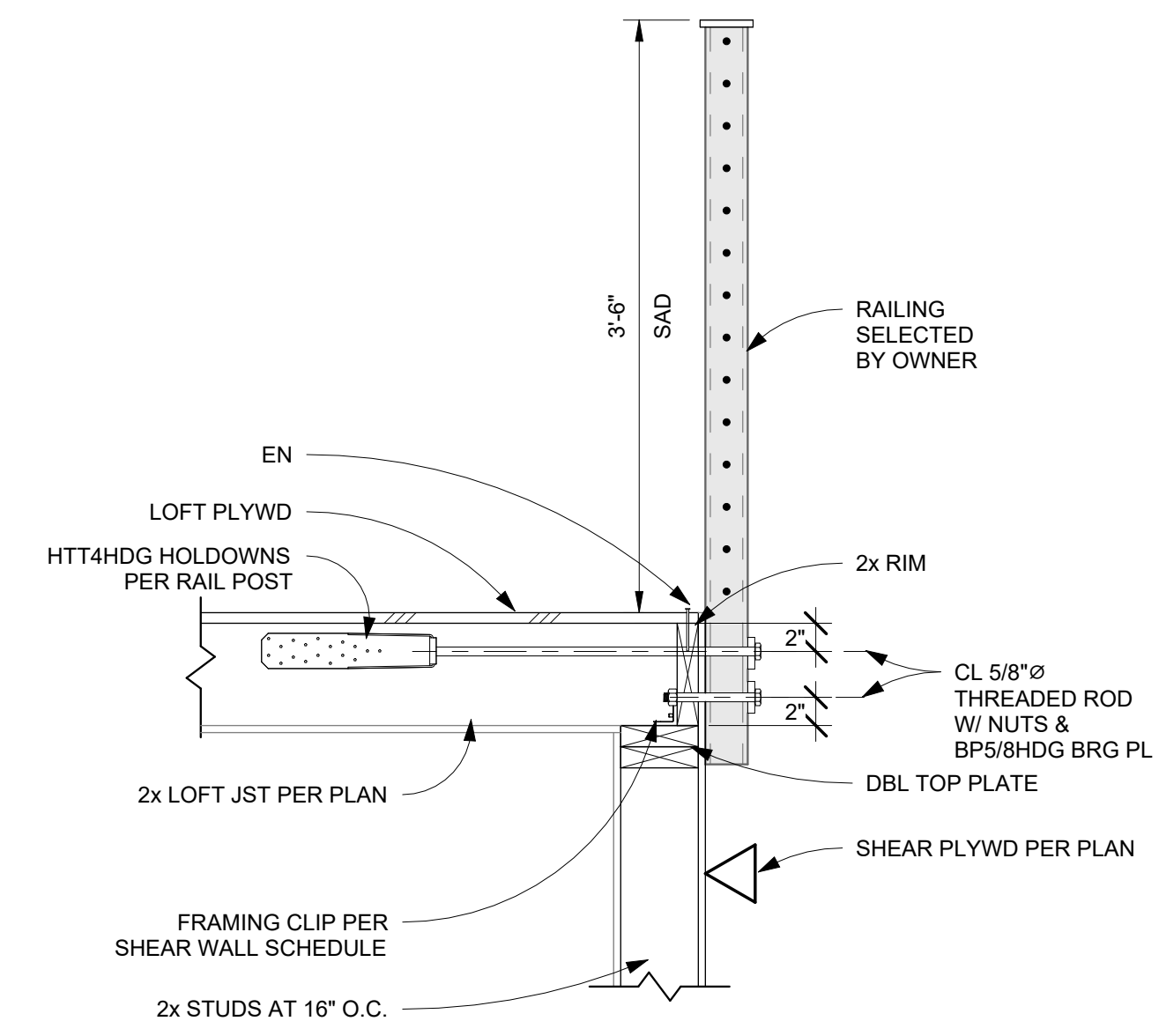
DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.2



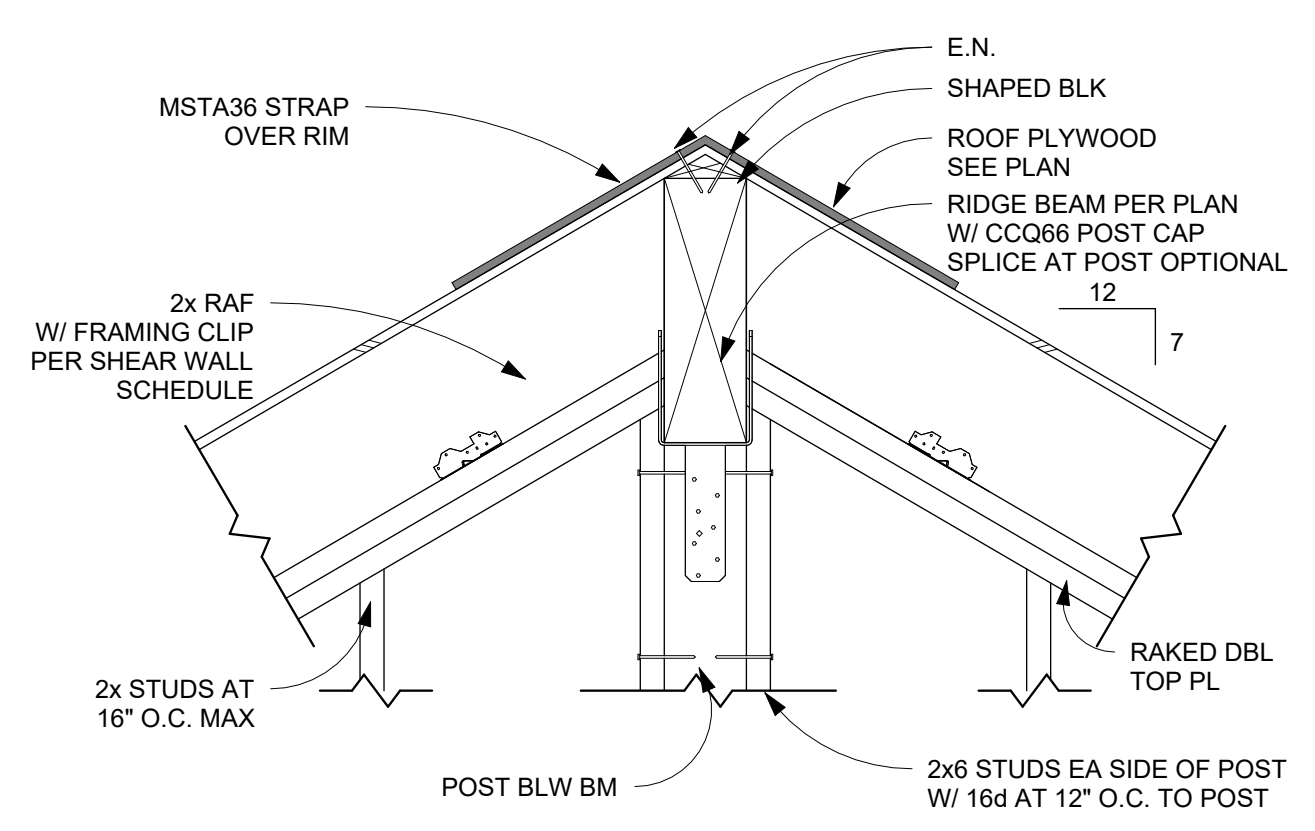
9 LOWER ROOF TO FULL HEIGHT WALL
S2.2 1" = 1'-0"



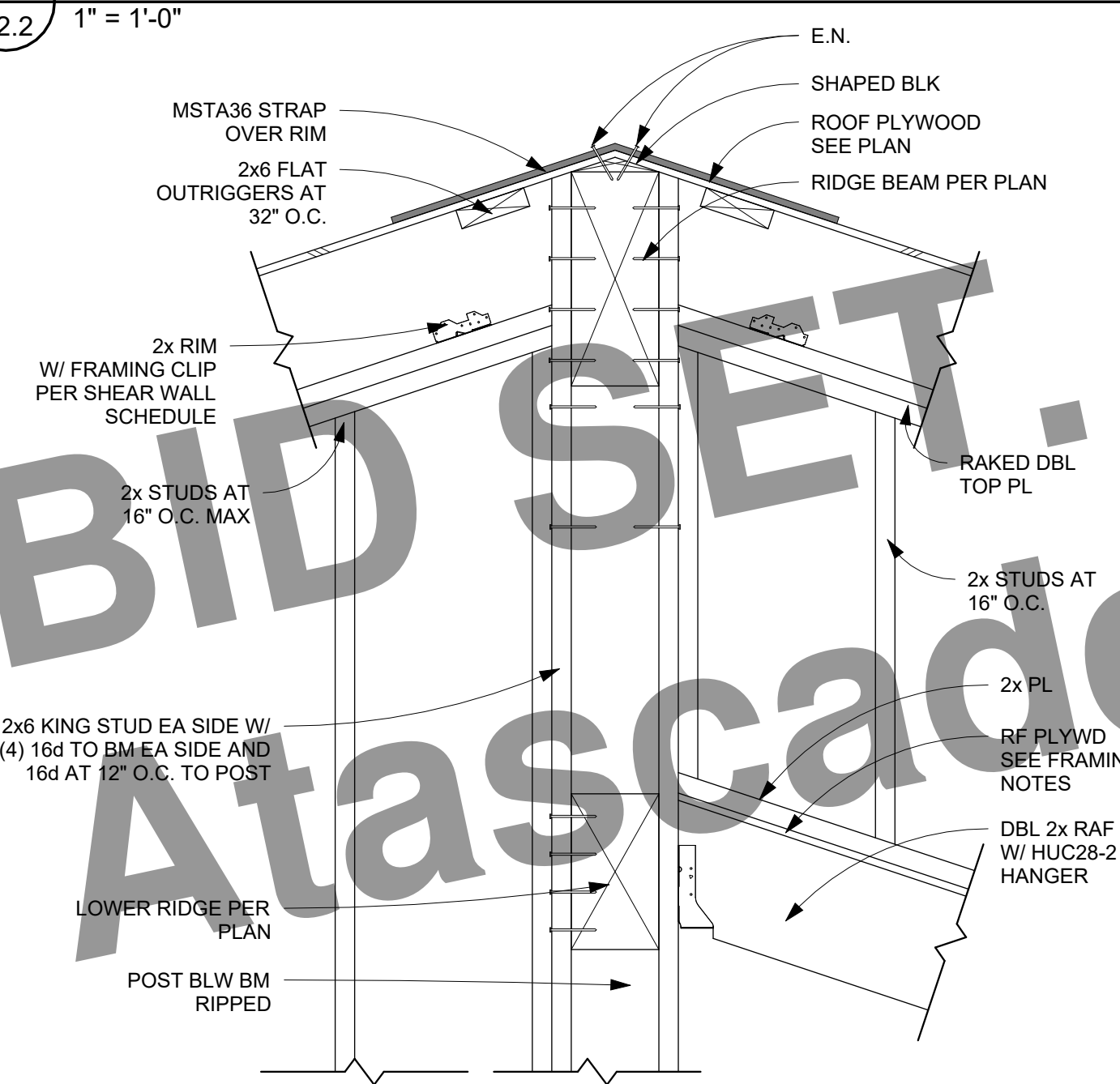
6 FLOOR TO INTERIOR WALL CONN
S2.2 1" = 1'-0"



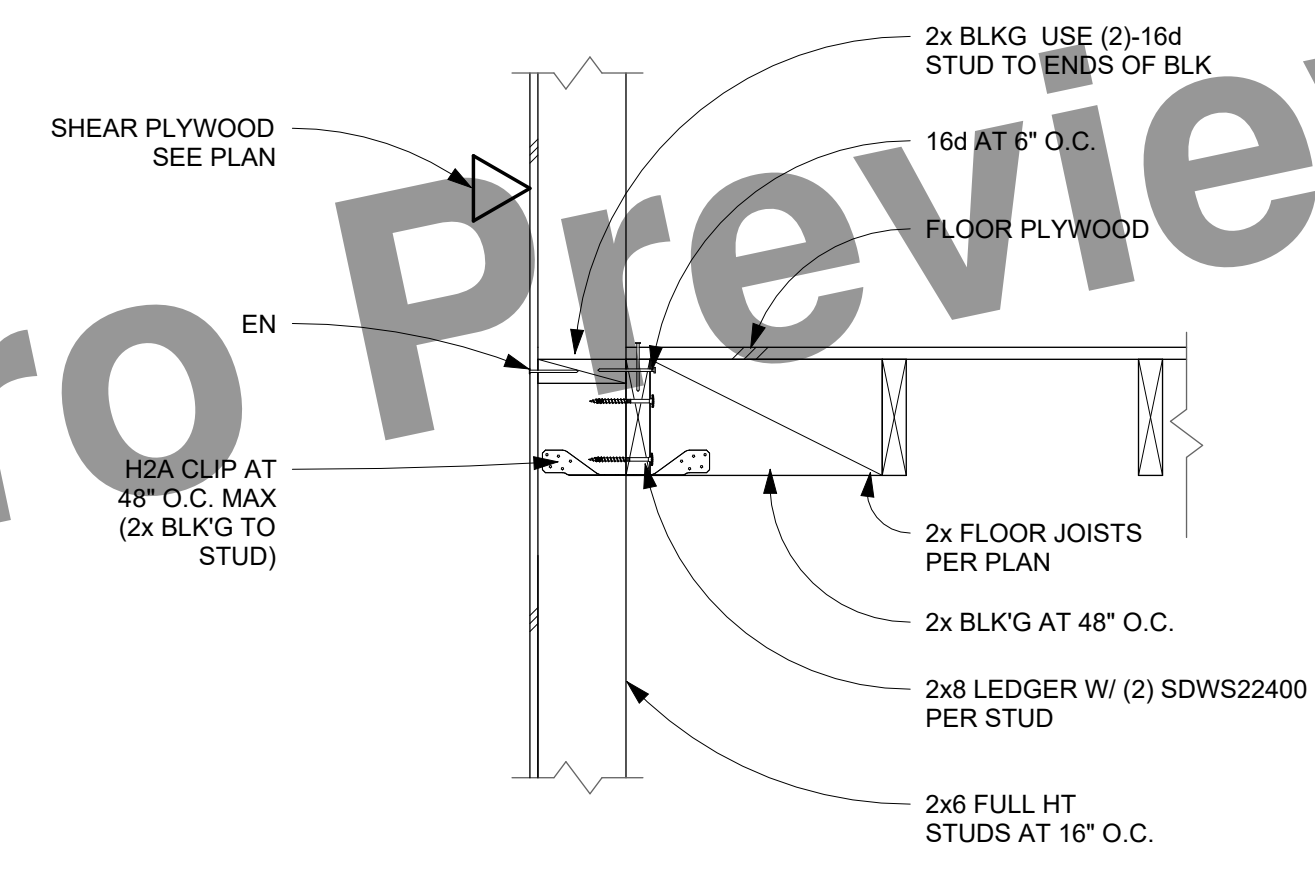
3 LOFT EDGE CONNECTION II
S2.2 1" = 1'-0"



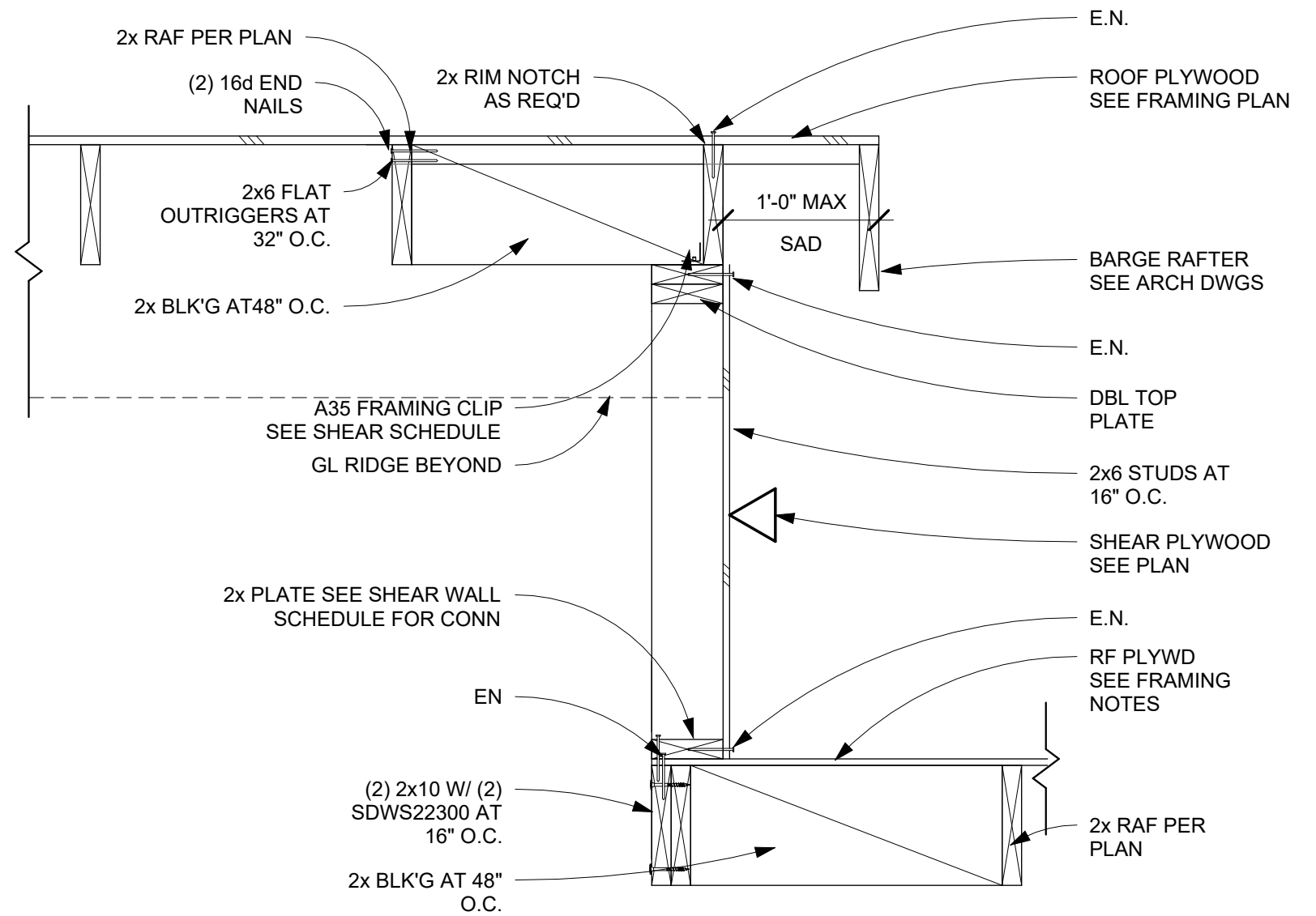
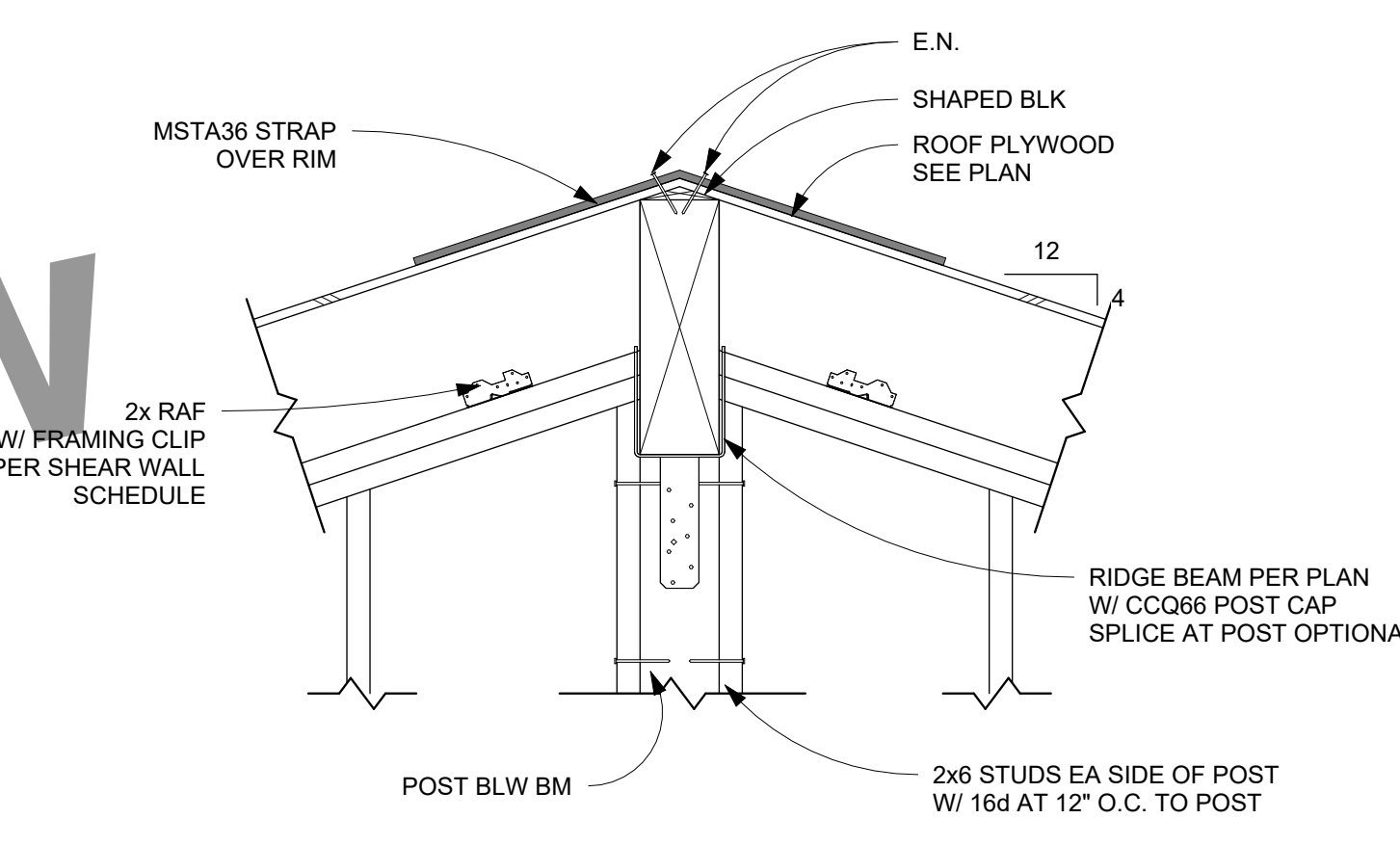
1 RIDGE SPLICE AT INT WALL
S2.2 1" = 1'-0"



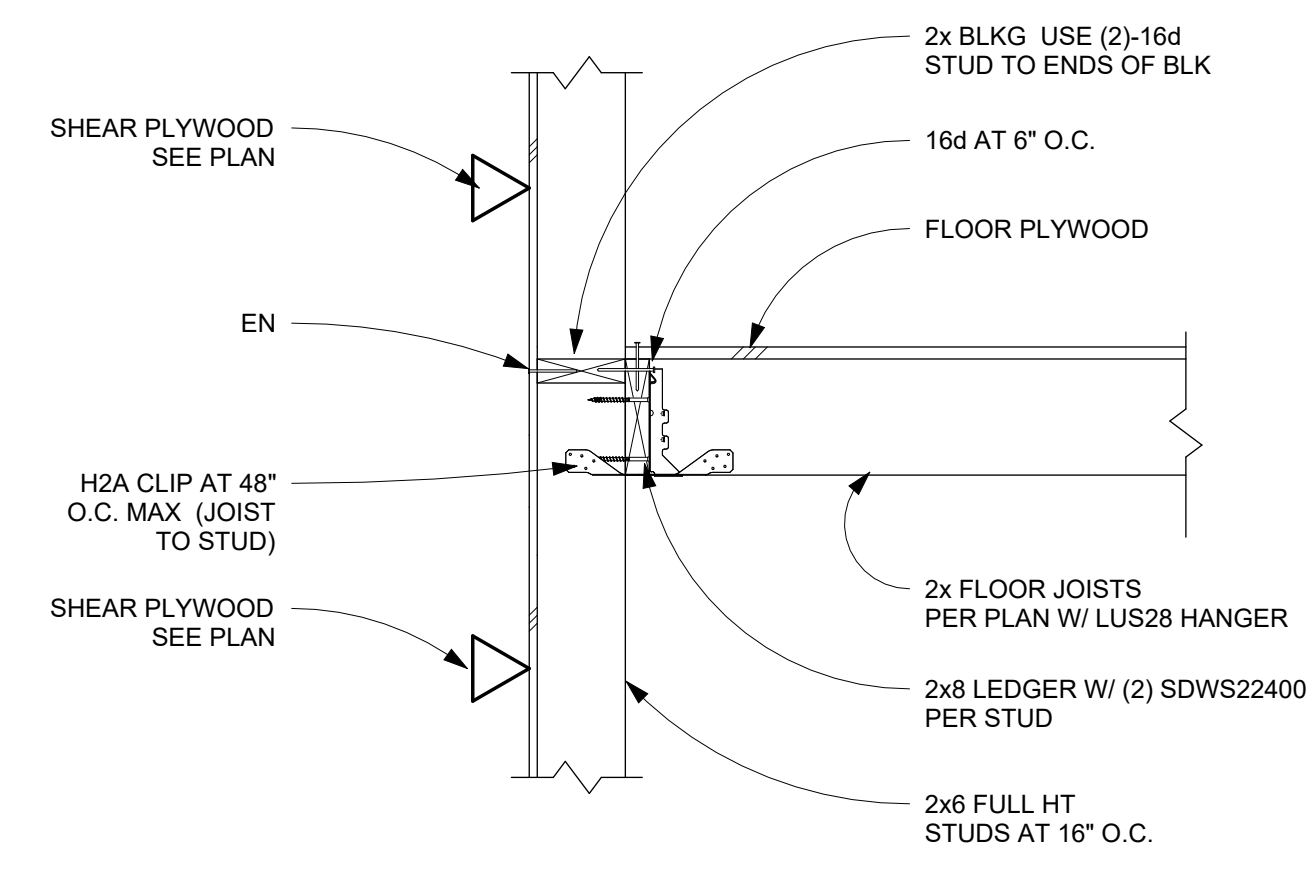
7 DOUBLE RIDGE TO WALL
S2.2 1" = 1'-0"



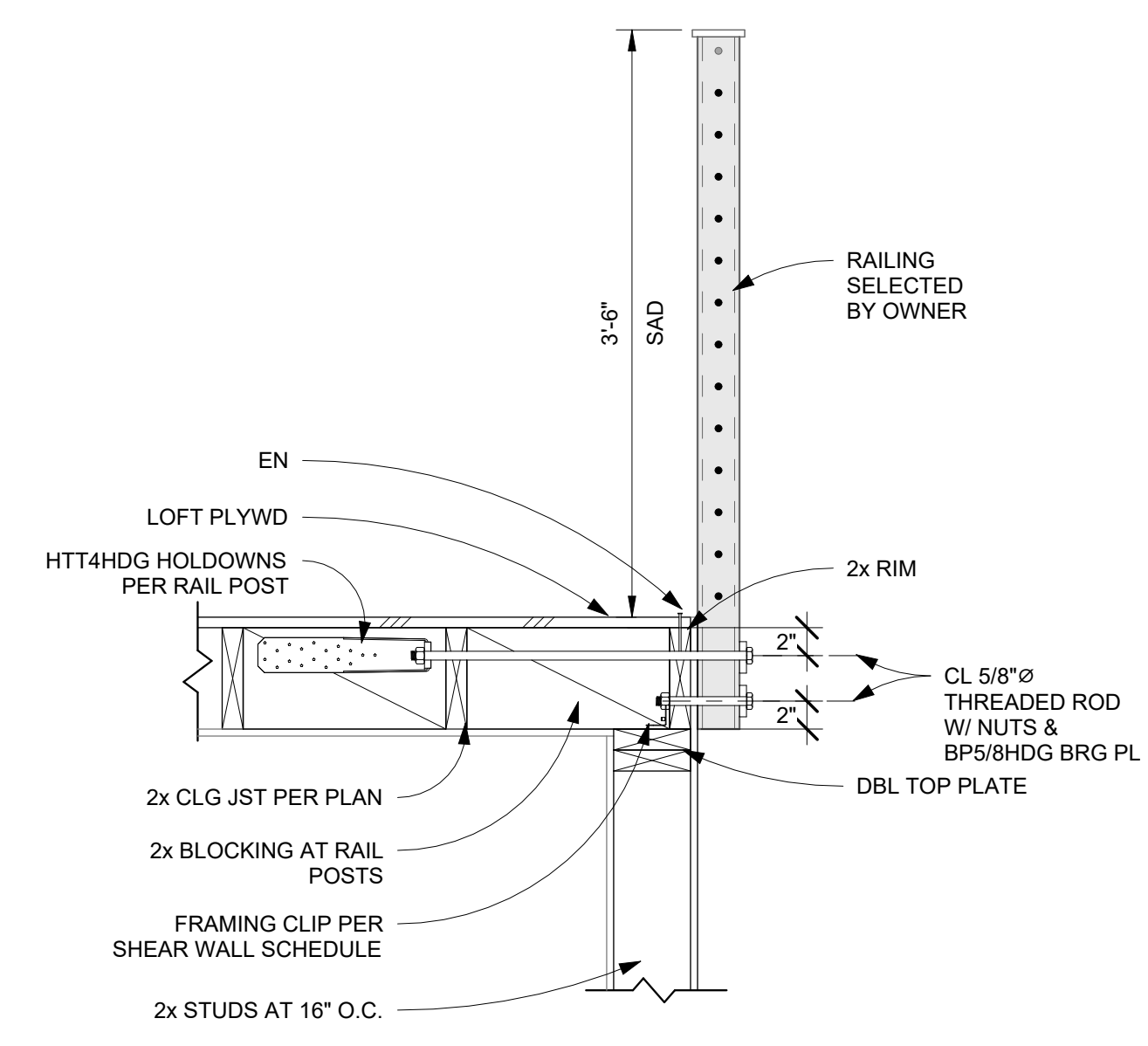
4 LOFT/FLOOR TO WALL CONN
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II
S2.2 1" = 1'-0"



2 LOFT EDGE CONNECTION
S2.2 1" = 1'-0"

SYMBOLS & ABBREVIATIONS (MECHANICAL)

	BT	BYPASS TIMER	EC	ELECTRICAL CONTRACTOR
	CL	CENTER LINE	EDB	ENTERING DRY BULB
	CD	CONDENSATE DRAIN	EOD	EXTENT OF DEMOLITION
	Ø	DIAMETER	ETR	EXISTING TO REMAIN
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWB	ENTERING WET BULB
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	EWT	ENTERING WATER TEMPERATURE
		EXTENT OF DEMOLITION	°F	DEGREES FAHRENHEIT
		EXHAUST DUCT UP, DOWN, FENE # DEMO	FC	FLEXIBLE CONNECTION
		FIRE/SMOKE DAMPER	FD	FIRE DAMPER
		FIRE DAMPER	FLA	FULL LOAD AMPS
		POINT OF CONNECTION	F5D	FIRE SMOKE DAMPER
		P/T PLUG	FT.HD.	FEET HEAD
		RETURN OR EXHAUST AIR	FTR	FLUE THRU ROOF
		RETURN DUCT UP, DOWN, FENE # DEMO	GC	GENERAL CONTRACTOR
		SPEED CONTROL SWITCH	GPM	GALLONS PER MINUTE
		SPIN-IN EXTRACTOR/DAMPER	HP	HORSE POWER
		SUPPLY DUCT UP, DOWN, FENE # DEMO	KW	KILOWATTS
		SUPPLY OR OUTSIDE AIR	LBS	POUNDS
		THERMOSTAT at + 48°	LWT	LEAVING WATER TEMPERATURE
		TO BE REMOVED	MBH	1,000 BTU/HR
		TRANSFER AIR	MC	MECHANICAL CONTRACTOR
		TURNING VANES	(N)	NEW
		VOLUME DAMPER	NC	NOT IN CONTRACT
			NTS	NOT TO SCALE
			OBD	OPPOSED BLADE DAMPER
			OSA	OUTSIDE AIR
			PC	PLUMBING CONTRACTOR
			PENE	PENETRATION
			PD	PRESSURE DROP
			PH	PHASE
			POC	POINT OF CONNECTION
			P/N	PART NUMBER
			PRV	PRESSURE REDUCING VALVE
			PSI	POUNDS PER SQUARE INCH
			P/T	PRESSURE / TEMPERATURE
			RA	RETURN AIR
			RAD	RETURN AIR DUCT
			(RL)	RELOCATE
			RPM	REVOLUTIONS PER MINUTE
			SA	SUPPLY AIR
			SAD	SUPPLY AIR DUCT
			SD	SUPPLY DIFFUSER
			SP	STATIC PRESSURE
			SS	STAINLESS STEEL
			STD	STANDARD
			TV	TURNING VANES
			TYP	TYPICAL
			UCD	UNDERCUT DOOR
			UON	UNLESS OTHERWISE NOTED
			V	VOLT
			VD	VOLUME DAMPER
			VIF	VERIFY IN FIELD
			W	WITH
			WC	WATER COLUMN
			WT	WEIGHT
			W/O	WITH OUT
AD		ACCESS DOOR		
AFF		ABOVE FINISH FLOOR		
AL		ACOUSTICALLY LINED		
AP		ACCESS PANEL		
BD		BALANCING DAMPER		
BDD		BACKDRAFT DAMPER		
BHP		BRAKE HORSE POWER		
BJ		BETWEEN JOIST		
BTU		BRITISH THERMAL UNIT		
C.		CONDUIT		
CA		COMBUSTION AIR		
CD		CONDENSATE DRAIN		
CFM		CUBIC FEET PER MINUTE		
DEMO		DEMOLITION		
DL		DOOR LOUVER		
(E)		EXISTING		
EAD		EXHAUST AIR DUCT		

GENERAL MECHANICAL NOTES

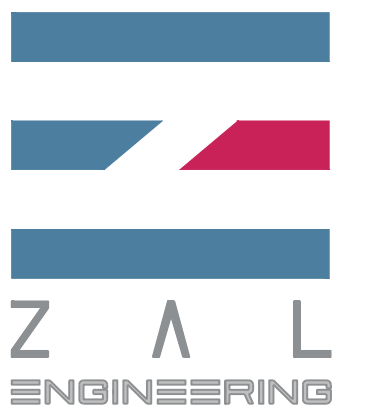
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- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
	CHECK VALVE	CA	COMPRESSED AIR PIPING
	CLEANOUT	CB	CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)	CD	CONDENSATE
	DOMESTIC COLD WATER (NEW)	CFH	CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)	CI	CAST IRON
	DOMESTIC HOT WATER (NEW)	CP	CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (NEW)	DHW	DOMESTIC HOT WATER
	DIRECTION OF FLOW	DHW/R	DOMESTIC HOT WATER RETURN
	DRY STANDPIPE	DCV	DETECTOR CHECK VALVE
	FIRE SPRINKLER PIPING	DN	DOWN
	FLANGED UNION	DS	DOWN SPOUT
	FLOOR DRAIN	DSP	DRY STAND PIPE
	FLOOR SINK	(E)	EXISTING
	FORCE MAIN	EC	ELECTRICAL CONTRACTOR
	GAS PIPING (EXISTING)	EL	ELEVATION
	GAS PIPING (NEW)	(F)	FIRE SPRINKLER PIPING
	GAS COCK	FC	FLEX CONNECTOR
	GATE VALVE	FCO	FLOOR CLEANOUT
	GLOBE VALVE	FD	FLOOR DRAIN
	HOSE BIBB (3/4" MIN.)	FL	FIRE LINE
	PETES PLUG	FM	FORCE MAIN
	PIPE (ABOVE THE CEILING)	FS	FLOOR SINK
	PIPE HANGER	FSC	FIRE SPRINKLER CONTRACTOR
	PIPE TURNING UP (RISE)	GC	GENERAL CONTRACTOR
	PIPE TURNING DOWN (DROP)	GCO	GROUND CLEANOUT
	PIPE TEE DOWN	GPM	GALLONS PER MINUTE
	PRESSURE REDUCING VALVE	HB	HOSE BIBB
	T & P RELIEF VALVE	HWS	HOT WATER SUPPLY
	POINT OF CONNECTION TO EXISTING	IE:	INVERT ELEVATION
	RAIN WATER LEADER (EXISTING)	LAV	LAVATORY
	RAIN WATER LEADER	MC	MECHANICAL CONTRACTOR
	REDUCER	NPW	NON POTABLE WATER
	ROOF DRAIN	(N)	NEW
	STORM DRAIN (EXISTING)	OFD	OVERFLOW DRAIN
	STORM DRAIN (NEW)	PC	PLUMBING CONTRACTOR
	STRAINER	PIC	POST INDICATION VALVE
	SUB-SOIL PIPING	POC	POINT OF CONNECTION
	UNION	POD	POINT OF DEMOLITION
	VENT PIPING (EXISTING)	PP	PETES PLUG
	VENT PIPING (NEW)	PRV	PRESSURE REDUCING VALVE
	WASTE PIPING (EXISTING)	PVC	POLYVINYL CHLORIDE PIPE
	(N) WASTE PIPING (NEW)	RD	ROOF DRAIN
	WASTE PIPING - UNDERGROUND (NEW)	RPB/PF	BACKFLOW PREVENTOR REDUCED PRESSURE
	WET STANDPIPE (EXISTING)	RWL	RAIN WATER LEADER
	WET STANDPIPE (NEW)	SD	STORM DRAIN
	WATERHAMMER ARRESTOR (WHA)	SOV	SHUTOFF VALVE
	TRAP PRIMER (TP)	SS	SANITARY SEWER
		TP	TRAP PRIMER
		V	VENT
		VB	VALVE BOX
		VIF	VERIFY IN FIELD
		VTR	VENT THRU ROOF
		W	WASTE
		WC	WATER CLOSET
		WCO	WALL CLEANOUT
		WH	WATER HEATER
		WHA	WATER HAMMER ARRESTOR
		WM	WATER METER

GENERAL PLUMBING NOTES

- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
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- ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.



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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**GENERAL NOTES
MECHANICAL
& PLUMBING**

NO.	DESCRIPTION	DATE
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ENGINEER BY:

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SHEET NUMBER

MPO. 1

SHEET OF

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BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY SEER	REFR	V/PH	MCA	MOCP	WT. (LBS)	HT. W/O LEVELING	CRTS.	EQUIP. SERVED	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1/5/16	TSTAT.	IU-1	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1/1/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAH2	19.1	R410A	208/1	42	45	278	52-1/1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR.	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL				HEATING COIL			HT W/O	WEIGHT (LBS)	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT °F DB	°F WB	LAT	CAPACITY (MBH)	SENS	EAT °F DB	LAT	CAP				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1

NOTES: 1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.

EXHAUST FAN SCHEDULE													
CODE	MFR.	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR HP	V/PH	HT. W/O ISOLATORS	WEIGHT (LBS)	AREAS SERVED	SONES	COMMENTS
EF-1	PANASONIC	FV-051VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8	1

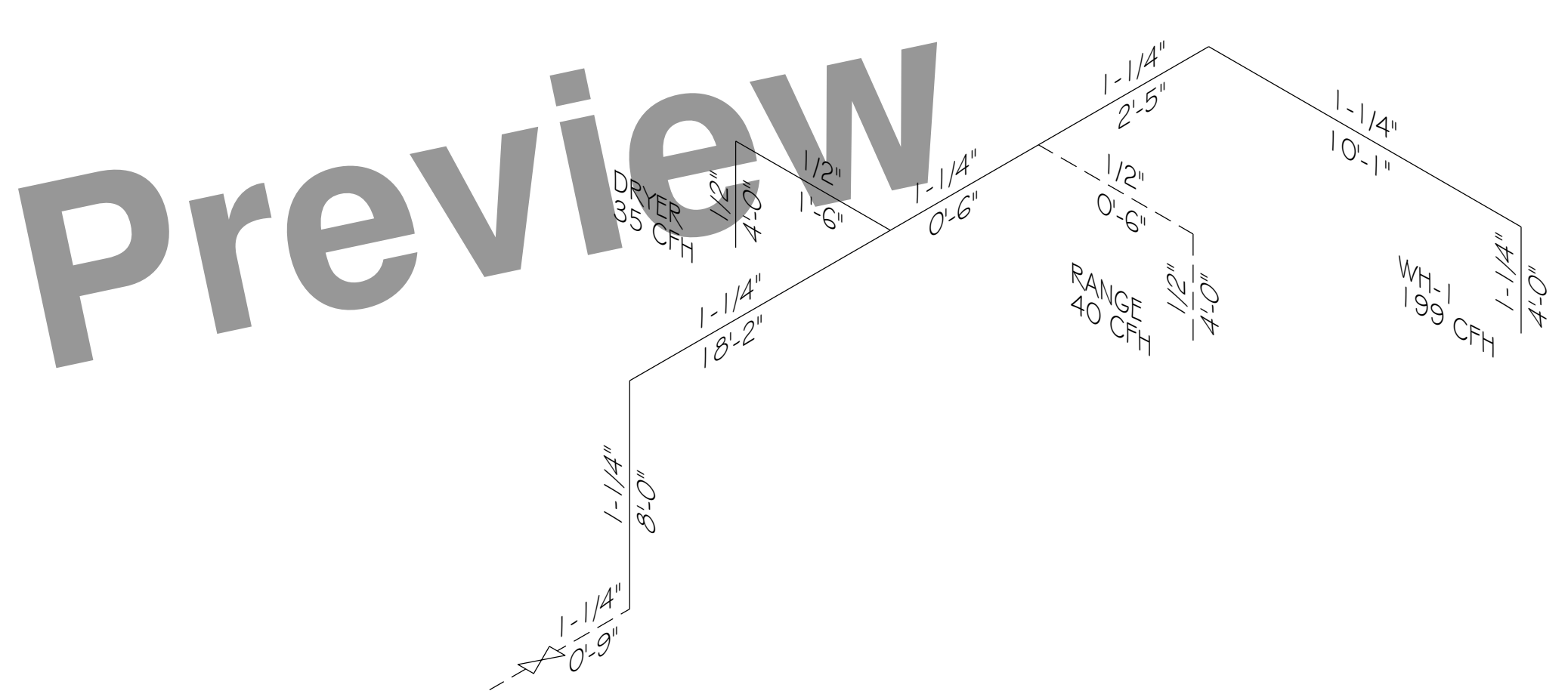
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM	
BT-1	BATHTUB	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	--	--	--	•	3	2	1/2	--	BATHROOMS	1.28 GPF	
SK-1	KITCHEN SINK	--	--	--	•	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM	
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA	
HB-1	HOSE BIB	--	--	--	•	--	--	--	1/2	EXTERIOR WALLS		

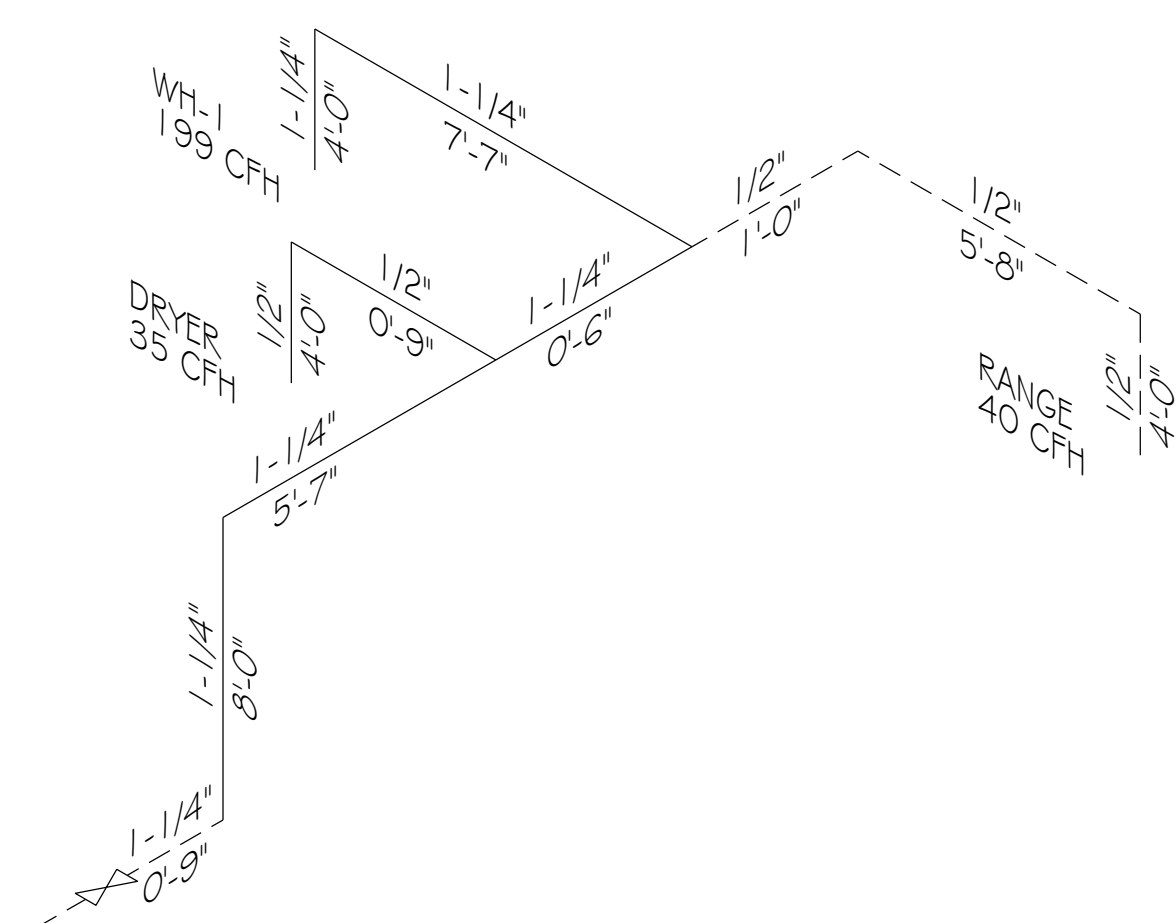
WATER HEATER SCHEDULE														
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY INPUT	TANK CAPACITY	GPH @ FRISE	ELECTRICAL			WEIGHT (LBS)	HEIGHT (IN)	PART NO.	MFG	REMARKS
							H.P.	VOLT	PH					
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	EU199	RINNAI	DEF: 0.93
EW-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	68	XE40T (0HS45) UO	RHEEM	DUCT HEAT REJECTION TO OUTSIDE

BID SET

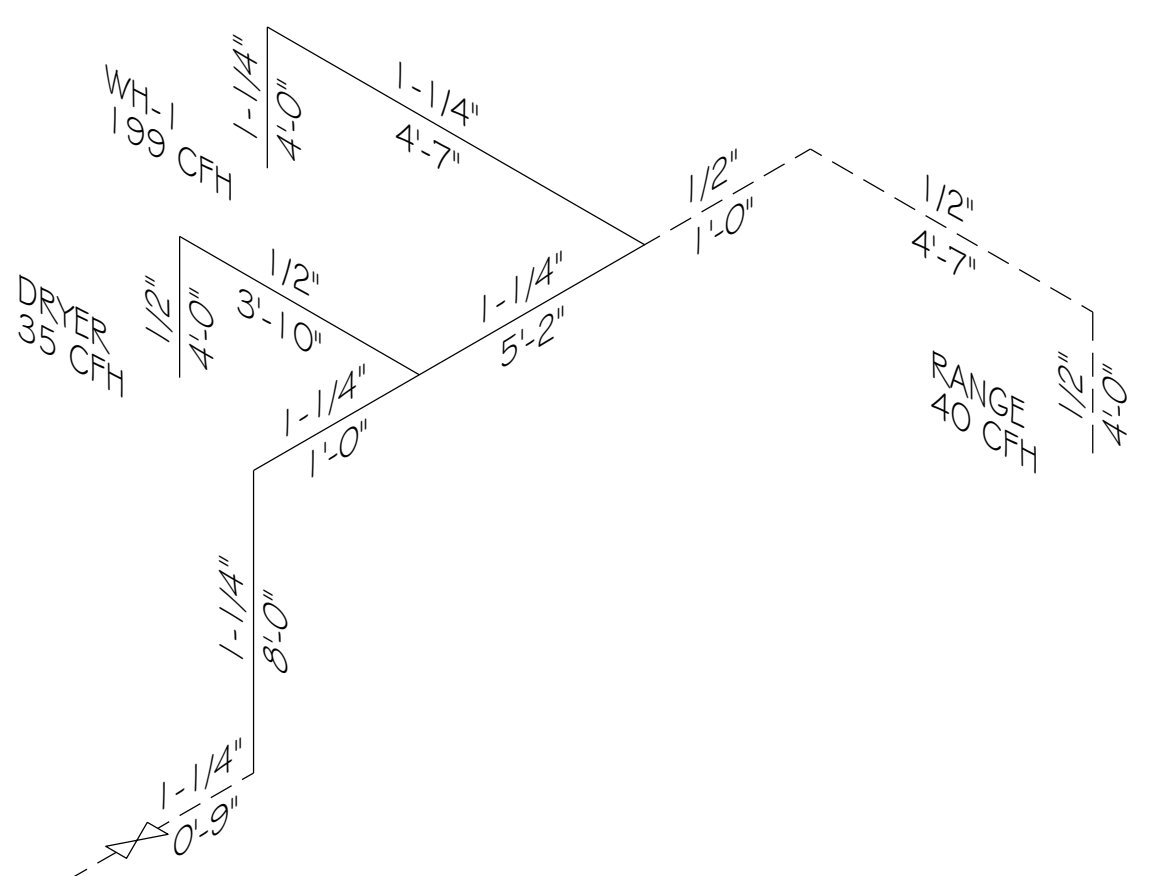
City of Atascadero



3 GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS
MPO.2 NO SCALE



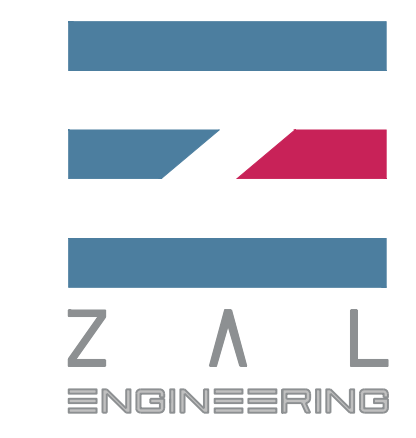
2 GAS ISOMETRIC DIAGRAM - STUDIO
MPO.2 NO SCALE



1 GAS ISOMETRIC DIAGRAM - EFFICIENCY
MPO.2 NO SCALE

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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

SCHEDULES
& GAS
DIAGRAMS
MECHANICAL
& PLUMBING

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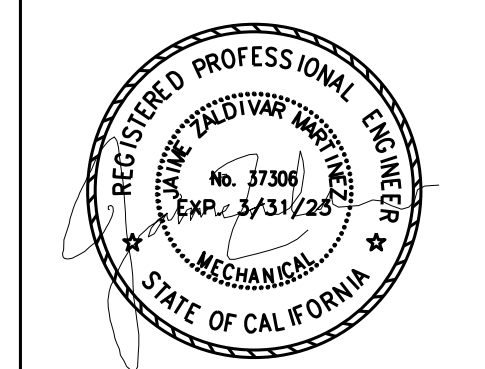
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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED
MECHANICAL
& PLUMBING
PLANS - E**

NO.	DESCRIPTION	DATE
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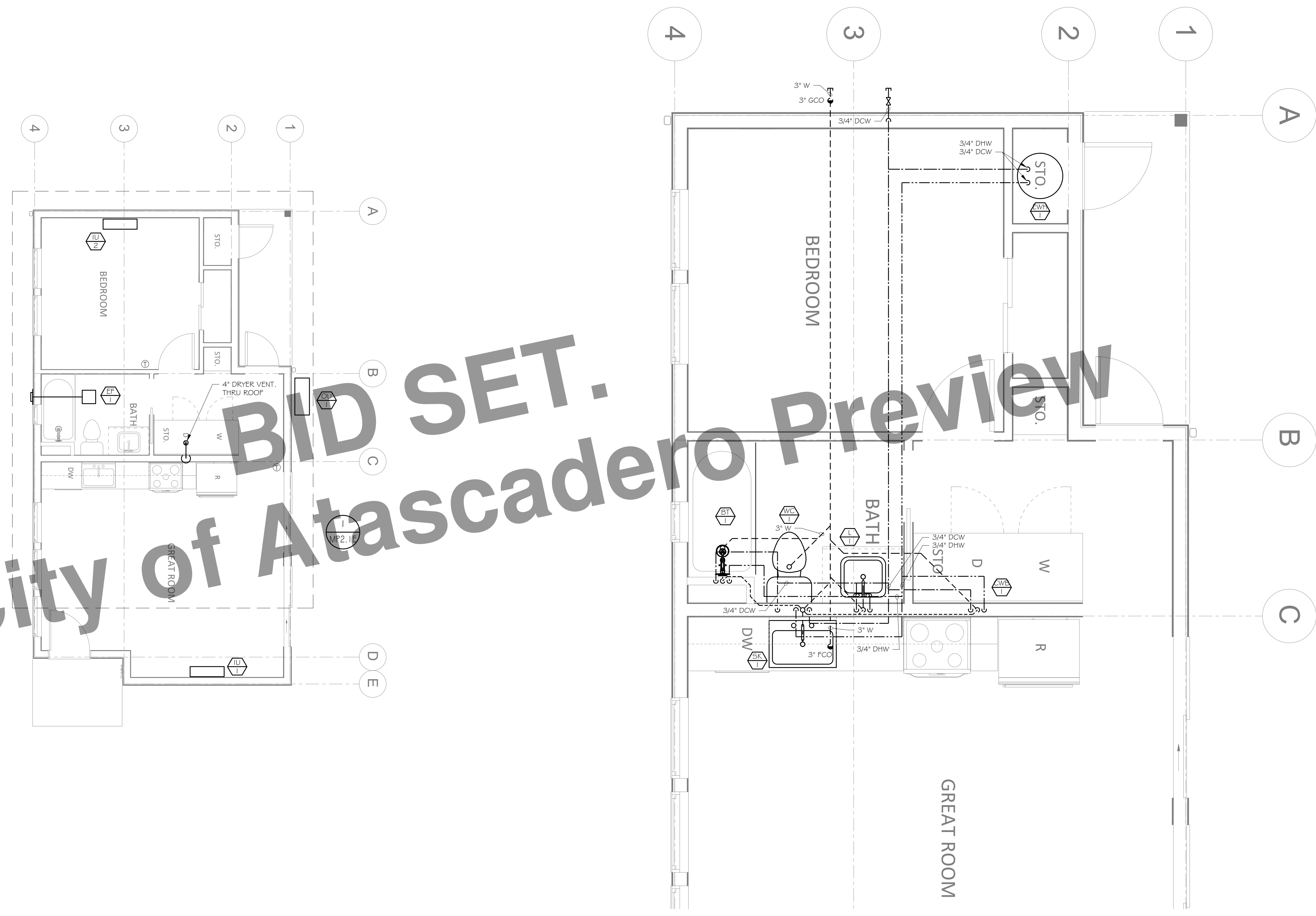
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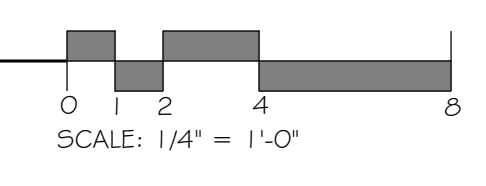
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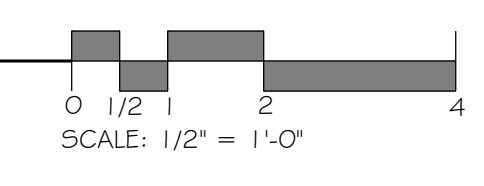
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2 FLOOR PLAN - ONE BED - NEW MECHANICAL
MP2.1E SCALE: 1/4" = 1'-0"



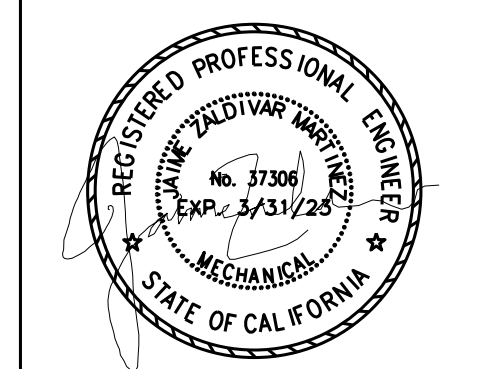
1 ENLARGED FLOOR PLAN - ONE BED - NEW PLUMBING
MP2.1E SCALE: 1/2" = 1'-0"



BID SET.
City Of Atascadero Preview



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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED
MECHANICAL
& PLUMBING
PLANS - H**

NO.	DESCRIPTION	DATE
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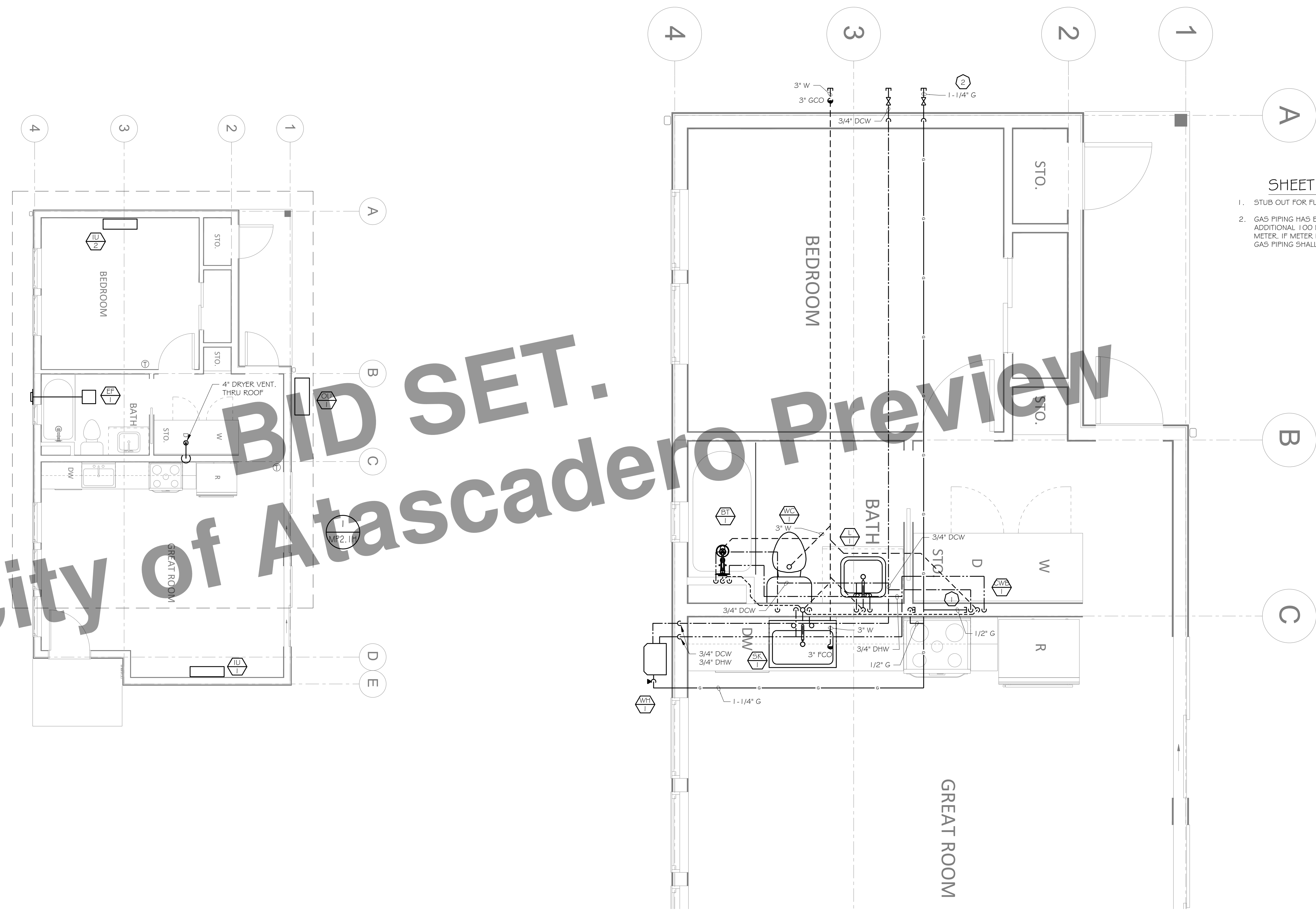
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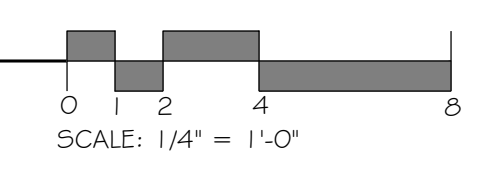
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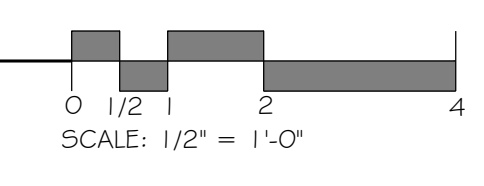


- SHEET NOTES**
1. STUB OUT FOR FUTURE CONNECTION.
 2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

2 FLOOR PLAN - ONE BED - NEW MECHANICAL
SCALE: 1/4" = 1'-0"



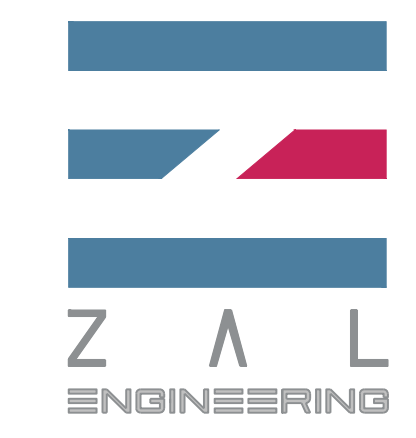
1 ENLARGED FLOOR PLAN - ONE BED - NEW PLUMBING
SCALE: 1/2" = 1'-0"



BID SET.
City of Atascadero Preview

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-G41-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

ONE BED
T24 FORMS
ELECTRIC

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.9B

SHEET OF

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU OB
Calculation Description: Title 24 Analysis
Input File Name: 3_OB_E_C24.rbd22x

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ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
One Bed	Conditioned	OU-11	523.99	8	DHW Sys 1	New

OPAQUE SURFACES - CATHEDRAL CEILING

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	One Bed	R-38 Roof No Attic	180	Back	274.52	0	3	0.75	0.85	Yes

OPAQUE SURFACES - CATHEDRAL CEILING

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	One Bed	R-38 Roof No Attic	180	Back	274.52	0	3	0.75	0.85	Yes
Roof 2	One Bed	R-38 Roof No Attic	0	Front	59.49	0	3	0.75	0.85	Yes
Roof 3	One Bed	R-38 Roof No Attic	0	Front	45.5	0	3	0.75	0.85	Yes

Registration Number: 223-P010107155A-000-000-000000-0000
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Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2023-08-24 17:21:46

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FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Front	0	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Left	90	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Left	90	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Right	270	1.5	3	1	4.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Right	270	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door	Front Wall	21	0.2
Door B	Back Wall	17.5	0.2

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Project Name: Central Coast ADU OB
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OVERHANGS AND FINIS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang				Left Fin				Right Fin				
	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	One Bed	274.52	0.1	none	0	100%	No
Slab-on-Grade 2	One Bed	59.49	0.1	none	0	100%	No
Slab-on-Grade 3	One Bed	45.5	0.1	none	0	100%	No
Slab-on-Grade 4	One Bed	144.48	0.1	none	0	100%	No

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Project Name: Central Coast ADU OB
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ENERGY USE SUMMARY

Energy Use	Standard Design Source Energy (EDR1) (kBtu/h ² -yr)	Standard Design TDV Energy (EDR2) (kWh/h ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/h ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/h ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.82	12.41	1.85	14.68	-0.03	-2.27
Space Cooling	0.85	32.55	0.85	30.67	0.27	1.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.57	29.98	1.2	10.66
Self Utilization/Flexibility Credit						0
South Facing Efficiency Compliance Total	7.45	96.46	5.84	84.36	1.61	12.1
Space Heating	1.82	12.41	1.85	18.8	-0.53	-6.39
Space Cooling	0.85	32.55	0.85	20.9	0.55	11.65
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	3.77	40.64	2.59	30.14	1.18	10.5
Self Utilization/Flexibility Credit						0
West Facing Efficiency Compliance Total	7.45	96.46	6.08	78.87	1.37	17.59

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ENERGY USE INTENSITY

	Standard Design (kBtu/h ² -yr)	Proposed Design (kBtu/h ² -yr)	Compliance Margin (kBtu/h ² -yr)	Margin Percentage
North Facing	30.07	28.03	2.04	6.78
Gross EU ¹	30.07	28.03	2.04	6.78
Net EU ²	12.49	10.45	2.04	16.33
East Facing	30.07	27.22	2.85	9.48
Gross EU ¹	30.07	27.22	2.85	9.48
Net EU ²	12.49	9.64	2.85	22.82
South Facing	30.07	27.39	2.68	7.58
Gross EU ¹	30.07	27.39	2.68	7.58
Net EU ²	12.49	10.21	2.28	18.25
West Facing	30.07	27.93	2.14	7.12
Gross EU ¹	30.07	27.93	2.14	7.12
Net EU ²	12.49	10.35	2.14	17.13

Notes:
1. Gross EU is Energy Use Total (not including PV) / Total Building Area.
2. Net EU is Energy Use Total (including PV) / Total Building Area.

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REQUIRED PV SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kW)	Exception	Module Type	Array Type	Power Electronics	CFI	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)	
1.7	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	23.2	96	98

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.30303 W/CFM
- IAQ Ventilation System: Heat Recovery: minimum 80 BRE and 83 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- IAQ Ventilation System: fault indicator display
- Cool roof
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed.

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2s and CF3s are required to be completed in the HERS Registry

- Quality Insulation Installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump rated heating capacity

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OB	523.99	1	1	1	0	1

Registration Number: 223-P010107155A-000-000-000000-0000
Registration Date/Time: 2023-08-25 17:19:50
HERS Provider: CalCERTS, Inc.
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Project Name: Central Coast ADU OB
Calculation Description: Title 24 Analysis
Input File Name: 3_OB_E_C24.rbd22x

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GENERAL INFORMATION

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Project Name	Run Title	City	Zip code	Climate Zone	Building Type	Project Scope	Addition Cond. Floor Area (ft ²)	Existing Cond. Floor Area (ft ²)	Total Cond. Floor Area (ft ²)	ADU Bedroom Count	Standards Version	Software Version	Front Orientation (deg/ Cardinal)
Central Coast ADU OB	Title 24 Analysis	Atascadero	93423	4	Single Family	Newly Constructed	0	n/a	523.99	n/a	2022	EnergyPro 9.0	All Orientations
													Number of Dwelling Units
													Number of Bedrooms
													Number of Stories
													Fenestration Average U-factor
													Glazing Percentage (%)

COMPLIANCE RESULTS

01	02	03
Building Complies with Computer Performance	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CE-approved HERS provider.	This building incorporates one or more Special Features shown below

Registration Number: 223-P010107155A-000-000-000000-0000
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU OB
Calculation Description: Title 24 Analysis
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ENERGY DESIGN RATINGS

	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	30.4	30.9	30.6			
Proposed Design						
North Facing	28.3	25	27.1	2.1	5.9	3.5
East Facing	27	21.8	25.3	3.4	9.1	5.3
South Facing	27.8	27	28.3	2.6	3.9	2.3
West Facing	28.1	25.2	27.3	2.3	5.7	3.3

RESULT: PASS

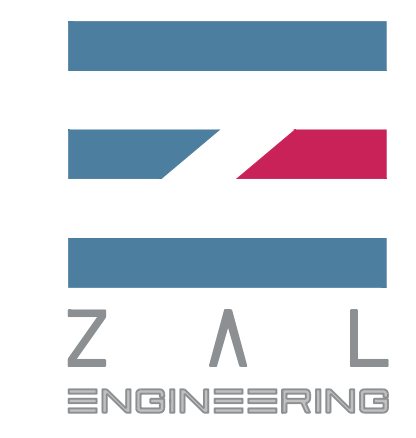
¹Efficiency EDR includes improvements like a better building envelope and more efficient equipment.
²Total EDR includes efficiency and demand response measures such as plug-in-hybrid (PHEV) system and batteries.
³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.

- Standard Design PV Capacity: 1.70 kWdc
- Proposed PV Capacity Scaling: North (1.70 kWdc) East (1.70 kWdc) South (1.70 kWdc) West (1.70 kWdc)

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Report Version: 2022.0.000
Schema Version: rev 20220

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contact@zalengineering.com
831-641-7739
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ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED
T24 FORMS
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:
DRAWN BY:
CHECKED BY:
SHEET NUMBER
T24.10B
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BID SET.
City of Atascadero Preview

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E (Page 12 of 13)
Project Name: Central Coast ADU 08
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-24T19:21:10-05:00
Input File Name: 3_OR_E_C24.rbd22x

01	02	03	04	05	06	07	08	09
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

01	02	03	04	05	06	07	08	09	10	11	12	13
Heat Pump System 1	Ductless MiniSplit HP	HSPF	11.8	14200	9400	EER/SEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump	

01	02	03	04	05	06	07	08	09
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

01	02	03	04	05	06	07	08	09
Sfam IAQventRpt 1-1	66	0.30303	balanced	Yes	83	No	Yes	

Registration Number: 223-P010107155A-000-0000000-0000
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HERS Provider: CalCERTS Inc.
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E (Page 11 of 13)
Project Name: Central Coast ADU 08
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-24T19:21:10-05:00
Input File Name: 3_OR_E_C24.rbd22x

01	02	03	04	05	06	07	08
DHW Heater 1	1	40	Rheem	RheemXE40T10H22U 0	Outside	One Bed	One Bed

01	02	03	04	05
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07
DWelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

01	02	03	04	05	06	07
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E (Page 10 of 13)
Project Name: Central Coast ADU 08
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Calculation Date/Time: 2023-08-24T19:21:10-05:00
Input File Name: 3_OR_E_C24.rbd22x

01	02	03	04	05	06	07	08
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-22	5 / None	0.047	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-39	None / None	0.028	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board

01	02	03	04	05
Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

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Project Name: Central Coast ADU 08
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-24T19:21:10-05:00
Input File Name: 3_OR_E_C24.rbd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jaime Zaldivar
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
City/State/Zip: Monterey, CA 93940

Signature Date: 2023-08-25 17:19:50
Signature: [Signature]
Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify that the energy ratings and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. I certify that the energy ratings and performance specifications identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jaime Zaldivar
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
City/State/Zip: Monterey, CA 93940

Signature Date: 2023-08-25 17:19:50
Signature: [Signature]
Phone: 831-641-7739

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010107155A-000-0000000-0000
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Central Coast ADU OB
 Calculation Date/Time: 2023-08-25T18:17:45-05:00
 Calculation Description: Title 24 Analysis
 Input File Name: 3_OB_H_C24.rbd22x

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OPAQUE SURFACES - CATHEDRAL CEILING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang				Left Fin				Right Fin				
	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window OP 2	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.8	0.8	5	5	0.75	0	0	0	0	0	0	0	0

SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	IU-1&2	274.52	0.1	none	0	100%	No
Slab-on-Grade 2	IU-1&2	59.49	0.1	none	0	100%	No
Slab-on-Grade 3	IU-1&2	45.5	0.1	none	0	100%	No
Slab-on-Grade 4	IU-1&2	144.48	0.1	none	0	100%	No

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FENESTRATION / GLAZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	U-factor	U-factor Source	SHGC	SHGC Source
Roof 4	IU-1&2	R-38 Roof No Attic	315	n/a	144.48	0	3	0.75	0.85	Yes				
Window 2	Window	Lateral 1 Wall	135	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen		
Window 3	Window	Lateral 1 Wall	135	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen		
Window OP	Window	Lateral 2 Wall	225	6	7	3	42	0.27	NFRC	0.23	NFRC	Bug Screen		
Window OP 2	Window	Lateral 2 Wall	225	6	7	3	42	0.27	NFRC	0.23	NFRC	Bug Screen		
Window 4	Window	Lateral 1 Wall 2	45	1.5	3	1	4.5	0.27	NFRC	0.23	NFRC	Bug Screen		
Window 5	Window	Lateral 1 Wall 3	45	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen		
Window 6	Window	Lateral 1 Wall 3	45	3	4	1	12	0.27	NFRC	0.23	NFRC	Bug Screen		

OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door	Front Wall	21	0.2
Door B	Back Wall	17.5	0.5

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ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
IU-1&2	Conditioned	OU-11	523.99	8	DHW Sys 1	New

OPAQUE SURFACES - CATHEDRAL CEILING										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	U-factor	U-factor Source	SHGC
Front Wall	IU-1&2	R-21 Wall	315	n/a	143.92	21	90			
Lateral 1 Wall	IU-1&2	R-21 Wall	135	n/a	128	36	90			
Lateral 2 Wall	IU-1&2	R-21 Wall	225	n/a	128	84	90			
Lateral 2 Wall 2	IU-1&2	R-21 Wall	225	n/a	52.33	0	90			
Back Wall	IU-1&2	R-21 Wall	135	n/a	46.45	17.5	90			
Lateral 1 Wall 2	IU-1&2	R-21 Wall	45	n/a	30	4.5	90			
Lateral 1 Wall 3	IU-1&2	R-21 Wall	45	n/a	30	4.5	90			
Lateral 2 Wall 3	IU-1&2	R-21 Wall	315	n/a	42.99	0	90			
Back Wall 2	IU-1&2	R-21 Wall	135	n/a	93.66	0	90			
Interior Surface	IU-1&2>IU-1&2	R-0 Wall	n/a	n/a	93.66	0	n/a			

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REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
1.7	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	23.2	96	98

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 • IAQ Ventilation System: as low as 0.30303 W/CFM
 • IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
 • IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
 • IAQ Ventilation System: fault indicator display
 • Cool roof
 • Window overhangs and/or fins
 • Compact distribution system basic credit
 • Recirculating with demand control, occupancy/motion sensor

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2s and CF3s are required to be completed in the HERS Registry
 • Quality insulation installation (QI)
 • Indoor air quality ventilation
 • Kitchen range hood
 • Verified heat pump rated heating capacity

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OB	523.99	1	1	1	0	1

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
North Facing				
Gross EU ¹	40.02	37.93	2.83	7.07
Net EU ²	22.44	19.61	2.83	12.61
East Facing				
Gross EU ¹	40.02	37.4	2.64	6.55
Net EU ²	22.44	19.82	2.62	11.68
South Facing				
Gross EU ¹	40.02	37.45	2.58	6.45
Net EU ²	22.44	19.86	2.58	11.5
West Facing				
Gross EU ¹	40.02	37.24	2.78	6.95
Net EU ²	22.44	19.66	2.78	12.39

1. Gross EU is Energy Use Total (not including PV) / Total Building Area.
 2. Net EU is Energy Use Total (including PV) / Total Building Area.

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ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² - yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² - yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² - yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.48	11.01	1.25	9.44	0.23	1.57
Space Cooling	0.73	30.39	0.51	24.51	0.21	5.88
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	17.16	110.67	14.96	95.76	2.2	14.91
Space Heating	1.48	11.01	1.02	7.48	0.46	3.53
Space Cooling	0.73	30.39	0.51	22.92	0.22	7.47
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
West Facing Efficiency Compliance Total	17.16	110.67	14.72	92.21	2.44	18.46

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ENERGY DESIGN RATINGS						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² - yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² - yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² - yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.48	11.01	0.75	5.63	0.73	5.38
Space Cooling	0.73	30.39	0.52	26.57	0.11	3.82
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	17.16	110.67	14.56	94.01	2.6	16.66
Space Heating	1.48	11.01	1.07	8.06	0.41	2.95
Space Cooling	0.73	30.39	0.65	29.62	0.08	0.77
IAQ Ventilation	1.01	10.86	0.84	9.03	0.17	1.83
Water Heating	13.94	58.41	12.35	52.78	1.59	5.63
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	17.16	110.67	14.91	99.49	2.25	11.18

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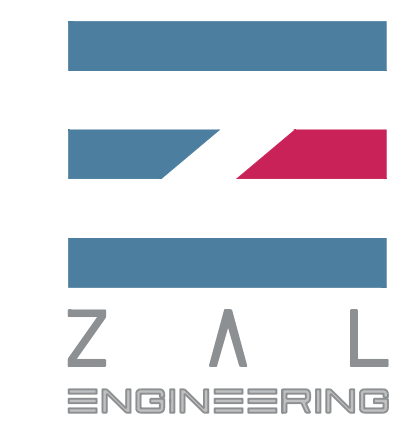
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Energy Design Ratings	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	49.9	51.9	43.7			
Proposed Design						
North Facing	45.5	44	39.7	4.4	7.9	4
East Facing	46	46.6	41	3.9	5.3	2.7
South Facing	46.1	44.9	40.1	3.8	7	3.6
West Facing	45.7	43.2	39.2	4.2	8.7	4.5

1. Efficiency EDR includes improvements like a

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.
Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED
T24 FORMS
HYBRID**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER
T24.12B

SHEET OF
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BID SET.
City of Atascadero

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01	02	03	04	05	06	07	08	09
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

01	02	03	04	05	06	07	08	09	10	11	12	13
Heat Pump System 1	Ductless MiniSplit HP	HSPF	10	22000	15000	EER/SEER	20	12.7	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump	

01	02	03	04	05	06	07	08	09
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	No	No	Yes	Yes

01	02	03	04	05	06	07	08	09
Sfam IAQventRpt 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

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01	02	03	04	05	06	07	08	09	10	11	12	13
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Btu/hr	200000	0	n/a	n/a	

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07
Dwelling Unit Type	Water Heating System Name	Master Bath Distance of Furthest Fixture to Water Heater (ft)	Niche distance of Furthest Fixture to Water Heater (ft)	Furthest Third Furthest Fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

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01	02	03	04	05	06	07	08
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-30	4.2 / None	0.041	Inside Finish: Gypsum Board Sheathing / Insulation: R-4.2 Sheathing Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-39	None / None	0.029	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-39 / 2x12 Inside Finish: Gypsum Board
R-0 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

01	02	03	04	05	06	07	08	09
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

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