

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



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3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

BID SET.
City of Atascadero Preview

SITE PLAN CHECKLIST The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND
Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12¹

CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

OWNER PROVIDED
SITE PLAN -
ATASCADERO

GO.1
SCALE - AS NOTED

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections 301.1, 301.2, 302, 4.1, 4.102, 4.103, 4.104, 4.106, 4.2, 4.3, 4.4, 4.5. Includes definitions, site development, grading and paving, multifamily dwellings, electric vehicle charging, and energy efficiency measures.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections 4.304, 4.406, 4.408, 4.409, 4.410, 4.411, 4.412, 4.501, 5.102, 5.103, 5.104, 5.105, 5.106, 5.107, 5.108, 5.109, 5.110, 5.111, 5.112, 5.113, 5.114, 5.115, 5.116, 5.117, 5.118, 5.119, 5.120, 5.121, 5.122, 5.123, 5.124, 5.125, 5.126, 5.127, 5.128, 5.129, 5.130, 5.131, 5.132, 5.133, 5.134, 5.135, 5.136, 5.137, 5.138, 5.139, 5.140, 5.141, 5.142, 5.143, 5.144, 5.145, 5.146, 5.147, 5.148, 5.149, 5.150, 5.151, 5.152, 5.153, 5.154, 5.155, 5.156, 5.157, 5.158, 5.159, 5.160, 5.161, 5.162, 5.163, 5.164, 5.165, 5.166, 5.167, 5.168, 5.169, 5.170, 5.171, 5.172, 5.173, 5.174, 5.175, 5.176, 5.177, 5.178, 5.179, 5.180, 5.181, 5.182, 5.183, 5.184, 5.185, 5.186, 5.187, 5.188, 5.189, 5.190, 5.191, 5.192, 5.193, 5.194, 5.195, 5.196, 5.197, 5.198, 5.199, 5.200.

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CENTRAL COAST PRE-DESIGNED ADU ONE BEDROOM + DEN 746 GSF

CAL GREEN/GREEN BUILDING REQUIREMENTS G2.0

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Table 4.504.1 - ADHESIVE VOC LIMITS (Less Water and Less Exempt Compounds in Grams per Liter). Includes sections for Architectural Applications, Specialty Applications, and Substrate Specific Applications.

Table 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter). Includes sections for Sealants, Sealant Primers, and VOC Content Limits for Architectural Coatings.

Table 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Includes sections for Coating Category, Composite Wood Products, and Interior Moisture Control.

Table 4.504.4 - FORMALDEHYDE LIMITS: MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION. Includes sections for Chapter 7 Installer & Special Inspector Qualifications, Division 4.5 Environmental Quality, and 4.507 Environmental Comfort.

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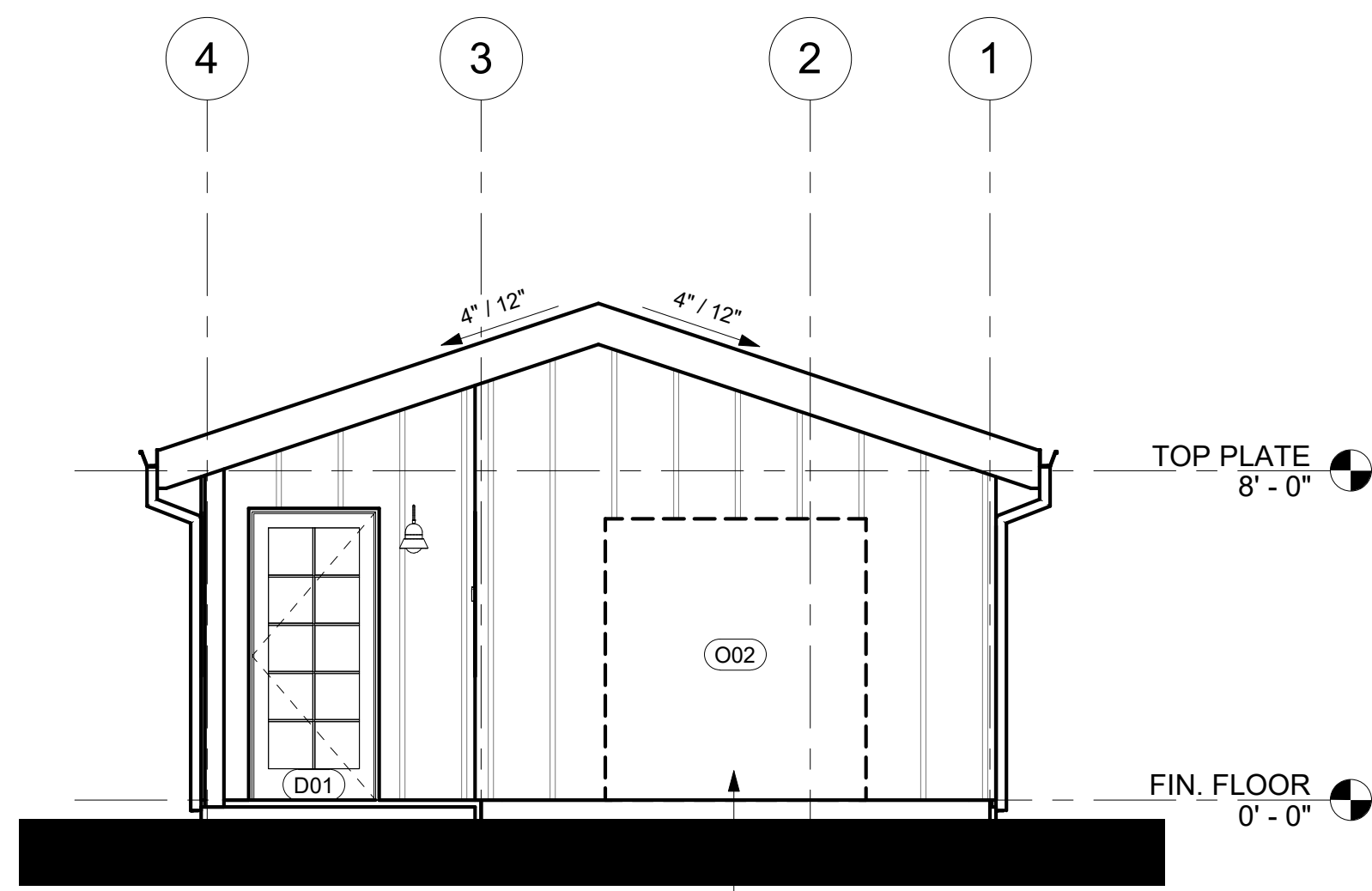
CENTRAL COAST PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

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CAL GREEN/GREEN BUILDING REQUIREMENTS

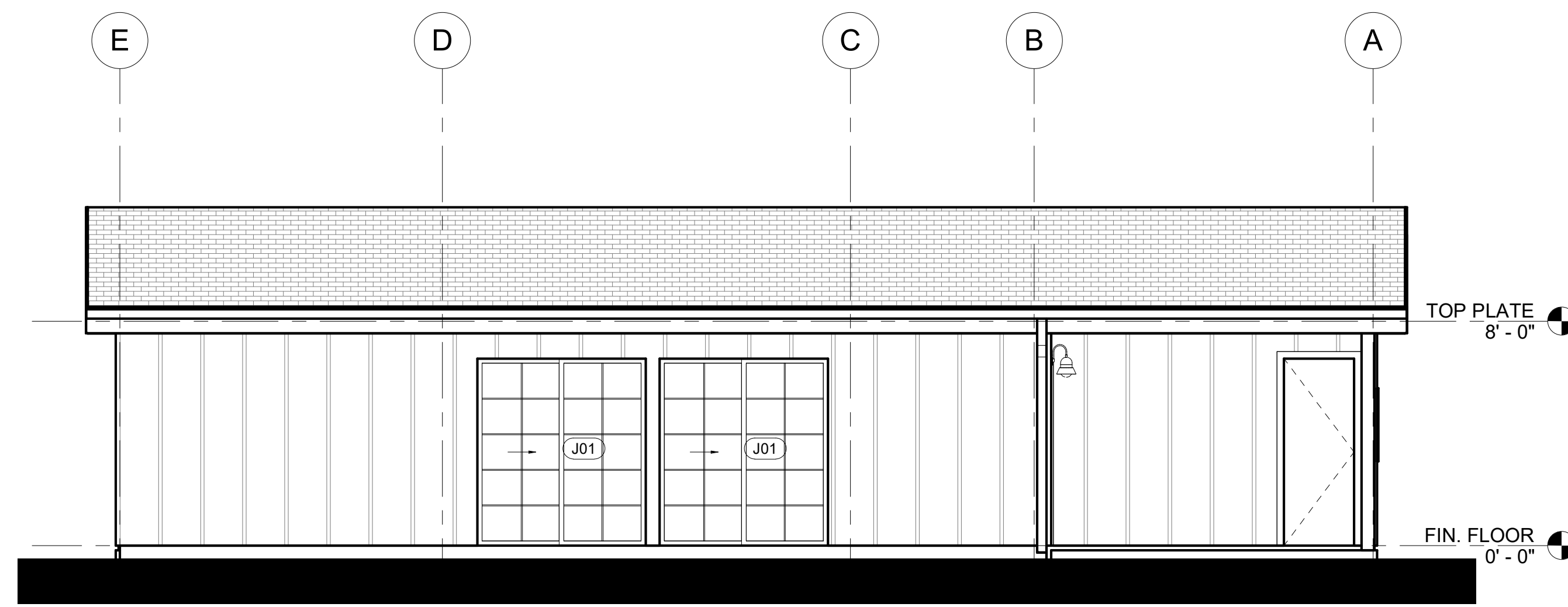
G2.1
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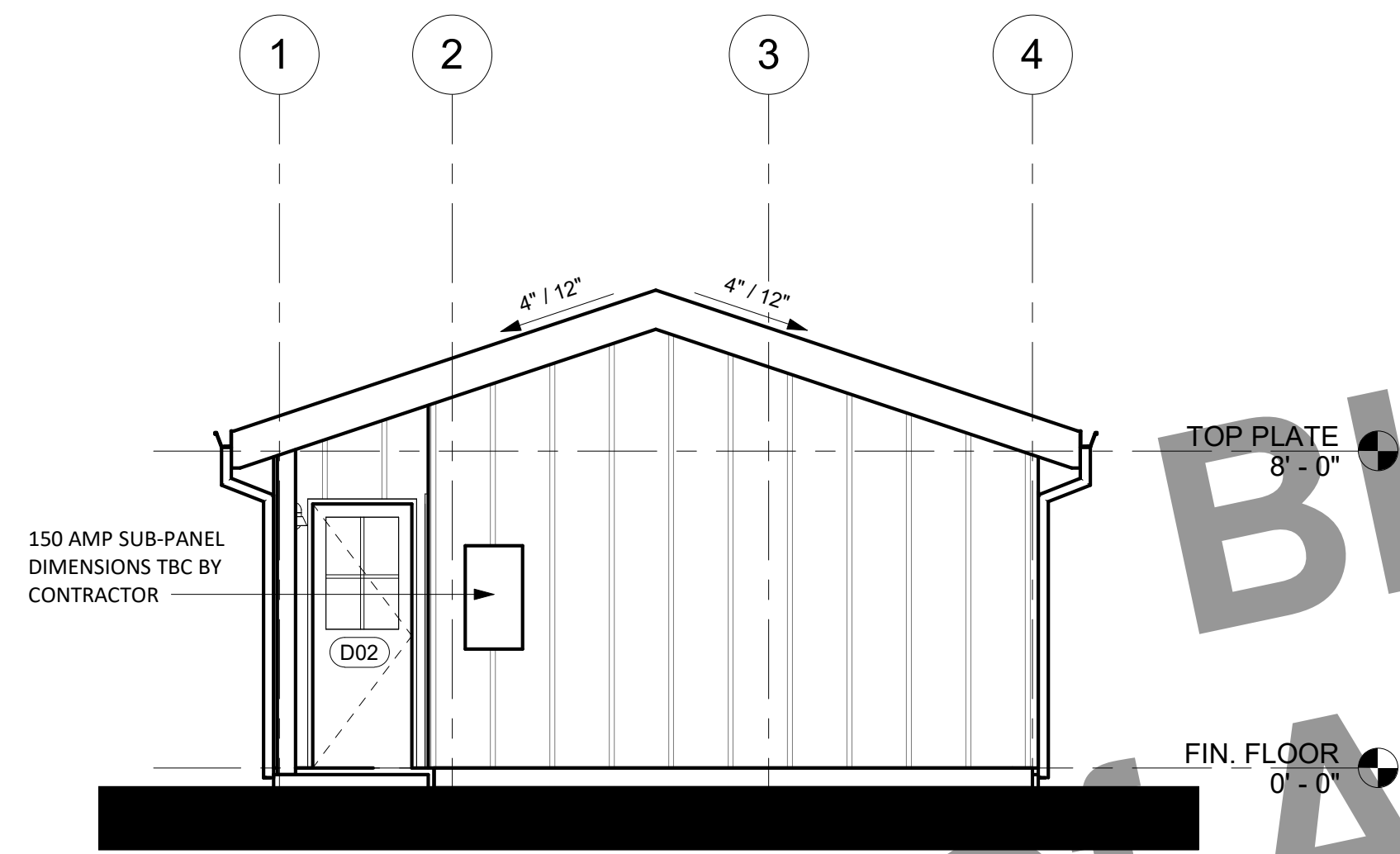


6 RIGHT ELEVATION - COASTAL RANCH
1/4" = 1'-0"

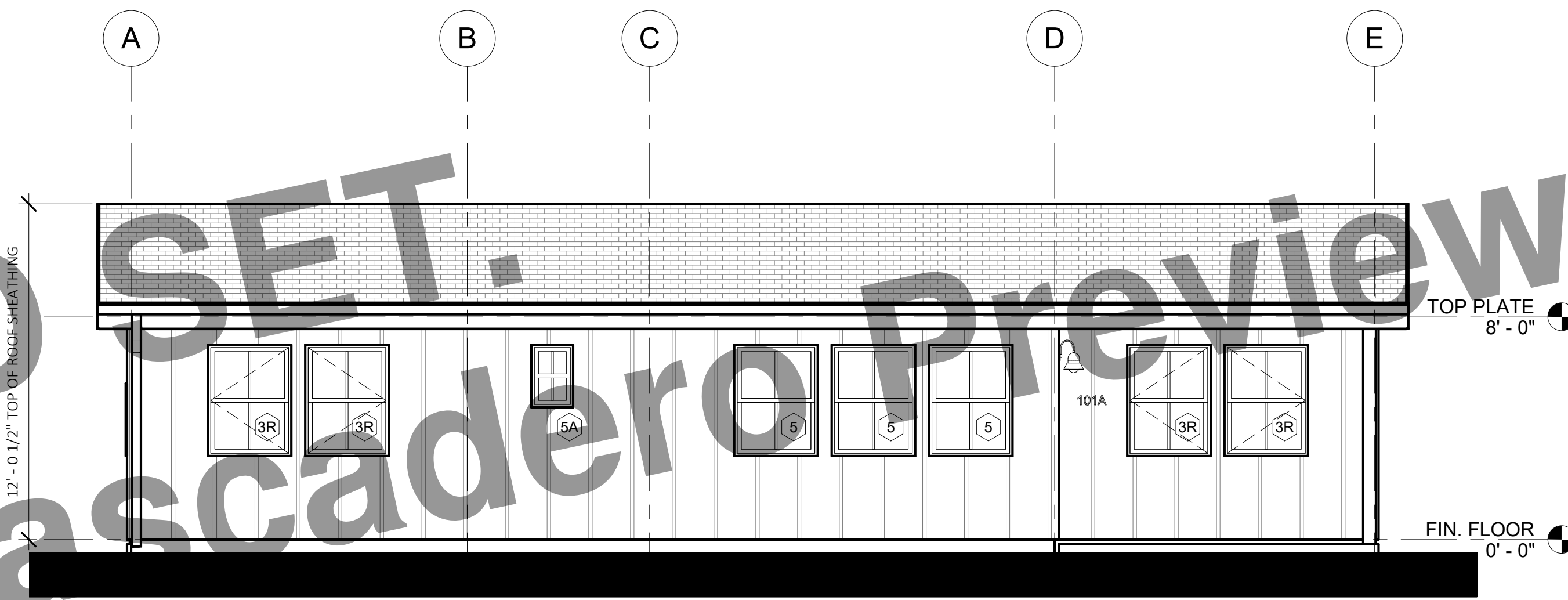
OPTIONAL EXTERIOR DOOR. COORDINATION REQUIRED AT FRAMING. REFERENCE PROJECT CHECKLIST G0.0 AND SCHEDULE ON A6.3



3 REAR ELEVATION - COASTAL RANCH
1/4" = 1'-0"



5 LEFT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



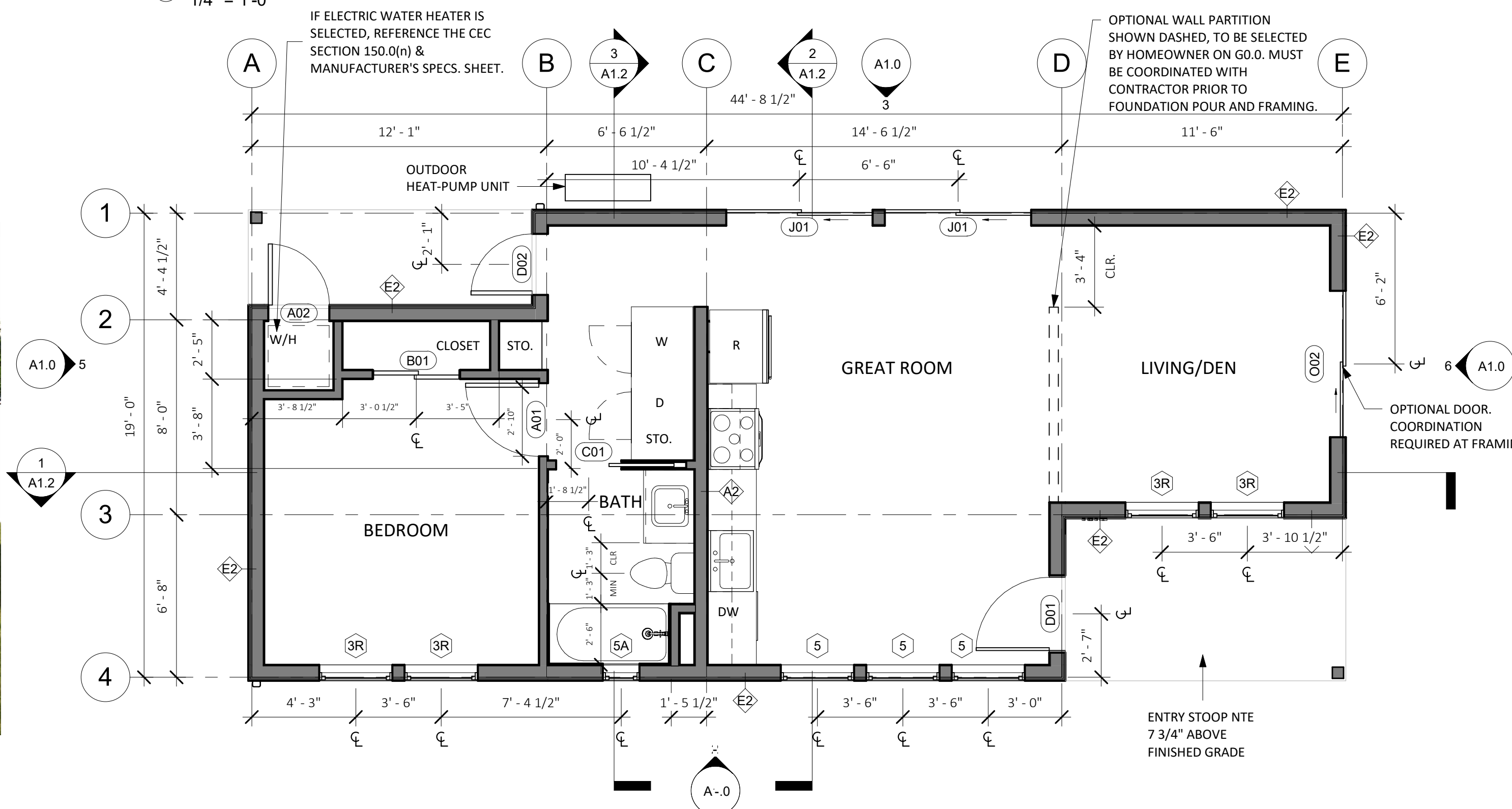
2 FRONT ELEVATION - COASTAL RANCH
1/4" = 1'-0"

IF ELECTRIC WATER HEATER IS SELECTED, REFERENCE THE CEC SECTION 150.0(n) & MANUFACTURER'S SPECS. SHEET.

OPTIONAL WALL PARTITION SHOWN DASHED, TO BE SELECTED BY HOMEOWNER ON G0.0. MUST BE COORDINATED WITH CONTRACTOR PRIOR TO FOUNDATION POUR AND FRAMING.



4 FRONT VIEW - ONE BEDROOM PLUS - COASTAL RANCH
NO SCALE



1 FLOOR PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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PRE-DESIGNED ADU**
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746 GSF

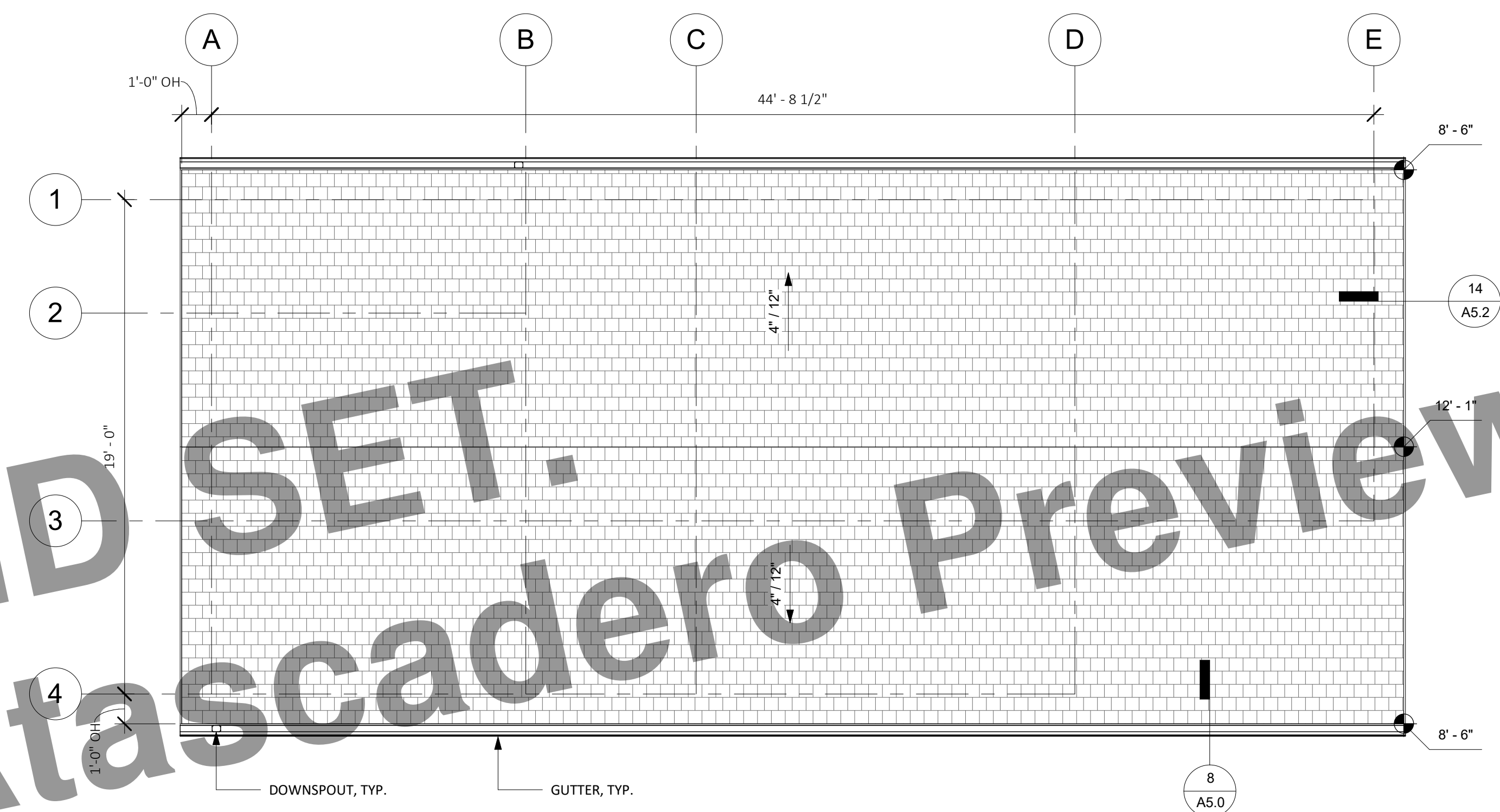
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RANCH -
FLOORPLANS &
ELEVATIONS

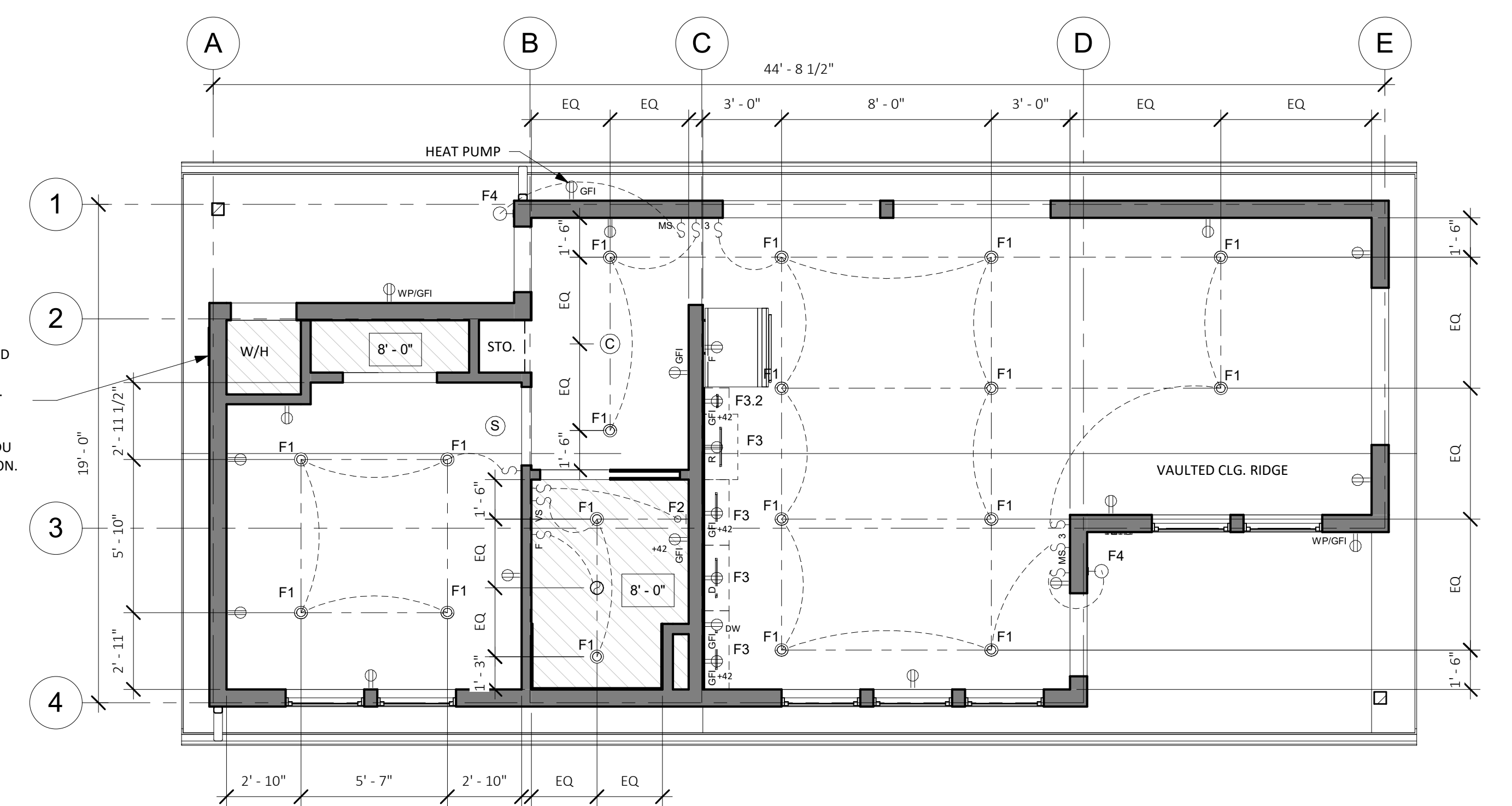
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SCALE: AS NOTED

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 City of Atascadero Preview



2 ROOF PLAN - COASTAL RANCH
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

- MIN 100 AMP SUBPANEL
- COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 - VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.

(S) CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2015 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.

(C) CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

- LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL
- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
- SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
- ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
- PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



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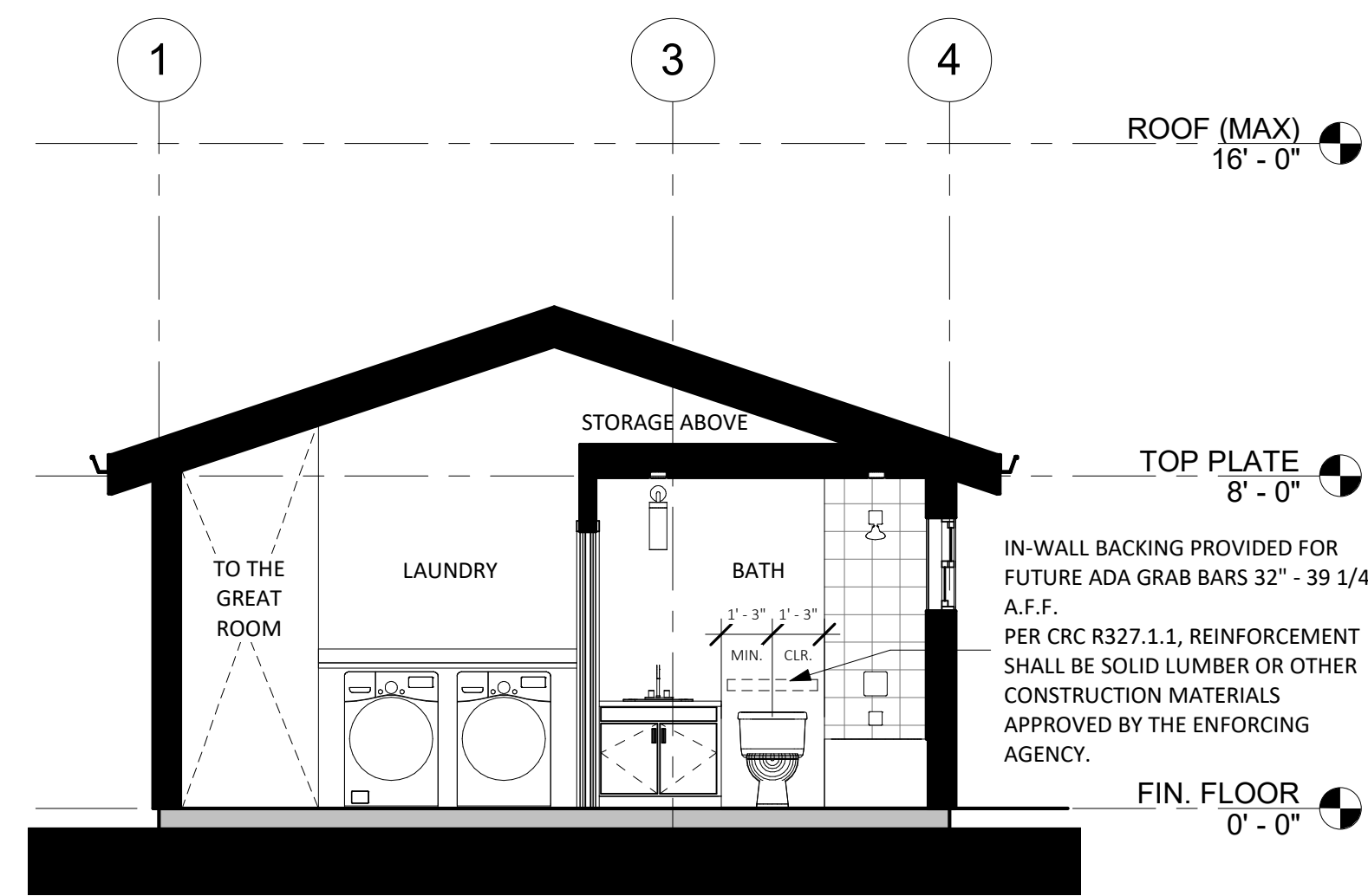
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RANCH - ROOF PLAN & RCP

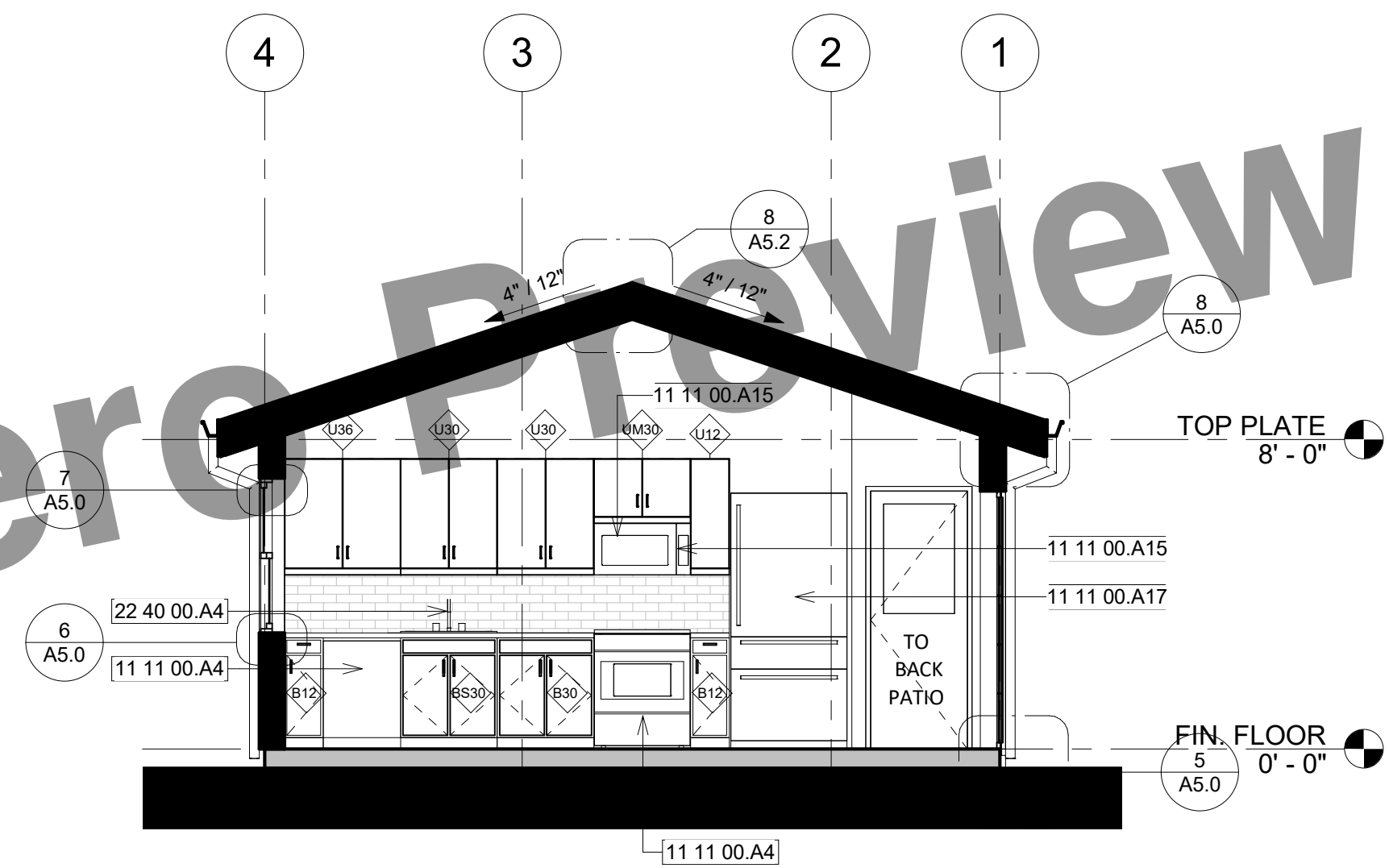
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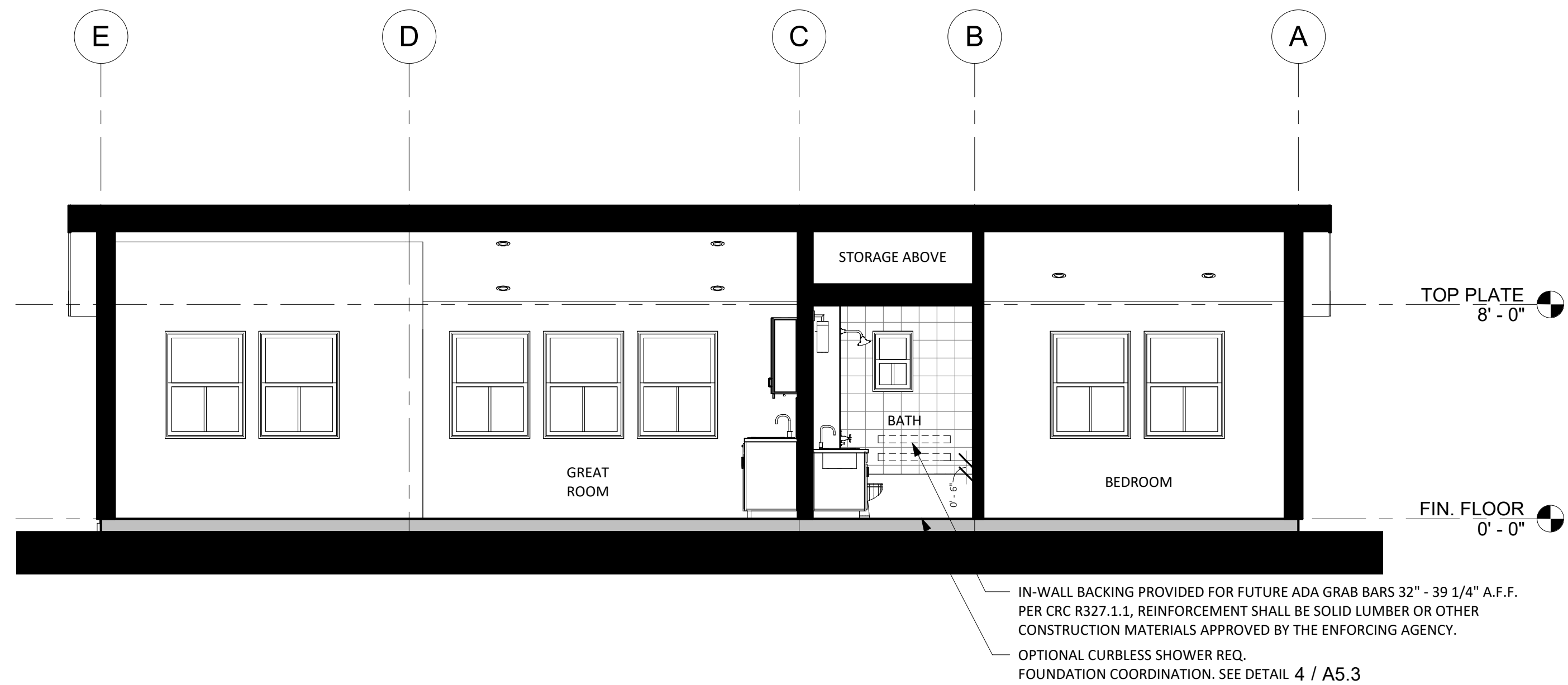
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City of Atascadero Preview



3 SECTION B - COASTAL RANCH
1/4" = 1'-0"



2 SECTION B - COASTAL RANCH
1/4" = 1'-0"



1 SECTION A - COASTAL RANCH
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



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/ARCHITECT**

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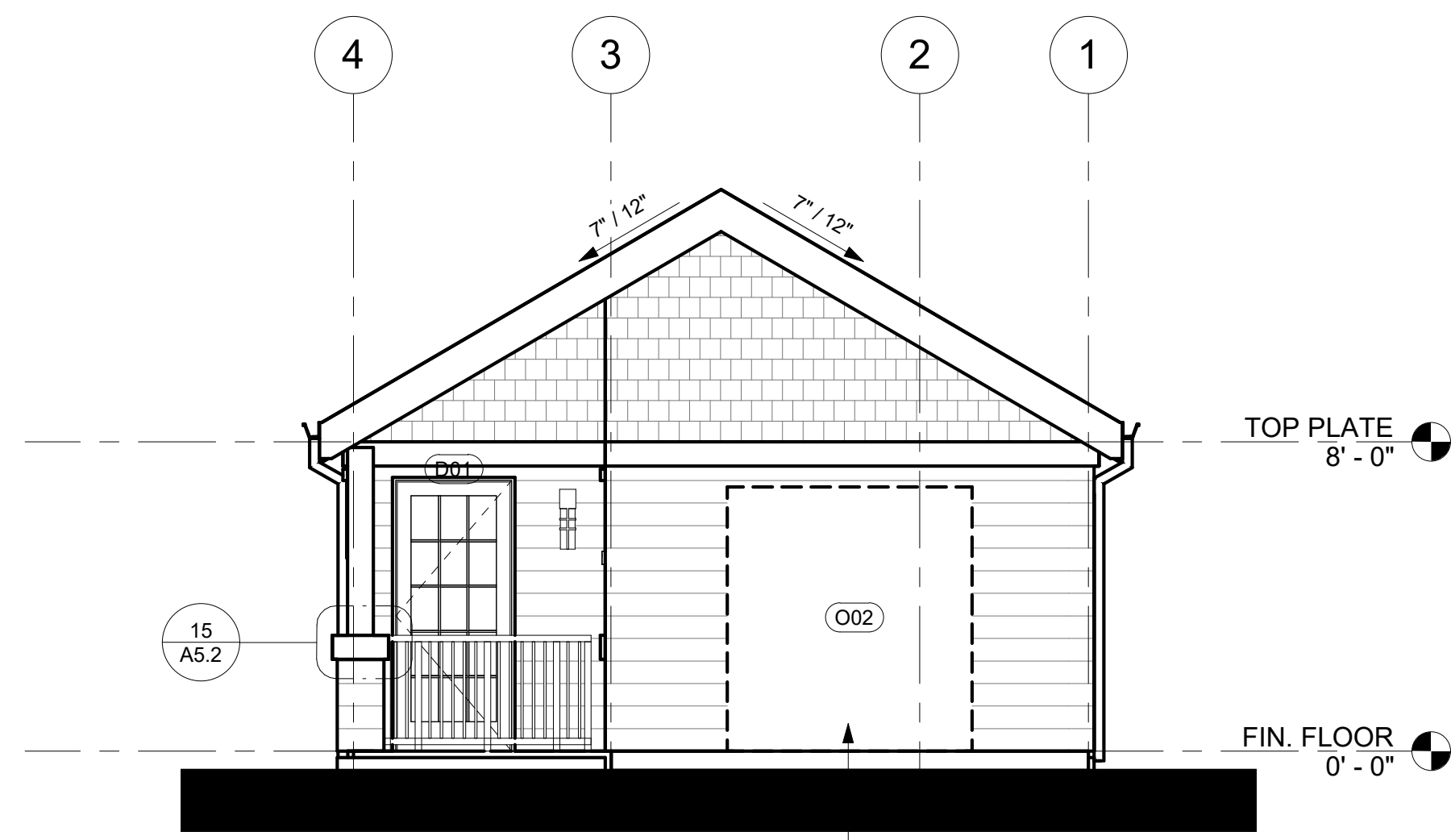
CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

RANCH - SECTIONS

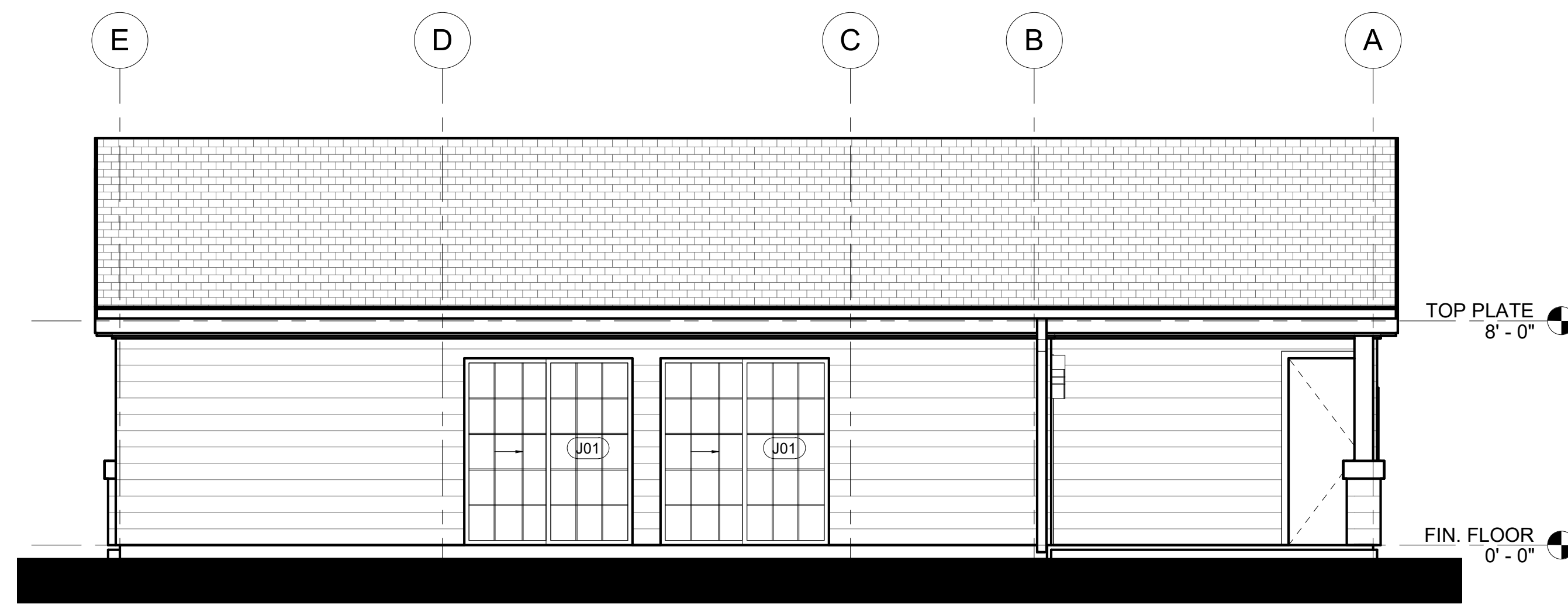
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SCALE: AS NOTED

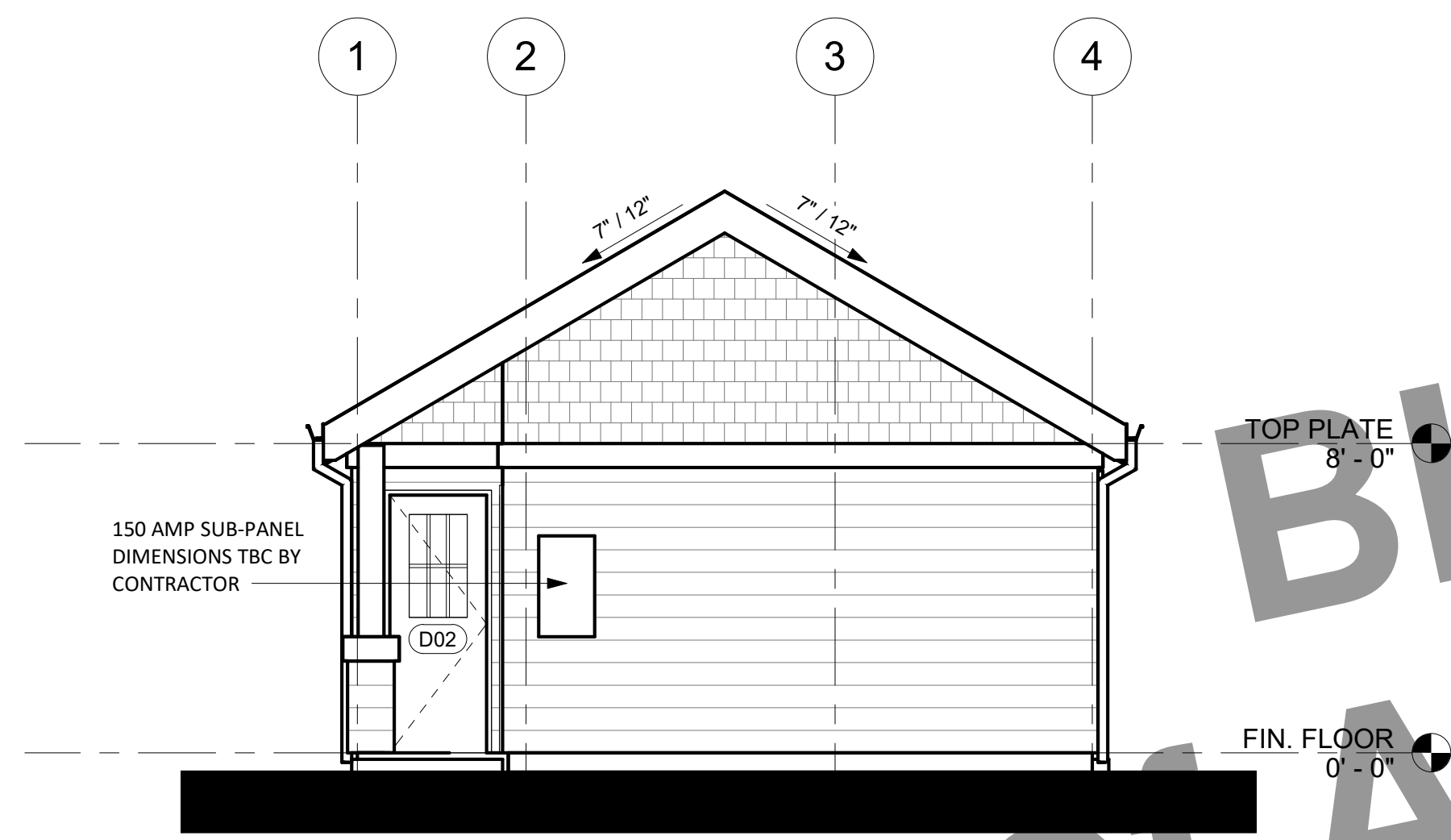


6 RIGHT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"

OPTIONAL EXTERIOR DOOR. COORDINATION
REQUIRED AT FRAMING. REFERENCE PROJECT
CHECKLIST G0.0 AND SCHEDULE ON A6.3



3 REAR ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"

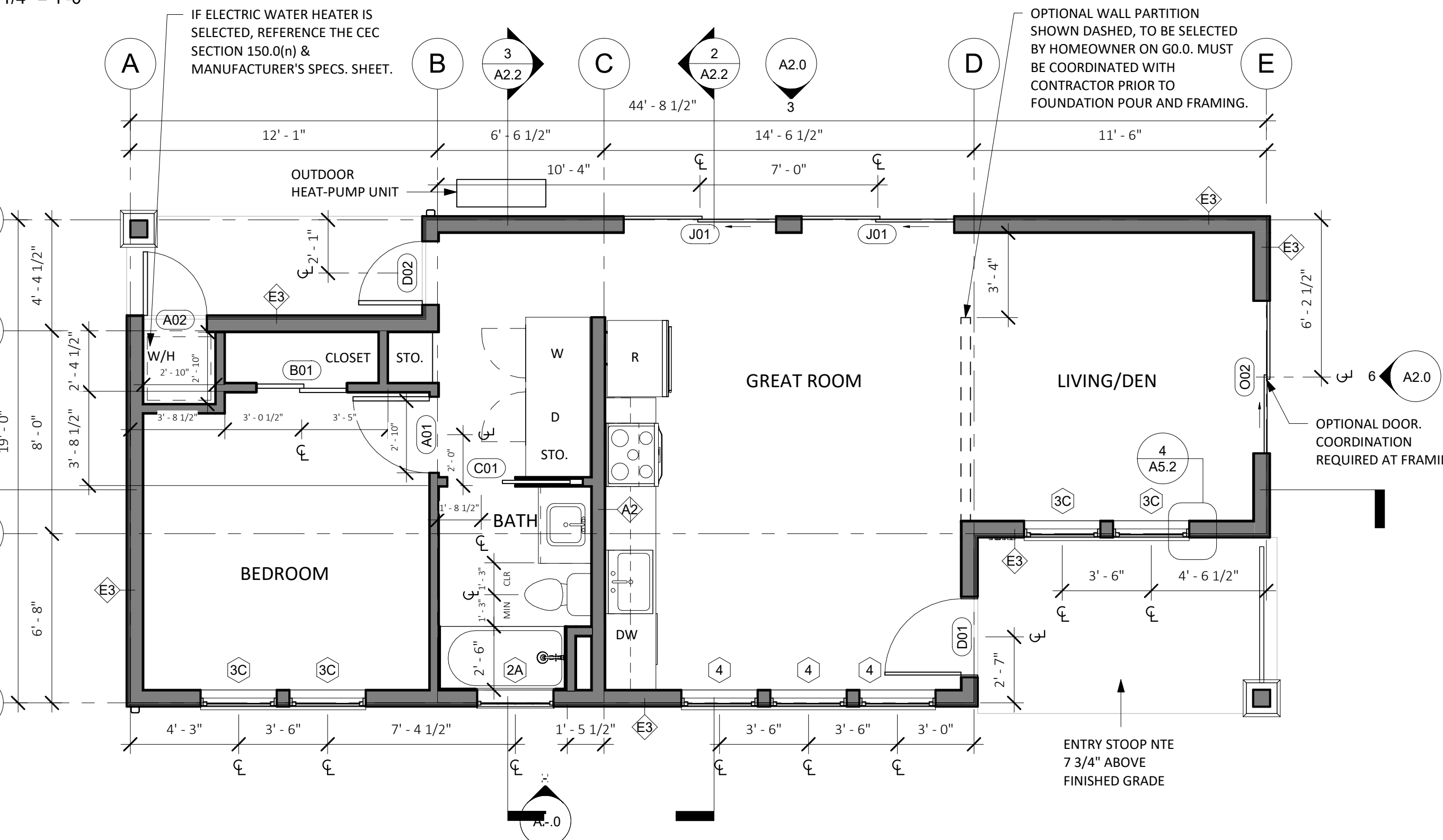


5 LEFT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"

150 AMP SUB-PANEL
DIMENSIONS TBC BY
CONTRACTOR



2 FRONT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



1 FLOOR PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM PLUS - BACKYARD CRAFTSMAN
NO SCALE

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

**CRAFTSMAN -
FLOORPLANS &
ELEVATIONS**

A2.0

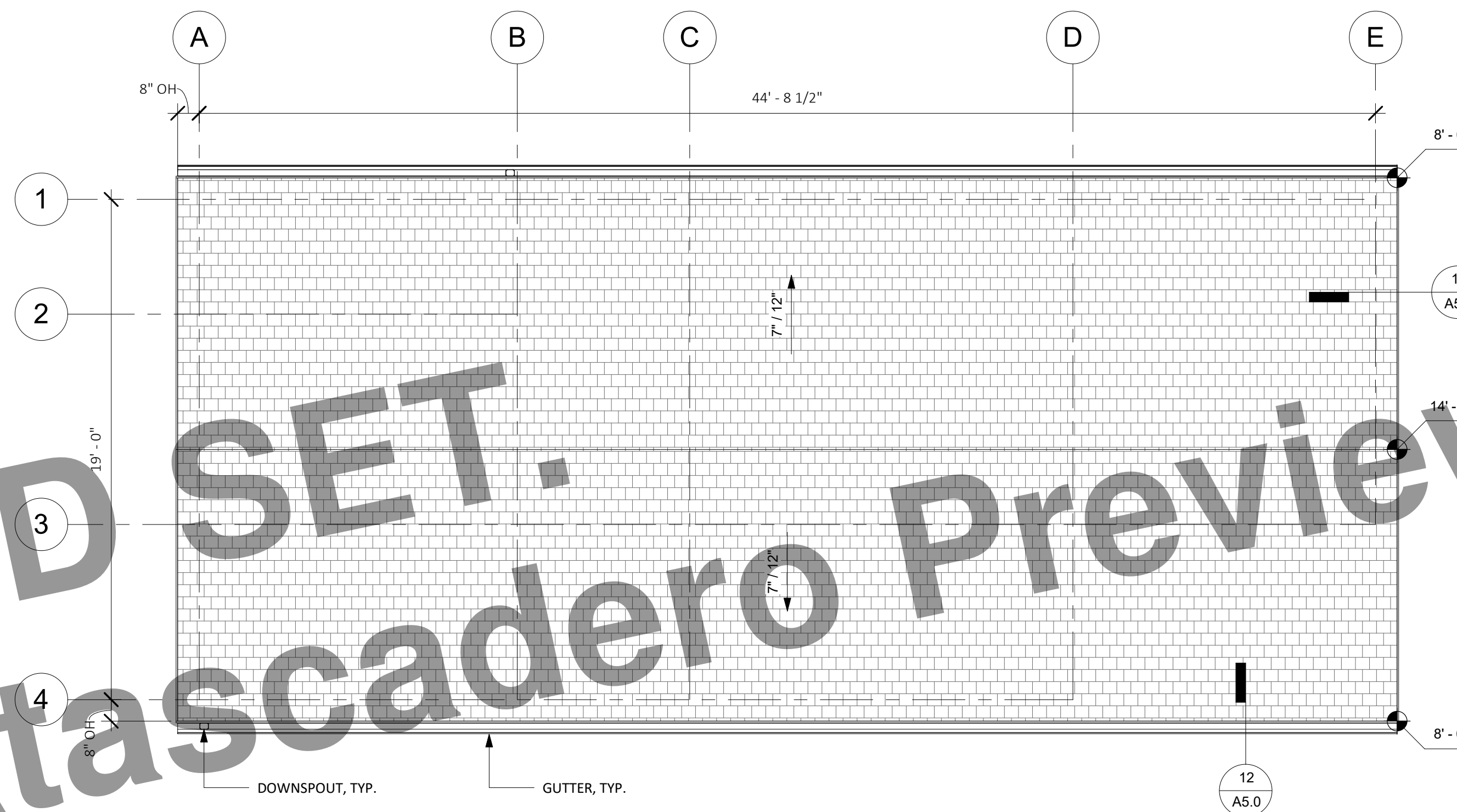
SCALE: AS NOTED

City of Atascadero

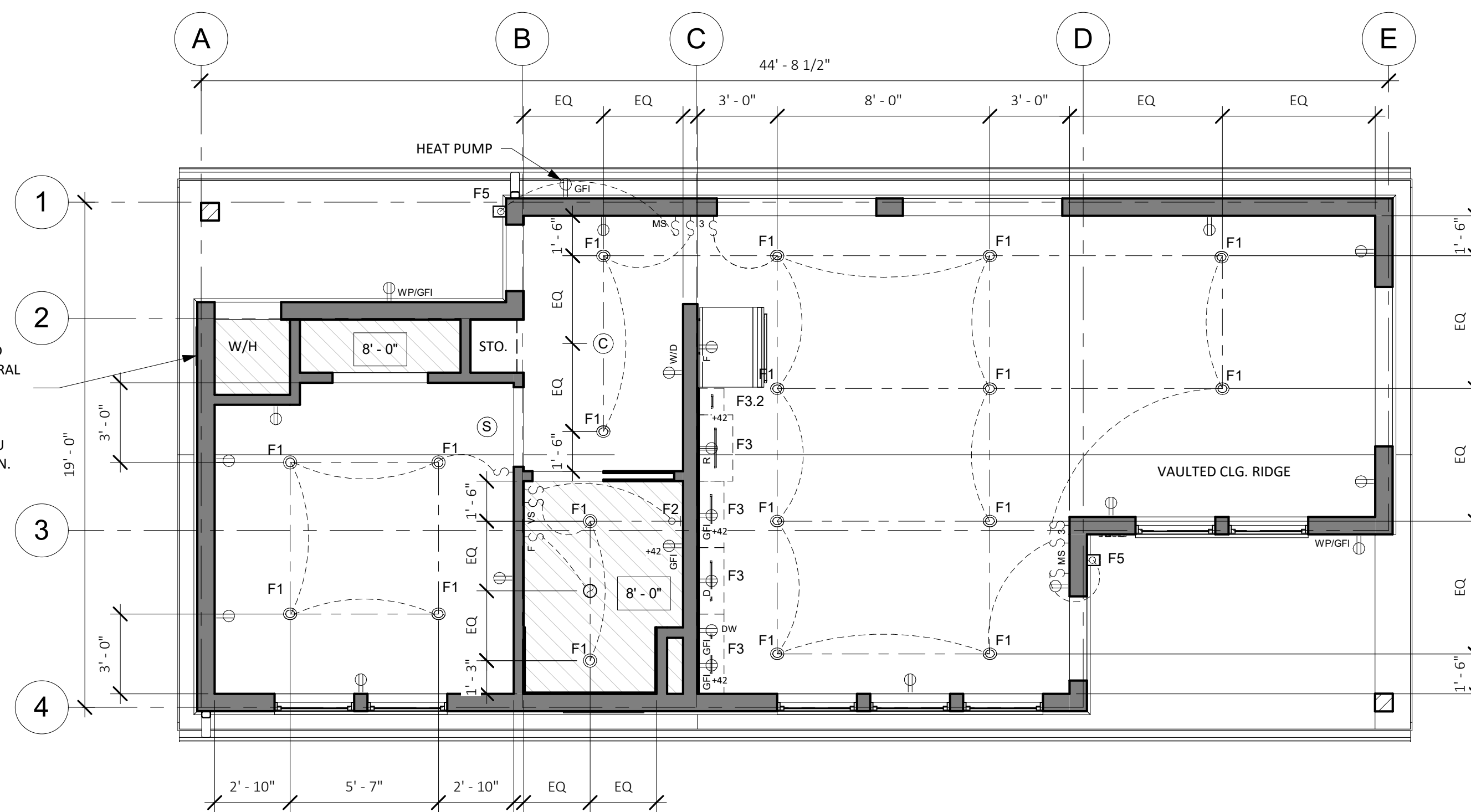
BID SET.

Atascadero

Preview



2 ROOF PLAN - BACKYARD CRAFTSMAN
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

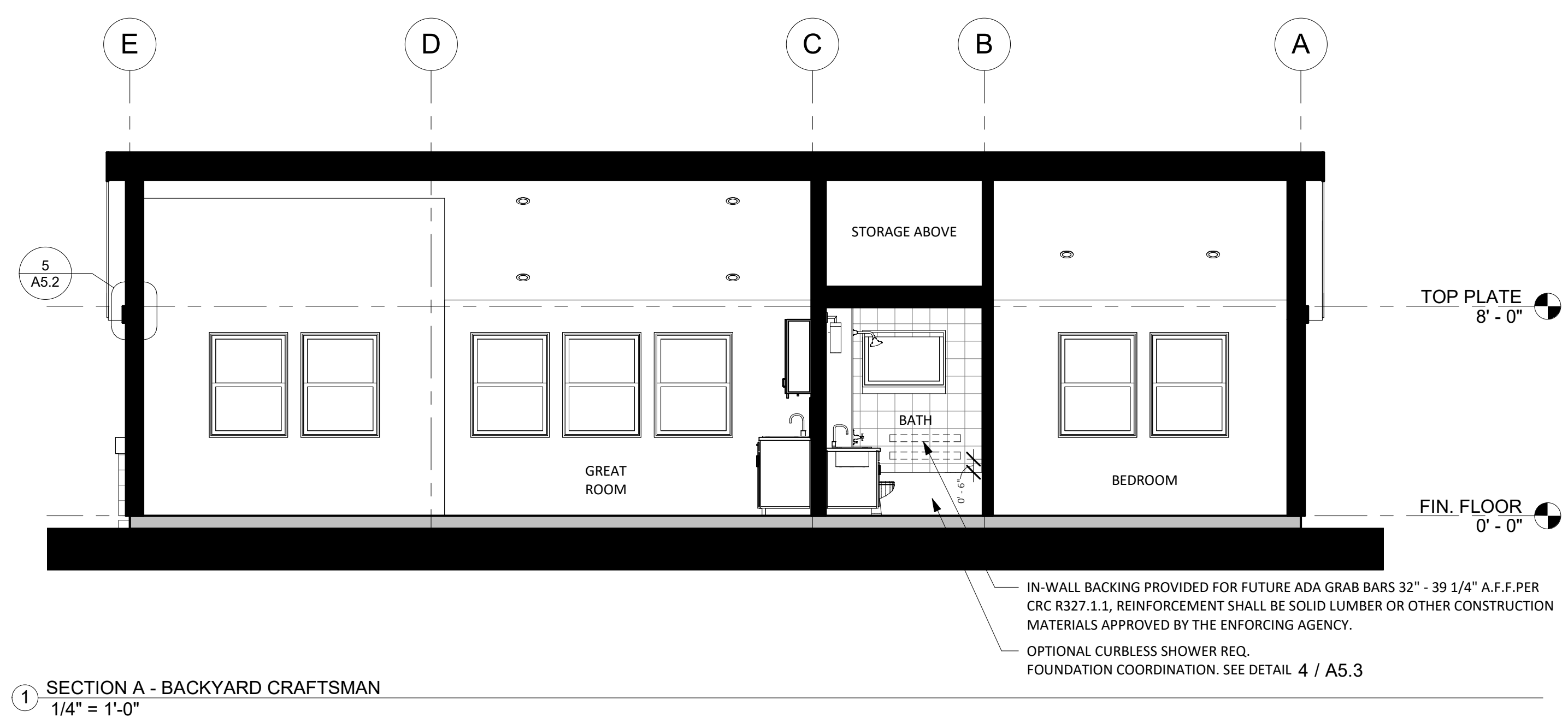
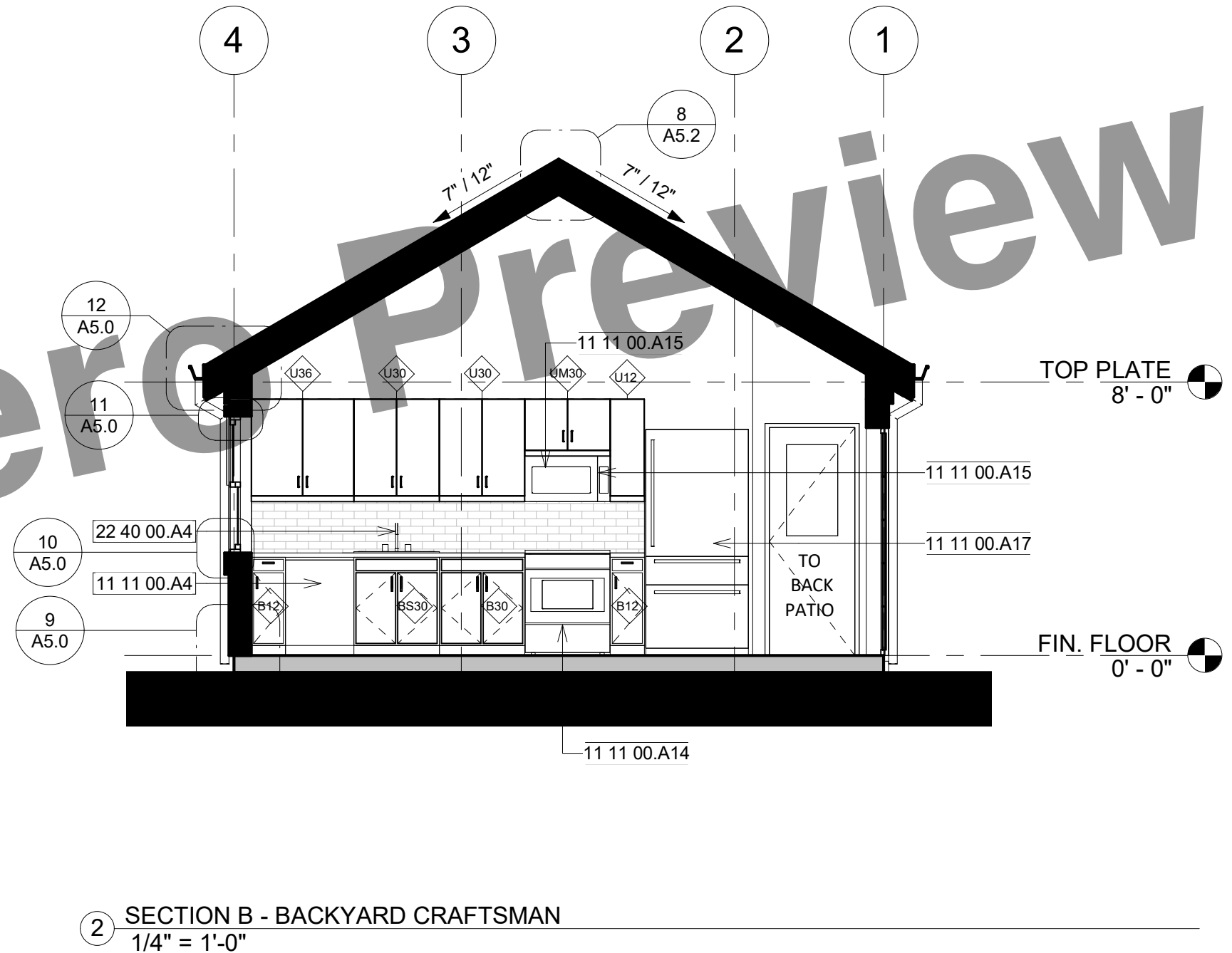
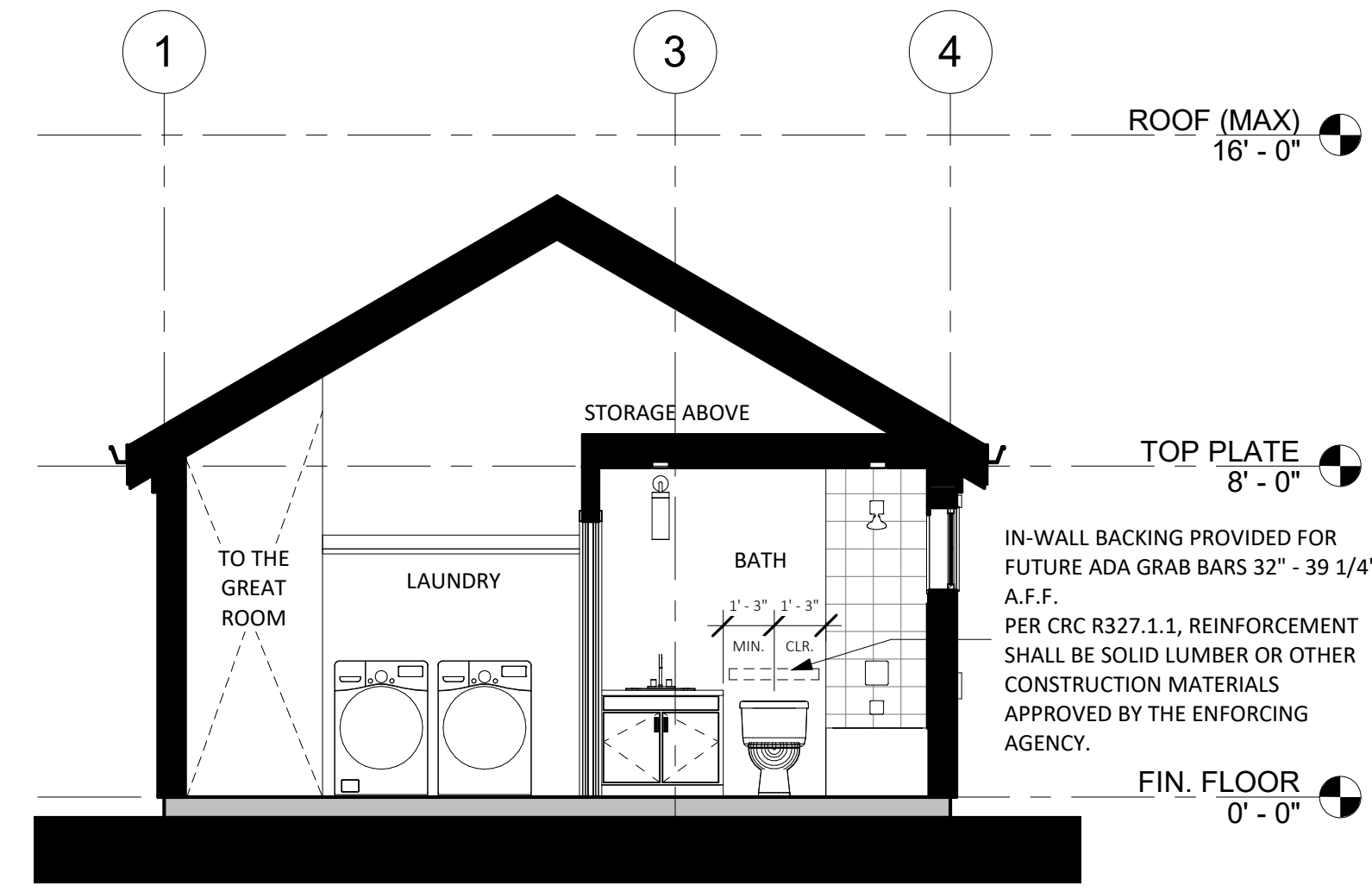
CRAFTSMAN - ROOF
PLAN & RCP

A2.1

SCALE: AS NOTED

BID SET.
City of Atascadero

Preview



KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING	
22 40 00.A4	30" KITCHEN SINK WITH FAUCET



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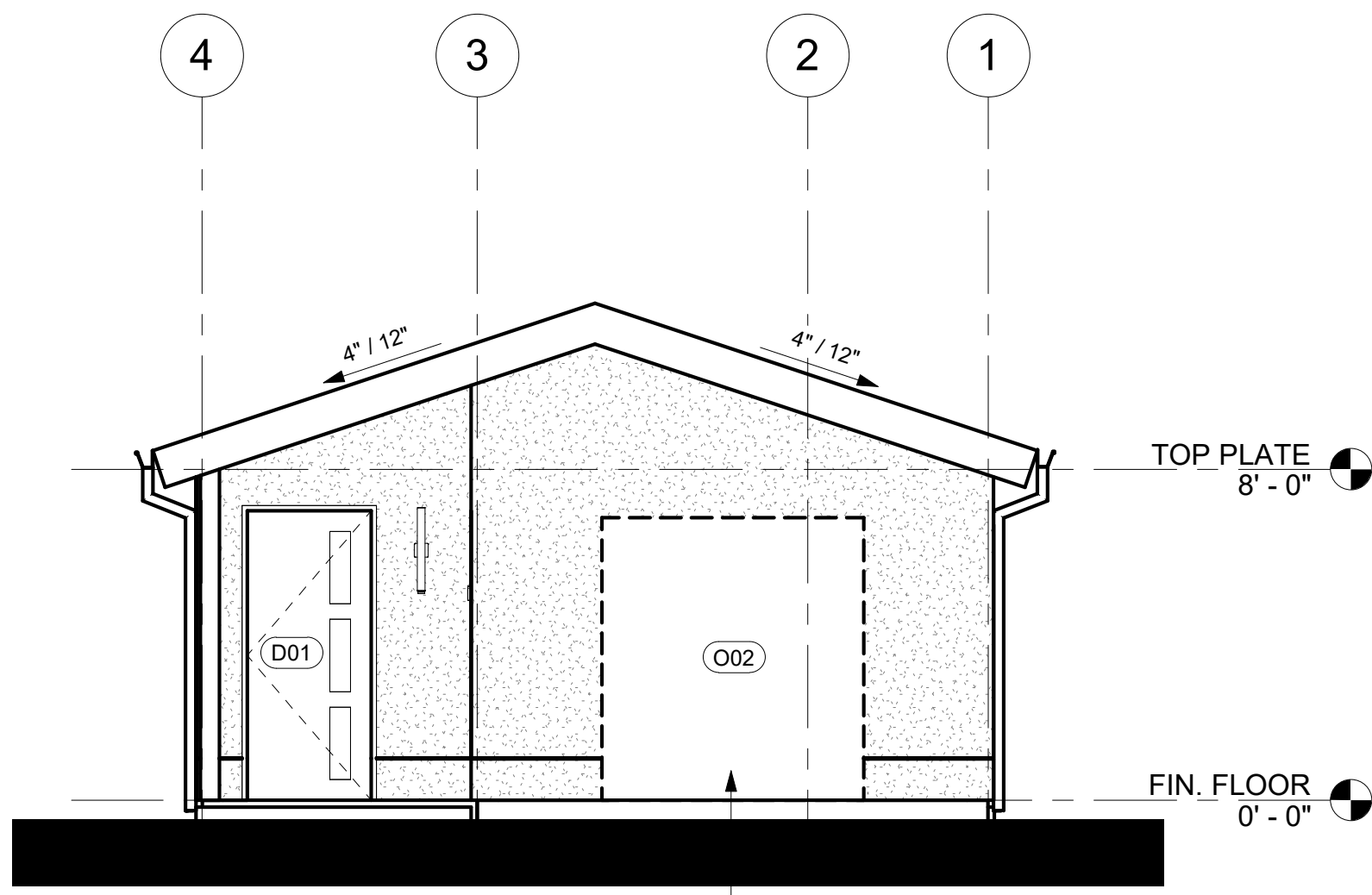
**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM + DEN
746 GSF

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CRAFTSMAN - SECTIONS

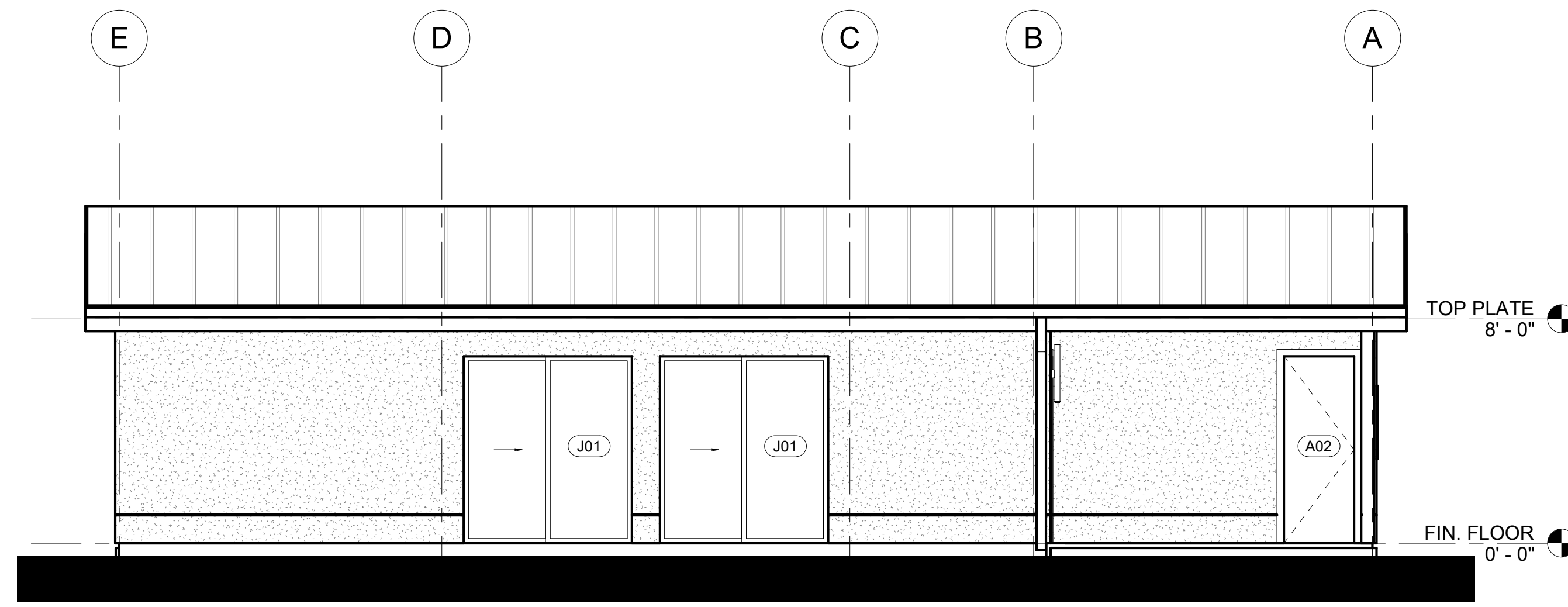
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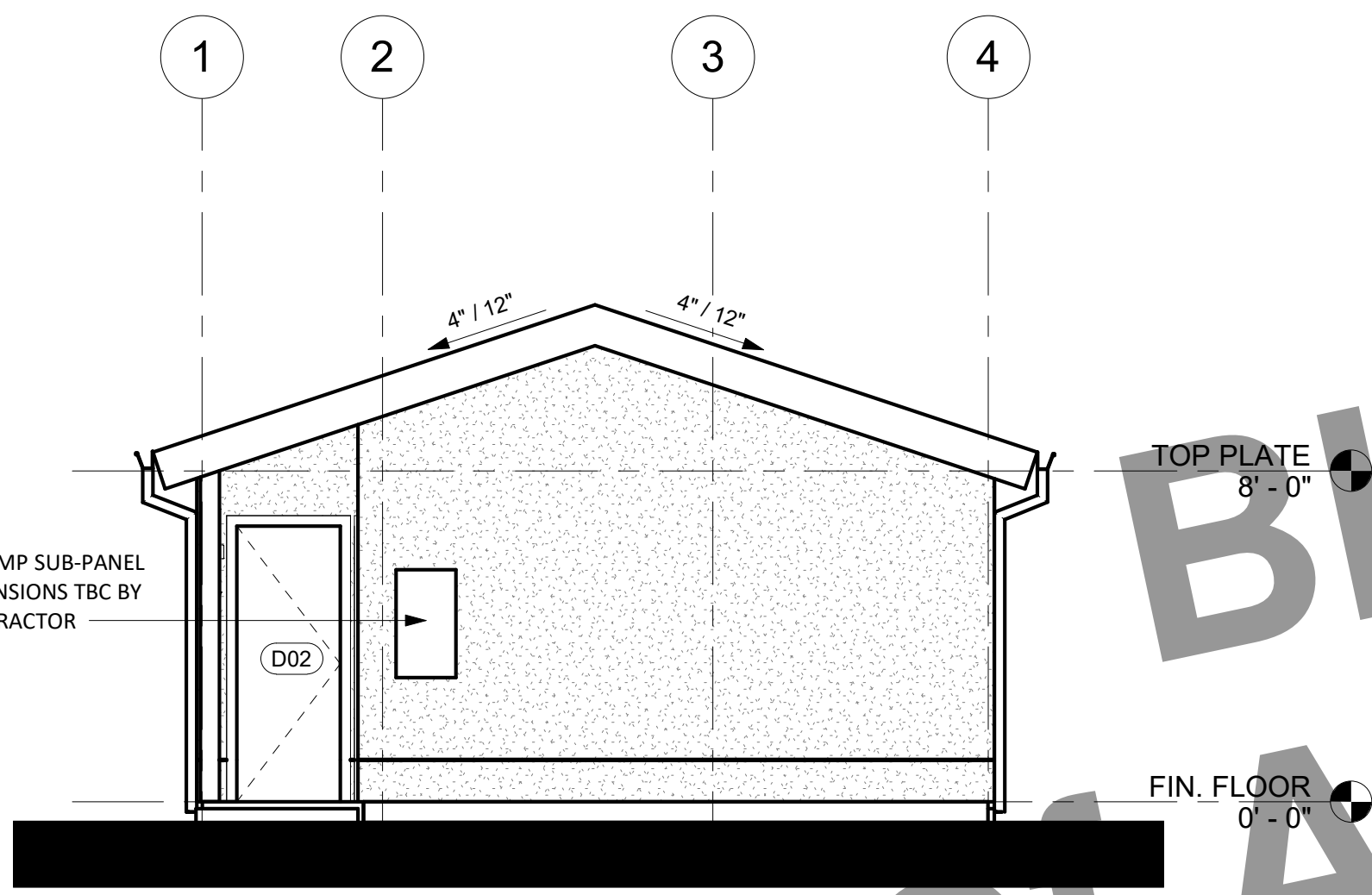


6 RIGHT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"

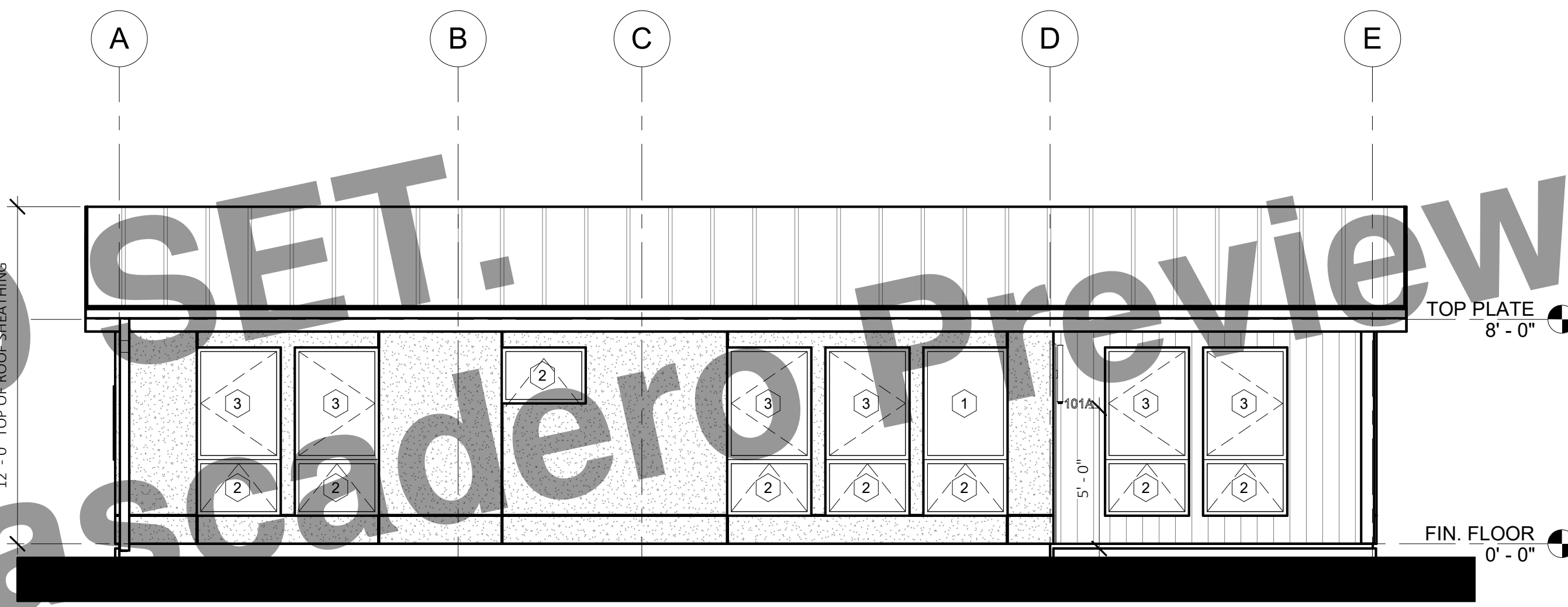
OPTIONAL EXTERIOR DOOR. COORDINATION REQUIRED AT FRAMING. REFERENCE PROJECT CHECKLIST G0.0 AND SCHEDULE ON A6.3



3 REAR ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



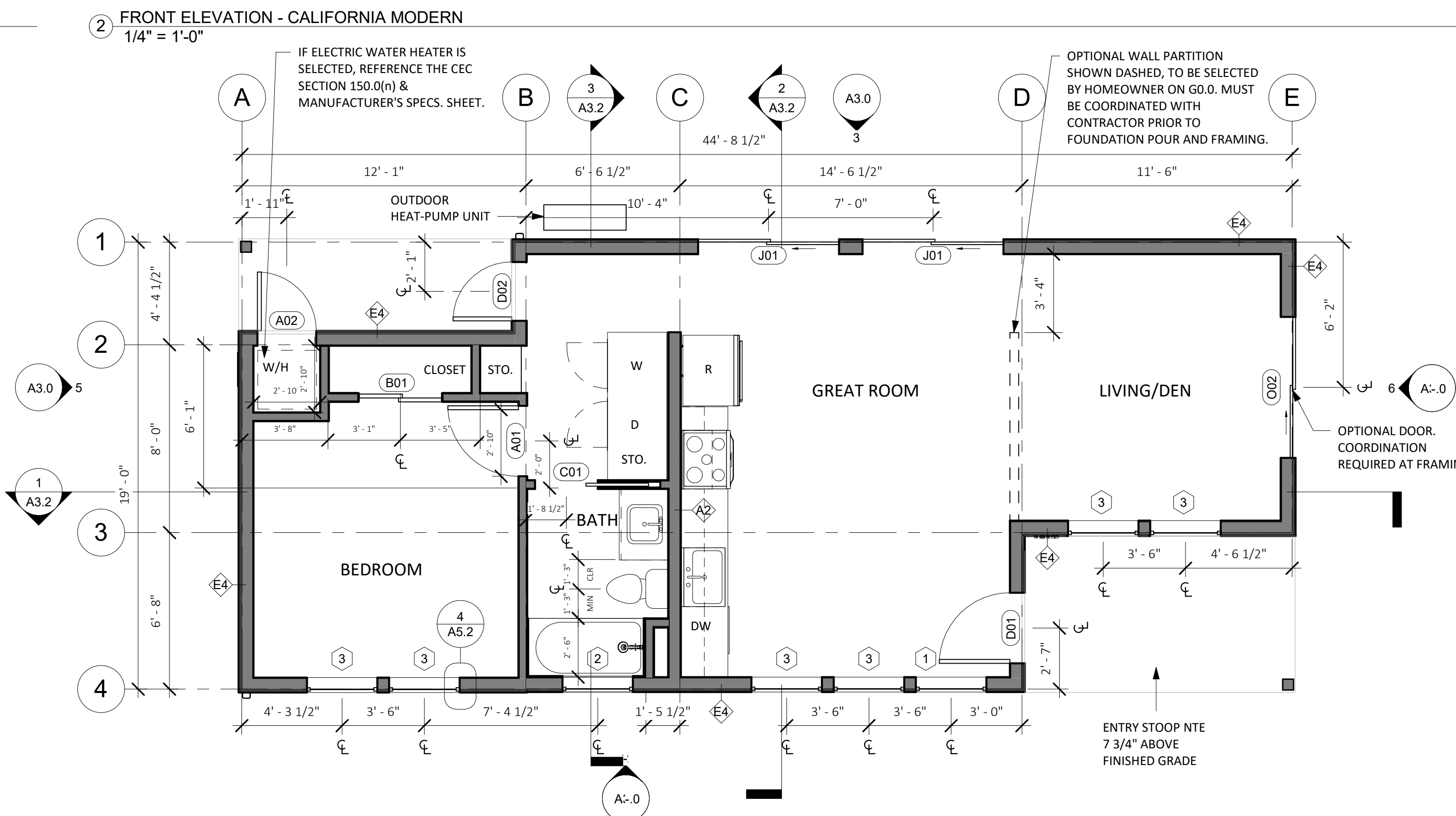
5 LEFT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM PLUS - CALIFORNIA MODERN
NO SCALE



1 FLOOR PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N.
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
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4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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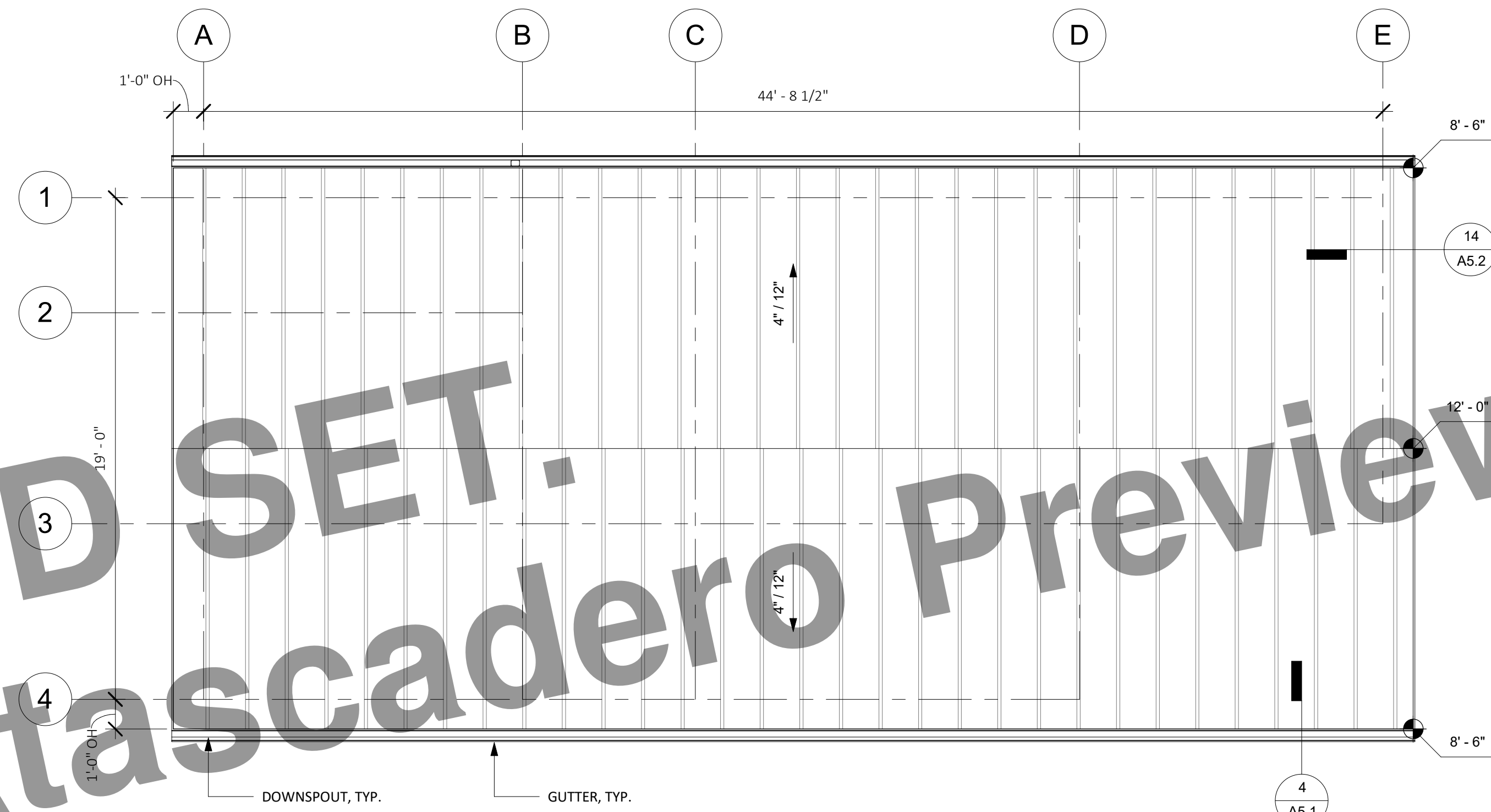
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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM + DEN
746 GSF

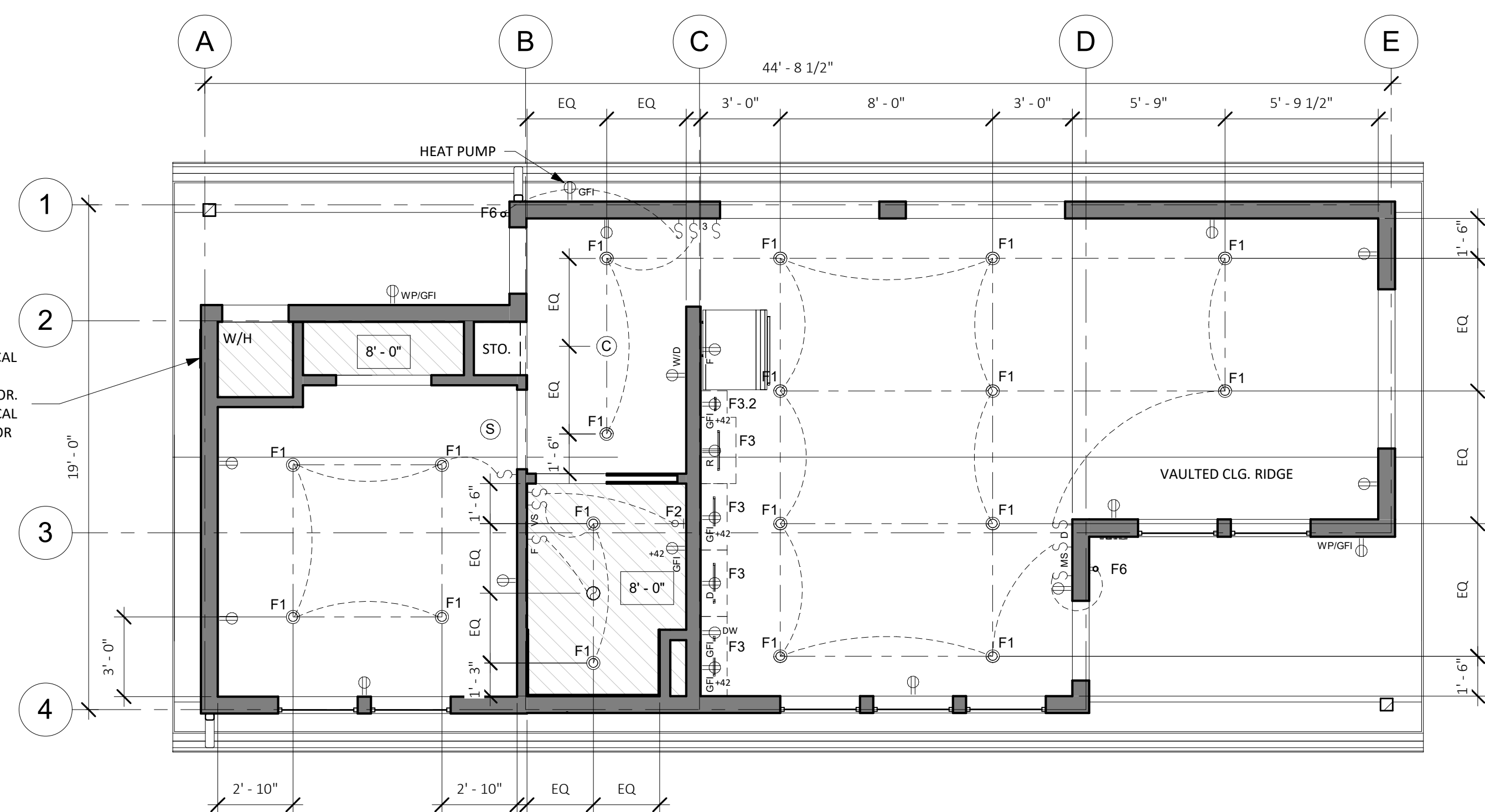
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MODERN -
FLOORPLANS &
ELEVATIONS
A3.0
SCALE: AS NOTED

BID SET.
 City of Atascadero Preview



2 ROOF PLAN - CALIFORNIA MODERN
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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**CENTRAL COAST
PRE-DESIGNED ADU**
 ONE BEDROOM + DEN
 746 GSF

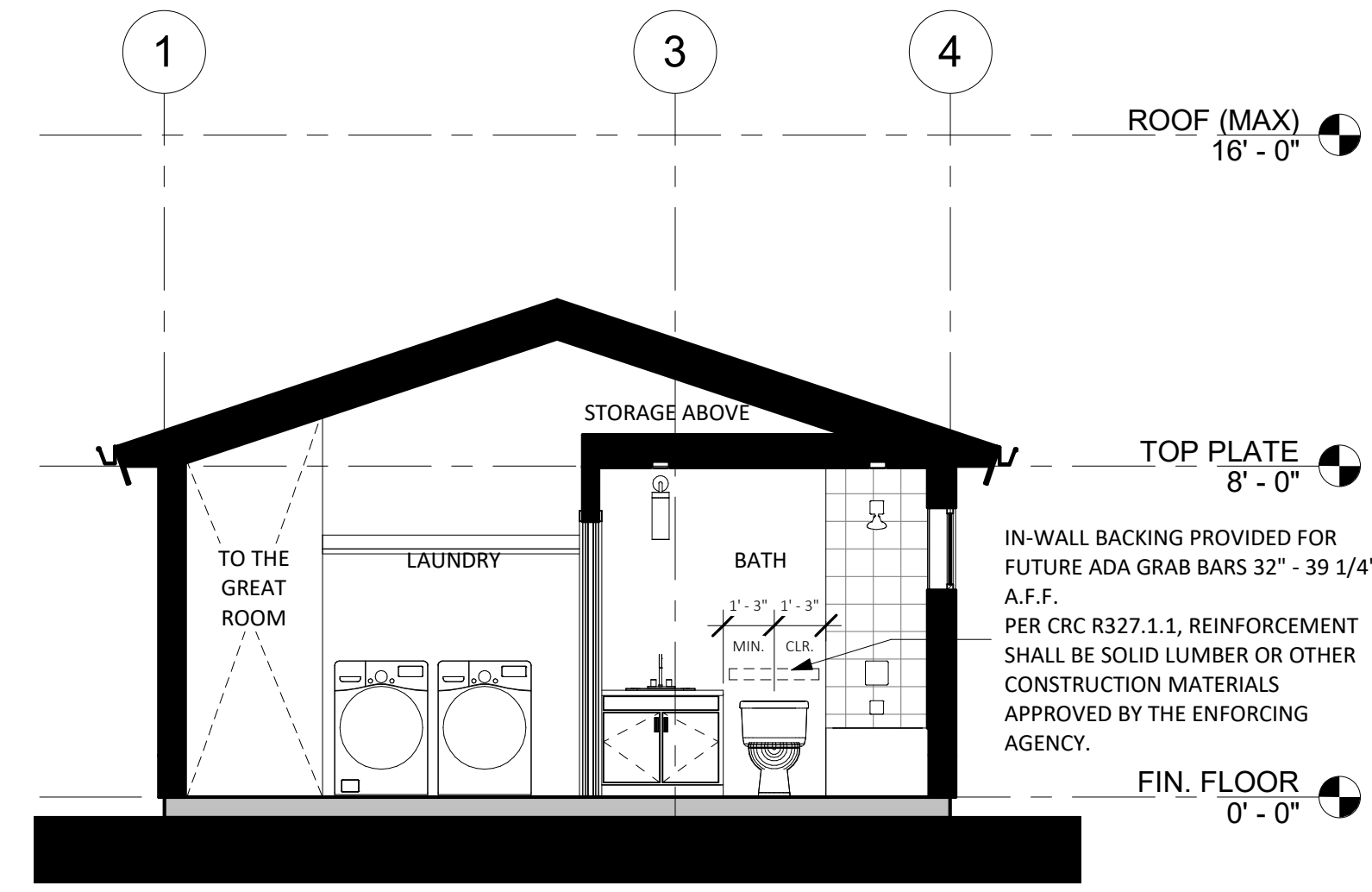
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MODERN - ROOF
PLAN & RCP

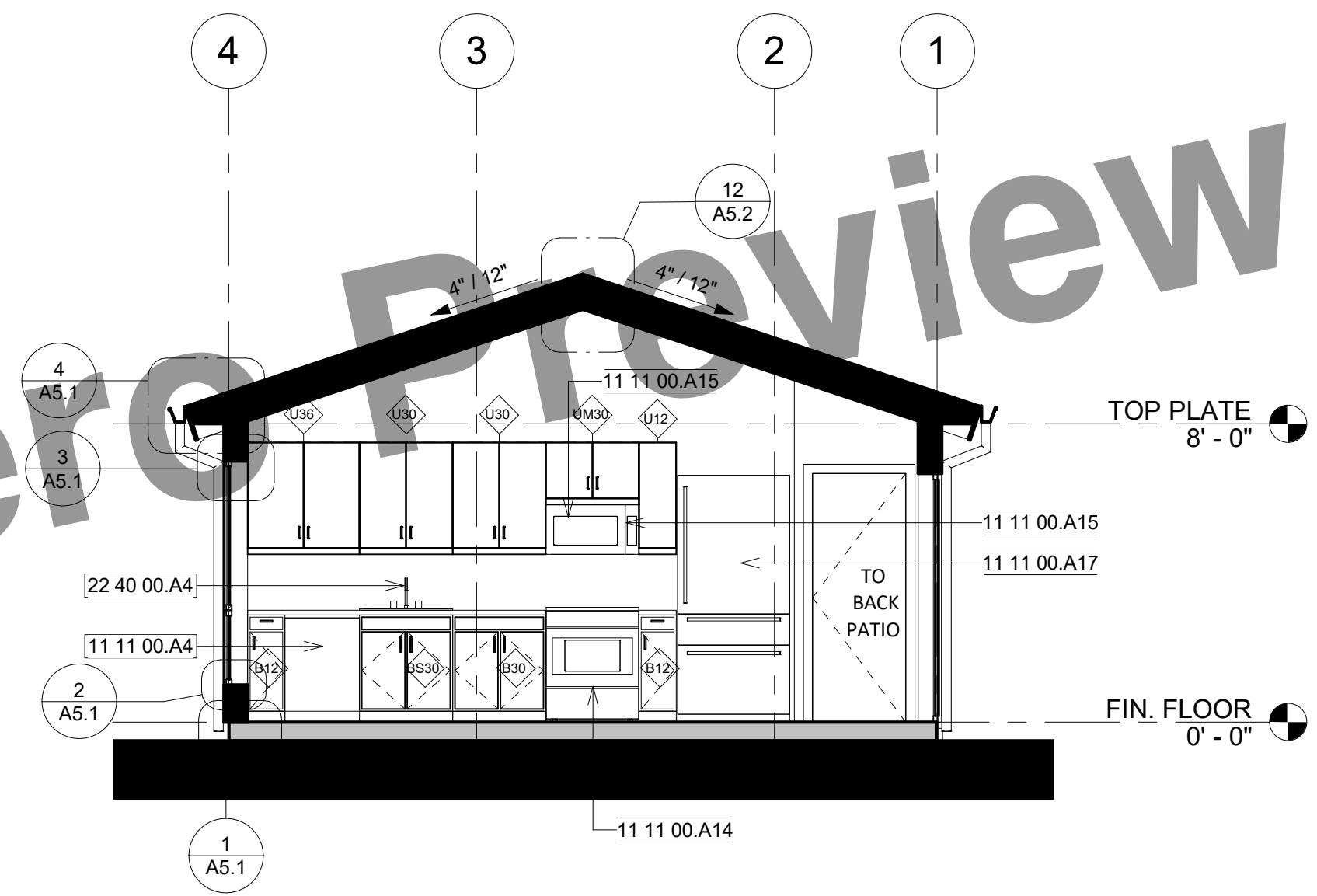
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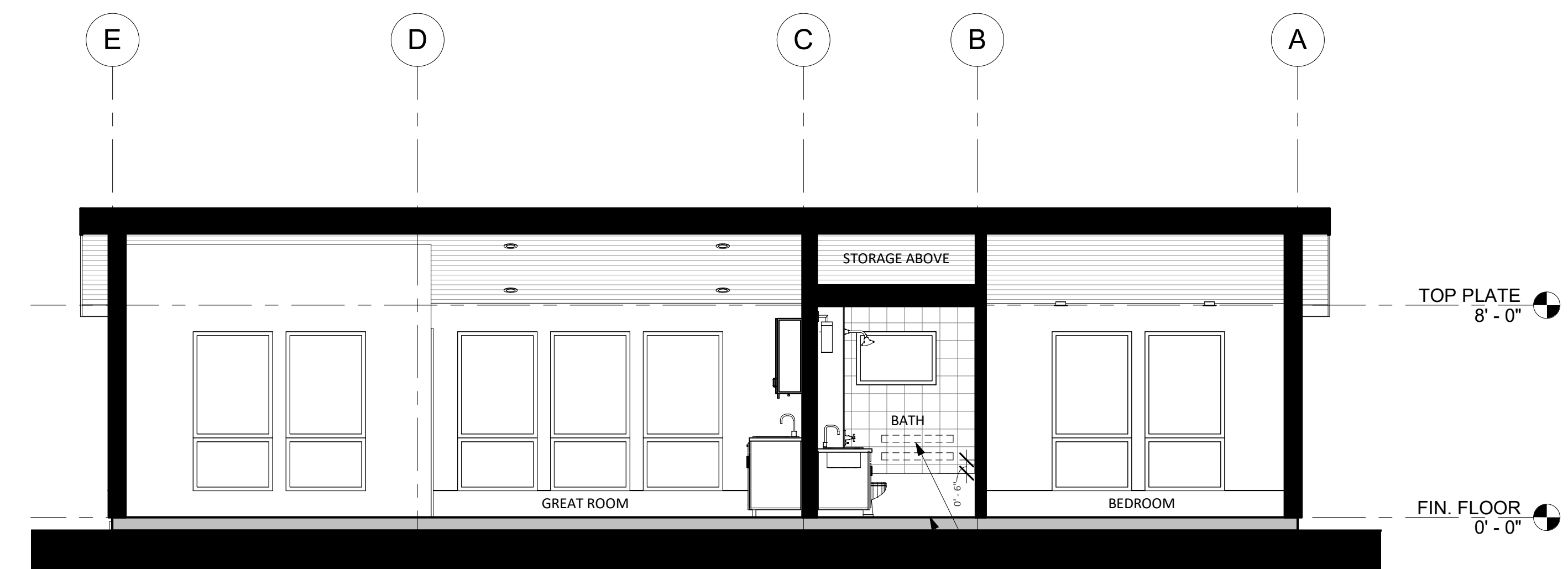
BID SET.
City of Atascadero



3 SECTION C - CALIFORNIA MODERN
1/4" = 1'-0"



2 SECTION B - CALIFORNIA MODERN
1/4" = 1'-0"



1 SECTION A - CALIFORNIA MODERN
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



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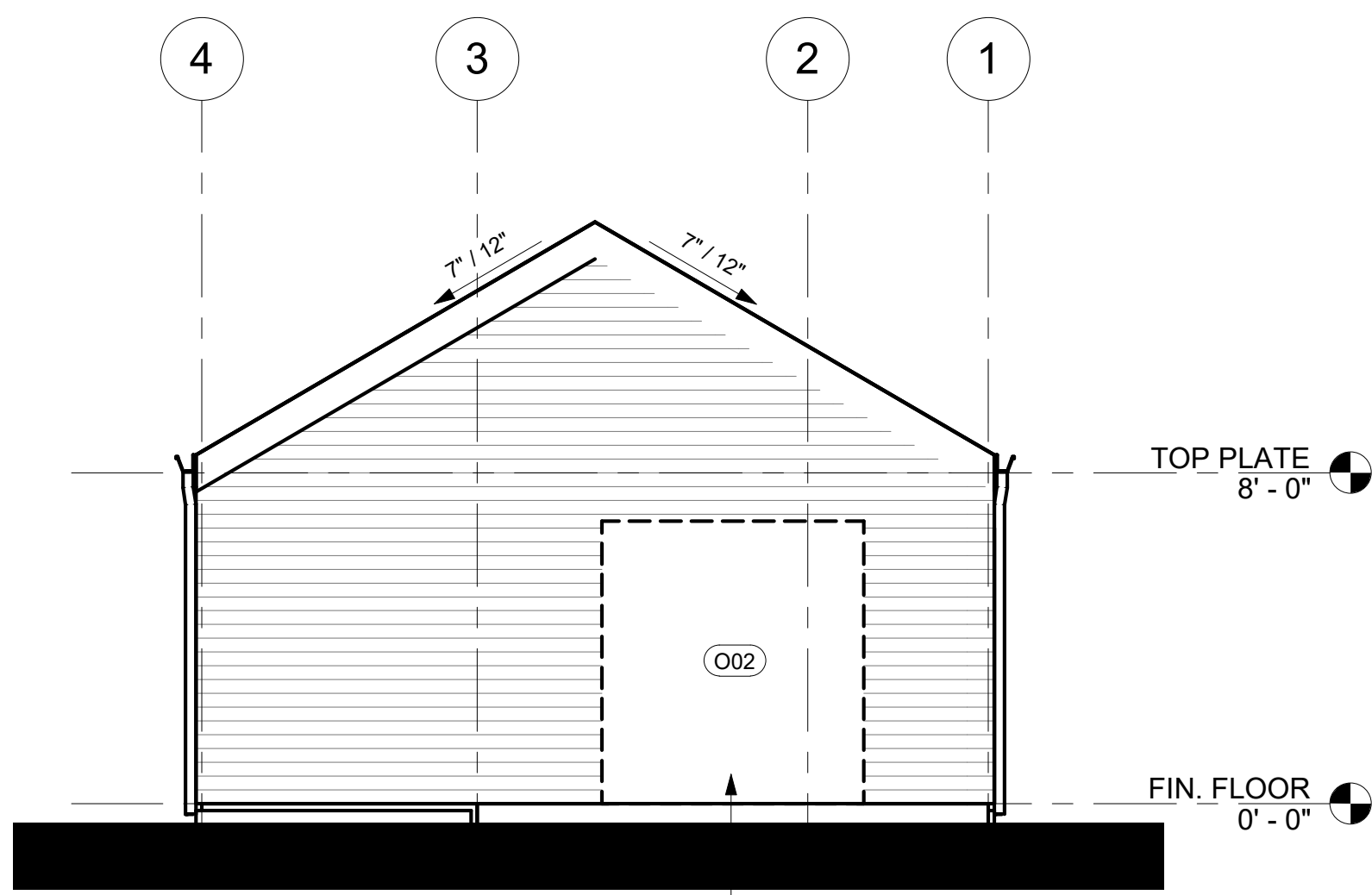
CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

MODERN - SECTIONS

A3.2

SCALE: AS NOTED

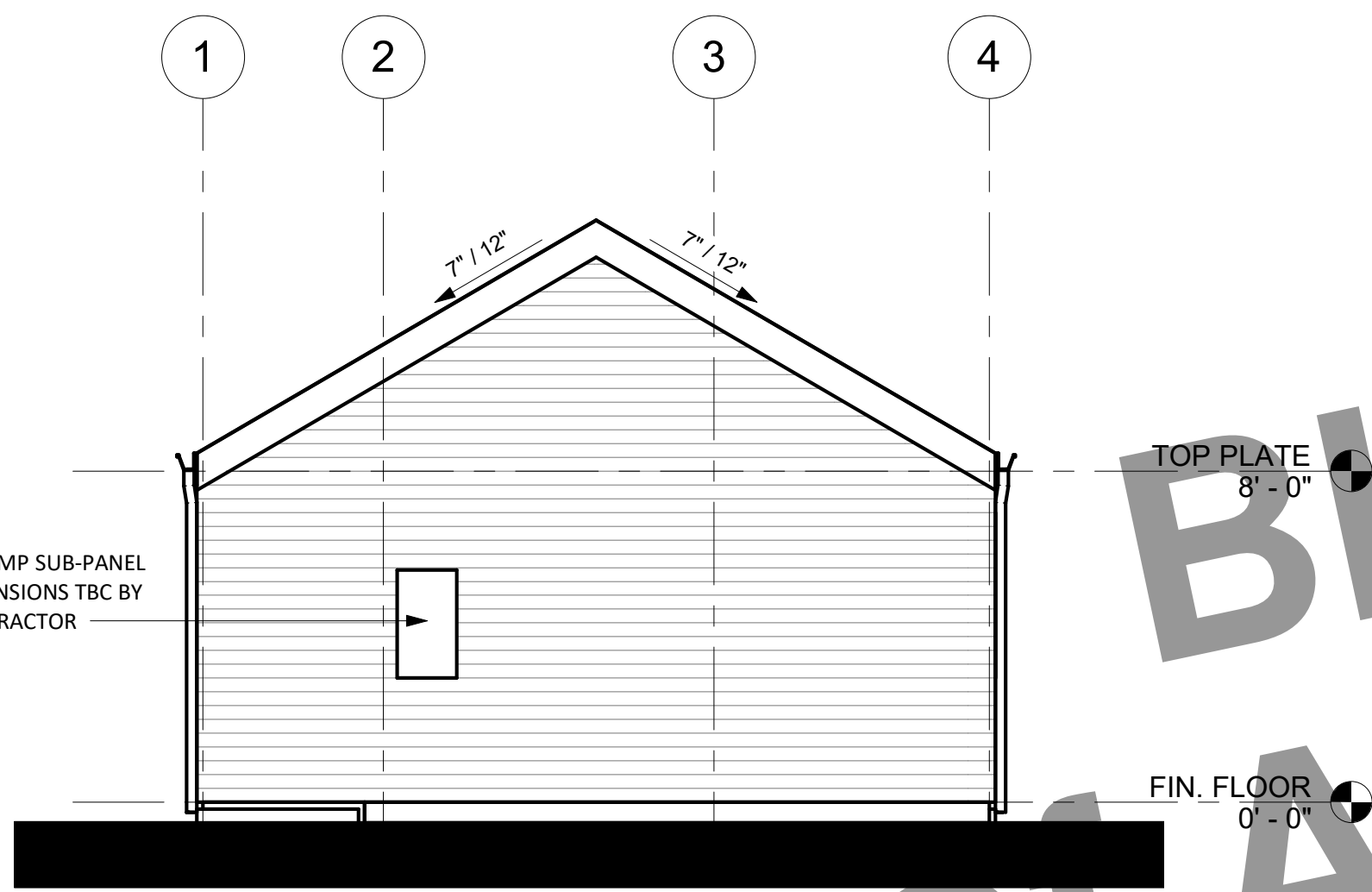


6 RIGHT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"

OPTIONAL EXTERIOR DOOR. COORDINATION
REQUIRED AT FRAMING. REFERENCE PROJECT
CHECKLIST G0.0 AND SCHEDULE ON A6.3

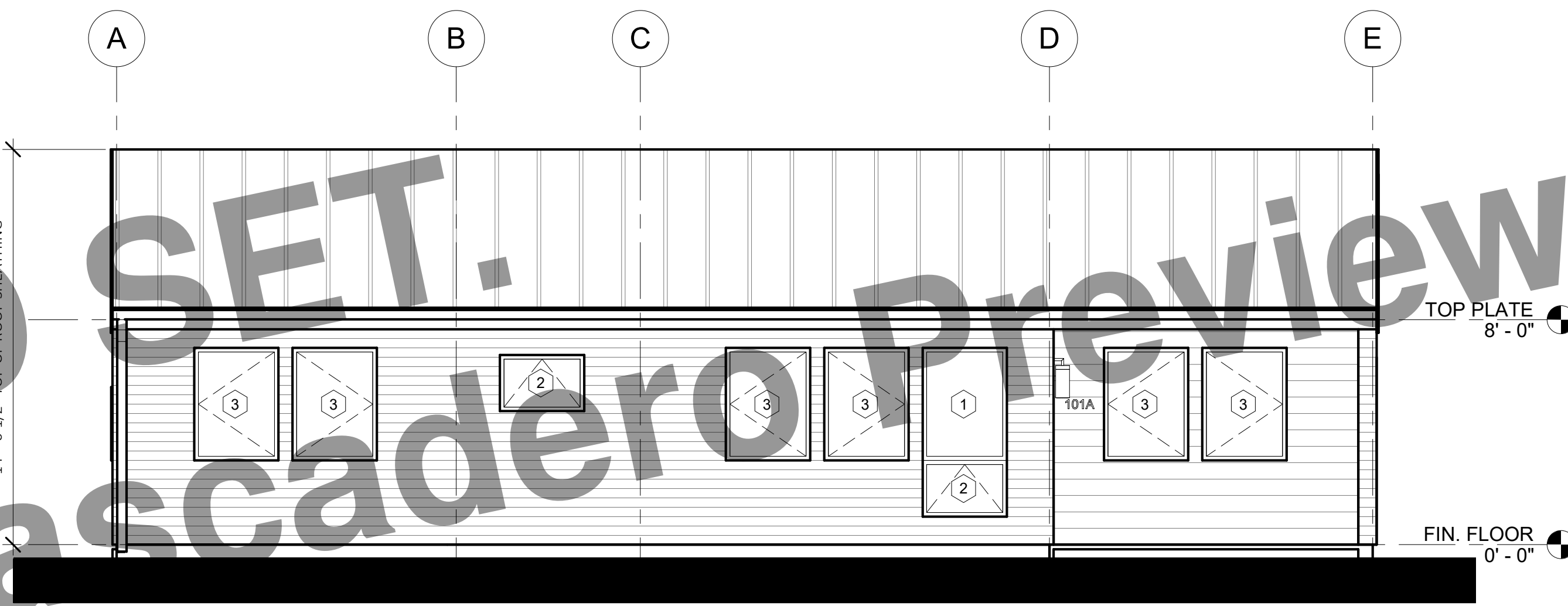


3 REAR ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



5 LEFT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"

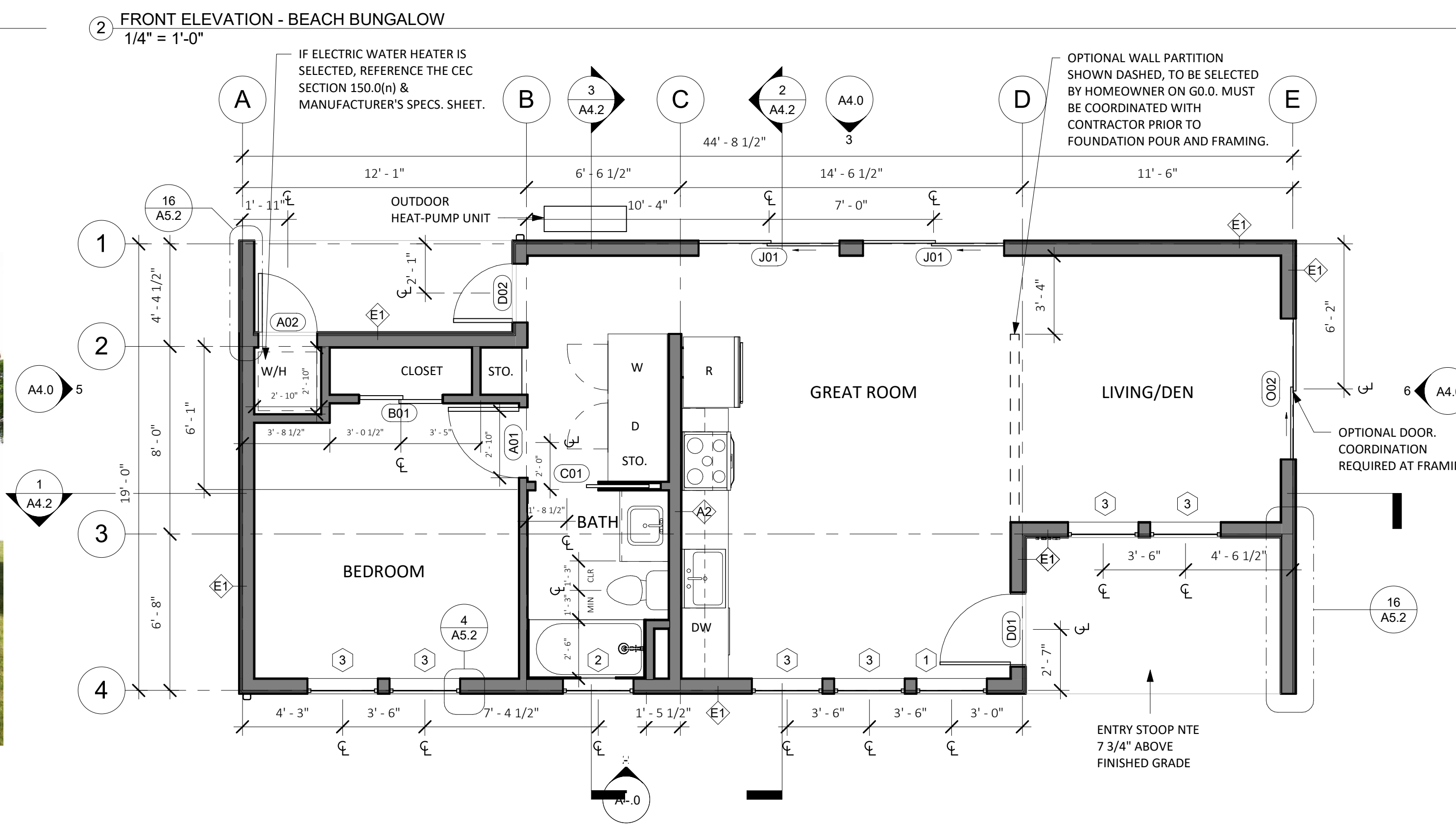
150 AMP SUB-PANEL
DIMENSIONS TBC BY
CONTRACTOR



2 FRONT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



4 FRONT VIEW - ONE BEDROOM PLUS - BEACH BUNGALOW
NO SCALE



1 FLOOR PLAN - ONE BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM + DEN
746 GSF

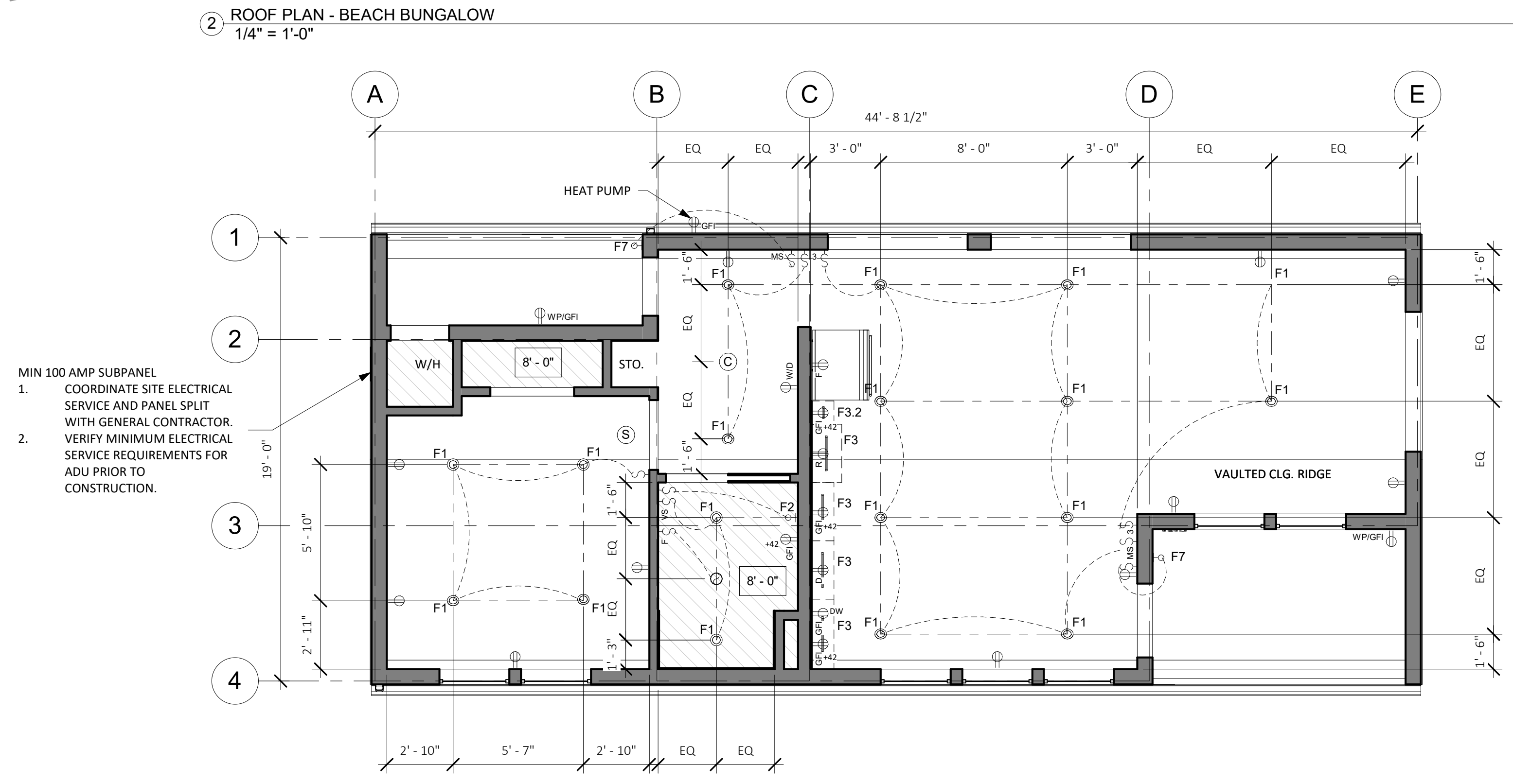
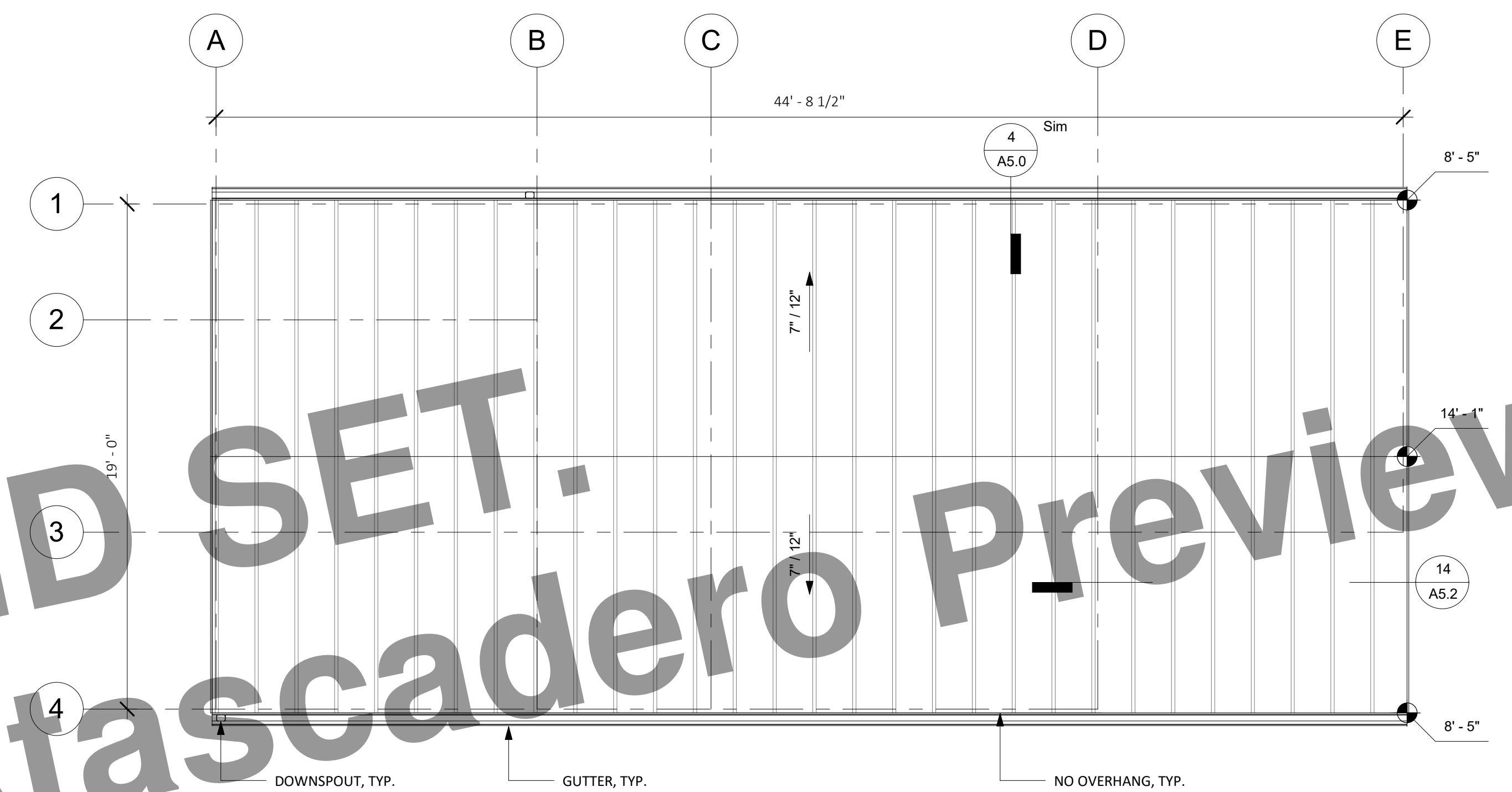
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BUNGALOW -
FLOORPLANS &
ELEVATIONS

A4.0

SCALE: AS NOTED

BID SET.
 City of Atascadero Preview



MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

ROOF PLAN NOTES

- ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
- ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
- WOOD SHINGLES SHALL NOT BE USED.
- ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
- GANG VENTS WHENEVER POSSIBLE.
- SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
- ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

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- PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
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- PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



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**CENTRAL COAST
PRE-DESIGNED ADU**
 ONE BEDROOM + DEN
 746 GSF

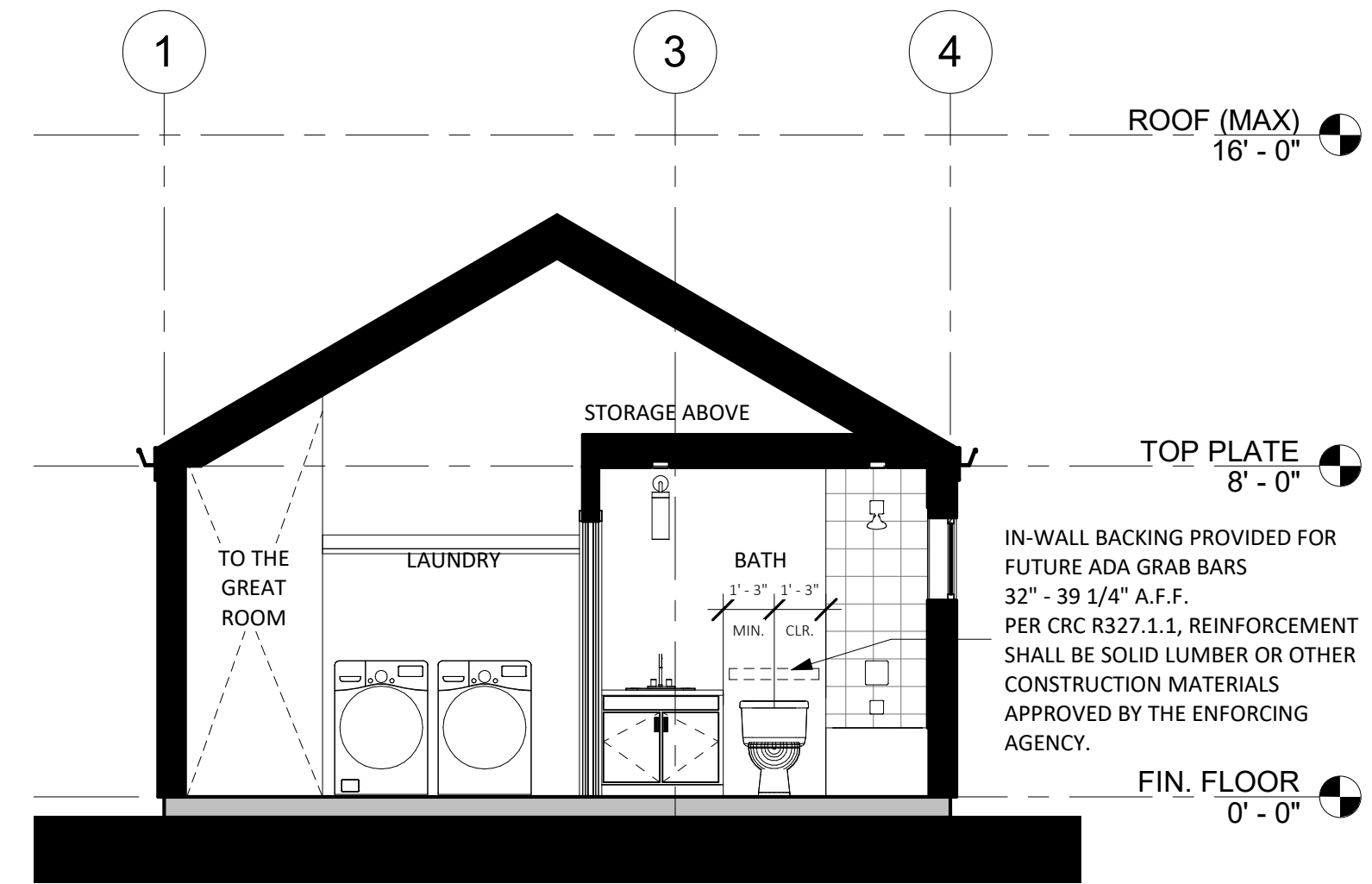
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BUNGALOW - ROOF PLAN & RCP

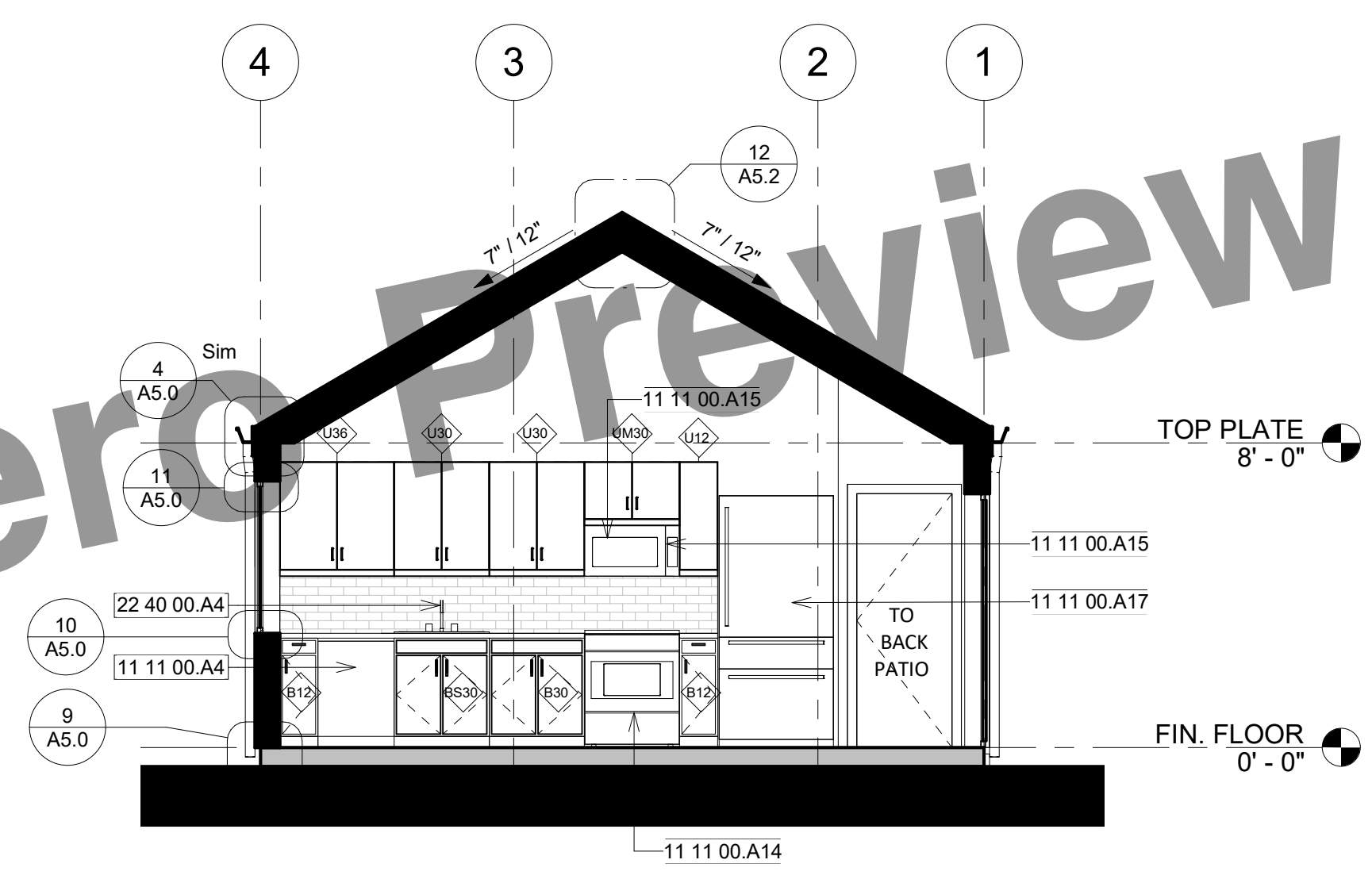
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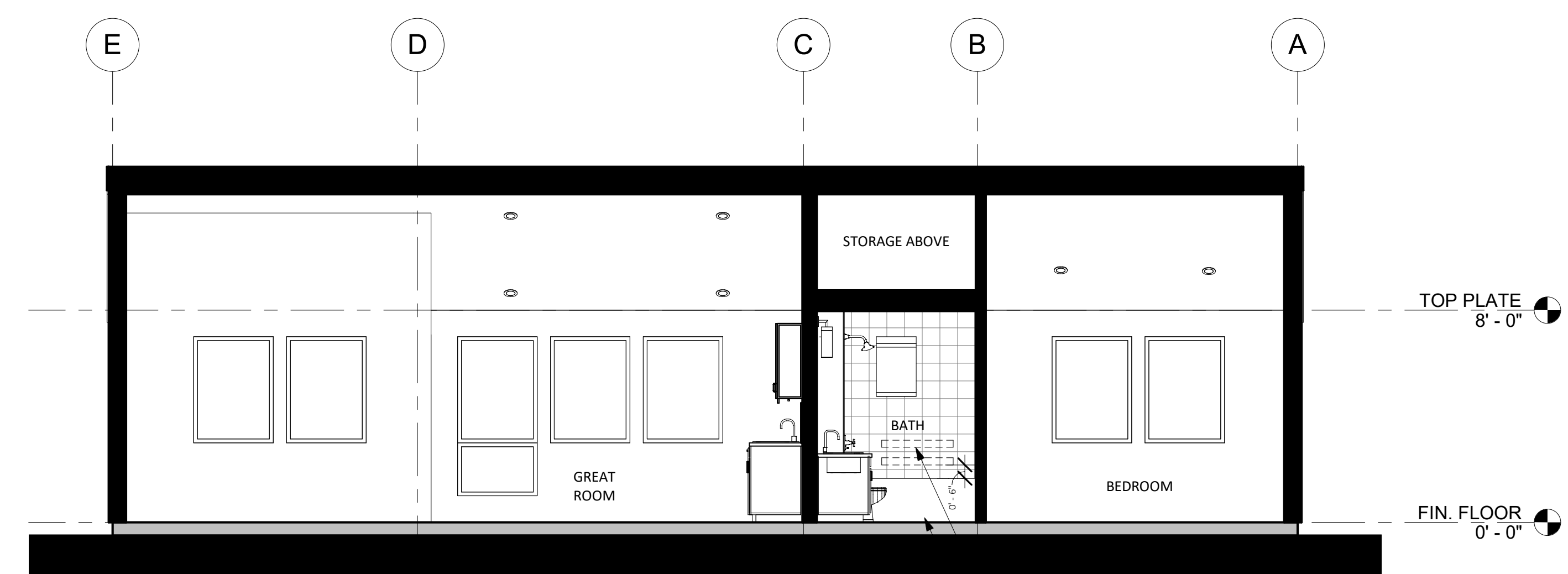
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City of Atascadero Preview



3 SECTION C - COASTAL BUNGALOW
1/4" = 1'-0"



2 SECTION B - BEACH BUNGALOW
1/4" = 1'-0"



1 SECTION A - BEACH BUNGALOW
1/4" = 1'-0"

IN-WALL BACKING PROVIDED FOR FUTURE ADA GRAB BARS 32" - 39 1/4" A.F.F. PER CRC R327.1.1, REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
OPTIONAL CURBLESS SHOWER REQ. FOUNDATION COORDINATION. SEE DETAIL 4 / A5.3

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES

11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
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11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

PLUMBING

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
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CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

BUNGALOW - SECTIONS

A4.2

SCALE: AS NOTED



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**CENTRAL COAST
PRE-DESIGNED ADU**
ONE BEDROOM + DEN
746 GSF

DETAIL GENERAL NOTES

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
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3. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY -- AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 GAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING SHALL BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

THE EXPOSED ROOF DECK UNDER UNEXPOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDES OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

PERFORMANCE NOTES

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

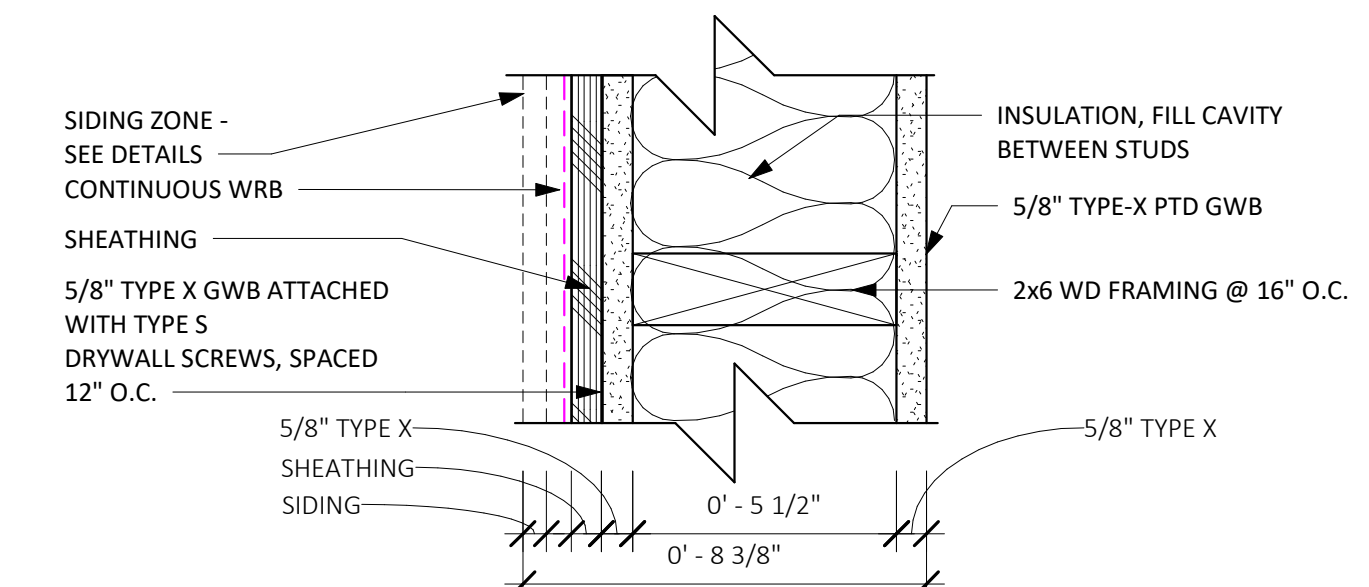
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 -- PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:

1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12*

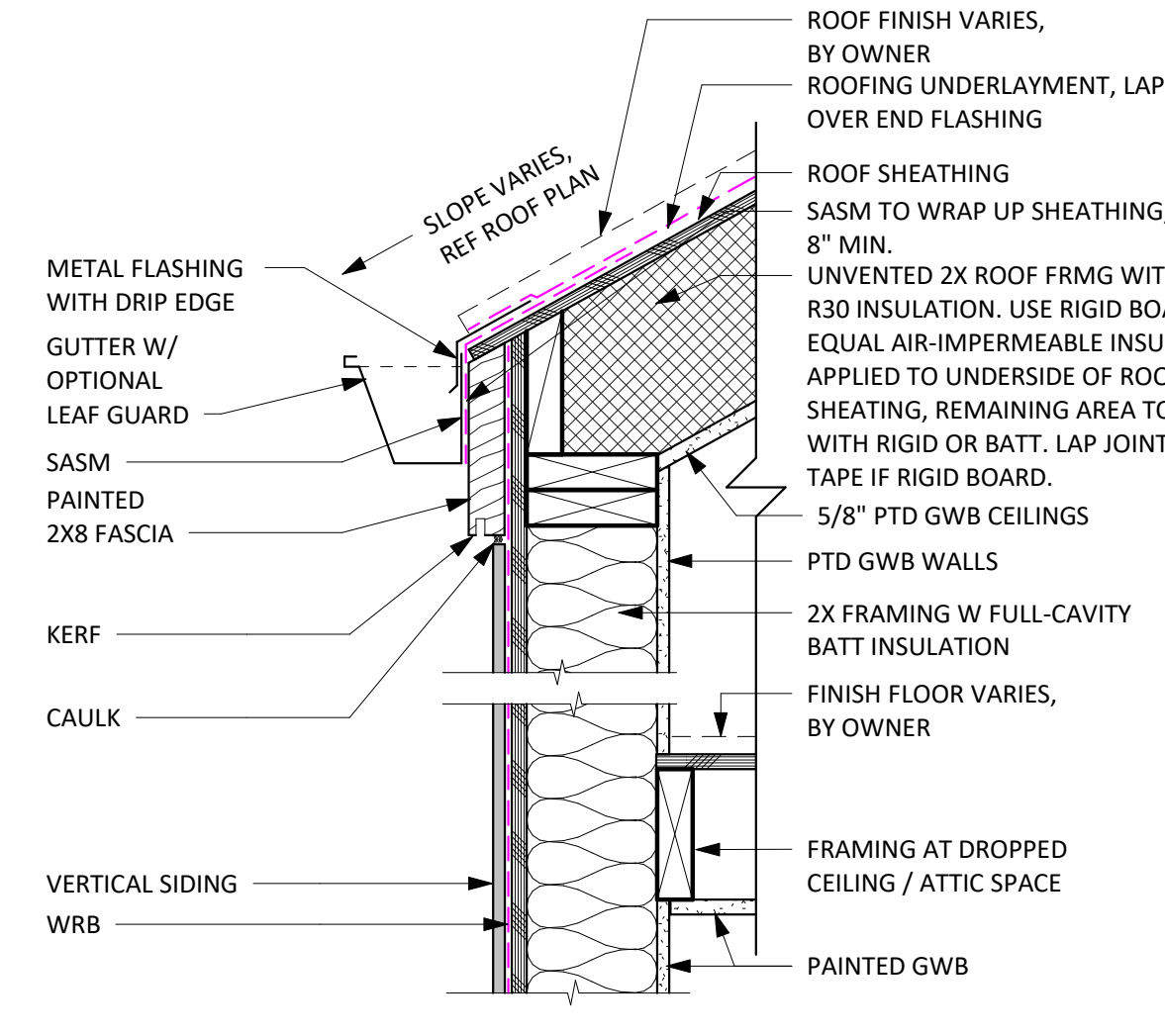


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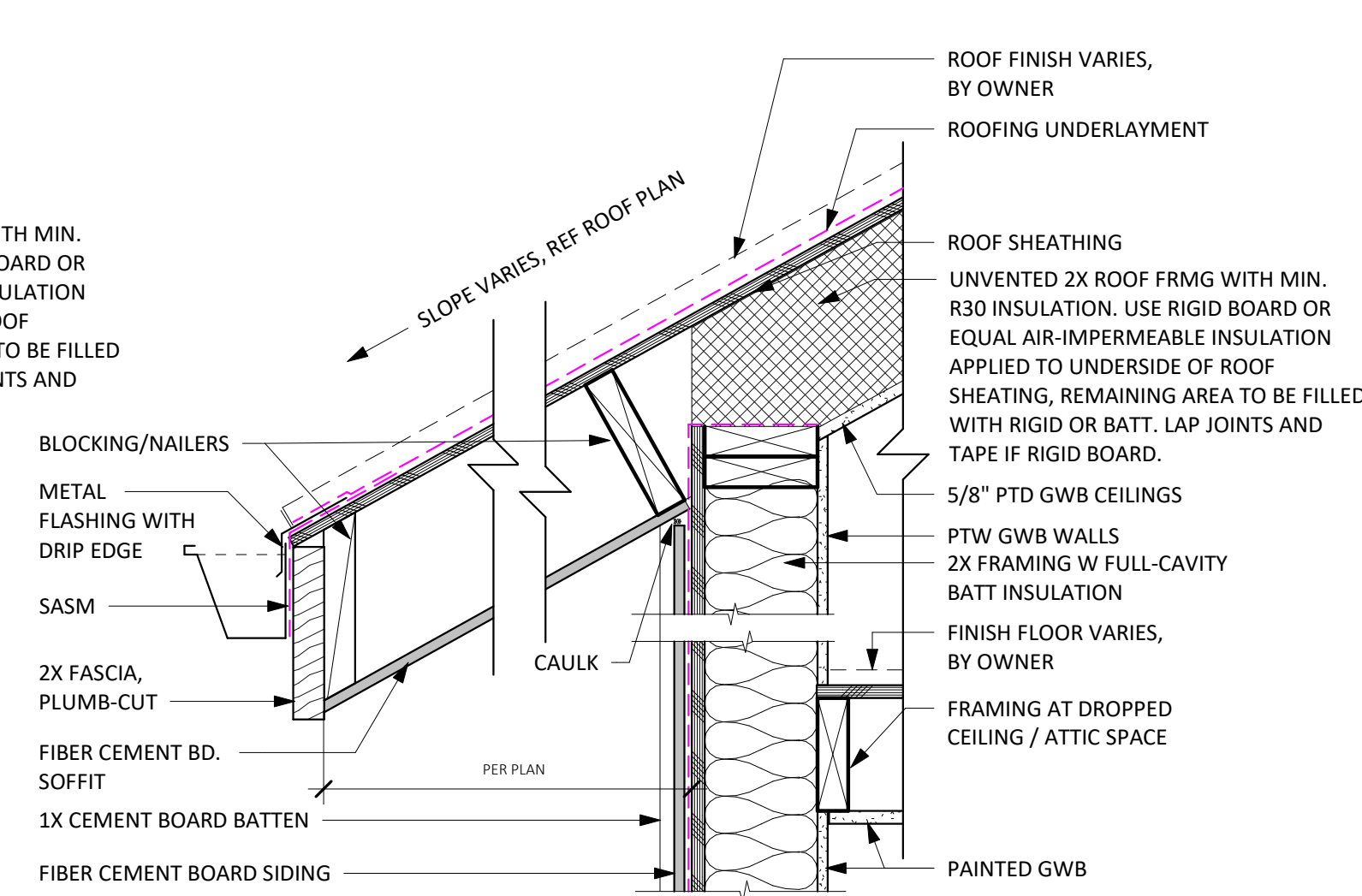
**EXTERIOR WALL
ASSEMBLY DETAILS**

A5.0

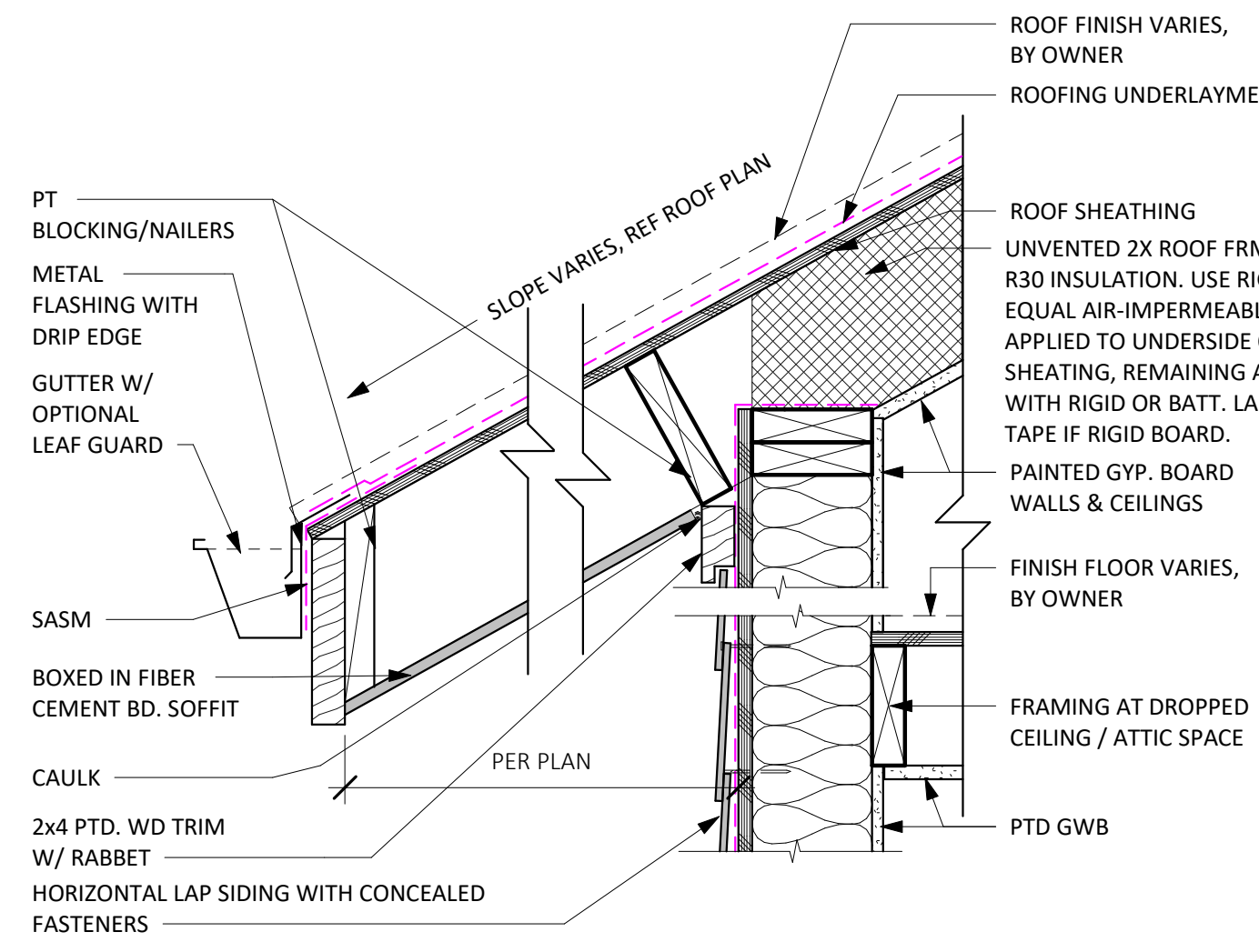
SCALE: AS NOTED



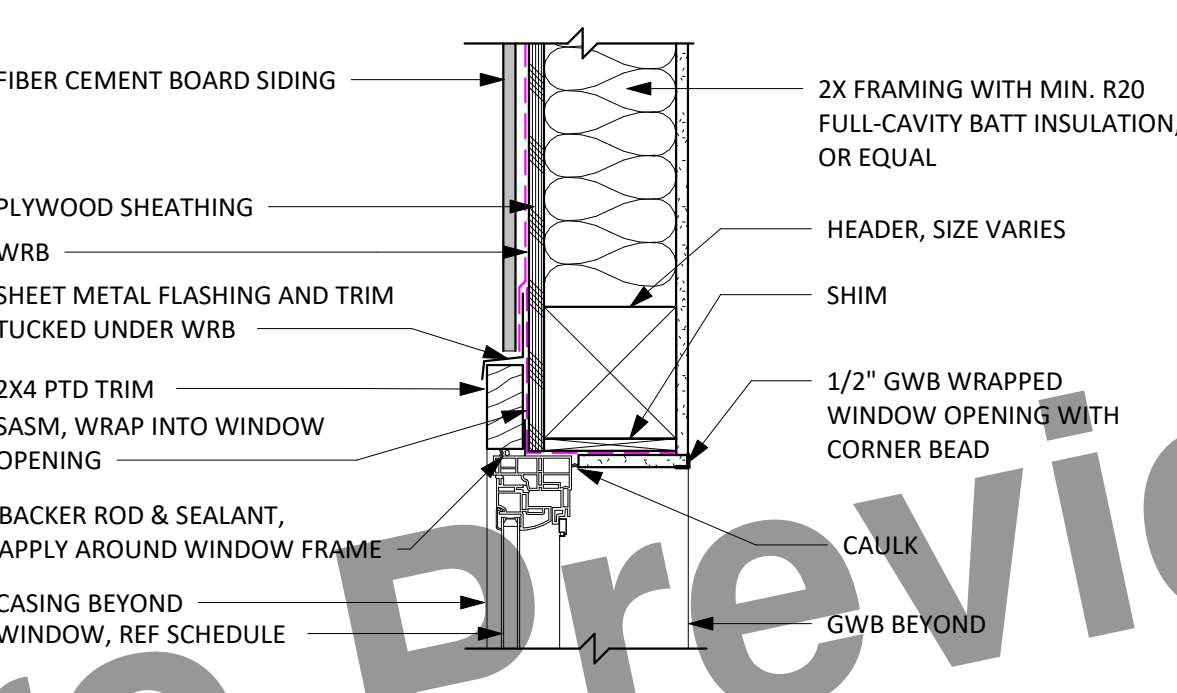
4 EAVE WITH ZERO OVERHANG
1 1/2" = 1'-0"



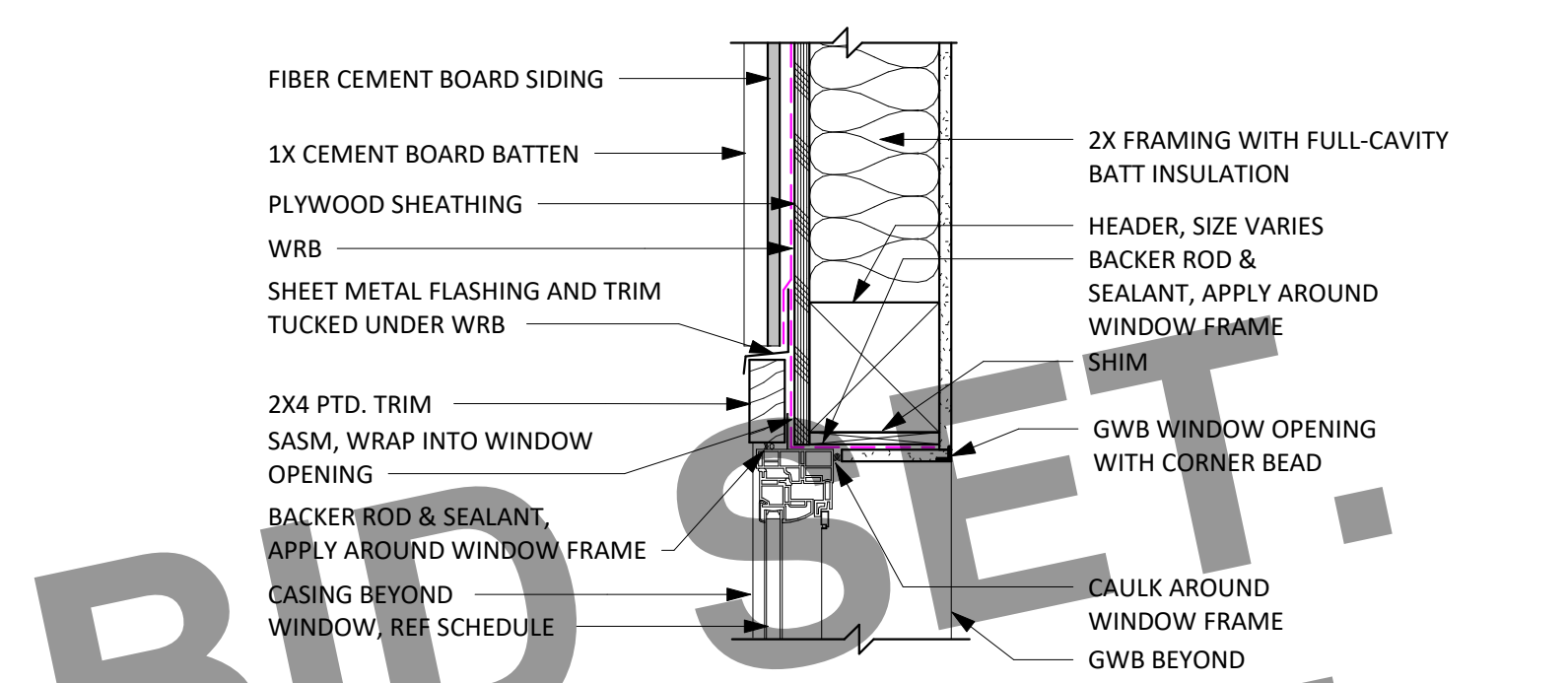
8 RAKE / EAVE AT BOARD & BATTEN
1 1/2" = 1'-0"



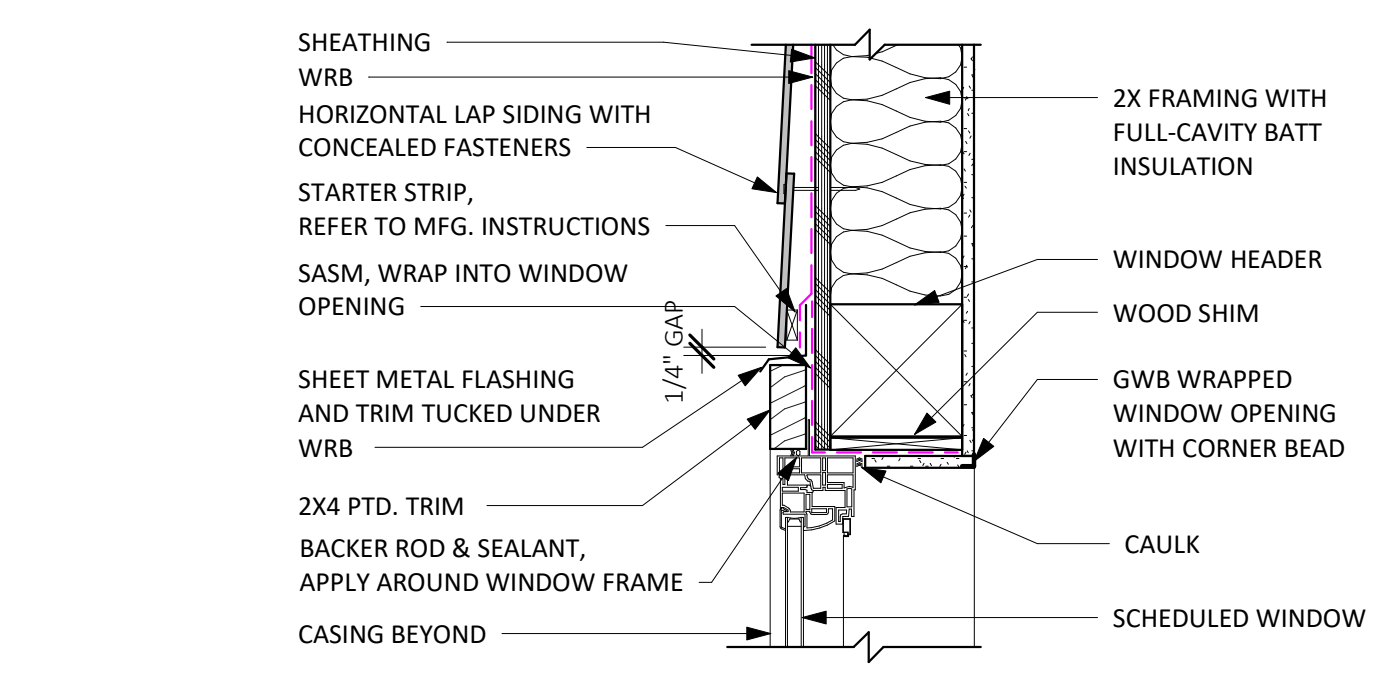
12 EAVE AT LAP SIDING
1 1/2" = 1'-0"



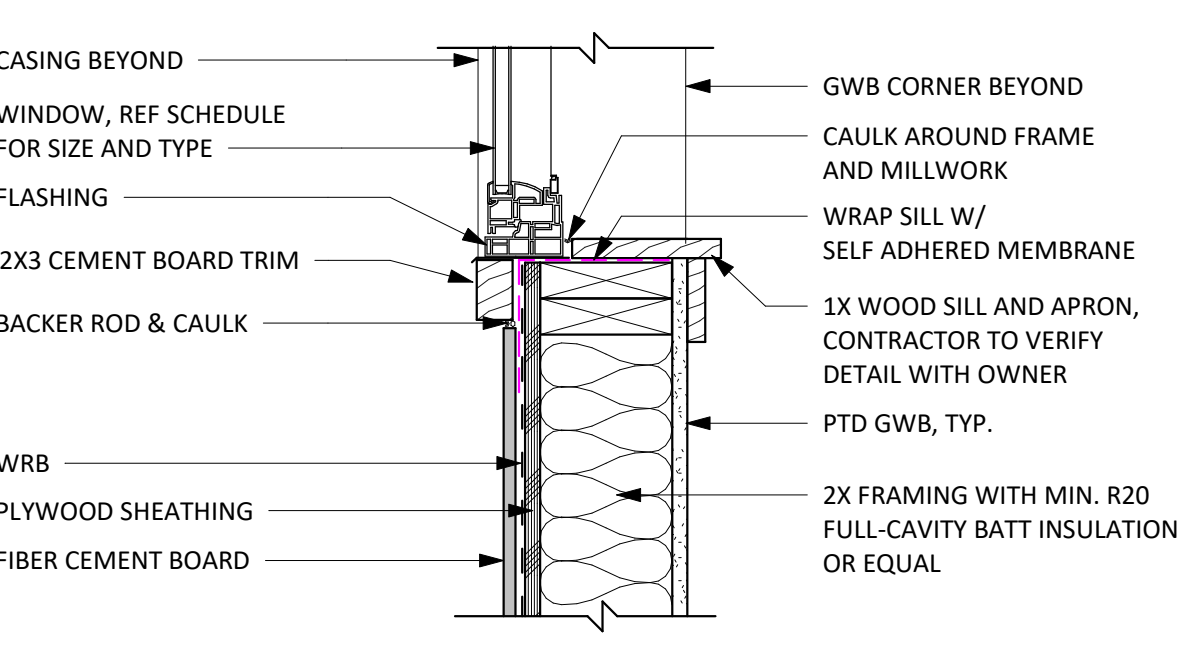
3 WINDOW HEAD AT VERTICAL SIDING
1 1/2" = 1'-0"



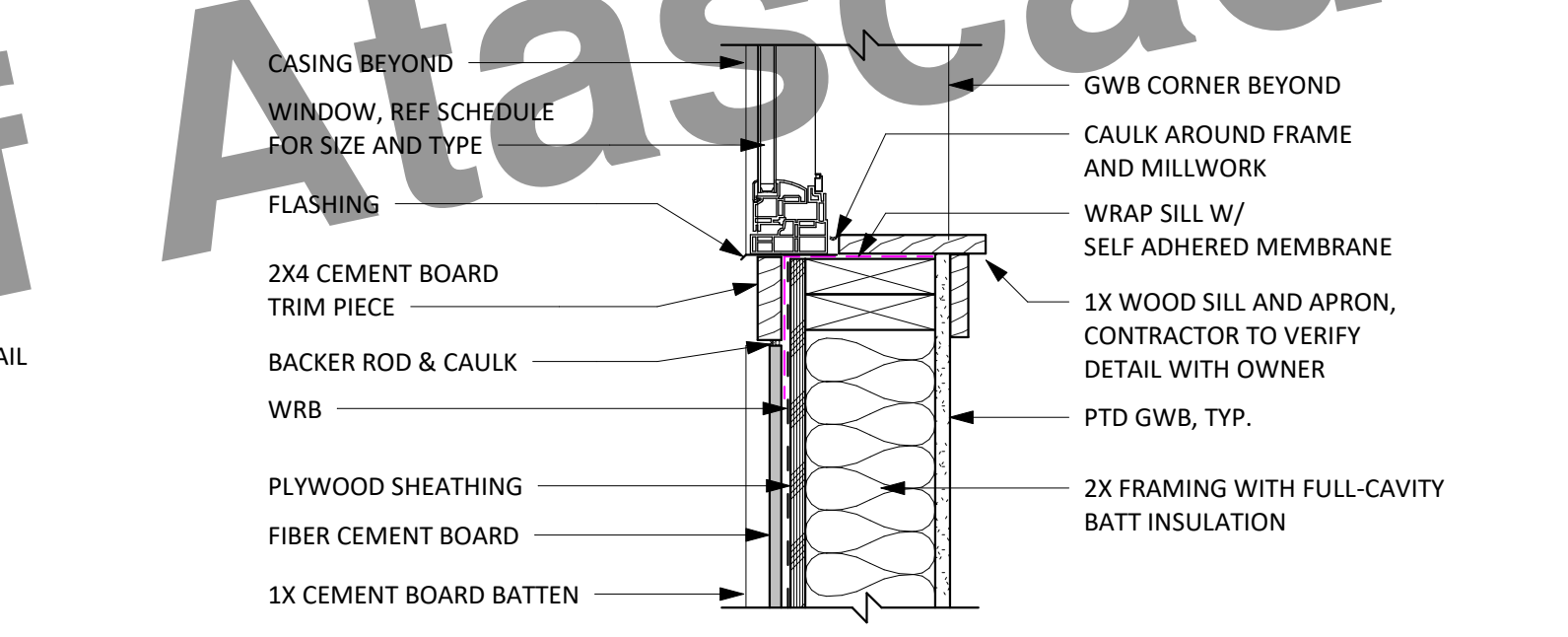
7 WINDOW HEAD AT BOARD & BATTEN
1 1/2" = 1'-0"



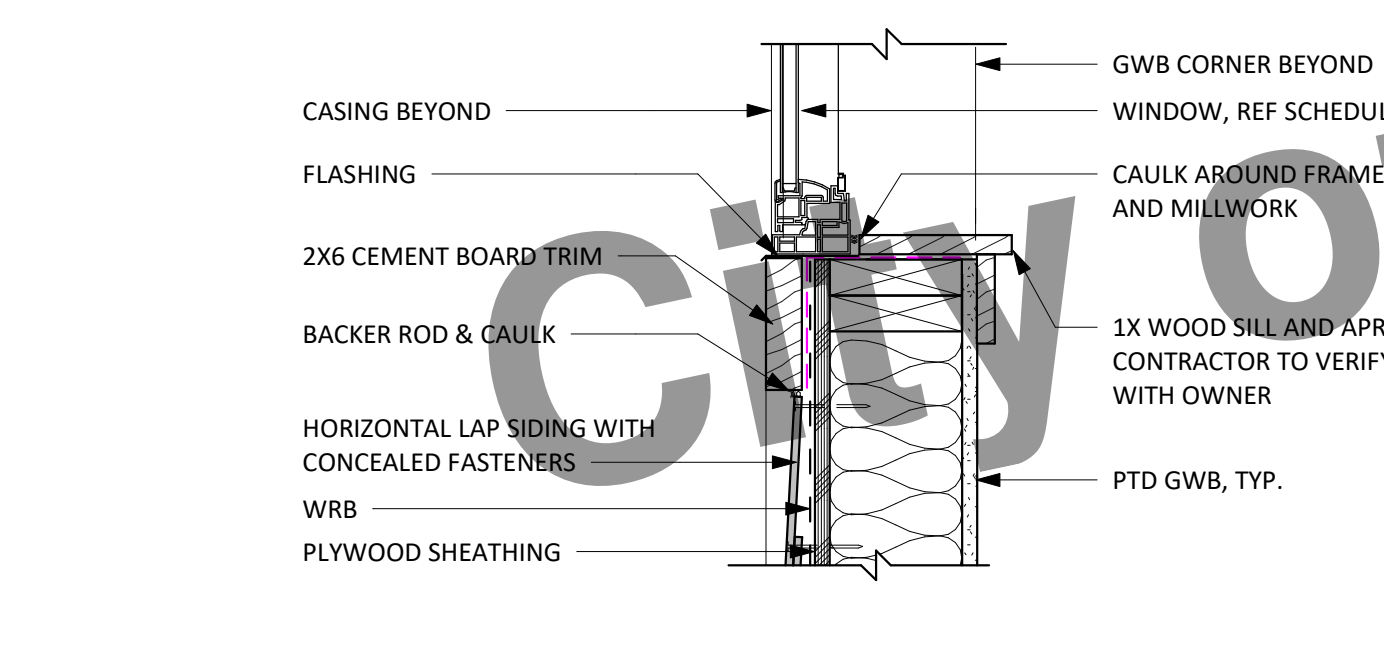
11 WINDOW HEAD AT LAP SIDING
1 1/2" = 1'-0"



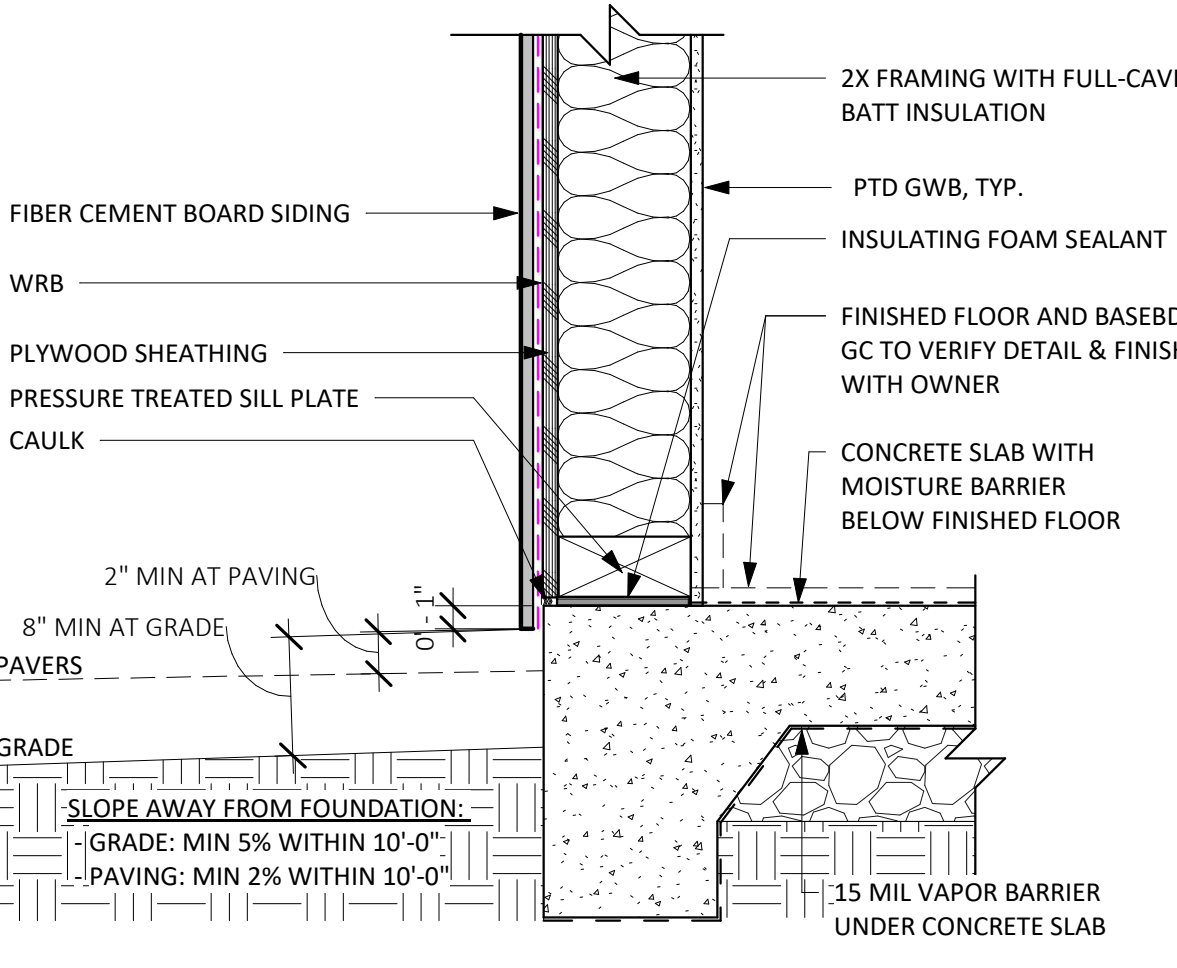
2 WINDOW SILL AT VERTICAL SIDING
1 1/2" = 1'-0"



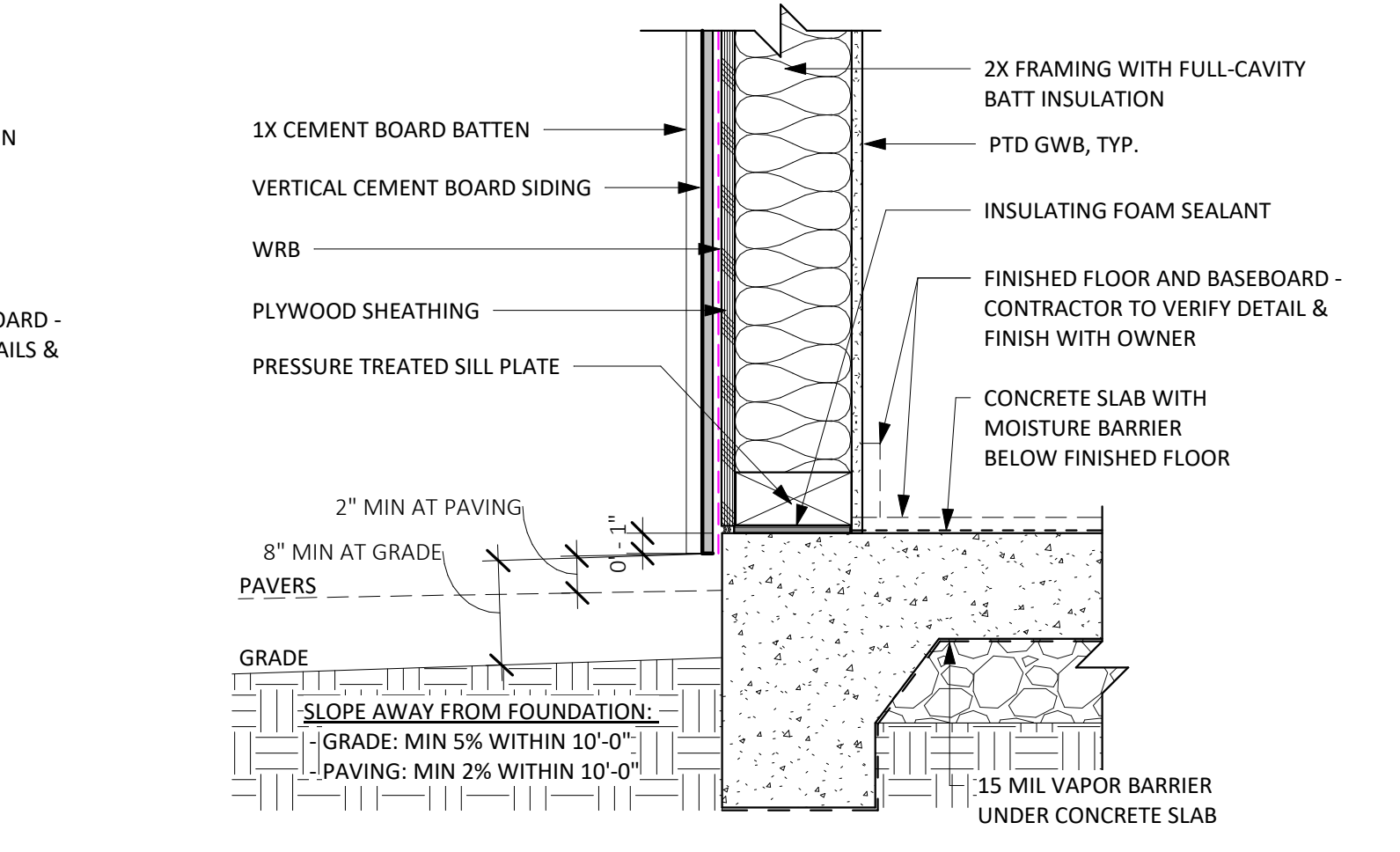
6 WINDOW SILL AT BOARD & BATTEN
1 1/2" = 1'-0"



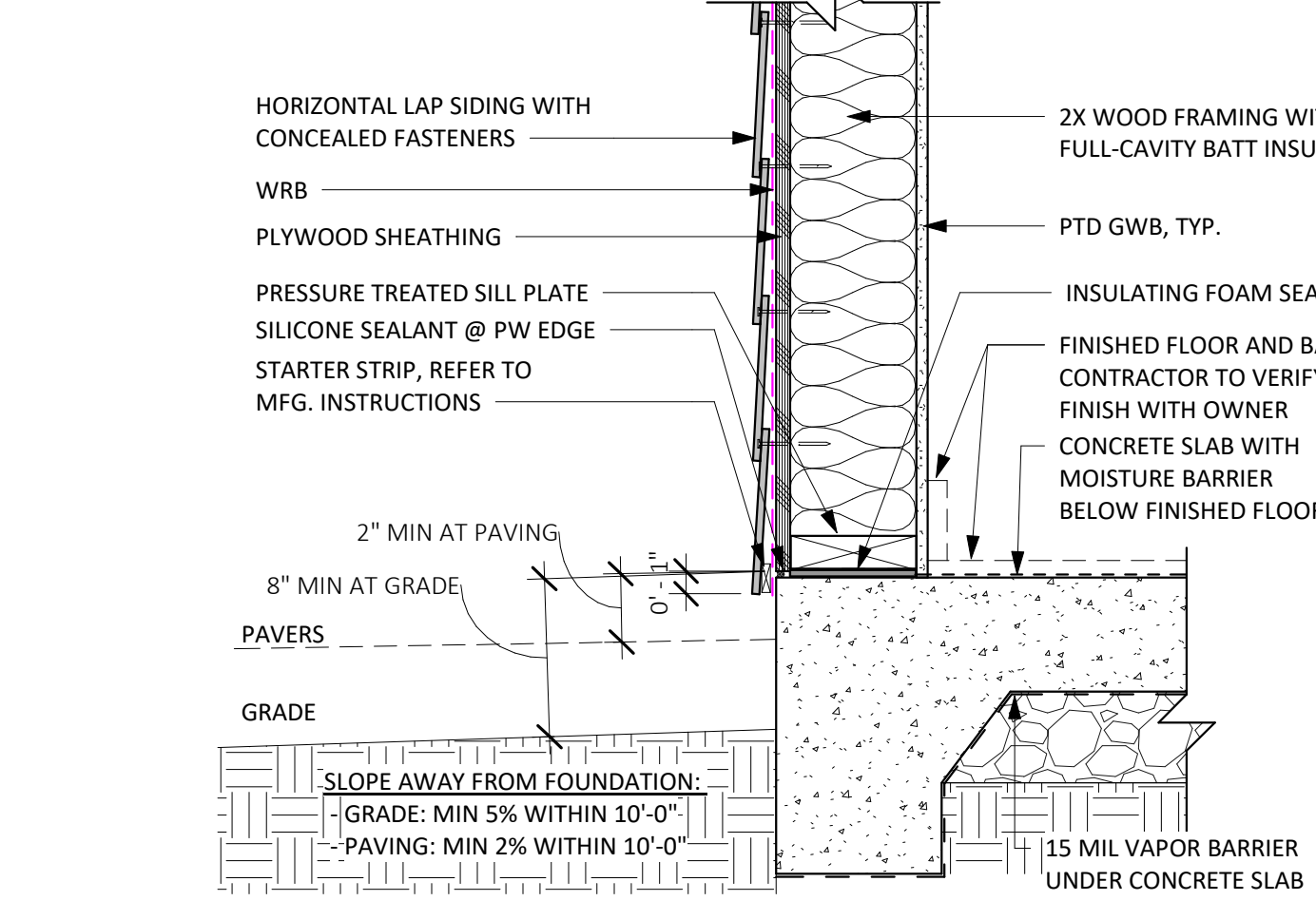
10 WINDOW SILL AT LAP SIDING
1 1/2" = 1'-0"



1 SLAB EDGE AT VERTICAL SIDING
1 1/2" = 1'-0"



5 SLAB EDGE AT BOARD & BATTEN
1 1/2" = 1'-0"



9 SLAB EDGE AT LAP SIDING
1 1/2" = 1'-0"

E3 FIBER CEMENT HORIZONTAL LAP SIDING

E2 BOARD & BATTEN SIDING

E1 FIBER CEMENT VERTICAL SIDING



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BROCKETT /ARCHITECT

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BROCKETTARCHITECTURE.COM

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CENTRAL COAST PRE-DESIGNED ADU

ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

SCALE: AS NOTED

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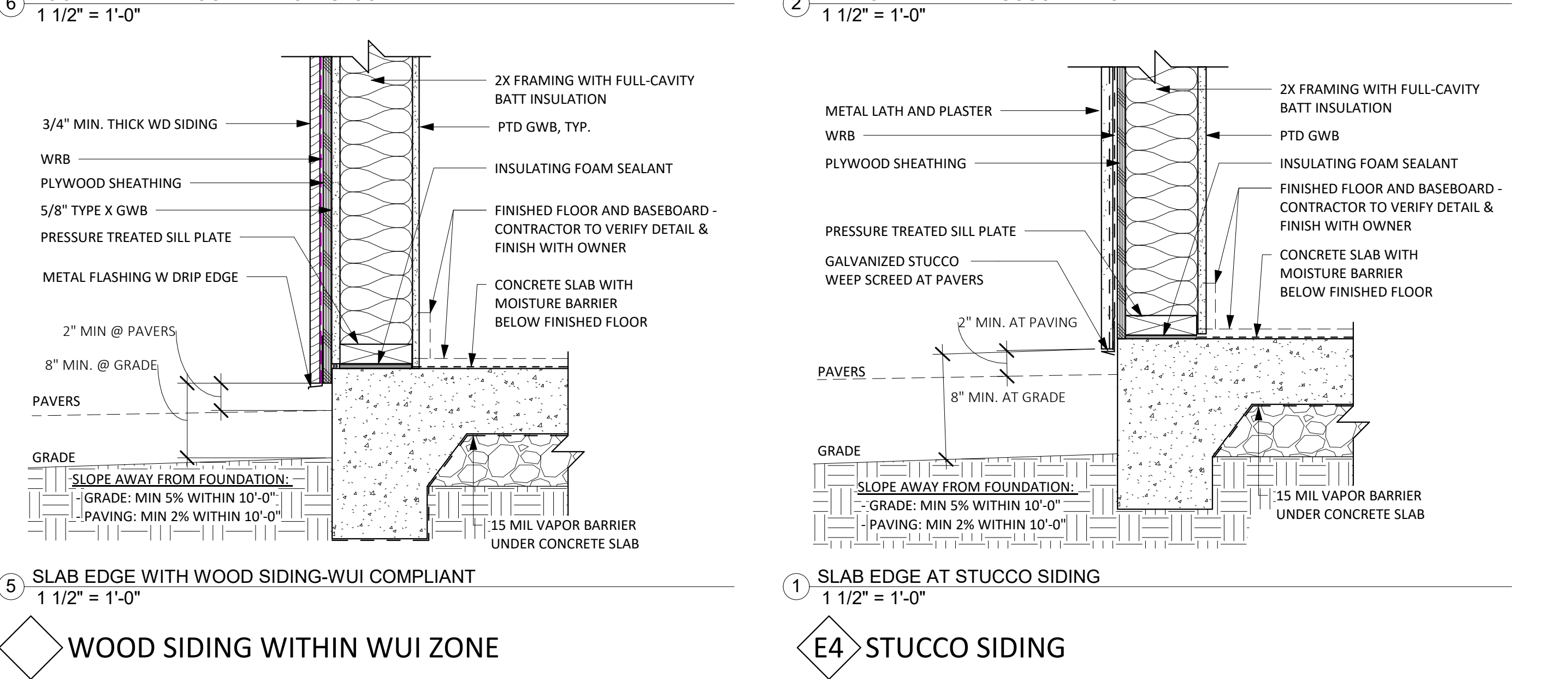
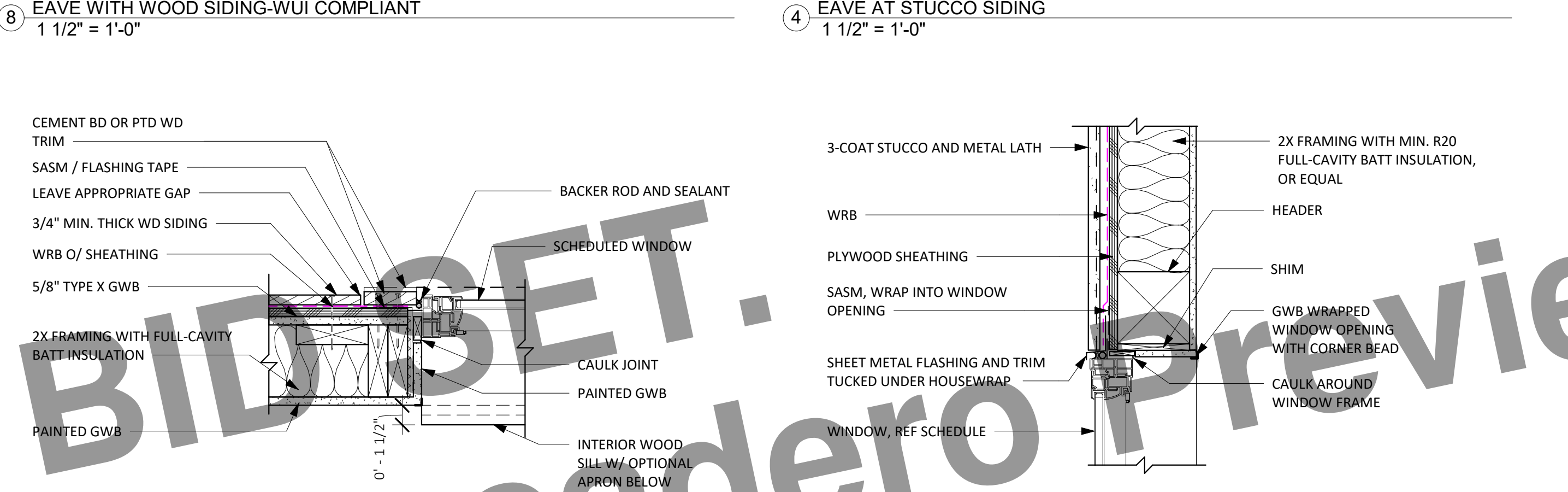
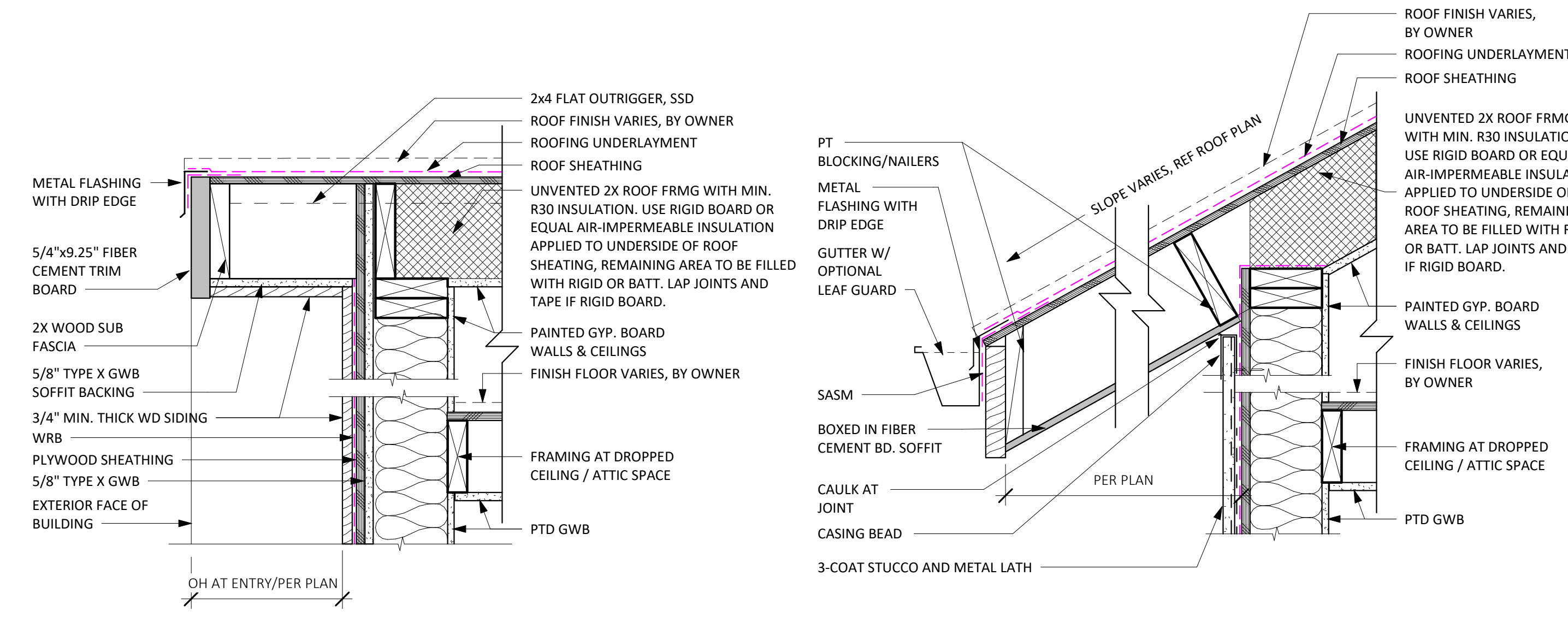
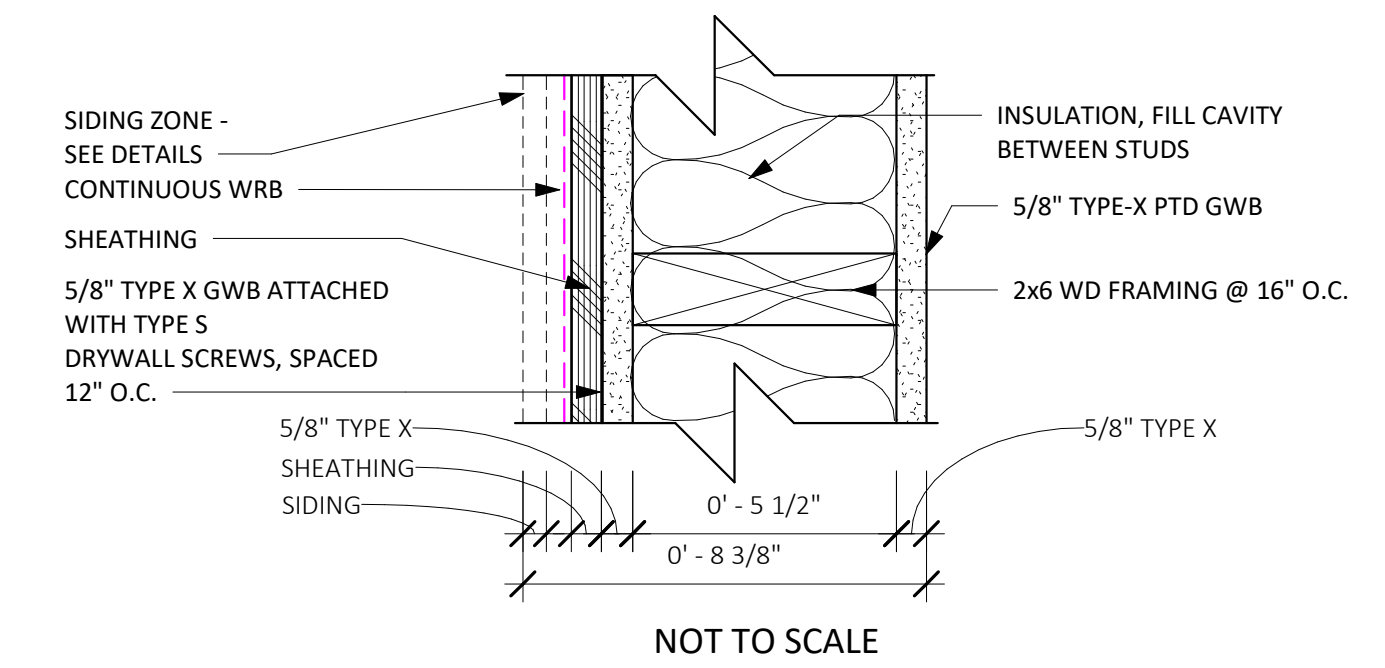
PERFORMANCE NOTES

- ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
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FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12"



WOOD SIDING WITHIN WUI ZONE

E4 STUCCO SIDING

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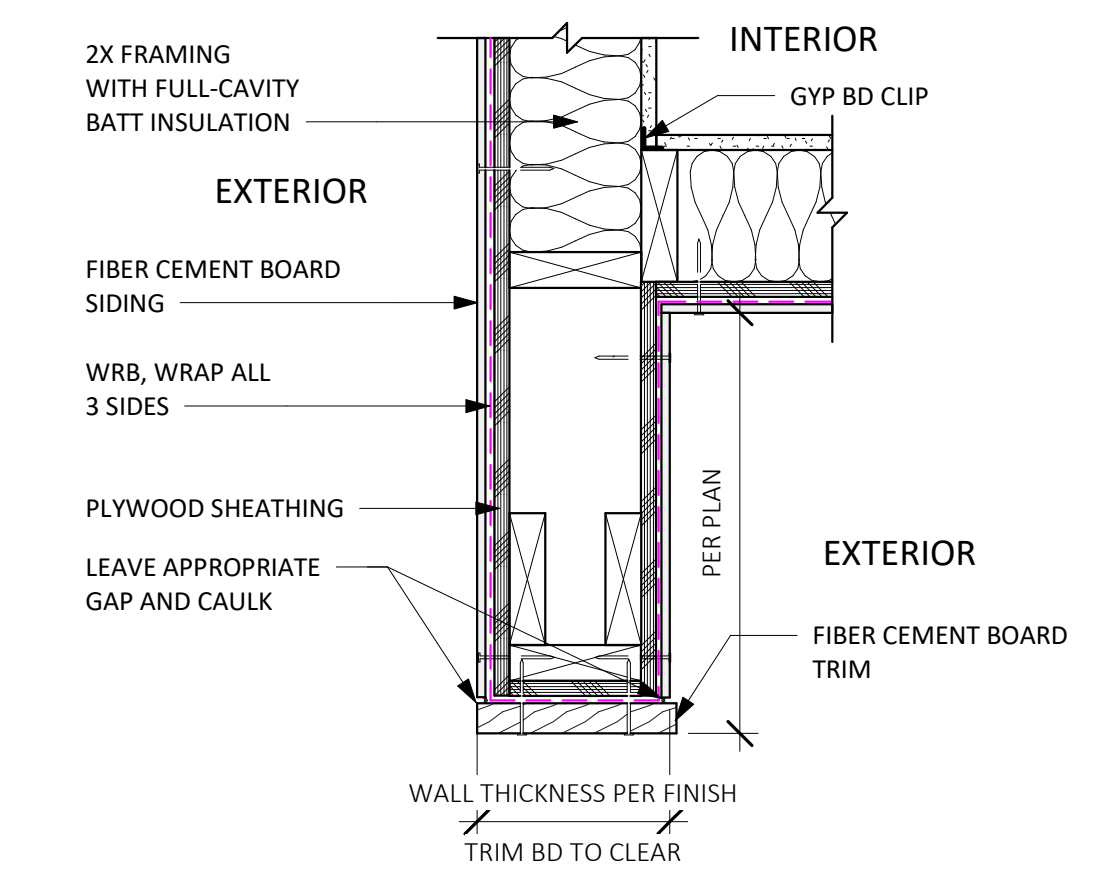
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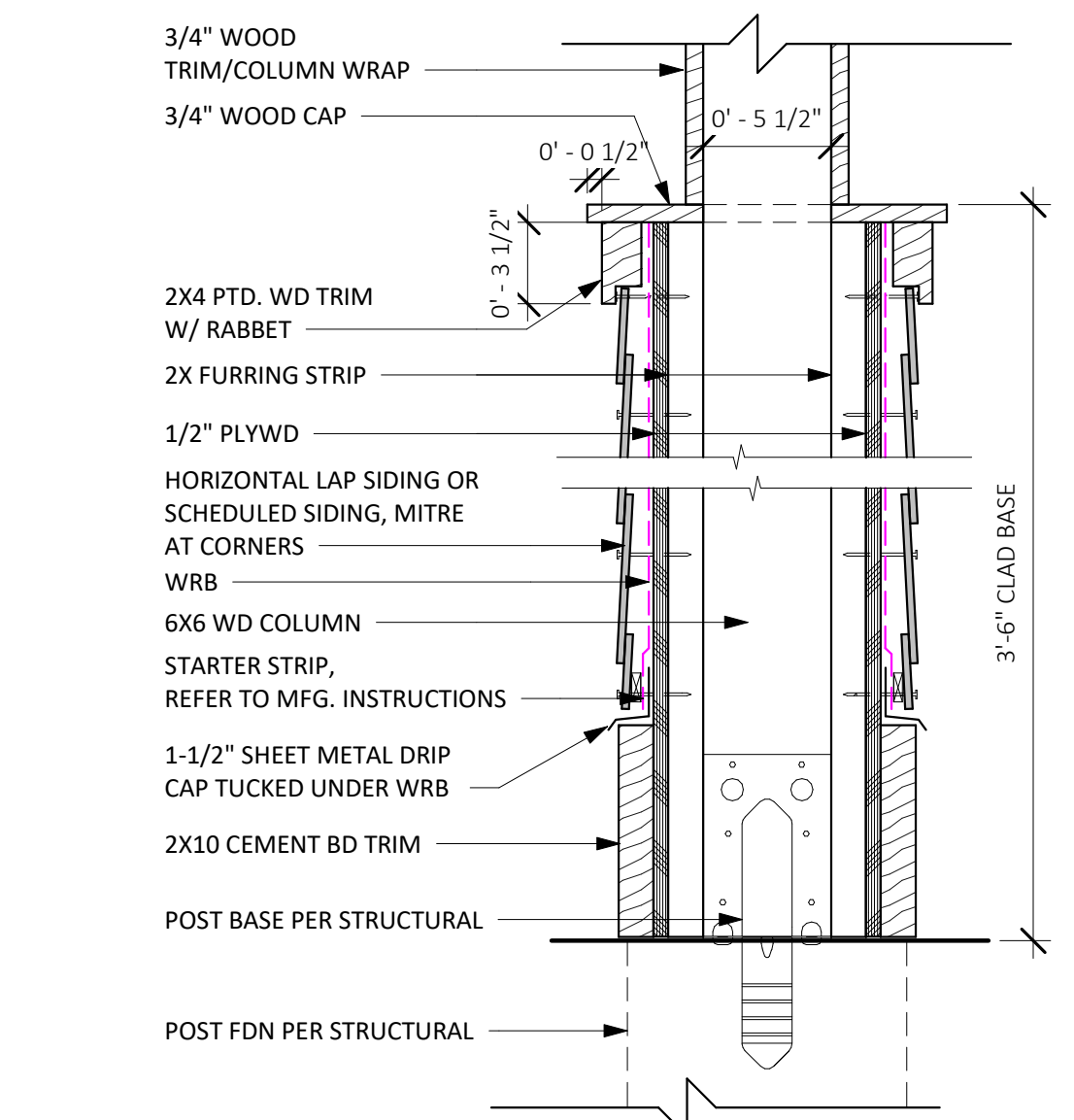
ONE BEDROOM + DEN
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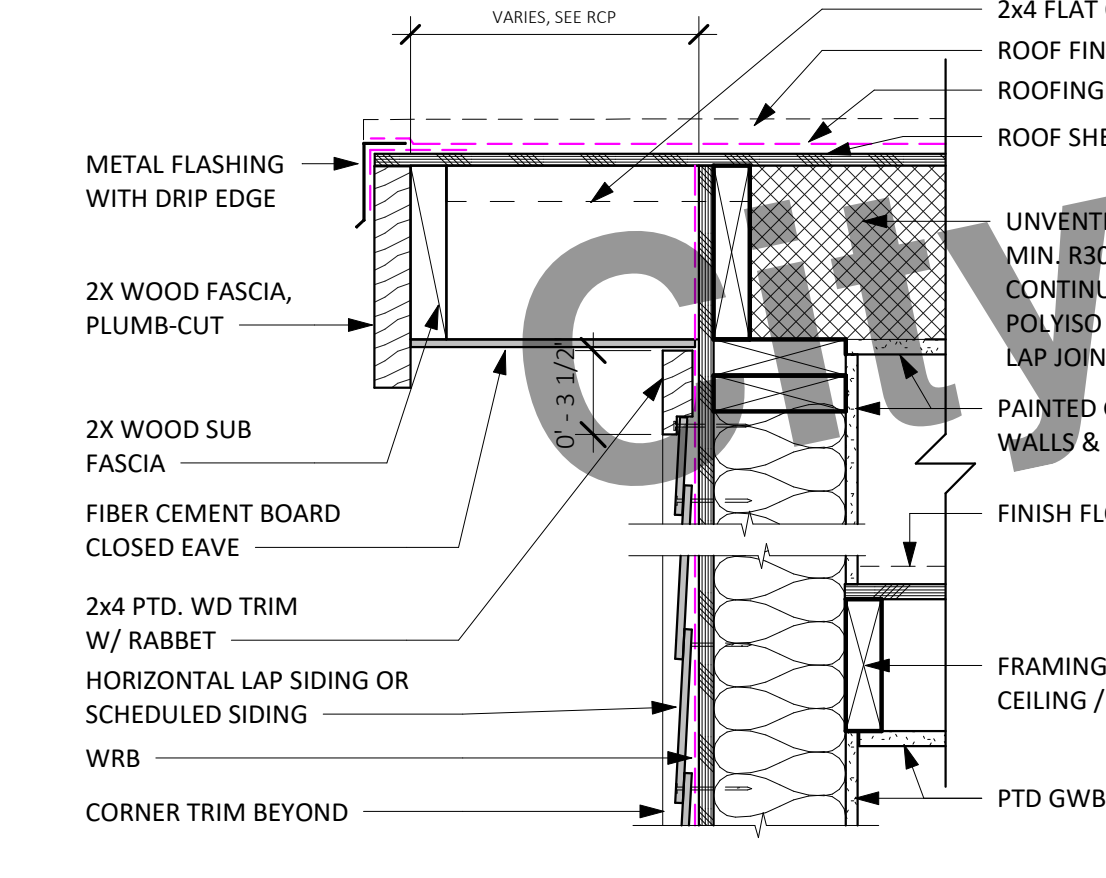
EXTERIOR DETAILS



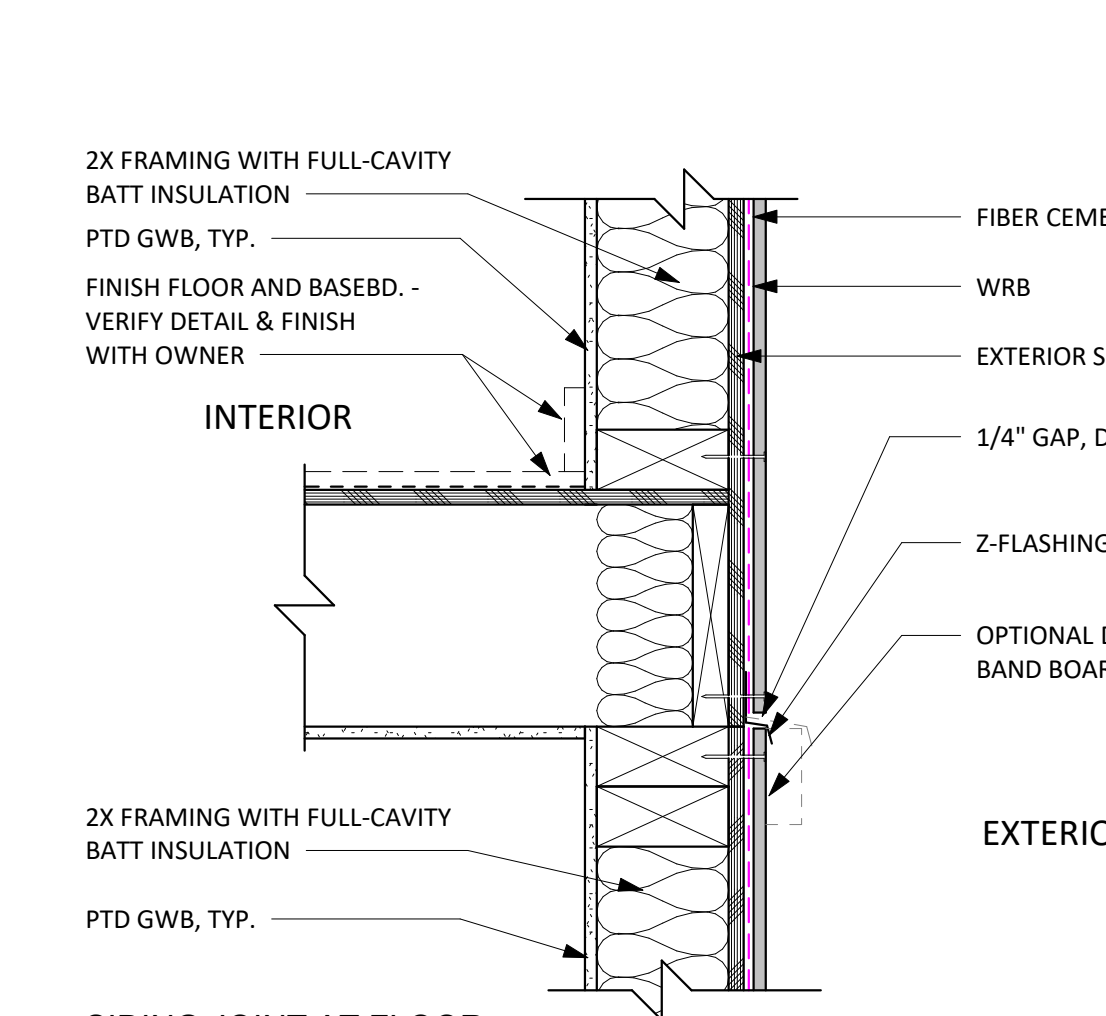
16. CEMENT BD WING WALL
1 1/2" = 1'-0"



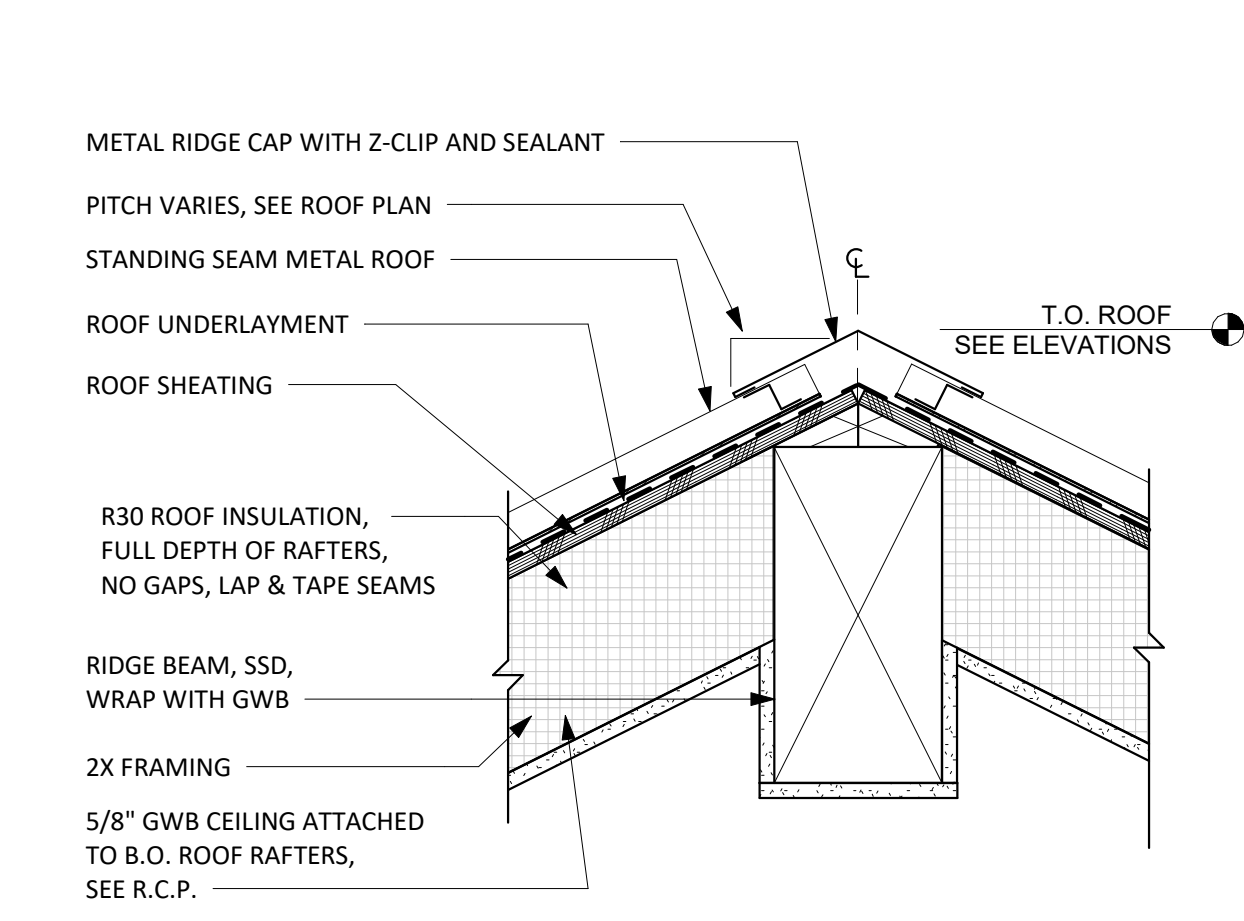
15. WRAPPED COLUMN SECTION
1 1/2" = 1'-0"



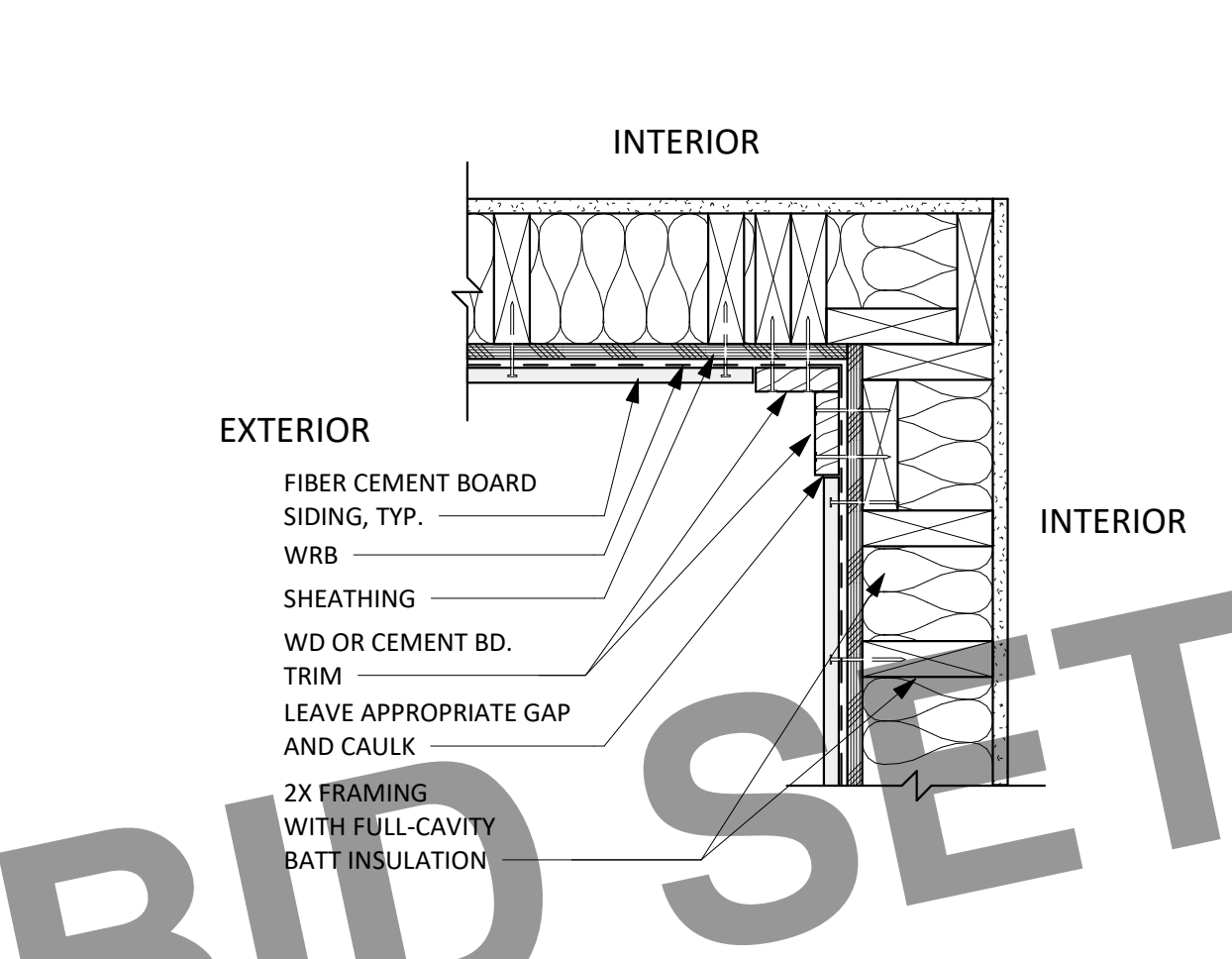
14. BASIC RAKE (CLOSED)
1 1/2" = 1'-0"



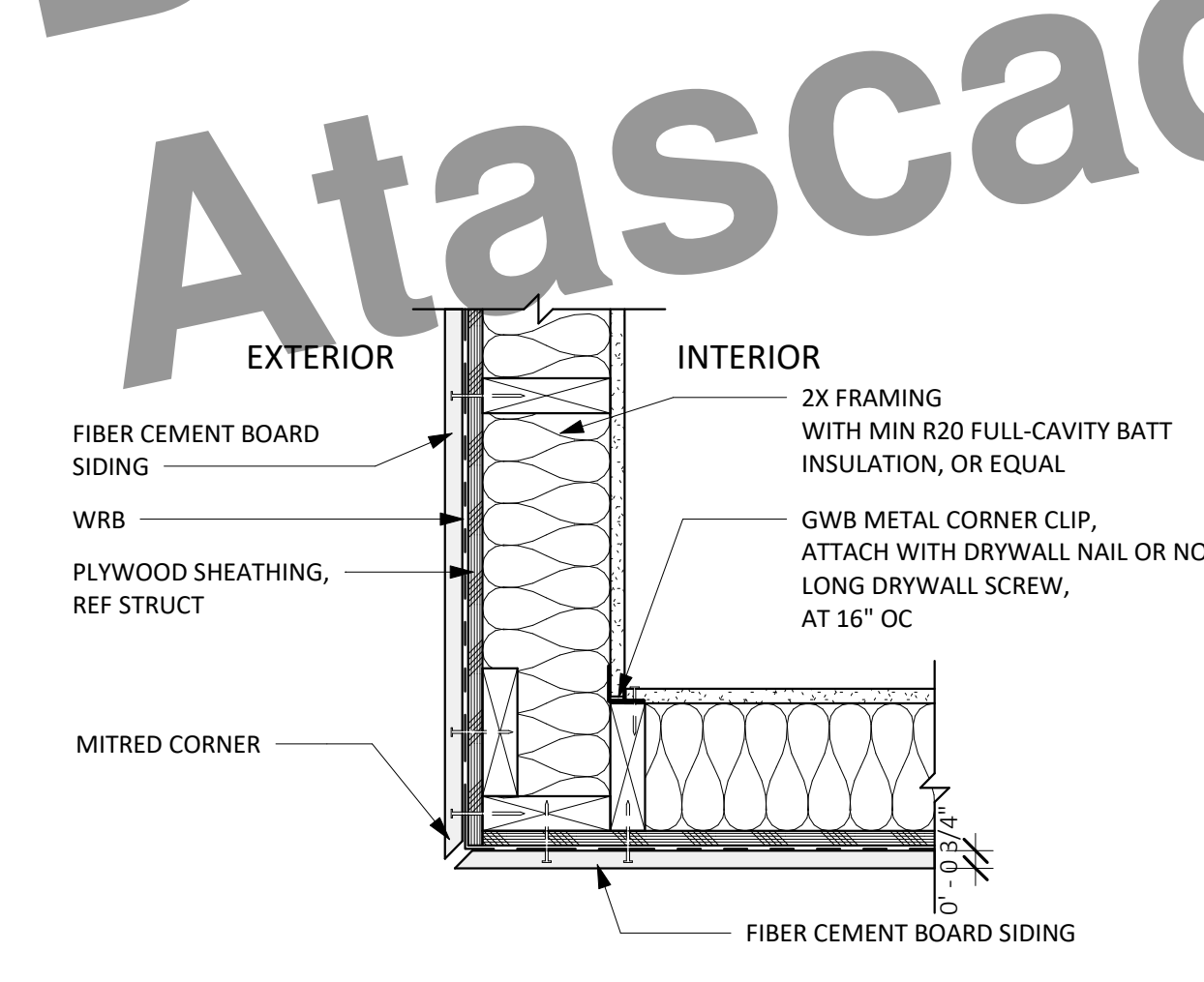
13. SIDING JOINT AT FLOOR
1 1/2" = 1'-0"



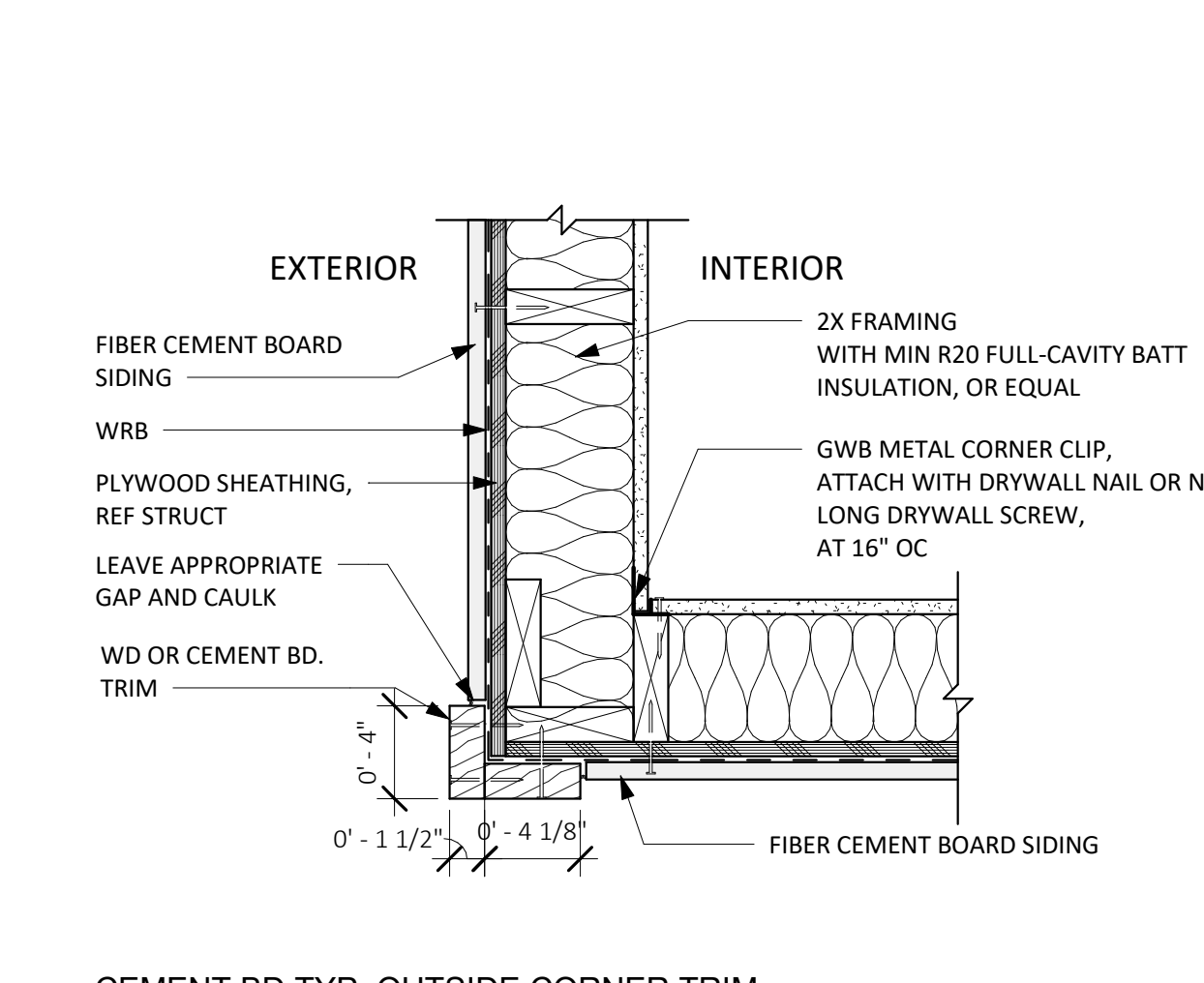
12. STANDING SEAM UNVENTED RIDGE
1 1/2" = 1'-0"



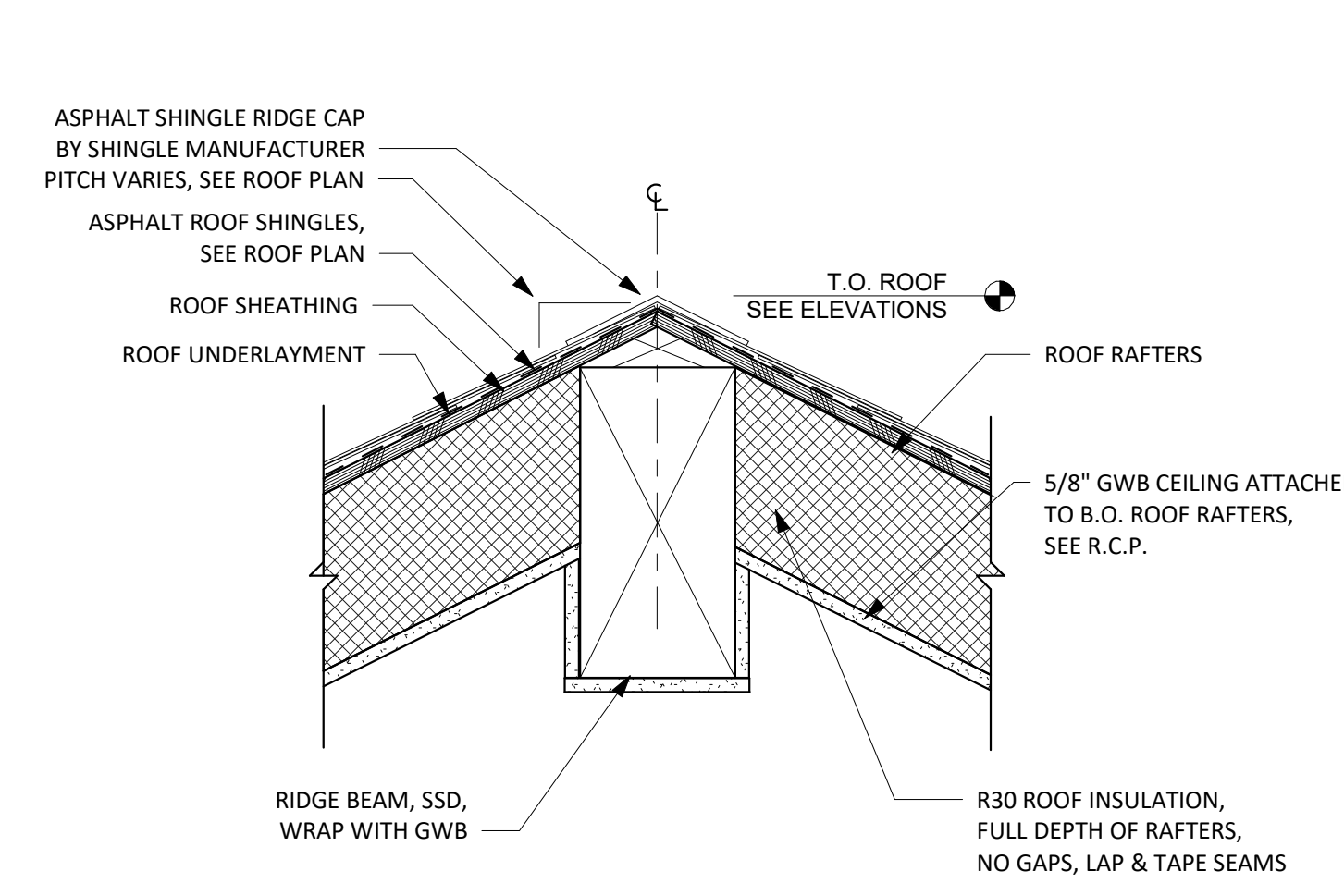
11. CEMENT BD TYP. INSIDE CORNER
1 1/2" = 1'-0"



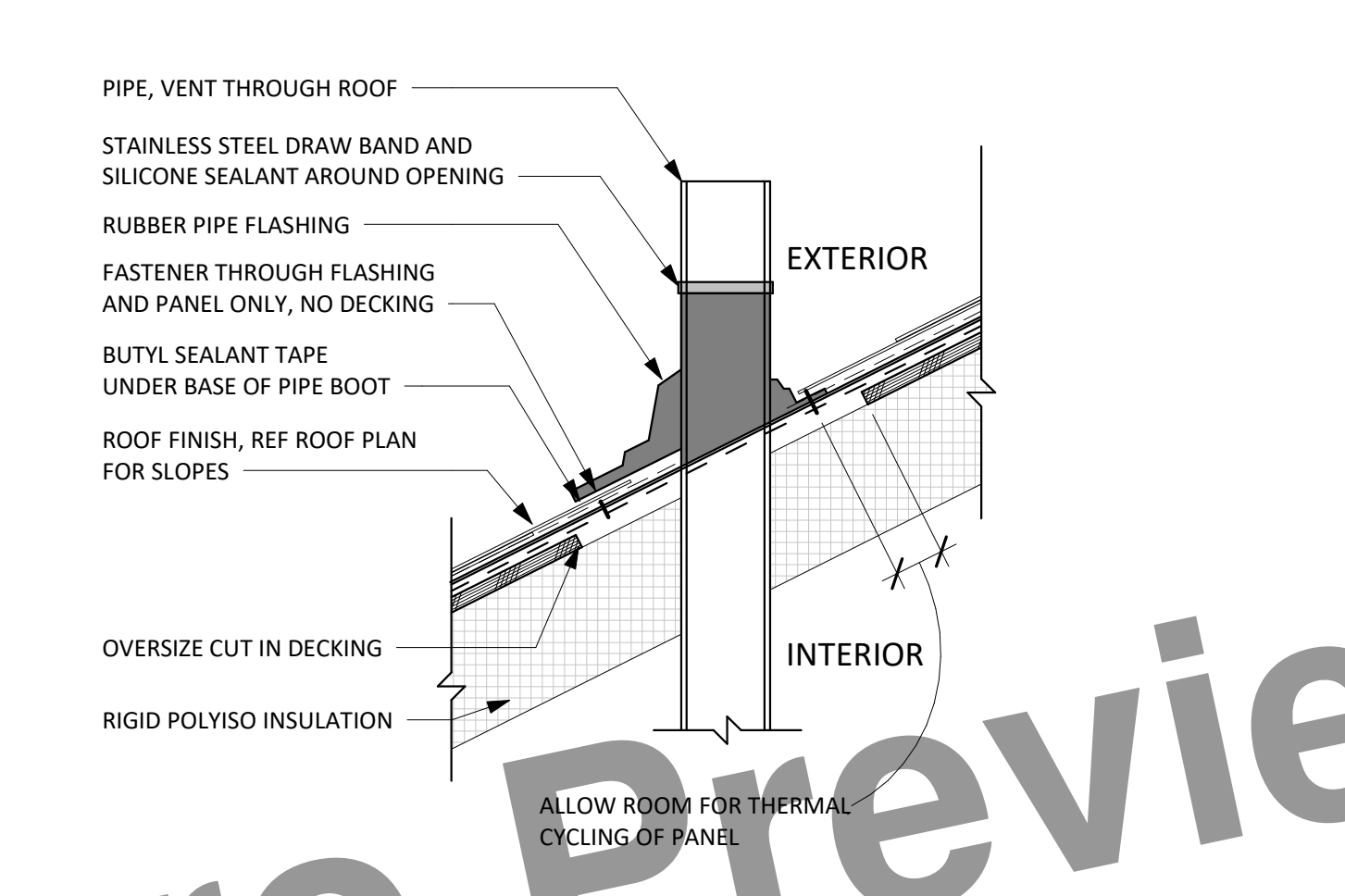
10. CEMENT BD OUTSIDE CORNER TRIM MITRE
1 1/2" = 1'-0"



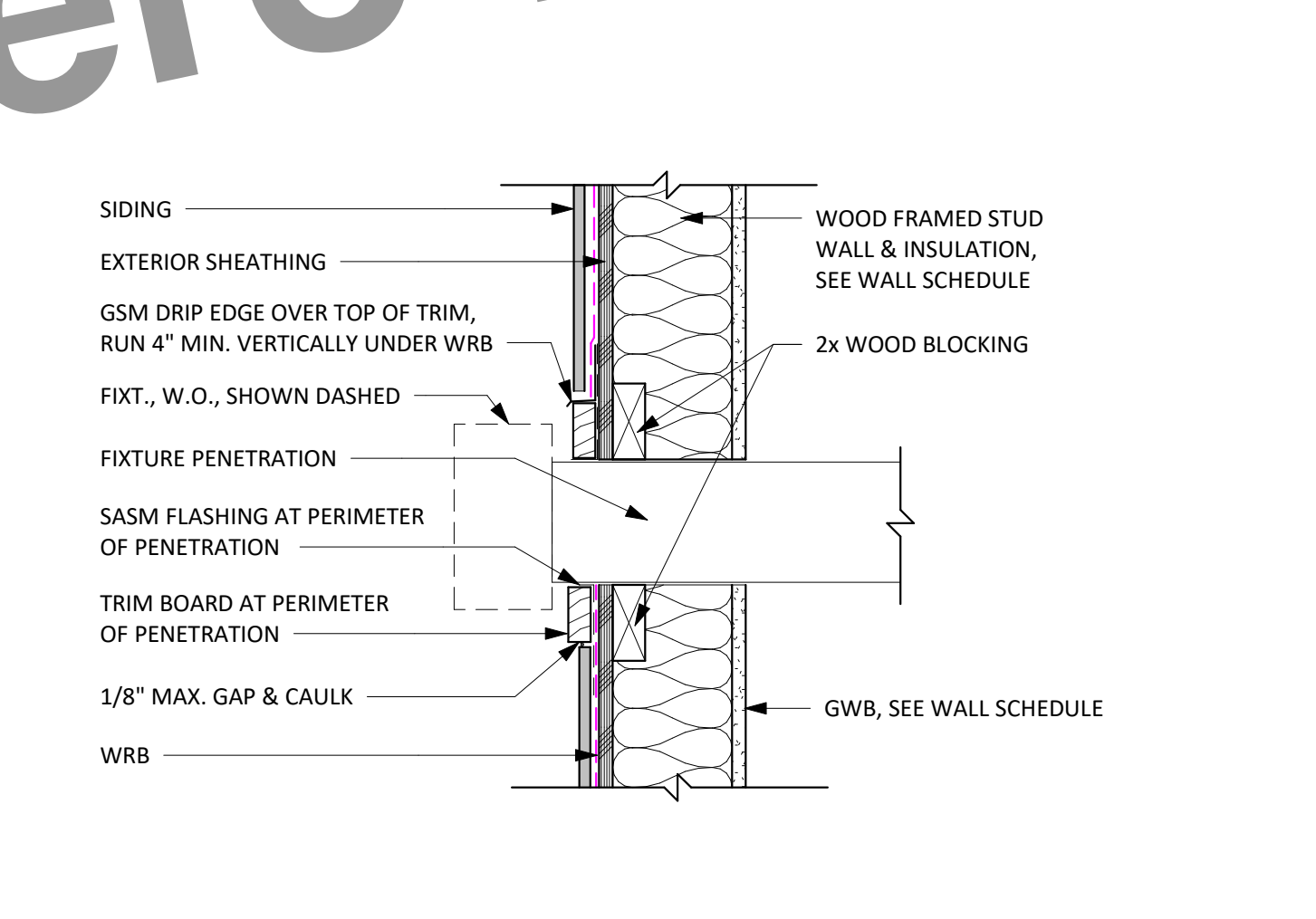
9. CEMENT BD TYP. OUTSIDE CORNER TRIM
1 1/2" = 1'-0"



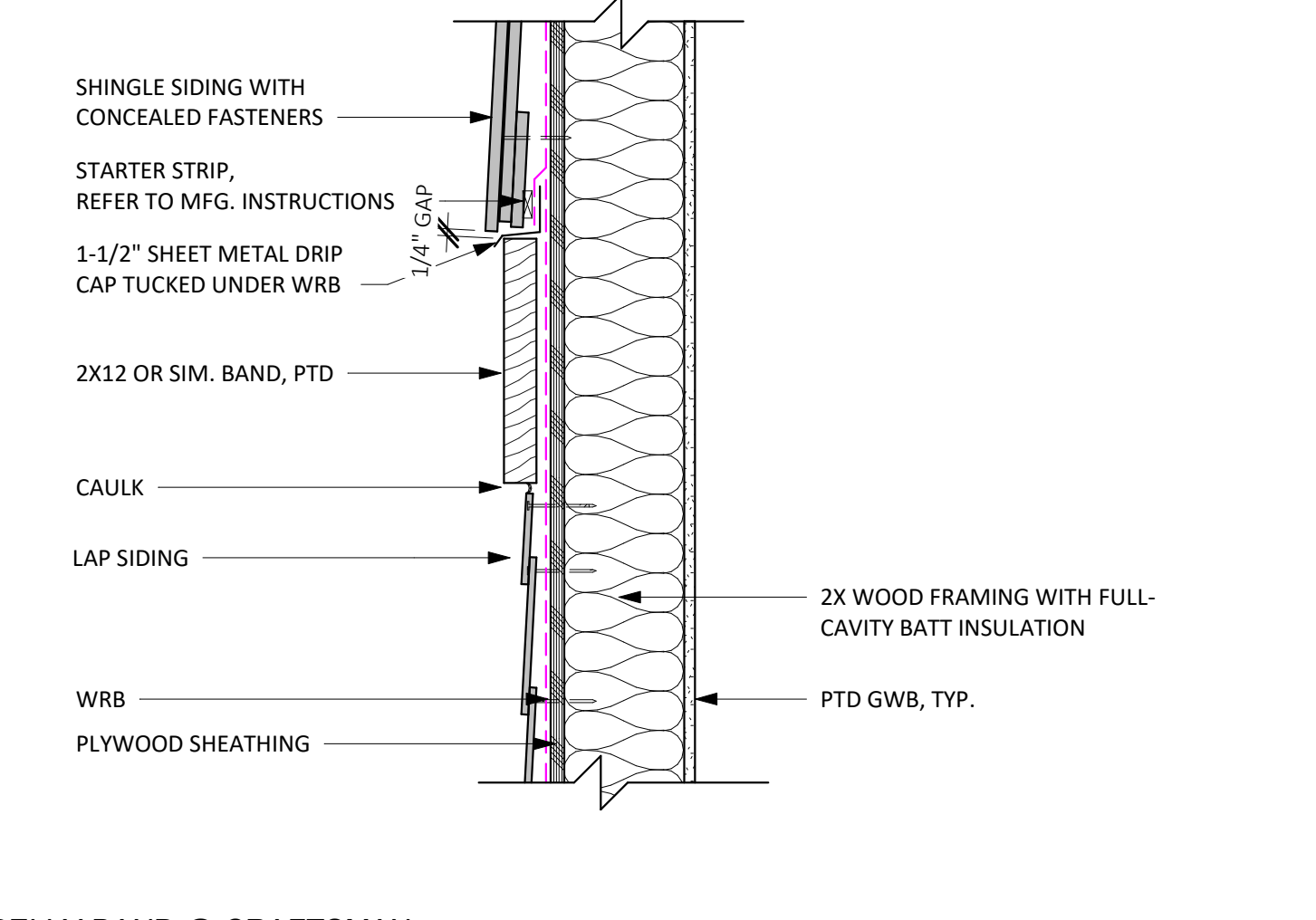
8. BASIC UNVENTED RIDGE AT ASPHALT SHINGLE
1 1/2" = 1'-0"



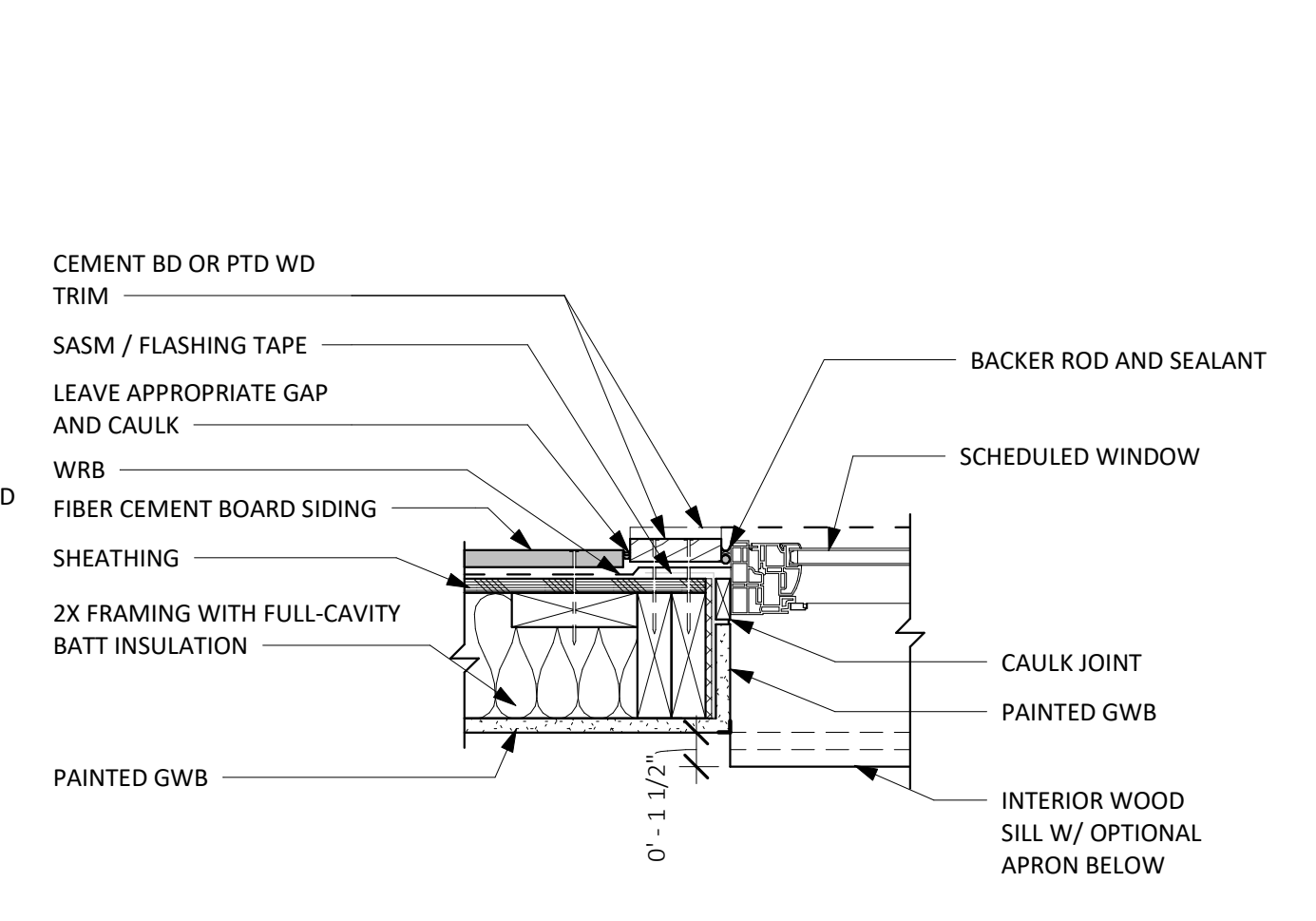
7. ROOF PENETRATION DETAIL
1 1/2" = 1'-0"



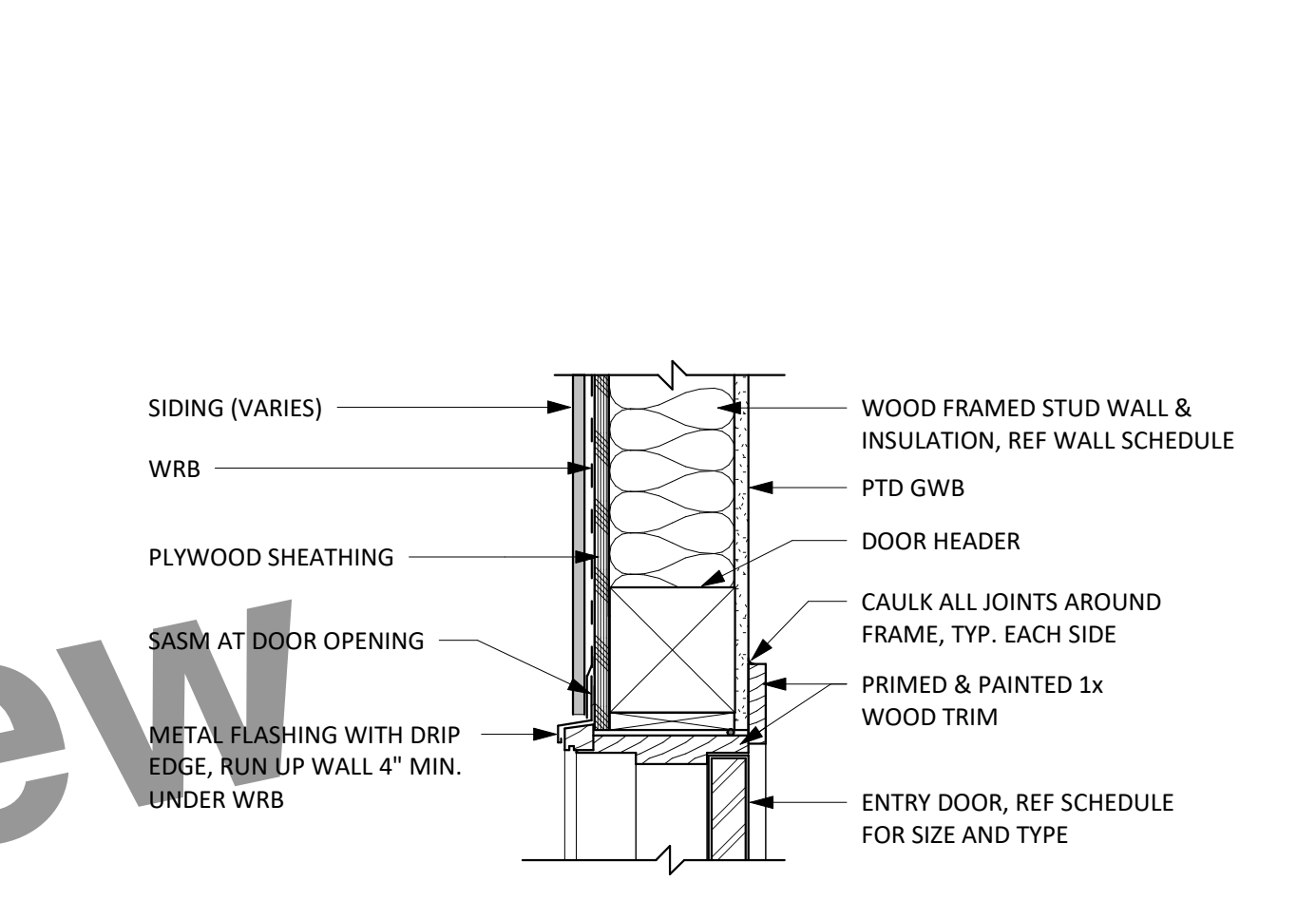
6. WALL PENETRATION DETAIL
1 1/2" = 1'-0"



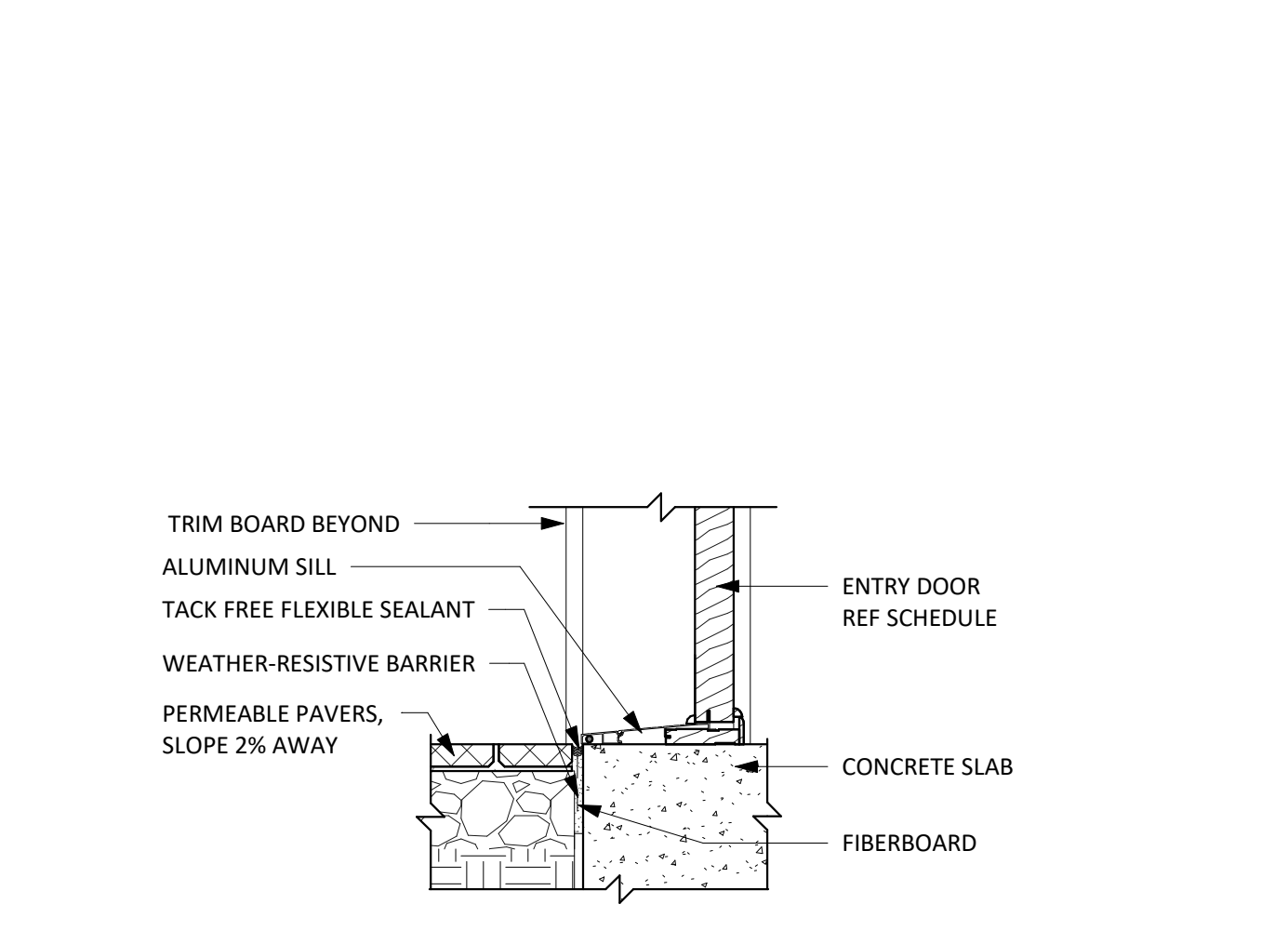
5. BELLY BAND @ CRAFTSMAN
1 1/2" = 1'-0"



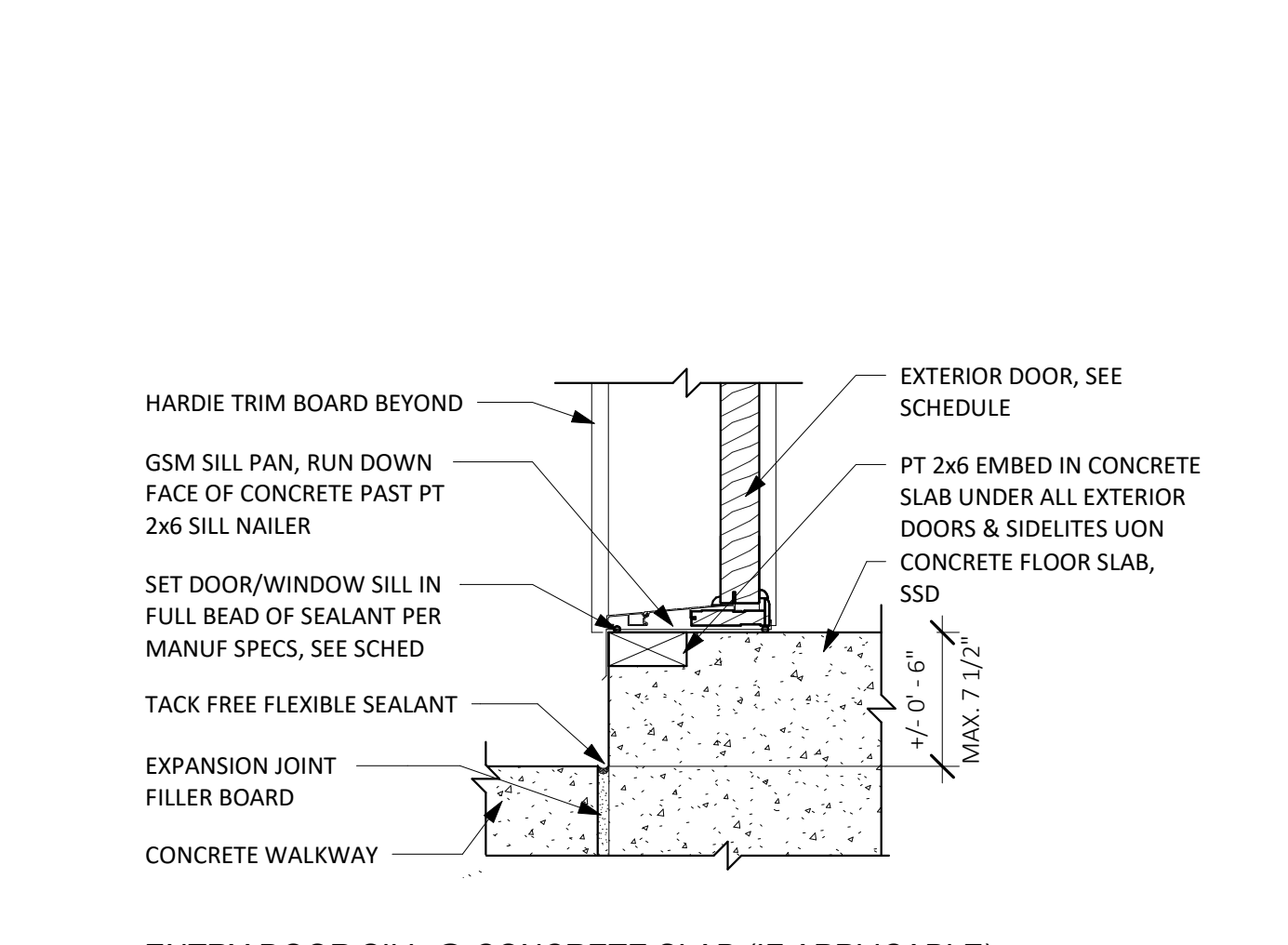
4. BASIC WINDOW JAMB
1 1/2" = 1'-0"



3. SWING DOOR HEAD / JAMB
1 1/2" = 1'-0"



2. ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)
1 1/2" = 1'-0"



1. ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)
1 1/2" = 1'-0"

BID SET. of Atascadero Preview



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SANTA CRUZ, CA 95060
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**BROCKETT
/ARCHITECT**

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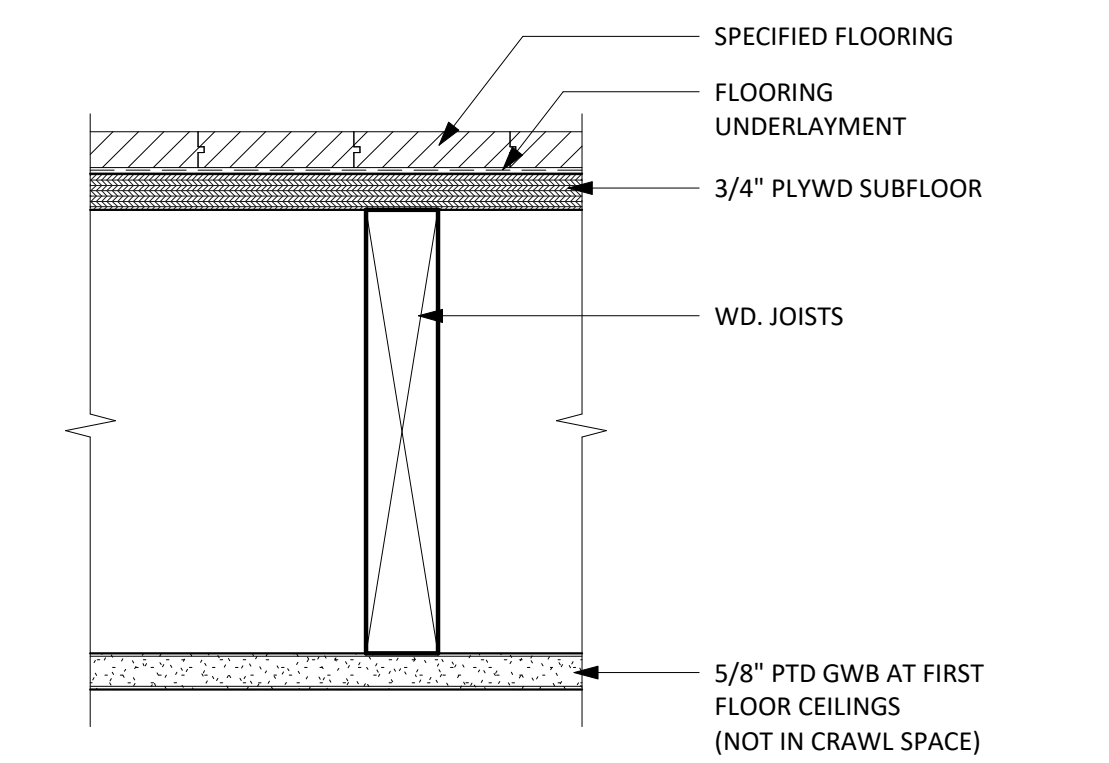
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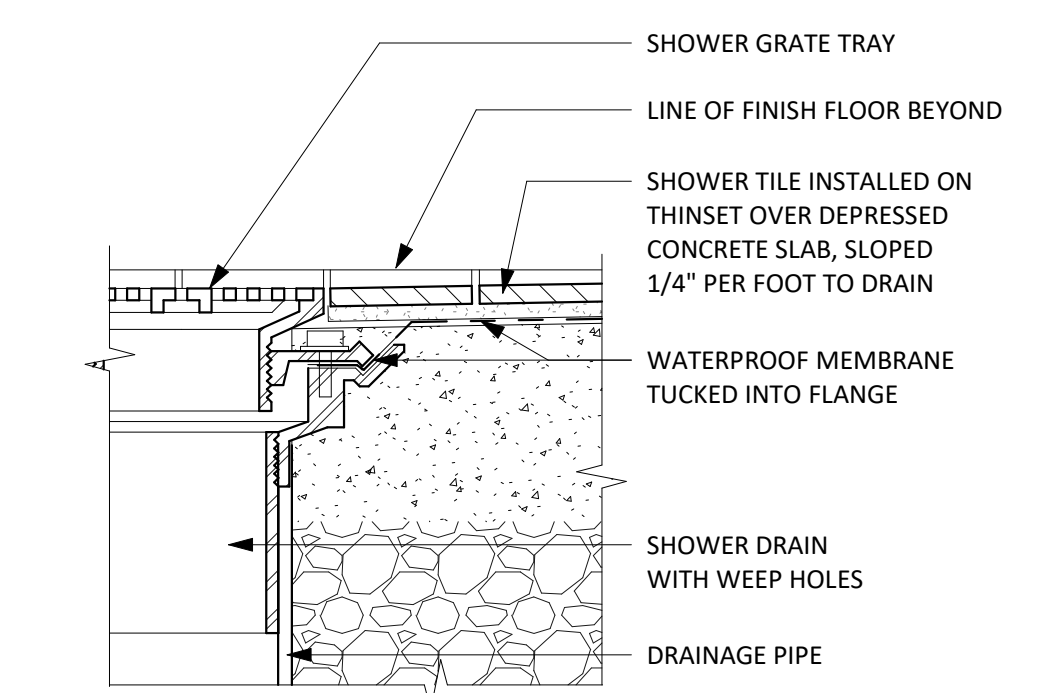
**INTERIOR DETAILS &
WALL PARTITIONS**

A5.3

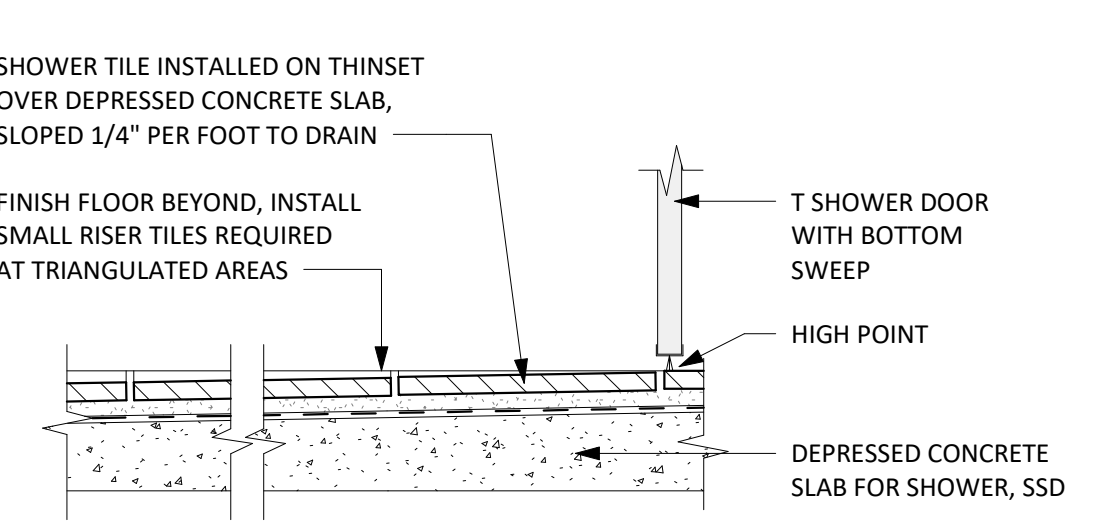
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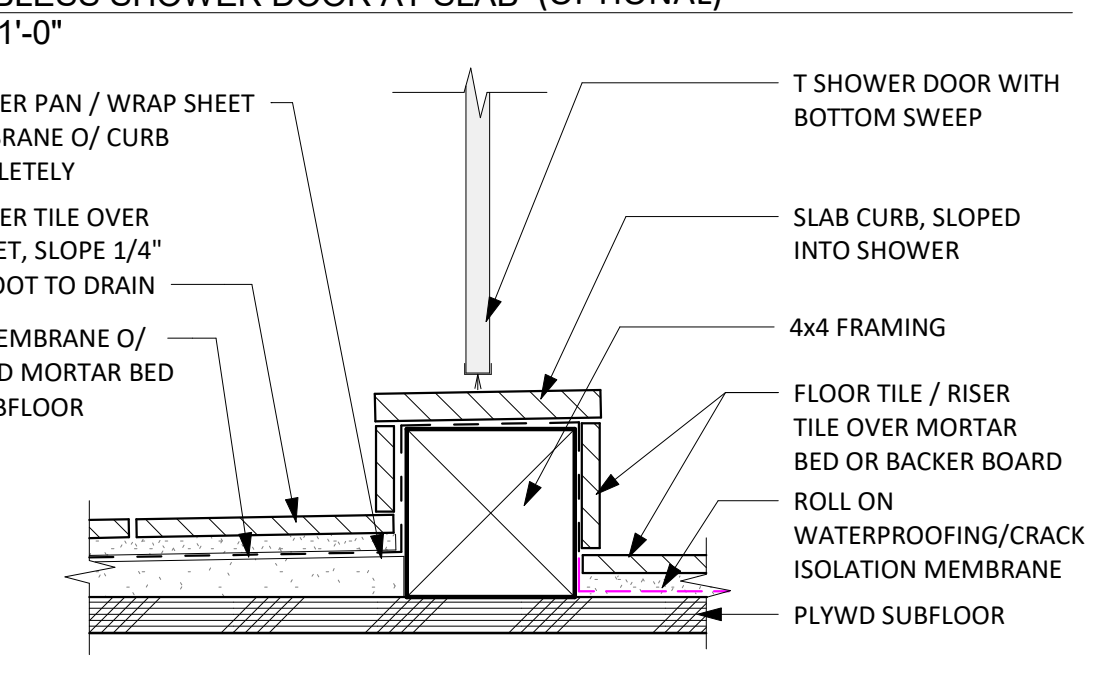
5 TYP. STORAGE LOFT FLOOR ASSEMBLY
3" = 1'-0"



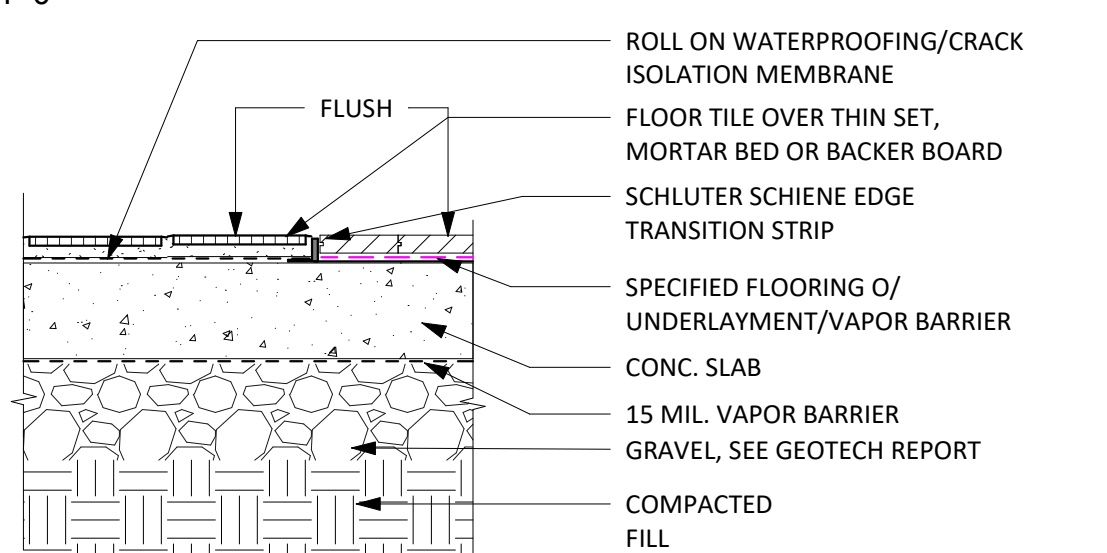
42 SHOWER DRAIN AT CONCRETE
3" = 1'-0"



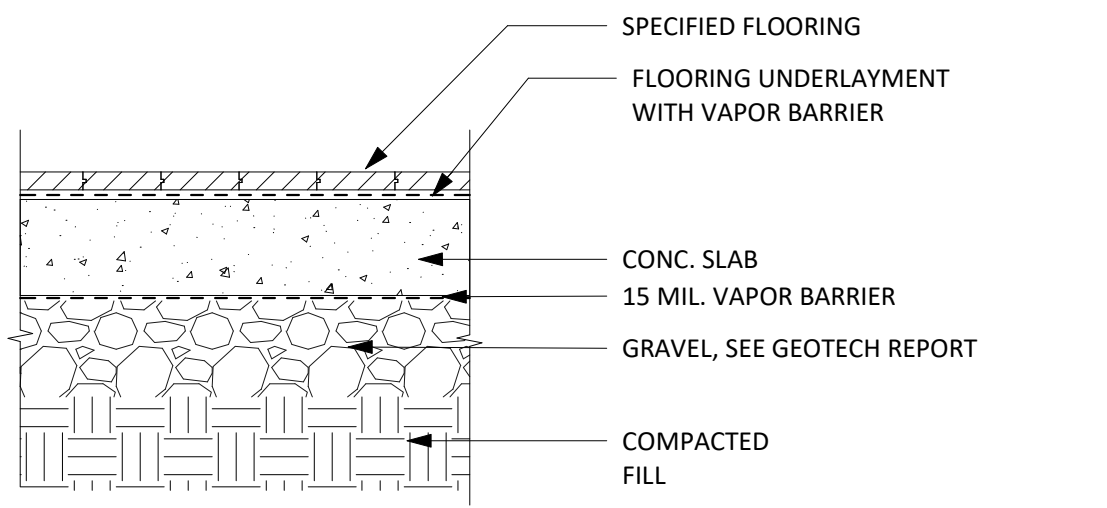
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)
3" = 1'-0"



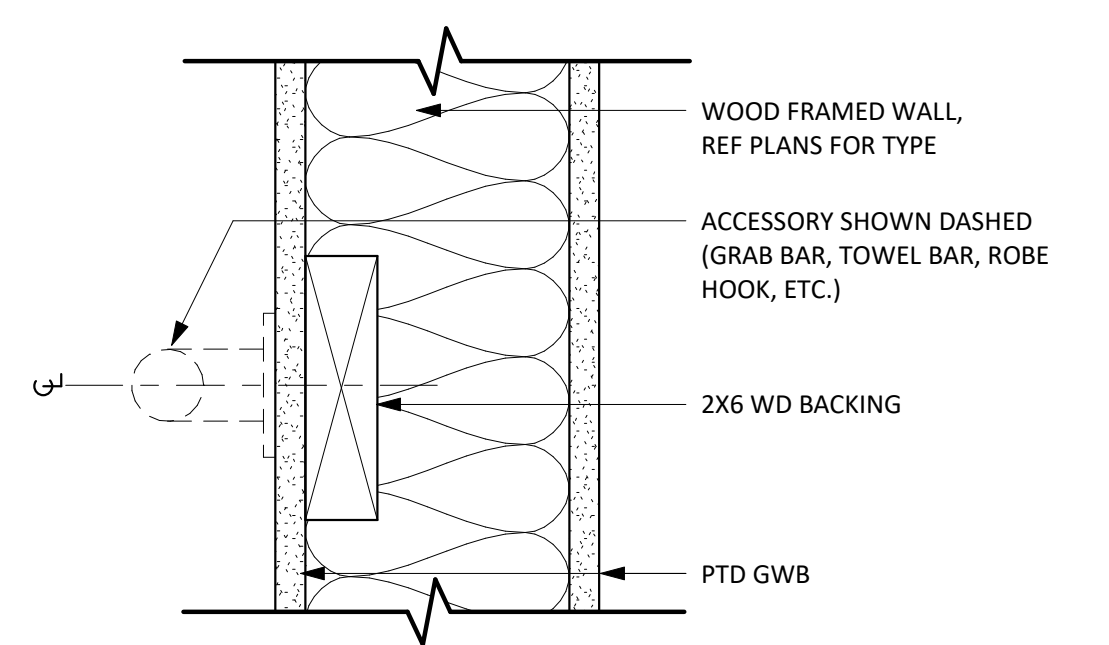
3 TYP. SHOWER CURB
3" = 1'-0"



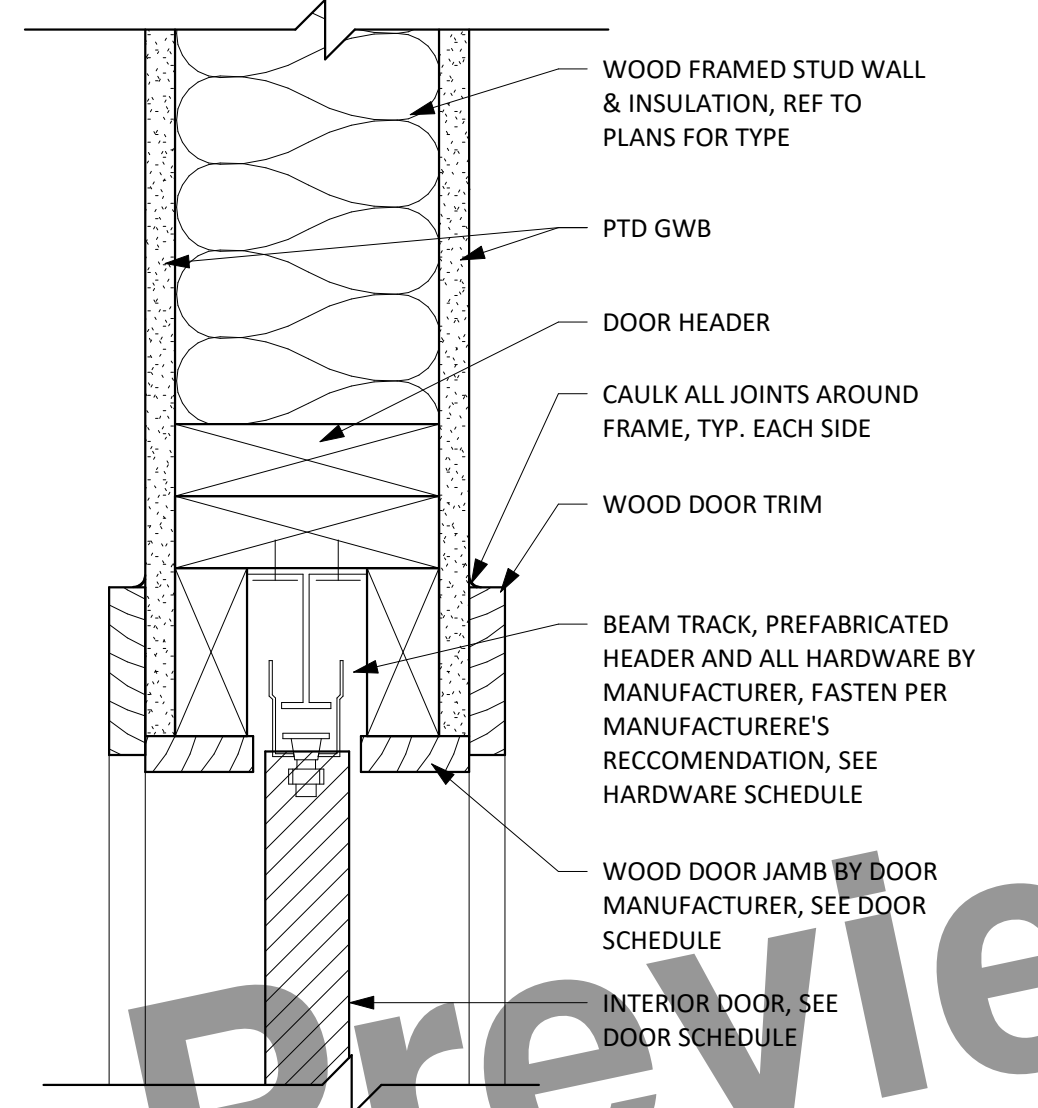
2 BASIC TILE TO WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



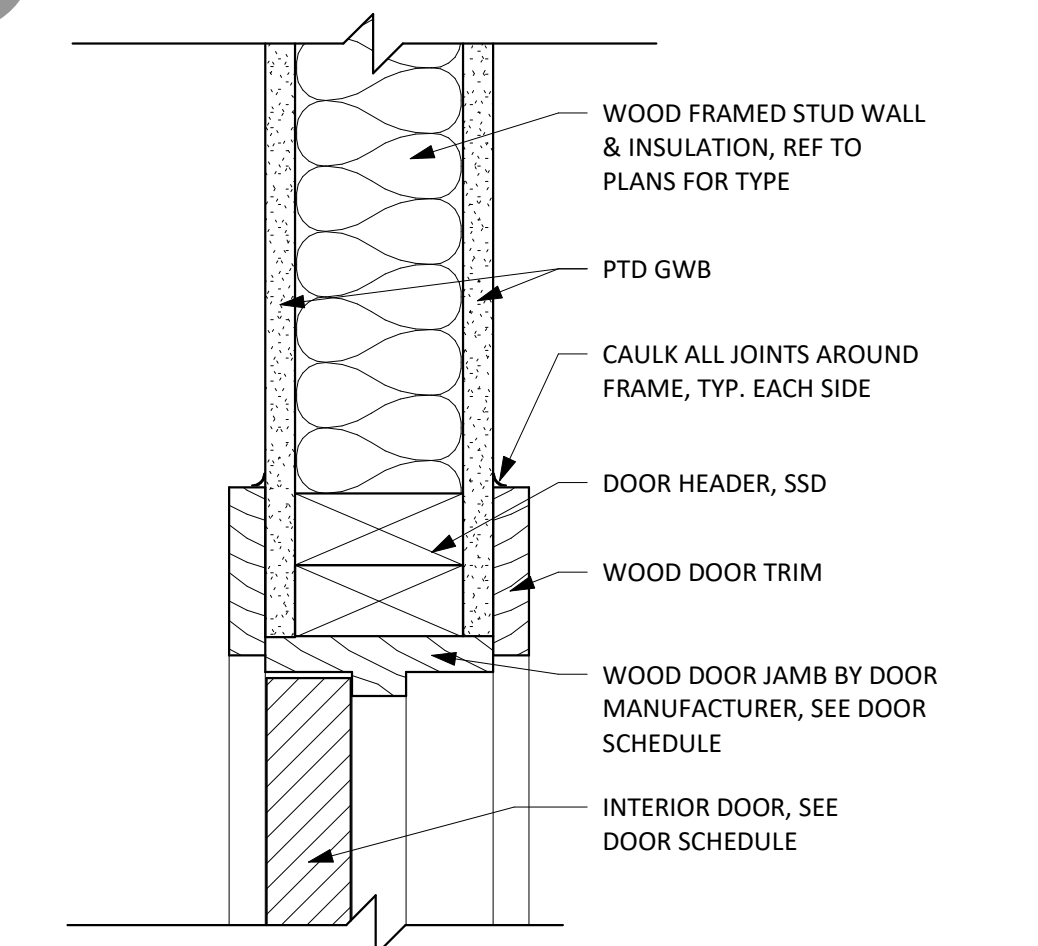
1 BASIC WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



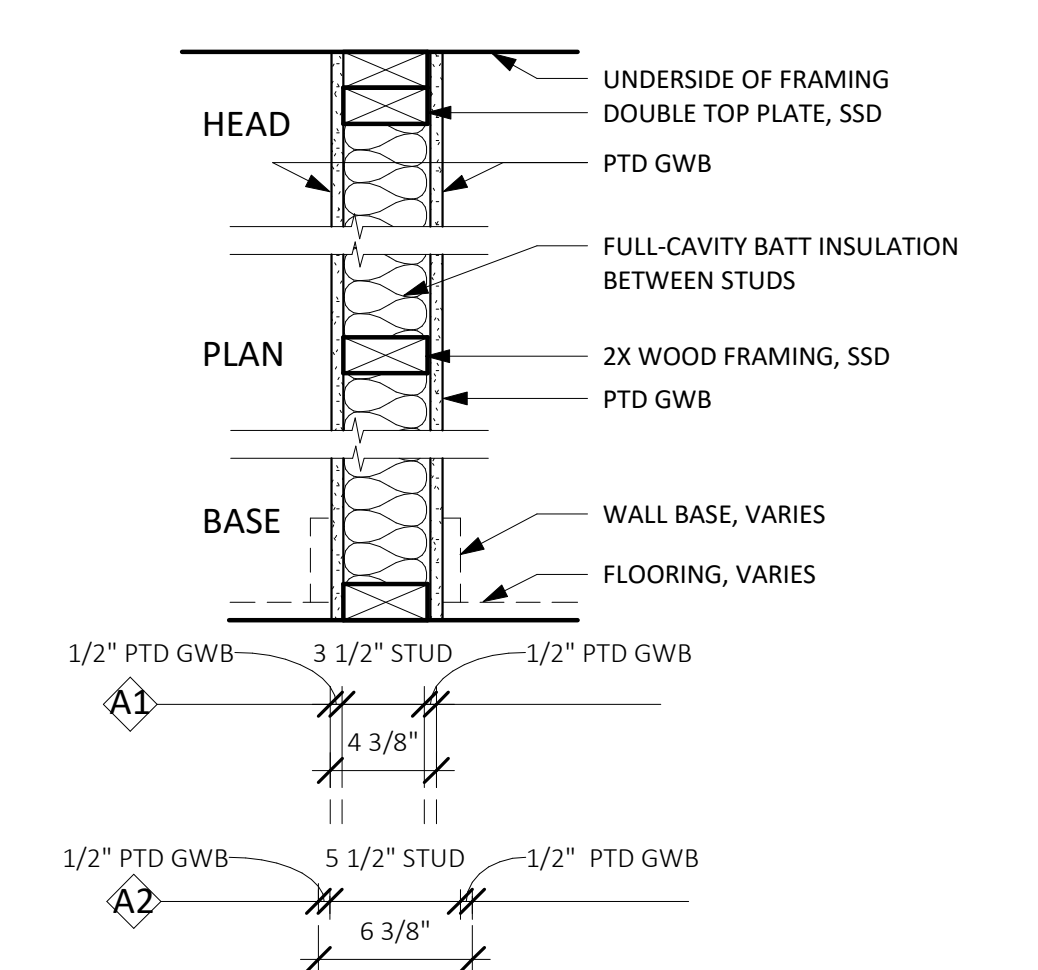
9 BLOCKING DETAIL
3" = 1'-0"



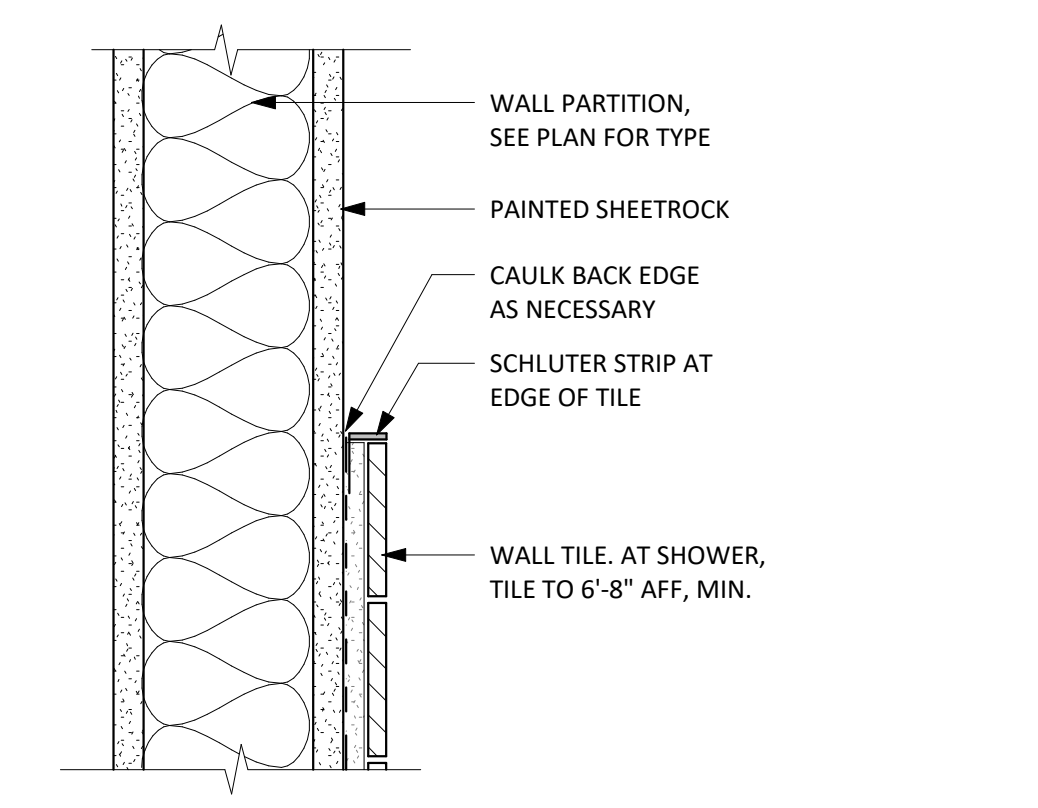
8 INTERIOR WOOD POCKET DOOR HEAD
3" = 1'-0"



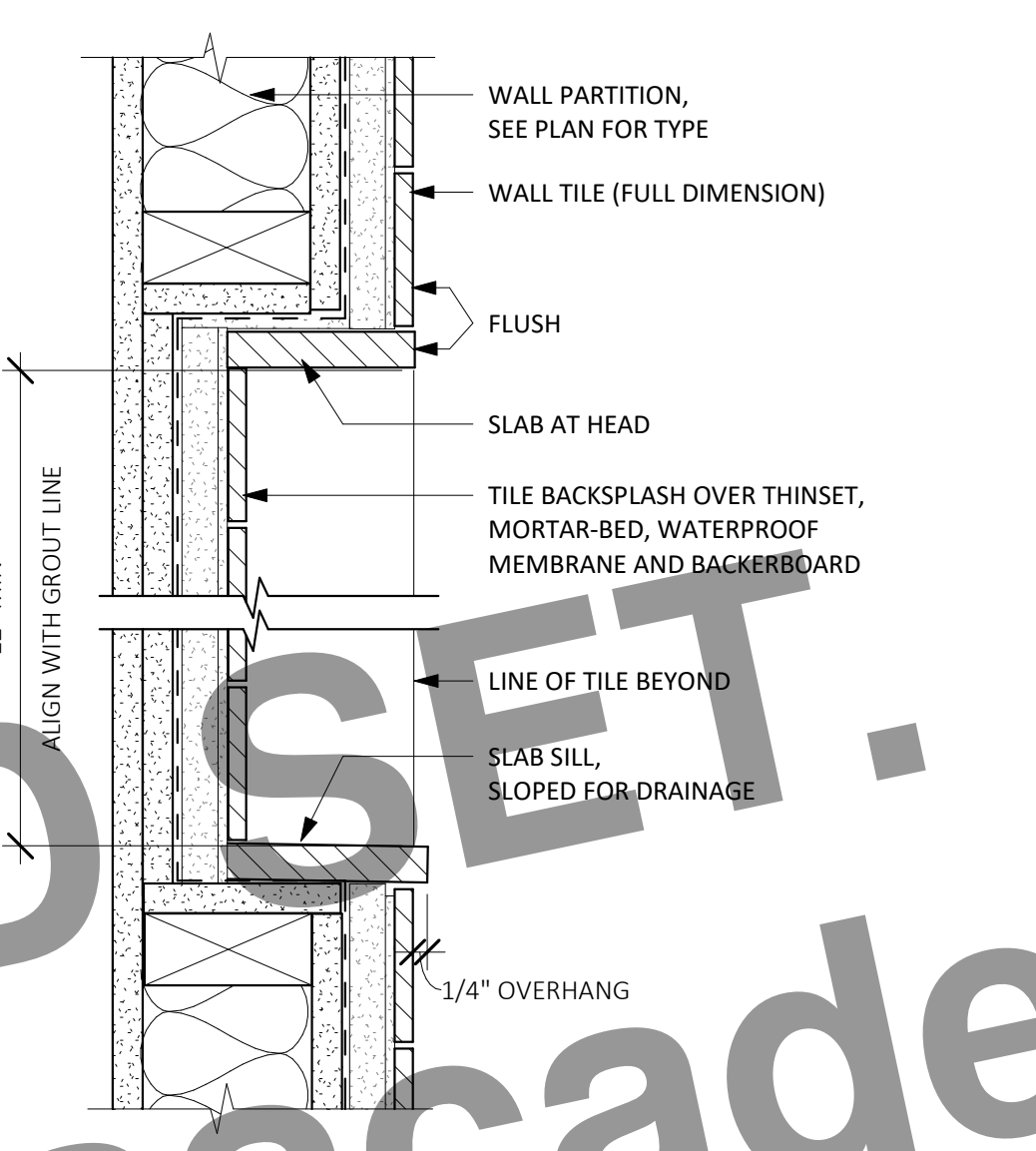
7 INTERIOR WOOD DOOR HEAD/JAMB
3" = 1'-0"



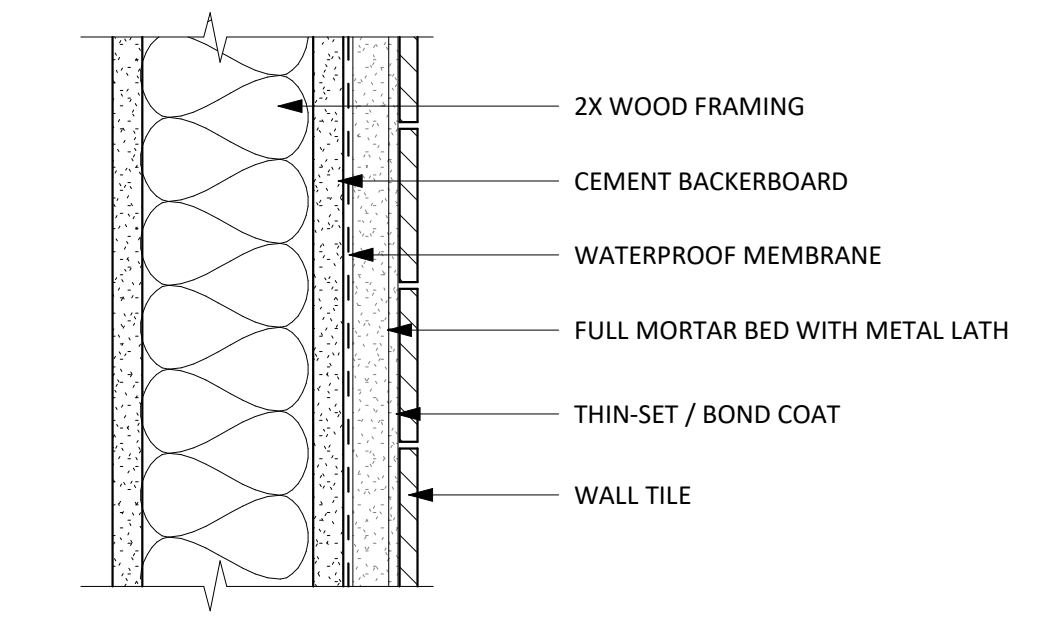
6 TYP. INTERIOR WALL PARTITION
1 1/2" = 1'-0"



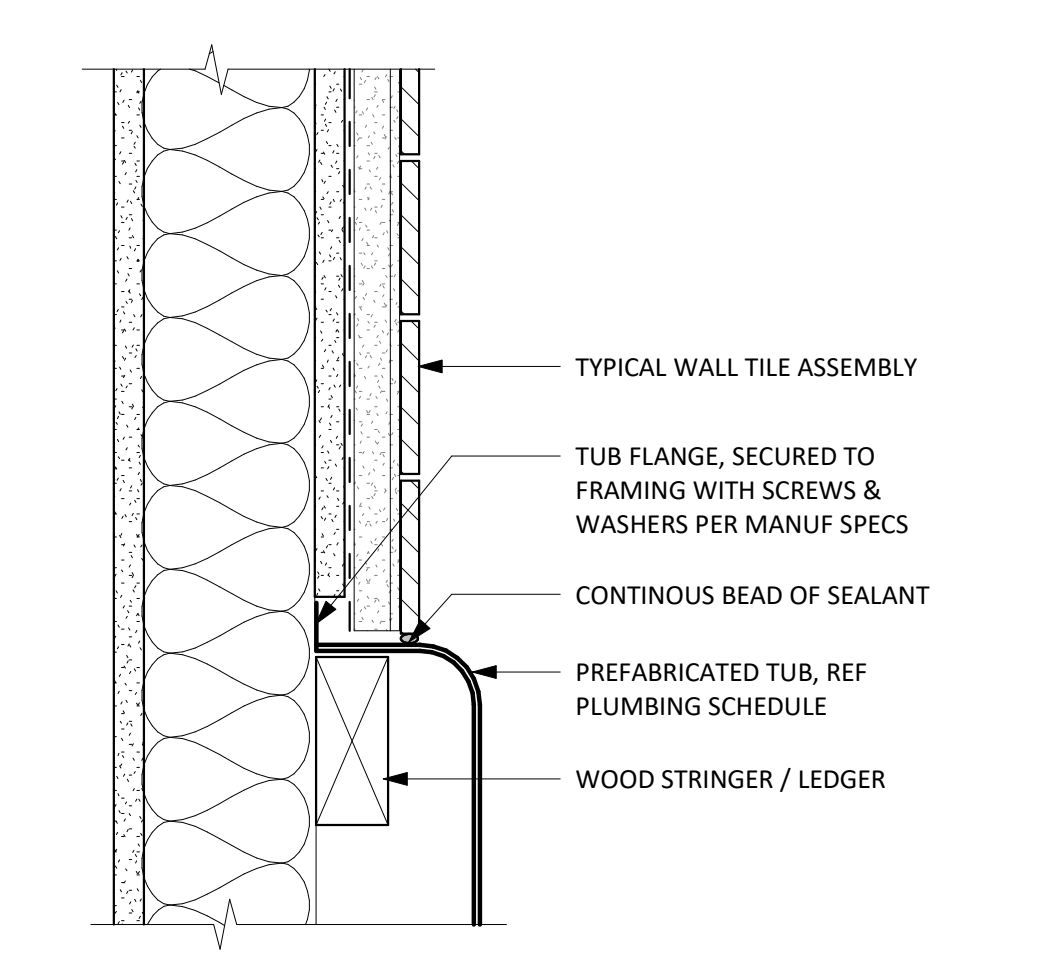
13 TILE / GYPSUM TRANSITION
3" = 1'-0"



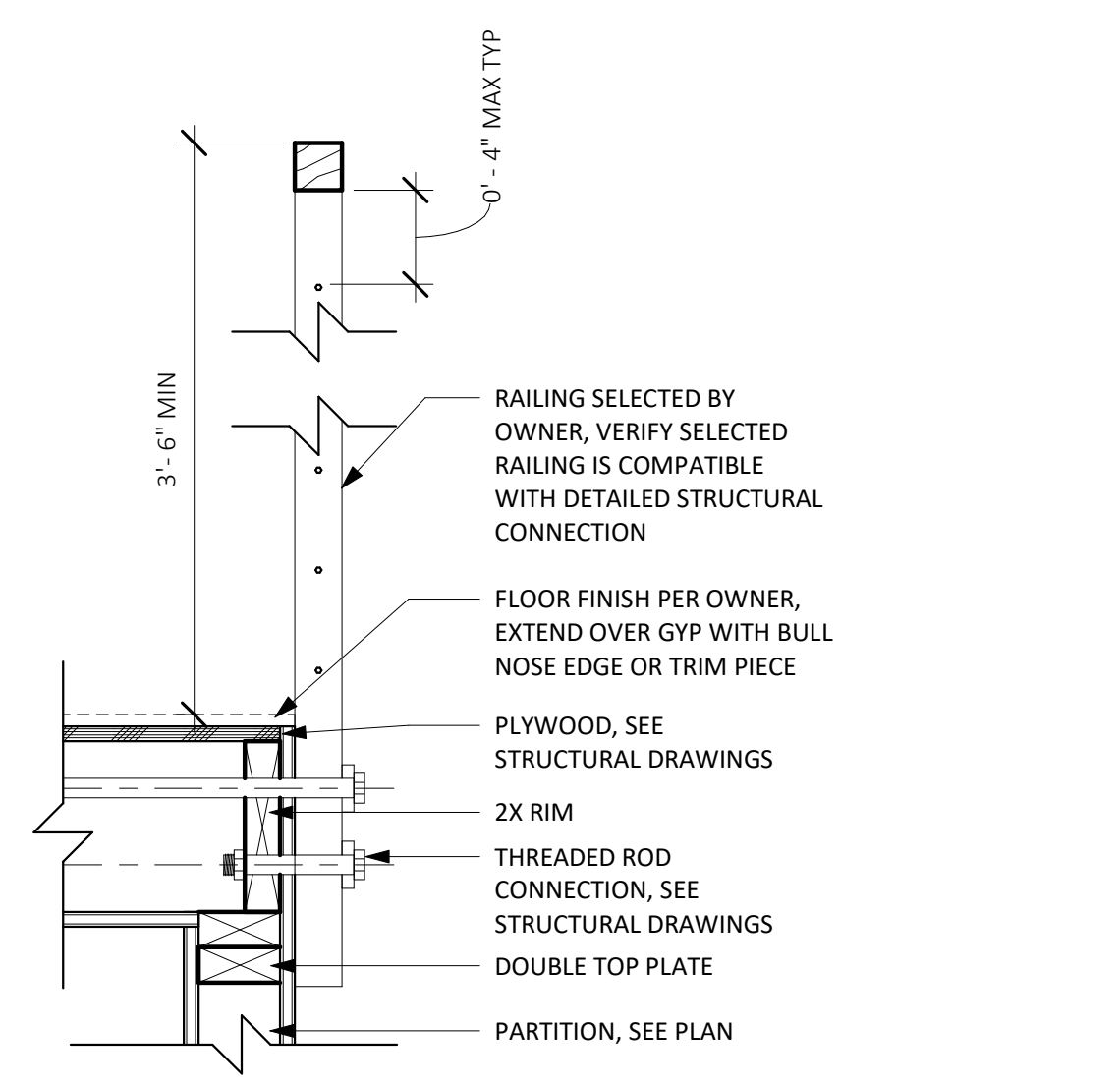
12 TILE NICHE
3" = 1'-0"



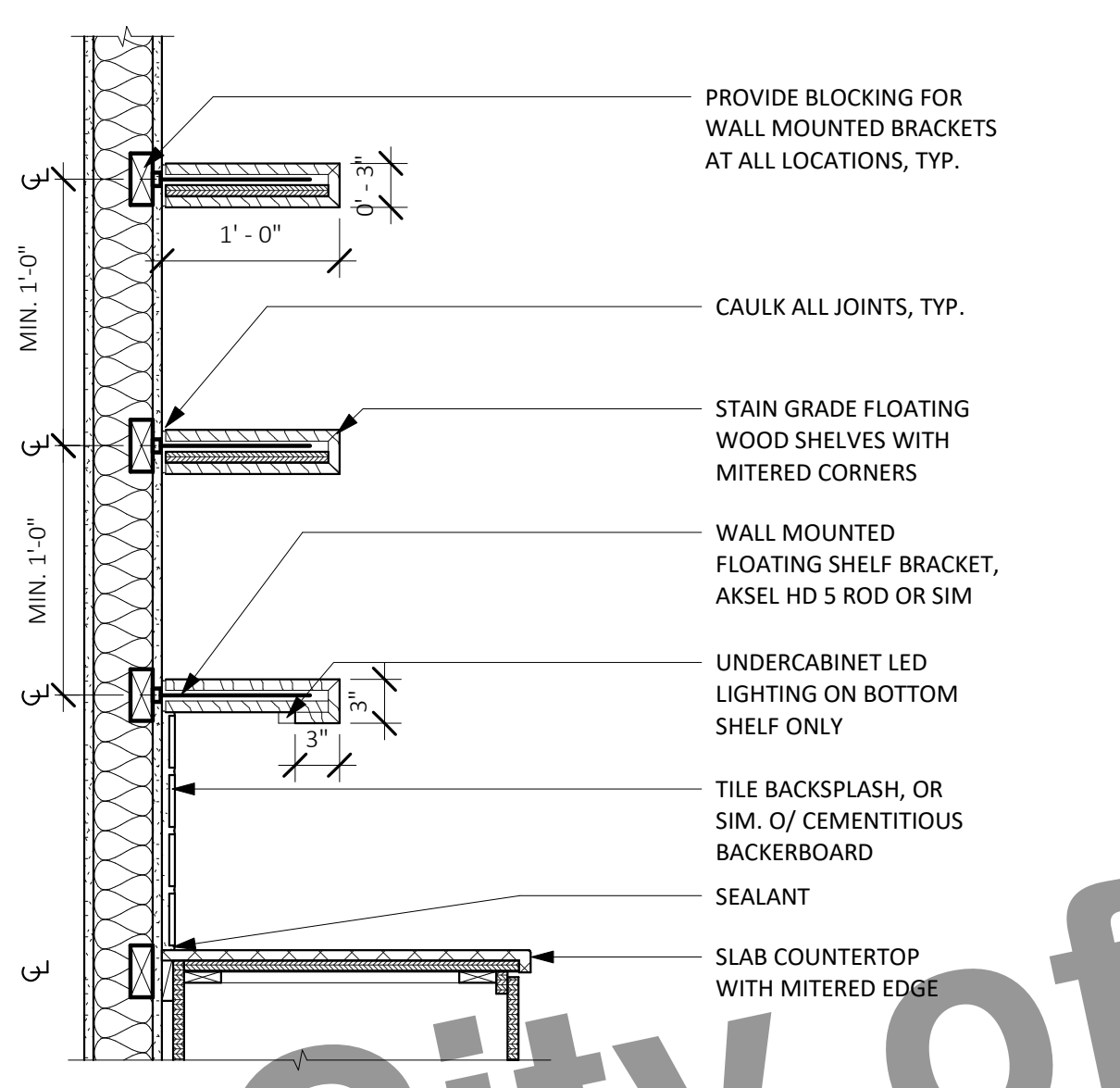
11 TYP. WALL TILE ASSEMBLY
3" = 1'-0"



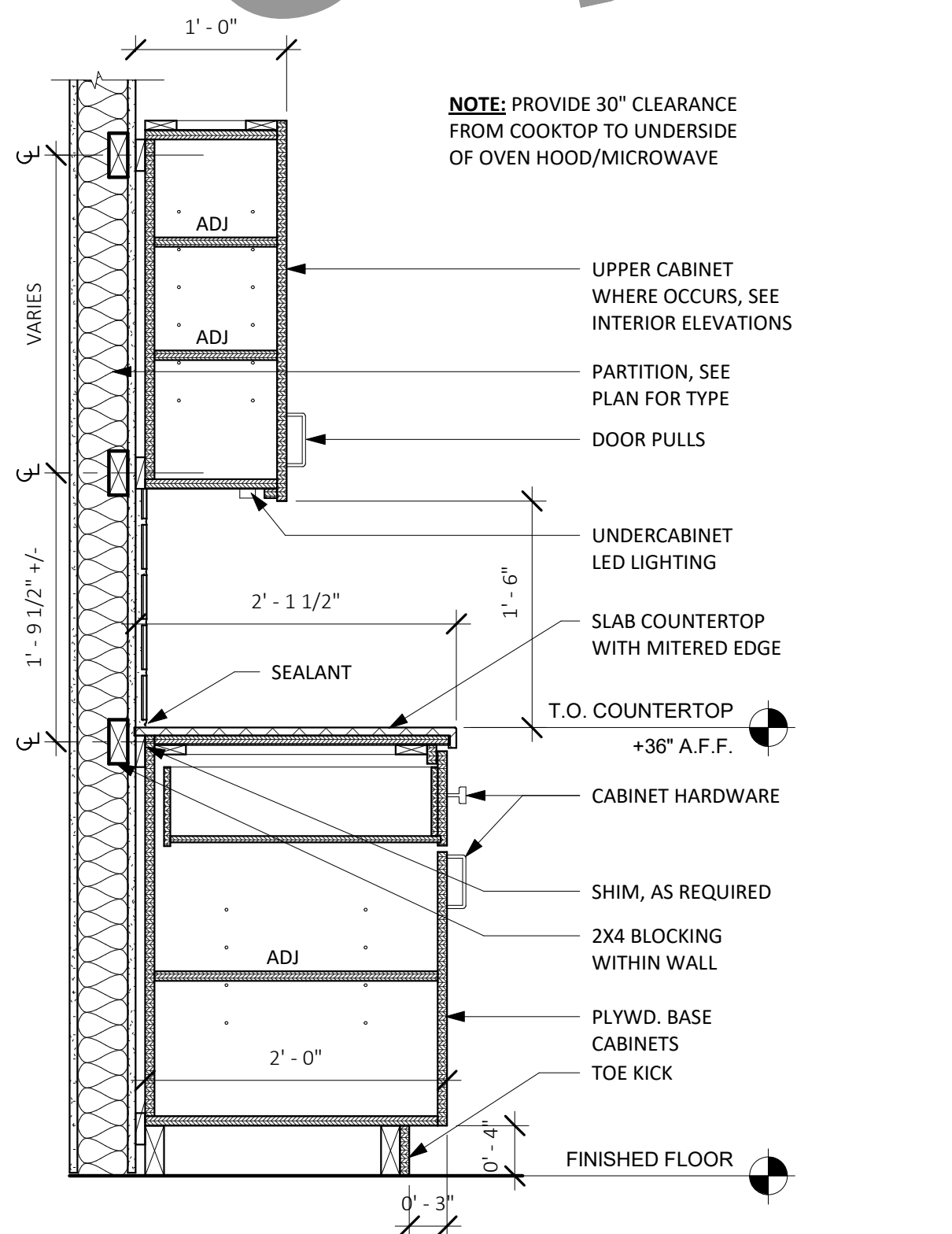
10 TILE AT TUB DECK
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET
1" = 1'-0"

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WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET G0.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - ONE BEDROOM PLUS - COASTAL RANCH							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
3R	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5	SINGLE HUNG	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	1	1'-6"	2'-3"	7'-0"	4'-9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - ONE BEDROOM PLUS - BACKYARD CRAFTSMAN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
2A	AWNING	1	3'-0"	2'-0"	7'-0"	5'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3C	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

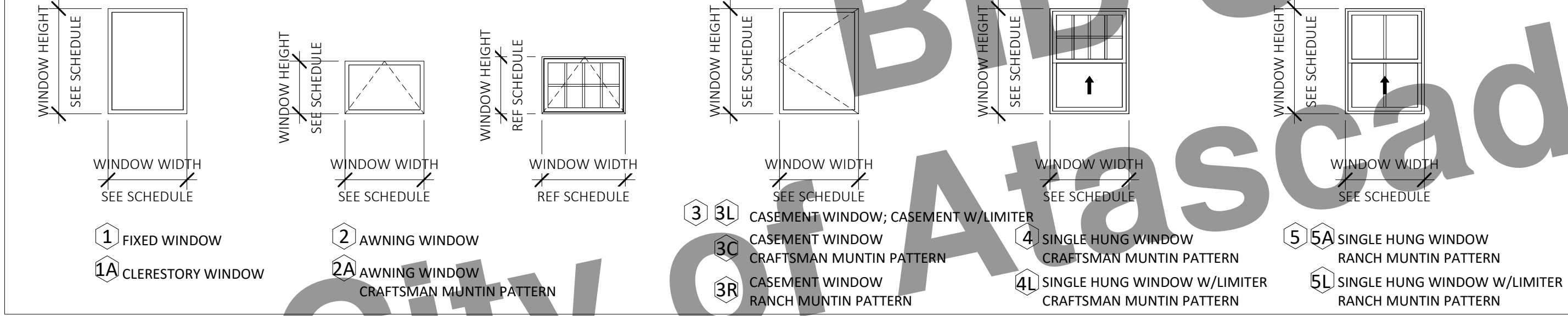
WINDOW SCHEDULE - ONE BEDROOM PLUS - CALIFORNIA MODERN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	8	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	6	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - ONE BEDROOM PLUS - BEACH BUNGALOW							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	3	3'-0"	2'-0"			PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	6	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW MATERIAL LEGEND

FRAME MATERIAL			FRAME FINISH		
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

WINDOW TYPES



GLAZING TYPES

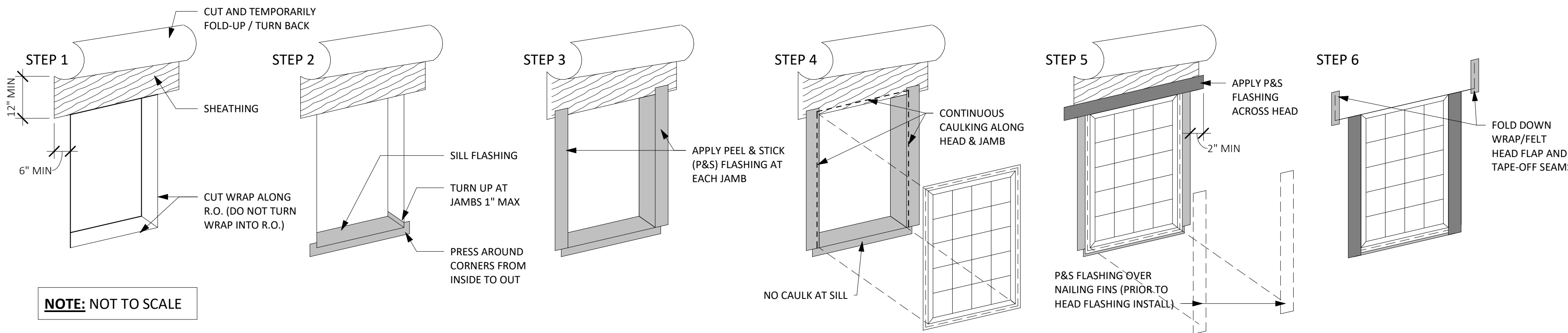
REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

WINDOW FLASHING SEQUENCE



NOTE: NOT TO SCALE

APPLIANCE SCHEDULE - ONE BEDROOM PLUS

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

LIGHTING FIXTURE SCHEDULE - ONE BED PLUS

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			18
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			2

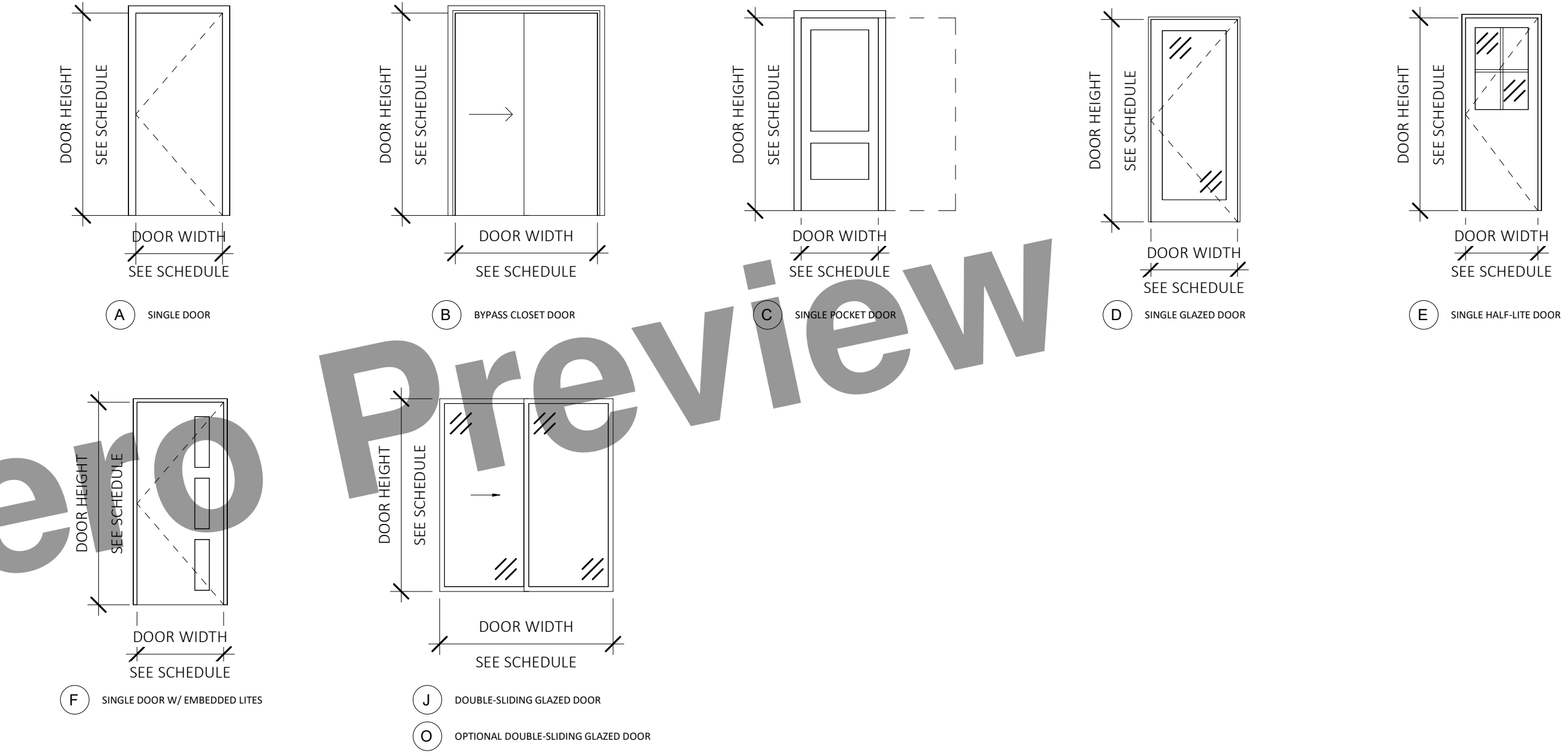
PLUMBING FIXTURE SCHEDULE - ONE BEDROOM PLUS

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN			
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	VANITY WITH SINK/FAUCET			
	TOILET			
	SHOWER OR SHOWER/TUB COMBO			

DOOR SCHEDULE

DOOR SCHEDULE - ONE BEDROOM PLUS																
MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS				DETAILS			HARDWARE GROUP	NOTES	
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB			SILL
A01	M		BEDROOM	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	7/A5.3	PER MFR	PER MFR	4	
D02	A-D-E*	EXTERIOR BACK ENTRY SWING DOOR	GREAT ROOM	2'-6"	6'-8"	0'-2"			GL-2 TEMP			3/A5.2 OR 6/A5.1(WUI)	3/A5.2	1/A5.2 OR 2/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"			GL-2 TEMP			3/A5.2 OR 6/A5.1(WUI)	3/A5.2	1/A5.2 OR 2/A5.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET G0.0. REF. EXT. ELEVATIONS.
A02	A	EXTERIOR WATER HEATER CLOSET DOOR		2'-6"	6'-8"	0'-2"			N/A						PER MFR	REFER MANUFACTURER'S REQUIREMENTS FOR VENTILATION
O02	J	EXTERIOR-OPTIONAL GLAZED SLIDING PATIO DOOR	LIVING/DEN	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT				PER MFR	OPTIONAL DOOR. REF "PROJECT CHECKLIST" SHEET G0.0
B01	B	INTERIOR BYPASS CLOSET DOOR	BEDROOM	3'-6"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
C01	C	INTERIOR POCKET DOOR	BATH	2'-8"	6'-8"	0'-1 1/2"	SC	PTD	N/A	WD	PTD	8/A5.3	PER MFR	PER MFR	3	

DOOR TYPES



DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR	WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED	GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, CLEAR, TEMPERED	HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM	GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT	ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT
/ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

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1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST
PRE-DESIGNED ADU
ONE BEDROOM + DEN
746 GSF

PRINT DATE: XX.XX.XXXX

SCHEDULES - ONE BEDROOM PLUS

A6.0

SCALE: AS NOTED

STRUCTURAL NOTES AND SPECIFICATIONS

PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES, COLLECTORS AND TIES (EN)	FIELD NAILING (FN)	TOP PLATE CONNECTION	MINIMUM FND PLATE THICKNESS	BOTTOM PLATE CONNECTION	ANCHOR BOLTS		ALLOWABLE SHEAR (k/ft)
							SIZE	SPACING (O.C.)	
1	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
3	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING, OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
- ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7" INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS. UNO, THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.
- OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWD SCHEDULED ABOVE.
- PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES.

ABBREVIATIONS			
AB	Anchor Bolt	(E)	Existing
ABV	Above	EA	Each
ACI	American Concrete Institute	EN	Edge Nailing
ALT	Alternate	ENGR	Engineer
APA	American Plywood Association	EXT	Exterior
ARCH	Architect	FLR	Floor
BD	Board	FND	Foundation
BLK(G)	Block(ing)	FOC	Face of Concrete
BLW	Below	FRMG	Framing
BM	Beam	FT	Foot or Feet
BN	Boundary Nailing	FTG	Footings
BP	Base Plate	GALV	Galvanized
BRG	Bearing	GL	Glued Laminated
BTWN	Between	GYP	Gypsum
CBC	CA Building Code	HD	Holddown
CL	Center Line	HDR	Header
CLG	Ceiling	HORIZ	Horizontal
CLR	Clear, Clearance	HT	Height
COL	Column	INT	Interior
CONC	Concrete	JST(S)	Joist(s)
CONN	Connection	MB	Machine Bolt
CONT	Continuous	MI	Malleable Iron
CNTR	Center	MIN	Minimum
CRC	CA Residential Code	(N)	New
DBL	Double	OC	On Center
DF	Douglas Fir	OH	Opposite Hand
DIA	Diameter	OPNG	Opening
DTL	Detail	PAF	Powder Accutated
DWG	Drawing	PL	Plate or Property Line
		PLY	Plywood
		PSP	Pounds per Square Foot
		PSI	Pounds per Square Inch
		PTDF	Preservative Treated
		RDWD	Redwood
		REINF	Reinforcement
		REQD	Required
		RF	Roof
		RM	Room
		RTW	Retaining Wall
		SAD	See Architectural Drawings
		SB	Solid Blocking
		SF	Square Foot
		SIM	Similar
		SPEC	Specifications
		SQ	Square
		SS	Stainless Steel
		STD	Standard
		STL	Steel
		SKYLT	Skylight
		T&B	Top and Bottom
		T&G	Tongue and Groove
		TOC	Top of Concrete
		TOW	Top of Wall
		TR	Threaded Rod
		TYP	Typical
		UNO	Unless Noted Otherwise
		VIF	Verify In Field
		Ø	Diameter

A. DESIGN CRITERIA

- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA BUILDING CODE (CBC)
- FLOOR LIVE LOAD = 40 PSF
- ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA:
V₁₋₁₀ = 91 MPH (V₁₀₀ = 71 MPH), EXPOSURE D
- SEISMIC DESIGN DATA:
SITE CLASS = D (DEFAULT)
S₁ = 1.096, S₂ = 0.403
SEISMIC DESIGN CATEGORY = D
SEISMIC FORCE RESISTING SYSTEM:
LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS, THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED, THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

- FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

D. CONCRETE

- POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER.
- CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

- ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

- DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WMPA GRADING RULES, LATEST EDITION.
SILLS.....PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS.....UP TO 4x - DF NO. 2
8x - DF NO. 1
STUDS AND BLOCKING.....DF STANDARD, NO. 2 OR BETTER
POSTS AND DOUBLE TOP PLATES.....DF NO. 1
GLULAM BEAMS.....DF 24F-14

- ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLIES SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

REVISION SCHEDULE		
REV	DATE	BY
1	7-14-23	CT

STRUCTURAL ENGINEERING

CM Taylor

CM Taylor Structural Engineering, Inc. 4246 Capitola Rd., Suite 204, Capitola, CA 95010
Phone: 831-854-2484
email: contact@cmtyl.com

CENTRAL COAST STOCK ADU

FOR THESE DRAWINGS, THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE FOLLOWING CONDITIONS:
1. THE USE OF THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS IS BASED ON THE ASSUMPTION THAT THE EXISTING FOUNDATION IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND THE CALIFORNIA FOUNDATION DESIGN MANUAL, LATEST EDITION.
2. THE EXISTING FOUNDATION IS NOT TO BE EXCAVATED OR ALTERED IN ANY MANNER THAT WOULD AFFECT THE FOUNDATION DESIGN.
3. THE EXISTING FOUNDATION IS NOT TO BE EXCAVATED OR ALTERED IN ANY MANNER THAT WOULD AFFECT THE FOUNDATION DESIGN.
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25. THE EXISTING FOUNDATION IS NOT TO BE EXCAVATED OR ALTERED IN ANY MANNER THAT WOULD AFFECT THE FOUNDATION DESIGN.

PROFESSIONAL ENGINEER - CIVIL

CHAMEL TAYLOR

EXPIRES 03/31/25

STATE OF CALIFORNIA

STRUCTURAL NOTES

DATE: 11-18-2022

JOB NO: 21091

SHEET

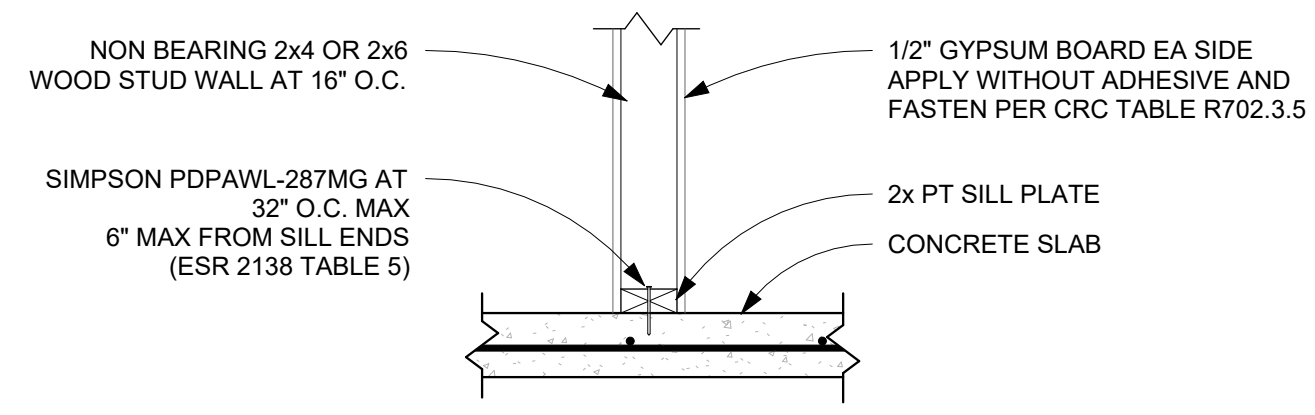
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REV	DATE	BY
1	7-14-23	CT

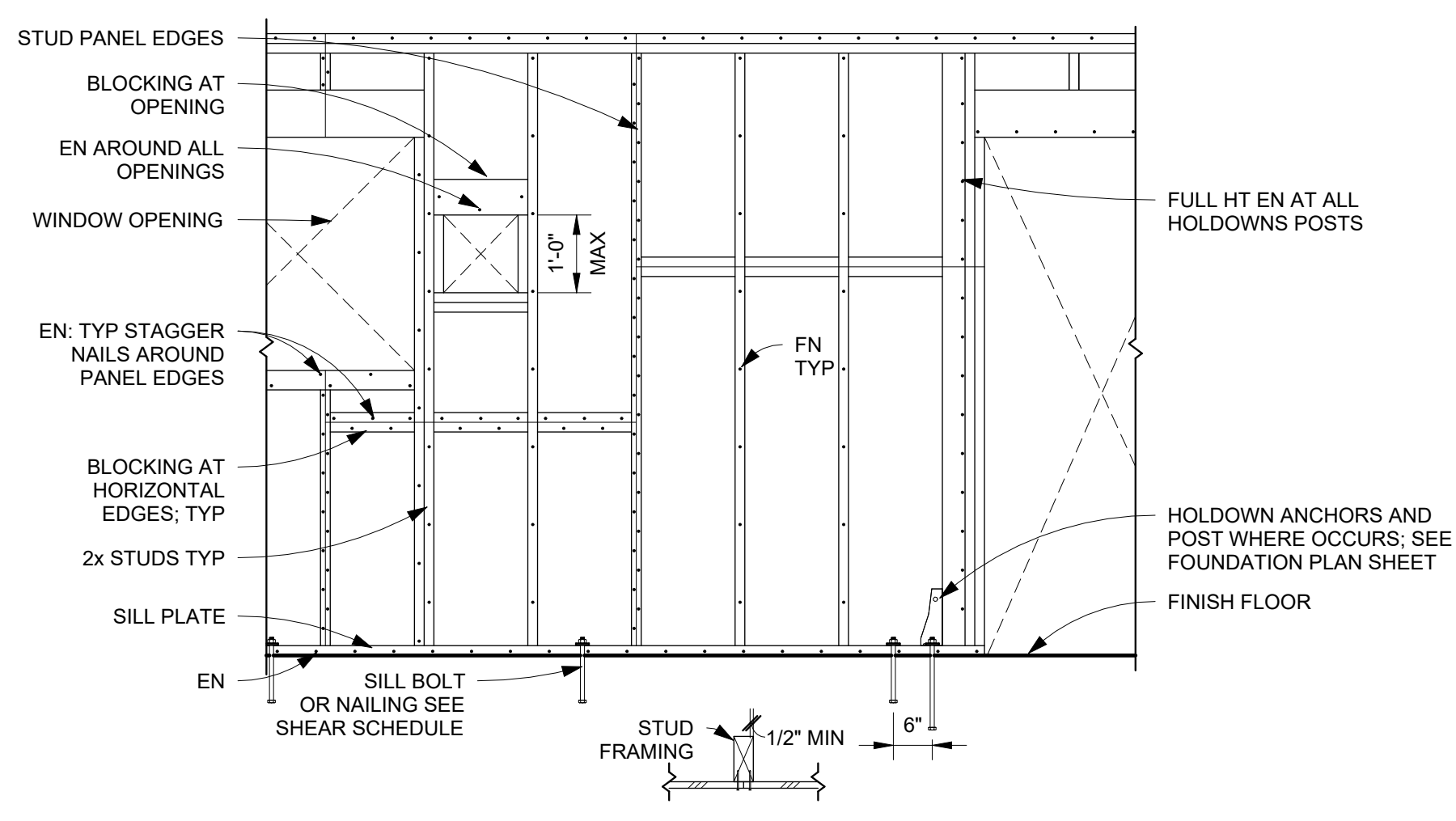
STRUCTURAL ENGINEERING
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 Phone: 831-854-2484
 email: contact@cmtylors.com

CENTRAL COAST STOCK ADU
 PROJECT NO. 21091
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

TYPICAL DETAILS
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

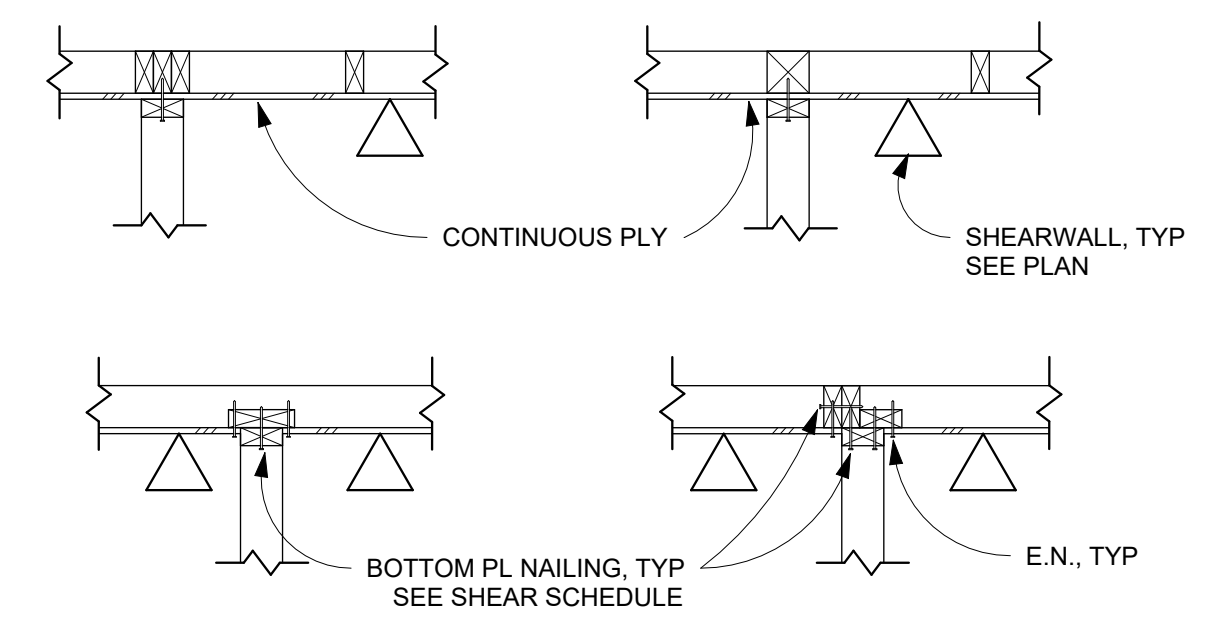


NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB
 8
 S0.1 1" = 1'-0"

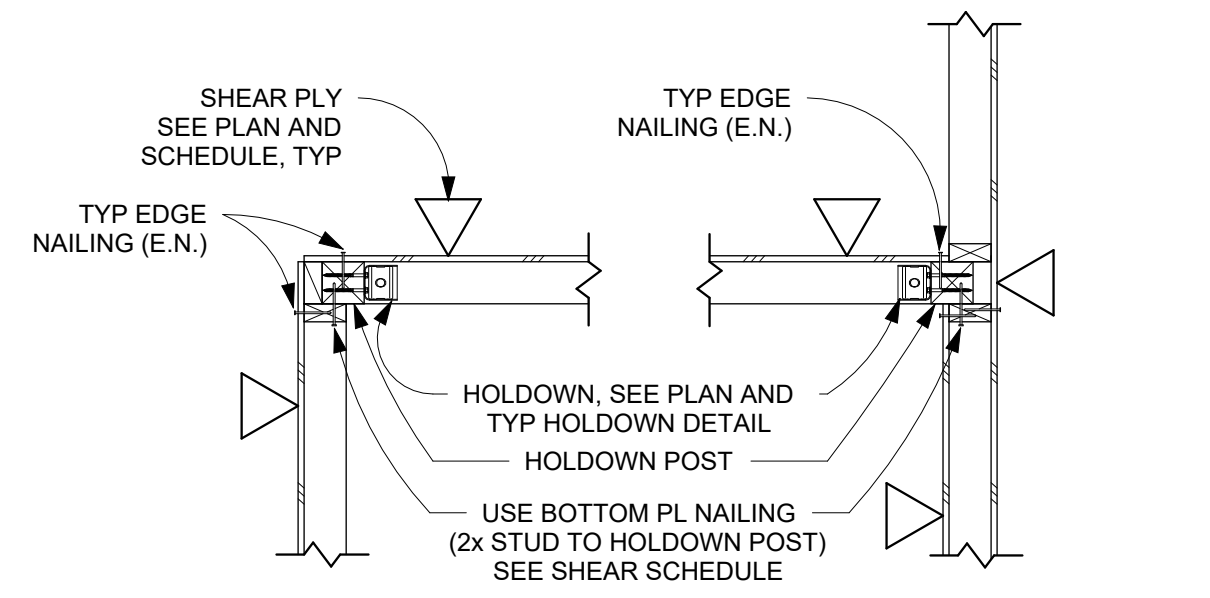


- NOTES:
- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
 - (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLD-DOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
 - WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
 - SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
 - SEE PLAN FOR SHEARWALL SCHEDULE.
 - THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY.

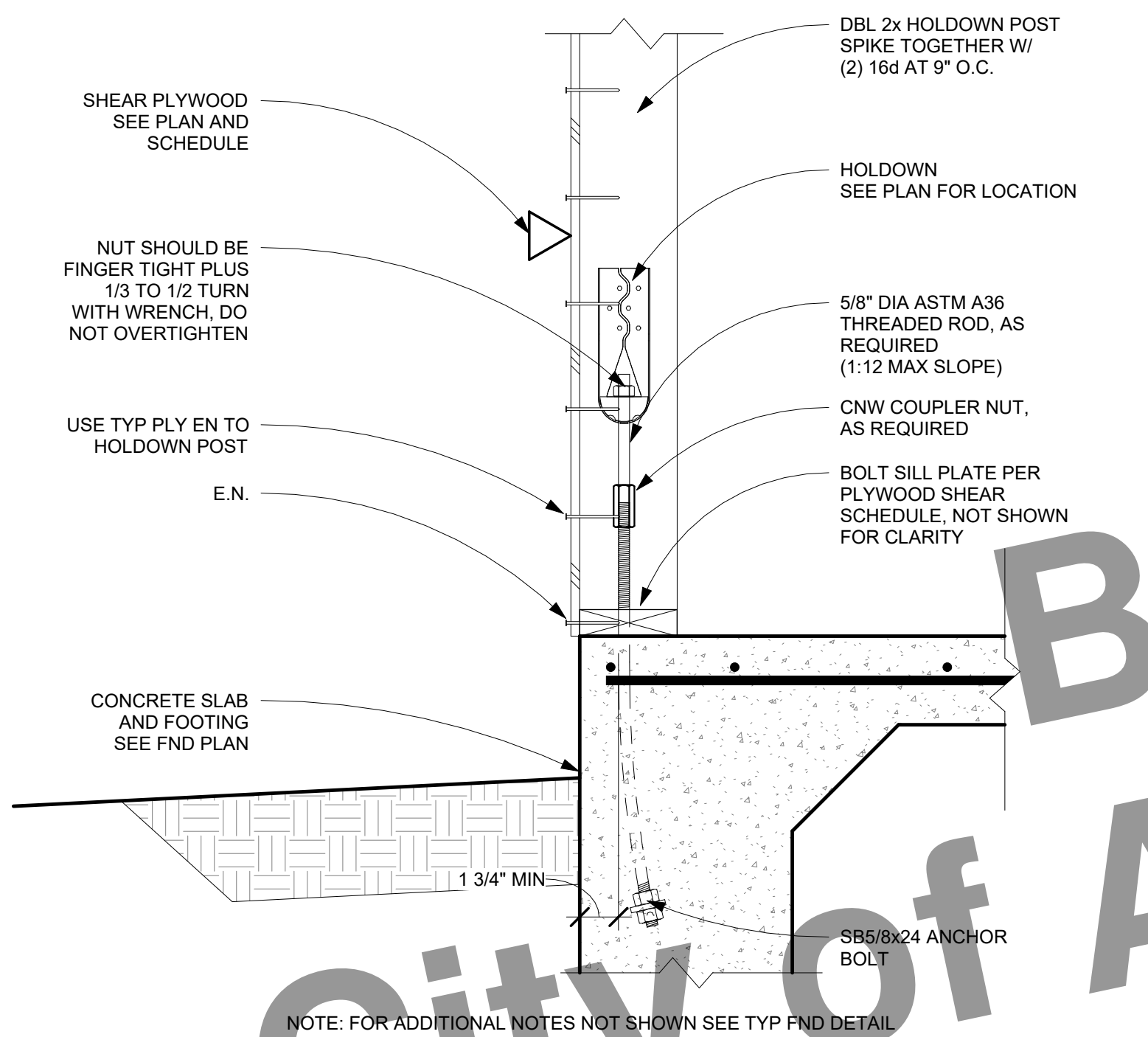
TYP SHEAR WALL FRAMING
 5
 S0.1 1/2" = 1'-0"



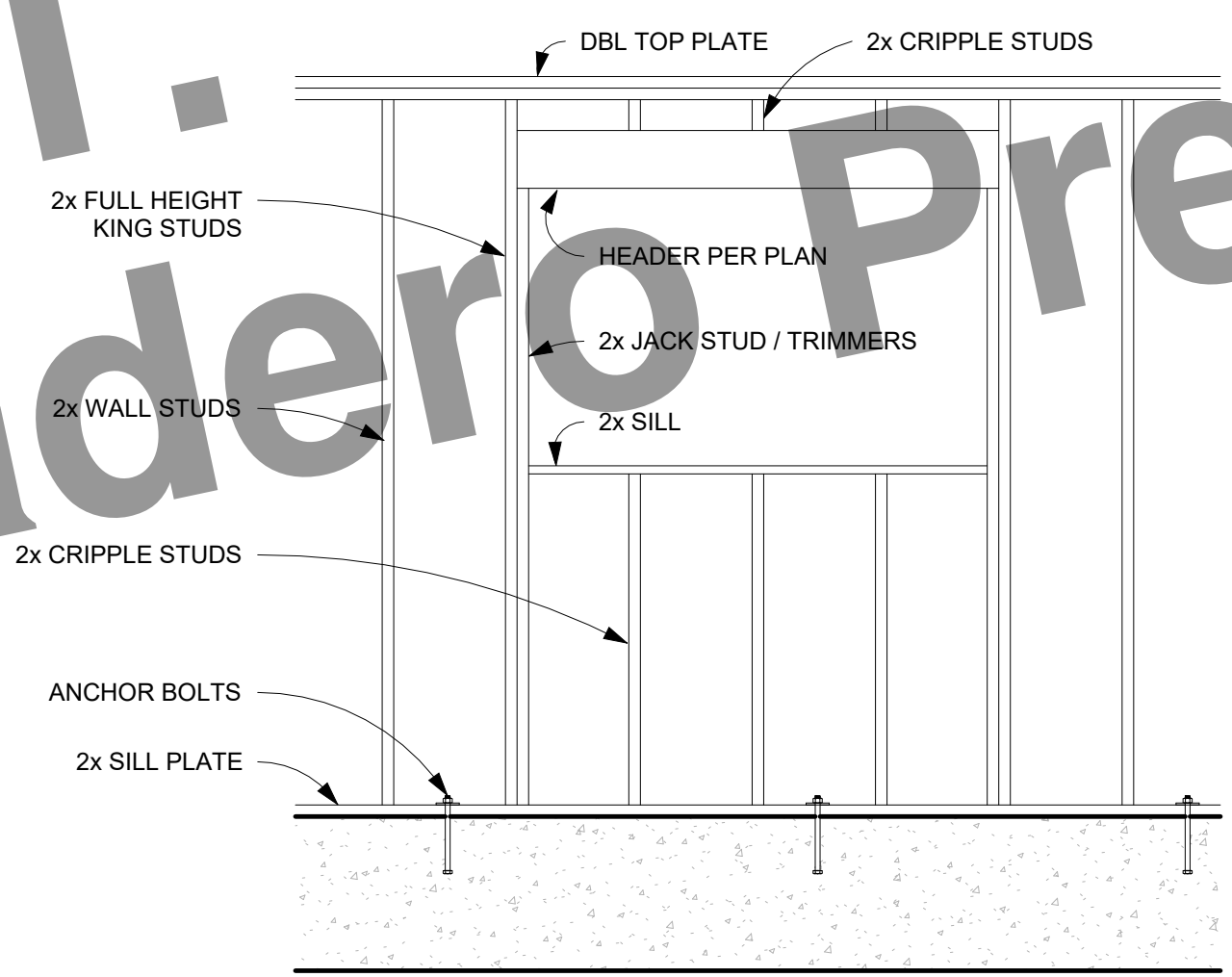
CONT SHEAR WALL PLAN DETAIL
 1
 S0.1 3/4" = 1'-0"



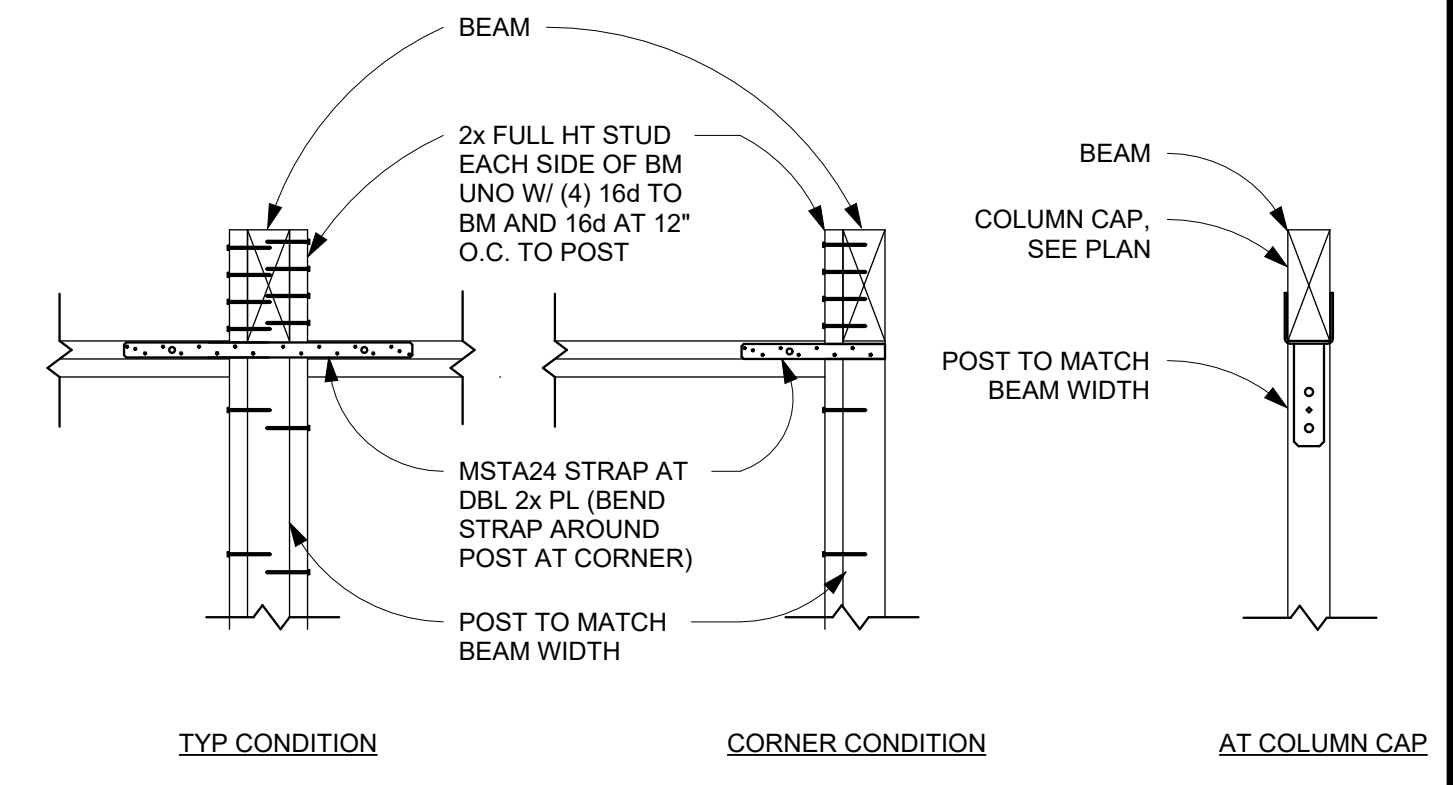
INTERSECTING SHEAR WALL AND HOLDOWN POST DETAIL
 2
 S0.1 3/4" = 1'-0"



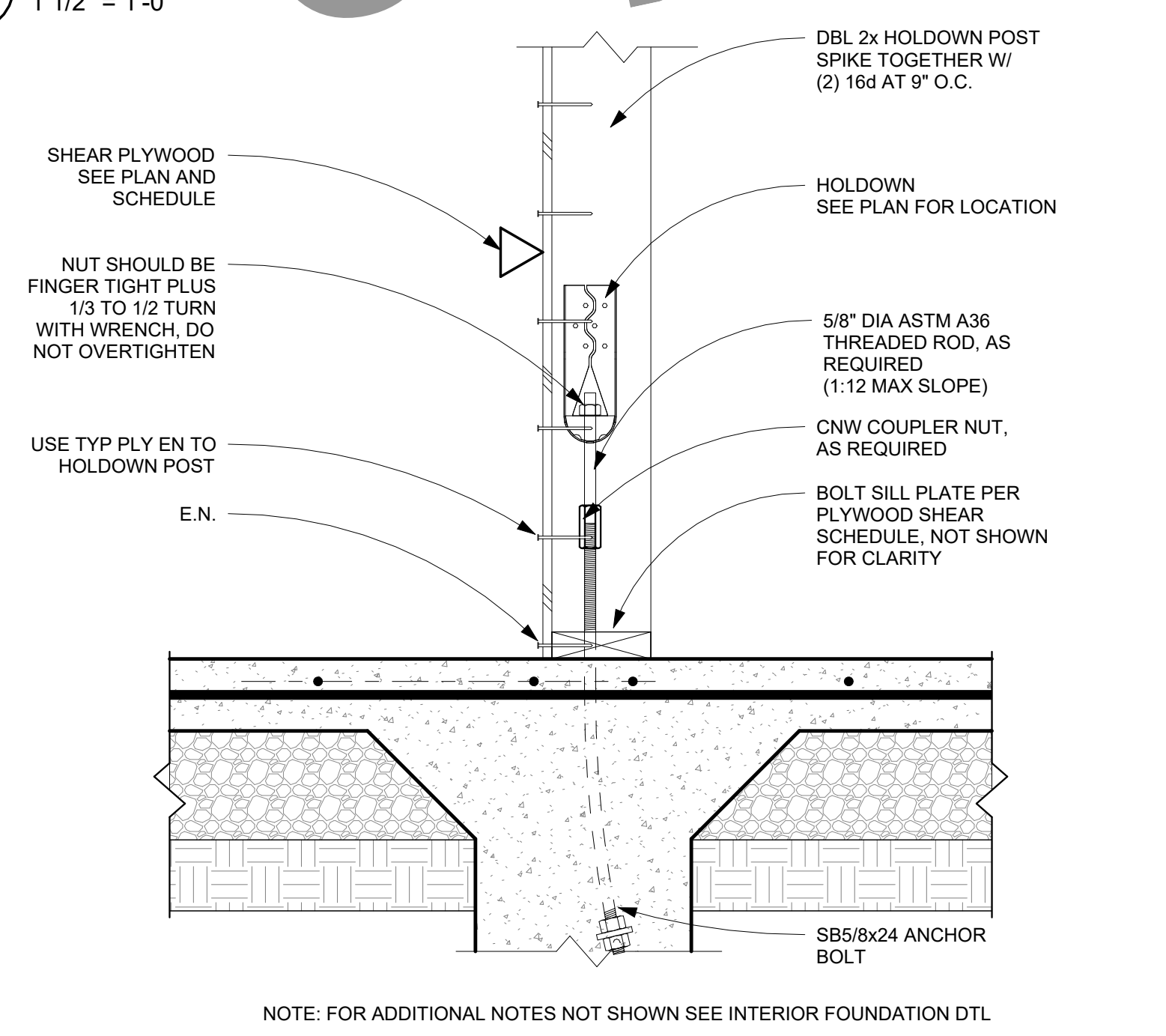
TYP HOLDOWN AT PERIM FTG
 9
 S0.1 1 1/2" = 1'-0"



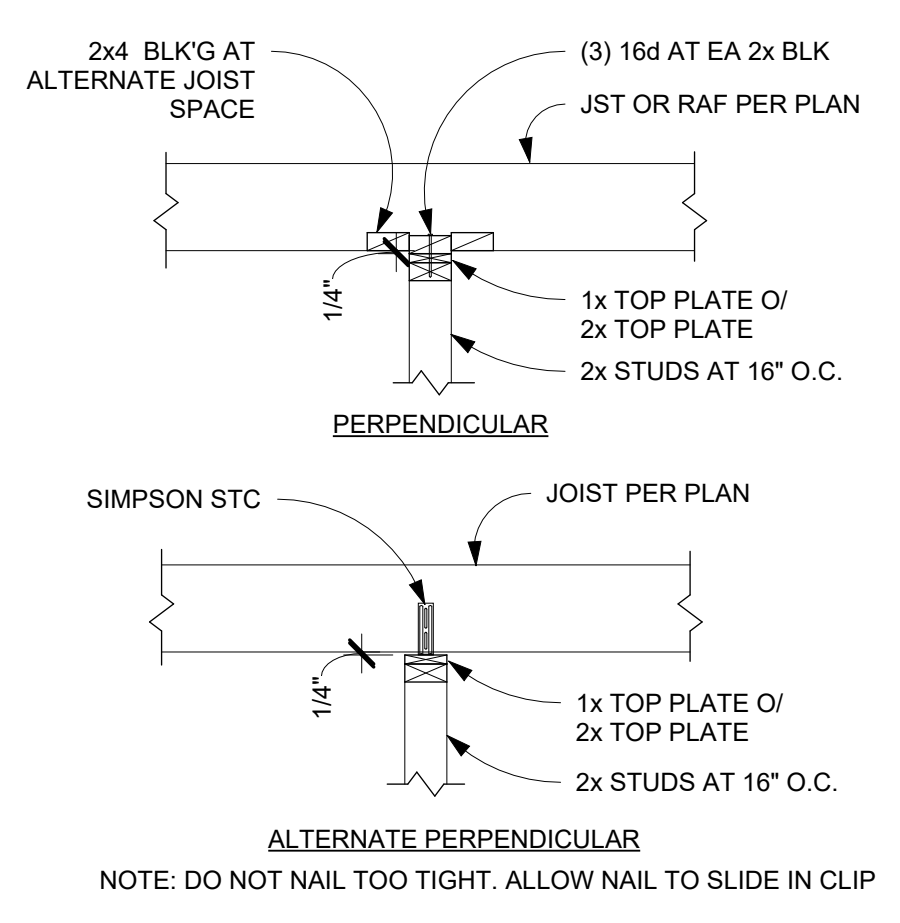
TYP WALL FRAMING
 6
 S0.1 1/2" = 1'-0"



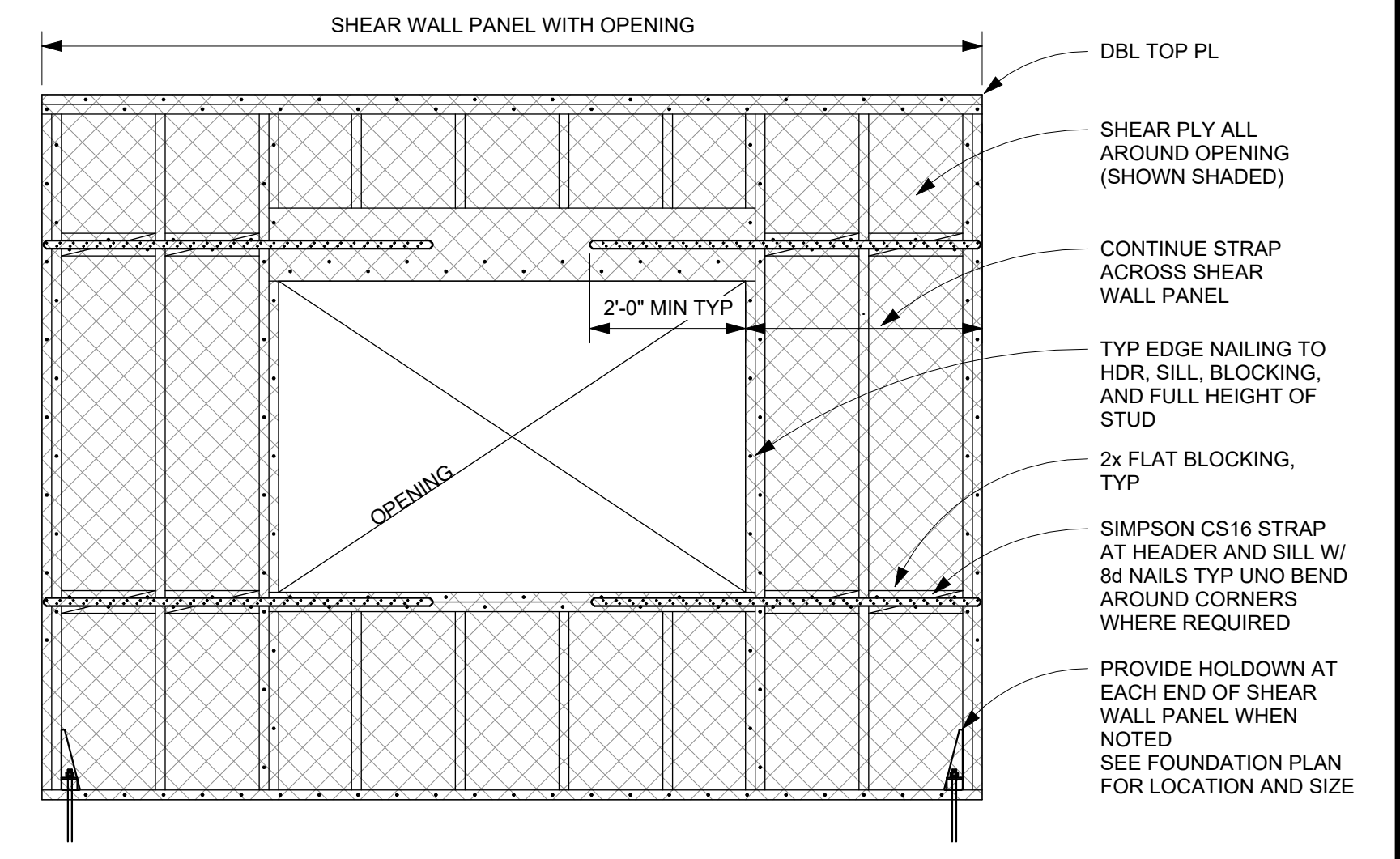
TYPICAL POST TO BEAM CONN
 3
 S0.1 3/4" = 1'-0"



TYP HOLDOWN AT INTERIOR FOOTING
 10
 S0.1 1 1/2" = 1'-0"



NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP
 7
 S0.1 3/4" = 1'-0"



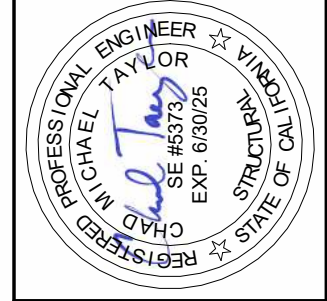
STRAP AROUND OPENING
 4
 S0.1 1/2" = 1'-0"

- NOTES:
- PLACE STRAPS OVER PLYWOOD
 - HOLD-DOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED. SEE FRAMING PLAN

REV	DATE	BY
1	7-14-23	CT

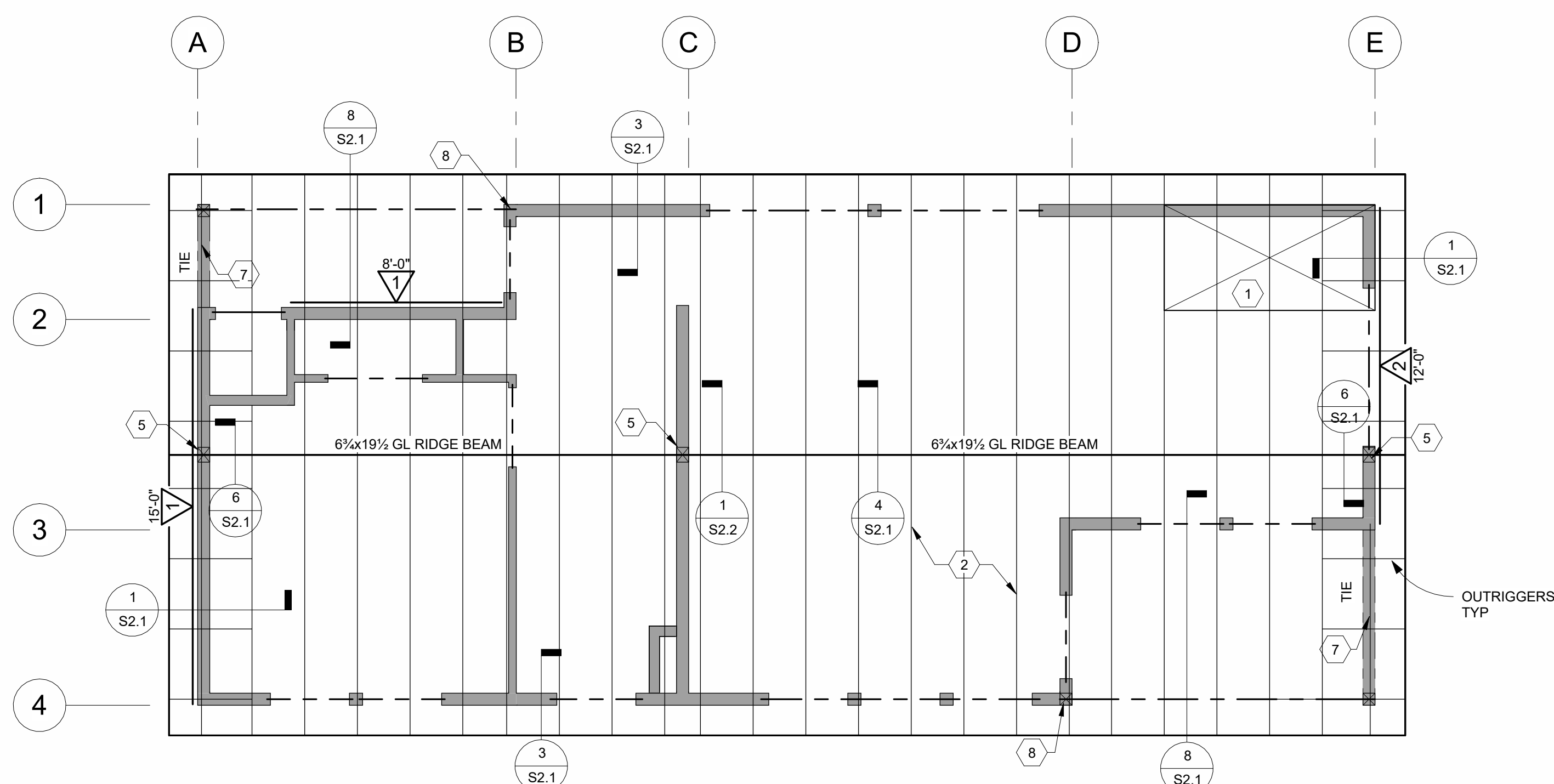
STRUCTURAL ENGINEERING
CM Taylor
 C.M. Taylor Structural Engineering, Inc. 7426 Capitola Rd. Suite 204, Capitola, CA 95010
 Phone: 831-854-2484
 email: contact@cmtylors.com

CENTRAL COAST STOCK ADU
 CITY OF ATASCADERO PREVIEW
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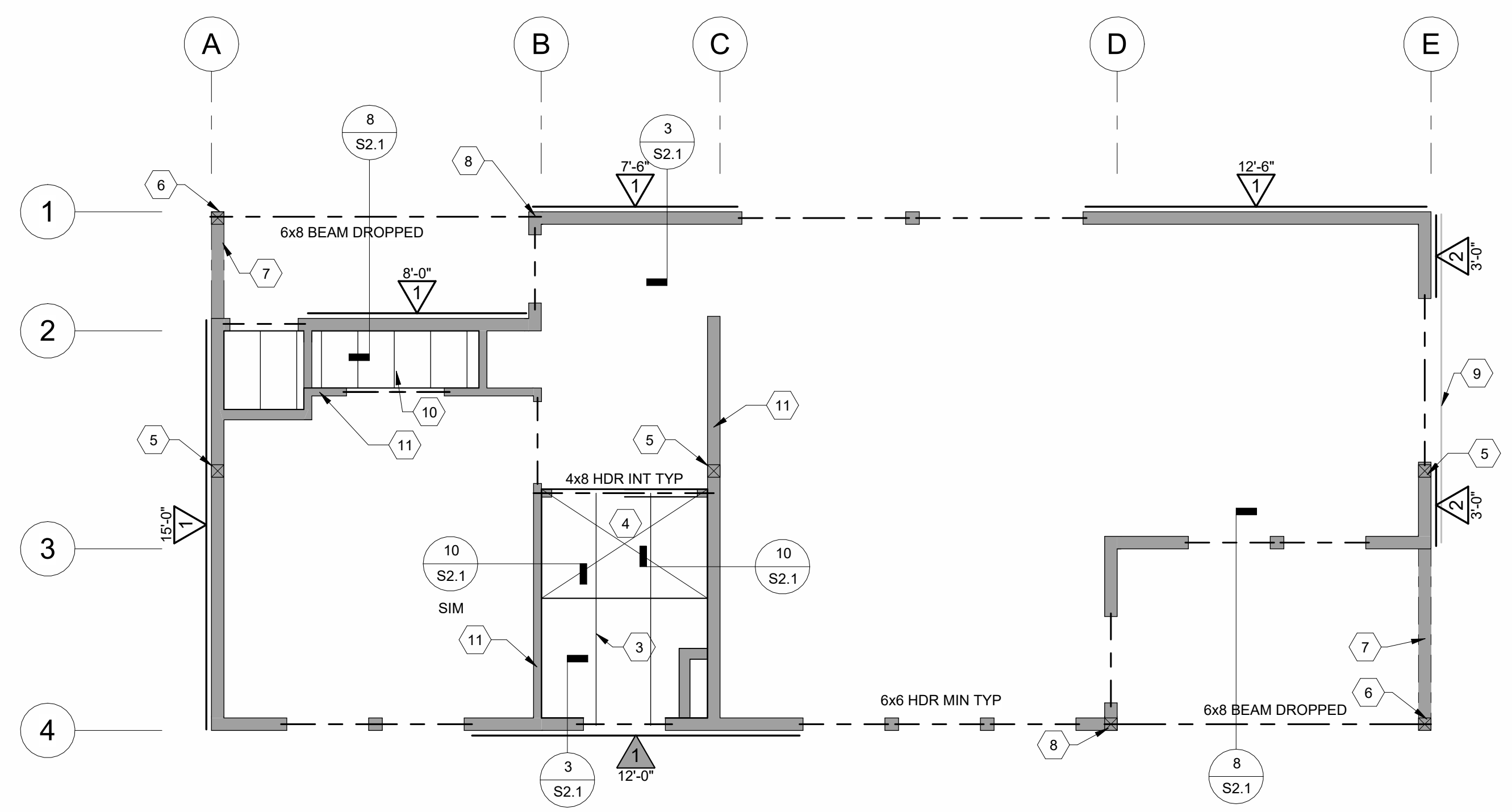


ONE BEDROOM PLUS
 ROOF/CEILING FRAMING
 AND FOUNDATION PLAN

DATE: 11-18-2022
 JOB NO: 21091
 SHEET
S1.0



ONE BEDROOM PLUS STUDIO ROOF FRAMING PLAN
 1/4" = 1'-0"



ONE BEDROOM PLUS STUDIO CEILING FRAMING PLAN
 1/4" = 1'-0"

ONE BEDROOM PLUS ROOF & CEILING FRAMING PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD. SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 16" O.C.
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x8 RIPPED RIDGE POST
6	6x6 POST WITH EPC62 OR ECC66 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	6x6 FULL HEIGHT POST
9	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x8 BEAM UNDER DBL TOP PLATE
10	STRAP ACROSS HEADER WITH CS16 HEADER PROVIDE BLOCKING SEE DETAIL 4/S0.1 SIM
11	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
12	FULL HEIGHT WALLS

LEGEND

①	KEYNOTE TAG. SEE KEYNOTE TABLES
△	HOLDOWN TAG. SEE HOLDOWN SCHEDULE
1'-0"	SHEARWALL TAG
1'-0"	PERFORATED SHEARWALL TAG SEE DETAIL 4 / S0.1
□	HOLDOWN POST
---	WALL ABOVE
---	WALL BELOW

ROOF AND CEILING/LOFT FRAMING NOTES

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY △ ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE △.
- CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

FOUNDATION PLAN NOTES

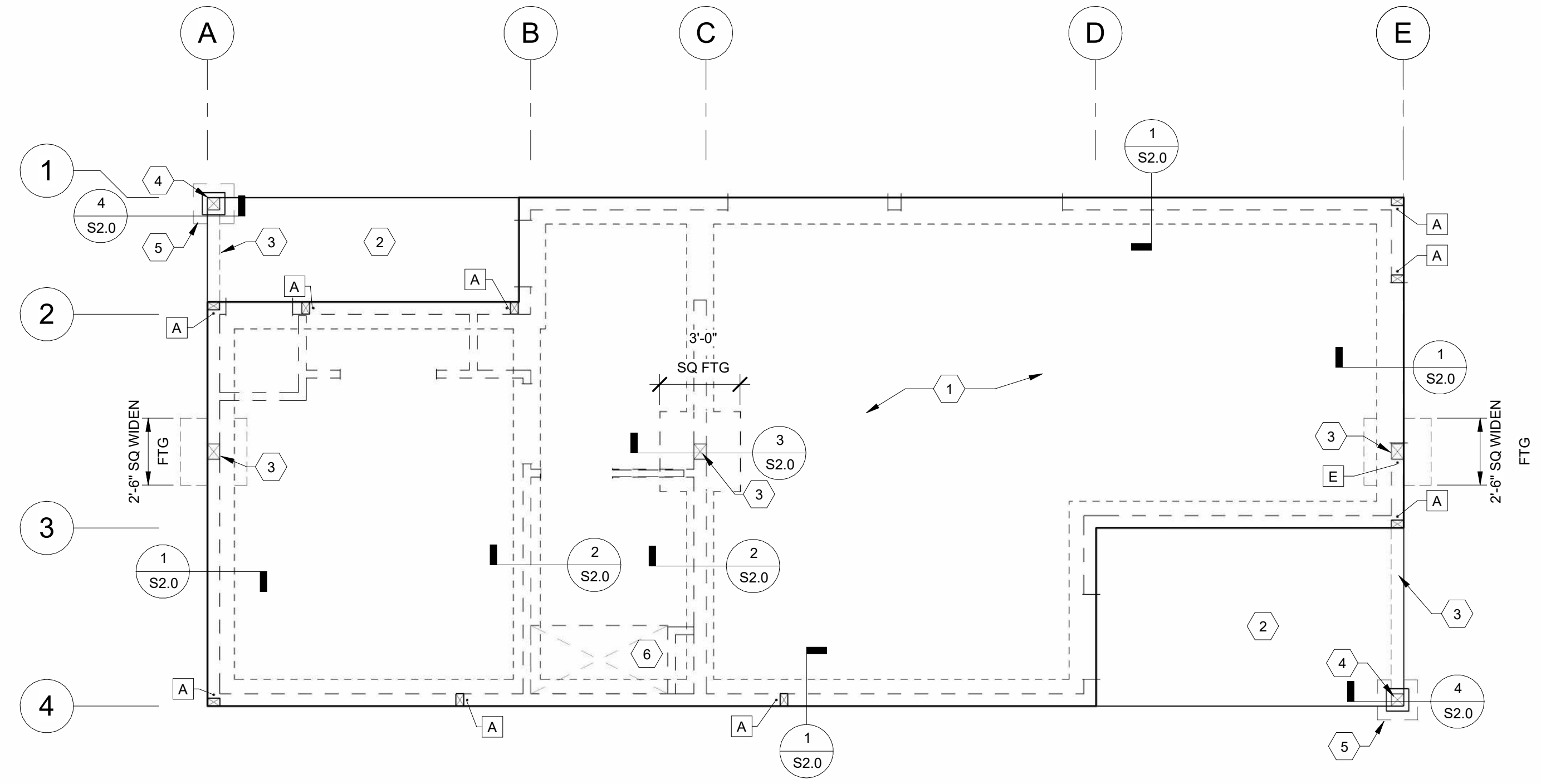
- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

ONE BEDROOM PLUS FOUNDATION PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	POST ABOVE
4	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
5	6x6 POST WITH PBS66 OR CBS66
6	ISOLATED PEDESTAL AND FOOTING
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

HOLDOWN SCHEDULE

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1

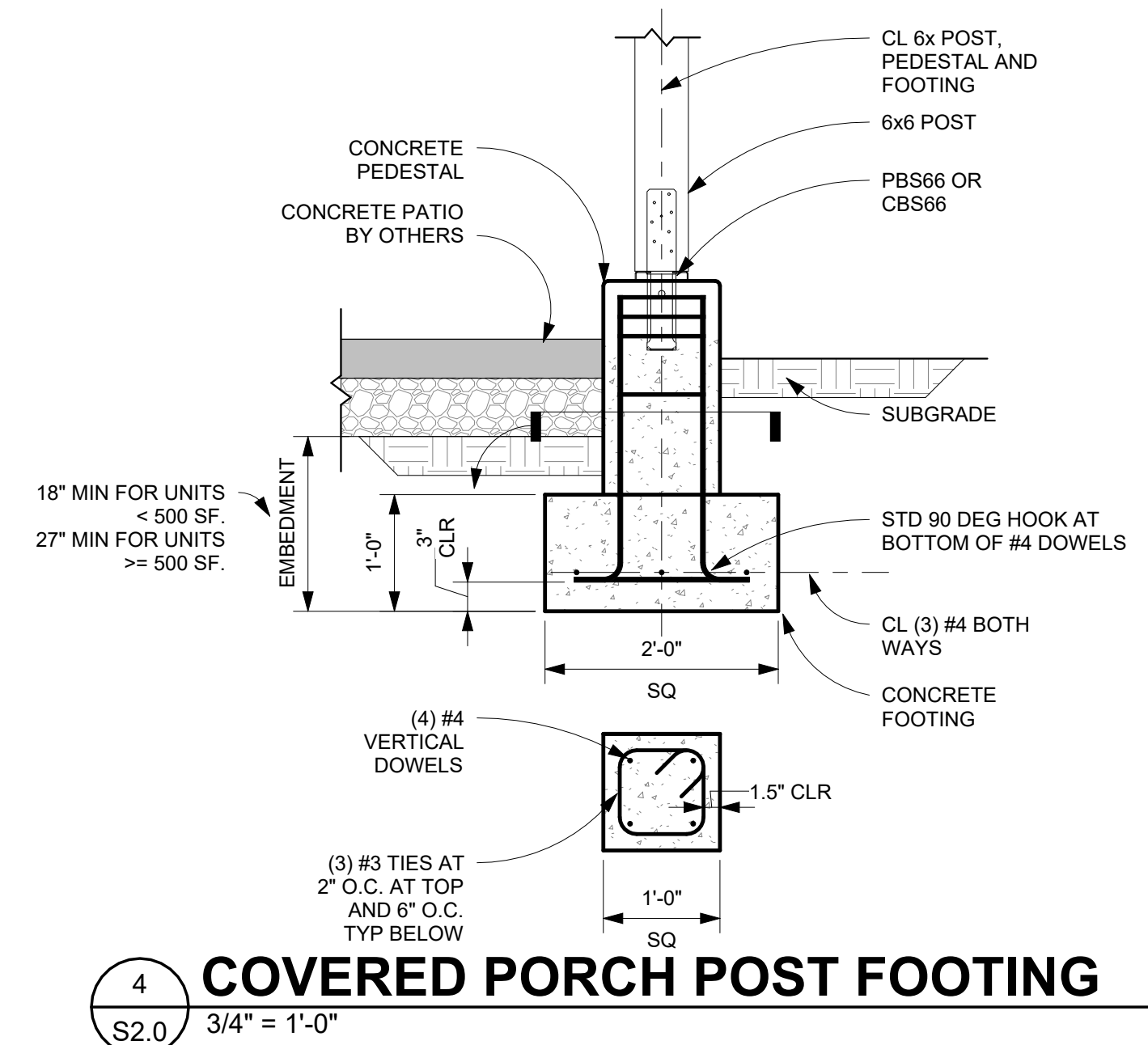


ONE BEDROOM PLUS STUDIO FOUNDATION PLAN
 1/4" = 1'-0"

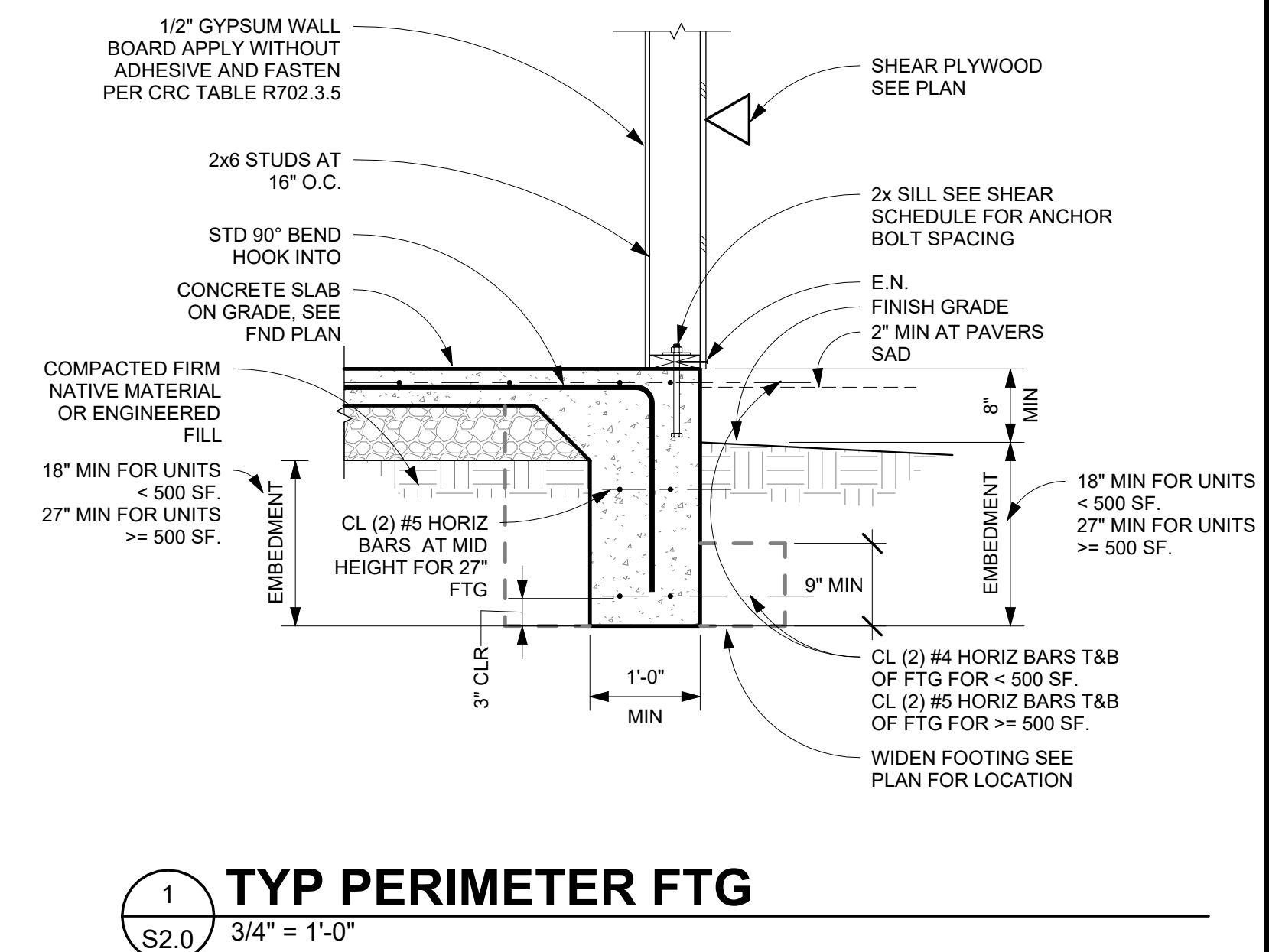
City of Atascadero

BID SET.

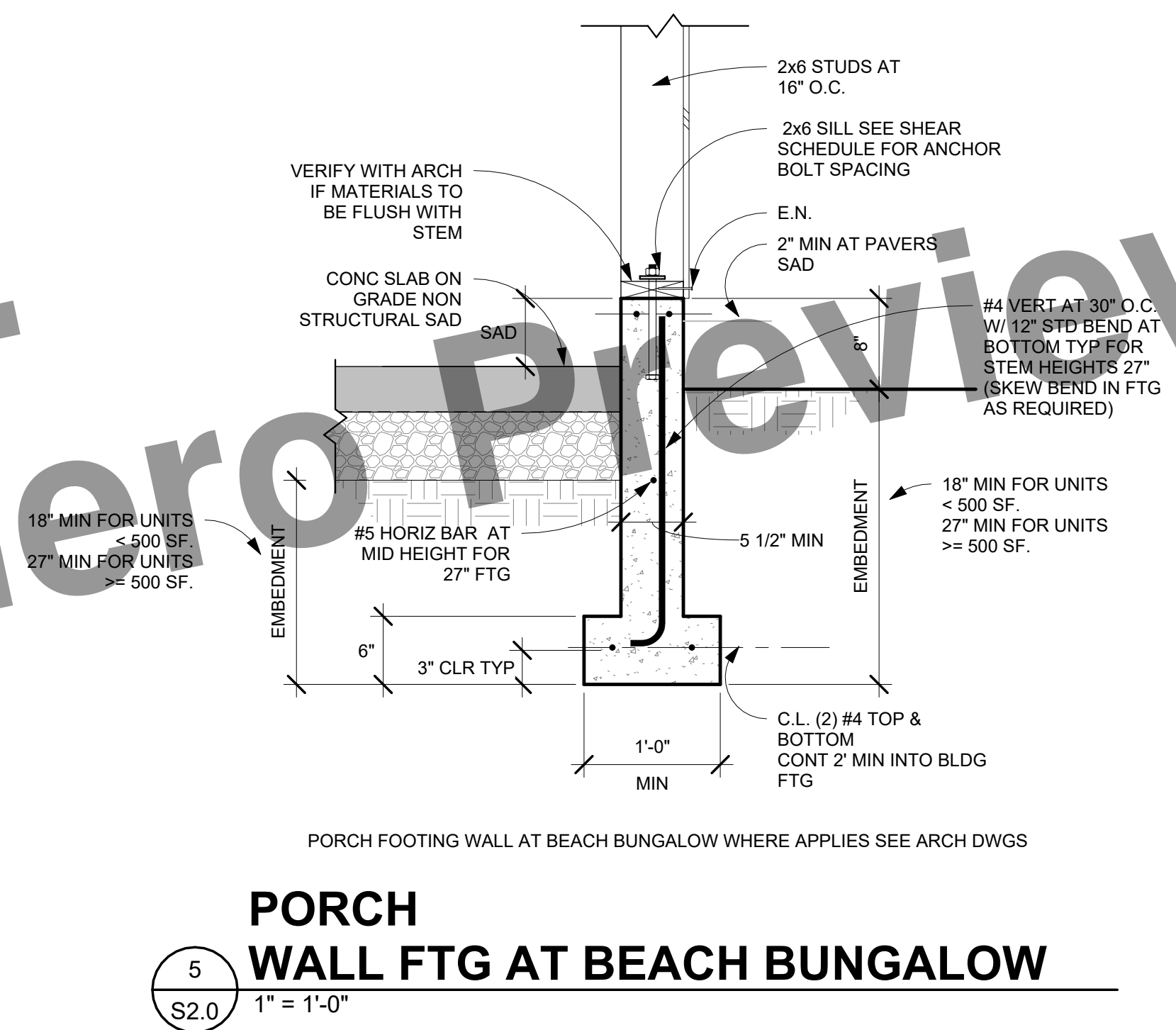
Preview



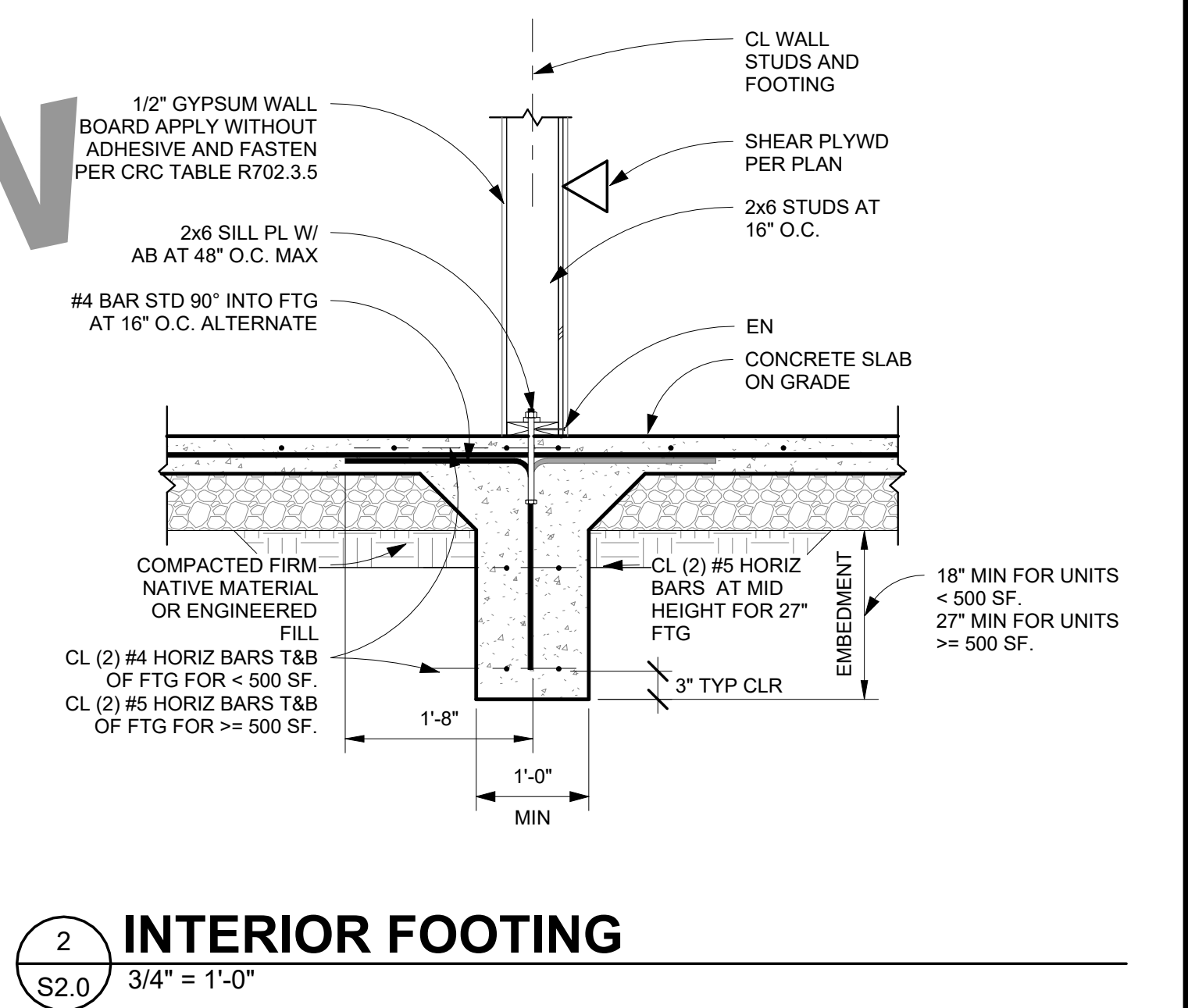
4 COVERED PORCH POST FOOTING
S2.0 3/4" = 1'-0"



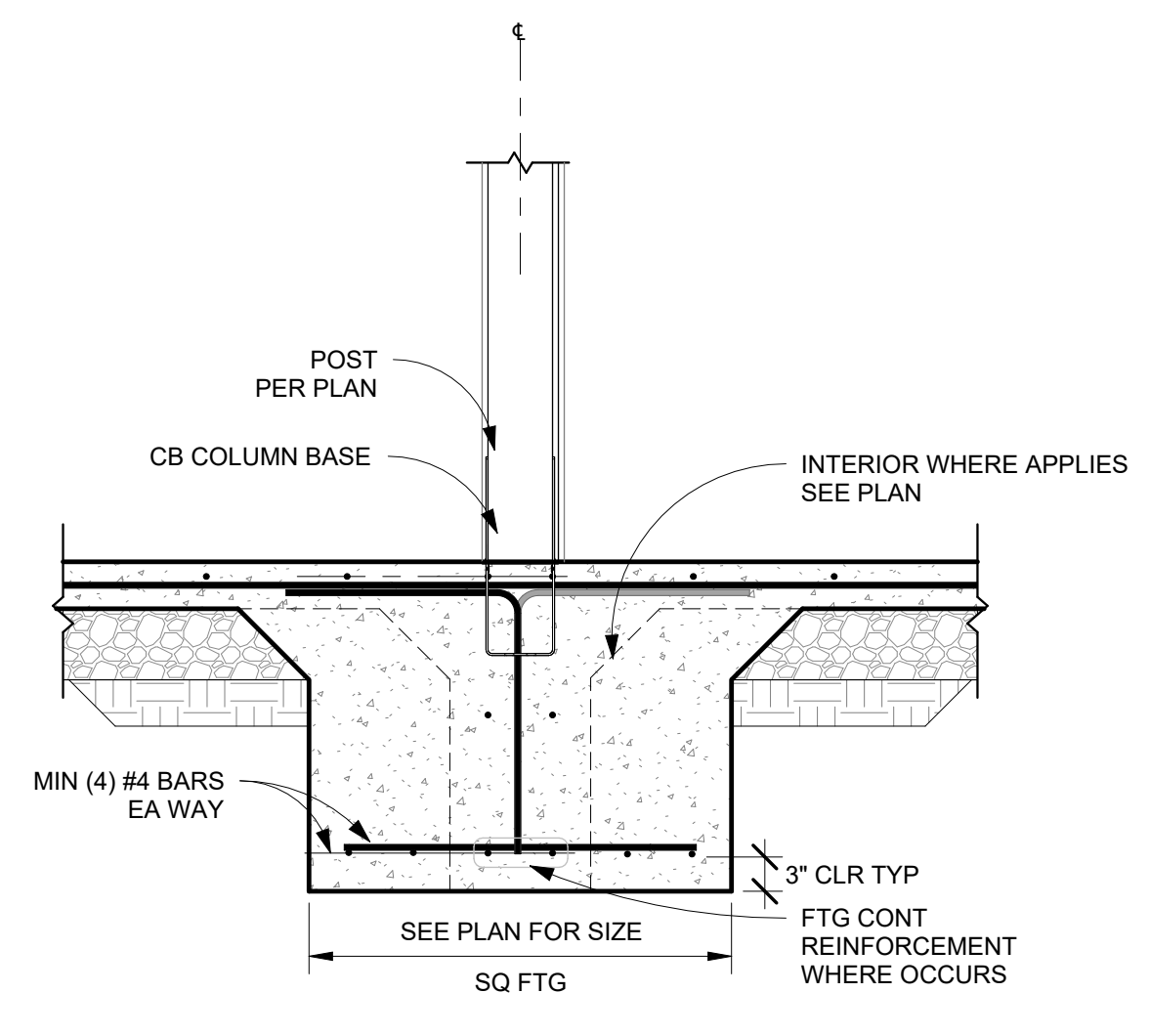
1 TYP PERIMETER FTG
S2.0 3/4" = 1'-0"



5 PORCH WALL FTG AT BEACH BUNGALOW
S2.0 1" = 1'-0"



2 INTERIOR FOOTING
S2.0 3/4" = 1'-0"



3 INTERIOR PAD FOOTING
S2.0 3/4" = 1'-0"

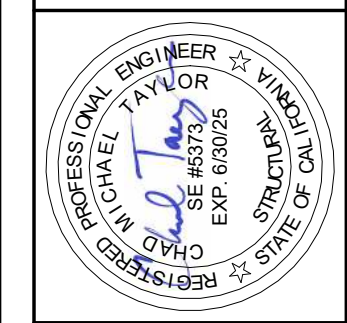
NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

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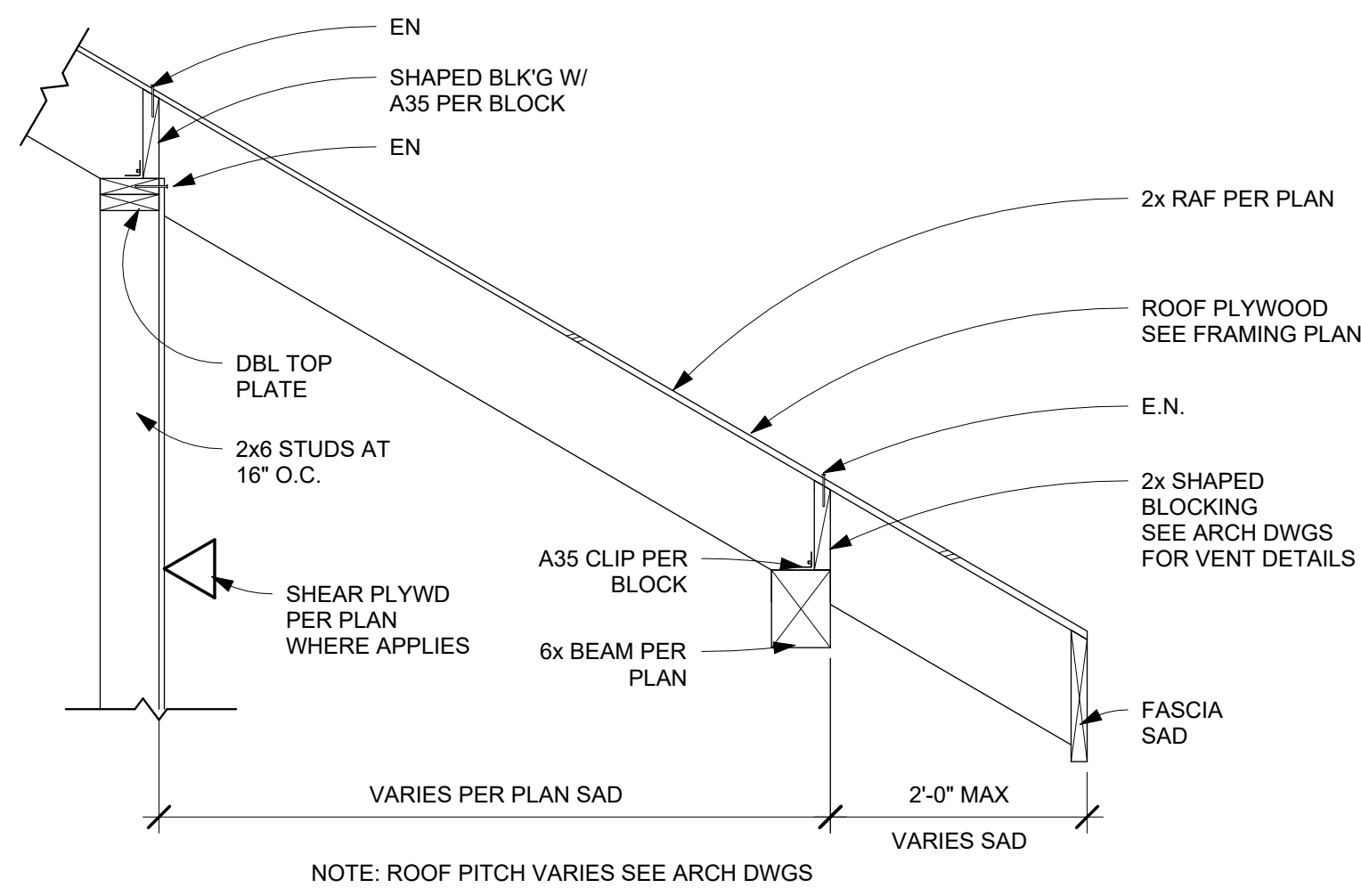
CENTRAL COAST STOCK ADU

BY USING THESE FOUNDATION ADU PLANS, THE RECIPIENT ASSUMES RESPONSIBILITY FOR THE FOLLOWING CONDITIONS:
1. THE USER SHALL VERIFY ALL LOCAL ORDINANCES AND REGULATIONS APPLICABLE TO THE PROJECT AND OBTAIN ALL NECESSARY PERMITS.
2. THE RECIPIENT SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER AND SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.
3. THE RECIPIENT SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ENGINEER AND SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.
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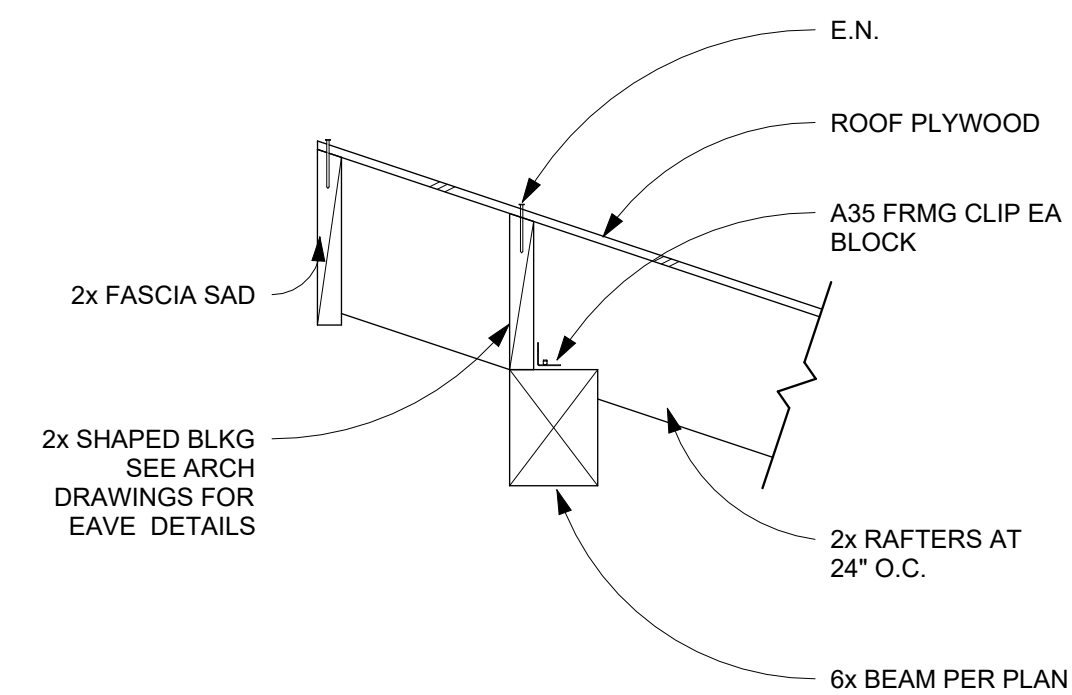
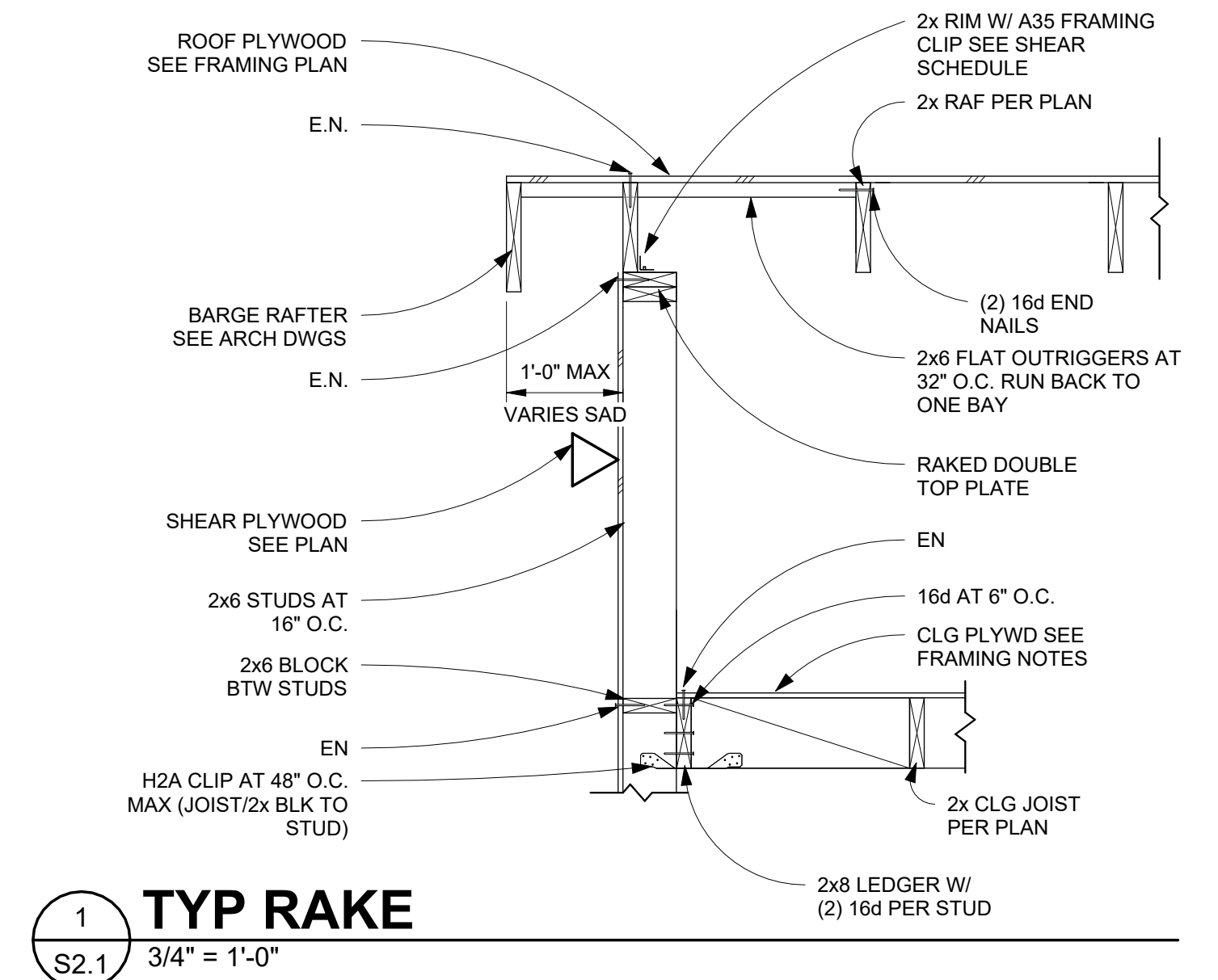
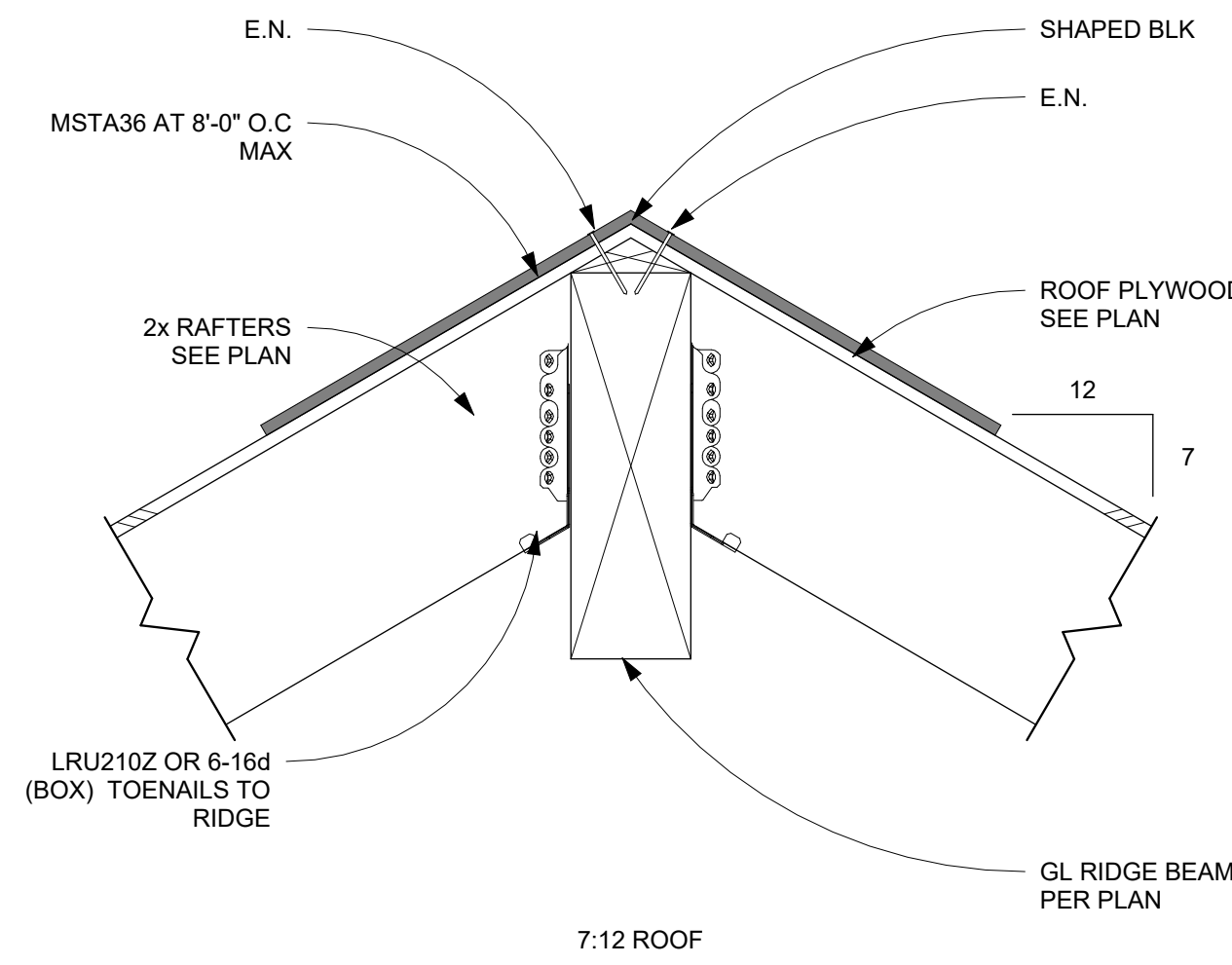
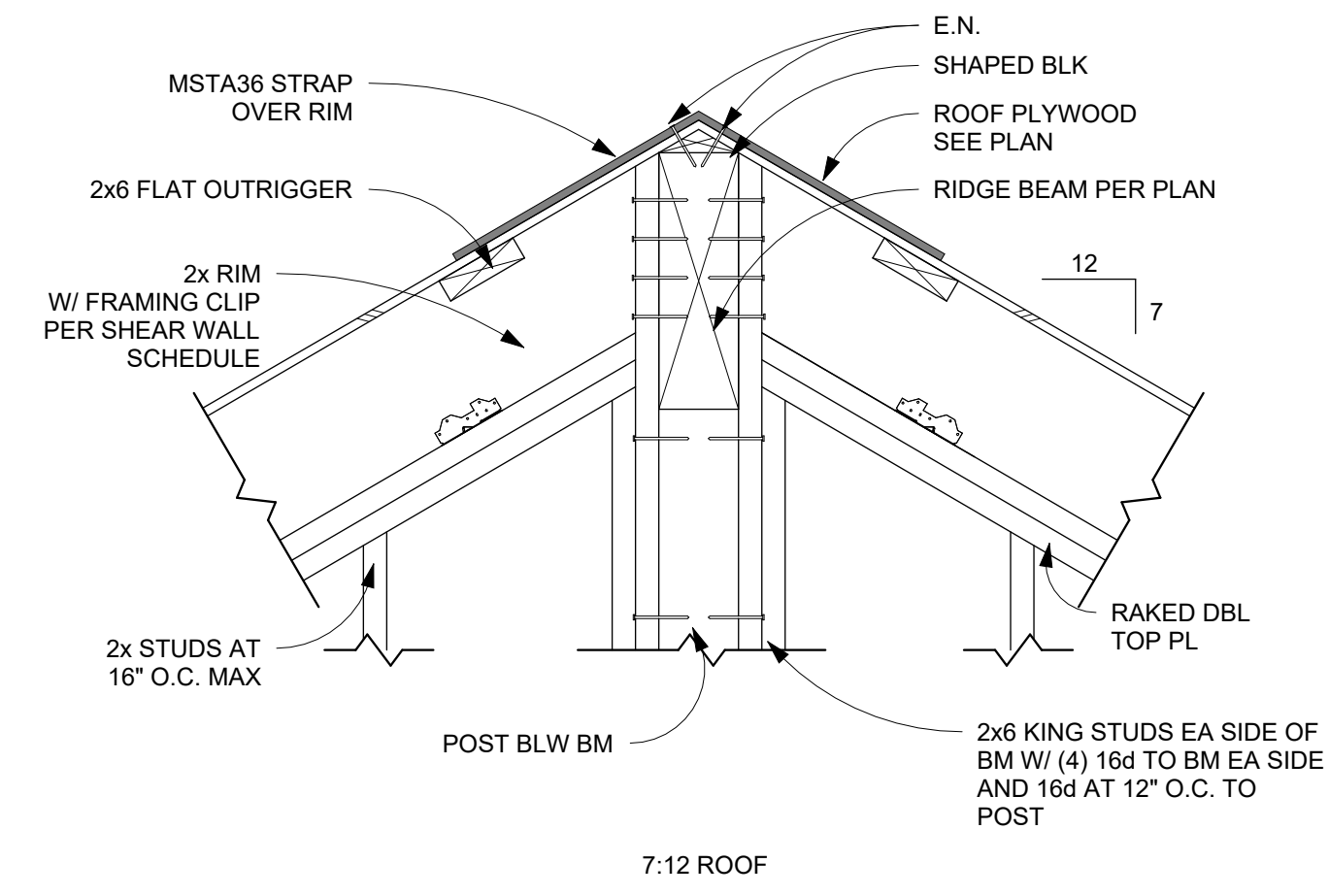


FOUNDATION DETAILS

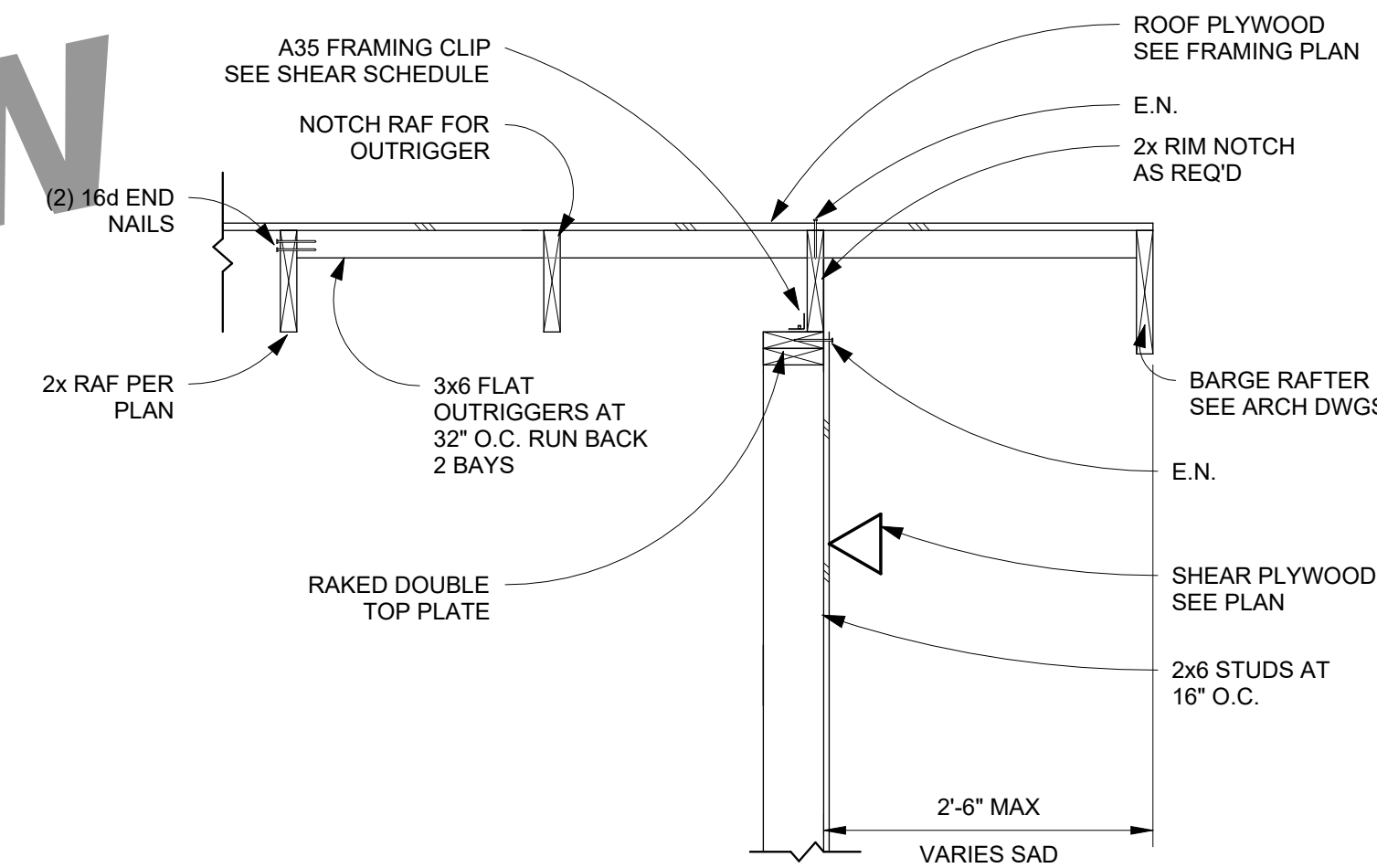
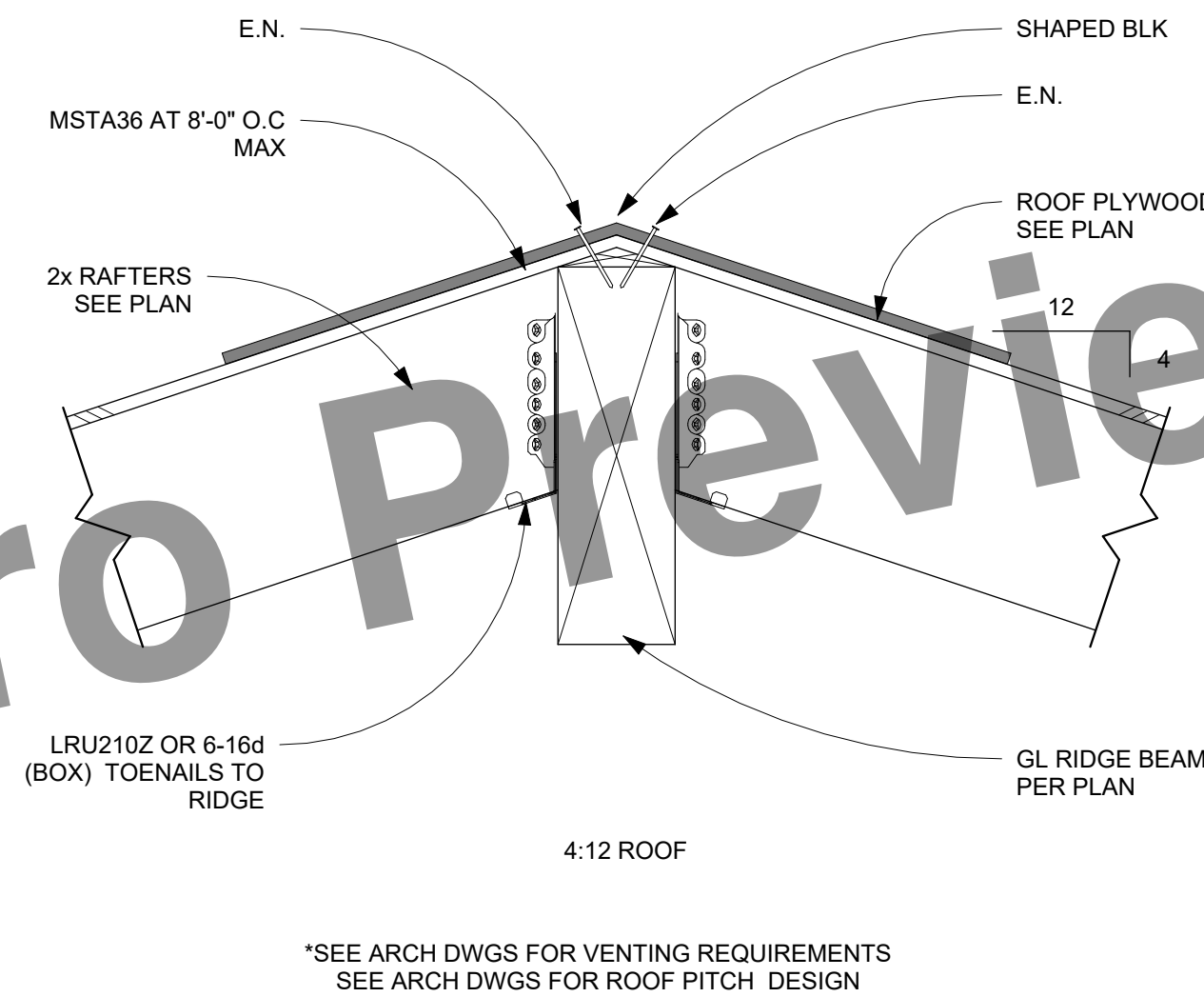
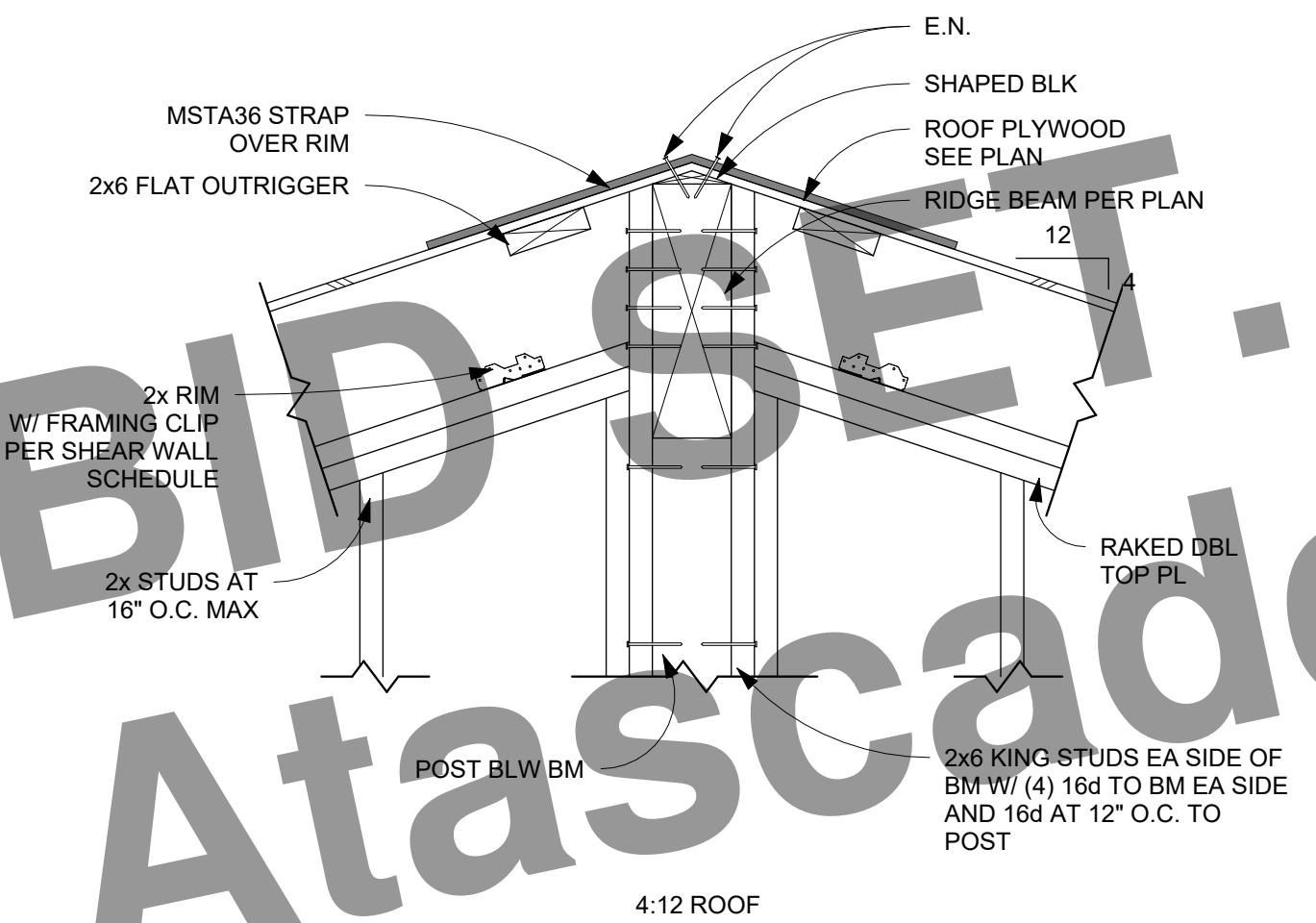
DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.0



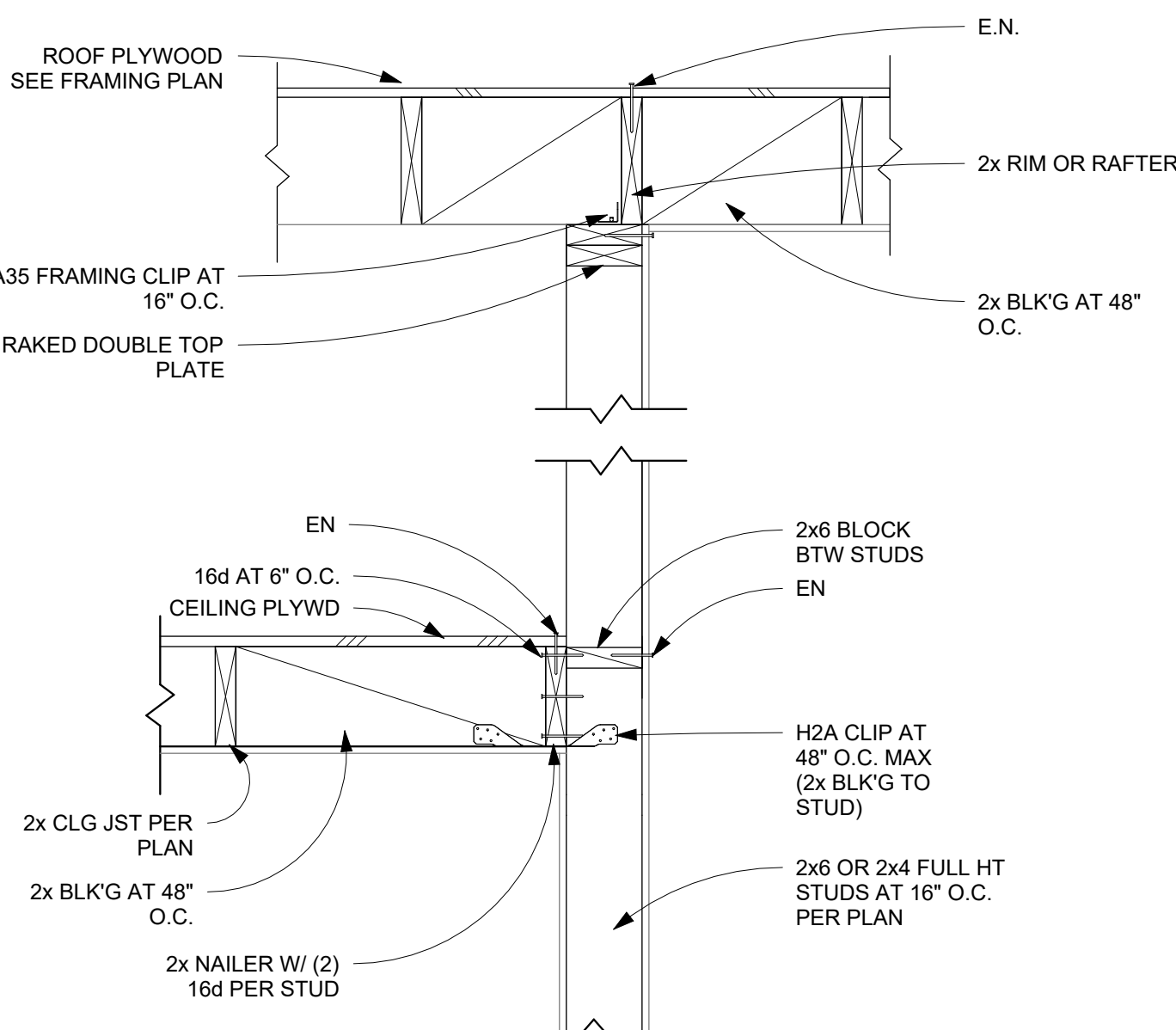
8 EAVE AT PORCH
S2.1 3/4" = 1'-0"



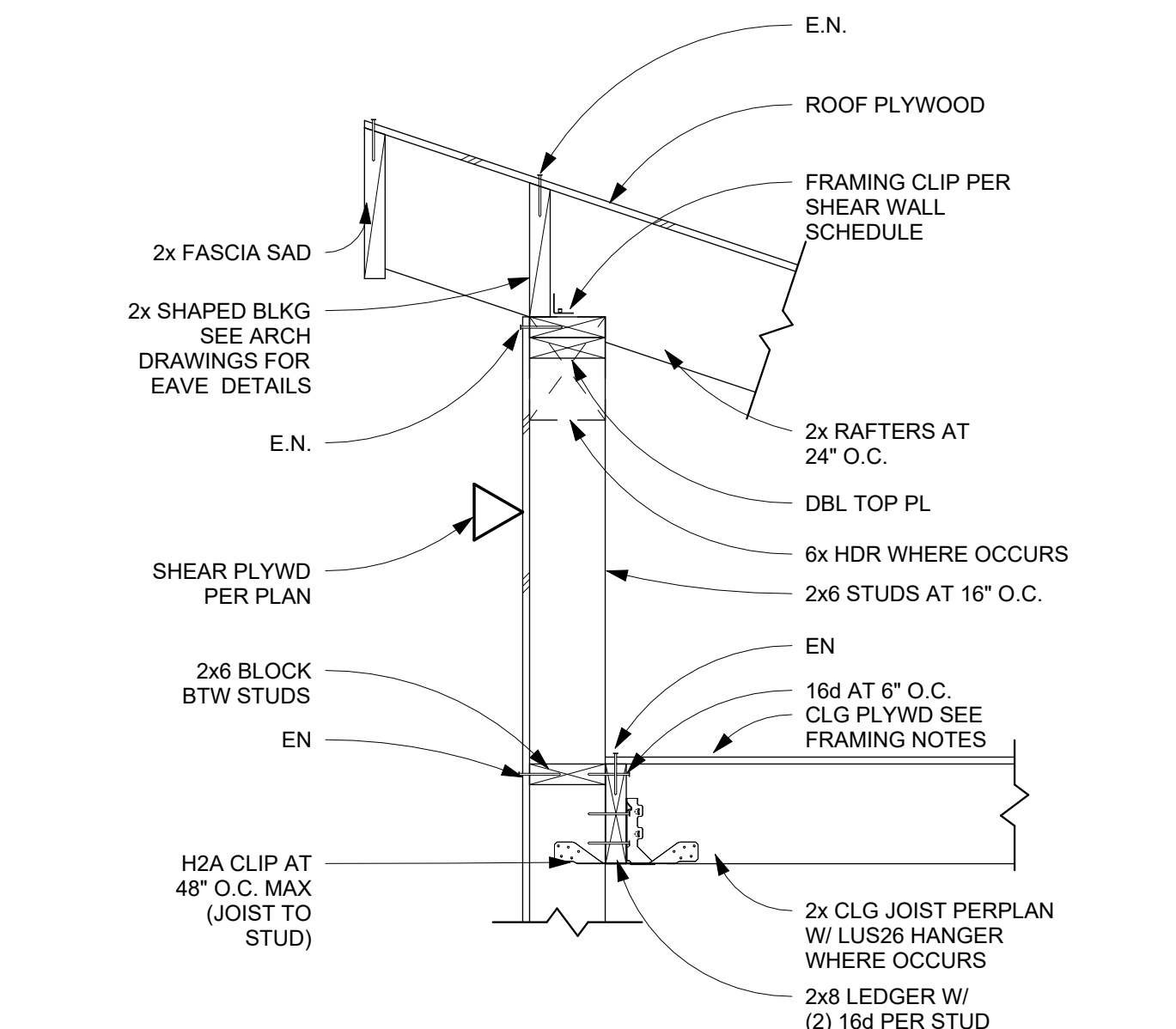
9 MONOSLOPE PEAK AT PORCH
S2.1 1" = 1'-0"



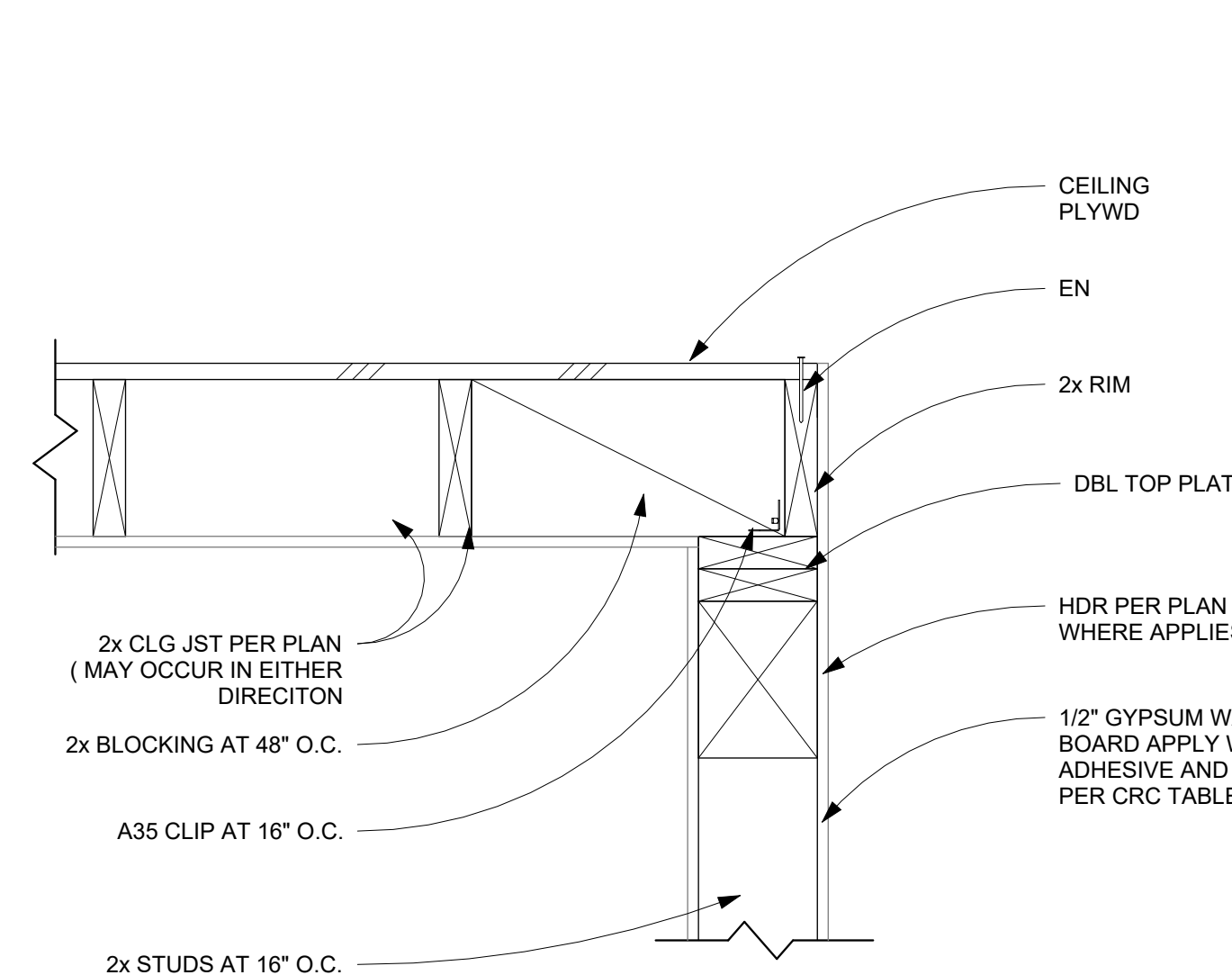
2 RAKE OVERHANG
S2.1 3/4" = 1'-0"



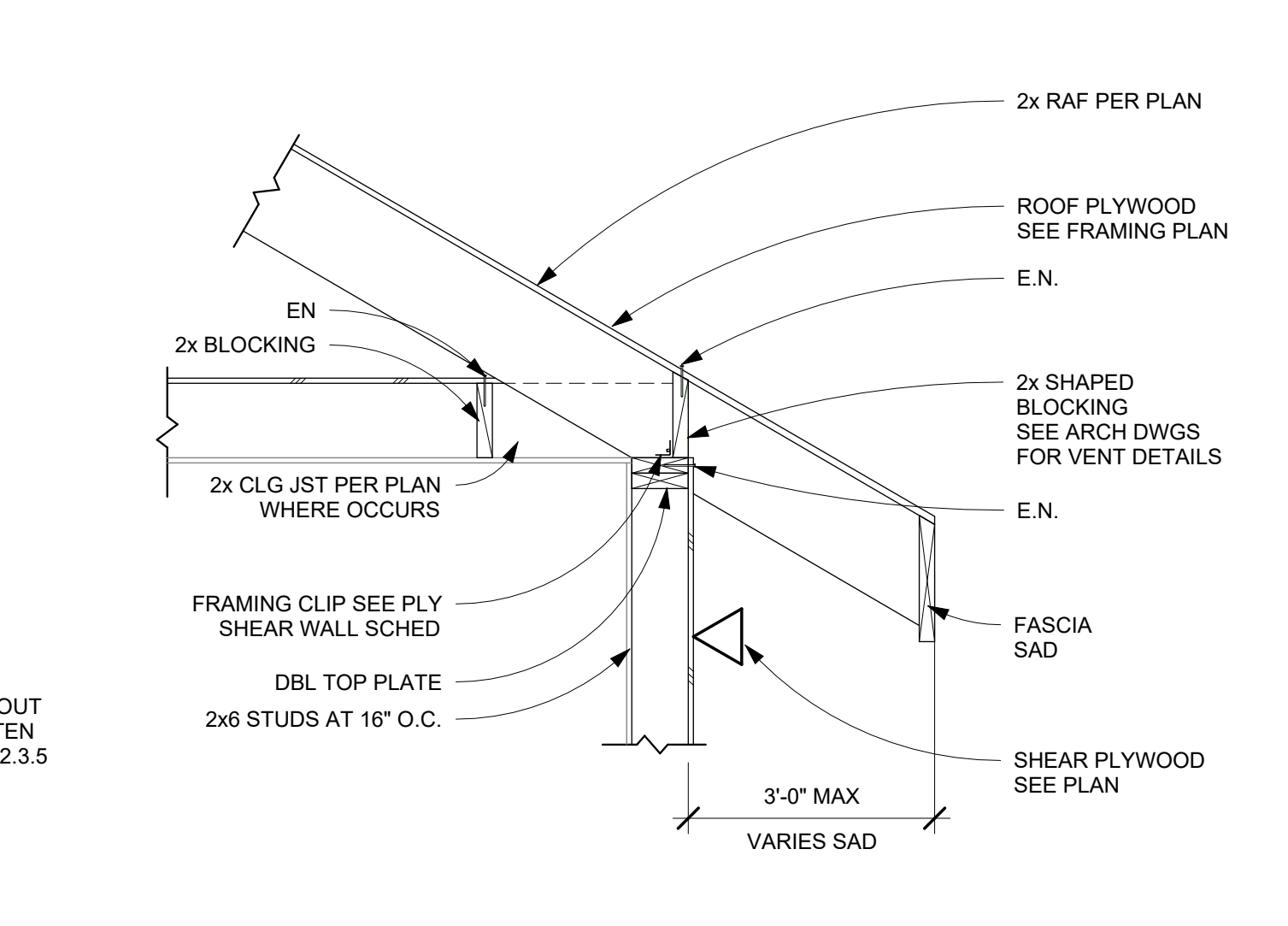
10 INTERIOR BEARING WALL @ CLG/ROOF
S2.1 1" = 1'-0"



4 TYP RIDGE
S2.1 1 1/2" = 1'-0"



5 CEILING EDGE CONNECTION
S2.1 1 1/2" = 1'-0"



3 TYP EAVE
S2.1 3/4" = 1'-0"

BID SET. Preview

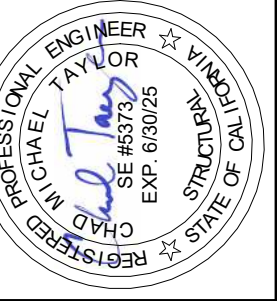
City of Atascadero

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CENTRAL COAST STOCK ADU

THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE CALIFORNIA REGISTERED PROFESSIONAL ENGINEER ACT AND THE CALIFORNIA REGISTERED PROFESSIONAL ARCHITECT ACT. THE REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT HAVE REVIEWED THESE DRAWINGS AND HAVE FOUND THEM TO BE IN ACCORDANCE WITH THE CALIFORNIA REGISTERED PROFESSIONAL ENGINEER ACT AND THE CALIFORNIA REGISTERED PROFESSIONAL ARCHITECT ACT. THE REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT HAVE REVIEWED THESE DRAWINGS AND HAVE FOUND THEM TO BE IN ACCORDANCE WITH THE CALIFORNIA REGISTERED PROFESSIONAL ENGINEER ACT AND THE CALIFORNIA REGISTERED PROFESSIONAL ARCHITECT ACT. THE REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT HAVE REVIEWED THESE DRAWINGS AND HAVE FOUND THEM TO BE IN ACCORDANCE WITH THE CALIFORNIA REGISTERED PROFESSIONAL ENGINEER ACT AND THE CALIFORNIA REGISTERED PROFESSIONAL ARCHITECT ACT.



ROOF FRAMING DETAILS

DATE: 11-18-2022
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SHEET
S2.1

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1	7-14-23	CT

STRUCTURAL
ENGINEERING

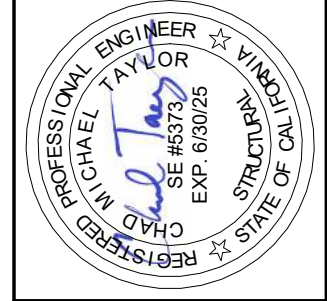
CM Taylor

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CENTRAL COAST STOCK ADU

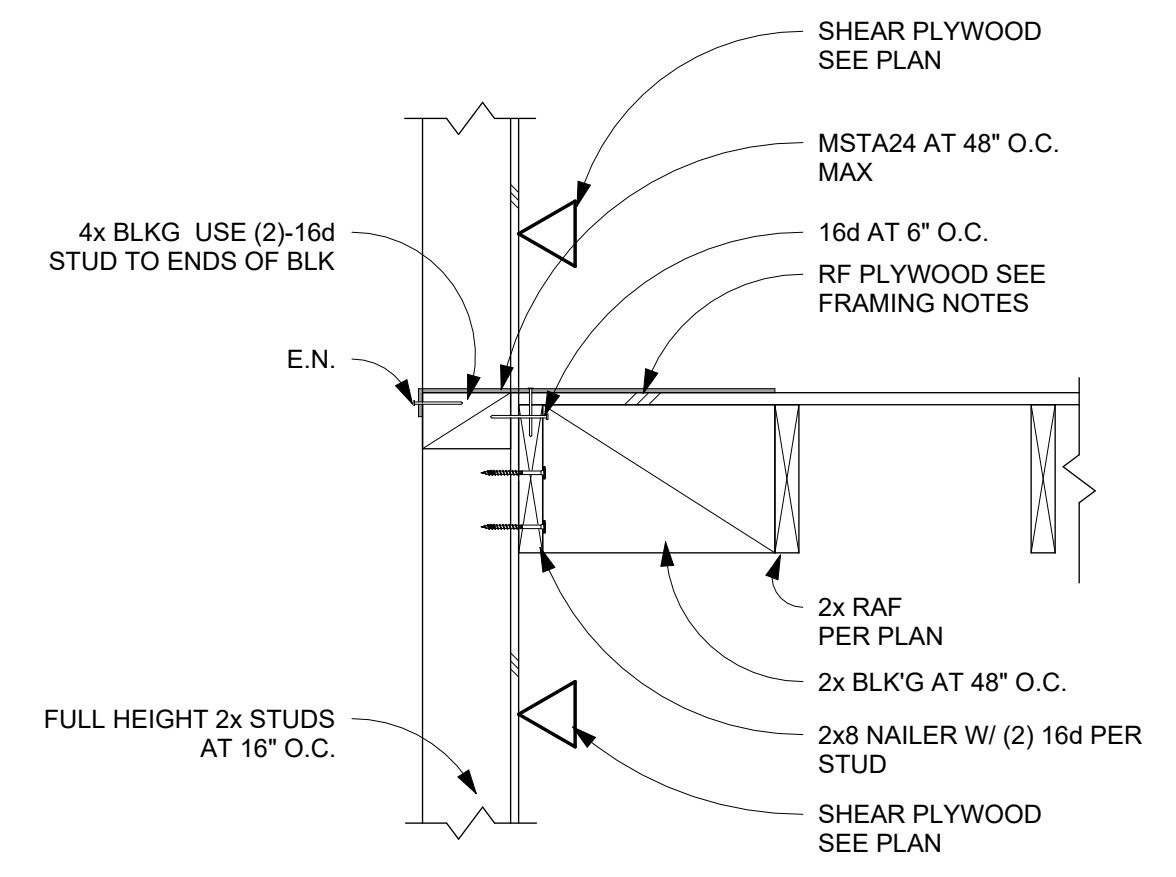
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City of Atascadero Preview

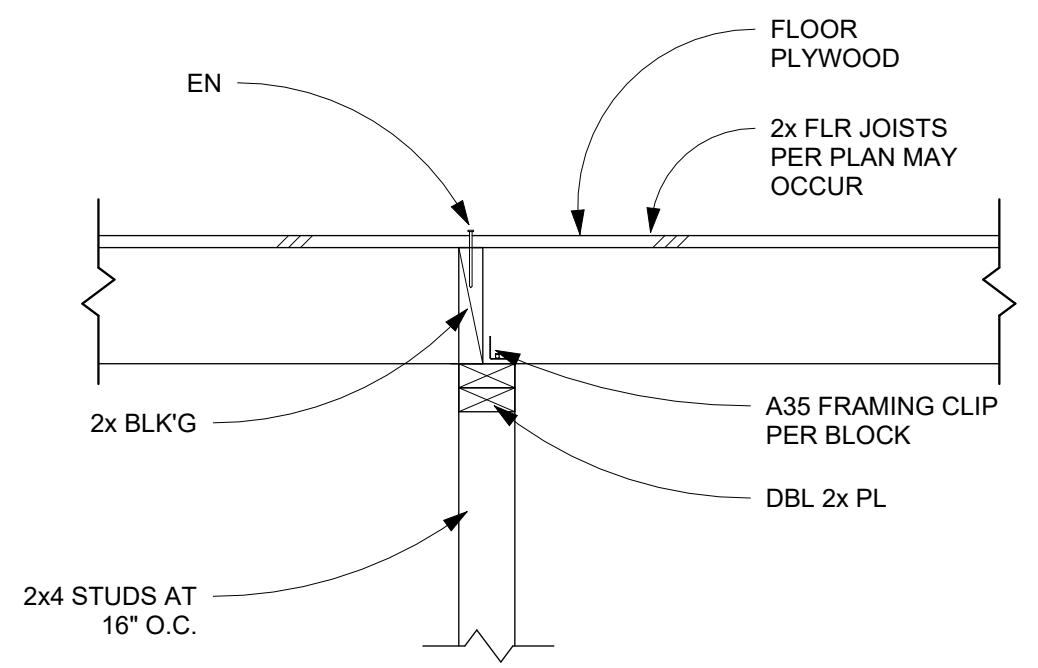


ROOF FRAMING DETAILS
(CONTINUED)

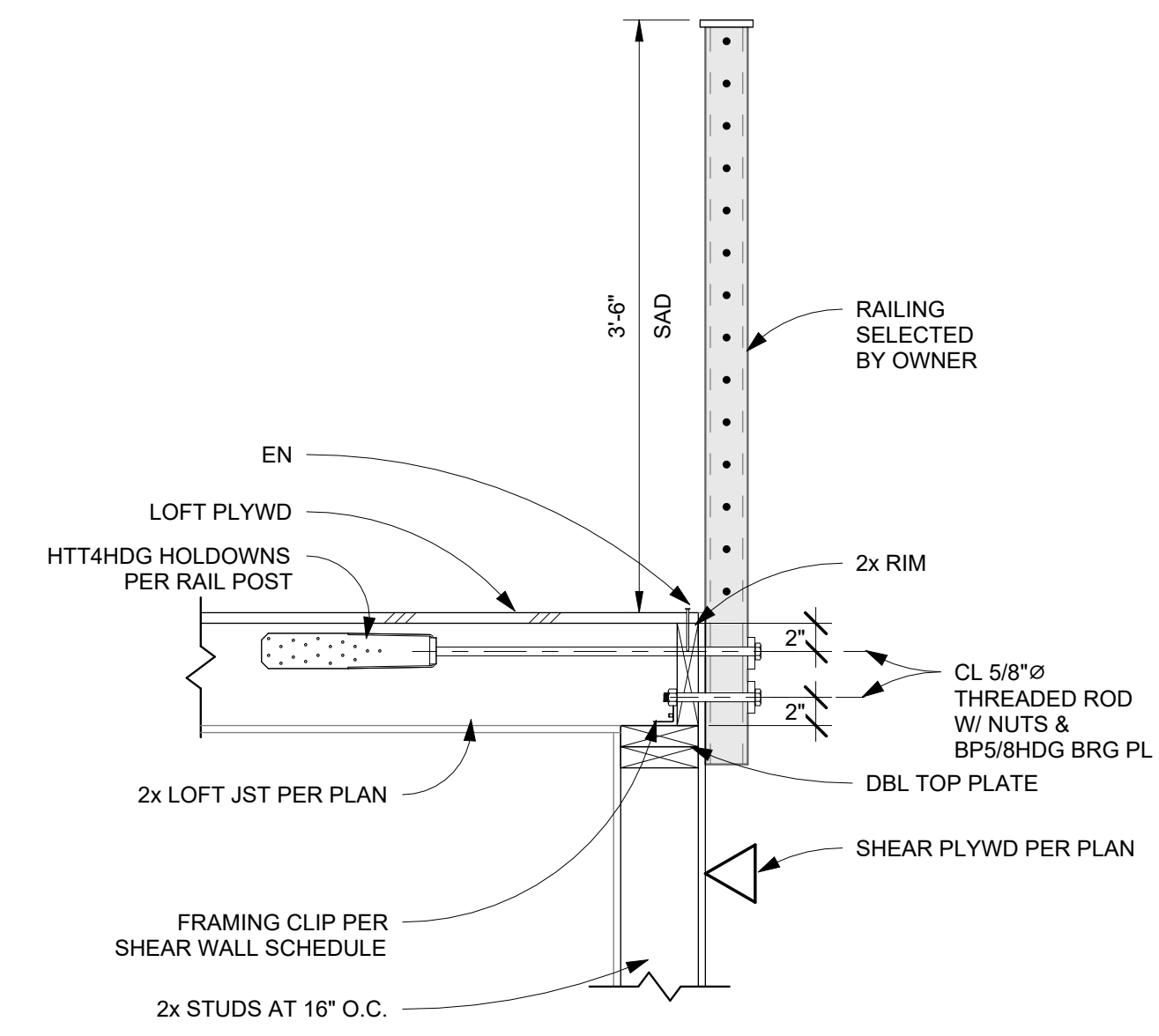
DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.2



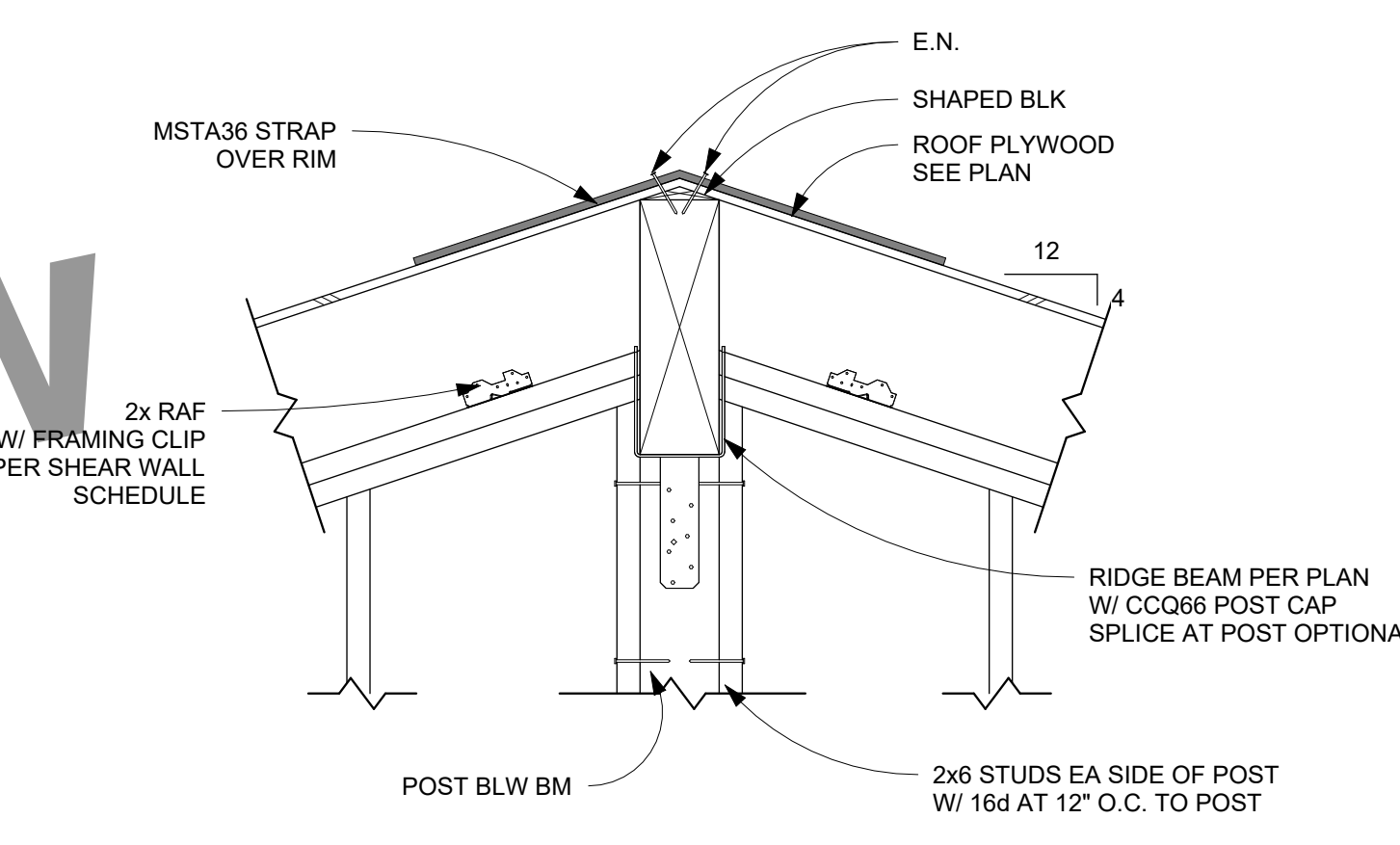
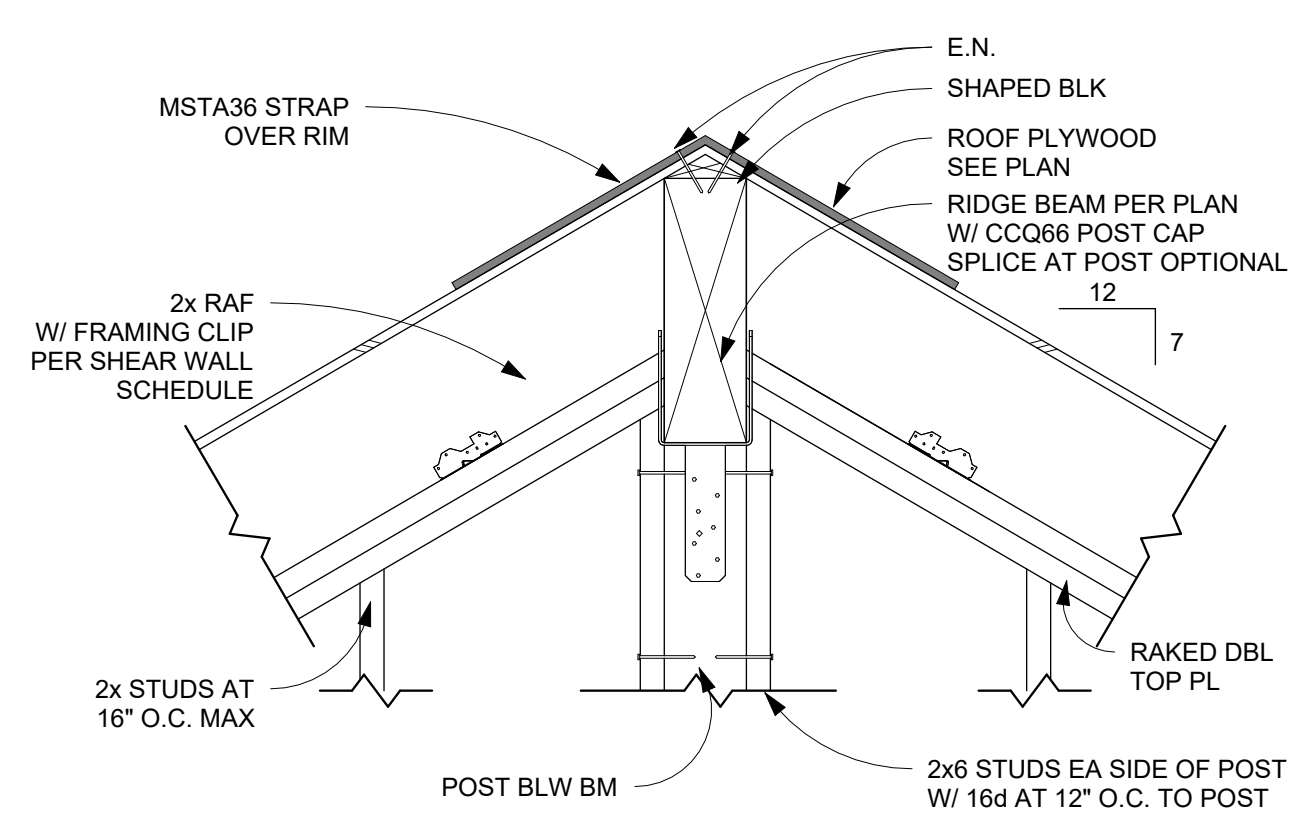
9 LOWER ROOF TO FULL HEIGHT WALL
S2.2 1" = 1'-0"



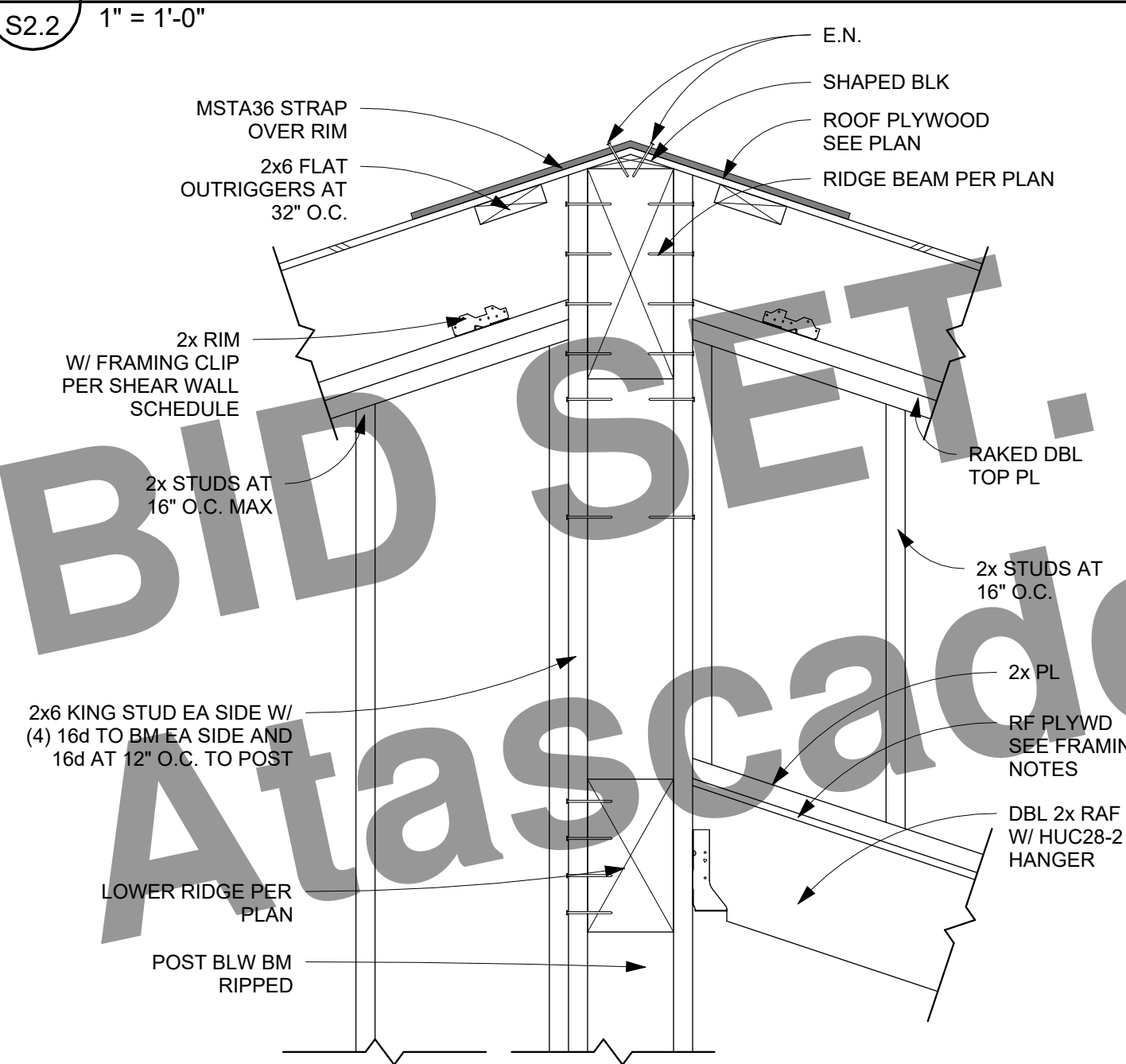
6 FLOOR TO INTERIOR WALL CONN
S2.2 1" = 1'-0"



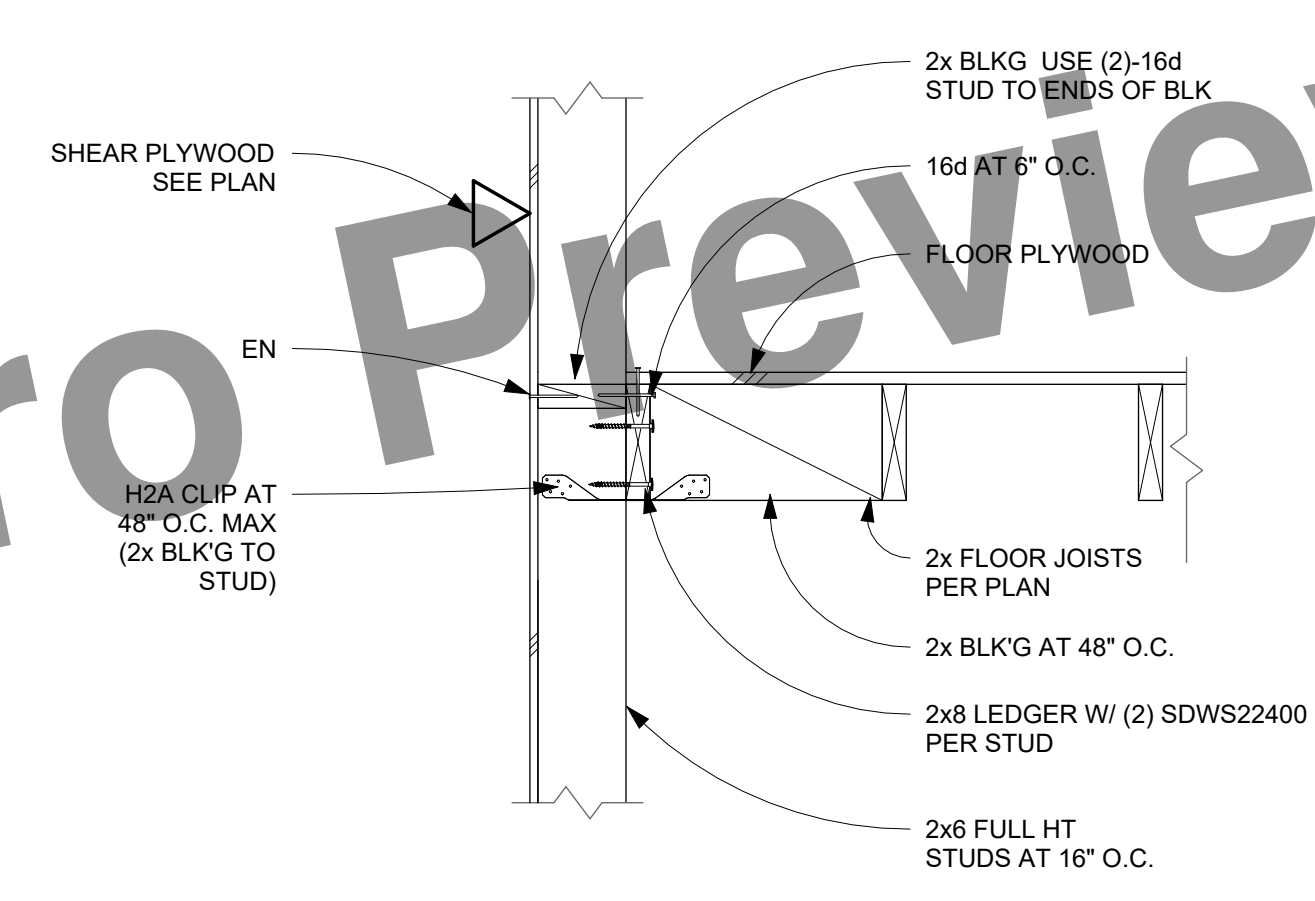
3 LOFT EDGE CONNECTION II
S2.2 1" = 1'-0"



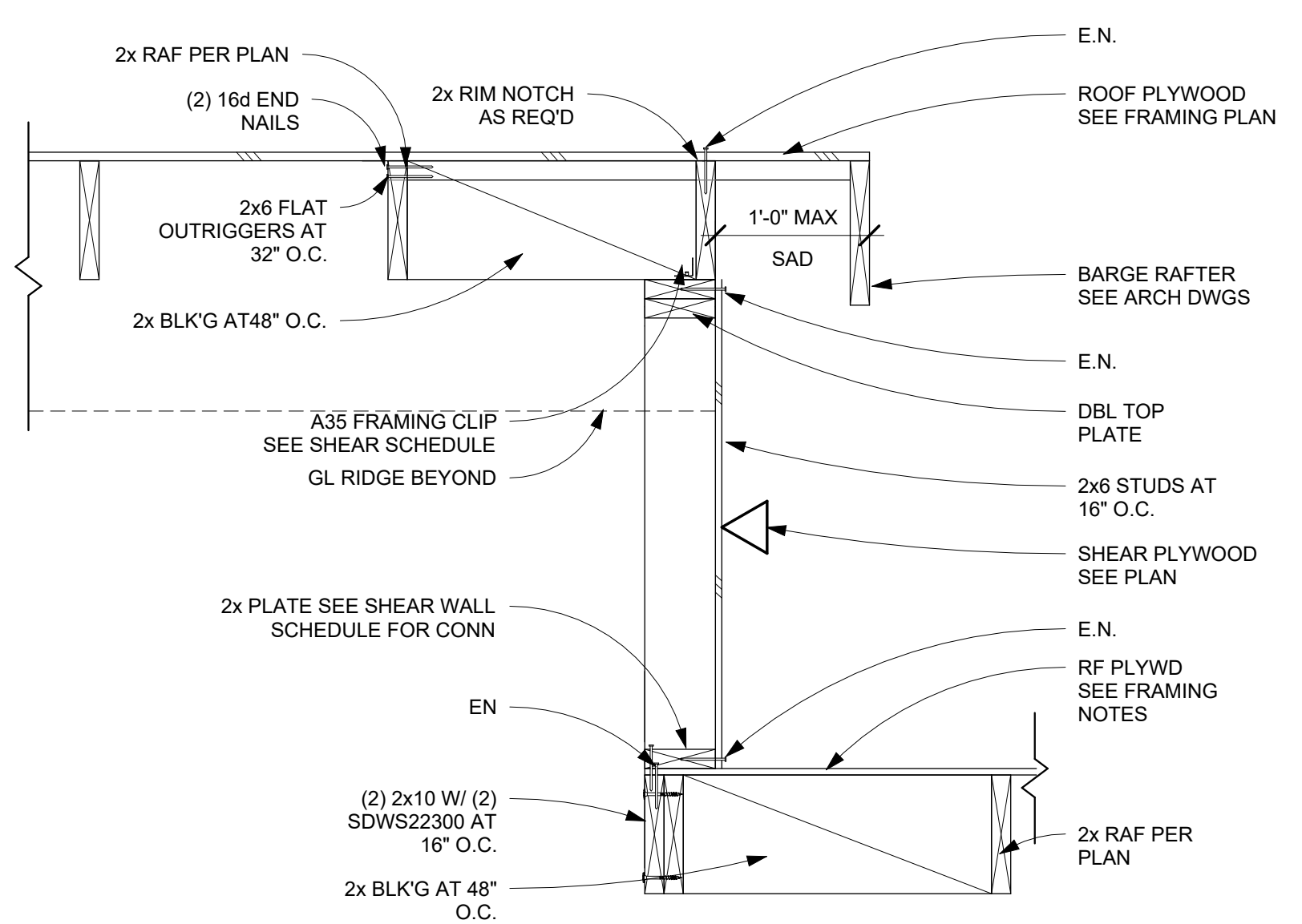
1 RIDGE SPLICE AT INT WALL
S2.2 1" = 1'-0"



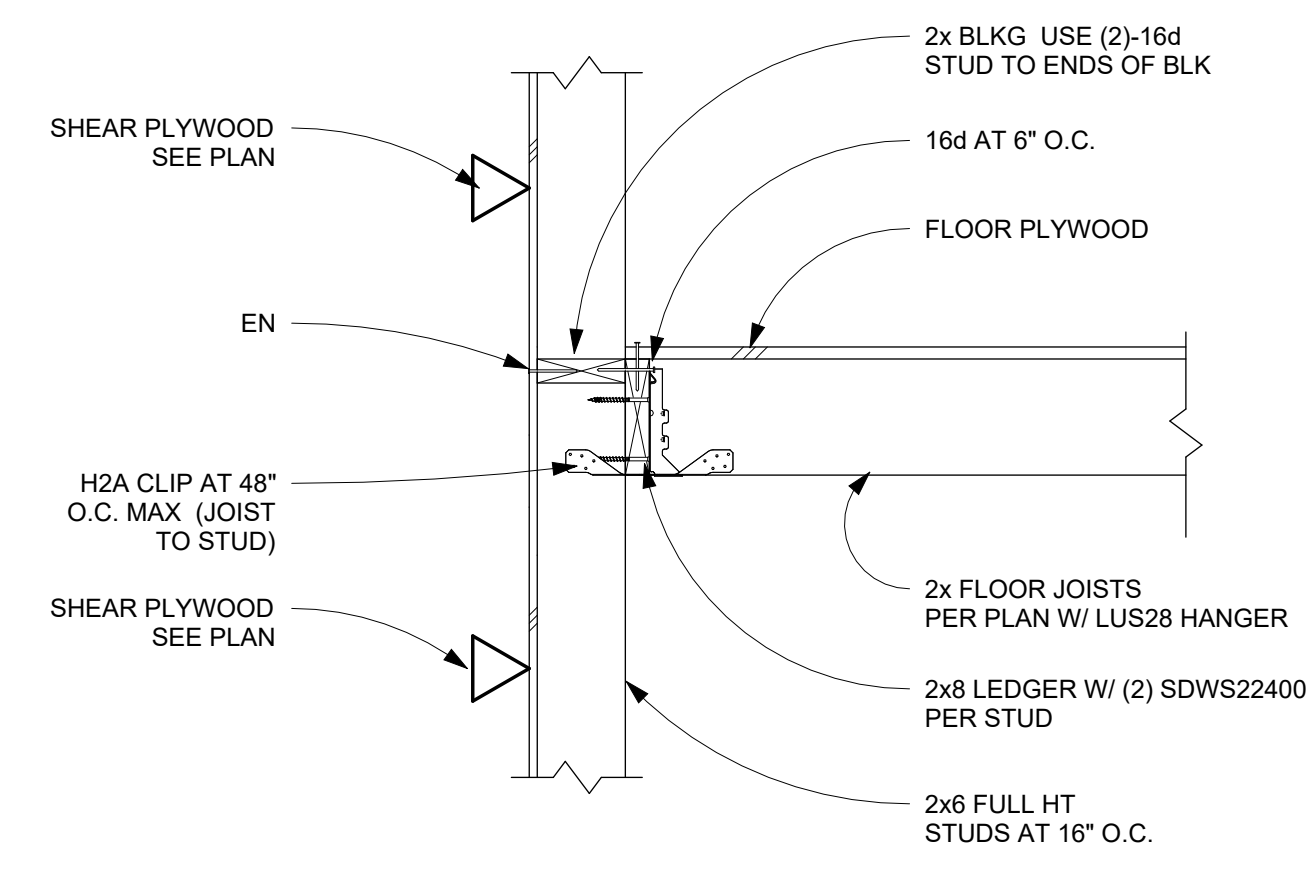
7 DOUBLE RIDGE TO WALL
S2.2 1" = 1'-0"



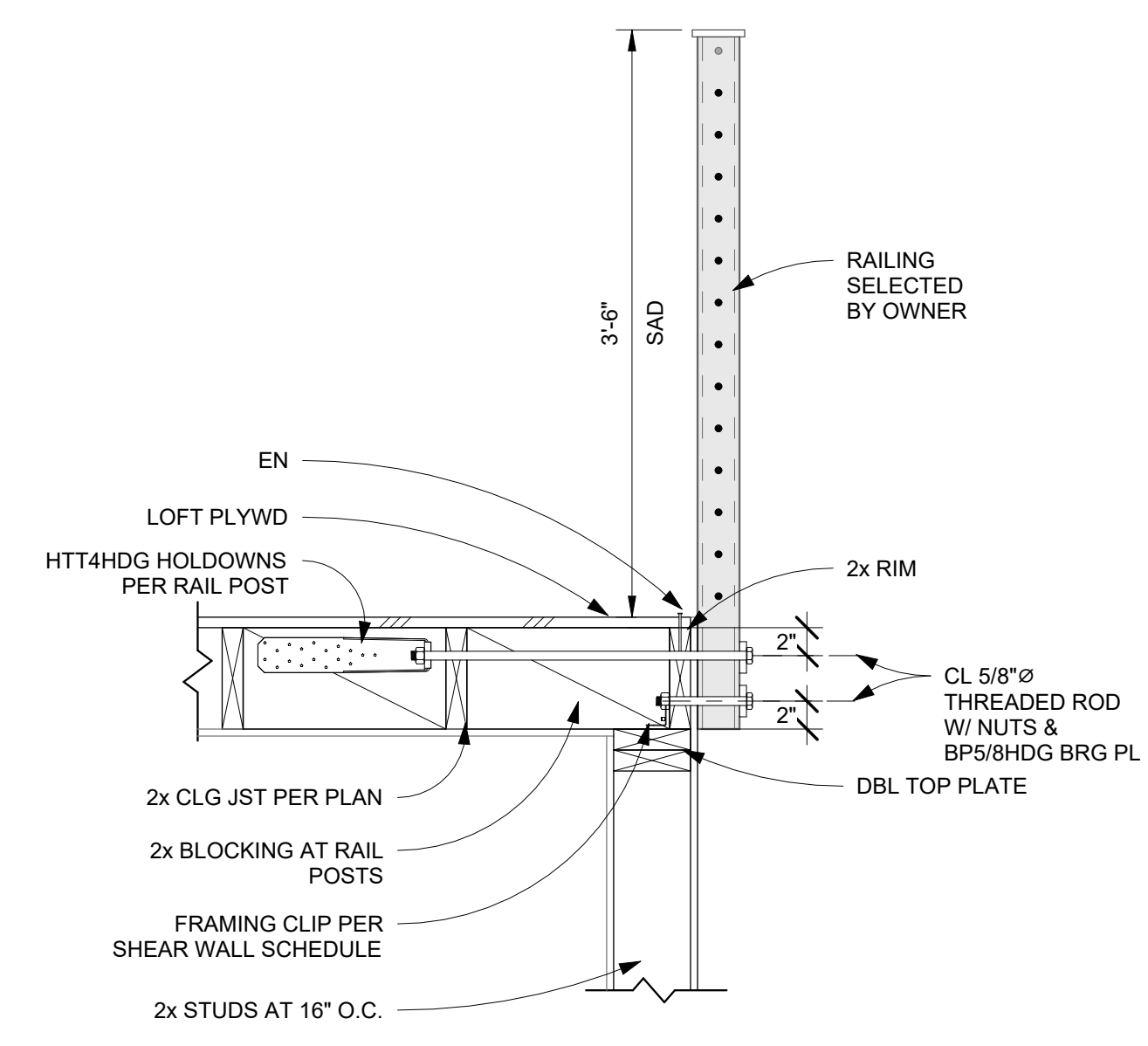
4 LOFT/FLOOR TO WALL CONN
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II
S2.2 1" = 1'-0"



2 LOFT EDGE CONNECTION
S2.2 1" = 1'-0"

SYMBOLS & ABBREVIATIONS (MECHANICAL)				
	BT	BYPASS TIMER	EC	ELECTRICAL CONTRACTOR
	CL	CENTER LINE	EDB	ENTERING DRY BULB
	CD	CONDENSATE DRAIN	EOD	EXTENT OF DEMOLITION
	Ø	DIAMETER	ETR	EXISTING TO REMAIN
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)	EWB	ENTERING WET BULB
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)	EWT	ENTERING WATER TEMPERATURE
		EXTENT OF DEMOLITION	°F	DEGREES FAHRENHEIT
		EXHAUST DUCT UP, DOWN, FENE # DEMO	FC	FLEXIBLE CONNECTION
		FIRE/SMOKE DAMPER	FD	FIRE DAMPER
		FIRE DAMPER	FLA	FULL LOAD AMPS
		POINT OF CONNECTION	F5D	FIRE SMOKE DAMPER
		P/T PLUG	FT.HD.	FEET HEAD
		RETURN OR EXHAUST AIR	FTR	FLUE THRU ROOF
		RETURN DUCT UP, DOWN, FENE # DEMO	GC	GENERAL CONTRACTOR
		SPEED CONTROL SWITCH	GPM	GALLONS PER MINUTE
		SPIN-IN EXTRACTOR/DAMPER	HP	HORSE POWER
		SUPPLY DUCT UP, DOWN, FENE # DEMO	KW	KILOWATTS
		SUPPLY OR OUTSIDE AIR	LBS	POUNDS
		THERMOSTAT at + 48°	LWT	LEAVING WATER TEMPERATURE
		TO BE REMOVED	MBH	1,000 BTU/HR
		TRANSFER AIR	MC	MECHANICAL CONTRACTOR
		TURNING VANES	(N)	NEW
		VOLUME DAMPER	NIC	NOT IN CONTRACT
			NTS	NOT TO SCALE
			OBD	OPPOSED BLADE DAMPER
			OSA	OUTSIDE AIR
			PC	PLUMBING CONTRACTOR
			PENE	PENETRATION
			PD	PRESSURE DROP
			PH	PHASE
			POC	POINT OF CONNECTION
			P/N	PART NUMBER
			PRV	PRESSURE REDUCING VALVE
			PSI	POUNDS PER SQUARE INCH
			P/T	PRESSURE / TEMPERATURE
			RA	RETURN AIR
			RAD	RETURN AIR DUCT
			(RL)	RELOCATE
			RPM	REVOLUTIONS PER MINUTE
			SA	SUPPLY AIR
			SAD	SUPPLY AIR DUCT
			SD	SUPPLY DIFFUSER
			SP	STATIC PRESSURE
			SS	STAINLESS STEEL
			STD	STANDARD
			TV	TURNING VANES
			TYP	TYPICAL
			UCD	UNDERCUT DOOR
			UON	UNLESS OTHERWISE NOTED
			V	VOLT
			VD	VOLUME DAMPER
			VIF	VERIFY IN FIELD
			W	WITH
			WC	WATER COLUMN
			WT	WEIGHT
			W/O	WITH OUT
AD		ACCESS DOOR		
AFF		ABOVE FINISH FLOOR		
AL		ACOUSTICALLY LINED		
AP		ACCESS PANEL		
BD		BALANCING DAMPER		
BDD		BACKDRAFT DAMPER		
BHP		BRAKE HORSE POWER		
BJ		BETWEEN JOIST		
BTU		BRITISH THERMAL UNIT		
C.		CONDUIT		
CA		COMBUSTION AIR		
CD		CONDENSATE DRAIN		
CFM		CUBIC FEET PER MINUTE		
DEMO		DEMOLITION		
DL		DOOR LOUVER		
(E)		EXISTING		
EAD		EXHAUST AIR DUCT		

GENERAL MECHANICAL NOTES

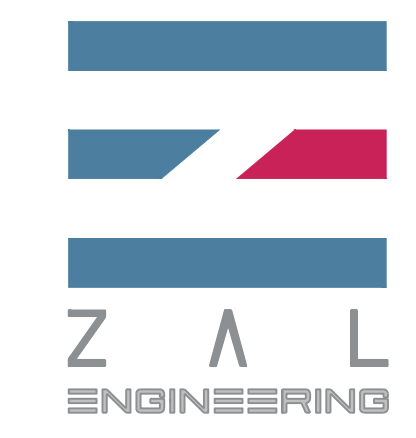
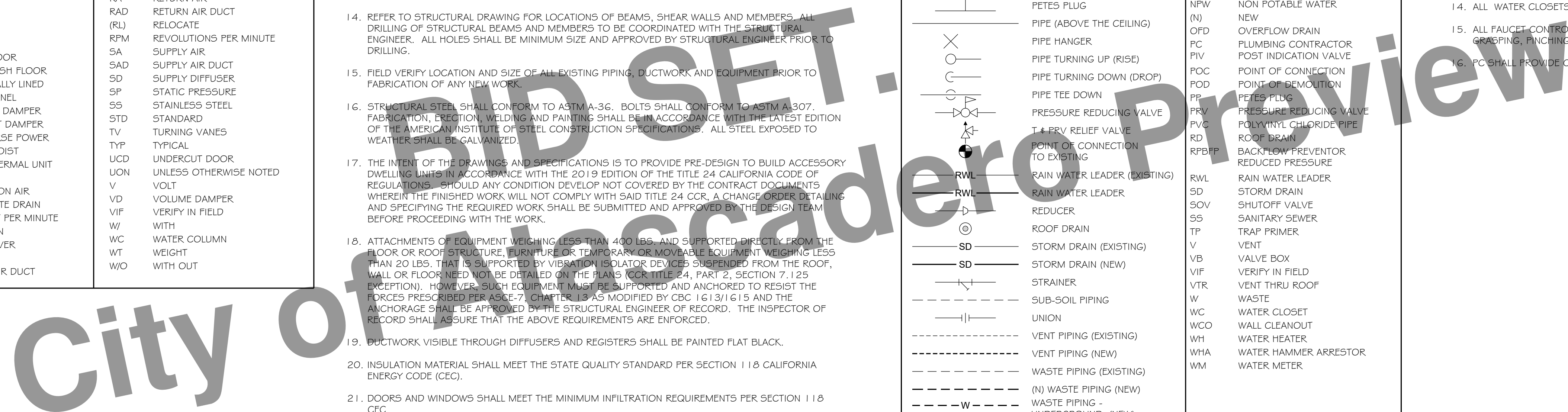
- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AFF	ABOVE FINISH FLOOR
	BALL VALVE	AP	ACCESS PANEL
	CAP	BV	BALL VALVE
	CHECK VALVE	CA	COMPRESSED AIR PIPING
	CLEANOUT	CB	CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)	CD	CONDENSATE
	DOMESTIC COLD WATER (NEW)	CFH	CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)	CI	CAST IRON
	DOMESTIC HOT WATER (NEW)	CP	CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)	DCV	DETECTOR CHECK VALVE
	DOMESTIC HOT WATER RETURN (NEW)	DN	DOWN
	DIRECTION OF FLOW	DS	DRAIN SPOUT
	DRY STANDPIPE	DSP	DRY STAND PIPE
	FIRE SPRINKLER PIPING	(E)	EXISTING
	FLANGED UNION	EC	ELECTRICAL CONTRACTOR
	FLOOR DRAIN	EL	ELEVATION
	FLOOR SINK	(F)	FIRE SPRINKLER PIPING
	FORCE MAIN	FC	FLEX CONNECTOR
	GAS PIPING (EXISTING)	FCO	FLOOR CLEANOUT
	GAS PIPING (NEW)	FD	FLOOR DRAIN
	GAS COCK	FL	FIRE LINE
	GATE VALVE	FM	FORCE MAIN
	GLOBE VALVE	FS	FLOOR SINK
	HOSE BIBB (3/4" MIN.)	FSC	FIRE SPRINKLER CONTRACTOR
	PETES PLUG	GC	GENERAL CONTRACTOR
	PIPE (ABOVE THE CEILING)	GCO	GROUND CLEANOUT
	PIPE HANGER	GPM	GALLONS PER MINUTE
	PIPE TURNING UP (RISE)	HB	HOSE BIBB
	PIPE TURNING DOWN (DROP)	HWS	HOT WATER SUPPLY
	PIPE TEE DOWN	IE	INVERT ELEVATION
	PRESSURE REDUCING VALVE	LAV	LAVATORY
	T & P RV RELIEF VALVE	MC	MECHANICAL CONTRACTOR
	POINT OF CONNECTION TO EXISTING	NPW	NON POTABLE WATER
	RAIN WATER LEADER (EXISTING)	(N)	NEW
	RAIN WATER LEADER	OFD	OVERFLOW DRAIN
	REDUCER	PC	PLUMBING CONTRACTOR
	ROOF DRAIN	P/IV	POST INDICATION VALVE
	STORM DRAIN (EXISTING)	POC	POINT OF CONNECTION
	STORM DRAIN (NEW)	POD	POINT OF DEMOLITION
	STRAINER	PP	PETES PLUG
	SUB-SOIL PIPING	PRV	PRESSURE REDUCING VALVE
	UNION	PVC	POLYVINYL CHLORIDE PIPE
	VENT PIPING (EXISTING)	RD	ROOF DRAIN
	VENT PIPING (NEW)	RPB/PF	BACKFLOW PREVENTOR REDUCED PRESSURE
	WASTE PIPING (EXISTING)	RWL	RAIN WATER LEADER
	(N) WASTE PIPING (NEW)	SD	STORM DRAIN
	WASTE PIPING - UNDERGROUND (NEW)	SOV	SHUTOFF VALVE
	WET STANDPIPE (EXISTING)	SS	SANITARY SEWER
	WET STANDPIPE (NEW)	TP	TRAP PRIMER
	WATERHAMMER ARRESTOR (WHA)	V	VENT
	TRAP PRIMER (TP)	VB	VALVE BOX
		VIF	VERIFY IN FIELD
		VTR	VENT THRU ROOF
		W	WASTE
		WC	WATER CLOSET
		WCO	WALL CLEANOUT
		WH	WATER HEATER
		WHA	WATER HAMMER ARRESTOR
		WM	WATER METER

GENERAL PLUMBING NOTES

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- ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.



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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

GENERAL NOTES MECHANICAL & PLUMBING

NO.	DESCRIPTION	DATE
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OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY SEER	REFR	V/PH	MCA	MOCP	WT. (LBS)	HT. W/O LEVELING	CRTS.	EQUIP. SERVED	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1/5/16	TSTAT.	IU-1	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1/1/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAH2	19.1	R410A	208/1	42	45	278	52-1/1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR.	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL				HEATING COIL			HT W/O LEVELING	WEIGHT (LBS)	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT °F DB	°F WB	LAT	CAPACITY (MBH)	SENS	EAT °F DB	LAT	CAP				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	1	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	1	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	1

NOTES: 1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.

EXHAUST FAN SCHEDULE													
CODE	MFR.	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR HP	V/PH	HT. W/O ISOLATORS	WEIGHT (LBS)	AREAS SERVED	SONES	COMMENTS
EF-1	PANASONIC	FV-0511VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8	1

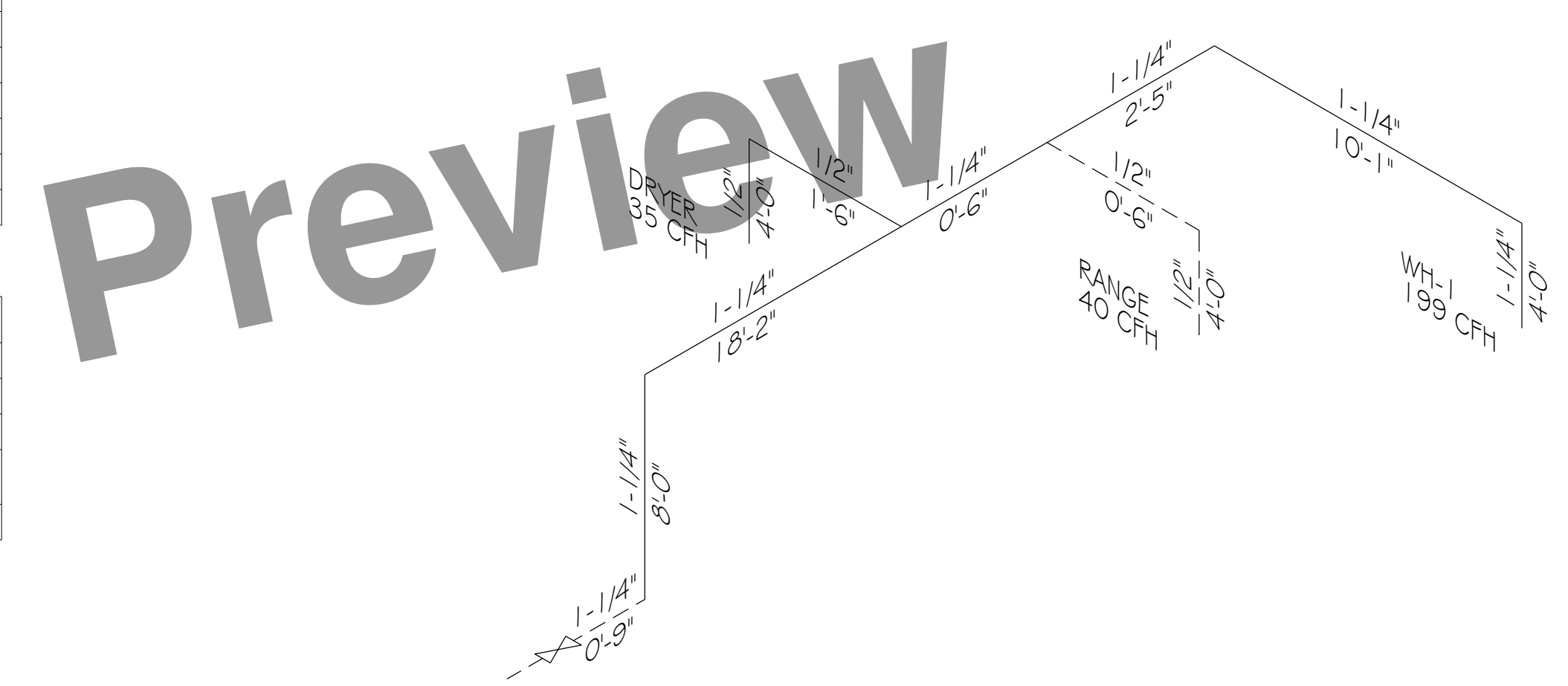
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM	
BT-1	BATHTUB	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	--	--	--	•	3	2	1/2	--	BATHROOMS	1.28 GPF	
SK-1	KITCHEN SINK	--	--	--	•	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM	
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA	
HB-1	HOSE BIB	--	--	--	•				1/2	EXTERIOR WALLS		

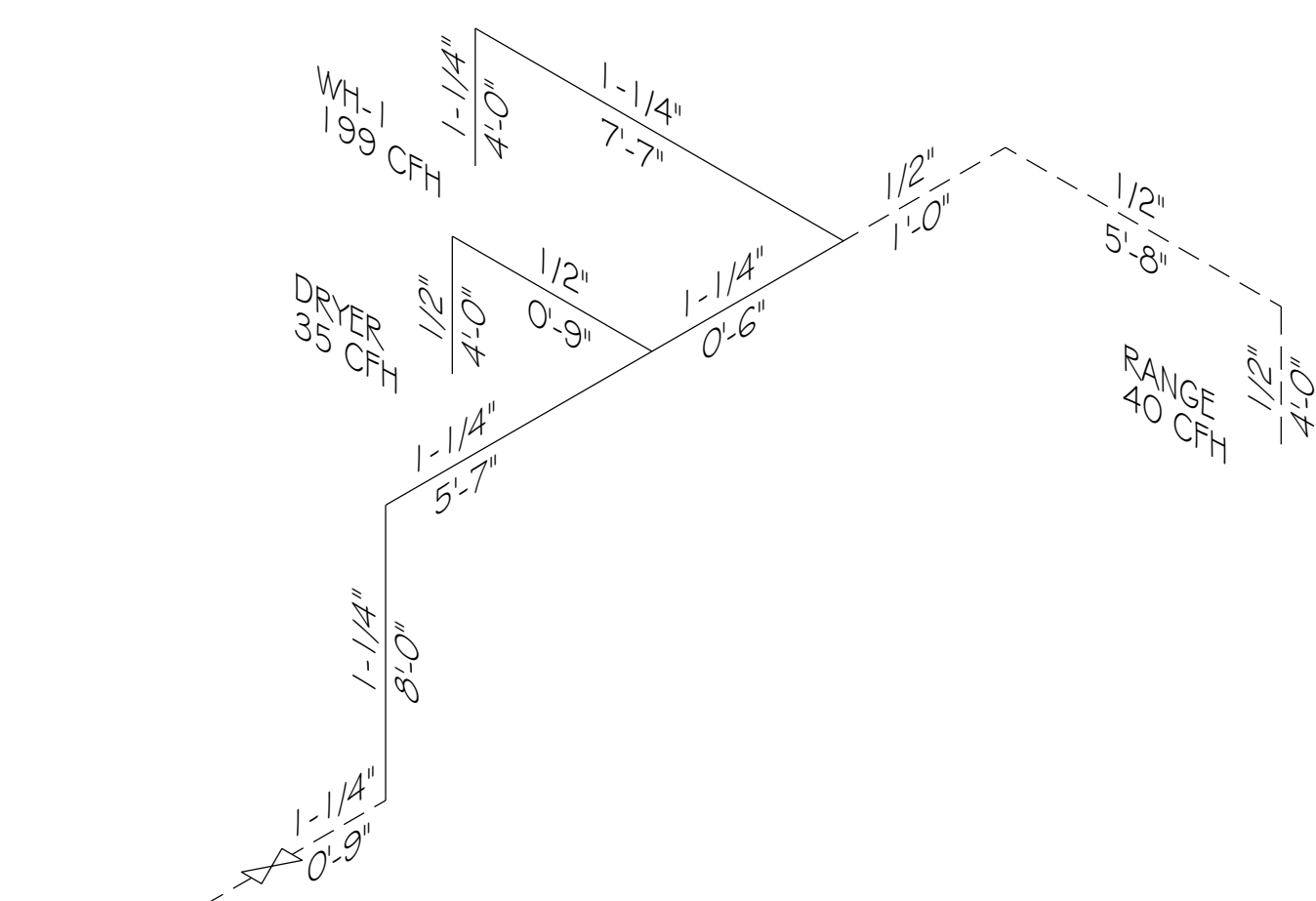
WATER HEATER SCHEDULE														
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY INPUT	TANK CAPACITY	GPH @ FRISE	ELECTRICAL			WEIGHT (LBS)	HEIGHT (IN)	PART NO.	MFG	REMARKS
							H.P.	VOLT	PH					
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	EU199	RINNAI	DEF: 0.93
EW-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	68	XE40T (OHS45) LO	RHEEM	DUCT HEAT REJECTION TO OUTSIDE

BID SET

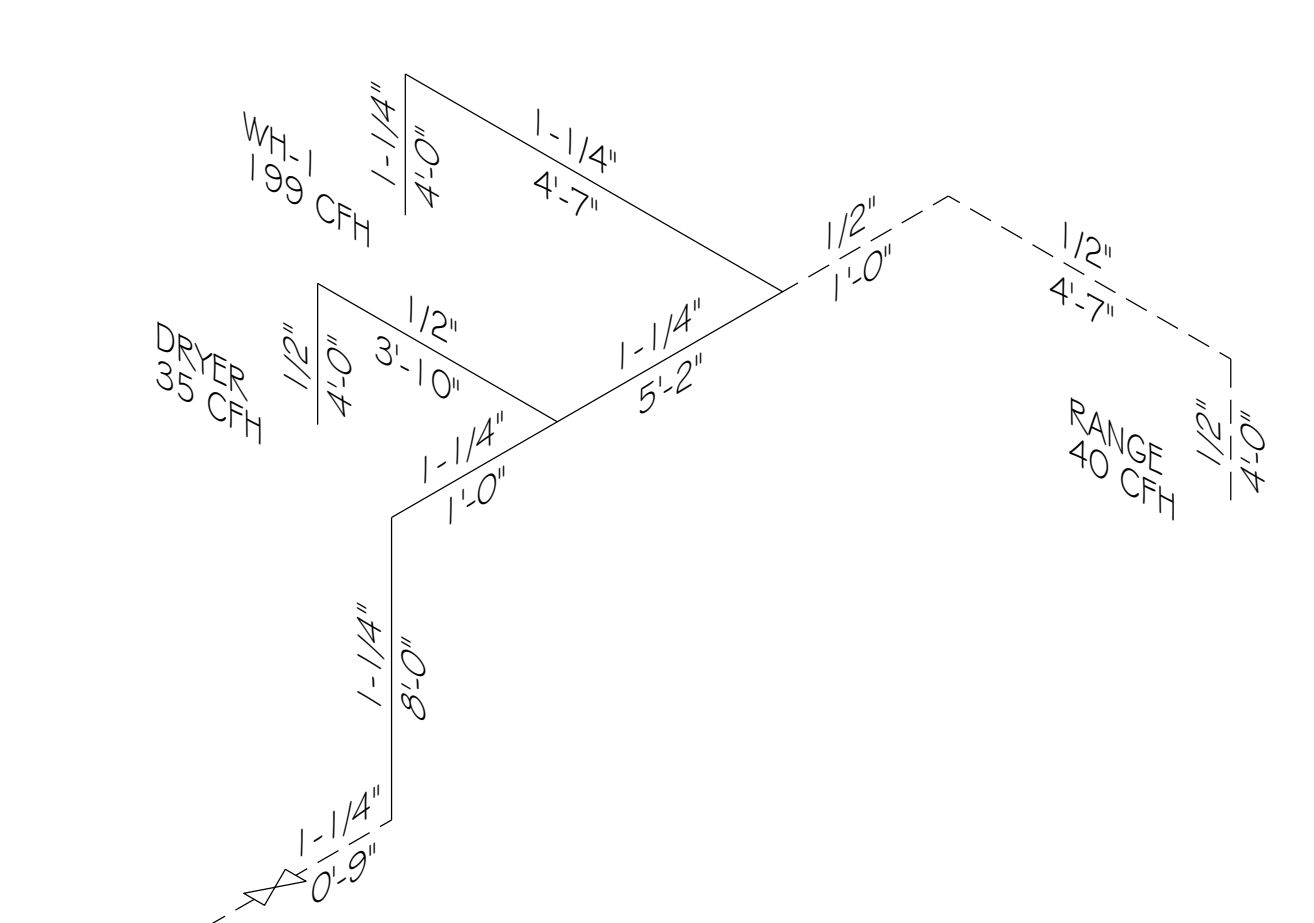
City of Atascadero



3 GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS
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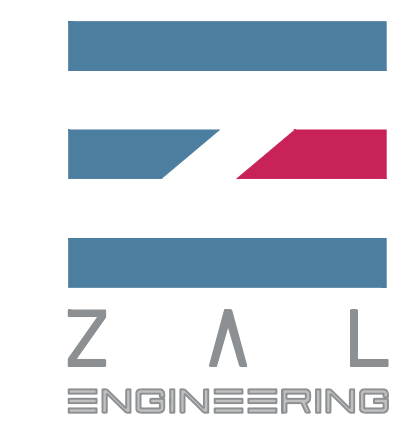
2 GAS ISOMETRIC DIAGRAM - STUDIO
MPO.2 NO SCALE



1 GAS ISOMETRIC DIAGRAM - EFFICIENCY
MPO.2 NO SCALE

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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

SCHEDULES
& GAS
DIAGRAMS
MECHANICAL
& PLUMBING

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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED PLUS
MECHANICAL
& PLUMBING
PLANS - E**

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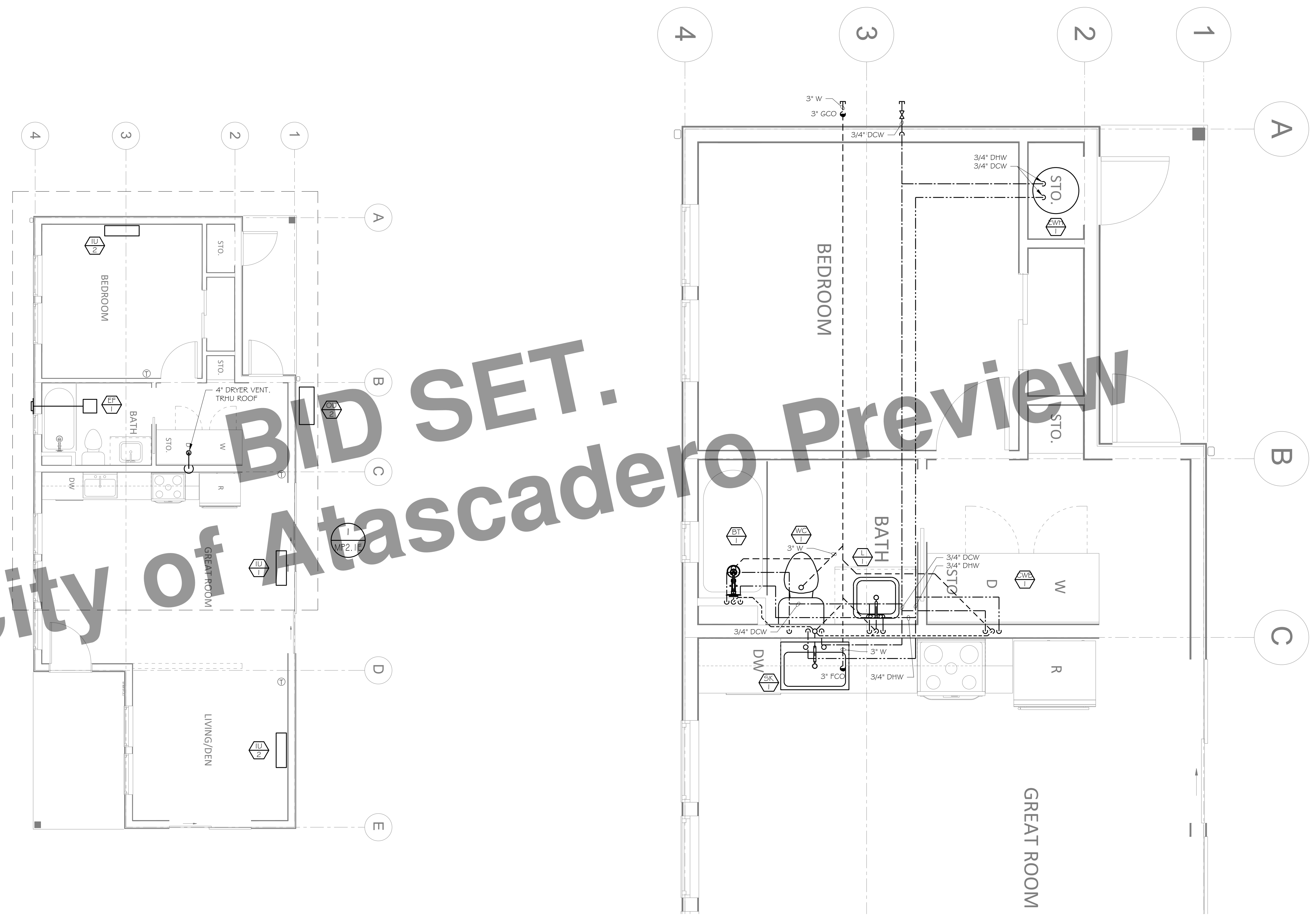
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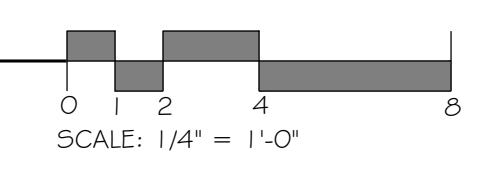
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MP2.1E

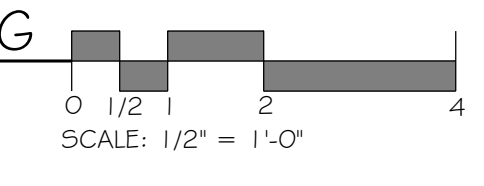
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2 FLOOR PLAN - ONE BED PLUS - NEW MECHANICAL
MP2.1E SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - ONE BED PLUS - NEW PLUMBING
MP2.1E SCALE: 1/2" = 1'-0"





ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7799
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED PLUS
MECHANICAL
& PLUMBING
PLANS - H**

NO.	DESCRIPTION	DATE
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ENGINEER BY:

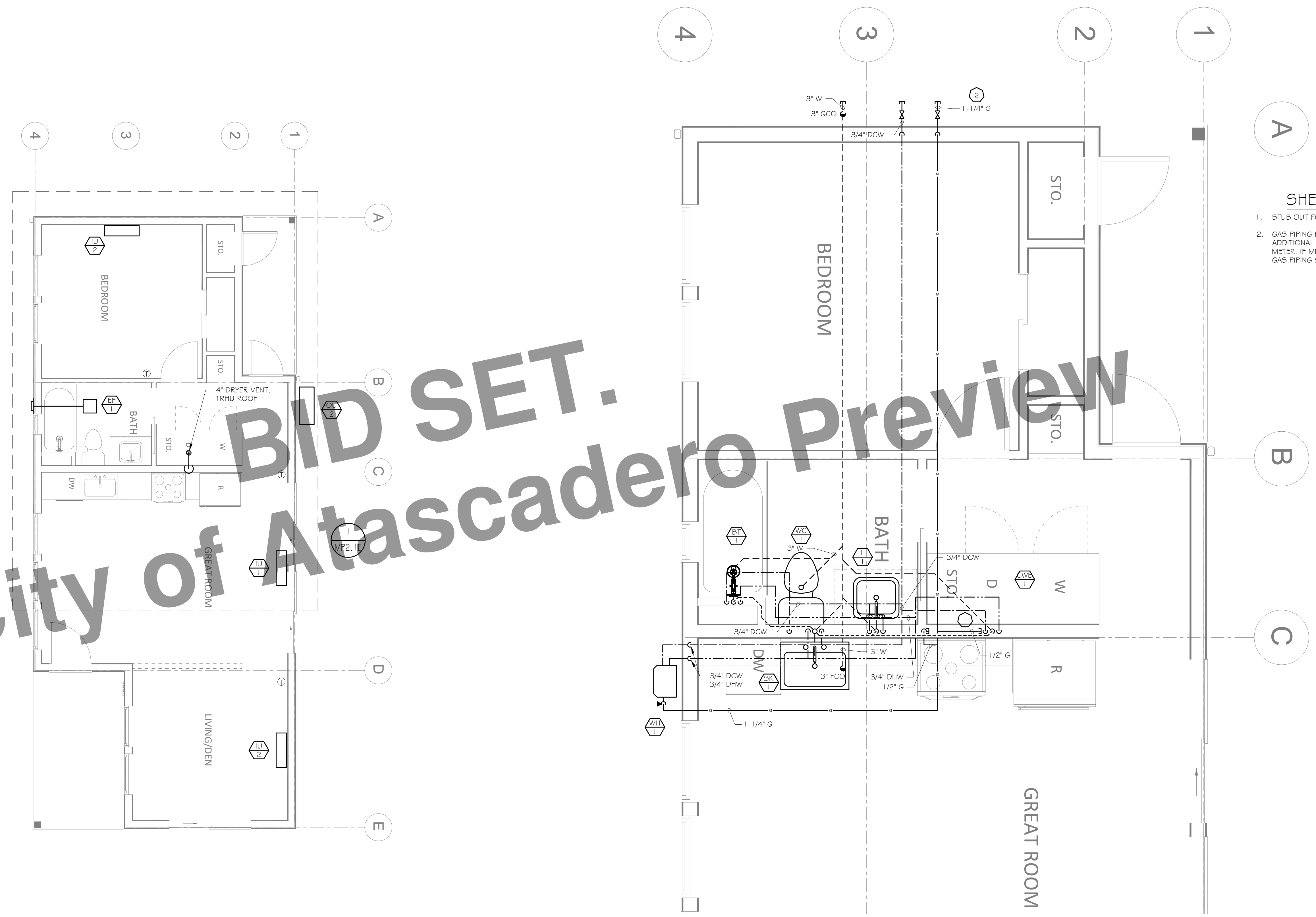
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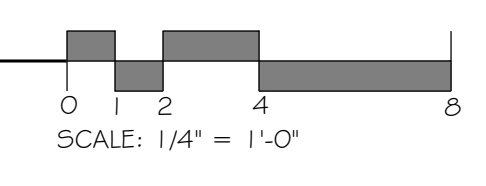
MP2.1H

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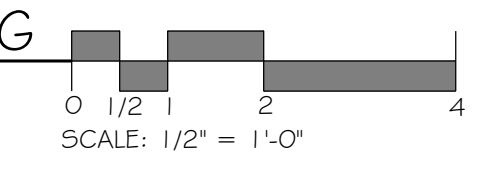


SHEET NOTES
1. STUB OUT FOR FUTURE CONNECTION.
2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

2 FLOOR PLAN - ONE BED PLUS - NEW MECHANICAL
MP2.1H SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - ONE BED PLUS - NEW PLUMBING
MP2.1H SCALE: 1/2" = 1'-0"



BID SET.
City of Atascadero Preview

OPAQUE DOORS													
01	02	03		04		05		06		07		08	
Name	Zone	Construction	Area (ft ²)	U-factor	Area (ft ²)	U-factor	Area (ft ²)	U-factor	Area (ft ²)	U-factor	Area (ft ²)	U-factor	Area (ft ²)
Door	Front Wall	R-38 Roof No Attic	21	0.2	0	0	0	0	0	0	0	0	0
Door B	Back Wall	R-38 Roof No Attic	17.5	0.2	0	0	0	0	0	0	0	0	0

OPAQUE SURFACES - CATHEDRAL CEILING														
01	02	03	04	05	06	07	08	09	10	11				
Name	Zone	Construction	Area (ft ²)	U-factor	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof					
Roof 3	One Bed Plus	R-38 Roof No Attic	135	n/a	59.49	0	3	0.75	0.85	Yes				
Roof 4	One Bed Plus	R-38 Roof No Attic	135	n/a	45.5	0	3	0.75	0.85	Yes				
Roof 5	One Bed Plus	R-38 Roof No Attic	144.48	n/a	144.48	0	3	0.75	0.85	Yes				

ZONE INFORMATION											
01	02	03	04	05	06	07					
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status					
One Bed Plus	Conditioned	OU-11	631.65	8	DHW Sys 1	New					

REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff (%)	Annual Solar Access (%)	
1.72	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	97.32	96	98

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 • Indoor air quality, balanced fan
 • IAQ Ventilation System: as low as 0.30/303 W/CFM
 • IAQ Ventilation System: Heat Recovery: minimum 80 SRE and 83 ASRE
 • IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
 • IAQ Ventilation System: fault indicator display
 • Cool roof
 • Window overhangs and/or fins
 • Compact distribution system: basic credit
 • Recycling with demand control, occupancy/motion sensor
 • Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed.

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.
 • Quality insulation installation (QII)
 • Indoor air quality ventilation
 • Kitchen range hood
 • Verified Refrigerant Charge
 • Verified heat pump rated heating capacity

ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² -yr)	Proposed Design (kBtu/ft ² -yr)	Compliance Margin (kBtu/ft ² -yr)	Margin Percentage
North Facing	26.24	23.13	3.12	11.89
Gross EU ¹	26.24	23.13	3.12	11.89
Net EU ²	11.49	8.37	3.12	27.15
East Facing	26.24	23.23	3.01	11.47
Gross EU ¹	26.24	23.23	3.01	11.47
Net EU ²	11.49	8.49	3	26.11
South Facing	26.24	22.87	3.37	12.84
Gross EU ¹	26.24	22.87	3.37	12.84
Net EU ²	11.49	8.12	3.37	29.33
West Facing	26.24	22.99	3.25	12.39
Gross EU ¹	26.24	22.99	3.25	12.39
Net EU ²	11.49	8.24	3.25	28.29

ENERGY USE SUMMARY							
Energy Use	Standard Design Source Energy (EDR1) (kWh/ft ² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² -yr)	Proposed Design Source Energy (EDR1) (kWh/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)	
Space Heating	2.63	17.87	1.5	12.05	1.13	5.82	
Space Cooling	0.65	28.18	0.5	26.74	0.15	1.44	
IAQ Ventilation	0.92	9.85	0.7	7.49	0.22	2.36	
Water Heating	3.17	34.2	1.97	23.78	1.2	10.42	
Self Utilization/Flexibility Credit			0	0		0	
North Facing Efficiency Compliance Total	7.37	90.1	4.66	69.94	2.71	20.16	
Space Heating	2.63	17.87	1.93	14.83	0.7	3.46	
Space Cooling	0.65	28.18	0.49	24.64	0.22	3.54	
IAQ Ventilation	0.92	9.85	0.7	7.49	0.22	2.36	
Water Heating	3.17	34.2	1.97	23.78	1.2	10.42	
Self Utilization/Flexibility Credit			0	0		0	
East Facing Efficiency Compliance Total	7.37	90.1	5.03	70.32	2.34	19.78	

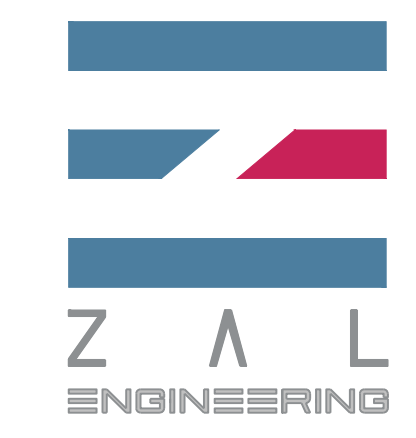
ENERGY USE SUMMARY							
Energy Use	Standard Design Source Energy (EDR1) (kWh/ft ² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² -yr)	Proposed Design Source Energy (EDR1) (kWh/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)	
Space Heating	2.63	17.87	1.5	12.05	1.13	5.82	
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Self Utilization/Flexibility Credit			0	0		0	
East Facing Efficiency Compliance Total	7.37	90.1	5.03	70.32	2.34	19.78	

ENERGY DESIGN RATINGS						
	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ³ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ³ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	30.6	31.7	30.6			
Proposed Design						
North Facing	25.8	24.5	26.4	4.8	7.1	4.2
East Facing	26.4	24.8	26.4	4.2	6.9	4.2
South Facing	25.5	22.3	25	5.1	9.4	5.6
West Facing	25.9	24.4	26.2	4.7	7.3	4.4
	RESULT: PASS					

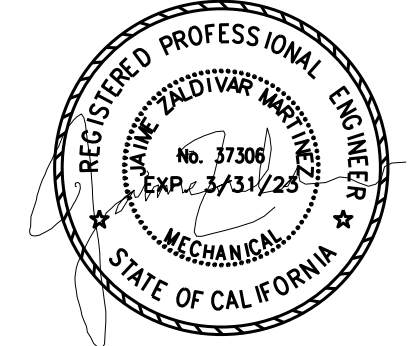
GENERAL INFORMATION																		
01	02	03																
Project Name	Run Title	Project Location																
Central Coast ADU OBP	Title 24 Analysis	Atascadero																
City	Atascadero	Standards Version: 2022																
Zip code	93423	Software Version: EnergyPro 9.0																
Climate Zone	4	Front Orientation (deg/ Cardinal): All orientations																
Building Type	Single Family	Number of Dwelling Units: 1																
Project Scope	Newly Constructed	Number of Bedrooms: 1																
Additional Cond. Floor Area (ft ²)	0	Number of Stories: 1																
Existing Cond. Floor Area (ft ²)	n/a	Fenestration Average U-factor: 0.28																
Total Cond. Floor Area (ft ²)	631.65	Glazing Percentage (%): 14.00%																
ADU Bedroom Count	n/a																	

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.
 Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
 contact@zalengineering.com
 831-G41-7739
 ZAL (zalengineering.com)



ZAL ENGINEERING MECHANICAL CONSULTANTS
 99 PACIFIC ST. STE 375G
 MONTEREY, CA 93940
 TELEPHONE (831) 641-7739
 JOB NO.: 22002.000



CENTRAL COAST PRE-DESIGNED ADU CENTRAL COAST, CALIFORNIA

ONE BED PLUS ONE BED PLUS LOFT T24 FORMS ELECTRIC

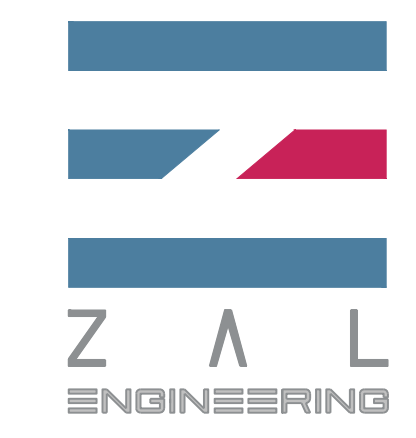
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Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



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MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED PLUS
ONE BED PLUS
LOFT
T24 FORMS
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
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DRAWN BY:
CHECKED BY:
SHEET NUMBER
T24.14B

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU OBP
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-25T14:24:10-05:00
Input File Name: 4_OBP_E_C24.rbd22x
(Page 14 of 14)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance document is accurate and complete.

Documentation Author Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:19:50
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Zip: Monterey, CA 93940

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design submitted on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the jurisdiction's authority having jurisdiction.

Responsible Designer Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:19:50
Company: ZAL Engineering
Address: 99 Pacific St, Ste 375G
City/State/Zip: Monterey, CA 93940

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010107156A-000-0000000-0000
Registration Date/Time: 2023-08-25 17:19:50
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
HERS Provider: CalCERTS, Inc.
Report Generated: 2023-08-25 12:24:51

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Input File Name: 4_OBP_E_C24.rbd22x
(Page 13 of 14)

HVAC HEAT PUMPS - HERS VERIFICATION

Name	Verified Airflow	Airflow Target	Verified EER/SEER	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

INDOOR AIR QUALITY (IAQ) FANS

Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQVentiRpt 1-1	66	0.32033	Balanced	Yes	83	No	Yes	

Registration Number: 223-P010107156A-000-0000000-0000
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Input File Name: 4_OBP_E_C24.rbd22x
(Page 12 of 14)

WATER HEATING - COMPACT DISTRIBUTION

Dwelling Unit Type	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compactness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

WATER HEATING - HERS VERIFICATION

Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OJ-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

Name	System Type	Number of Units	Efficiency Type	Heating HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	EER / SEER / SEER2	SEER / SEER2	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	5400	EEERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

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(Page 11 of 14)

BUILDING ENVELOPE - HERS VERIFICATION

Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS

Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (ft)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP

Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T10H22U0	One Bed Plus	One Bed Plus	One Bed Plus

RECIRCULATION LOOPS

Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

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(Page 10 of 14)

SLAB FLOORS

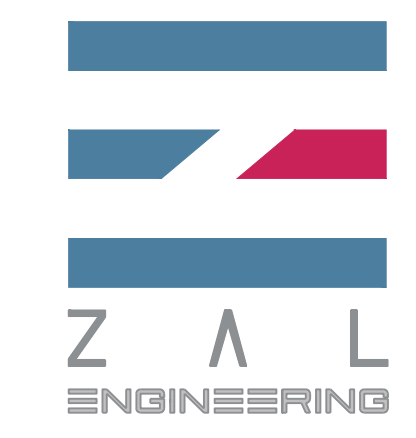
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	One Bed Plus	251.85	0.1	none	0	100%	No
Slab-on-Grade 2	One Bed Plus	130.33	0.1	none	0	100%	No
Slab-on-Grade 3	One Bed Plus	59.49	0.1	none	0	100%	No
Slab-on-Grade 4	One Bed Plus	45.5	0.1	none	0	100%	No
Slab-on-Grade 5	One Bed Plus	144.48	0.1	none	0	100%	No

OPAQUE SURFACE CONSTRUCTIONS

Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O.C.	R-23	5 / None	0.045	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-23 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 24 in. O.C.	R-40	None / None	0.026	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-40 / 2x12 Inside Finish: Gypsum Board

Registration Number: 223-P010107156A-000-0000000-0000
Registration Date/Time: 2023-08-25 17:19:50
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contact@zalengineering.com
831-G41-7739
ZAL (zalengineering.com)

ZAL
ENGINEERING
MECHANICAL CONSULTANTS
990 PACIFIC ST. STE. 3755
MONTEBELO, CA 91764
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST ADU
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**ONE BED PLUS
ONE BED PLUS
LOFT
T24 FORMS
HYBRID**

NO.	DESCRIPTION	DATE
1		
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ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.15B

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OPAQUE DOORS		01		02		03		04	
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skyight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Cool Roof
Door	Front Wall	R-38 Roof No Attic	0	Front	21	0	0	0.75	0.85
Door B	Back Wall	R-38 Roof No Attic	0	Front	17.5	0	0	0.75	0.85

OVERHANGS AND FINIS

Window	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Top Up	Bot Up	Dist L	Dist R	Bot Up
Window	2.8	0.8	5	5	0.75	0	0	0	0	0	0

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OPAQUE SURFACES - CATHEDRAL CEILING		01		02		03		04		05		06		07		08		09		10		11	
Roof 3	One Bed Plus	R-38 Roof No Attic	0	Front	59.49	0	3	0.75	0.85	0.85	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	

FENESTRATION / GLAZING

Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skyight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Cool Roof	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Roof 4	One Bed Plus	R-38 Roof No Attic	0	Front	45.5	0	3	0.75	0.85	Yes	Yes	Yes	Yes	Yes

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ZONE INFORMATION		01		02		03		04		05		06		07	
One Bed Plus	Conditioned	OU-11	631.65	8	DHW Sys 1	New									

OPAQUE SURFACES

Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)
Front Wall	One Bed Plus	R-21 Wall	0	Front	48	21	90

OPAQUE SURFACES - CATHEDRAL CEILING

Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skyight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	One Bed Plus	R-38 Roof No Attic	0	Front	251.85	0	3	0.75	0.85	Yes

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REQUIRED PV SYSTEMS		01		02		03		04		05		06		07		08		09		10		11		12	
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Tilt Input	Tilt (deg)	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)														
1.72	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	n/a	96	98														

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.30303 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- IAQ Ventilation System: fault indicator display
- Cool roof
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional details are provided in the building tables below. Registered CF2Bs and CF3Rs are required to be completed in the HERS Registry

- Quality insulation installation (QII)
- Indoor air quality verification
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump rated heating capacity

BUILDING - FEATURES INFORMATION

Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU OBP	631.65	1	1	1	0	1

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ENERGY USE INTENSITY		Standard Design		Proposed Design		Compliance Margin		Margin Percentage	
North Facing	Gross EU ¹	33.85	31.67	2.18	7.03				
Net EU ²	19.1	16.72	2.38	12.46					

South Facing

Energy Use	Standard Design	Proposed Design	Compliance Margin	Margin Percentage
Gross EU ¹	33.85	31.59	2.26	6.68
Net EU ²	19.1	18.85	2.25	11.78

West Facing

Energy Use	Standard Design	Proposed Design	Compliance Margin	Margin Percentage
Gross EU ¹	33.85	31.27	2.58	7.62
Net EU ²	19.1	16.52	2.58	13.51

Total

Energy Use	Standard Design	Proposed Design	Compliance Margin	Margin Percentage
Gross EU ¹	14.84	97.78	12.52	81.69
Net EU ²	14.84	12.3	2.54	15.02

1. Gross EU is Energy Use Total (not including PV) / Total Building Area.
2. Net EU is Energy Use Total (including PV) / Total Building Area.

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ENERGY USE SUMMARY		Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.68	12.52	0.94	6.87	0.74	5.65	
Space Cooling	0.56	26.49	0.41	22.89	0.09	3.6	
IAQ Ventilation	0.92	9.85	0.7	7.49	0.22	2.36	
Water Heating	11.68	48.92	10.41	44.44	1.27	4.48	
Self Utilization/Flexibility Credit				0		0	
North Facing Efficiency Compliance Total	14.84	97.78	12.3	82.76	2.54	15.02	

West Facing Efficiency Compliance Total

Energy Use	Standard Design	Proposed Design	Compliance Margin	Margin Percentage
Space Heating	1.68	12.52	0.83	4.98
Space Cooling	0.56	26.49	0.56	26.14
IAQ Ventilation	0.92	9.85	0.7	7.49
Water Heating	11.68	48.92	10.41	44.44
Self Utilization/Flexibility Credit				0

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ENERGY DESIGN RATINGS		Standard Design		Proposed Design		Compliance Margins	
	Source Energy (EDR1)	48	50.3	42.3			
	Efficiency ¹ EDR (EDR2efficiency)	43.6	46	40.1	4.4	4.3	2.2
	Total ² EDR (EDR2total)	44	45	39.5	4	5.3	2.8
	Source Energy (EDR1)	43.5	42.1	37.9	4.5	8.2	4.4
	Efficiency ¹ EDR (EDR2efficiency)	43.1	42.6	38.3	4.9	7.7	4

Compliance Margins

Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
48	43.6	44
50.3	46	45
42.3	40.1	39.5
43.5	42.1	37.9
43.1	42.6	38.3

1. Efficiency EDR includes improvements like a better building envelope and more efficient equipment.
2. Total EDR includes efficiency and demand response measures such as plug-in hybrid (PHEV) system and batteries.

* Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.

- Standard Design PV Capacity: 1.72 kWdc
- Proposed PV Capacity Scaling: North (1.72 kWdc) East (1.72 kWdc) South (1.72 kWdc) West (1.72 kWdc)

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GENERAL INFORMATION		01		02		03		04		05		06		07		08		09		10		11	
Project Name	Central Coast ADU OBP	Run Title	Title 24 Analysis	City	Atascadero	Standards Version	2022	Climate Zone	4	Software Version	EnergyPro 9.0	Front Orientation (deg/ Cardinal)	All orientations	Building Type	Single Family	Number of Dwelling Units	1	Project Scope	Newly Constructed	Number of Bedrooms	1	Additional Cond. Floor Area (ft ²)	0
Zip code	93423	Building Type	Single Family	Project Scope	Newly Constructed	Number of Bedrooms	1	Additional Cond. Floor Area (ft ²)	0	Existing Cond. Floor Area (ft ²)	n/a	Fenestration Average U-factor	0.28	Number of Stories	1	Total Cond. Floor Area (ft ²)	631.65	Glazing Percentage (%)	34.00%	ADU Bedroom Count	n/a	ADU Bedroom Count	n/a

COMPLIANCE RESULTS

01	02	03
Building Complies with Computer Performance	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.	This building incorporates one or more Special Features shown below

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GENERAL INFORMATION		01		02		03		04		05		06		07		08		09		10		11	
Project Name	Central Coast ADU OBP	Run Title	Title 24 Analysis	City	Atascadero	Standards Version	2022	Climate Zone	4	Software Version	EnergyPro 9.0	Front Orientation (deg/ Cardinal)	All orientations	Building Type	Single Family	Number of Dwelling Units	1	Project Scope	Newly Constructed	Number of Bedrooms	1	Additional Cond. Floor Area (ft ²)	0
Zip code	93423	Building Type	Single Family	Project Scope	Newly Constructed	Number of Bedrooms	1	Additional Cond. Floor Area (ft ²)	0	Existing Cond. Floor Area (ft ²)	n/a	Fenestration Average U-factor	0.28	Number of Stories	1	Total Cond. Floor Area (ft ²)	631.65	Glazing Percentage (%)	34.00%	ADU Bedroom Count	n/a	ADU Bedroom Count	n/a

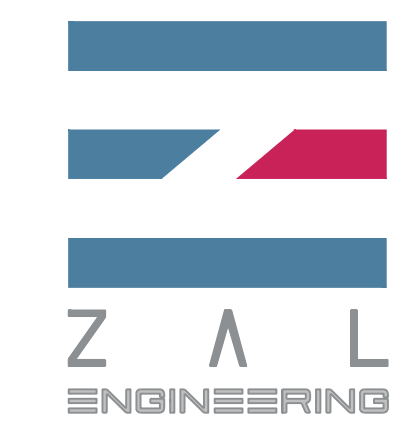
COMPLIANCE RESULTS

01	02	03
Building Complies with Computer Performance	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.	This building incorporates one or more Special Features shown below

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Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address.
Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

ONE BED PLUS
ONE BED PLUS
LOFT
T24 FORMS
HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:
DRAWN BY:
CHECKED BY:
SHEET NUMBER
T24.16B

SHEET OF
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE VIOLATION OF THESE RESTRICTIONS.

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance document is accurate and complete.

Documentation Author Name: Jaime Zaldivar Documentation Author Signature:

Company: ZAL Engineering Signature Date: 2023-08-25 17:28:18

Address: 99 Pacific St, Ste 375G CA Title 24 Certification Identification (if applicable): M37306

City/State/Zip: Monterey, CA 93940 Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design submitted on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1.3 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the applicable authority having jurisdiction.

Responsible Designer Name: Jaime Zaldivar

Company: ZAL Engineering Date Signed: 2023-08-25 17:28:18

Address: 99 Pacific St, Ste 375G License: M37306

City/State/Zip: Monterey, CA 93940 Phone: 831-641-7739

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

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HVAC HEAT PUMPS - HERS VERIFICATION

Name	Verified Airflow	Airflow Target	Verified EER/SEER	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

INDOOR AIR QUALITY (IAQ) FANS

Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQVentiRpt 1-1	66	0.32033	Balanced	Yes	83	No	Yes	

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WATER HEATING - COMPACT DISTRIBUTION

Dwelling Unit Type	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compaction Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

WATER HEATING - HERS VERIFICATION

Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OJ-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

Name	System Type	Number of Units	Efficiency Type	Heating HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	EER / SEER / SEER2	Zonally Controlled	Compressor Type	HERS Verification	
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	5400	EESEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

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BUILDING ENVELOPE - HERS VERIFICATION

Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS

Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (F)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS

Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (In/Ext)	Standby Loss or Recovery Eff	1st Hc. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Btu/hr	200000	0	n/a	n/a	

RECIRCULATION LOOPS

Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

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SLAB FLOORS

Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	One Bed Plus	251.85	0.1	none	0	80%	No
Slab-on-Grade 2	One Bed Plus	130.33	0.1	none	0	80%	No
Slab-on-Grade 3	One Bed Plus	59.49	0.1	none	0	80%	No
Slab-on-Grade 4	One Bed Plus	45.5	0.1	none	0	80%	No
Slab-on-Grade 5	One Bed Plus	144.48	0.1	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-22	8 / None	0.039	Inside Finish: Gypsum Board Sheathing / Insulation: 8.8 Sheathing Cavity / Frame: R-22 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-40	None / None	0.028	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-40 / 2x12 Inside Finish: Gypsum Board

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