ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedrom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION and APPLY FOR YOUR PERMIT 1. Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on

- Sheet G0.0. 2. Review the plan set. Choose your exterior style and mechanical system options.
- Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- 4. If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website. 6. If you would like to modify this stock plan, submit your revisions for City Review.
- Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

- 1. All submitted plan sets must be accompanied by a Building Permit Application.
- 2. All applications must include a site survey.

BUILDING DEPARTMENT

- 1. All applications must include a Construction Waste Management Plan.
- 2. The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

PHOTOVOLTAIC SYSTEM (ALL PROJECTS)

RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

- 1A. Atascadero Municipal Code
- 1. California Building Code
- 2. California Residential Code
- 3. California Electrical Code

4. California Plumbing Code **PROJECT INFORMATION**

PROJECT INFORMATION OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE	
PARCEL INFORMATION	
APN	PROJECT DIRECTORY
STREET ADDRESS	ARCHITECT OF RECORD CONSULTING ARCHITECT
CITY, STATE, ZIP	WORKBENCHRYAN BROCKETT ARCHITECT INC.189 Walnut Avenue Santa Cruz, CA 95060104 S. Main St. Unit B Templeton, CA 93565831.227.2217805.400.3025info@workbenchbuilt.cominfo@brockitecture.com
LOT SIZE (in SF)	STRUCTURAL ENGINEER MECHANICAL & PLUMBING ENGINEER
EXISTING HOME SIZE (in SF)	CM TAYLOR STRUCTURAL ENGINEERING, INCZAL ENGINEERING4245 Capitola Rd, Suite #204 Capitola, CA 9501099 Pacific St, Suite #375G Monterey, CA 93940831.854.2484831.641.7739
PARCEL OVER 10% SLOPE YES NO PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.	contact@cmtaylorse.com contact@zalengineering.com
SRA FIRE HAZARD APPLICABLE NOT APPLICABLE SEVERITY ZONE (WUI) PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A, UNFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.	SCOPE OF WORK
PROJECT INFORMATION	CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 746 GROSS SQUARE FOOT (GSF)
NUMBER OF STORIES ONE (1)	ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF ONE BEDROOM, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN.
OCCUPANCY GROUP - R3 TYPE OF CONSTRUCTION - STANDARD/TYPE VB	THE GREAT ROOM MAY BE DIVIDED TO CREATE A SECOND BEDROOM.
MAIN RESIDENCE HAS FIRE SPRINKLERS	REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.
SERVED BY SEPTIC SYSTEM YES NO	PROJECT CHECKLIST CLEARLY MARK THE BOX FOR EACH SELECTION
PROPERTY OWNER	ARCHITECTURAL STYLE (SELECT ONE)
NAME	COASTAL RANCHFor this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
ADDRESS	BACKYARD CRAFTSMAN For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2
CITY, STATE, ZIP	CALIFORNIA MODERN For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
PHONE/EMAIL	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4
PROJECT CONTRACTOR	ROOFING MATERIAL (SELECT ONE)
NAME	For this option, use the listed sheets and details: Roof Details: A5.2
ADDRESS	METAL STANDING SEAM For this option, use the listed sheets and details: Roof Details: A5.2
CITY, STATE, ZIP	APPLICANT REVISION
	PRIMARY SIDING MATERIAL (SELECT ONE)
PHONE/EMAIL	VERTICAL PLANK FIBER CEMENT For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
DRAWING INDEX CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST	For this option, use the listed sheets and details:
GENERAL SHEETS G0.0 COVER SHEET & PROJECT INFORMATION	HORIZONTAL LAP FIBER CEMENT For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
G0.1 OWNER PROVIDED SITE PLAN G1.0 GENERAL NOTES	SHINGLE FIBER CEMENT For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
G2.0 CAL GREEN/GREEN BUILDING REQUIREMENTS G2.1 CAL GREEN/GREEN BUILDING REQUIREMENTS ARCHITECTURAL	STUCCO For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
A1.0 RANCH - FLOORPLANS & ELEVATIONS	APPLICANT REVISION
A1.1 RANCH - ROOF PLAN & RCP A1.2 RANCH - SECTIONS	DESIGN OPTIONS (SELECT IF DESIRED)
A2.0 CRAFTSMAN - FLOORPLANS & ELEVATIONS A2.1 CRAFTSMAN - ROOF PLAN & RCP	CURBLESS SHOWER Requires foundation coordination. See detail 4/A5.3
A2.2 CRAFTSMAN - SECTIONS A3.0 MODERN - FLOORPLANS & ELEVATIONS A3.1 MODERN - ROOF PLAN & RCP	WALL AT GREAT ROOM/DEN Requires framing coordination. See detail 6/A5.3
A3.2 MODERN - SECTIONS A4.0 BUNGALOW - FLOORPLANS & ELEVATIONS	EXTERIOR SLIDING DOOR AT DEN Requires framing coordination.
A4.1 BUNGALOW - ROOF PLAN & RCP A4.2 BUNGALOW - SECTIONS	APPLICANT REVISION
A5.0 EXTERIOR WALL ASSEMBLY DETAILS A5.1 EXTERIOR WALL ASSEMBLY DETAILS	MECHANICAL SYSTEM (SELECT ONE) For this option, use the listed sheets and details:
A5.2 EXTERIOR DETAILS A5.3 INTERIOR DETAILS & WALL PARTITIONS	ALL-ELECTRIC SYSTEM ALL-ELECTRIC SYSTEM Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
A6.0 SCHEDULES - ONE BEDROOM PLUS STRUCTURAL	HYBRID (ELECTRIC W/ GAS H20 HEATER) For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H
S0.0 STRUCTURAL NOTES S0.1 TYPICAL DETAILS	GAS RANGE
\$1.0ROOF/CEILING FRAMING & FOUNDATION PLAN\$2.0FOUNDATION DETAILS	REQUIRED COMPLIANCE (CHECK IF APPLICABLE)
S2.1 ROOF FRAMING DETAILS S2.2 ROOF FRAMING DETAILS (CONT.) MECHANICAL	PARCEL LOCATED WITHIN PARCELS WITHIN THE WUI/SRA ZONE MUST USE WILDLAND URBAN INTERFACE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND WUI/SRA ZONE MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES;
MP0.1 GENERAL NOTES- MECHANICAL AND PLUMBING MP0.2 SCHEDULES & GAS DIAGRAMS	WUI/SRA ZOINE USE A5.1 "EXTERIOR DETAILS - WUI ZONES" WITHIN 3-5 FT OF PROPERTY LINE, THE WALL
MP2.1E MECHANICAL & PLUMBING PLANS - ELECTRIC MP2.1H MECHANICAL & PLUMBING PLANS - HYBRID	EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE AREA OF OPENINGS LIMITED TO 25% OF THE WALL
ENERGY COMPLIANCE/TITLE 24 T24.13B TITLE 24 FORMS- ELECTRIC	AREA. REFERENCE A5.0 "FIRE RATING NOTES" SITE PLAN (REQUIRED)
T24.13B TITLE 24 FORMS- ELECTRIC T24.14B TITLE 24 FORMS- ELECTRIC T24.15B TITLE 24 FORMS - HYBRID	STE PLAN (REQUIRED) OWNER PROVIDED SITE PLAN COMPLETE Complete Sheet G0.1, Owner-Provided Site Plan
T24.15B TTLE 24 FORMS - HYBRID T24.16B TTLE 24 FORMS - HYBRID	

- 5. California Mechanical Code
- 6. California Fire Code
- 7. California Green Building Standards Code 8. California Energy Efficiency Standards Code

OWNER/APPLICANT:



CENTRAL COAST PRE-DESIGNED ADU CITY REVIEW SET

REA CALCULATIONS - ONE BEDROOM PLUS DWELLING UNIT - 746 GSF EXT. COVERED PORCHES - 122.5 GSF

CALIFORNIA MODERN - PERSPECTIVE VIEW

ASTAL RANCH EXTERIOR - PERSPECTIVE VIEW











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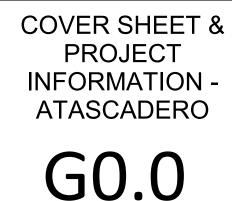
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	ning the below information. This checklist is provided to help guide applicants through the creation of their project's site plan.
Atascadero Residents - reference "Elements of A Site Plan" docum	nent published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvement
SITE PLAN INFORMATION	EXPLANATION
NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROU
SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LIN WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE
EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMEN
LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS INCLUDE PROPANE TANK IF APPLICABLE.
LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES.
FOOTPRINT OF PROPOSED ADU	INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED. "FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED J
DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HA BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
PARKING SPACES, TRAFFIC FLOW DIRECTION	
PLANTED AREAS AND OUTDOOR USE AREAS	
LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
LOCATION TO NEAREST FIRE HYDRANT	

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT

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SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU

) THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR

LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. ANK IF APPLICABLE.

POSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS

LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. ON BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM: ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS



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2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

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SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

N	NORTH ARROW (INDICATES LOCATION OF NORTH)
6' - 0"	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12^q

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

OWNER PROVIDED SITE PLAN -ATASCADERO

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GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND **REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK**
- 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- 12. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- 13. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY **REQUIREMENTS.**
- 16. MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- 17. CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS. 18. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING
- CONSTRUCTION. 19. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED
- AND PROVIDED DURING THE CONSTRUCTION PERIOD. 20. PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE
- MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- 21. CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- 22. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- 23. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 24. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND < 27. ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. 28. CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED
- BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- 30.
- 31.
- APPROVED BY THE ENFORCING AGENCY.

WUI NOTES

CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5 PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5 ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1 FOLLOWING:

- 2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- 3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3 WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PREFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6 THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES STHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE 5. RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9 WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE 7. MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8 EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

29. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED. ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL

APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT 4 32. PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS

33. PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE

1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

LIGHTING NOTES

- 1. ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE STA GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONT BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT L MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMI DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0 ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS S CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSE
- 70 SQ. FT. AND HALLWAYS). CEC 150.0(K)(2K) A. CEILING RECESSED DOWNLIGHT LUMINARIES
- LED LUMINARIES WITH INTEGRAL SOURCES
- C PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
- D. GU-24 BASED LED LIGHT SOURCES
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOV FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. T SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPE CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWIT SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CA OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING F LIGHTING SYSTEMS CEC150.0(K)2L
- 7. ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL FOLLOWING REQUIREMENTS:
 - A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANC CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIO RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WIT LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDAN ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIR CERTIFIED AIRTIGHT; AND
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN C AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAU
 - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALL D. OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUI CUTTING OF HOLES IN THE CEILING; AND
 - SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCE APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQU AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFEREN APPENDIX JA8.

3. IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY SENSOR.

- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/ AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
- PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
- ASTRONOMICAL TIME SWITCH CONTROL
- ENERGY MANAGEMENT CONTROL SYSTEMS D. 10. ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- 11. ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL **KITCHEN COUNTERTOPS, BATHROOM** COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND **REQUIRED LOCATIONS PER CEC 210.8.** KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET. 3. PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN. PROVIDE SEPARATE CIRCUIT FOR ELECTRIC 4
- RANGE AS REQUIRED BY CEC 210.19. PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT
- PROVIDE SEPARATE CIRCUIT FOR DISWASHER. 6. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- 9. PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- 10. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
- CEC406.12. THAN 32 KG (70 LB). 20.

ABBRE	FIONS

	ABB
ART MH, HPS, SOURCE, ETC.) TAIN SCREW- LIGHT SOURCES IINARIES ARE D(K)G SHALL BE ETS LESS THAN	AB AC AD ADJ AFF AL ALUM ALT ARCH AVG BD BLDG BLLG BLKG BTM BTWN BUR BW
E THE FINISHED THESE BOXES ED CONTROL. CHED AN BE TURNED	CB CF CJ CLKG CLG CLR CO COTG COL CONC CONC CONT CT CT CTR CW
OF THE CE INSULATION ONALLY H AIR LEAKAGE NCE WITH RED TO BE	DBL DEPT DIA DIAG DIM DL DN DR DWG DW
E HOUSING CONDITIONED ULK; AND OW BALLAST ACCESSIBLE TO RING THE	(E) EA EJ ELEC ELEV EN ENCL EP EQUIP EXT
CES JOINT IREMENTS, CE JOINT Y A VACANCY /OFF SWITCH	FD FF FIN FLSHG FLR FOC FOS FOW FRMG FT
	FTG GA GALV GC GWB

ANCHOR BOLT ASPHALT CONCRETE AREA DRAIN ADJACENT ABOVE FINISH FLOOR ALIGN ALUMINUM ALTERNAT ARCHITECT/ARCHITECTURAL AVERAGE BOARD BUILDING BLOCKING BOTTOM BETWEEN **BUILT-UP ROOFING** BOTH WAYS CATCH BASIN CUBIC FEET CONTROL JOINT CAULKING CEILING CLEAR CLEANOUT **CLEANOUT TO GRADE** COLUMN CONCRETE CONTINUOUS **CERAMIC TILE** CENTER COLD WATER DOUBLE DEPARTMENT DIAMETER DIAGONAL DIMENSION DEAD LOAD DOWN DOOR DRAWING DISHWASHER **EXISTING** FACH **EXPANSION BOLT EXPANSION JOINT** ELECTRIC/ELECTRICA ELEVATOR/ELEVATION EDGE NAILING ENCLOSURE ELECTRICAL PANEL EQUIPMENT EXTERIOR FLOOR DRAIN **FINISH FLOOR** FINISH FLOW LINE FLASHING FLOOR FACE OF CONCRETI FACE OF STUD FACE OF WALL FRAMING FOOT FOOTING GAUGE GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD HOSE BIB HOLDOWN HEADER HANGER HOLLOW METAL HORIZONTAL

INSUL INTERIOR INT JOINT KIT **KITCHEN** LAG BOLT LB LBS POUNDS LIVE LOAD LAG SCREW MAX MAXIMUM MB MECH MFD MFR MICRO MIN MINIMUM MISC MTD MOUNTED MTL METAL NEW (N) NIC NA NTS 0/ OVER OC OH OPNG OPENING PI ATF PI F **PLYWD** PLYWOOD PTD PAINTED PSF **PVMT** PAVEMENT RA RCP RD REFERENCE REF REFR REQD REQUIRED REV REVISION RM ROOM RO SCHED SCHEDULE SD SEC SECTION SED SPEC SPD SSD STANDARD STD STEEL STL STRUCT SUSP TEMPERED тос TYP TYPICAL UON ENT VERT VERTICAL VIF WITH WOOD WD WINDOW WITHOUT w/o

INCH/INCHES INFORMATION INSULATION

INFC

LINEAR FOOT

MACHINE BOLT MECHANICAL MANUFACTURED MANUFACTURER MICROWAVE MISCELLANEOUS

NOT IN CONTRACT NOT APPLICABLE NOT TO SCALE

ON CENTER OVERHEAD/OVERHANG POUNDS PER LINEAL FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED

RETURN AIR REFLECTED CEILING PLAN **ROOF DRAIN** REFRIGERATOR **ROUGH OPENING**

STORM DRAIN SEE ELECTRICAL DRAWINGS SQUARE FOOT **SPECIFICATION** SEE PLUMBING DRAWINGS SEE STRUCTURAL DRAWINGS SOLID SURFACE STRUCTURAL SUSPENDED

TOP OF CURB UNLESS OTHERWISE NOTED

VENTILATION/VENTILATOR VERIFY IN FIELD WATER CLOSET WATER HEATER WATERPROOF WEIGHT

11. ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP

HEAT/VENTILATION/AIR COND.

HEIGHT

HOT WATER

HGR

нм

HVA

HW/

HORIZ

12. ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT.

13. ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS. 14. KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.

15. ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] 16. GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.

17. PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0{s}).

18. PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.

19. PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE

PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION. 21. PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH

CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.

22. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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BY USING THESE PRE-DESIGNED ADU PLANS. THE RECIPIENT I NOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITION 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINA ROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED AD ANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVI EACH, AND MORRO BAY CALIFORNIA), THIS DOES NOT ELIMINATE (EDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND A INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKET ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL N RESPONSIBLE FOR TRANSLATION ERRORS

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GENERAL NOTES

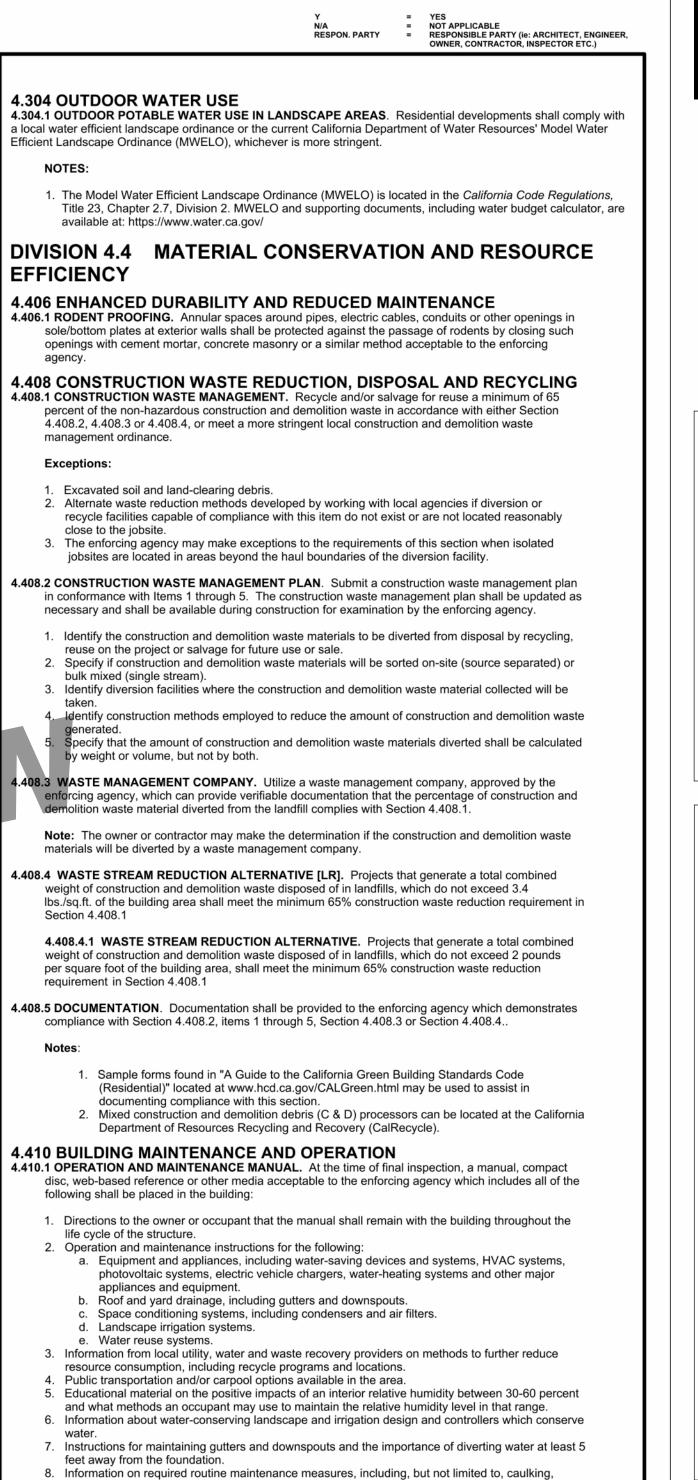


California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON. PARTY	_		
	CHAPTER 3	Y N/A RESPO	(
	GREEN BUILDING		4.106.4.2 New multifamily dwelling When parking is provided, parking s
	SECTION 301 GENERAL		requirements of Sections 4.106.4.2. whole number. A parking space serve
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the		space shall count as at least one sta applicable minimum parking space r for further details.
	application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		4.106.4.2.1Multifamily development
	301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to		than 20 sleeping units or guest ro The number of dwelling units, sleepi
	additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		this section.
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking		1.EV Capable. Ten (10) perce of parking facilities, shall be el
	facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		EVSE. Electrical load calculati system, including any on-site
	Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing		EVs at all required EV spaces The service panel or subpane
	lighting fixtures are not considered alterations for the purpose of this section.		for future EV charging purpos
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures.		Exceptions:
	Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and		1.When EV chargers (Leve of EV capable spaces.
	other important enactment dates.		2.When EV chargers (Leve
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of		spaces, the number of EV chargers installed.
	individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies		Notes:
	specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		a.Construction documents future EV charging.
	SECTION 302 MIXED OCCUPANCY BUILDINGS		b.There is no requirement
	302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building		EV chargers are installed f
	shall comply with the specific green building measures applicable to each specific occupancy. Exceptions:		2.EV Ready . Twenty-five (25) Level 2 EV charging receptacl dwelling unit when more than
	1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.		Exception: Areas of parking fa
	2. [HCD] For purposes of <i>CAL</i> Green, live/work units, complying with Section 419 of the <i>California Building Code</i> , shall not be considered mixed occupancies. Live/Work units shall comply with		4.106.4.2.2 Multifamily developme
	Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN		sleeping units or guest rooms. The number of dwelling units, sleepi
	ABBREVIATION DEFINITIONS:		this section.
	HCD Department of Housing and Community Development BSC California Building Standards Commission		1.EV Capable . Ten (10) perce of parking facilities, shall be el EVSE. Electrical load calculat
	DSA-SSDivision of the State Architect, Structural SafetyOSHPDOffice of Statewide Health Planning and DevelopmentLRLow Rise		system, including any on-site EVs at all required EV spaces
	HR High Rise AA Additions and Alterations		The service panel or subpane
	N New		for future EV charging purpos
	CHAPTER 4		Exception: When EV charge parking spaces required by
	RESIDENTIAL MANDATORY MEASURES		reduced by a number equa
	SECTION 4.102 DEFINITIONS		Notes: a.Construction documents
	4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)		b.There is no requirement
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar		EV chargers are installed f
	pervious material used to collect or channel drainage or runoff water.		2.EV Ready. Twenty-five (25) Level 2 EV charging receptact
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also		dwelling unit when more than
	used for perimeter and inlet controls.		Exception: Areas of parking
]	 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, 		3.EV Chargers. Five (5) perce Where common use parking is area and shall be available for
	management of storm water drainage and erosion controls shall comply with this section.		When low power Level 2 EV of
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre		an automatic load manageme
	or more, shall manage storm water drainage during construction. In order to manage storm water drainage		capacity to each space served
	during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent		shall have sufficient capacity t served by the ALMS. The bra
	property, prevent erosion and retain soil runoff on the site.		shall have sufficient capacity t
	 property, prevent erosion and retain soil runoff on the site. Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 		shall have sufficient capacity t served by the ALMS. The brai have a capacity of not less tha capacity to the required EV ca 4.106.4.2.2.1 Electric vehicle ch
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		A RESPON			1 40-ampere 208/240-volt dedicated EV branch circu		1
gs, hotels and motels and new residential parking facilities.	T N/	PARTY		construction in accordance with the California Elec	roposed location of the EV space at the time of origin ctrical Code.	nai '	+
paces for new multifamily dwellings, hotels and motels shall meet the 1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest				I.106.4.2.4 Identification.			+
red by electric vehicle supply equipment or designed as a future EV charging				The service panel or subpanel circuit directory shall iden uture EV charging purposes as "EV CAPABLE" in accor		ved for	+
Indard automobile parking space only for the purpose of complying with any equirements established by a local jurisdiction. See Vehicle Code Section 22511.2				I.106.4.2.5 Electric Vehicle Ready Space Signage.			
				Electric vehicle ready spaces shall be identified by signa Fraffic Operations Policy Directive 13-01 (Zero Emission		ans	
nt projects with less than 20 dwelling units; and hotels and motels with less oms.			5	successor(s).			
ng units or guest rooms shall be based on all buildings on a project site subject to				06.4.3 Electric vehicle charging for additions and alter tifamily buildings.	erations of parking facilities serving existing		
ent of the total number of parking spaces on a building site, provided for all types			1	When new parking facilities are added, or electrical systematical systematical systematical teres and the work requires a building permit, ten (10)			
lectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical				altered shall be electric vehicle charging spaces (EV spa			
distribution transformer(s), have sufficient capacity to simultaneously charge all at a minimum of 40 amperes.				Notes:			1
I circuit directory shall identify the overcurrent protective device space(s) reserved				1.Construction documents are intended to demonstrate	e the project's capability and capacity for facilitating f	future	Ť
es as "EV CAPABLE" in accordance with the California Electrical Code.				EV charging.			
				2. There is no requirement for EV spaces to be construct	-	use.	+
el 2 EVSE) are installed in a number equal to or greater than the required number				VISION 4.2 ENERGY EFFICIE			+
				201 GENERAL 01.1 SCOPE. For the purposes of mandatory energy ef		iy .	
el 2 EVSE) are installed in a number less than the required number of EV capable EV capable spaces required may be reduced by a number equal to the number of				Commission will continue to adopt mandatory standard	ds.		
			D	VISION 4.3 WATER EFFICIEN	ICY AND CONSERVATION		
				03 INDOOR WATER USE			
are intended to demonstrate the project's capability and capacity for facilitating			4.30	3.1 WATER CONSERVING PLUMBING FIXTURES A urinals) and fittings (faucets and showerheads) shall			
for EV spaces to be constructed or available until receptacles for EV charging or				and 4.303.4.4.			
or use.				Note: All noncompliant plumbing fixtures in any residuplumbing fixtures. Plumbing fixture replacement	ential real property shall be replaced with water-con t is required prior to issuance of a certificate of final		1
percent of the total number of parking spaces shall be equipped with low power				completion, certificate of occupancy, or final pe	ermit approval by the local building department. See of a noncompliant plumbing fixture, types of resider	Civil	
les. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.				buildings affected and other important enactme			
icilities served by parking lifts.				4.303.1.1 Water Closets. The effective flush volume			
nt projects with 20 or more dwelling units, hotels and motels with 20 or more				flush. Tank-type water closets shall be certified to the Specification for Tank-type Toilets.	e performance chiena of the U.S. EPA WaterSense		
ng units or guest rooms shall be based on all buildings on a project site subject to					toilets is defined as the composite, average flush vo	olume	
				of two reduced flushes and one full flush.			
ent of the total number of parking spaces on a building site, provided for all types				4.303.1.2 Urinals. The effective flush volume of wal The effective flush volume of all other urinals shall no		er flush.	
ectric vehicle charging spaces (EV spaces) capable of supporting future Level 2 ions shall demonstrate that the electrical panel service capacity and electrical distribution transformer(s), have sufficient capacity to simultaneously charge all				4.303.1.3 Showerheads.			Í
distribution transformer(s), have sufficient capacity to simultaneously charge all at a minimum of 40 amperes.				4.303.1.3.1 Single Showerhead, Showerhead	ids shall have a maximum flow rate of not more than	1.8	ł
I circuit directory shall identify the overcurrent protective device space(s) reserved				gallons per minute at 80 psi. Showerheads sh WaterSense Specification for Showerheads.	all be certified to the performance criteria of the U.S	. ERA	
es as "EV CAPABLE" in accordance with the California Electrical Code.					ne shower. When a shower is served by more than		_
ers (Level 2 EVSE) are installed in a number greater than five (5) percent of v Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be				showerhead, the combined flow rate of all the	showerheads and/or other shower outlets controlled minute at 80 psi, or the shower shall be designed to	by	t
al to the number of EV chargers installed over the five (5) percent required.				allow one shower outlet to be in operation at a		5 Only	
				Note: A hand-held shower shall be cons	sidered a showerhead.		
shall show locations of future EV spaces.				4.303.1.4 Faucets.			
for EV spaces to be constructed or available until receptacles for EV charging or or use.					The maximum flow rate of residential lavatory faucet		
percent of the total number of parking spaces shall be equipped with low power				not exceed 1.2 gallons per minute at 60 psi. T not be less than 0.8 gallons per minute at 20 p	he minimum flow rate of residential lavatory faucets si.	shall	4
es. For multifamily parking facilities, no more than one receptacle is required per one parking space is provided for use by a single dwelling unit.				4.303.1.4.2 Lavatory Faucets in Common a	nd Public Use Areas. The maximum flow rate of la	avatory	
g facilities served by parking lifts.				faucets installed in common and public use are buildings shall not exceed 0.5 gallons per minu	eas (outside of dwellings or sleeping units) in resider ute at 60 psi.	ntial	
ent of the total number of parking spaces shall be equipped with Level 2 EVSE.				4.303.1.4.3 Metering Faucets. Metering fauc	cets when installed in residential buildings shall not o	deliver	
s provided, at least one EV charger shall be located in the common use parking r use by all residents or guests.				more than 0.2 gallons per cycle.			
					flow rate of kitchen faucets shall not exceed 1.8 gal porarily increase the flow above the maximum rate,		
charging receptacles or Level 2 EVSE are installed beyond the minimum required, nt system (ALMS) may be used to reduce the maximum required electrical				to exceed 2.2 gallons per minute at 60 psi, and minute at 60 psi.	must default to a maximum flow rate of 1.8 gallons	per 🗆	1
by the ALMS. The electrical system and any on-site distribution transformers to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS)				·	le, aerators or other means may be used to achieve		
nch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall an 30 amperes. ALMS shall not be used to reduce the minimum required electrical				reduction.	,		
apable spaces.				4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in	the California Code of Regulations, Title 20 (Applia	nce	
narging stations (EVCS). required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.					Table H-2, Section 1605.3 (h)(4)(A), and Section 16		
ging stations serving public accommodations, public housing, motels and hotels						ifornio	
with this section. See California Building Code, Chapter 11B, for applicable				Code of Regulations, Title 20 (Appliance Efficie	and code section have been reprinted from the Cali ency Regulations),Section 1605.1 (h)(4) and Section		
				1605.3 (h)(4)(A).			
one of the following options:				TABLE H-2			
be located adjacent to an accessible parking space meeting the requirements of , Chapter 11A, to allow use of the EV charger from the accessible parking space.							
				STANDARDS FOR COMMERCIA			
be located on an accessible route, as defined in the California Building Code,					UNALIENJANUART 20, 2019		
harging stations designed and constructed in compliance with the California				PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)		
, are not required to comply with Section 4.106.4.2.2.1.1 and Section				Product Class 1 (\leq 5.0 ozf)	1.00		
charging stations (EVCS) dimensions.							
esigned to comply with the following:				Product Class 2 (> 5.0 ozf and \leq 8.0 ozf)	1.20		
EV space shall be 18 feet (5486 mm).				Product Class 3 (> 8.0 ozf) Title 20 Section 1605 3 $(h)(4)(A)$: Commercial	1.28 prerinse spray values manufactured on or after Janu		j.
V space shall be 9 feet (2743 mm).					not less than 4.0 ounces-force (ozf)[113 grams-force		
ces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum minimum aisle shall be permitted provided the minimum width of the EV space is				3.2 Submeters for multifamily buildings and dwellin	ng units in mixed-used residential/commercial		
			bui	dings. Submeters shall be installed to measure water usage	of individual rental dwelling units in accordance with	h the	
ce and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083				California Plumbing Code.			
paces.			acc	3.3 Standards for plumbing fixtures and fittings. Plubrdance with the <i>California Plumbing Code</i> , and shall me			
Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall isons for EV chargers in the California Building Code, Chapter 11B. EV ready			170	1.1 of the California Plumbing Code.			
developments shall comply with California Building Code, Chapter 11A, Section				NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4	.303.1, AND IS INCLUDED AS A		
ante				CONVENIENCE FOR THE USER.			
ents. Ill a listed raceway capable of accommodating a 208/240-volt dedicated branch less than trade size 1 (nominal 1 inch inside diameter). The raceway shall				TABLE - MAXIMUM FIXTURE WATER			
less than trade size 1 (nominal 1-inch inside diameter). The raceway shall ubpanel and shall terminate into a listed cabinet, box or enclosure in close				FIXTURE TYPE	FLOW RATE		
oposed location of the EV space. Construction documents shall identify the acle or charger location, as applicable. The service panel and/ or subpanel shall stated branch circuit including branch circuit everywrant protoctive douise.				SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI		
cated branch circuit, including branch circuit overcurrent protective device permit installation of a branch circuit overcurrent protective device.				LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20)	
uired if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is				LAVATORY FAUCETS IN COMMON & PUBLIC			
e location or the proposed location of the EV space, at the time of original the California Electrical Code.				USE AREAS	0.5 GPM @ 60 PSI		
onstruction documents shall indicate the raceway termination point and the					1.8 GPM @ 60 PSI		
spaces, receptacles or EV chargers. Construction documents shall also provide led or future receptacles or EVSE, raceway method(s), wiring schematics and				METERING FAUCETS	0.2 GAL/CYCLE		
design shall be based upon a 40-ampere minimum branch circuit. Required to the installed underground, enclosed, inaccessible or in				WATER CLOSET URINALS	1.28 GAL/FLUSH 0.125 GAL/FLUSH	-	
Il be installed at the time of original construction		1			0.120 OAL/I LOON	- I I	1



- painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
 A copy of all special inspections varifications around by the state of the st
- A copy of all special inspections verifications required by the enforcing agency or this code.
 Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
 Information and Conductive Information Conductive Conductive Conductive Information Conductive Conductive Conductive Information Conductive Conduct
- 12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL 4.501.1 Scope

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

UE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



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CENTRAL COAST PRE-DESIGNED AD ONE BEDROOM + DEN ONE BEDROOM + DEN 746 GSF

PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

CAL GREEN/GREEN BUILDING REQUIREMENTS

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023)

N/A RESPON. PARTY

TABLE 4.504.2 MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to (Less Water and Les SEALANTS Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 ARCHITECTURAL MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. MARINE DECK PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE R article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of ROADWAY Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). SINGLE-PLY ROOF REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to OTHER SEALANT PRIMER VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings ARCHITECTURAL with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). NON-POROUS POROUS 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed MODIFIED BITUMIN woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, MARINE DECK OTHER 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. **TABLE 4.504** 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the ARCHITECTI requirements of the following standards unless more stringent local or regional air pollution or air quality GRAMS OF VOC COMPOUNDS 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks COATING CATEG shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and NON-FLAT COAT tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in SPECIALTY COA units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including UMINUM ROO prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, **4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of UMINOUS R the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits **UMINOUS** F apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss OND BREAKE coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in ONCRETE CU ONCRETE/MAS 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR DRIVEWAY SEAL Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATI Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation FAUX FINISHING **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: TEMPERA NDUSTRIAL MAIN LOW SOLIDS COA MAGNESITE CEM VOC LIMIT MASTIC TEXTURE METALLIC PIGME MULTICOLOR CO 150 PRETREATMENT 100 PRIMERS, SEALE 60 REACTIVE PENE 50 RECYCLED COAT 65 **ROOF COATINGS** 50 RUST PREVENTA 50 SHELLACS 50 CLEAR 70 OPAQUE 100 SPECIALTY PRIM 250 UNDERCOATERS STAINS STONE CONSOLI 510 SWIMMING POOL 490 TRAFFIC MARKIN 325 TUB & TILE REFIN WATERPROOFIN 250 550 WOOD COATING WOOD PRESER\ 80 250 ZINC-RICH PRIME 140 1. GRAMS OF VO EXEMPT COMPOU 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY 30 THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 50 SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. 50 30 80 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

N/A RESPO

hundredths of a gram (g O³/g ROC).

ozone formation in the troposphere.

4.503 FIREPLACES

product (excluding container and packaging).

management district rules apply:

Table 4.504.3 shall apply.

8. Rule 49.

pellet stoves and fireplaces shall also comply with applicable local ordinances.

reduce the amount of water, dust or debris which may enter the system.

commencing with section 94507.

 Manufacturer's product specification. Field verification of on-site product containers

ARCHITECTURAL APPLICATIONS

INDOOR CARPET ADHESIVES

OUTDOOR CARPET ADHESIVES

WOOD FLOORING ADHESIVES

RUBBER FLOOR ADHESIVES

SUBFLOOR ADHESIVES

COVE BASE ADHESIVES

CERAMIC TILE ADHESIVES

VCT & ASPHALT TILE ADHESIVES

DRYWALL & PANEL ADHESIVES

MULTIPURPOSE CONSTRUCTION ADHESIVE

SINGLE-PLY ROOF MEMBRANE ADHESIVES

STRUCTURAL GLAZING ADHESIVES

OTHER ADHESIVES NOT LISTED

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

WOOD

FIBERGLASS

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

PVC WELDING

CPVC WELDING

ABS WELDING

CARPET PAD ADHESIVES

TABLE 4.504.1 - ADHESIVE VOC I

(Less Water and Less Exempt Compounds in Grams per Liter

and 94701.

IT	
ns per Liter)	
VOC LIMIT	
250	
760	
300	
250	
450	
420	
250	
775	
500	
760	
750	
	ns per Liter) VOC LIMIT 250 760 300 250 450 420 250 775 500 760

PER LITER OF COATING, LES	S WATER & LESS EXEMPT	
GORY	VOC LIMIT	
	50	
INGS	100	
GLOSS COATINGS	150	
TINGS		
F COATINGS	400	
CIALTY COATINGS	400	
OF COATINGS	50	
OF PRIMERS	350	
S	350	
ING COMPOUNDS	350	
ONRY SEALERS	100	
ERS	50	
NGS	150	
COATINGS	350	
COATINGS	350	
S	100	
COMPOUNDS	250	
COATINGS (SIGN PAINTS)	500	
URE COATINGS	420	
NTENANCE COATINGS	250	
ATINGS1	120	
IENT COATINGS	450	
E COATINGS	100	
ENTED COATINGS	500	
DATINGS	250	
WASH PRIMERS	420	
RS, & UNDERCOATERS	100	
TRATING SEALERS	350	
TINGS	250	
3	50	
ATIVE COATINGS	250	
	730	
	550	
IERS, SEALERS &	100	
5	250	
IDANTS	450	
	340	
IG COATINGS	100	
NISH COATINGS	420	
IG MEMBRANES	250	
S MEMBRANES	250	
S /ATIVES		
AIIVES	350	

L.			
1'	N/A RESPON PARTY		
Γ			
		TABLE 4.504.5 - FORMALDEHYDE LIMITS	
		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
		PRODUCT CURRENT LIMIT HARDWOOD PLYWOOD VENEER CORE 0.05	1
		HARDWOOD PLYWOOD COMPOSITE CORE 0.05	
		PARTICLE BOARD 0.09	
		MEDIUM DENSITY FIBERBOARD 0.11	
		THIN MEDIUM DENSITY FIBERBOARD20.131. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED	
		BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH	1
		93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).	
		DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the Califor Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emiss from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.	nia sions
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)	
		See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.	
		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receil resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chamber Version 1.2, January 2017 (Emission testing method for California Specification 01350)	he
		See California Department of Public Health's website for certification programs and testing labs.	
		hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.	
		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard	
		composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),	
		by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested	
5		by the enforcing agency. Documentation shall include at least one of the following:	
		 Product certifications and specifications. Chain of custody certifications. 	
		 Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CS/0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 	À
		4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i> .	
		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.	
		4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:	
		 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided a vapor barrier in direct contact with concrete and a concrete mix design, which will address blee shrinkage, and curling, shall be used. For additional information, see American Concrete Institute ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. 	ding,
		3. A slab design specified by a licensed design professional.	
		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:	je
		 Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalen moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 	
		 Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped of each piece verified. At least three random moisture readings shall be performed on wall and floor framing with documentation 	n
		acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor frami	ng.
		Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying	o
		<pre>recommendations prior to enclosure 4.506 INDOOR AIR QUALITY AND EXHAUST</pre>	
		4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:	
		 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of adjustment between a relative humidity range less than or 	
		 a. Furnibility controls shall be capable of adjustment between a relative number range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) 	of
		Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/chower combination	
		 tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>. 4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be 	
		- A DUV C DEALUND AND AND AND UNDER UNDER SYSTEM DESIGN. Heating and air conditioning systems shall be	
		sized, designed and have their equipment selected using the following methods:	
		 sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 	
		 sized, designed and have their equipment selected using the following methods: The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 	
		 sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), 	
		 sized, designed and have their equipment selected using the following methods: The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential 	

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, ESPON PARTY OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 7 **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs. 2. Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.
- 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

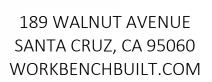
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



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workbench



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ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NO

BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE O THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY IABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON, ANY USE, REUSE, OR ALTERATIO OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, TH ECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, NDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS

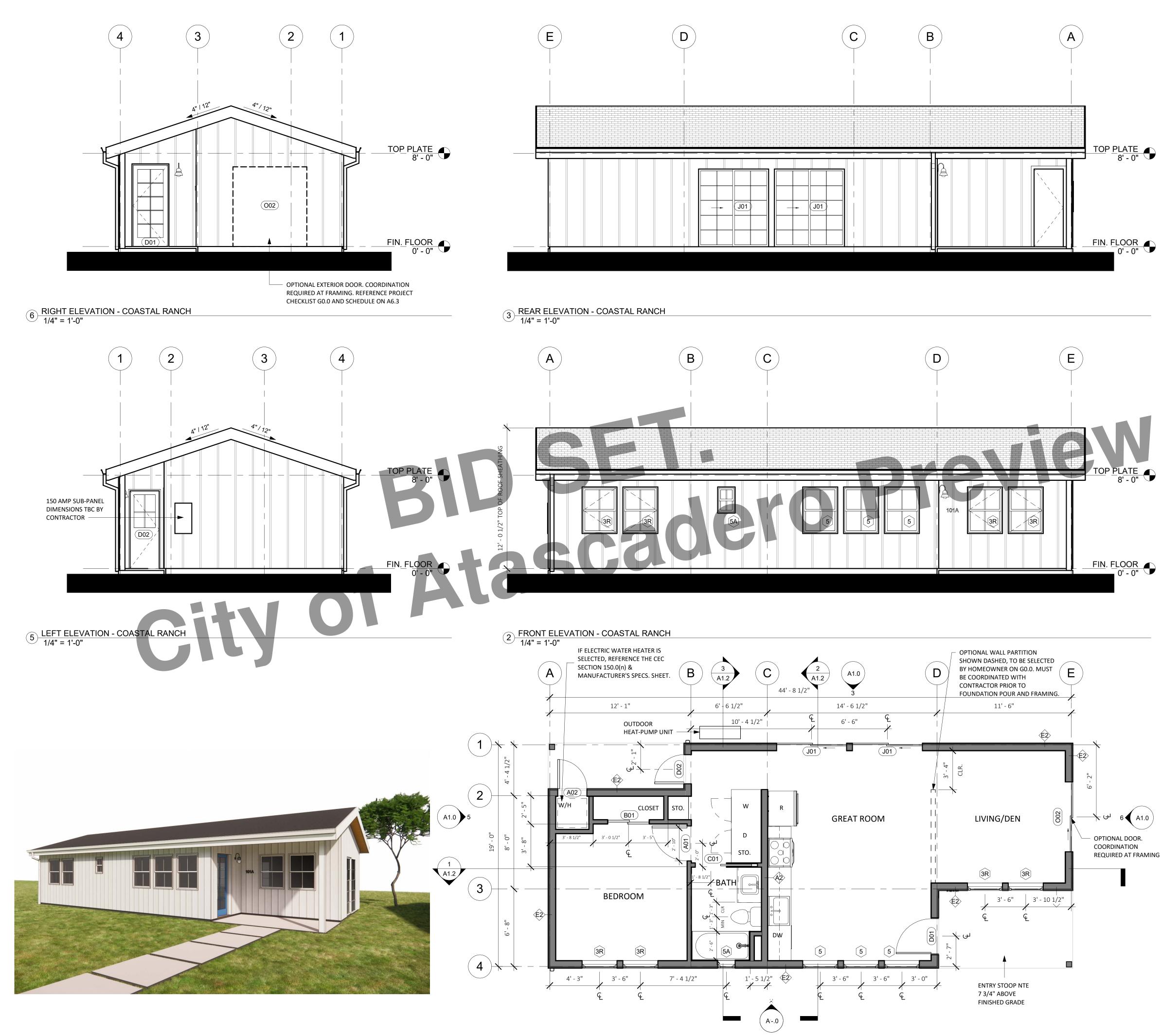
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PRINT DATE XX.XX.XXXX

SCALE : AS NOTED

CAL GREEN/GREEN BUILDING REQUIREMENTS



1 FLOOR PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

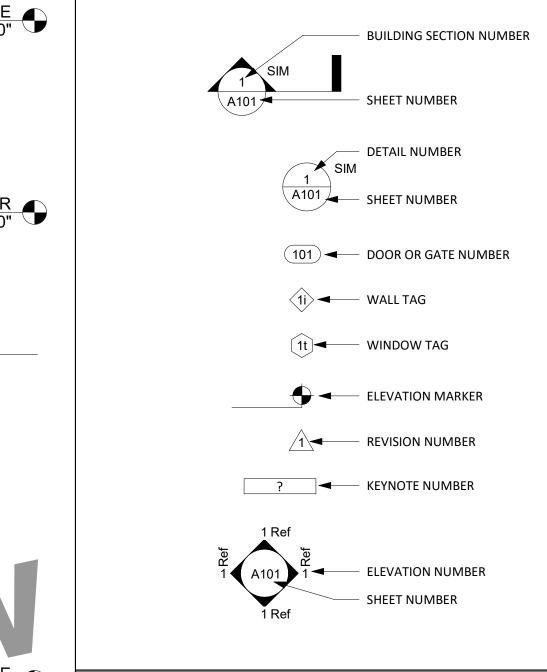
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

– – (N) (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and 3.
- details. Materials indicated are shown generically. Actual 4. materials are as selected by the Owner.



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DEN \bigcirc ONE BEDROOM 746 GSF 7 J S $\boldsymbol{\alpha}$ Ζ ш 2 Δ

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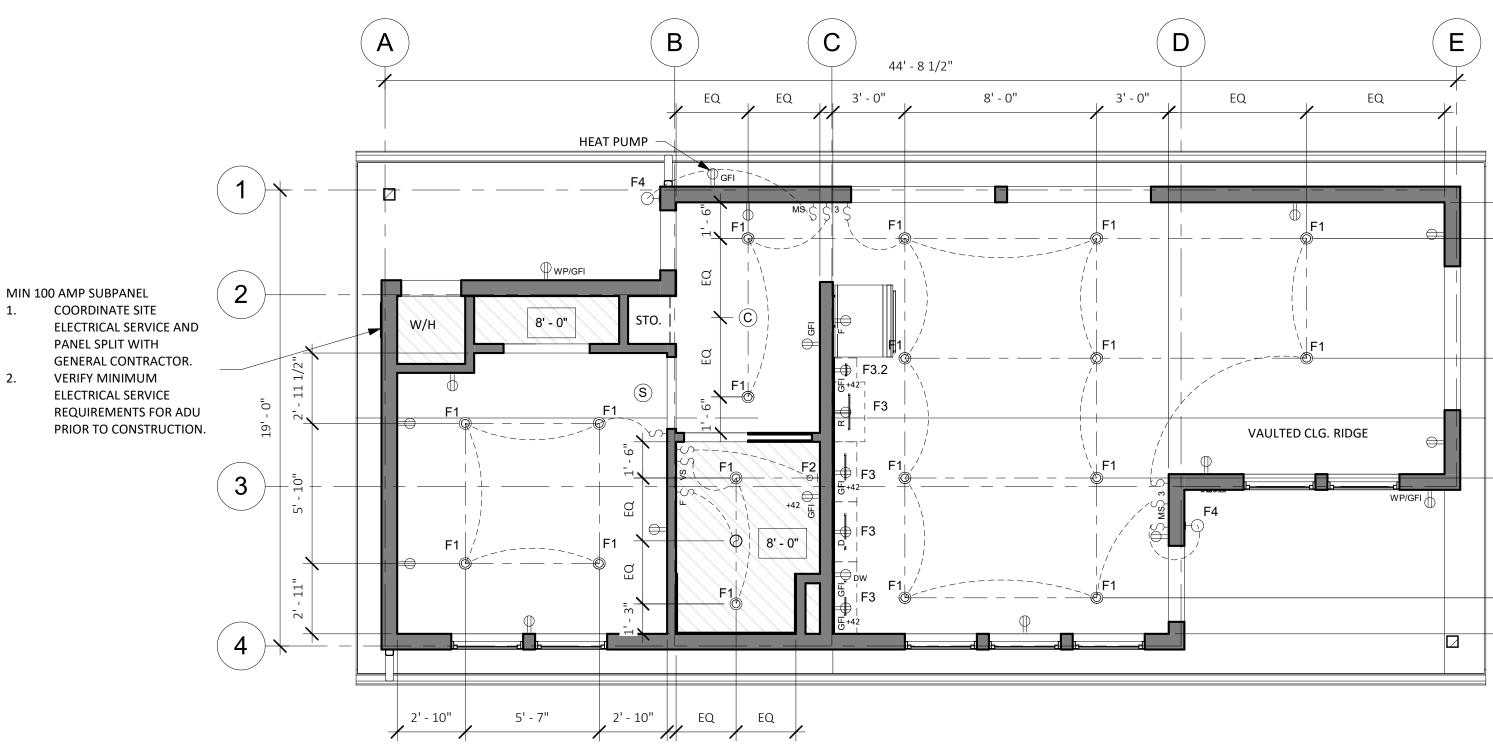


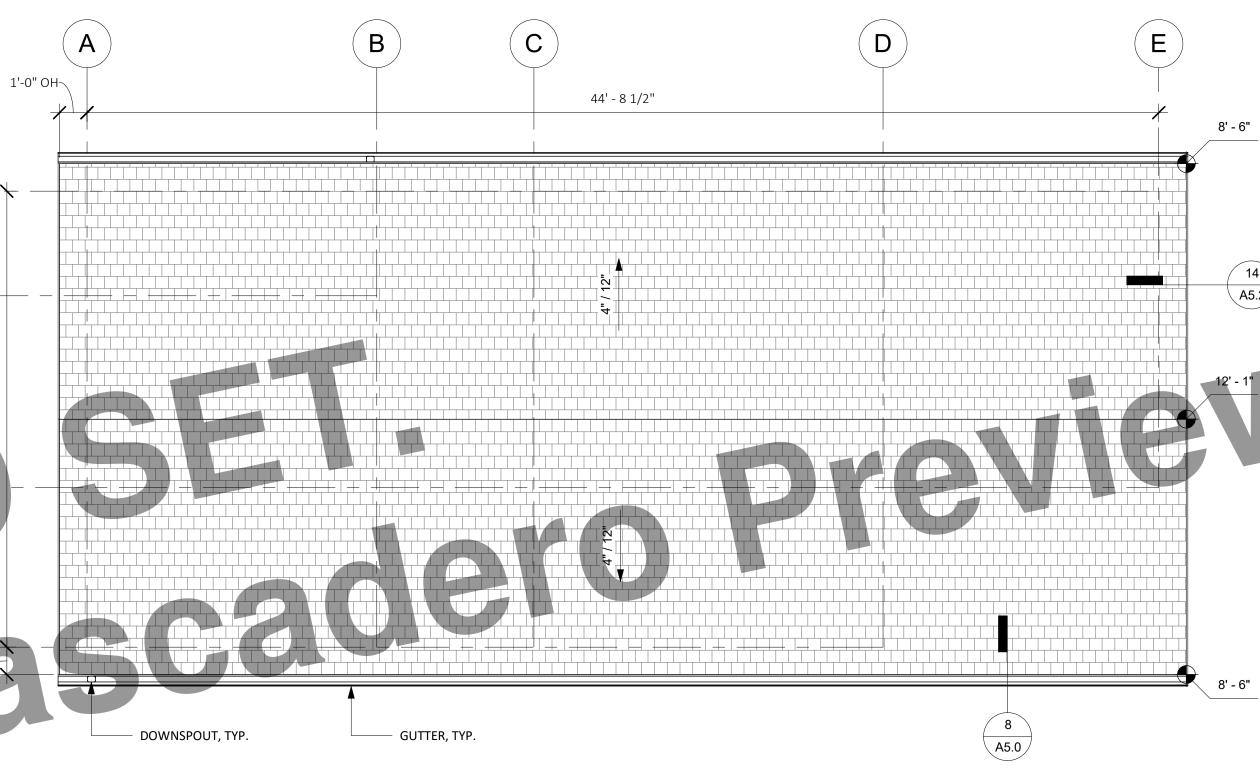


2 ROOF PLAN - COASTAL RANCH 1/4" = 1'-0"

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2.





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2

1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL 5. INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- $\frac{O}{L} \bigoplus$ GFCI RECEPTACLE
- DEDICATED OUTLET
- 0 RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT Ó
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- S_{MS} MOTION-SENSOR SWITCH
- S_{VS} VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

8' - 6"

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∖A5.2 ∕

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (**C**) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. 1. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2.
- TOTALS TO BE VERIFIED BY CONTRACTOR. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4. PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE
- BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM
- THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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SCALE : AS NOTED

RANCH - ROOF PLAN & RCP

A1.

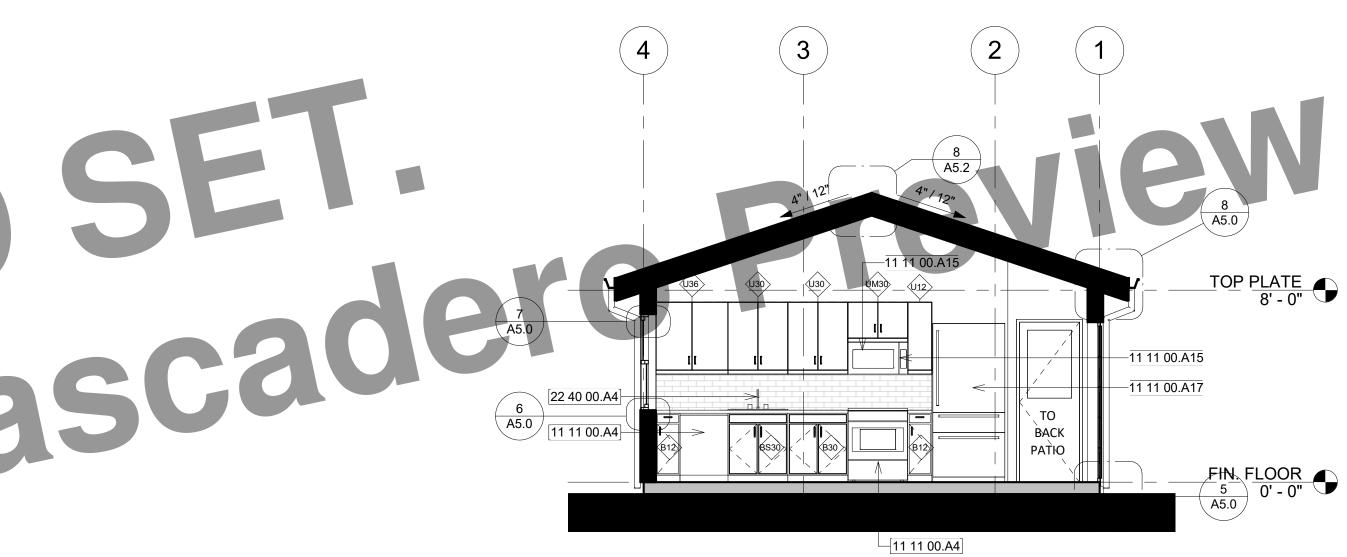
City of Atascade

1 SECTION A - COASTAL RANCH 1/4" = 1'-0"

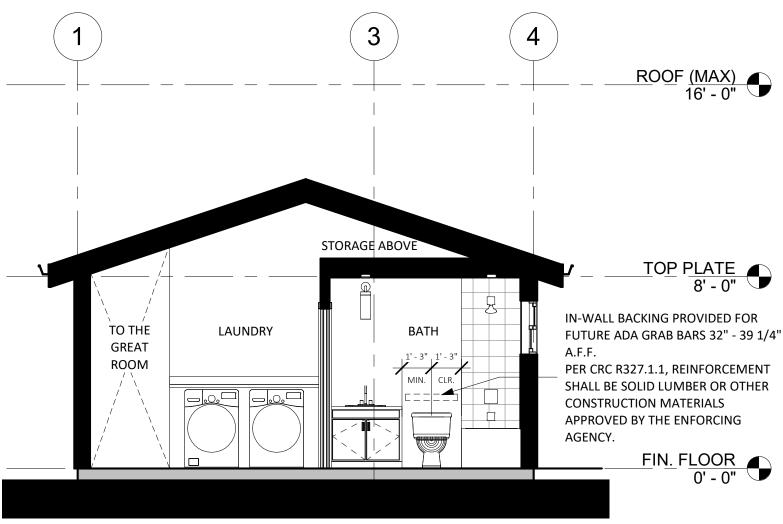
IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ.

FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3





3 <u>SECTION B - COASTAL RANCH</u> 1/4" = 1'-0"



KITCHEN LEGEND

DESCRIPTION

12" BASE CABINET

30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

24" DISHWASHER

30" ELECTRIC RANGE

36" REFRIGERATOR

FRONT LOAD DRYER

FRONT LOAD WASHER

30" BASE CABINET - SINK

30" UPPER CABINET - ABOVE MICROWAVE

30" MICROWAVE / HOOD VENT COMBO UNIT

TOP PLATE	
8' - 0"	U

TAG

B12

B30

BS30

U12

U30

U36

UM30

CABINET WIDTH

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



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TOP PLATE 8' - 0"

FIN. FLOOR 0' - 0"



RANCH - SECTIONS





4 FRONT VIEW - ONE BEDROOM PLUS - BACKYARD CRAFTSMAN NO SCALE

1 FLOOR PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

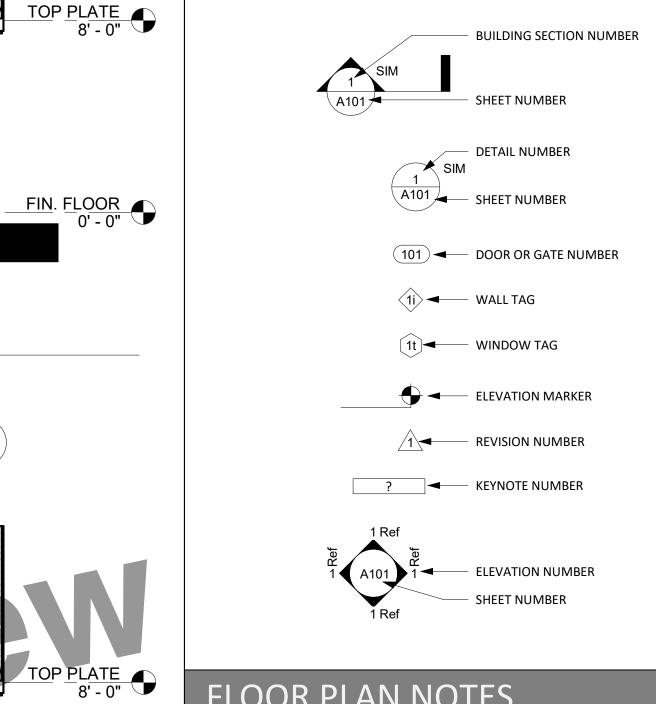
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

– – (N) (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

👡 لى 6 🖌 A2.0

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and 3. details.
- Materials indicated are shown generically. Actual 4. materials are as selected by the Owner.



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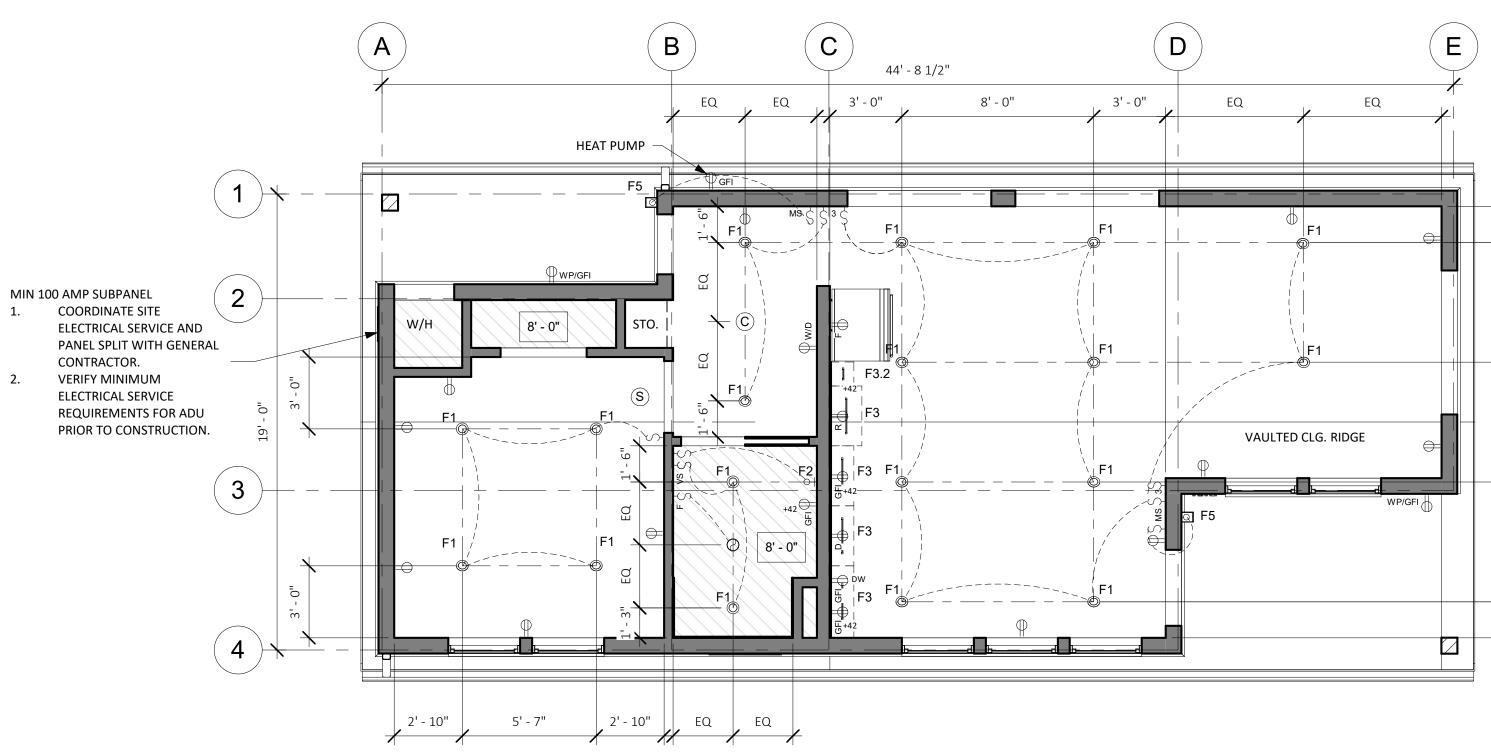
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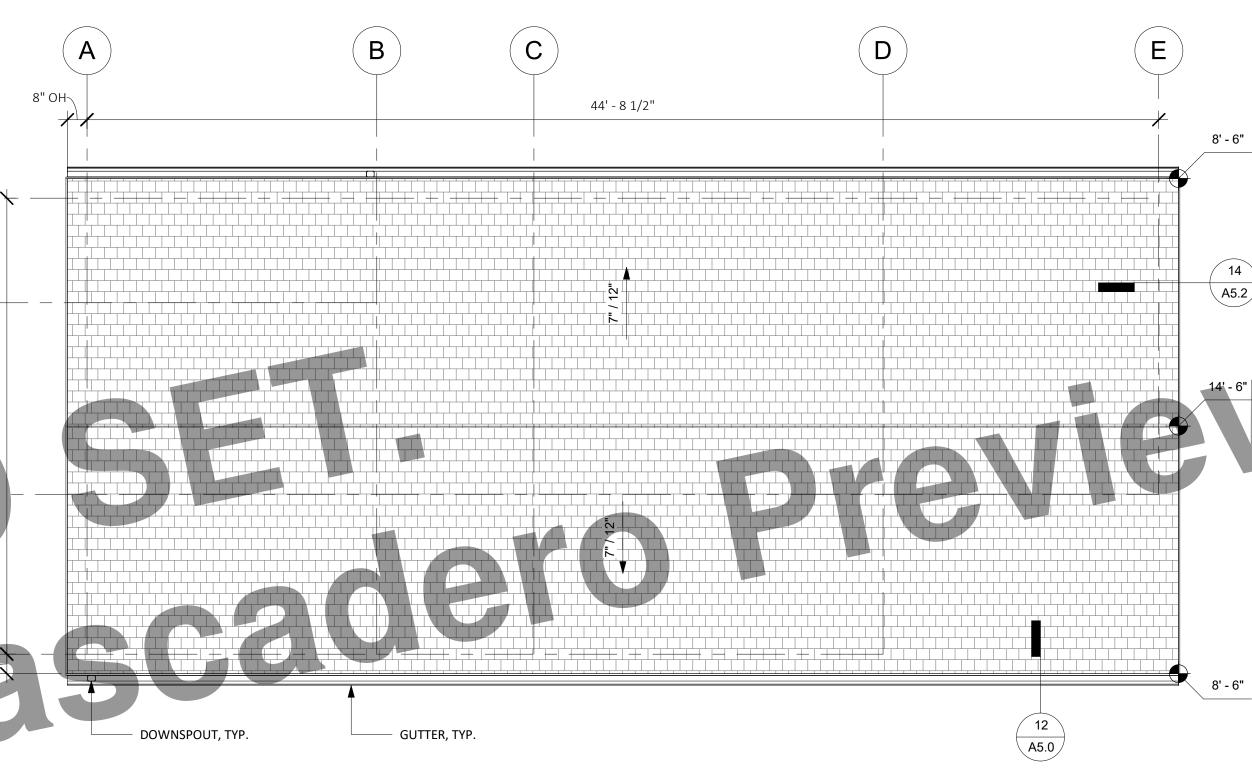






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2 ROOF PLAN - BACKYARD CRAFTSMAN 1/4" = 1'-0"

1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL 5.
- INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- $\vec{O} \oplus \vec{O}$ GFCI RECEPTACLE

- RECESSED LED DOWN LIGHT 0
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH

A5.2

- SMS MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 🔪 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8[°]-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE (S) SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (C) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2. TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4. PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT)
- HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6.
- HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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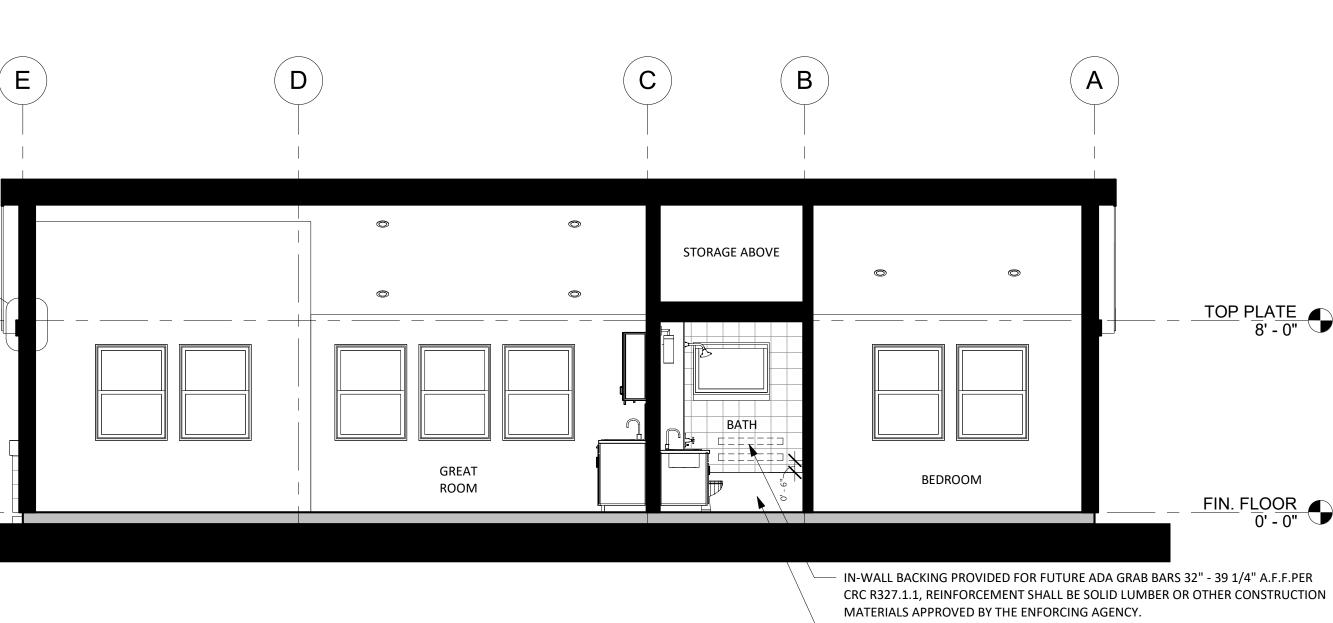
CRAFTSMAN - ROOF PLAN & RCP

City of Atascau

MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

1 SECTION A - BACKYARD CRAFTSMAN 1/4" = 1'-0"

5 A5.2

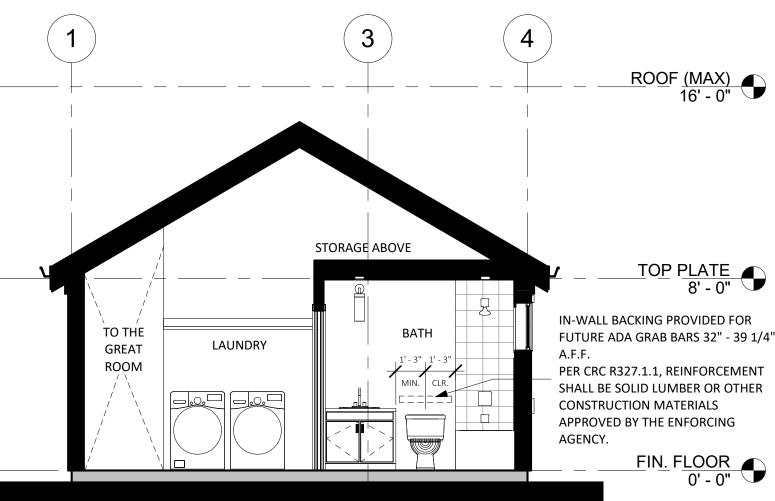


2 SECTION B - BACKYARD CRAFTSMAN 1/4" = 1'-0"

_____11 11 00.A14

3 2 4 -11 11 00.A15 10 A5.0 22 40 00.A4 11 11 00.A4 11 11 00.A17 $\leq \parallel \parallel \parallel$ TO BACK PATIO 11 11 00.A4 9 A5.0

3 SECTION C - BACKYARD CRAFTSMAN 1/4" = 1'-0"



		KITCHEN LEGEND
--	--	----------------

DESCRIPTION

12" BASE CABINET

30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

30" BASE CABINET - SINK

UM30 APPLIANCES 11 11 00.A4 11 11 00.A14 11 11 00.A15 11 11 00.A17 11 31 00.A2 11 31 00.A1

TAG

B12

B30

BS30

U12

U30

U36

CABINET WIDTH

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT 36" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

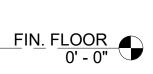
30" UPPER CABINET - ABOVE MICROWAVE

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



<u>TOP PLATE</u> 8' - 0"



TOP PLATE 8' - 0"



FIN. FLOOR 0' - 0"



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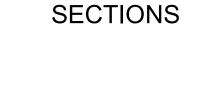
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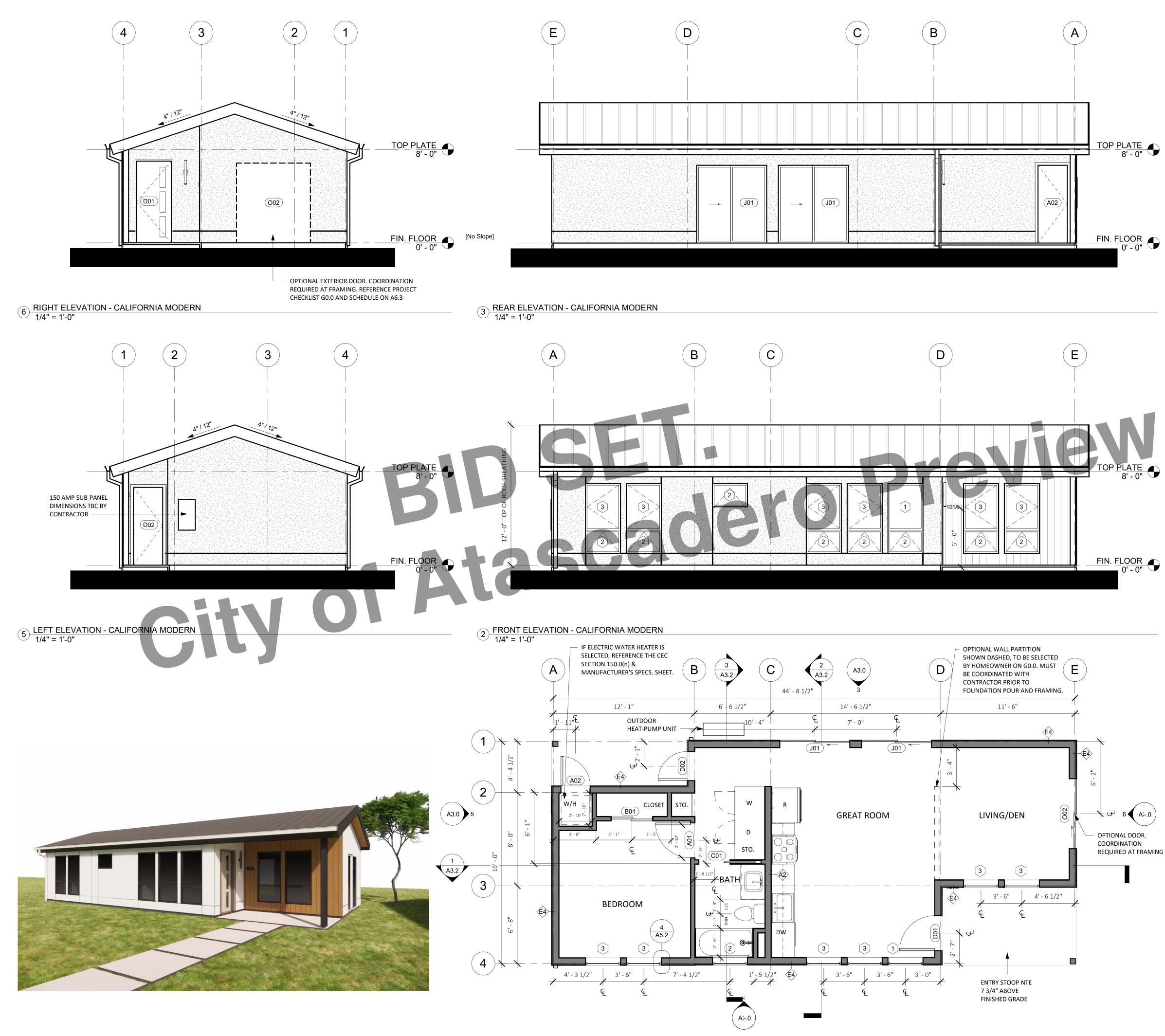
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CRAFTSMAN -





1 FLOOR PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

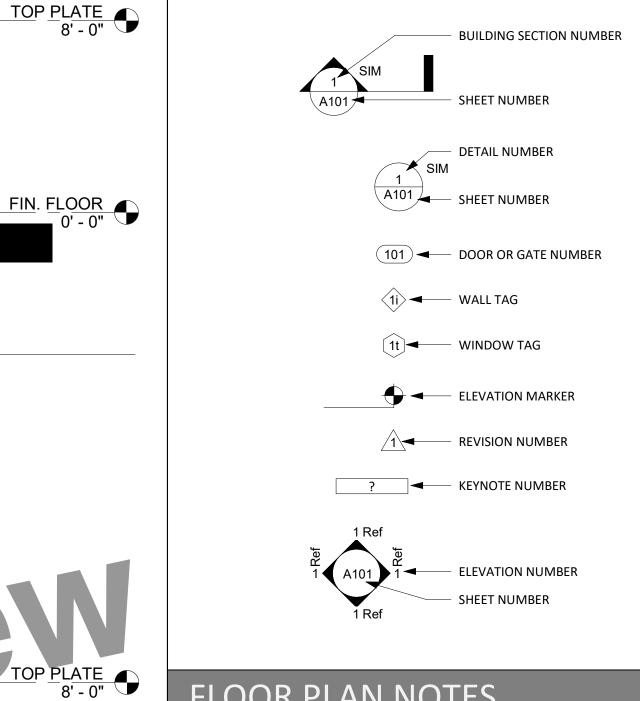
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

— (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- Where thresholds are required, provide accessible 7. thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

A:-.0

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and 3.
- details. Materials indicated are shown generically. Actual 4. materials are as selected by the Owner.



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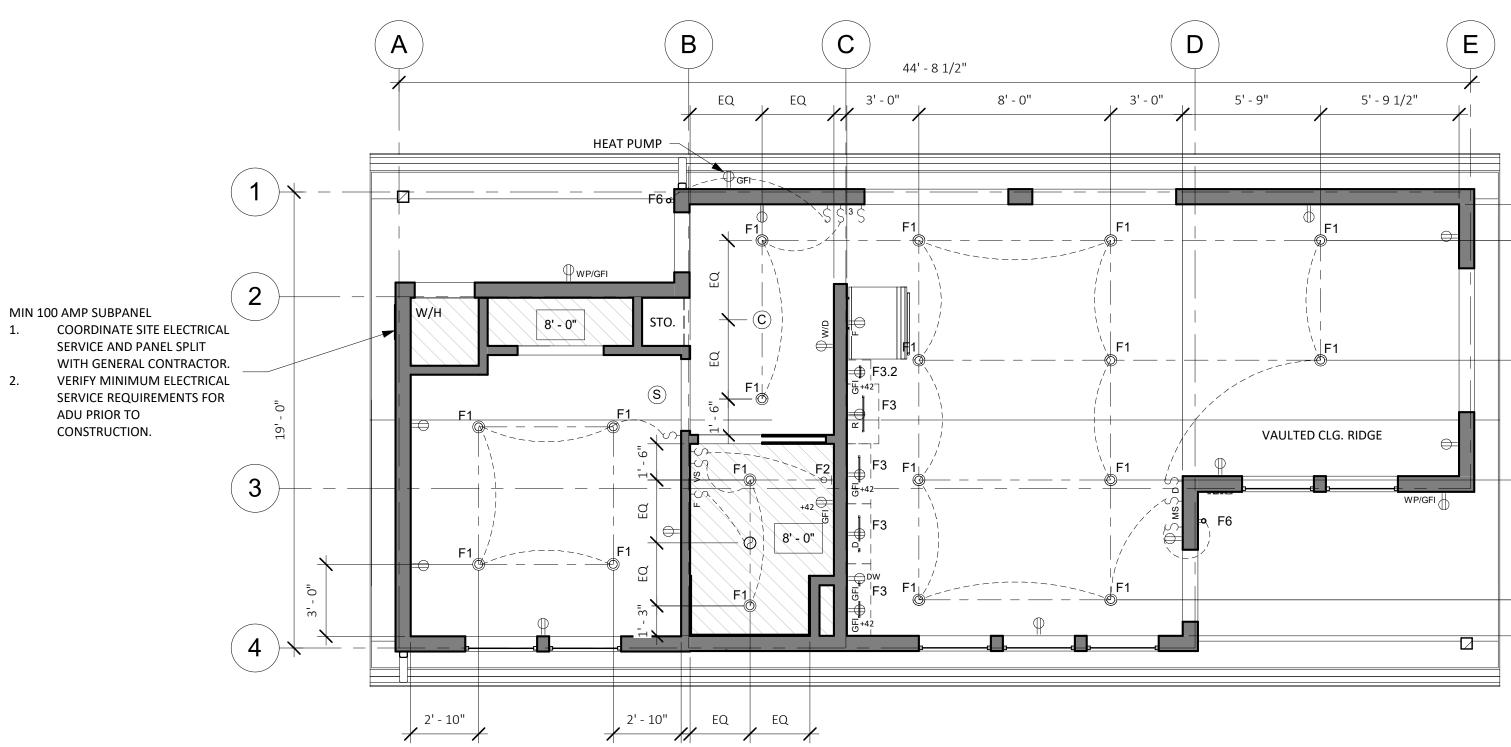
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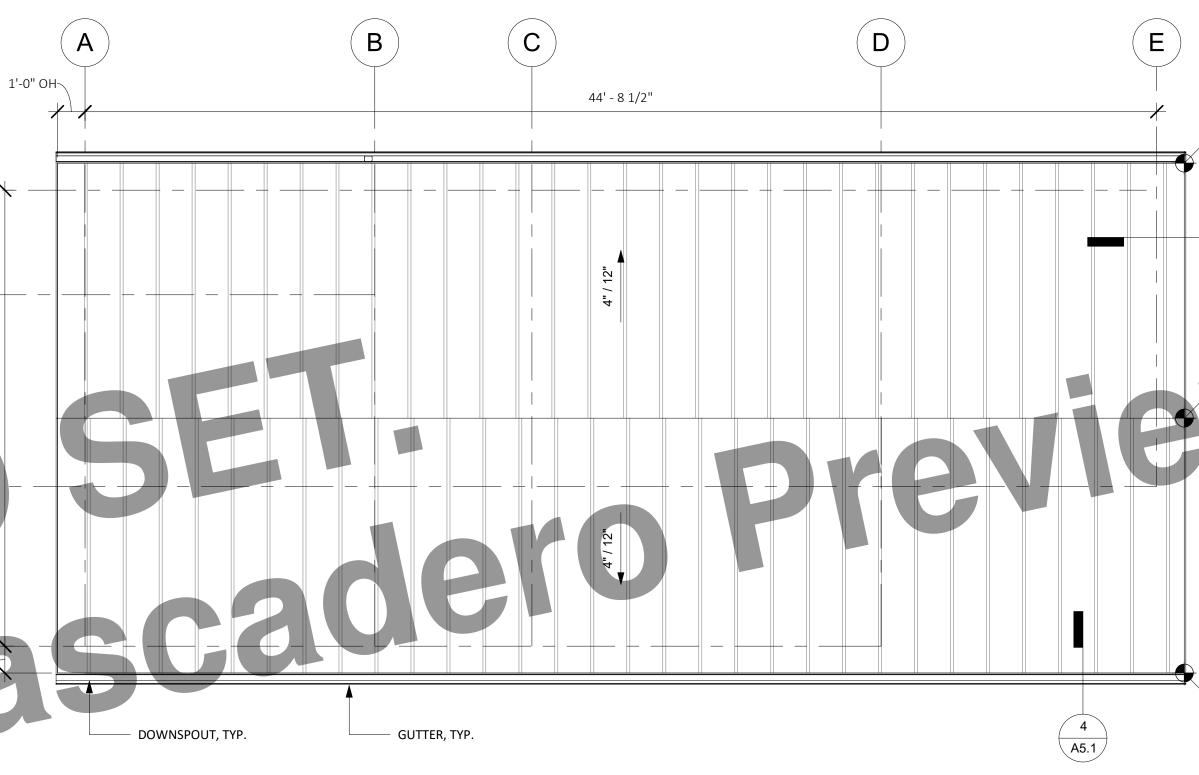
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2 ROOF PLAN - CALIFORNIA MODERN 1/4" = 1'-0"

1

2

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL
- INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS. GANG VENTS WHENEVER POSSIBLE. 6.
- SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- GFCI RECEPTACLE

- RECESSED LED DOWN LIGHT 0
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT

8' - 6"

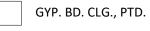
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A5.2

8' - 6"

- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- S_{MS} MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🔨 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE \odot 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

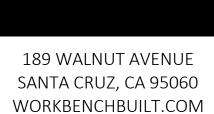


8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE (S) SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (C) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- 2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4. PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



workbench



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MODERN - ROOF PLAN & RCP

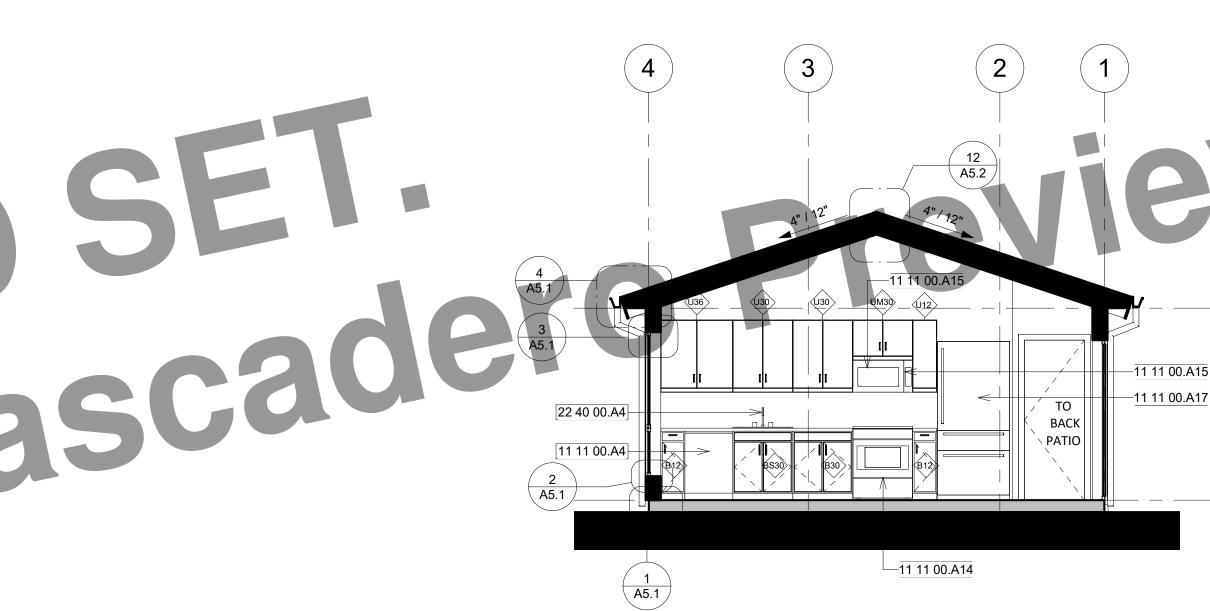
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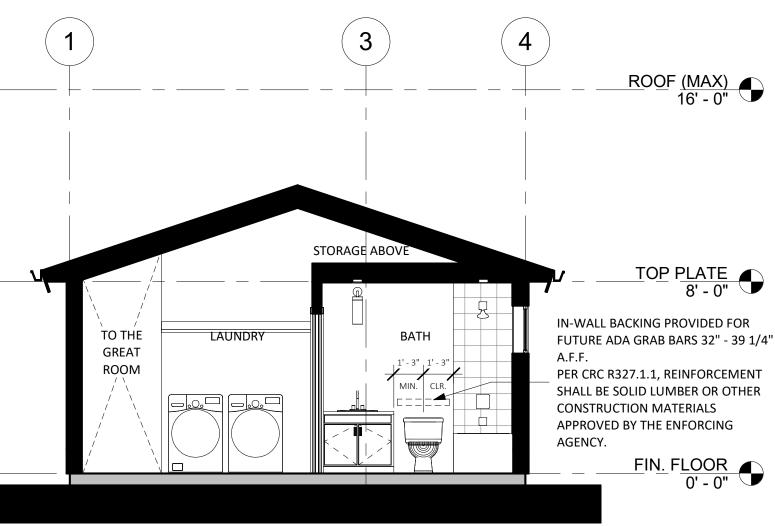
IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3



2 SECTION B - CALIFORNIA MODERN 1/4" = 1'-0"



3 SECTION C - CALIFORNIA MODERN 1/4" = 1'-0"



DESCRIPTION

12" BASE CABINET

30" BASE CABINET

12" UPPER CABINET

30" UPPER CABINET

36" UPPER CABINET

30" BASE CABINET - SINK

TOP PLATE	
8' - 0"	

TAG

B12

B30

BS30

U12

U30

U36

CABINET WIDTH

UM30 APPLIANCES 11 11 00.A4 11 11 00.A14 11 11 00.A15 11 11 00.A17 11 31 00.A2 11 31 00.A1

24" DISHWASHER 30" ELECTRIC RANGE 30" MICROWAVE / HOOD VENT COMBO UNIT **36**" REFRIGERATOR FRONT LOAD DRYER FRONT LOAD WASHER

30" UPPER CABINET - ABOVE MICROWAVE

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET





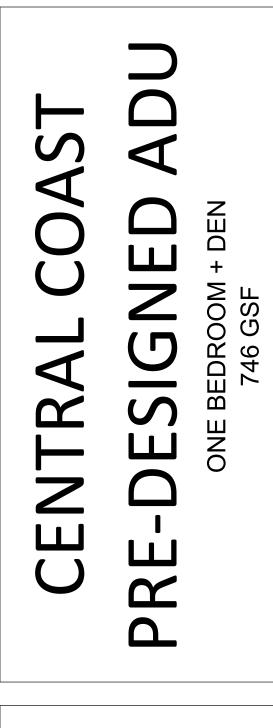
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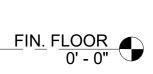
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MODERN - SECTIONS

















4 FRONT VIEW - ONE BEDROOM PLUS - BEACH BUNGALOW NO SCALE

1 FLOOR PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

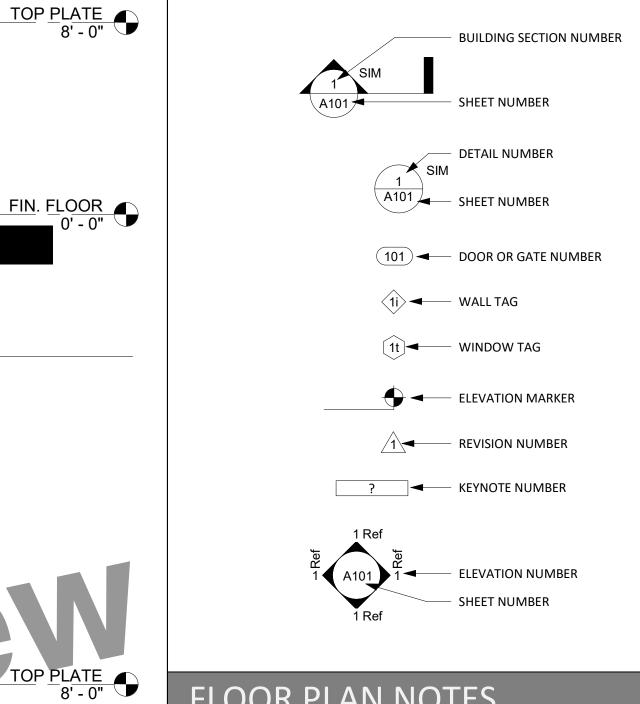
FLOORPLAN LEGEND

(N) PARTITION

CONCRETE SLAB (ARCHITECTURAL) (N) OUTLET AT 18", U.O.N

–∽– (N) LIGHT SWITCH

GRAPHIC LEGEND



FLOOR PLAN NOTES

- 1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
- 2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted. All INTERIOR walls are Type A1 unless otherwise noted. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
- See elevations for transom window types and locations. 5. Provide hanger rod and shelf at wardrobe closet. 6.
- 7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
- 8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
- 9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

A4.0

16 A5.2

- 1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
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- details. Materials indicated are shown generically. Actual 4. materials are as selected by the Owner.



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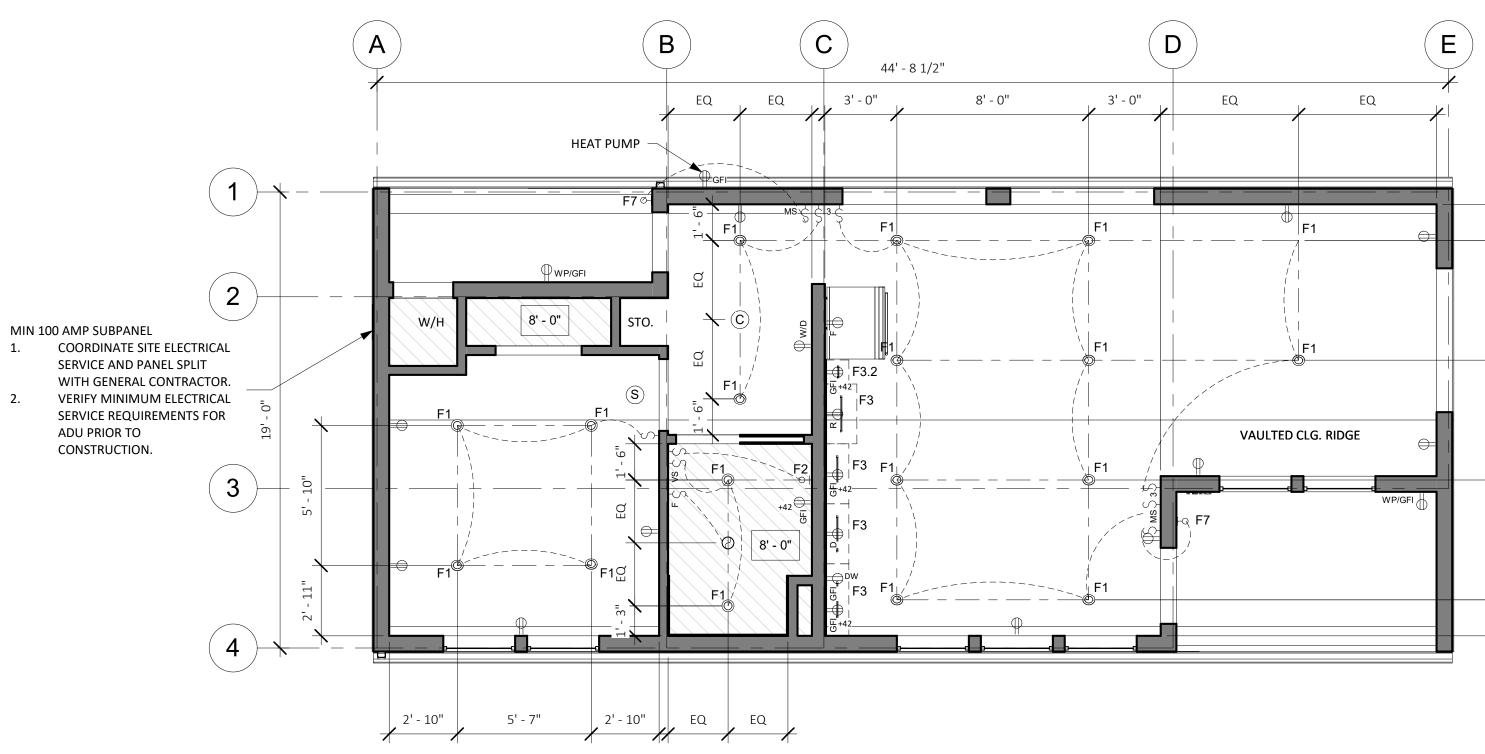
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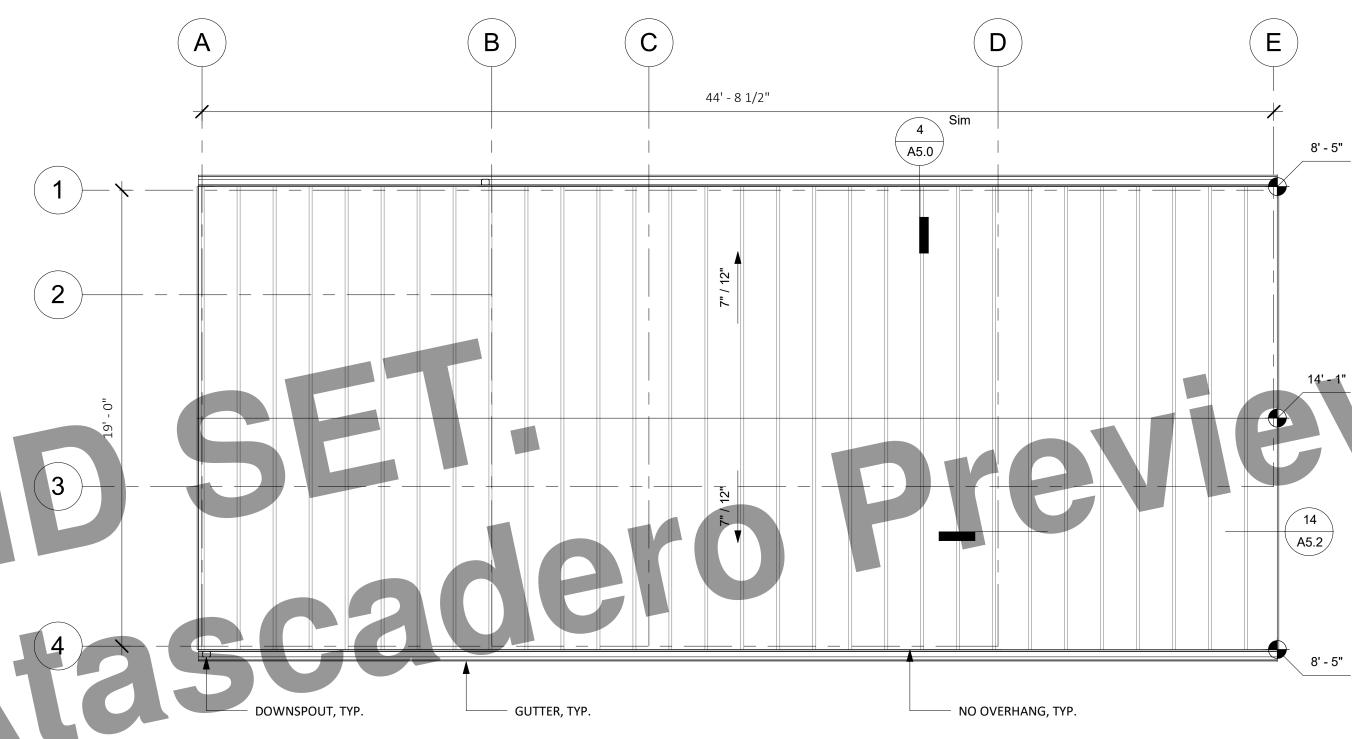
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2 ROOF PLAN - BEACH BUNGALOW 1/4" = 1'-0"

1

2

1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS 1/4" = 1'-0"

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF 1. PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. 2. WOOD SHINGLES SHALL NOT BE USED. 3.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT 4.
- ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE. 6. SEE DETAIL 7/A5.2 FOR ROOF PENETRATION DETAIL. 7.
- 8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- **QUAD RECEPTACLE**
- GFCI RECEPTACLE
- ⇒ 220 VOLT RECEPTACLE OUTLET
- RECESSED LED DOWN LIGHT 0
- WALL MOUNT LIGHT
- Ó LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- S_{MS} MOTION-SENSOR SWITCH
- SVS VACANCY SWITCH
- ⇒F FAN SWITCH/HUMIDITY SENSOR
- 🖉 🖳 🔪 SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

GYP. BD. CLG., PTD.

8'-0" FRAMED CEILING HEIGHT A.F.F.

- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE (**S**) SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR (C) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2 , ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- 1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL 2. TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS 3. OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI 4. PROTECTED. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL
- NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL 6. HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- 7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM



104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKITECTURE.COM

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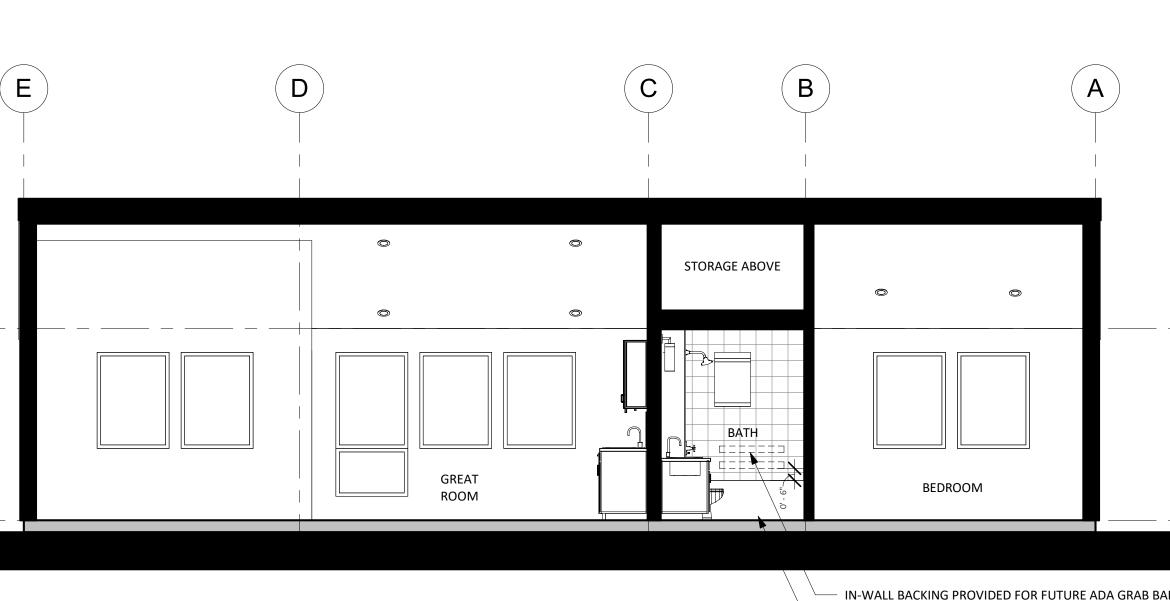
SCALE : AS NOTED

BUNGALOW - ROOF PLAN & RCP

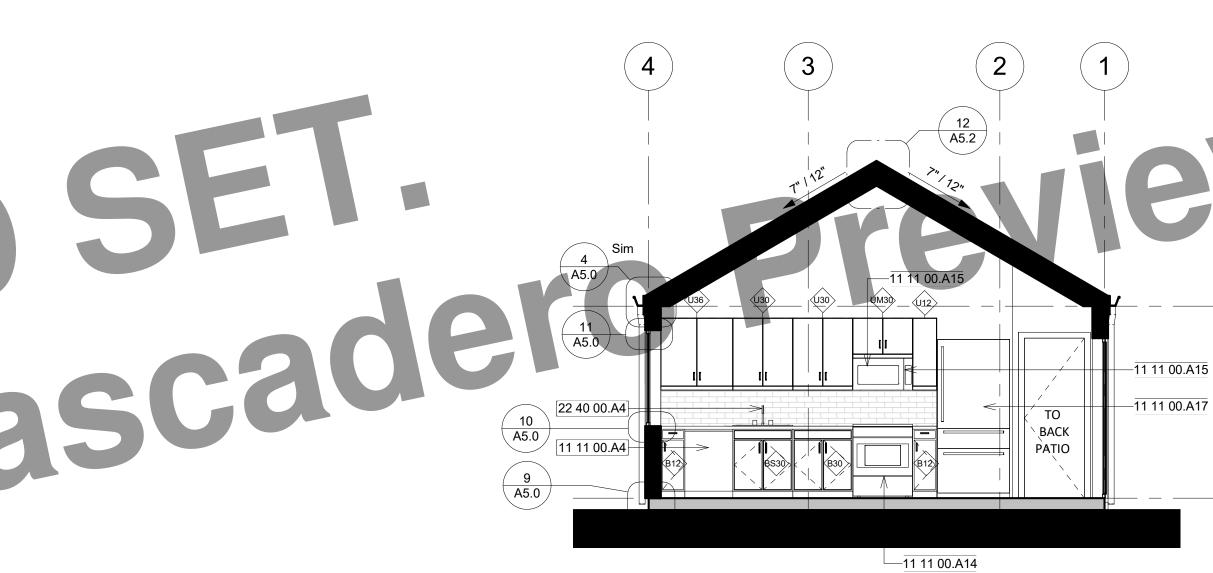
A4.1

City of Atasca

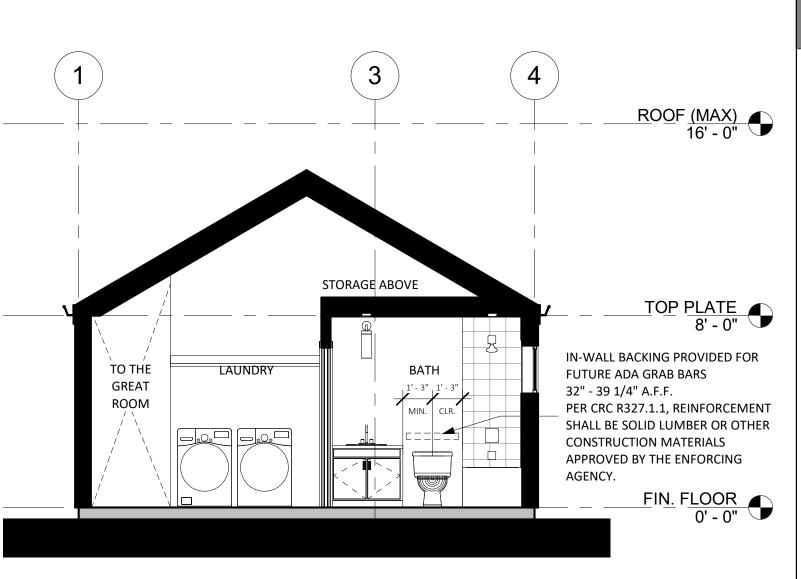
IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3



2 SECTION B - BEACH BUNGALOW 1/4" = 1'-0"



3 SECTION C - COASTAL BUNGALOW 1/4" = 1'-0"



KITCHEN LE	EGEND

DESCRIPTION

TAG

12" BASE CABINET
30" BASE CABINET
30" BASE CABINET - SINK
12" UPPER CABINET
30" UPPER CABINET
36" UPPER CABINET
30" UPPER CABINET - ABOVE MICROWAVE
24" DISHWASHER
30" ELECTRIC RANGE
30" MICROWAVE / HOOD VENT COMBO UNIT
36" REFRIGERATOR
FRONT LOAD DRYER
FRONT LOAD WASHER

PLUMBING

22 40 00.A4 30" KITCHEN SINK WITH FAUCET



189 WALNUT AVENUE

R

workbench



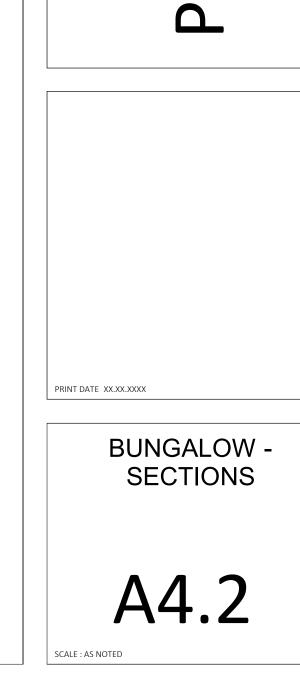
TEMPLETON, CA 93465 BROCKITECTURE.COM

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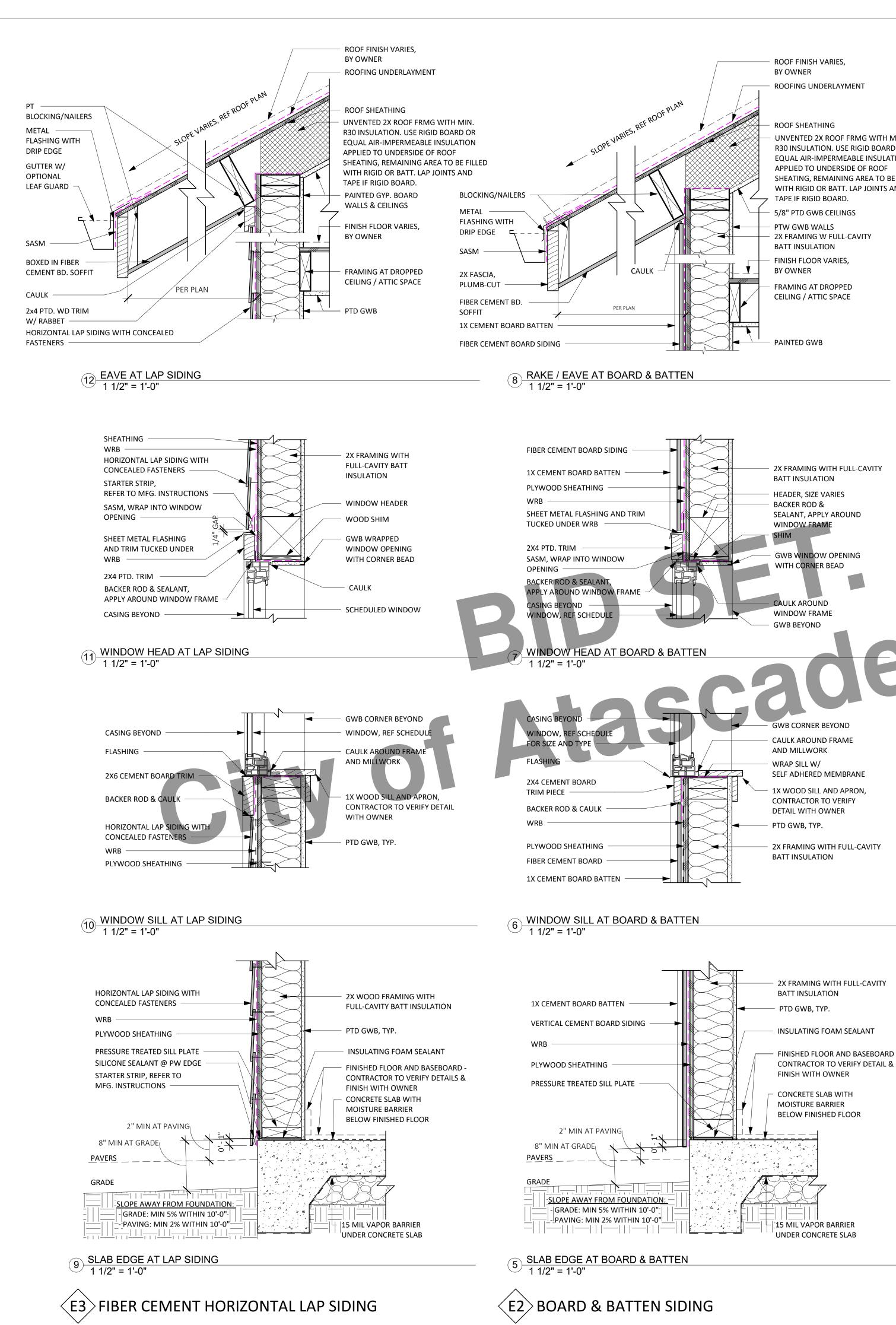


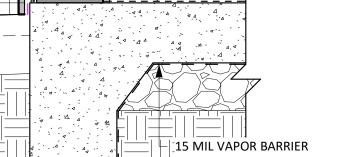
<u>TOP PLATE</u> 8' - 0"

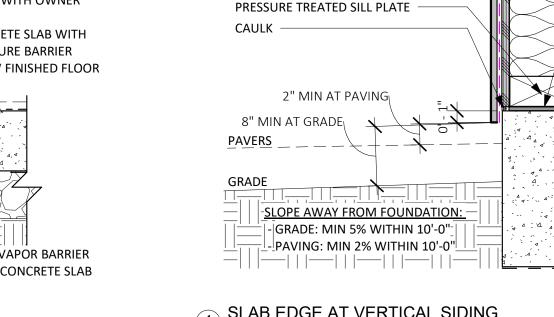
<u>FIN.</u> FLOOR 0' - 0"

TOP PLATE 8' - 0"

FIN. FLOOR 0' - 0"



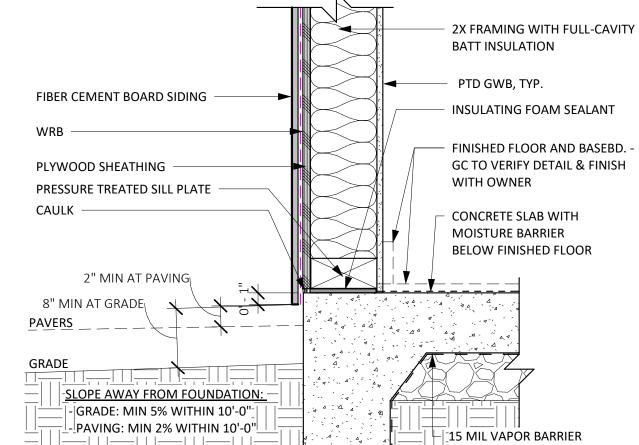




UNDER CONCRETE SLAB

SLAB EDGE AT VERTICAL SIDING 1 1/2" = 1'-0"

(E1) FIBER CEMENT VERTICAL SIDING



2 WINDOW SILL AT VERTICAL SIDING 1 1/2" = 1'-0"

AND MILLWORK WRAP SILL W/

CONTRACTOR TO VERIFY

2X FRAMING WITH MIN. R20

OR EQUAL

FULL-CAVITY BATT INSULATION,

DETAIL WITH OWNER PTD GWB, TYP.

1X WOOD SILL AND APRON

SELF ADHERED MEMBRANE

GWB CORNER BEYOND CAULK AROUND FRAME

WINDOW OPENING WITH CORNER BEAD

HEADER, SIZE VARIES

1/2" GWB WRAPPED

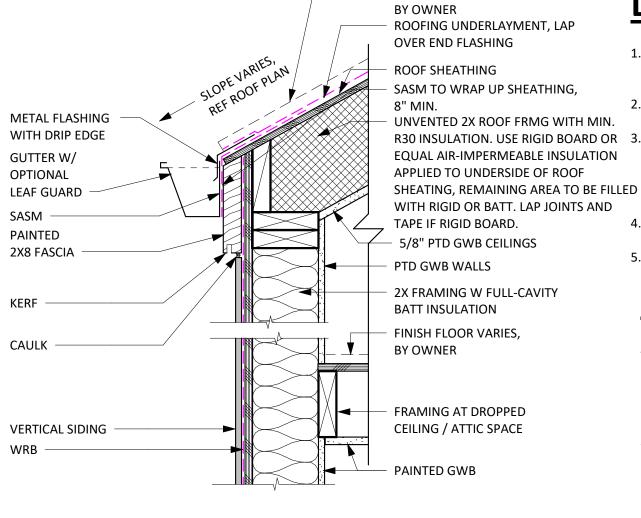
2X FRAMING WITH MIN. R20

OR EQUAL

SHIM

FULL-CAVITY BATT INSULATION,

UNVENTED 2X ROOF FRMG WITH MIN. R30 INSULATION. USE RIGID BOARD OR EQUAL AIR-IMPERMEABLE INSULATION APPLIED TO UNDERSIDE OF ROOF SHEATING, REMAINING AREA TO BE FILLED WITH RIGID OR BATT. LAP JOINTS AND



(4) EAVE WITH ZERO OVERHANG / 1 1/2" = 1'-0"

FIBER CEMENT BOARD SIDING

SHEET METAL FLASHING AND TRIM

PLYWOOD SHEATHING

TUCKED UNDER WRB

SASM, WRAP INTO WINDOW

BACKER ROD & SEALANT,

WINDOW, REF SCHEDULE

APPLY AROUND WINDOW FRAME

WINDOW HEAD AT VERTICAL SIDING 1 1/2" = 1'-0"

2X4 PTD TRIM

CASING BEYOND

CASING BEYOND

FOR SIZE AND TYPE

FLASHING

WRB

WINDOW, REF SCHEDULE

2X3 CEMENT BOARD TRIM

BACKER ROD & CAULK

PLYWOOD SHEATHING

FIBER CEMENT BOARD

OPENING -

WRB –

2X FRAMING W FULL-CAVITY BATT INSULATION FINISH FLOOR VARIES, BY OWNER FRAMING AT DROPPED **CEILING / ATTIC SPACE** PAINTED GWB

OVER END FLASHING ROOF SHEATHING SASM TO WRAP UP SHEATHING, 8" MIN. UNVENTED 2X ROOF FRMG WITH MIN. R30 INSULATION. USE RIGID BOARD OR 3. EQUAL AIR-IMPERMEABLE INSULATION

ROOF FINISH VARIES,

ROOFING UNDERLAYMENT, LAP

DETAIL GENERAL NOTES

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

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ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

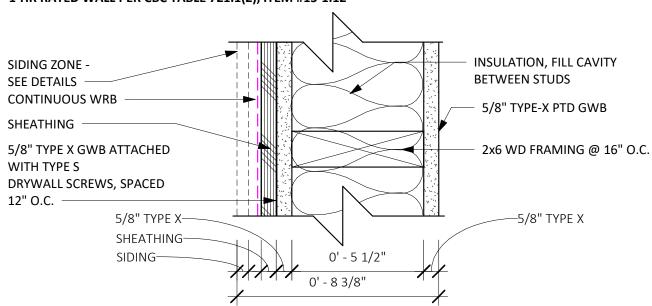
ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD: 1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.129





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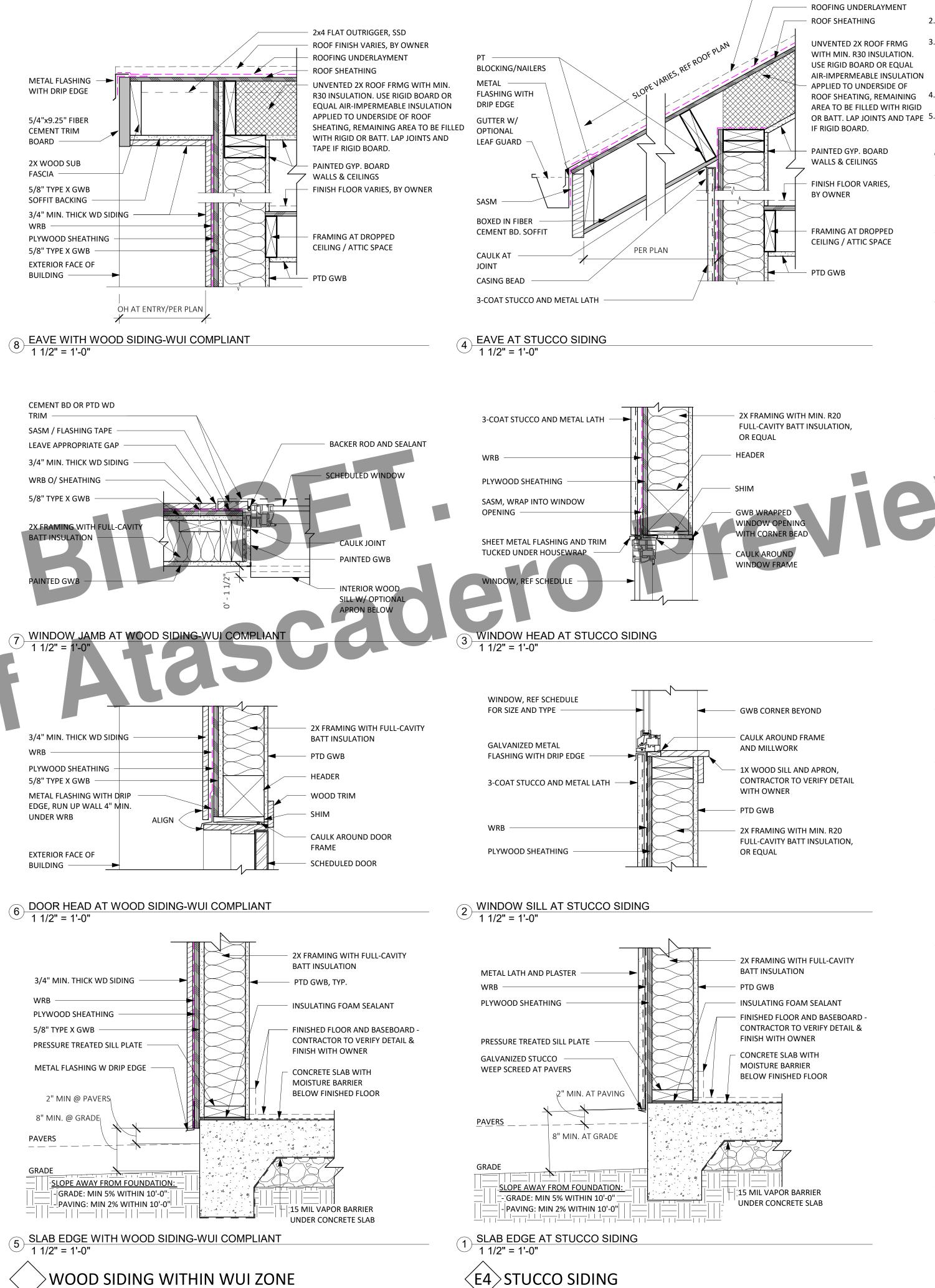
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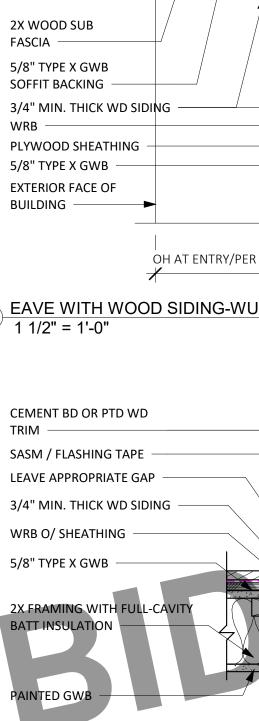
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EXTERIOR WALL ASSEMBLY DETAILS

A5.0



3/4" MIN. THICK WD SIDI	NG
WRB	
PLYWOOD SHEATHING	
METAL FLASHING WITH D EDGE, RUN UP WALL 4" N UNDER WRB	
EXTERIOR FACE OF	



ROOF FINISH VARIES,

BY OWNER

DETAIL GENERAL NOTES

BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5] REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

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ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS: BE FIRESTOPPED WITH APPROVED MATERIALS: OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND MBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI **O AS**TM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS. AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED OF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

- SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
- SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
- SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
- SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 PERFORMANCE AND PRESCRIPTIVE 4. COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE)

FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:

1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12^q INSULATION, FILL CAVITY SIDING ZONE -BETWEEN STUDS SEE DETAILS -CONTINUOUS WRB 5/8" TYPE-X PTD GWB SHEATHING 5/8" TYPE X GWB ATTACHED 2x6 WD FRAMING @ 16" O.C. WITH TYPE S DRYWALL SCREWS, SPACED 12" O.C. – 5/8" TYPE X— -5/8" TYPE X SHEATHING-SIDING-0' - 5 1/2" XXXXX 0' - 8 3/8" NOT TO SCALE

R workbench

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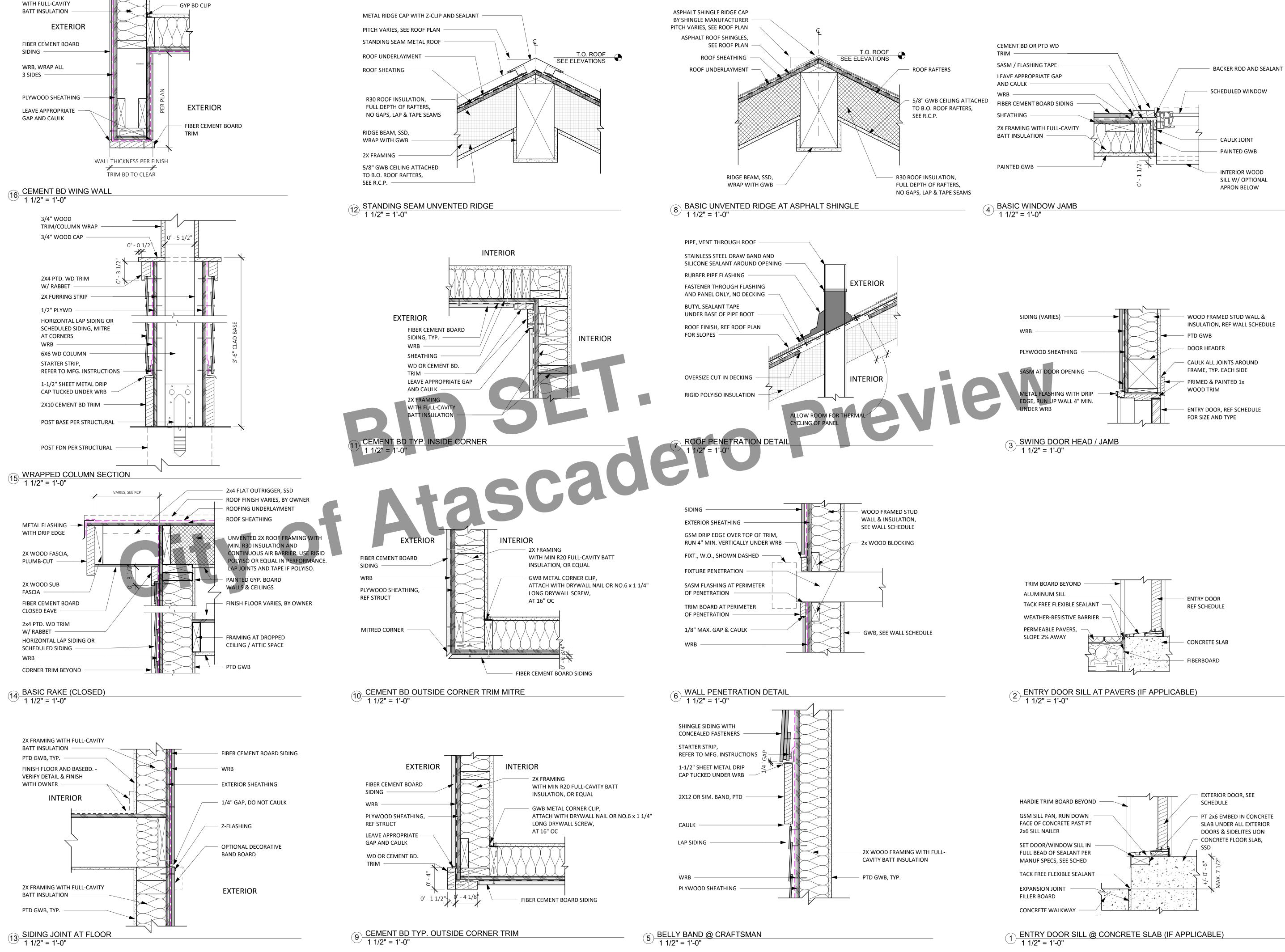
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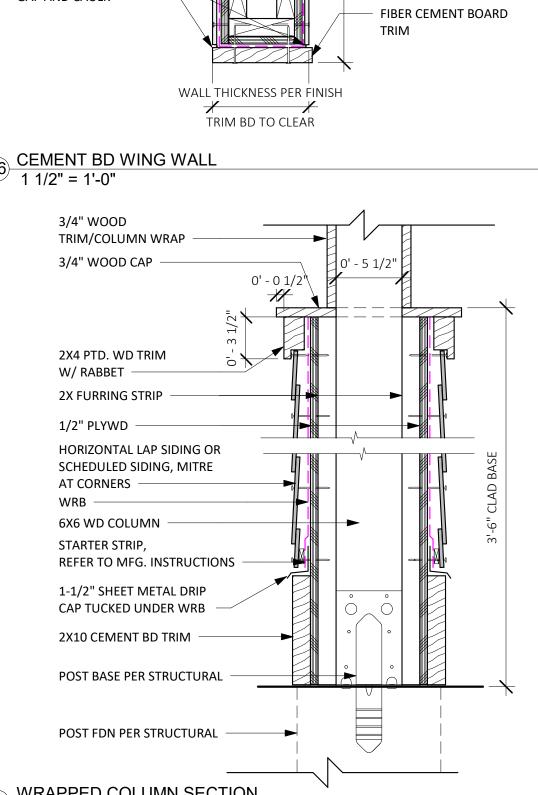
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EXTERIOR WALL ASSEMBLY DETAILS

A5.1







INTERIOR

2X FRAMING



EXTERIOR DETAILS

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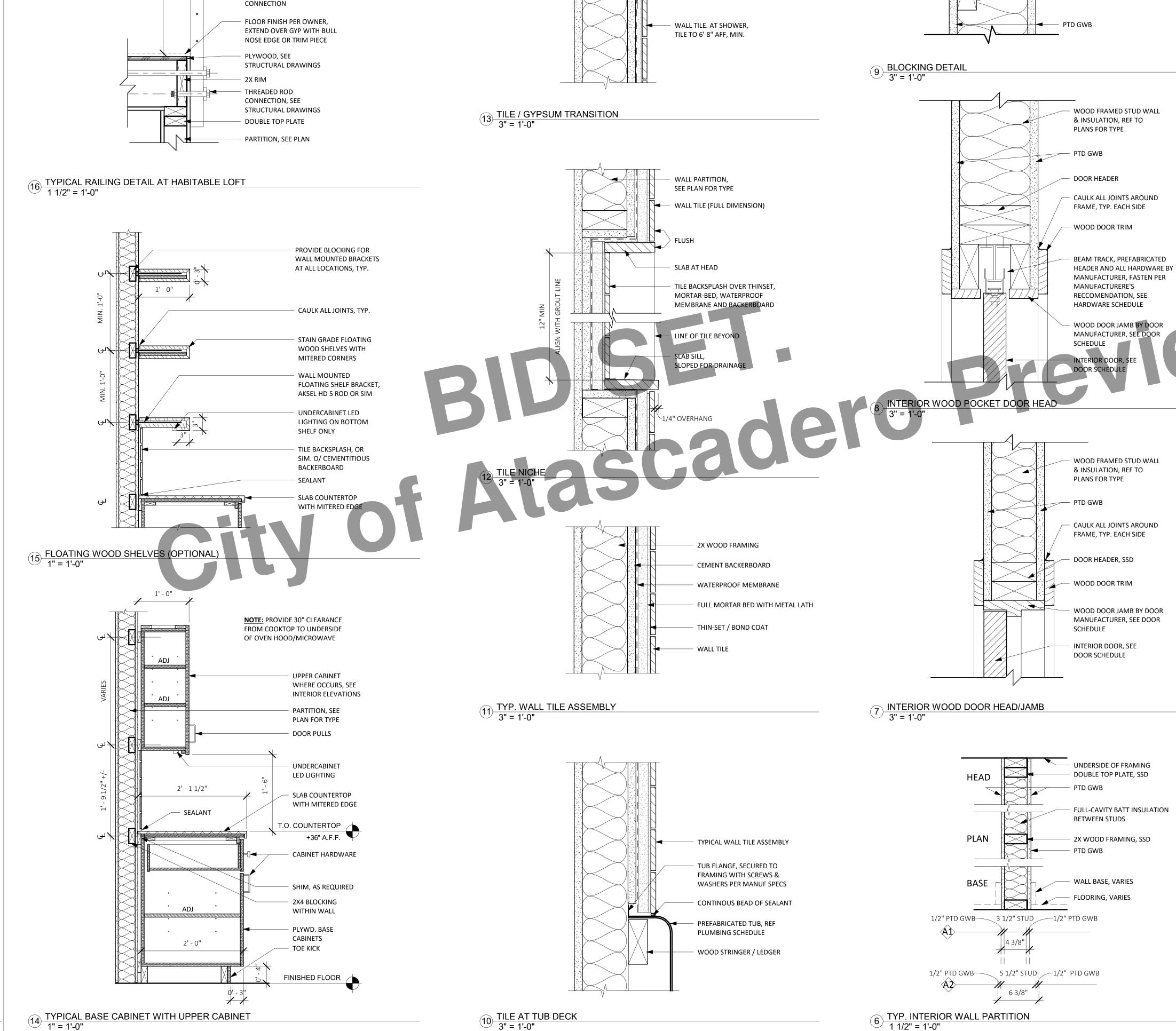
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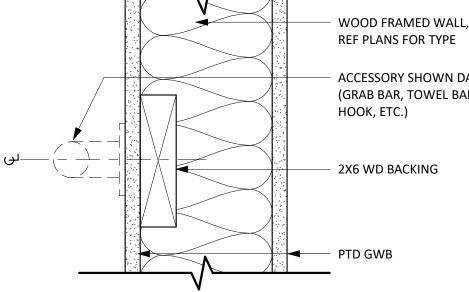
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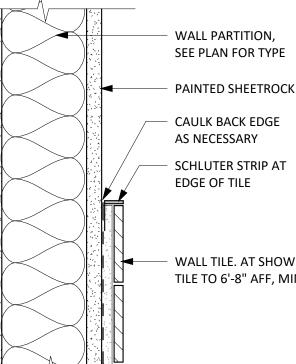
workbench







ACCESSORY SHOWN DASHED (GRAB BAR, TOWEL BAR, ROBE



RAILING SELECTED BY

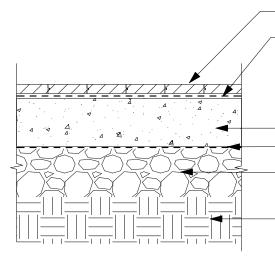
OWNER, VERIFY SELECTED

WITH DETAILED STRUCTURAL

RAILING IS COMPATIBLE

6 TYP. INTERIOR WALL PARTITION 1 1/2" = 1'-0"

1 BASIC WOOD FLOOR AT SLAB 1 1/2" = 1'-0"

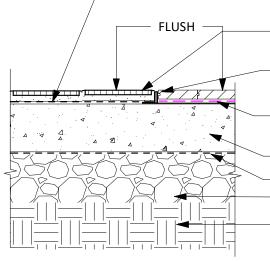


COMPACTED FILL

CONC. SLAB 15 MIL. VAPOR BARRIER GRAVEL, SEE GEOTECH REPORT

SPECIFIED FLOORING FLOORING UNDERLAYMENT WITH VAPOR BARRIER

2 BASIC TILE TO WOOD FLOOR AT SLAB 1 1/2" = 1'-0"



3 <u>TYP. SHOWER CURB</u> 3" = 1'-0"

FILL

COMPACTED

- GRAVEL, SEE GEOTECH REPORT
- CONC. SLAB 15 MIL. VAPOR BARRIER
- SPECIFIED FLOORING O/ UNDERLAYMENT/VAPOR BARRIER

SCHLUTER SCHIENE EDGE TRANSITION STRIP

ROLL ON WATERPROOFING/CRACK ISOLATION MEMBRANE FLOOR TILE OVER THIN SET, MORTAR BED OR BACKER BOARD

MEMBRANE O/ CURB COMPLETELY SHOWER TILE OVER THINSET, SLOPE 1/4" PER FOOT TO DRAIN -WP MEMBRANE O/ SLOPED MORTAR BED O/ SUBFLOOR

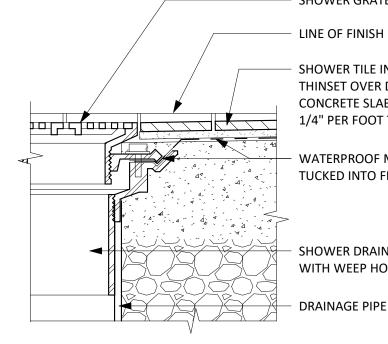
SHOWER PAN / WRAP SHEET

(4) CURBLESS SHOWER DOOR AT SLAB (OPTIONAL) 3" = 1'-0"

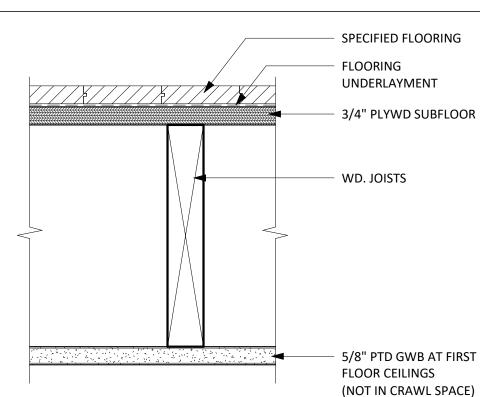


SHOWER TILE INSTALLED ON THINSET OVER DEPRESSED CONCRETE SLAB, SLOPED 1/4" PER FOOT TO DRAIN

42 SHOWER DRAIN AT CONCRETE $3" = 1'_{-}0"$ 3" = 1'-0"



5 TYP. STORAGE LOFT FLOOR ASSEMBLY 3" = 1'-0"3" = 1'-0"



FLOOR TILE / RISER TILE OVER MORTAR BED OR BACKER BOARD ROLL ON WATERPROOFING/CRACK ISOLATION MEMBRANE PLYWD SUBFLOOR

SLAB CURB, SLOPED

T SHOWER DOOR WITH

- DEPRESSED CONCRETE SLAB FOR SHOWER, SSD

- T SHOWER DOOR WITH BOTTOM SWEEP HIGH POINT

SHOWER DRAIN

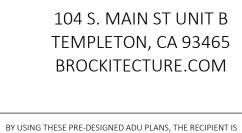
WITH WEEP HOLES

WATERPROOF MEMBRANE TUCKED INTO FLANGE

SHOWER TILE INSTALLED ON THINSET OVER DEPRESSED CONCRETE SLAB, SLOPED 1/4" PER FOOT TO DRAIN

LINE OF FINISH FLOOR BEYOND

SHOWER GRATE TRAY



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INTERIOR DETAILS &

WALL PARTITIONS

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IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE

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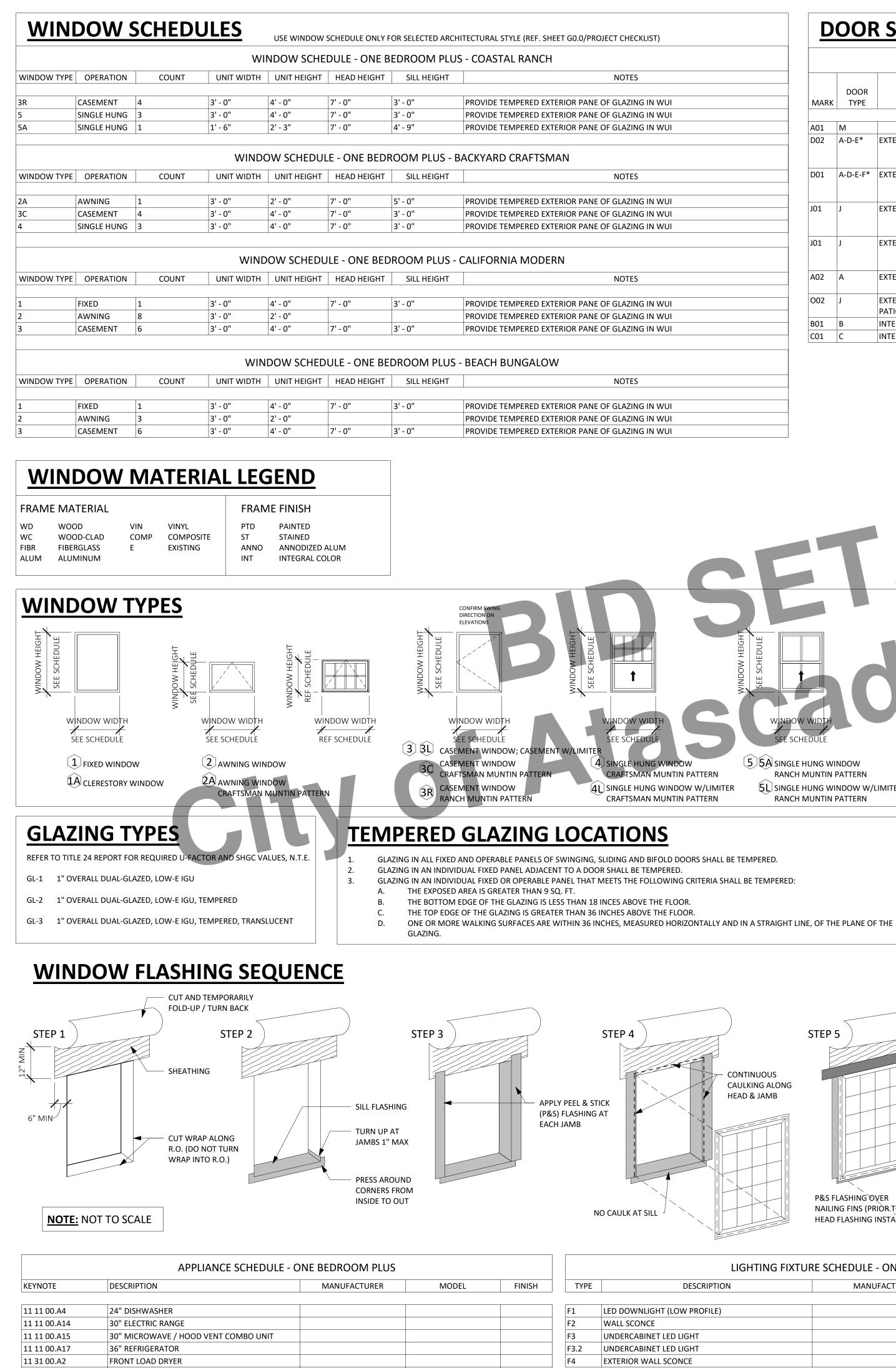
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4x4 FRAMING

INTO SHOWER

BOTTOM SWEEP



11 31 00.A1

FRONT LOAD WASHER

DOOR SCHEDULE

						DIMENSION	S		1	ATERIALS				DETAILS			
		DOOR			UNIT			DOOR	DOOR	GLAZING	FRAME	FRAME				HARDWARE	
MA	ARK	TYPE	DESCRIPTION	LOCATION	WIDTH	UNIT HEIGHT	T THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL	GROUP	NOTES
								1			1	1		1			
A01		M		BEDROOM	3' - 0"	7' - 0"	0' - 2"	SC	PTD	-	WD		7/A5.3		PER MFR	4	
D02	2 /	4-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2' - 6"	6' - 8"	0' - 2"			GL-2 TEMP			3/A5.2 OR 6/A5.1(WUI)		1/A5.2 OR 2/A5.2		*DOOR TYPE DETERMINED BY HOMEOW BASED ON CHOSEN ARCHITECTURAL STY G0.0. REF. EXT. ELEVATIONS.
D0:	1 /	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3' - 0"	7' - 0"	0' - 1 3/8"			GL-2 TEMP			3/A5.2 OR 6/A5.1(WUI)		1/A5.2 OR 2/A5.2		*DOOR TYPE DETERMINED BY HOMEOW BASED ON CHOSEN ARCHITECTURAL STYL G0.0. REF. EXT. ELEVATIONS.
J01	. J	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	СОМР	INT	GL-2 TEMP	СОМР	INT					*DOOR TYPE DETERMINED BY HOMEOW BASED ON CHOSEN ARCHITECTURAL STY G0.0. REF. EXT. ELEVATIONS.
J01	. J	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6' - 0"	6' - 8"	0' - 1 3/8"	СОМР	INT	GL-2 TEMP	СОМР	INT					*DOOR TYPE DETERMINED BY HOMEOW BASED ON CHOSEN ARCHITECTURAL STYL G0.0. REF. EXT. ELEVATIONS.
A02	2	Ą	EXTERIOR WATER HEATER CLOSET DOOR		2' - 6"	6' - 8"	0' - 2"			N/A							REFER MANUFACTURER'S REQUIREMENT VENTILATION
002	2 J		EXTERIOR-OPTIONAL GLAZED SLIDING PATIO DOOR	LIVING/DEN	6' - 0"	6' - 8"	0' - 1 3/8"	СОМР	INT	GL-2 TEMP	COMP	INT					OPTIONAL DOOR. REF "PROJECT CHECKL SHEET G0.0
B01	1	В	INTERIOR BYPASS CLOSET DOOR	BEDROOM	3' - 6"	7' - 0"	0' - 2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
C01	1 (С	INTERIOR POCKET DOOR	BATH	2' - 8"	6' - 8"	0' - 1 1/2"	SC	PTD	N/A	WD	PTD	8/A5.3	PER MFR	PER MFR	3	

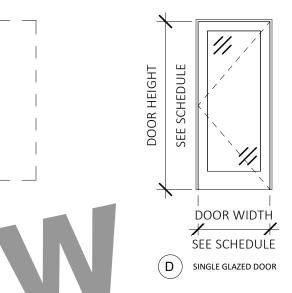
 \longrightarrow **DOOR WIDTH** DOOR WIDTH DOOR WIDTH DOOR WIDTH DOOR WIDTH +SEE SCHEDULE SEE SCHEDULE SEE SCHEDULE SEE SCHEDULE SEE SCHEDULE E SINGLE HALF-LITE DOOR D SINGLE GLAZED DOOR BYPASS CLOSET DOOR 11, 1// DOOR WIDTH DOOR WIDTH SEE SCHEDULE SEE SCHEDULE 554 single hung window HUNG WINDOW CRAFTSMAN MUNTIN PATTERN RANCH MUNTIN PATTERN $\left(\begin{array}{c} {\sf J} \end{array}
ight)$ double-sliding glazed door (**F**) SINGLE DOOR W/ EMBEDDED LITES [4] SINGLE HUNG WINDOW W/LIMITER **5**L SINGLE HUNG WINDOW W/LIMITER $\left(\, {f O} \, \,
ight)$ Optional double-sliding glazed door RANCH MUNTIN PATTERN CRAFTSMAN MUNTIN PATTERN **DOOR MATERIAL LEGEND** DOOR FINISH GLAZING TYPE FRAME MATERIAL FRAME FINISH DOOR MATERIAL PAINTED REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC PTD PAINTED HOLLOW CORE WOOD PTD WOOD WD SOLID CORE WOOD ST STAINED HМ HOLLOW METAL ST STAINED FACTORS, N.T.E. нм HOLLOW METAL ANNO ANNODIZED ALUM ALUM ALUMINUM ANNO ANNODIZED ALUM GL-1 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR ALUM EXISTING ALUMINUM GL-2 1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED EXISTING GL-3 1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT **DOOR HARDWARE SCHEDULE** OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS GROUP DESCRIPTION HARDWARE HINGES: ENTRY DOOR 1 STEP 6 STEP 5 LOCK: HANDLE: APPLY P&S THRESHOLD: FLASHING ACROSS HEAD CONTINUOUS TYP. INTERIOR DOOR HINGES: FOLD DOWN 2 CAULKING ALONG LOCK: WRAP/FELT HEAD & JAMB 2" MIN HEAD FLAP AND TAPE-OFF SEAMS BATHROOM POCKET DOOR

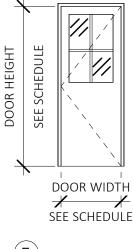
LIGHTING FIXT	URE SCHEDULE - ONE BED PLUS				PLUMBING FIXTURE
DESCRIPTION	MANUFACTURER	MODEL	COUNT	KEYNOTE	DESCRIPTION
LOW PROFILE)			18	22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD
			1	22 40 00.A4	30" KITCHEN SINK/FAUCET
D LIGHT			4		VANITY WITH SINK/FAUCET
D LIGHT			1		TOILET
CONCE			2		SHOWER OR SHOWER/TUB COMBO

P&S FLASHING OVER

NAILING FINS (PRIÒR TO

HEAD FLASHING INSTALL -





HANDLE: THRESHOLD:	
HINGES: LOCK: HANDLE: THRESHOLD:	
HINGES:	

LOCK: HANDLE: THRESHOLD:

CLOSET BYPASS DOOR

4

RE SCHEDULE - ONE BEDROOM PLUS

	MANUFACTURER	MODEL	FINISH
FAUCET, HEAD, DRAIN			



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SCHEDULES - ONE **BEDROOM PLUS**

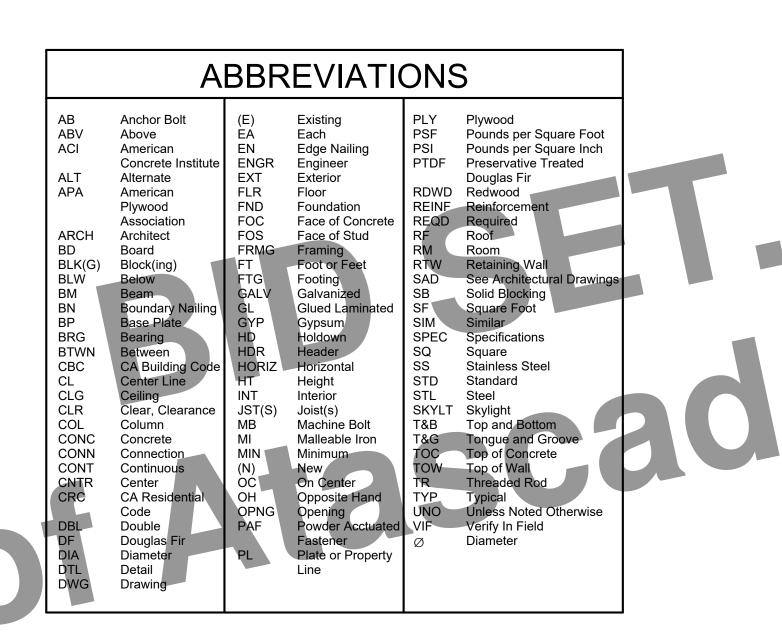


PLYWOOD SHEAR WALL SCHEDULE

MARK	MATERIAL	NAILING OF PANEL EDGES,	EDGES, FIELD TOP PLATE MINIMUM		BOTTOM PLATE	ANC	ALLOWABLE SHEAR (plf)		
		COLLECTORS AND TIES (EN)	(FN)			CONNECTION	SIZE	SPACING (O.C.)	ALLOV SHEAF
	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
$\boxed{3}$	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- 1. NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED. 2. WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL
- EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS. 3. A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL. 5. ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING. 7. ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7 INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS, UNO. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH
- SHEATHING 8. OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE. 9. PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES





STRUCTURAL NOTES AND SPECIFICATIONS

- A. DESIGN CRITERIA
- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA BUILDING CODE (CBC)
- 2. FLOOR LIVE LOAD = 40 PSF 3. ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA:
- V_{ULT} = 91 MPH (V_{ASD} = 71 MPH), EXPOSURE D 5. SEISMIC DESIGN DATA: SITE CLASS = D (DEFAULT)
- S_S=1.096, S₁=0.403 SEISMIC DESIGN CATEGORY = D
- SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING. BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- 7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

OOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.

- 2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 3. THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS .

D. CONCRETE

- 1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER
- 2. CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- 3. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- 4. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- 5. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- 1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- 2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- 3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- 2. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- 3. DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

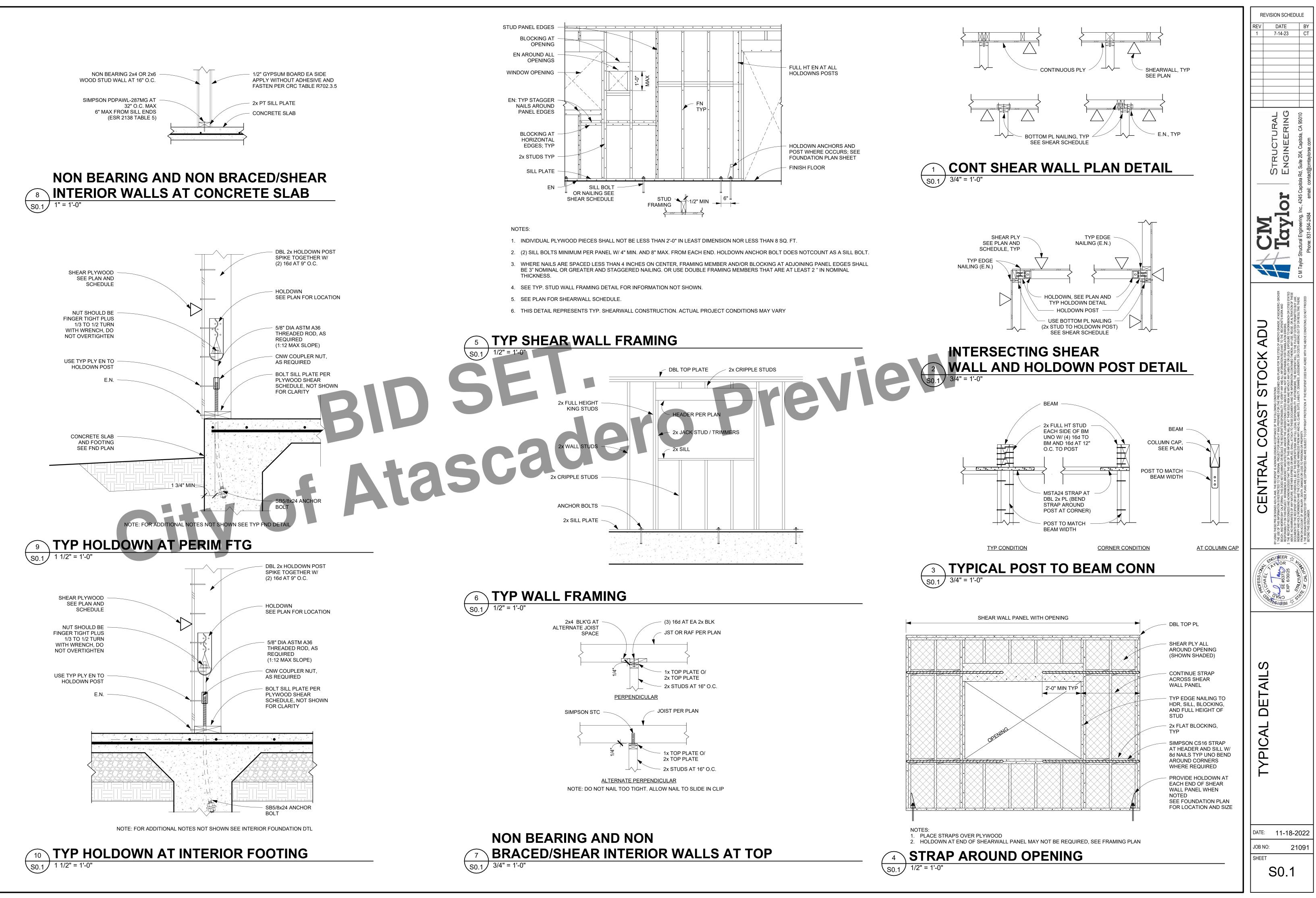
F. WOOD FRAMING (CONTINUED)

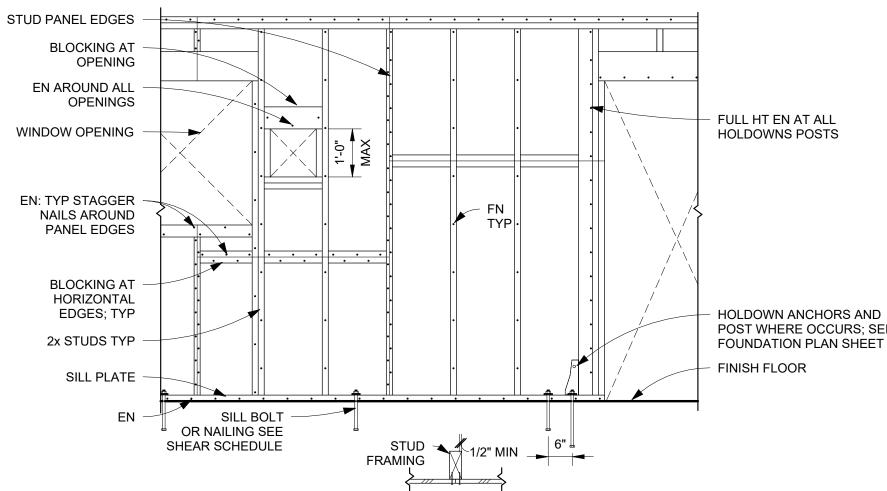
- 4. DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH. A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- 5. ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

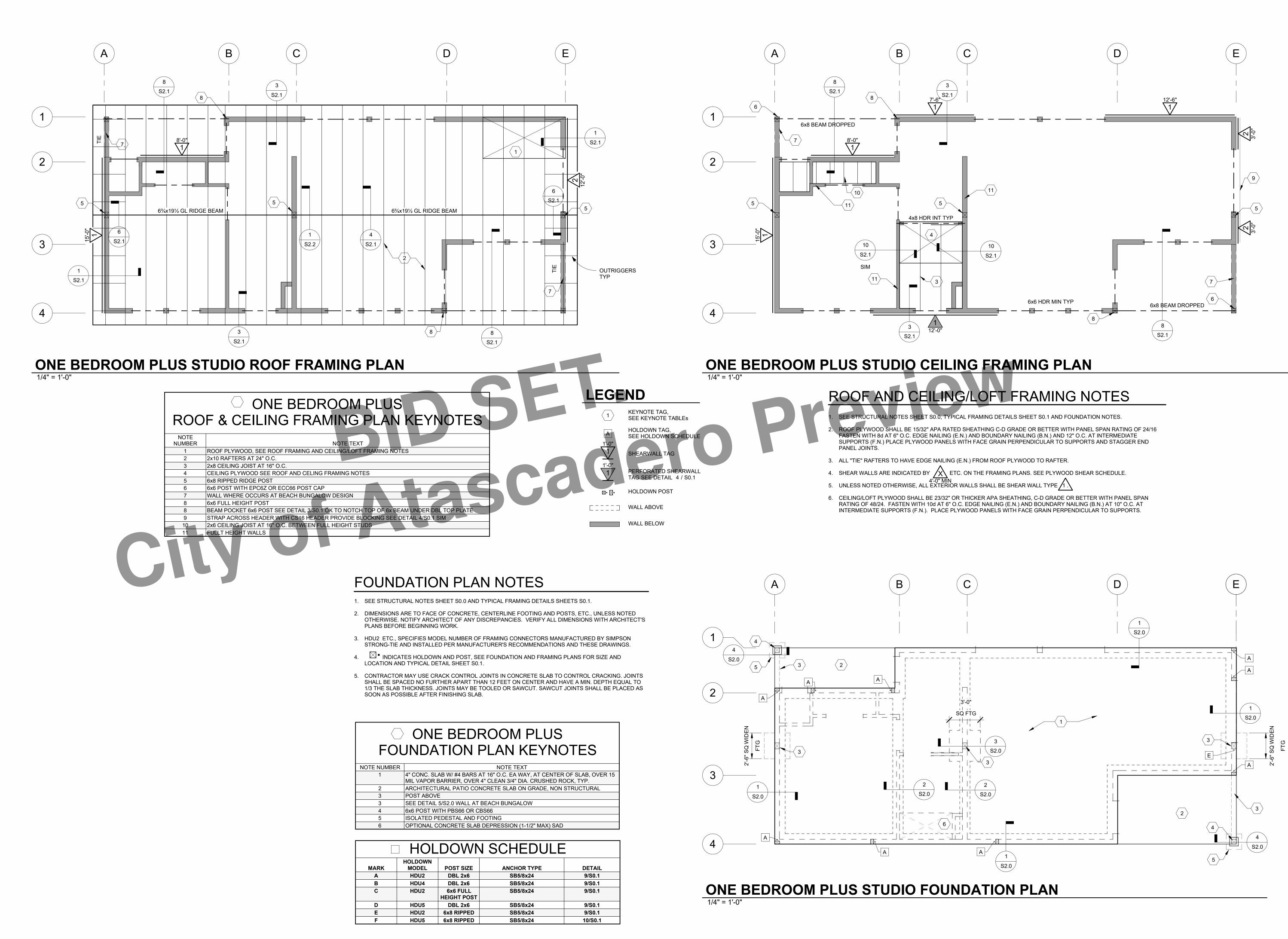
SILLS	PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS	UP TO 4x - DF NO. 2
	6x - DF NO. 1
STUDS AND BLOCKING	DF STANDARD, NO. 2 OR BETTER
POSTS AND DOUBLE TOP PLATES	DF NO. 1
GLULAM BEAMS	DF 24F-V4

- 6. ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- 7. FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- 8. STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- 9. ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- 10. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- 11. USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- 12. ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- 13. ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- 4. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- 15. TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- 16. STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- 17. WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

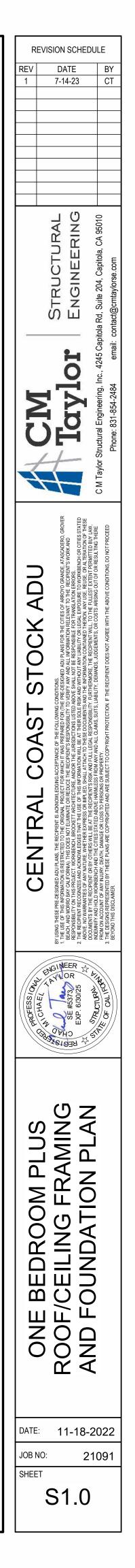
REVIS	SION SCHEI DATE 7-14-23	DULE BY CT
CM	Taylor Engineering	C M Taylor Structural Engineering, Inc., 4245 Capitola Rd, Suite 204, Capitola, CA 95010 Phone: 831-854-2484 email: contact@cmtaylorse.com
CENTRAL COAST STOCK ADU	BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS. 1. THE USE OF THIS INFORMATION IS REFERENCED TO THE ORGIMAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER REACH, AND WORRD BAY CALFORNIA, THIS DOGS NOT ELIMMATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIEY ANY AND ALL INFORMATION IS ELEVANT TO THE RECEIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT, WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JUNSDICTIONS LUSTED ABOVE SHALL NOT BE RESPONSIBLE FOR ITAMSLATION RELEVANT TO THE RECEIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT, WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JUNSDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR ITAMSLATION RERGANS. 2. THE RECOPIENT RECOMMENDEDEST THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOL BERK AND MINITOUT ARY LIABILITY ON LEGAL EXPONSIBLE FOR IRANSLATION RERGANS. 2. ADD ALLINET RECOMMENDEDEST FOR EXPRESSION RELEVANT ON THE MARK AND THE INFORMATION AND LEDATION REPORTS. ABOVE, NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE REPORTS OF READONSIBLE FOR IRANSLATION REPORTS. ABOVE, NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE REPORTS OF ANY LIABILITY OR LEGAL EXPONSUES. OR ATTERNATION FOR THE STATED ABOVE, NO WARRANTIES OF ANY NATURE, WHETHER EXPRESSION AND THE INFORMATION CONTAINED THERON ANY USE, REUSE, OR ATTERNATION OF THESE	DOCOMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT SYSK AND LULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE PULIEST EXTENT PERMITTED BUY LAW, NDEMINEY AND HOL WORKBENCH AND FERTIRES STATED ABOVE HARMLESS FROM ANY AND ALL CLAMS, SUITS, LLABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ARCOUNT OF ANY NUURY, DEATH, DAMAGE OR JOSS TO PERSONS OR PROPERTY. 3. THE DESIGNER REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAMER.
PROFESSION	R C SE #5373 20 110	03 OTACINEM IF
STRUCTURAL NOTES		
DATE: JOB NO: SHEET	¹¹⁻¹⁸⁻ 2 SO.O	1091

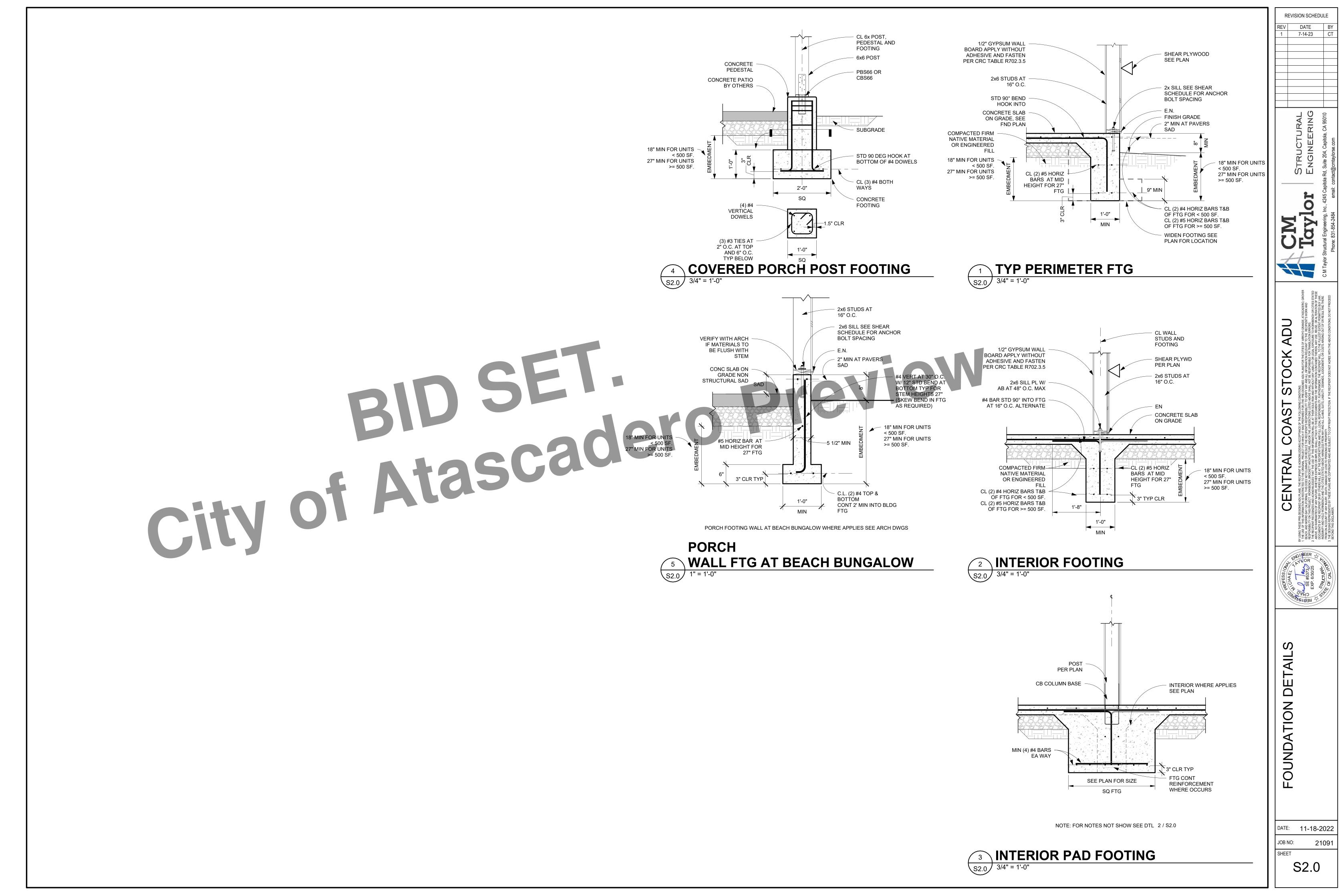




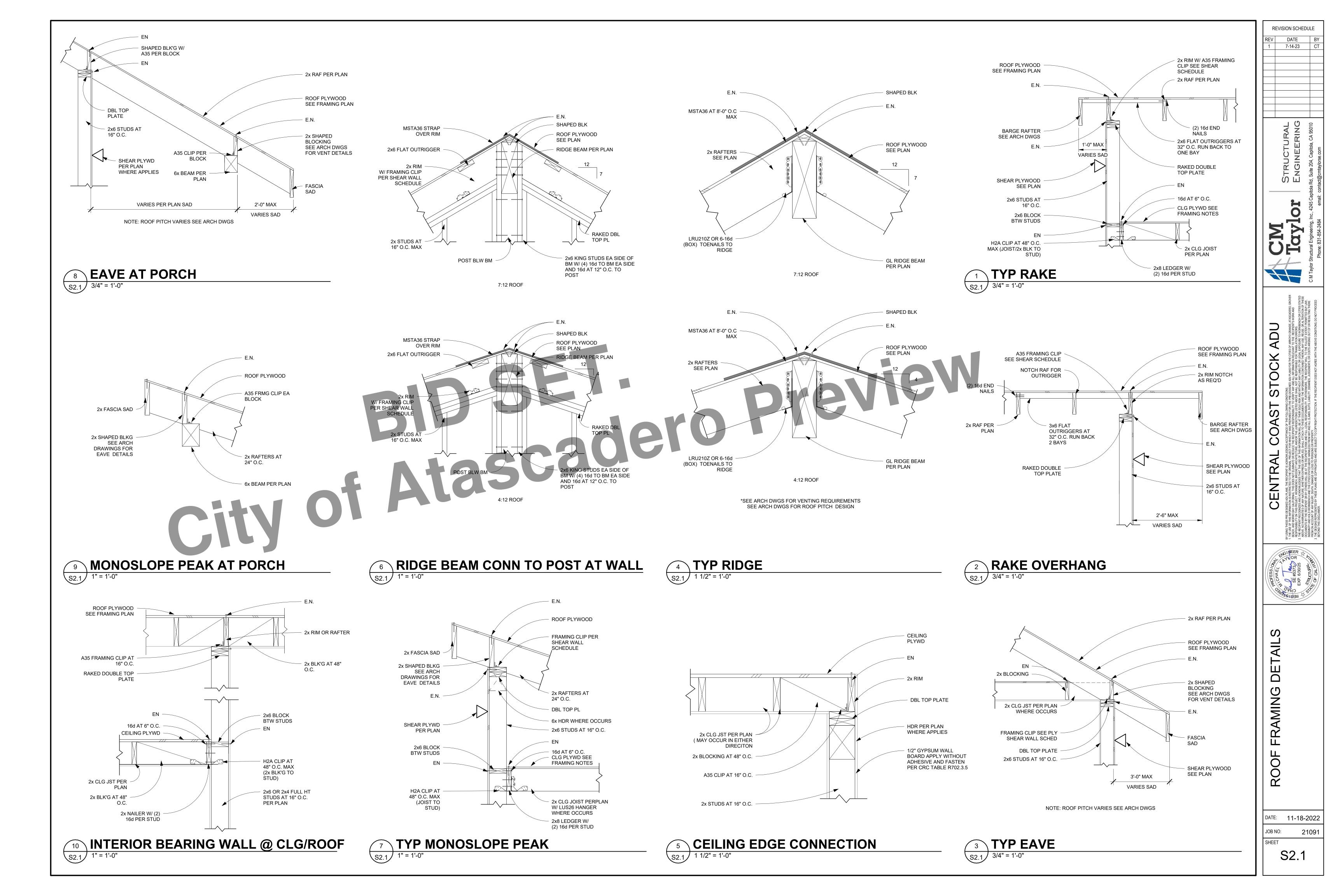


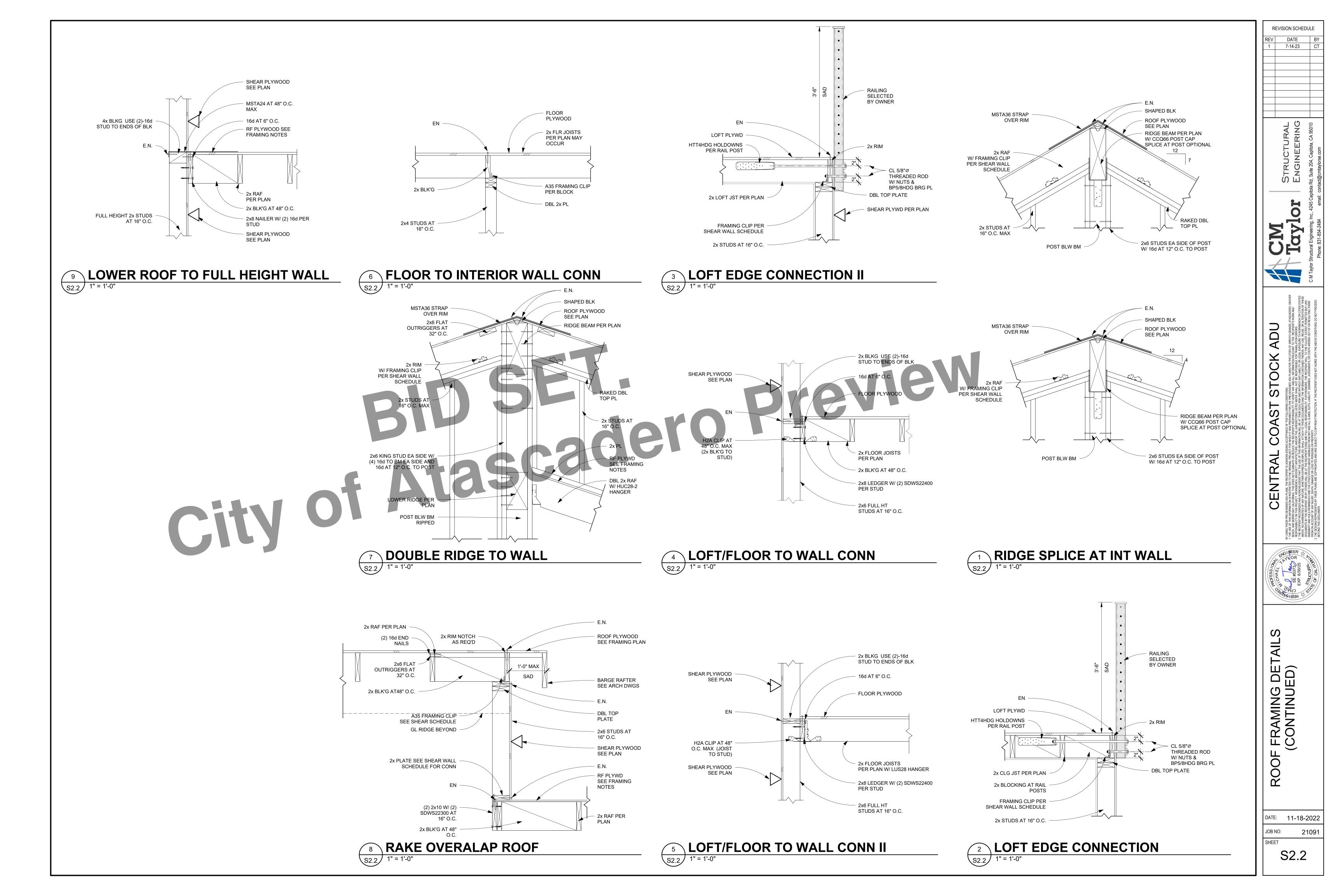
POST SIZE	ANCHOR TYPE	DETAIL
DBL 2x6	SB5/8x24	9/S0.1
DBL 2x6	SB5/8x24	9/S0.1
6x6 FULL IEIGHT POST	SB5/8x24	9/S0.1
DBL 2x6	SB5/8x24	9/S0.1
6x8 RIPPED	SB5/8x24	9/S0.1
6x8 RIPPED	SB5/8x24	10/S0.1











BT	BYPASS TIMER	EC ELECTRICAL CONTRACTOR	I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANI
Ę	CENTER LINE	EDB ENTERING DRY BULB EOD EXTENT OF DEMOLITION	CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION COD
CD	CONDENSATE DRAIN	ECD EXTENTION DEMOLITION ETR EXISTING TO REMAIN	AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
Ø	DIAMETER	EWB ENTERING WET BULB	
	EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWT ENTERING WATER TEMPERATURE °F DEGREES FAHRENHEIT	2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
	EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	FC FLEXIBLE CONNECTION FD FIRE DAMPER	3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPO ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
	EXTENT OF DEMOLITION	FLA FULL LOAD AMPS FSD FIRE SMOKE DAMPER FT.HD. FEET HEAD	4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FO
	EXHAUST DUCT UP, DOWN, PENE ≰ DEMO	FTR FLUE THRU ROOF	THE FURNISHED EQUIPMENT. 5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURE
•	FIRE/SMOKE DAMPER	GPM GALLONS PER MINUTE	RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVIC REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
	FIRE DAMPER	HP HORSE POWER	
\bullet	POINT OF CONNECTION	KW KILOWATTS LBS POUNDS	 ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
<u> </u>	P/T PLUG	LWT LEAVING WATER TEMPERATURE	7. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PRO
	RETURN OR EXHAUST AIR	MBH I ,000 BTU/HR MC MECHANICAL CONTRACTOR	I " ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
	RETURN DUCT UP, DOWN, PENE ∉ DEMO	(N) NEW	
s ^	SPEED CONTROL SWITCH	NIC NOT IN CONTRACT NTS NOT TO SCALE	 MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLE AND REGISTERS.
X	SPIN-IN EXTRACTOR/DAMPER	OBD OPPOSED BLADE DAMPER	9. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE
	SUPPLY DUCT	OSA OUTSIDE AIR PC PLUMBING CONTRACTOR	BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
	UP, DOWN, PENE & DEMO	PENE PENETRATION	IO. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC
	SUPPLY OR OUTSIDE AIR	PD PRESSURE DROP PH PHASE	RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
(\mathbf{T})	THERMOSTAT at + 48"	PH PHASE POC POINT OF CONNECTION	II. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
<u> </u>	TO BE REMOVED	P/N PART NUMBER	I 2. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS
<u></u>	TRANSFER AIR	PRV PRESSURE REDUCING VALVE	THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
-((TURNING VANES	PSI POUNDS PER SQUARE INCH	I 3. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS
]	VOLUME DAMPER	P/T PRESSURE / TEMPERATURE RA RETURN AIR	PRESCRIBED IN CBC SECTION 714.
		RAD RETURN AIR DUCT	14. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL
		(RL) RELOCATE	DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL
		RPM REVOLUTIONS PER MINUTE	ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T DRILLING.
AD	ACCESS DOOR	SA SUPPLY AIR SAD SUPPLY AIR DUCT	DRIELING.
AFF	ABOVE FINISH FLOOR	SD SUPPLY DIFFUSER	15. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO
AL	ACOUSTICALLY LINED	SP STATIC PRESSURE	FABRICATION OF ANY NEW WORK.
AP	ACCESS PANEL	SS STAINLESS STEEL	I.G. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307.
BD BDD	BALANCING DAMPER BACKDRAFT DAMPER	STD STANDARD	FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITI
BHP	BRAKE HORSE POWER	TV TURNING VANES	OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO
		TYP TYPICAL	WEATHER SHALL BE GALVANIZED.
BJ BTU	BETWEEN JOIST BRITISH THERMAL UNIT	UCD UNDERCUT DOOR	17. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESS
C.	CONDUIT	UON UNLESS OTHERWISE NOTED	DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF
CA	COMBUSTION AIR	V VOLT	REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS
CD	CONDENSATE DRAIN	VD VOLUME DAMPER	WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAIL
CFM	CUBIC FEET PER MINUTE	VIF VERIFY IN FIELD	AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
DEMO	DEMOLITION	W/ WITH	DEI ORE I ROOLLDING WITH THE WORK.
DL	DOOR LOUVER	WC WATER COLUMN	18. ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM TH
(E)	EXISTING	WT WEIGHT	FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVEABLE EQUIPMENT WEIGHING LES
EAD	EXHAUST AIR DUCT	W/O WITH OUT	THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (CCR TITLE 24, PART 2, SECTION 7.125
			EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE

RIBED PER ASCE RCES PRES ANCHORAGE SHALL BE APPROVED RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED. DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.

20. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).

21. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.

22. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC. AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.

23. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC. 24. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115,

AND 120-129 CEC.

ENERAL MECHANICAL NOTES

ATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL INIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, R APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY

ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL LING PLAN AND ROOM ELEVATIONS.

ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

URBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND L PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR

ALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR

GH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF TIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR T CATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND D EQUIPMENT PRIOR TO ALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. DING AND PAINTING SHALL BE IN ACCORDA WITH THE LATEST EDITION

FICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY ORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF HOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS NISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DET THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEA

RY OR MOVER SUSPENDED FROM THE ROOF, OLATOR DEVICES (CCR TITLE 24, PART 2, SECTION 7.125 PORTED AND ANCHORED TO RESIST THE ER 13 AS MODIFIED BY CBC 1613/1615 AND THE BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF

SYMBOLS & ABBREVIATIONS (PLUMBING)

BALANCING COCK ABOVE FINISH FLOOR ACCESS PANEL BALL VALVE BALL VALVE CAP COMPRESSED AIR PIPING CHECK VALVE CATCH BASIN CONDENSATE CLEANOUT CUBIC FEET PER HOUR CFH DOMESTIC COLD _____ CAST IRON WATER (EXISTING) CHROME PLATED DOMESTIC COLD _____ DCW DOMESTIC COLD WATER WATER (NEW) DHW DOMESTIC HOT WATER ------ DOMESTIC HOT WATER DHWR DOMESTIC HOT WATER RETURN (EXISTING) DCV DETECTOR CHECK VALVE _..._ DOMESTIC HOT WATER (NEW) DOWN DOMESTIC HOT WATER RETURN _____ DOWN SPOUT (EXISTING) DRY STAND PIPE _____ DOMESTIC HOT WATER RETURN EXISTING (NEW) ELECTRICAL CONTRACTOR DIRECTION OF FLOW ELEVATION FIRE SPRINKLER PIPING **DSP** DRY STANDPIPE FLEX CONNECTOR FIRE SPRINKLER PIPING FLOOR CLEANOUT FCO FLANGED UNION FLOOR DRAIN FLOOR DRAIN FIRE LINE FORCE MAIN FLOOR SINK FLOOR SINK FSC FIRE SPRINKLER CONTRACTOR GENERAL CONTRACTOR GAS PIPING (EXISTING) GCO GROUND CLEANOUT GAS PIPING (NEW) GPM GALLONS PER MINUTE GAS COCK _____ _____ HOSE BIBB HB HWS HOT WATER SUPPLY GATE VALVE INVERT ELEVATION GLOBE VALVE LAV LAVATORY HOSE BIBB (3/4" MIN.) _____C__+ MECHANICAL CONTRACTOR NPW NON POTABLE WATER PETES PLUG _____ NEW PIPE (ABOVE THE CEILING) OFD OVERFLOW DRAIN PIPE HANGER PLUMBING CONTRACTOR POST INDICATION VALVE \bigcirc PIPE TURNING UP (RISE) POINT OF CONNECTIO PIPE TURNING DOWN (DROP) <u>(</u>_____ $\overline{\bigcirc}$ PIPE TEE DOWN PRESSURE REDUCING VALVE °RV RELIEF VA BACKFLOW PREVENTOR REDUCED PRESSURE R LEADER (EXISTING) RAIN WATER LEADER W/I STORM DRAIN ER LEADER RAIN WAT SOV SHUTOFF VALVE REDUCER SANITARY SEWER ROOF DRAIN TRAP PRIMER VENT VALVE BOX VERIFY IN FIELD STRAINER VTR VENT THRU ROOF WASTE ---- SUB-SOIL PIPING WATER CLOSET UNION WALL CLEANOUT WCO ----- VENT PIPING (EXISTING) WATER HEATER W/H WATER HAMMER ARRESTOR WHA ---- VENT PIPING (NEW) WM WATER METER --- --- WASTE PIPING (EXISTING) --- (N) WASTE PIPING (NEW) UNDERGROUND (NEW) WSP WSP WET STANDPIPE (NEW) WATERHAMMER ARRESTOR (WHA) TRAP PRIMER (TP)

GENERAL PLUMBING NOTES

I. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.

2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.

3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.

4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.

6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."

7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.

8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS. 9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.

10. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.

I. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.

12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.

13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.

14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.

15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT ING, PINCHING OR TWISTING OF THE WRIST.

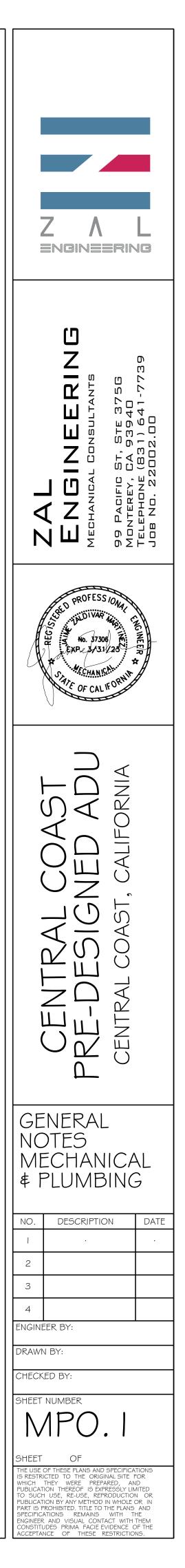
DE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

I. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY, CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THERON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BUY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITIES STATED ABOVE HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.



OUTDOOR	UNIT											
CODE	MFR.	MODEL	EFFICIENCY	REFR	V/PH	MCA	MOCP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LBS)	LEVELING		SERVED	
OU-I	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-I	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-11/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAHZ	19.1	R410A	208/1	42	45	278	52-11/16	TSTAT.	IU-1,2	
1				1	1							

INDOOR UNIT SCHEDULE

CODE	MFR	MODEL		SUPPLY FAN	1	E	LECTRICA	TRICAL			COOLING COIL			Н	EATING CC	DIL				COMMENTS
			CFM	ESP (IN)	BHP	V/PH	MCA	MOCP	EAT		LAT	CAPACITY (MBH)		EAT	LAT	CAP	HT W/O	WEIGHT	AREAS SERVED/	
									°F DB	°F WB	°F DB	TOTAL	SENS	°F DB	°F DB	MBH	LEVELING	(LBS)	FLOOR	
IU-1	MITSUBISHI	MSZ-GLO9NA	240		30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLOGNA	240		30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	-5/8	22	MULTIPLE	1
NOTES:	I. PROVIDE CON	I . PROVIDE CONDENSATE PUMP. RUN CD & DISCHARGE IN APPROVED LOCATION.																		

FXHAUST FAN SCHEDULF

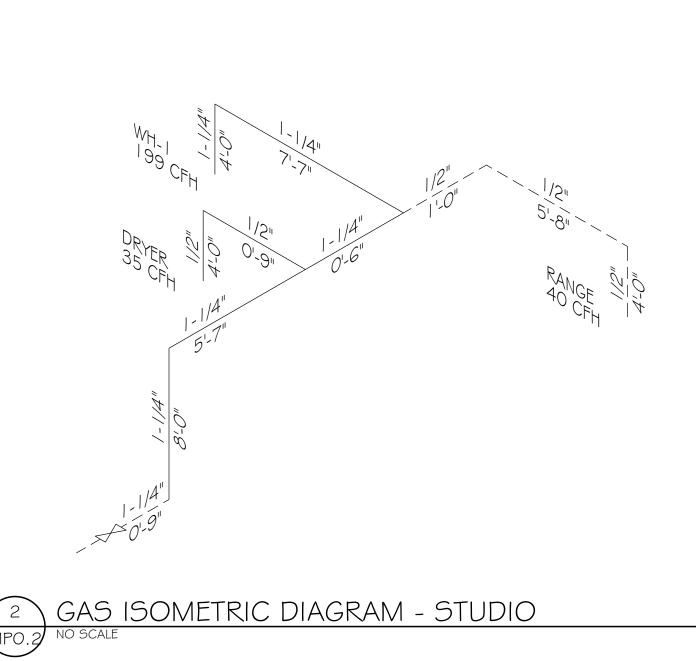
LATIAUUT														
CODE	MFR	MODEL	CFM	ESP (ın)	RPM	BHP	MOTOR	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS	
							HP		ISOLATORS	(LBS)				
EF-I	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	IOW	5/	7	9.5	BATHROOMS	0.8	1	
NOTES:	ES: I. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.													

PLUMBING FIXTURE SCHEDULE

Eementer							
CODE	DESCRIPTION	ACCESSIBLE		MOUNTING TYPE			MIN. ROUG
			FLOOR	COUNTER TOP	WALL	W	V
L- I	LAVATORY	-	_	-	•	2	/2
BT-I	BATHTUB	-	•	-	-	2	/2
WC-I	WATER CLOSET	-	_	•	-	3	2
SK-I	KITCHEN SINK	-	_	•	-	2	/2
CWB-1	WASHER	_	_	-	•	2	/2
HB-1	HOSE BIB	_	_	-	•		-

WATER HEATER SCHEDULE

CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F		ELECTRICAL		WEIGHT	HEIGHT	PART	MFG
				INPUT	CAPACITY	RISE	H.P.	VOLT	PH	(LBS)	(IN)	NO.	
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60		120	I	64	26.4	RU199e	RINNAI
EWH-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90		120		157	63	XE4OT/OHS45 UO	RHEEM
		C											

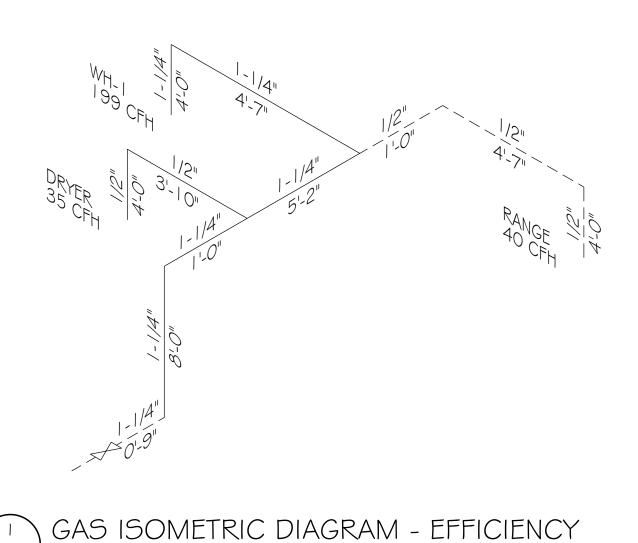




APO.2



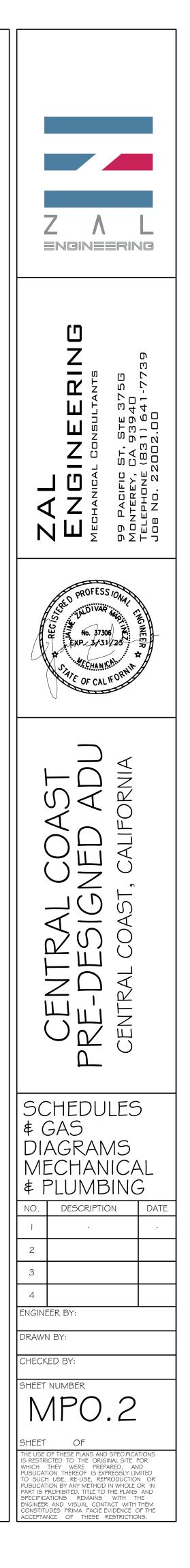
MPO.2

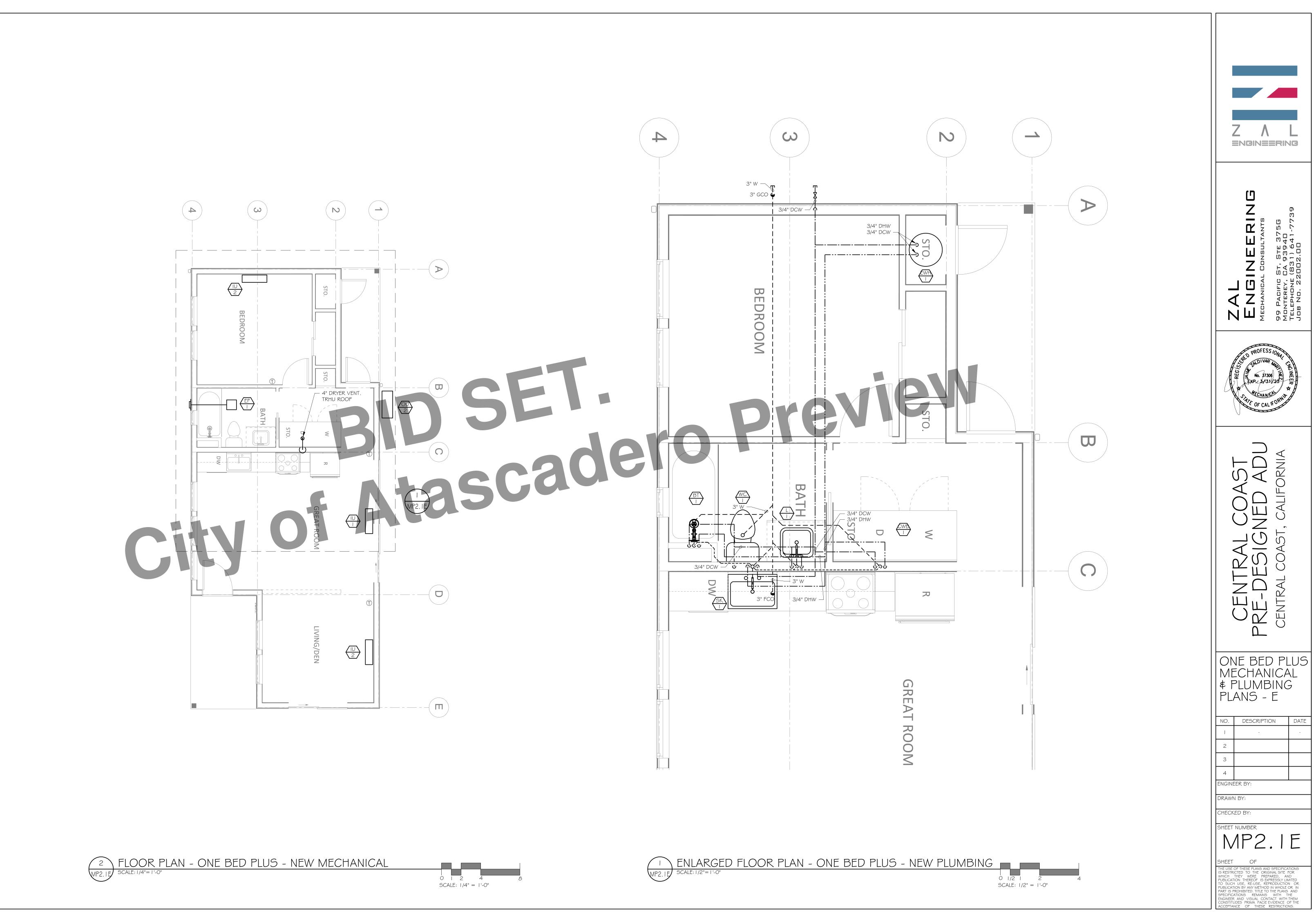


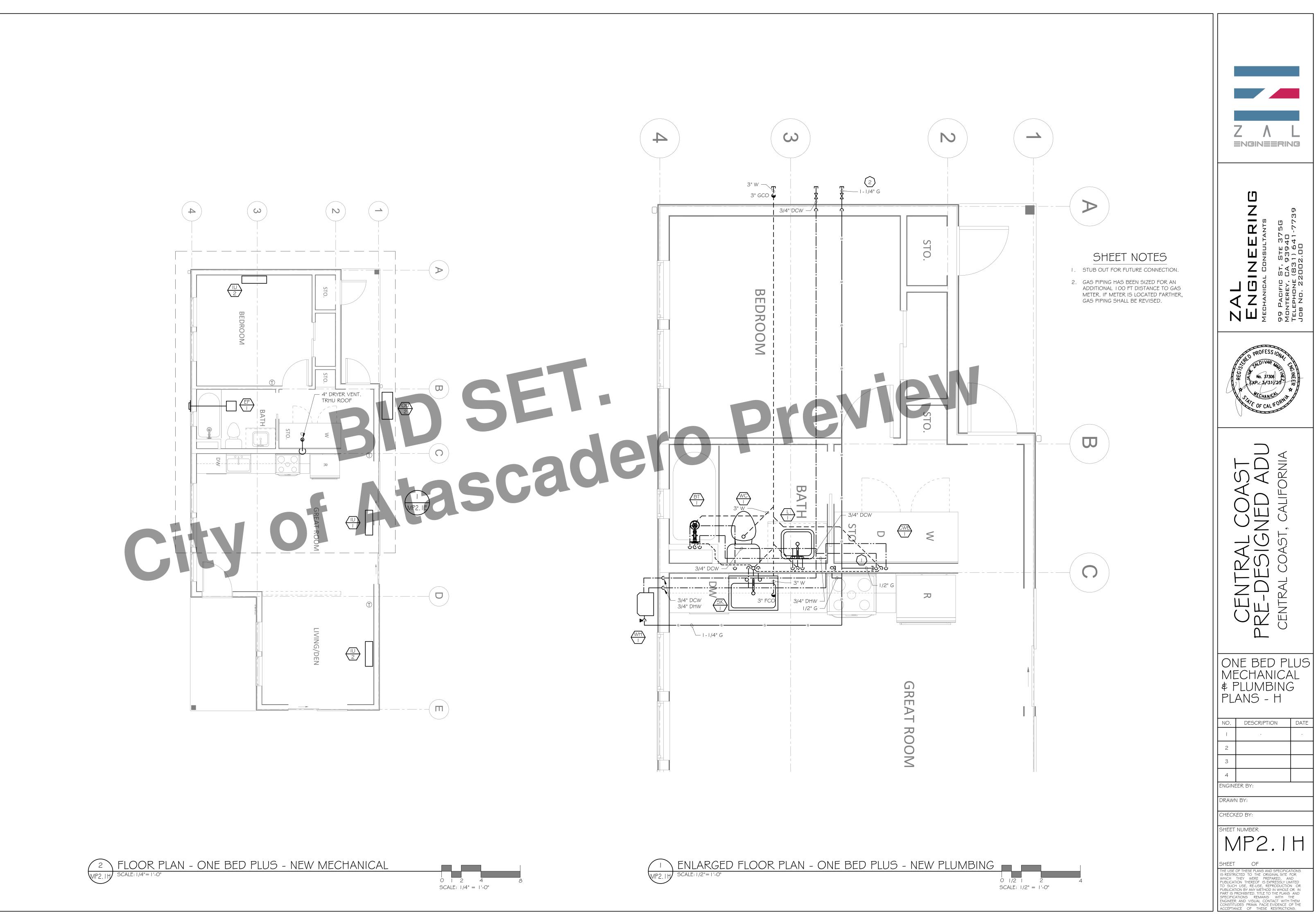
) GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS

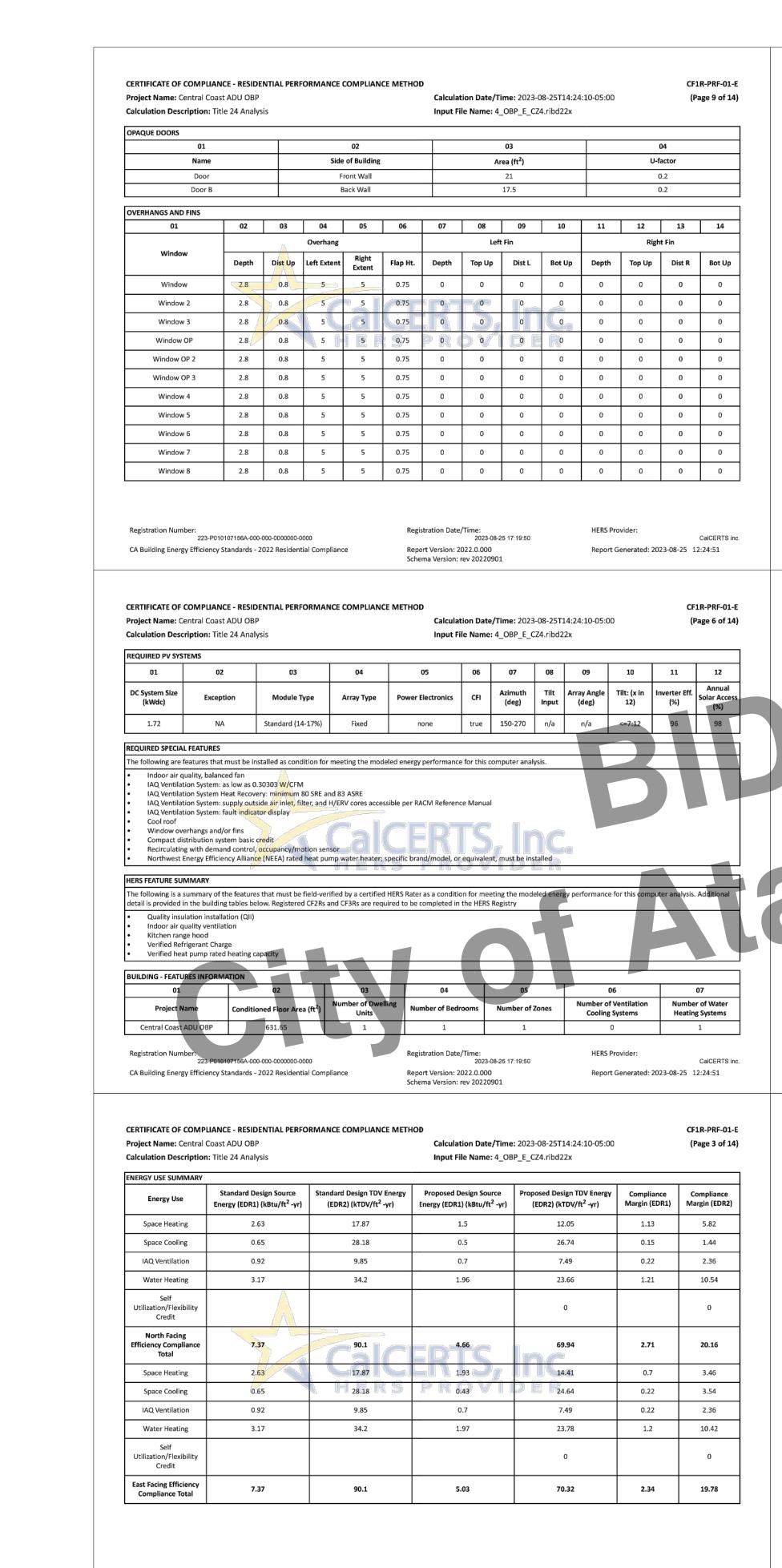
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Registration Number: 223-P010107156A-000-00000000-0000 Registration Date/Time: 2023-08-25 17:19:50 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

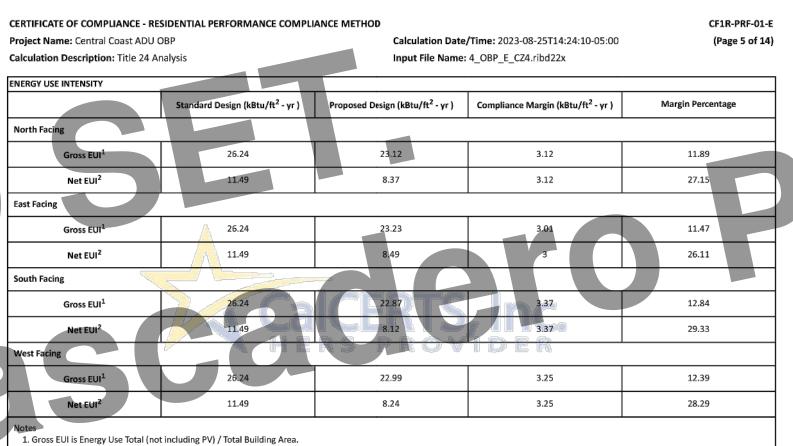
HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

CERTIFICATE OF	COMPLIANCE	- RESIDENTIAL	PERFORMAN	ICE COMPLI	ANCE ME	THOD								CF1R-PRF-01-E
Project Name: (Central Coast A	ADU OBP					Calcula	tion Date	e/Time:	2023	-08-25T14:2	4:10-05:00		(Page 8 of 14)
Calculation Des	cription: Title	24 Analysis					Input Fi	ile Name	: 4_OBP	P_E_C	Z4.ribd22x			
OPAQUE SURFAC														
01	02	03	04		05	0	06)7		08	09	10	11
Name	Zone	Construction	Azimut	th Orie	ntation	Area	(ft ²)	Skylight Area (ft ²)		Roof Rise (x in 12)		Roof Reflectance	Roof Emittance	Cool Roof
Roof 3	One Bed Plus	R-38 Roof No Attic	135		n/a	59	.49	0			3	0.75	0.85	Yes
Roof 4	One Bed Plus	R-38 Roof No Attic	135		n/a	45	5.5	0			3	0.75	0.85	Yes
Roof 5	One Bed Plus	R-38 Roof No Attic	135		n/a	144	1.48	0			3	0.75	0.85	Yes
FENESTRATION / GLAZING														
01	02	03	04	05	06	07	08	09	10		11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-fac	tor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	6	45-	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Latera <mark>l 1</mark> Wall		45		4		12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall		225	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall		225	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window OP 3	Window	Front Wall 2		315	6	7	1	42	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3		45	1.5	3	1	4.5	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 4		45	3	4	1	12	0.2	8	NFRC	0.35	NFRC	Bug Screen

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

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2. Net EUI is Energy Use Total (including PV) / Total Building Area.

	er: Registration Date/Time: HERS Provider: 223-P010107156A-000-0000000-0000 Report Generated: 2023-08-25 17:19:50 CalCERTS in CalCERTS in CalCERTS in Schema Version: rev 20220901							
RTIFICATE OF COMPLIANCE - RESIDENTIA	L PERFORMANCE CO	MPLIANCE METHOD				CF1R-PRF-01-E		
oject Name: Central Coast ADU OBP Iculation Description: Title 24 Analysis			Calculation Date/Tim Input File Name: 4_O		10-05:00	(Page 2 of 14)		
IERGY DESIGN RATINGS			input rile Name. 4_0	br_t_c24.11bu22x				
IERGY DESIGN KATINGS		Energy Design Ratings			Compliance Margins			
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)		
Standard Design	30.6	31.7	30.6					
		Propose	d Design					
North Facing	25.8	24.6	26.4	4.8	7.1	4.2		
East Facing	26.4	24.8	26.4	4.2	6.9	4.2		
South Facing	25.5	22.3	25	5.1	9.4	5.6		
West Facing	25.9	24.4	26.2	4.7	7.3	4.4		
Efficiency EDR includes improvements like a be Total EDR includes efficiency and demand resp Building complies when source energy, efficien Standard Design PV Capacity: 1.72 kWdc Proposed PV Capacity Scaling: North (1.72	onse measures such as p cy and total compliance	nd more efficient equpm hotovoltaic (PV) system a margins are greater than	or equal to zero and unr	DER net load hour limits are r	not exceeded			

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

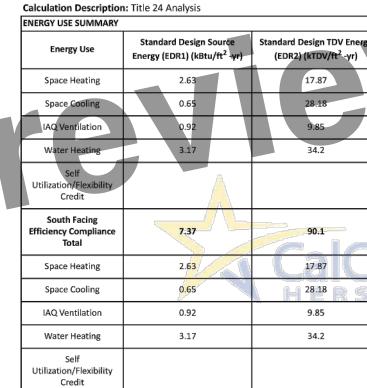
HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis

01		02	03	;		04		05	06		07
Zone Na	me	Zone Type	HVAC Syste	em Name	Zone Floo	or Area (ft ²)	Avg.	Ceiling Height	Water Heating Sy	rstem 1	Status
One Bed	Plus	Conditioned	OU-:	11		1.65		8	DHW Sys 1		New
PAQUE SURFA	CES										
01		02	03		04	0	5	06	07	,	08
Name		Zone	Construction	n	Azimuth	Orien	tation	Gross Area (ft ²) Window a		Tilt (deg)
Front Wa	II 0	ne Bed Plus	R-21 Wall		315	n	/a	48	2:	L	90
Lateral 1 W	all O	ne Bed Plus	R-21 Wall		45	n	/a	112	36	5	90
Lateral 2 W	all O	ne Bed Plus	R-21 Wall		225	n	/a	112	84	ţ	90
Front Wall	2 0	ne Bed Plus	R-21 Wall		315	n	/a	90.67	42	2	90
Lateral 1 Wa	ill 2 O	ne Bed Plus	R-21 Wall	S.	45	n	/a 🤇	86.75	24	ţ	90
Lateral 2 Wa	ill 2 O	ne Bed Plus	R-21 Wall	-	225	n	/a_)	92	0		90
Lateral 2 Wa	ill 3 O	ne Bed Plus	R-21 Wall		225		/a	52.33	0		90
Back Wal	I 0	ne Bed Plus	R-21 Wall		135	n	/a	26.25	17	5	90
Lateral 1 Wa	ill 3 O	ne Bed Plus	R-21 Wall		45	n	/a	40	4.	5	90
Lateral 1 Wa	ill 4 0	ne Bed Plus	R-21 Wall		45	n	/a	90	24	1	90
Lateral 2 Wa	ill 4 0	ne Bed Plus	R-21 Wall		225	n	/a	42.99	0		90
Back Wall	2 0	ne Bed Plus	R-21 Wall		135	n	/a	93.66	0		90
PAQUE SURFA	CES - CATHEDRA										
01	02	03	04	05		06	07	08	09	10	11
Name	Zone	Construction	n Azimuth	Orienta	tion Are	a (ft ²)	kylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittar	nce Cool Roo
Roof	One Bed Plus	R-38 Roof N Attic	o 135	n/a	25	1.85	0	3	0.75	0.85	Yes
Roof 2	One Bed Plus	R-38 Roof N Attic	o 135	n/a	13	0.33	0	3	0.75	0.85	Yes
egistration Nu A Building Ene	223-P0101	07156A-000-000-000 andards - 2022 Re	20000-0000 esidential Compliance	2	Report	ation Date/Ti Version: 2022 a Version: rev	2023-08-25 2.0.000	17:19:50	HERS Prov Report Ge		CalCERT 08-25 12:24:51

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METH Project Name: Central Coast ADU OBP



7.37

90.1

Registration Number:	
Ū.	223-P010107156A-000-000-0000000-0000

West Facing Efficiency

Compliance Total

	ration Number: 223-P010107156A-000-00000 ilding Energy Efficiency Standards - 2022 Resid	00-0000 Jential Compliance Rep	gistration Dat	2023-08-25 17:19:50	HERS Provider: Report Generated: 2023-08-25	CalCERTS inc. 12:24:51
		301		. 167 20220301		
CERTIF	ICATE OF COMPLIANCE - RESIDENTIAL P	ERFORMANCE COMPLIANCE METHO	DD		c	F1R-PRF-01-E
Projec	t Name: Central Coast ADU OBP		Calcul	ation Date/Time: 2023-08-25T14:24:10	-05:00	(Page 1 of 14)
Calcula	ation Description: Title 24 Analysis		Input	File Name: 4_OBP_E_CZ4.ribd22x		
GENER	AL INFORMATION					
01	Project Name	Central Coast ADU OBP				
02	Run Title	Title 24 Analysis				
03	Project Location					
04	City	Atascadero	05	Standards Versio	n 2022	
06	Zip code	93423	07	Software Versio	n EnergyPro 9.0	
08	Climate Zone	4	09	Front Orientation (deg/ Cardina) All orientations	
10	Building Type	Single family	11	Number of Dwelling Unit	s 1	
12	Project Scope	Newly Constructed	13	Number of Bedroom	s 1	
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Storie	s 1	
16	Existing Cond. Floor Area (ft ²)	n/a	17	Fenestration Average U-facto	r 0.28	
18	Total Cond. Floor Area (ft ²)	631.65	19	Glazing Percentage (%	i) 34.00%	
20	ADU Bedroom Count					
COMPL						
	01 Building Complies with Computer	Performance		avibro		
			D R	ertified HERS rater under the supervision of	a CEC-approved HERS provide	,
		more Special Features shown below			a ere approved mino provide	

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

			registration	i number and L
	Date/Time: 2023-08-25T: a me: 4_OBP_E_CZ4.ribd2		CF1R-PRF-01-E (Page 7 of 14)	cc
04	05	06	07	
oor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status	
531.65	8	DHW Sys 1	New	

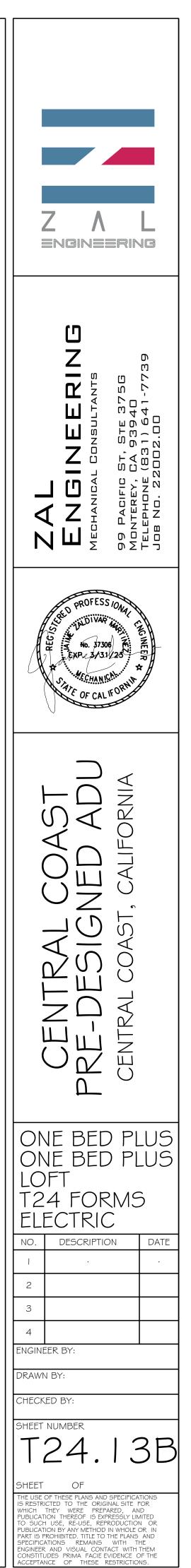
CF1R-PRF-01-E

T	нα	חכ	•	

	Calculation Date/Time Input File Name: 4_OB	: 2023-08-25T14:24:10-05:00 P E C74.ribd22x		(Page 4 of 14)
rgy	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
	1,46	11.26	1.17	6.61
	0.38	20.84	0.27	7.34
	0.7	7.49	0.22	2.36
	1.96	23.67	1.21	10.53
		0		0
	4.5	63.26	2.87	26.84
	1.48	11.09	1.15	6.78
	P R 9:54	$\mathbf{D} \in \mathbb{R}^{27}$	0.11	1.18
	0.7	7.49	0.22	2.36
	1.96	23.61	1.21	10.59
		0		0
	4.68	69.19	2.69	20.91

Registration Date/Time: 2023-08-25 17:19:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51



Sector Sector

roject Name: Cen	tral Coast ADU OBP					Calc	ulation [Date/	Time: 202	3-08-25T	14:24:10-05	:00		(Page 12 of 14
•	ption: Title 24 Analy								4_OBP_E_					
VATER HEATING - C	OMPACT DISTRIBUTIO	N N												
01	02	2	03	;		04			05			06		07
Dwelling Unit ty	pe Water Heat Nar		Master Bath furthest fixtu Heate	re to Water		hen distan stfixture to Heater (ft)	Water		thest Third Ire to Wate (ft)		Compact	tness Factor	н	ERS Verification
Dwelling	DHW	Sys 1	n/a	a		n/a			n/a			0.7		n/a
VATER HEATING - H	ERS VERIFICATION													
01	02	2	03	3		04			05			06		07
Name	Pipe Ins	ulation	Parallel	Piping	Com	pact Distrib	ution	Cor	mpact Distr Type	ibution	Recircula	tion Control	Show	er Drain Water Hea Recovery
DHW Sys 1 - 1/	1 Not Red	quired	Not Rec	quired	N	lot Require	d		Basic		Not F	Required		Not Required
PACE CONDITIONIN														
01	02	03		04		05		\sim	06		07	08		09
Name	System Type	Heating Uni	t Name Heat	ting Equipme Count	ent Coo	ling Unit N	ame Co		Equipment ount	Fa	n Name	Distribution N	Name	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump 1	System	1	Hea	nt Pump Sys 1	tem	V	1	ĒR	n/a	n/a		Setback
IVAC - HEAT PUMPS	;													
01	02	03	04	05	06	07	08		09	10	11	12		13
				Heatin	g				Cooling					
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficier Type		SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	н	ERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEI	ER	24.6	15.4	Not Zonal	Single Speed		eat Pump System 1-hers-htpump

Registration Date/Time: 2023-08-25 17:19:50 Registration Number: 223-P010107156A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

Registration Number:	Registration Date/Time:
223-P010107156A-000-0000000000000000	2023-08-2
CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 20220901

-08-25 17:19:50 0901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 12:24:51

roject Name: Cer	ntral Coast ADU (DBP			Calculat	ion Date	/Time: 2023	3-08-25T14:24:1	0-05:00		(Page 11 of 14)
alculation Descri	ption: Title 24 Ar	nalysis			Input Fi	le Name:	4_OBP_E_0	CZ4.ribd22x			
UILDING ENVELOP	E - HERS VERIFICA	TION									
01		02			03			04			05
Quality Insulation	Installation (QII)	High R-value Spray Foa	m Insulation	Buik	ding Envelope Air Le	akage		CFM50			CFM50
Requi	red	Not Require	d		N/A			n/a			n/a
VATER HEATING SYS	STEMS										
01	02	03	04		05		06	07		08	09
Name	System Type	Distribution Type	Water Heat	er Name	Number of Units		r Heating ystem	Compact Distribution	н	ERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Recirculation	DHW He	ater 1	1		n/a	Basic		n/a	DHW Heater 1 (1)
VATER HEATERS - N	EEA HEAT PUMP										
01	02	03	(CF)	04	LEKT	05		06		07	08
Name	# of Un	its Tank Vol.	(gal) E	NEEA Hea Brar		Heat Pum Model	^{ip}	nk Location	Duct Inl	et Air Source	Duct Outlet Air Source
DHW Heater 1	1	40		Rhee	em Rheem)	(E40T10H) 0	22U O	ne Bed Plus	One	Bed Plus	One Bed Plus
RECIRCULATION LOC	OPS	•						•		•	
01		02			03			04			05
Water Heating S	System Name	Number of Recircula	tion Loops	Loo	p Insulation Thicknes	ss (in)	Recircu	lation Loop Locat	ion	Recirculatio	on Pump Power (W)
DHW S	Sys 1	1			1.5			Conditioned			0
	-			1			L				

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Registration Number: 223-P010107156A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD



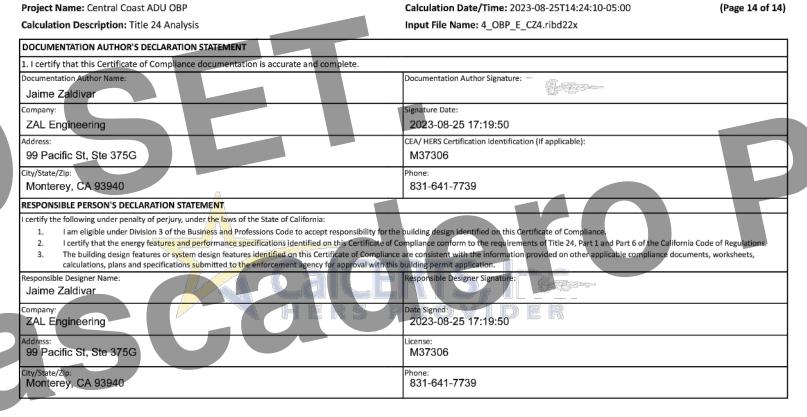
Report Generated: 2023-08-25 12:24:51

CalCERTS inc.

CF1R-PRF-01-E

HERS Provider:

CF1R-PRF-01-E



Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

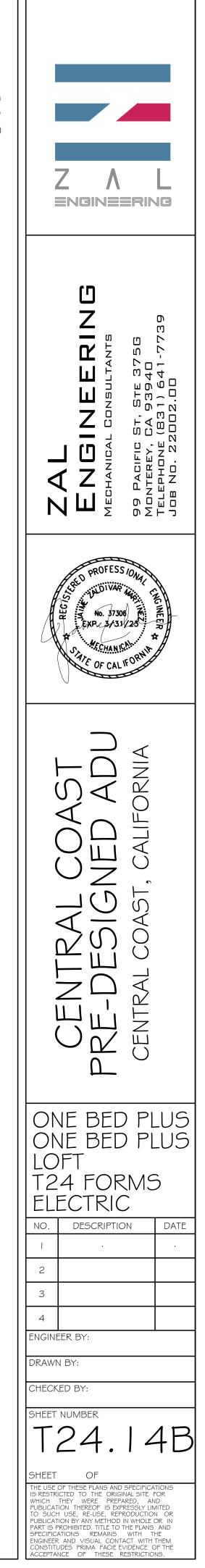
2023-08-25 17:19:50

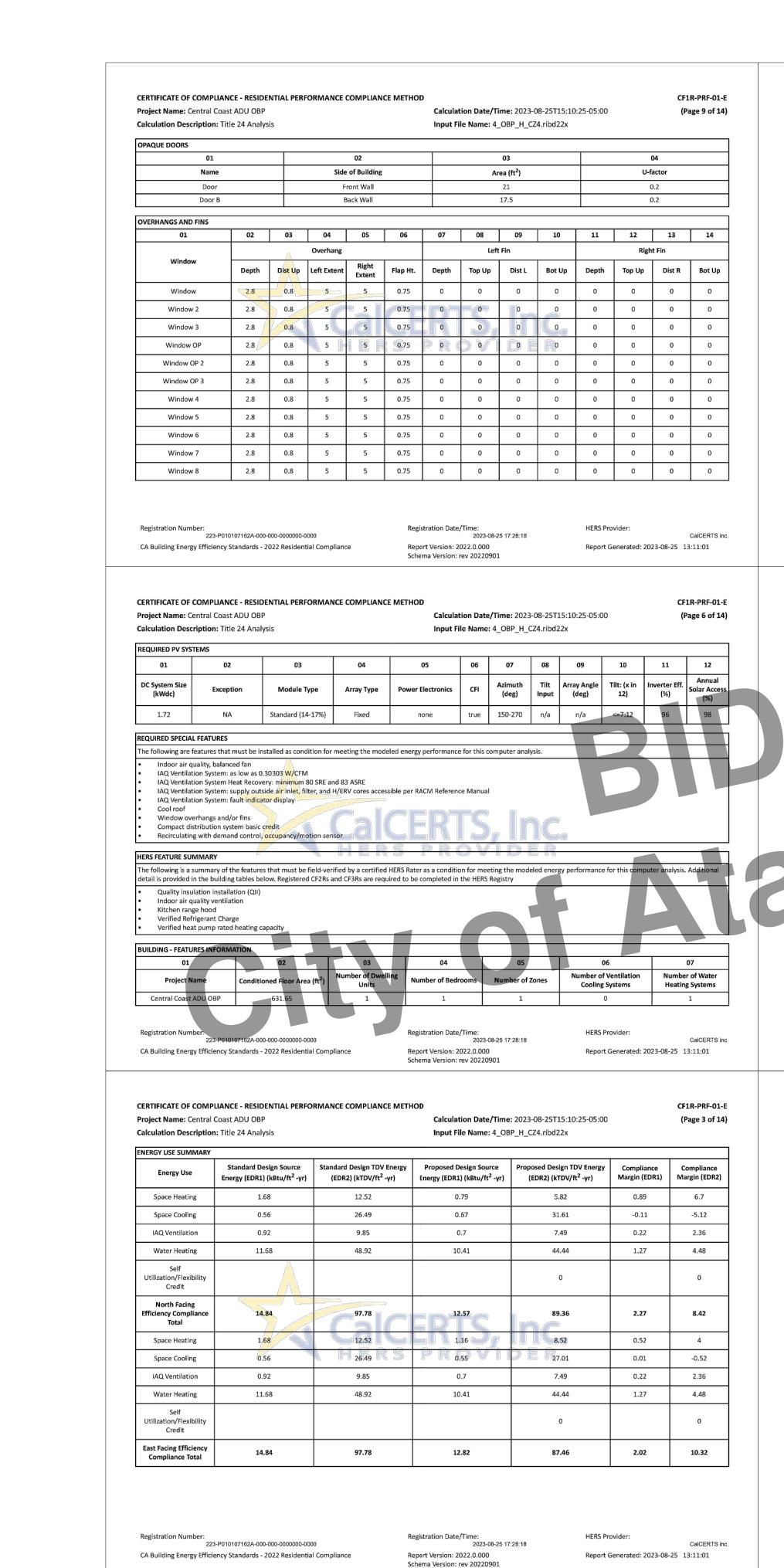
Project Name: Central Coast ADU OBP 01 Name

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 83|-64|-7739 ZAL (zalengineering.com)

Name Vermen Almow Almow Almow Almow Vermen 2 Expression 1 Pump System Not Required 0 Not Required Yes No Yes 01 02 03 04 05 06 07 08 welling Unit Airflow (CFM) Fan Efficacy (W/CFM) IAQ Fan Type Heat/Energy Recovery? IAQ Recovery Effectiveness - SRE Includes Fault Indicator Display? HERS Verifit 11 06 0.30303 Balanced Yes 83 No Yes	d Heating ap 47 Verified Heating Cap 17 Yes Yes 08 09 erification Status	Verified Heating Cap 47 Yes 08 y? HERS Verification	07 Verified HSPF/HSPF2 No 07 Includes Fault	06 Verified Refrigerant Charge Yes	05 ified (SEER2	ED/EED2 Ve		RIFICATION	
01 02 03 04 05 06 07 08 Name Verified Airflow Airflow Target Verified EER/EER Verified Refrigerant Verified Refrigerant Verified He Cap 47 it Pump System Not Required 0 Not Required Not Required Yes No Yes OR AIR QUALITY (IAQ) FANS 01 02 03 04 05 06 07 08 Owelling Unit Airflow (CFM) Fan Efficacy IAQ Fan Type Had/Energy IAQ Recovery Includes Fault Includes Fault Includes Fault HEBS Verifie am IAQVentRpt 66 0.30303 Balanced Yes 83 No Yes Verified Provide Fault Financy Verified Provide Yes 83 No Yes Station Number: 66 0.30303 Balanced Yes 83 No Yes Station Number: Kestion Station No Yes No Yes Yes	d Heating ap 47 Verified Heating Cap 17 Yes Yes 08 09 erification Status	Verified Heating Cap 47 Yes 08 y? HERS Verification	Verified HSPF/HSPF2 No 07 Includes Fault	Verified Refrigerant Charge Yes	ified (SEER2	ED/EED2 Ve			CHEAT DUBADO
Name Verified Xinlow Altriow Altriow<	ap 47 Cap 17 Yes Yes 08 09 erification Status	Cap 47 Yes 08 y? HERS Verification	HSPF/HSPF2 No 07 Includes Fault	Charge Yes	(SEER2			02	
at Pump System Not Required 0 Not Required Not Required Yes No Yes ODR AIR QUALITY (IAQ) FANS Duelling Dnit Airflow (CFM) Fan Efficacy IAQ Fan Type Heat/Energy Effectiveness - SRE Includes Fault am IAQVentRpt 66 0.30303 Balanced Yes 83 No Yes	Yes Yes 08 09 erification Status	Ves 08 y? HERS Verification	No 07 Includes Fault	Yes		SEER	ow Target Verified		
<u>-hers-infourne</u> <u>No. Required</u> <u>0 Notified in No. Res No. Res</u> <u>OCR AIR QUALITY (IAQ) FANS</u> <u>01 02 03 04 05 06 07 08</u> <u>04 02 03 04 05 06 07 08</u> <u>04 02 03 04 05 06 07 08</u> <u>14Q Recovery Includes Fault</u> <u>1ncludes Fault</u> <u>1nc</u>	08 09 erification Status	08 V? HERS Verification	07 Includes Fault		-quied	nuired Not B	0 Net I	Required	
estration Number: BESTPECIAL CEMPARTINE DATE: EXS Provider:	erification Status	y? HERS Verification	Includes Fault	06		equiled Not N		Required	hers-htpump
powelling tinit Airflow (CFM) Fan Efficacy IIAQ Fan Type Heat/Energy Effectiveness - SRE Includes Fault Indicator Display? HERS Verifit am IAQVentRpt 6 0.3030 Balanced Yes 83 No Yes CREERS BROOKERS	erification Status	y? HERS Verification	Includes Fault	06				ANS	OOR AIR QUALITY (IAQ)
Durelling Unit Airflow (CFM) Indicacy (W/CFM) IAQ Fan Type Heat/Energy Recovery? Indicaco Pise Indicator Display? HERS Verific Indicator Display? am IAQVentRpt 1-1 66 0.3030 Balanced Yes 83 No Yes CAREERIS INC. CAREERIS INC. CAREERIS INC. CAREERIS INC. Yes Yes Yes Yes		y? HERS Verification					03	02	01
III I I I I I I I I I I I I I I I I I	Yes	Yes	malcator Display:		Energy	in Type Heat,			welling Unit Airf
gistration Number: KERS Provider:	I		No	83	'es	nced	.30303 Bal	66	
Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated Schema Version: rev 20220901	r: CalCERTS rated: 2023-08-25 12:24:51			2023-08-25 17:19:50 .0.000	ation Date/Tir Version: 2022	Registr Report			223-P0
ITIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD ect Name: Central Coast ADU OBP Calculation Date/Time: 2023-08-25T14:24:10-05:00 ulation Description: Title 24 Analysis Input File Name: 4_OBP_E_CZ4.ribd22x B FLOORS State St	CF1R-PRF-01 (Page 10 of 1	-05:00				LIANCE METHOD	PREFORMANCE COM	st ADU OBP	ect Name: Central Coa ulation Description: T
01 02 03 04 05 06 07	08	07	06	5	0	04	03	02	
Name Zone Area (ft ²) Perimeter (ft) Edge Insul. R-value Edge Insul. R-value Carpeted Fraction	action Heated	Carpeted Fraction			-	Perimeter (ft)	Area (ft ²)	Zone	Name
Area (it) Fernitece (it) and Depth and Depth		-	nd Depth	-					
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100%									
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100% Slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100%			_						
Slab-on-GradeOne Bed Plus251.850.1none0100%Slab-on-Grade 2One Bed Plus130.330.1none0100%Slab-on-Grade 3One Bed Plus59.490.1none0100%									
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100% Slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100% Slab-on-Grade 3 One Bed Plus 59.49 0.1 none 0 100% Slab-on-Grade 4 One Bed Plus 45.5 0.1 none 0 100%	No	100%	U		no	U.1	144.48	one bea Plus	ab-on-Grade 5
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100% Slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100% Slab-on-Grade 3 One Bed Plus 59.49 0.1 none 0 100% Slab-on-Grade 4 One Bed Plus 45.5 0.1 none 0 100%			ng						·
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100% slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100% slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100% slab-on-Grade 3 One Bed Plus 59.49 0.1 none 0 100% slab-on-Grade 4 One Bed Plus 45.5 0.1 none 0 100% slab-on-Grade 5 One Bed Plus 144.48 0.1 none 0 100%	08 Assembly Layers		/ Exterior inuous U-factor	tal Cavity Interior		Framing	Construction Type	02 Surface Type	
Slab-on-GradeOne Bed Plus251.850.1none0100%Slab-on-Grade 2One Bed Plus130.330.1none0100%Slab-on-Grade 3One Bed Plus59.490.1none0100%Slab-on-Grade 4One Bed Plus45.50.1none0100%Slab-on-Grade 5One Bed Plus144.480.1none0100%NQUE SURFACE CONSTRUCTIONS01020304050607Construction TypeFramingTotal Cavity R-valueInterior / Exterior ContinuousU-factor				R-23 5/1			Wood Framed Wall	Exterior Walls	R-21 Wall
Slab-on-Grade One Bed Plus 251.85 0.1 none 0 100% Slab-on-Grade 2 One Bed Plus 130.33 0.1 none 0 100% Slab-on-Grade 3 One Bed Plus 59.49 0.1 none 0 100% Slab-on-Grade 3 One Bed Plus 59.49 0.1 none 0 100% Slab-on-Grade 4 One Bed Plus 45.5 0.1 none 0 100% Slab-on-Grade 5 One Bed Plus 144.48 0.1 none 0 100% Slab-on-Grade 5 One Bed Plus 144.48 0.1 none 0 100% ConstructionStructionStructionStructionStructionStruction Type Framing Total Cavity Interior / Exterior Continuous U-factor R-21 Wall Exterior Walls Wood Framed Wall 2x6 @ 24 in. O. C. R-23 5 / None 0.045 Sheathing Cavity	nside Finish: Gypsum Board hing / Insulation: R-5 Sheathing Cavity / Frame: R-23 / 2x6 (terior Finish: 3 Coat Stucco	5 Sheathing / Insu Cavity / Fra	None 0.045						



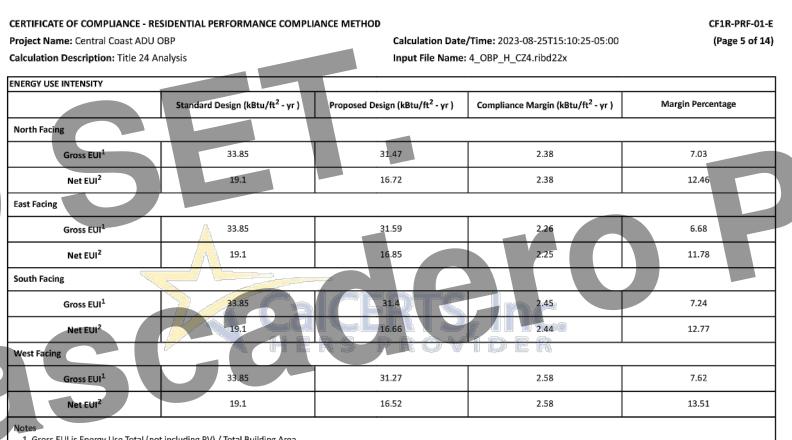


roject Name:	Central Coast A	ADU OBP					Calculat	tion Date	/Time: 2)23-08-25T15:	10:25-05:00		(Page 8 of 14
•	cription: Title								-				19
	ES - CATHEDRA												
01	02	03	04		05	0	6	07	,	08	09	10	11
Name	Zone	Construction	Azimut	h Orie	ntation	Area	(ft²)	Skylight (ft ²		Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 3	One Bed Plus	R-38 Roof No Attic	0	F	ront	59	.49	0		3	0.75	0.85	Yes
Roof 4	One Bed Plus	R-38 Roof No Attic	0	F	ront	45	5.5	0		3	0.75	0.85	Yes
Roof 5	One Bed Plus	R-38 Roof No Attic	0	F	ront	144	1.48	0		3	0.75	0.85	Yes
ENESTRATION /	GLAZING	/	\										
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-facto	r U-factor Source	SHGC	SHGC Source	Exterior Shadin
Window	Window	Lateral 1 Wall	Back	180	з	4	Pi	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180	© ³ ⊘	4		12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 2	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window OP 3	Window	Front Wall 2	Front	0	6	7	1	42	0.28	NFRC	0.35	NFRC	Bug Screen
Window 4	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall 2	Back	180	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall 3	Left	90	1.5	3	1	4.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.35	NFRC	Bug Screen
											0.35		

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01



. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

egistration Number: 223-P010107162A-000-000-00 A Building Energy Efficiency Standards - 2022 R		Report	tion Date/Time: 2023-08-25 1 /ersion: 2022.0.000	17:28:18	HERS Provider: Report Generated: 2023	CalCERTS inc. -08-25 13:11:01
ERTIFICATE OF COMPLIANCE - RESIDENTIA roject Name: Central Coast ADU OBP alculation Description: Title 24 Analysis	L PERFORMANCE CO		Version: rev 20220901 Calculation Date/Tim Input File Name: 4 0		25-05:00	CF1R-PRF-01-E (Page 2 of 14)
IERGY DESIGN RATINGS						
		Energy Design Ratings			Compliance Margins	
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	48	50.3	42.3		• •	
		Propose	d Design			
North Facing	43.6	46	40.1	4.4	4.3	2.2
East Facing	44	45	39.5	4	5.3	2.8
South Facing	43.5	42.1	37.9	4.5	8.2	4.4
West Facing	43.1	42.6	38.3	4.9	7.7	4
	A C	RESULT	^a : PASS ent	Inc.		

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

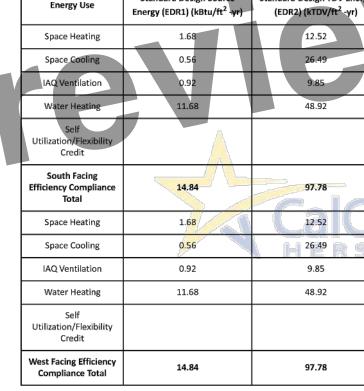
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP

ONE INFORMA	TION											
01		02	03	2	04			05	06		07	
Zone Na	me	Zone Type	HVAC Syste	-	Zone Floor A	rea /ft ²)	Avg. Ce	eiling Height	Water Heating Sys	stem 1	Status	
One Bed		Conditioned						8				
One bed	lus	Conditioned	0U-	.11	631.6	5		°	DHW Sys 1		New	
PAQUE SURFA	CES											
01		02	03		04	05	,	06	07		08	
Name		Zone	Construction	n	Azimuth	Orienta	ation	Gross Area (ft ²)	Window a Area (I	Tilt (deg)	ł
Front Wa	ll One	Bed Plus	R-21 Wall		0	Fror	nt	48	21		90	
Lateral 1 W	all One	Bed Plus	R-21 Wall		180	Bac	k	112	36		90	
Lateral 2 W	all One	Bed Plus	R-21 Wall		270	Righ	nt	112	84		90	
Front Wall	2 One	Bed Plus	R-21 Wall		0	Fror	nt	90.67	42		90	
Lateral 1 Wa	ll 2 One	Bed Plus	R-21 Wall		180	Bac	k 🧠	86.75	24		90	
Lateral 2 Wa	ll 2 One	Bed Plus	R-21 Wall		270	Righ	nt)	92	0		90	
Lateral 2 Wa	ll 3 One	Bed Plus	R-21 Wall		270	Righ	nt 🖉	52.33	0		90	
Back Wal	l One	Bed Plus	R-21 Wall		180	Bac	k Š	26.25	17.	5	90	
Lateral 1 Wa	ill 3 One	Bed Plus	R-21 Wall		90	Lef	t	40	4.5		90	
Lateral 1 Wa	ill 4 One	Bed Plus	R-21 Wall		90	Lef	t	90	24		90	
Lateral 2 Wa	ll 4 One	Bed Plus	R-21 Wall		O	Fror	nt	42.99	0		90	
Back Wall	2 One	Bed Plus	R-21 Wall		180	Bac	k	93.66	0		90	
PAQUE SURFA	CES - CATHEDRAL	CEILINGS										
01	02	03	04	05	06		07	08	09	10	11	ı
Name	Zone	Construction	n Azimuth	Orientati	ion Area (f	t ²) Sk	ylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emitta	nce Cool I	Roo
Roof	One Bed Plus	R-38 Roof N Attic	° 0	Front	251.8	5	0	3	0.75	0.85	Ye	s
Roof 2	One Bed Plus	R-38 Roof N Attic	° 0	Front	130.3	3	0	3	0.75	0.85	Ye	s
egistration Nu		162A-000-000-000	0000-0000		Registratio	n Date/Tim	e: 2023-08-25 17	7:28:18	HERS Provi	der:	CalCl	ERT
A Building Ene	rgy Efficiency Stan	dards - 2022 Re	esidential Compliance	2		sion: 2022.0 rsion: rev 2			Report Ger	erated: 2023-	08-25 13:11:0)1

Calculation Date/Time: 2023-08-25T15:10:25-05:00

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE ME Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis





Registration Number:
223-P010107162A-000-000000000-0000
CA Building Energy Efficiency Standards - 2022 Residential Compliance
er banang Energy Energies, standards - Lorz nestaentar compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE N
Project Name: Central Coast ADU OBP

Calculation Description: Title 24 Analysis

GENER	AL INFORMATION	
01	Project Name	Central Coast ADU OBP
02	Run Title	Title 24 Analysis
03	Project Location	_
04	City	Atascadero
06	Zip code	93423
08	Climate Zone	4
10	Building Type	Single family
12	Project Scope	Newly Constructed
14	Addition Cond. Floor Area (ft ²)	0
16	Existing Cond. Floor Area (ft ²)	n/a
18	Total Cond. Floor Area (ft ²)	631.65
20	ADU Bedroom Count	n/a 🖉 👘
COMPI	LIANCE RESULTS	
	01 Building Complies with Computer	Performance 🎧 📄 💿 🤇
	02 This building incorporates feature	s that require field testing and/or
	03 This building incorporates one or i	more Special Features shown bel

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldıvar, P.E. for your individual registration number and Energy Code Documents.

CF1R-PRF-01-E

(Page 7 of 14)

Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

Schema Version: rev 20220901

/IETH	OD			CF1R-PRF-01-E
	-	2023-08-25T15:10:25-05:00		(Page 4 of 14)
	Input File Name: 4_OB	P_H_CZ4.ribd22x		
rgy	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
	0,94	6.87	0.74	5.65
	0.47	22.89	0.09	3.6
	0.7	7.49	0.22	2.36
	10.41	44.44	1.27	4.48
		0		0
	12.52	81.69	2.32	16.09
	0.63	4.69	1.05	7.83
5	PR 0.56	D E R ^{26.14}	0	0.35
	0.7	7.49	0.22	2.36
	10.41	44.44	1.27	4.48
		0		0
	12.3	82.76	2.54	15.02

Registrat	tion Dat	e/Time: H 2023-08-25 17:28:18	IERS Provider:	CalCERTS inc.
			eport Generated: 2023-08-25	
NETHOD		ation Date/Time: 2023-08-25T15:10:25- File Name: 4_OBP_H_CZ4.ribd22x		CF1R-PRF-01-E (Page 1 of 14)
	05	Standards Version	2022	
	07	Software Version	EnergyPro 9.0	
	09	Front Orientation (deg/ Cardinal	All orientations	
	11	Number of Dwelling Unit	i 1	
	13	Number of Bedroom		
	15	Number of Storie	1	
	17	Fenestration Average U-facto	r 0.28	
	19	Glazing Percentage (%	34.00%	
verification		PROVIDE R Striffied HERS rater under the supervision of	a CEC-approved HERS provide	er.

Registration Date/Time: 2023-08-25 17:28:18 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2023-08-25 13:11:01

Z A L Engineering
ZAL ENGINEERING MECHANICAL CONSULTANTS 99 PACIFIC ST, STE 375G MONTEREY, CA 93940 TELEPHONE (831) 641-7739 JOB NO. 22002.00
HE CHANICH
CENTRAL COAST PRE-DESIGNED ADU CENTRAL COAST, CALIFORNIA
ONE BED PLUS ONE BED PLUS LOFT T24 FORMS HYBRID NO. DESCRIPTION DATE I 2 3 4 ENGINEER BY: DRAWN BY:
CHECKED BY: SHEET NUMBER T24.15B SHEET OF THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUDES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

Image: Sector Sector

roject Name: Cen	tral Coast ADU OBP)				Calc	ulation [Date/T	ime: 202	3-08-25T	15:10:25-05	:00		(Page 12 of 14
alculation Descri	otion: Title 24 Analy	/sis				Inpu	ıt File Na	ame: 4 _.	_OBP_H	_CZ4.ribd	22x			
ATER HEATING - C	OMPACT DISTRIBUTIO	DN .												
01	02	2	03	3		04			05			06		07
Dwelling Unit ty	pe Water Heat Nar		Master Bath furthest fixtu Heate	re to Water	furthes	hen distand st fixture to Heater (ft)	Water		est Third e to Wate (ft)		Compact	tness Factor	н	ERS Verification
Dwelling	DHW	Sys 1	n/a	a		n/a			n/a			0.7		n/a
/ATER HEATING - H						-								
01		2	03	3		04			05			06		07
Name	Pipe Ins	ulation	Parallel	Piping	Comp	oact Distrib	ution	Com	pact Dist Type	ribution	Recircula	tion Control	Show	er Drain Water Hea Recovery
DHW Sys 1 - 1/2	L Not Rec	quired	Not Red	quired	N	lot Require	d		Basic		Not R	Required		Not Required
PACE CONDITIONIN		$-1/\Sigma$												
01	02	.03		04		05		🥅 0	6		07	08		09
Name	System Type	Heating Uni	t Name Heat	ting Equipme Count	ent Coo	ling Unit N	ame Co	- Contraction of the second se	quipment	Fai	n Name	Distribution N	Vame	Required Thermostat Type
OU-11	Heat pump heating cooling	Heat Pump 1	System		Hea	t Pump Sys 1	tem	V I		ÊŔ	n/a	n/a		Setback
VAC - HEAT PUMPS						1								
01	02	03	04	05	06	07	08		09	10	11	12		13
				Heating	3			Co	oling					
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficier Type		SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	н	ERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEI	ER	24.6	15.4	Not Zonal	Single Speed		eat Pump System 1-hers-htpump

Registration Date/Time: 2023-08-25 17:28:18 Registration Number: 223-P010107162A-000-000-0000000-0000 HERS Provider: CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-25 13:11:01 Schema Version: rev 20220901

m Type	Distribution Typ	pe Water He	eater Name	Number of Units		leating	Compact	HERS Verifi	ication		r Heater		Slab-on-Grade 3	One Bed Plus	59.49	╀
		·		÷	Sys	tem	Distribution			Nar	me (#)		Slab-on-Grade 4	One Bed Plus	45.5	
	65587 10550		Heater 1	1	n	/a	Basic	n/a		DHW He	eater 1 (1)		Slab-on-Grade 5	One Bed Plus	144.48	
													OPAQUE SURFACE CONS	TRUCTIONS		
and the second s				7 di di biti									01	02	03	
03	04	05	06	07	08	09	10	11	12		13		Construction Name	Surface Type	Construction Type	3
Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	P R Efficiency	Rated Input Type			Standby Loss or Recovery Eff			Tank Location		R-21 Wall	Exterior Walls	Wood Framed Wall	
Consumer Instantaneo us	1	0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a							+
													D 20 Deef No Amin	Cathering Callings	Wood Framed	
													K-38 KOOT NO ATTIC	Cathedral Cellings	Ceiling	
							04									
ne M	Number of Recirci	ulation Loops	Loop	Insulation Thickn	ess (in)	Recircul	ation Loop Location	n Reci	rculation F	Pump Por	wer (W)					
	1			1.5		(Conditioned			0						
107162A-000-(000-000000-0000			Registration Dat		25 17:28:18	н	ERS Provider:		c	CalCERTS inc.		Registration Number: 22	3-P010107162A-000-000	10000-0000	
	Tank Type Consumer Instantaneo us me I	Demand Recirculation Sensor Control 03 04 Tank Type # of Units Consumer Instantaneo us 1 02 02 me Number of Recirculation	Image: Normal Sensor Controls Demand Recirculation 03 04 05 03 04 05 Tank Type # of Units Tank Vol. (gal) Consumer Instantaneo us 1 0 02 me Number of Recirculation Loops 1 1	N N estic Hot r (DHW) Demand Recirculation Sensor Controls DHW Heater 1 03 04 05 06 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Consumer Instantaneo us 1 0 UEF 02 02 1 1 1 1	A A estic Hot r (DHW) Demand Recirculation Sensor Controls DHW Heater 1 1 03 04 05 06 07 03 04 05 06 07 Tank Type # of Units Tank Vol. Heating Efficiency Type Efficiency Efficiency Consumer Instantaneo us 1 0 UEF 0.93 02 03 03 04 1.5	Im Type Distribution Type Water Heater Name Number of Units Sys estic Hot r (DHW) Demand Recirculation Sensor Controls DHW Heater 1 1 n 03 04 05 06 07 08 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Fficiency Efficiency Rated Input Type Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 02 03 03 1 1.5 1	Im Type Distribution Type Water Heater Name Number of Units System estic Hot r (DHW) Demand Recirculation Sensor Controls DHW Heater 1 1 n/a 03 04 05 06 07 08 09 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Bficiency Rated Input Type Rated Input Input Ration or Pilot Consumer Instantaneo us 1 0 UEF 0.93 Btu/Hr 200000	m Type Distribution Type Water Heater Name Number of Units System Distribution estic Hot r(DHW) Demand Recirculation Sensor Controls DHW Heater 1 1 n/a Basic 03 04 05 06 07 08 09 10 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Rated Input Propertype Input Rating or Pilot Tank Insulation R-value (Int/Ext) Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 02 03 04 04 04 04 04 04 me Number of Recirculation Loops Loop Insulation Thickness (in) Recirculation Loop Location 1 1 1.5 Conditioned 04	In Type Distribution Type Water Heater Name Number of Units System Distribution HERS Vent estic Hot r(DW) Demand Recirculation Sensor Controls DHW Heater 1 1 n/a Basic n/a 03 04 05 06 07 08 09 10 11 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Rated Input Type Input Rating or Pilot Tank R-value (Int/Ext) Standby Loss or Recovery Eff Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 n/a 02 03 04 Efficiency Type Istribution Thickness (in) Recirculation Loop Location Reci 03 02 03 04 Index Istribution Index Istribution Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 n/a 1 1.5 Conditioned Istribution Istribution Istribution HERS Provider:	Intype Distribution HERS Ventication Instribution Demand Recirculation Sensor Controls DHW Heater 1 1 n/a Basic n/a 03 04 05 06 07 08 09 10 11 12 03 04 05 06 07 08 09 10 11 12 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Type Rated Input Bficiency Type Input Rating or Pilot Tank Insulation R-value (Int/Ext) Standby Loss or Recovery Eff 1st Hr. R or Flow Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a 02 03 04 0 n/a n/a 0 Insulation Recirculation Loop Location Recirculation I 1 1.5 Conditioned 1 1.5 Conditioned HERS Provider:	In Type Distribution Type Water Heater Name Number of Units System Distribution HERS Verification Name Instribution Demand Recirculation Sensor Controls DHW Heater 1 1 n/a Basic n/a DHW H 03 04 05 06 07 08 09 10 11 12 Tank Type # of Units Tank Vol. (gal) Heating Efficiency Rated Input Fificiency Tank Type Tank (nr/Ext) Standby Loss or Recovery 1st Hr. Rating or Flow Rate Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a 02 03 04 05 05 07 03 04 05 me Number of Recirculation Loops Loop Insulation Thickness (in) Recirculation Loop Location Recirculation Pump Po 1 1.5 Conditioned 0 0	In Type Distribution HERS Verification Name (#) istic Hot r(DHW) Demand Recirculation Sensor Controls DHW Heater 1 1 n/a Basic n/a DHW Heater 1 (1) 03 04 05 06 07 08 09 10 11 12 13 Tank Type # of Units Tank Vol. Heating Ffficiency Rated Input Input Rating Tank Insulation Standby Loss or Recovery 1st Hr. Rating Tank Location Consumer Instantaneo 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a 0 02 03 04 05 Insulation Thickness (in) Recirculation Loops Loop Insulation Thickness (in) Recirculation Loop Location Recirculation Pump Power (W) 1 1.5 Conditioned 0 0 0 Insulation Recirculation Pump Power (W)	Intype Distribution type Water Heater Name Number of Units System Distribution HEIS Verification Name (#) sstic Hot r(DHW) Demand Recirculation DHW Heater 1 1 n/a Basic n/a DHW Heater 1 (1) 03 04 05 06 07 08 09 10 11 12 13 Tank Type # of Units Tank Vol. Heating Efficiency Rated Input Input Rating Tank Standby Loss 1st Hr. Rating Tank Consumer Instantaneo 1 0 UEF 0.93 Btu/Hir 200000 0 n/a n/a Location 0 02 03 04 05 05 06 0 0 1 1 1 1 1 Tank Type # of Units Tank Vol. Heating Efficiency Rated Input Input Rating Insulation rank Location Instantaneo 1 0 UEF 0.93 Btu/Hir 200000 0 n/a n/a 1 1 1.5	m Type Distribution Type Water Heater Name Number of Units System Distribution HERS Provider: Name (#) Abstraction Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Abstraction Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Abstraction Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Abstraction Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Abstraction Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) Aname (#) <t< td=""><td>Im Type Distribution HEIS Verification Name (#) Demand r(DHW) Demand Sendor Controls DHW Heater 1 1 n/a Basic n/a DHW Heater 1 (1) 03 04 05 06 07 08 09 10 11 12 13 03 04 05 06 07 08 09 10 11 12 13 Tank Type If of Units Heating Imput Rating Tank (nt/Ext) Standby Loss or Recovery 1st Hr. Rating or Flow Rate Tank Location Construction Name Surface Type Instantance 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Imput Rating Tank or Recoverty Imput Rating Tank Castion R-21 Wall Exterior Walls Instantance 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Imput Rating R-38 Roof No Attic Cathedral Cellings 1 1.5 Conditioned 0 0 Imput Rating Imput Rating Imput Rating Imput Ra</td><td>m type Distribution Hells Verification Name (#) Demand r(DHW) Demand reduction DHW Heater 1 1 n/a Distribution Name (#) Demand r(DHW) Demand r(DHW) DHW Heater 1 1 n/a DHW Heater 1 (1) 08 04 05 06 07 08 09 10 11 12 13 1 0 05 06 07 08 09 10 11 12 13 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Integration Integration Integration Residence Construction Type R-38 Roof No Attic Cathedral Cellings Wood Framed Ceiling Ceiling</td></t<>	Im Type Distribution HEIS Verification Name (#) Demand r(DHW) Demand Sendor Controls DHW Heater 1 1 n/a Basic n/a DHW Heater 1 (1) 03 04 05 06 07 08 09 10 11 12 13 03 04 05 06 07 08 09 10 11 12 13 Tank Type If of Units Heating Imput Rating Tank (nt/Ext) Standby Loss or Recovery 1st Hr. Rating or Flow Rate Tank Location Construction Name Surface Type Instantance 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Imput Rating Tank or Recoverty Imput Rating Tank Castion R-21 Wall Exterior Walls Instantance 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Imput Rating R-38 Roof No Attic Cathedral Cellings 1 1.5 Conditioned 0 0 Imput Rating Imput Rating Imput Rating Imput Ra	m type Distribution Hells Verification Name (#) Demand r(DHW) Demand reduction DHW Heater 1 1 n/a Distribution Name (#) Demand r(DHW) Demand r(DHW) DHW Heater 1 1 n/a DHW Heater 1 (1) 08 04 05 06 07 08 09 10 11 12 13 1 0 05 06 07 08 09 10 11 12 13 1 0 UEF 0.93 Btu/Hr 200000 0 n/a n/a Integration Integration Integration Residence Construction Type R-38 Roof No Attic Cathedral Cellings Wood Framed Ceiling Ceiling

Report Generated: 2023-08-25 13:11:01

Easy to Verify

at CalCERTS.com

Report Generated: 2023-08-25 13:11:01

05

CFM50

n/a

CalCERTS inc.

CF1R-PRF-01-E

(Page 11 of 14)

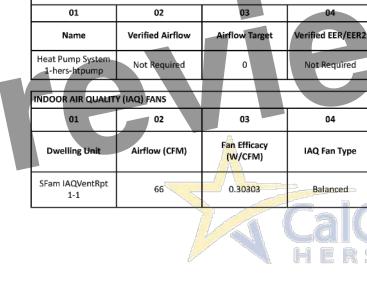
HERS Provider:

06 07 08 09

Project Name: Centra	Coast ADU OBP		MPLIA
Calculation Description	on: Title 24 Analysis		
SLAB FLOORS			
01	02	03	
Name	Zone	Area (ft ²)	Р
Slab-on-Grade	One Bed Plus	251.85	
Slab-on-Grade 2	One Bed Plus	130.33	
Slab-on-Grade 3	One Bed Plus	59.49	
Slab-on-Grade 4	One Bed Plus	45.5	
Slab-on-Grade 5	One Bed Plus	144.48	
OPAQUE SURFACE CON	STRUCTIONS		
01		03	

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Number: 223-P010107162A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance ANCE MET



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE ME Project Name: Central Coast ADU OBP Calculation Description: Title 24 Analysis

CF1R-PRF-01-E Calculation Date/Time: 2023-08-25T15:10:25-05:00 (Page 14 of 14) HVAC HEAT PUMPS - HERS VERIFICATION

rtify that this Certificat entation Author Signature States ---ture Date 2023-08-25 17:28:18 A/ HERS Certification Identification (If applicable) M37306 831-641-7739 ONSIBLE PERSON'S DECLARATION STATEMENT he following under penalty of perjury, under the laws of the State of California I am eligible under Division 3 of the Business and Professions Code to accept I certify that the energy features and performance sp The building design features or system design featu 2023-08-25 17:28:18 License: M37306 Phone: 831-641-7739

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Registration Date/Time: 2023-08-25 17:28:18

Calculation Date/Time: 2023-08-25T15:10:25-05:00

04

CFM50

n/a

Input File Name: 4_OBP_H_CZ4.ribd22x

Report Version: 2022.0.000

03

N/A

04 05

Report Version: 2022.0.000

Schema Version: rev 20220901

Schema Version: rev 20220901

Input File Name: 4_OBP_H_CZ4.ribd22x Calculation Description: Title 24 Analysis

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Central Coast ADU OBP

Registration Number: 223-P010107162A-000-000-000000-0000

02

Project Name: Central Coast ADU OBP

BUILDING ENVELOPE - HERS VERIFICATION

01

Required

02

Gas

01

DHW Sys 1

Water Heating System Name

Registration Number: 223-P010107162A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

WATER HEATING SYSTEMS

01

Name

DHW Sys 1

WATER HEATERS

DHW

Heater 1

RECIRCULATION LOOPS

01

Heating Name Element Type

Calculation Description: Title 24 Analysis

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

02

Quality Insulation Installation (QII) High R-value Spray Foam Insulation Building Envelope Air Leakage

Not Required

03

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

> Jaime Zaldıvar, P.E. contact@zalengineering.com 831-641-7739 ZAL (zalengineering.com)

		on Date/Tim Name: 4_C				:00	CF1R-PRF-01- (Page 13 of 14
0	5	06		0	7	08	09
Veri	fied	Verified Ref		Veri	ified	Verified Heating	Verified Heating
SEER/S	SEER2	Charg	e	HSPF/	HSPF2	Cap 47	Cap 17
Not Re	quired	Yes		N	lo	Yes	Yes
							1
0: Inclu		06		0	7	08	09
Heat/E Recov	nergy	IAQ Reco Effectivenes			es Fault Display?	HERS Verification	Status
Ye	2S	83		Ν	lo	Yes	
Report V Schema		2023-08-25 22.0.000 20220901			Rep	S Provider: ort Generated: 2023	CF1R-PRF-01-
Report V Schema	(ersion: 20) Version: re Calculatio Input File	2023-08-25 22.0.000	ne: 2023-0		Rep	ort Generated: 2023	-08-25 13:11:01
Report V Schema	(ersion: 20) Version: re Calculatio Input File Edge Ins	2023-08-26 : 22.0.000 20220901 on Date/Tim e Name: 4_C 05 sul. R-value	ne: 2023-0 DBP_H_CZ	4.ribd22 06 sul. R-val	Rep 5:10:25-05 X	ort Generated: 2023	-08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14
Report V Schema	fersion: 20: Version: re Calculation Input File Edge Inst and	2023-08-25 : 22.0.000 20220901 on Date/Tim e Name: 4_C 05	ne: 2023-0 DBP_H_CZ	4.ribd22 06	Rep 5:10:25-05 X	ort Generated: 2023 :00	-08-25 13:11:01 CF1R-PRF-01- (Page 10 of 14 08
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