

ATASCADERO PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, the City of Atascadero has developed six Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the City for each project, along with any required supplemental documents or applications. Projects utilizing these plans are subject to the City's Permit Review Process.

The Pre-Designed ADU Program offers six floorplans and four exterior design styles. Floorplans available are: Efficiency Studio (316 GSF); Standard Studio (445 GSF); One Bedroom (626 GSF); One Bedroom Plus (746 GSF); One Bedroom Plus Loft (927 GSF), and Two Bedroom Plus (998 GSF).

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Atascadero homeowners to customize their ADU to fit their site requirements, functional needs, and design preferences.

Designed-in options include optional windows, exterior doors, interior walls dividing a portion of living space into a private sleeping area or bedroom, and the option for a curbless "roll-in" shower in the bathroom.

These plans contain two options for Mechanical systems- an All-Electric system or a Hybrid system (all-electric with the exception of an on-demand gas water heater). The Hybrid system includes a sub-option for a gas range in the kitchen.

This program was funded jointly by the cities of Arroyo Grande, Atascadero, Grover Beach, and Morro Bay using an SB2 Planning Grant, which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and processes that streamline housing approvals and accelerate housing production.

HOW TO USE THIS PLAN SET

To complete the drawing set, project-specific information is required to be provided by the property owner. All owner-provided information will be entered on Sheets G0.0 and G0.1.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. In order to receive a building permit, applicants will need to submit a full application for review by all necessary City Departments. This will include the Pre-Designed ADU Plan Set, a site survey, an Administrative Permit Application and a Building Permit Application, along with any supplementary application documents that may be required based on their specific property and project. Refer to the City of Atascadero Planning Department for your specific project and site requirements.

The Architectural and Electrical Plans for each exterior design option are self-contained within their own sheets. The contractor will reference the sheets for the chosen option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction and to select options.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are contained on specific sheets for these purposes. These sheets will be referenced for all exterior design options.

HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR PERMIT

- Enter PROJECT INFORMATION and a VICINTY MAP in the space provided on Sheet G0.0.
- Review the plan set. Choose your exterior style and mechanical system options. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
- Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1. Civil Engineering may be required.
- If additional concurrent or deferred applications are necessary for your project, list the application type in the space provided on Sheet G0.0.
- Submit your application materials using the instructions on the City website.
- If you would like to modify this stock plan, submit your revisions for City Review. Building review fees will apply to revisions to standard plans.

ADDITIONAL NOTES - ATASCADERO

PLANNING DEPARTMENT

- All submitted plan sets must be accompanied by a Building Permit Application.
- All applications must include a site survey.

BUILDING DEPARTMENT

- All applications must include a Construction Waste Management Plan.
- The City will accept schematics for gas line revisions

DEFERRED SUBMITTALS - ATASCADERO

- PHOTOVOLTAIC SYSTEM (ALL PROJECTS)
- RESIDENTIAL FIRE SPRINKLER SYSTEM (WHERE REQUIRED)

BUILDING CODES USED - 2022

- | | |
|--------------------------------|--|
| 1A. Atascadero Municipal Code | |
| 1. California Building Code | 5. California Mechanical Code |
| 2. California Residential Code | 6. California Fire Code |
| 3. California Electrical Code | 7. California Green Building Standards Code |
| 4. California Plumbing Code | 8. California Energy Efficiency Standards Code |

PROJECT INFORMATION

OWNER/APPLICANT: ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION

APN

STREET ADDRESS

CITY, STATE, ZIP

LOT SIZE (in SF)

EXISTING HOME SIZE (in SF)

PARCEL OVER 10% SLOPE YES NO PROJECTS ON GREATER THAN 10% SLOPE SHALL REQUIRE A GEOTECHNICAL REPORT WITHIN THEIR APPLICATION. FOUNDATION ENGINEERING MAY BE REQUIRED. REFER TO PLANNING DEPT FOR INFO.

SRA FIRE HAZARD SEVERITY ZONE (WUI) APPLICABLE NOT APPLICABLE PROJECTS LOCATED WITHIN SRA ZONES ARE SUBJECT TO CBC 7A. UNIFORM CODE REQUIREMENTS DEVELOPED BY THE OFFICE OF THE STATE FIRE MARSHAL (OSFM). REFER TO LOCAL JURISDICTION TO CONFIRM REQUIREMENTS.

PROJECT INFORMATION

NUMBER OF STORIES ONE (1)

OCCUPANCY GROUP - R3 TYPE OF CONSTRUCTION - STANDARD/TYPE VB

MAIN RESIDENCE HAS FIRE SPRINKLERS YES NO

SERVED BY SEPTIC SYSTEM YES NO SEPTIC DESIGN BY A QUALIFIED PROFESSIONAL MUST BE INCLUDED WITH PERMIT SUBMITTAL

PROPERTY OWNER

NAME

ADDRESS

CITY, STATE, ZIP

PHONE/EMAIL

PROJECT CONTRACTOR

NAME

ADDRESS

CITY, STATE, ZIP

PHONE/EMAIL

DRAWING INDEX

GENERAL SHEETS

G0.0	COVER SHEET & PROJECT INFORMATION
G0.1	OWNER PROVIDED SITE PLAN
G1.0	GENERAL NOTES
G2.0	CAL GREEN/GREEN BUILDING REQUIREMENTS
G2.1	CAL GREEN/GREEN BUILDING REQUIREMENTS

ARCHITECTURAL

<input type="checkbox"/>	A1.0	RANCH - FLOORPLAN & ELEVATIONS
<input type="checkbox"/>	A1.1	RANCH - ROOF PLAN & RCP
<input type="checkbox"/>	A1.2	RANCH - SECTIONS
<input type="checkbox"/>	A2.0	CRAFTSMAN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A2.1	CRAFTSMAN - ROOF PLAN & RCP
<input type="checkbox"/>	A2.2	CRAFTSMAN - SECTIONS
<input type="checkbox"/>	A3.0	MODERN - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A3.1	MODERN - ROOF PLAN & RCP
<input type="checkbox"/>	A3.2	MODERN - SECTIONS
<input type="checkbox"/>	A4.0	BUNGALOW - FLOORPLANS & ELEVATIONS
<input type="checkbox"/>	A4.1	BUNGALOW - ROOF PLAN & RCP
<input type="checkbox"/>	A4.2	BUNGALOW - SECTIONS
<input type="checkbox"/>	A5.0	EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.1	EXTERIOR WALL ASSEMBLY DETAILS
<input type="checkbox"/>	A5.2	EXTERIOR DETAILS
<input type="checkbox"/>	A5.3	INTERIOR DETAILS & WALL PARTITIONS
<input type="checkbox"/>	A6.0	SCHEDULES - TWO BEDROOM PLUS

STRUCTURAL

<input type="checkbox"/>	S0.1	STRUCTURAL NOTES
<input type="checkbox"/>	S1.0	TYPICAL DETAILS
<input type="checkbox"/>	S1.0	ROOF/CEILING FRAMING & FOUNDATION PLAN
<input type="checkbox"/>	S2.0	FOUNDATION DETAILS
<input type="checkbox"/>	S2.1	ROOF FRAMING DETAILS
<input type="checkbox"/>	S2.2	ROOF FRAMING DETAILS (CONT.)

MECHANICAL

<input type="checkbox"/>	MP0.1	GENERAL NOTES
<input type="checkbox"/>	MP0.2	SCHEDULES & GAS DIAGRAM & PLUMBING
<input type="checkbox"/>	MP2.1E	MECHANICAL & PLUMBING PLANS - ELECTRIC
<input type="checkbox"/>	MP2.1H	MECHANICAL & PLUMBING PLANS - HYBRID

ENERGY COMPLIANCE/TITLE 24

<input type="checkbox"/>	T24.17B	TITLE 24 FORMS- ELECTRIC
<input type="checkbox"/>	T24.18B	TITLE 24 FORMS- ELECTRIC
<input type="checkbox"/>	T24.19B	TITLE 24 FORMS- HYBRID
<input type="checkbox"/>	T24.20B	TITLE 24 FORMS- HYBRID



CENTRAL COAST PRE-DESIGNED ADU

CITY REVIEW SET

PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitola Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

SCOPE OF WORK

CONSTRUCTION OF A NEW, DETACHED, ONE-STORY 998 GROSS SQUARE FOOT (GSF) ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF TWO BEDROOMS, ONE BATHROOM, LAUNDRY AREA, AND A GREAT ROOM WITH A KITCHEN. THE GREAT ROOM MAY BE DIVIDED TO CREATE A THIRD BEDROOM, SECOND BATHROOM, OR BOTH. REFER TO THE PROJECT CHECKLIST FOR SELECTED OPTIONS.

PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE)	
<input type="checkbox"/> COASTAL RANCH	For this option, use the listed sheets and details: A1.0, A1.1, A5.0 or A5.1, A5.2, A5.3, A6.0/1
<input type="checkbox"/> BACKYARD CRAFTSMAN	For this option, use the listed sheets and details: A2.0, A2.1, A5.0 or A5.1, A5.2, A5.3, A6.0/2
<input type="checkbox"/> CALIFORNIA MODERN	For this option, use the listed sheets and details: A3.0, A3.1, A5.0 or A5.1, A5.2, A5.3, A6.0/3
<input type="checkbox"/> BEACH BUNGALOW	For this option, use the listed sheets and details: A4.0, A4.1, A5.0 or A5.1, A5.2, A5.3, A6.0/4
ROOFING MATERIAL (SELECT ONE)	
<input type="checkbox"/> ASPHALT SHINGLE	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> METAL STANDING SEAM	For this option, use the listed sheets and details: Roof Details: A5.2
<input type="checkbox"/> APPLICANT REVISION	
PRIMARY SIDING MATERIAL (SELECT ONE)	
<input type="checkbox"/> VERTICAL PLANK FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E1
<input type="checkbox"/> BOARD & BATTEN FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E2
<input type="checkbox"/> HORIZONTAL LAP FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E3
<input type="checkbox"/> SHINGLE FIBER CEMENT	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E4
<input type="checkbox"/> STUCCO	For this option, use the listed sheets and details: Wall Assembly Details: A5.0 or A5.1 - TYPE E5
<input type="checkbox"/> APPLICANT REVISION	
DESIGN OPTIONS (SELECT IF DESIRED)	
<input type="checkbox"/> CURBLESS SHOWER	Requires foundation coordination. See detail 4/A5.3
<input type="checkbox"/> ADDITIONAL (3RD) BEDROOM	Requires coordination ahead of foundation pour and framing. See detail 6/A5.3
<input type="checkbox"/> ADDITIONAL (2ND) BATHROOM	Homeowner to provide fixture layout with application. Requires coordination ahead of foundation pour and framing. See detail 6/A5.3
<input type="checkbox"/> APPLICANT REVISION	
MECHANICAL SYSTEM (SELECT ONE)	
<input type="checkbox"/> ALL-ELECTRIC SYSTEM	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1E
<input type="checkbox"/> HYBRID (ELECTRIC W/ GAS H2O HEATER)	For this option, use the listed sheets and details: Mechanical and Plumbing: MP0.1, MP0.2, MP2.1H
<input type="checkbox"/> GAS RANGE	
REQUIRED COMPLIANCE (CHECK IF APPLICABLE)	
<input type="checkbox"/> PARCEL LOCATED WITHIN WILDLAND URBAN INTERFACE WUI/SRA ZONE	PARCELS WITHIN THE WUI/SRA ZONE MUST USE FIRE-RESISTANT CONSTRUCTION ASSEMBLIES AND MATERIALS IN COMPLIANCE WITH CBC 7A. REFERENCE G1.0 "WUI NOTES"; A6.0 SCHEDULES; USE A5.1 "EXTERIOR DETAILS - WUI ZONES"
<input type="checkbox"/> EXTERIOR WALL CLOSER THAN 5' TO PROPERTY LINE	WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. REFERENCE A5.0 "FIRE RATING NOTES"
SITE PLAN (REQUIRED)	
<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan

AREA CALCULATIONS - TWO BEDROOM PLUS
DWELLING UNIT - 998 GSF
COVERED PORCH - 47.5 GSF
SEMI-ENCLOSED COURTYARD - 133.5 GSF



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

BROCKETT ARCHITECT

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
BROCKITECTURE.COM

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH, AND MORRO BAY CALIFORNIA. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.
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- THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DISCLAIMER.

CENTRAL COAST PRE-DESIGNED ADU

TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

COVER SHEET & PROJECT INFORMATION - ATASCADERO

GO.0

SCALE: AS NOTED

HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED. ADDITIONAL INFORMATION MAY BE REQUIRED PER JURISDICTION OR PROJECT- APPLICANT TO CONFIRM SITE PLAN REQUIREMENTS WITH THEIR PLANNING DEPARTMENT.



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BID SET.
City of Atascadero Preview

SITE PLAN CHECKLIST

The applicant shall provide a dimensioned, scaled site plan containing the below information. This checklist is provided to help guide applicants through the creation of their project's site plan. Atascadero Residents - reference "Elements of A Site Plan" document published by the Community Development Department for sample site plans and required elements. Highlight all buildings and improvements.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> NORTH ARROW AND DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES - DIMENSIONED	SHOW OUTLINE OF PROPERTY USING DASHED LINE. LABEL EACH LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPE AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED UTILITY LINES AND METERS	NOTE AND LABEL THE LOCATION OF ANY UTILITIES E.G. WATER, GAS, ELECTRIC, PLUMBING, OR SEWERS. INCLUDE LINES, DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, EQUIPMENT AND METERS. INCLUDE PROPANE TANK IF APPLICABLE.
<input type="checkbox"/> LABELED STREETS SHOWING WIDTH	SITE PLAN SHOULD SHOW THE STREET EDGE, STREET WIDTH (INCLUDING REQUIRED WIDENING) AND STREET NAME. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> LOCATION OF EXISTING/PROPOSED ADU ADDRESS NUMBERS OR SIGNS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. ADU WILL HAVE THE SAME ADDRESS NUMBER AS THE PRIMARY DWELLING, BUT BE DESIGNATED AS UNIT B.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS, STRUCTURES, FENCES, WALLS, OR TANKS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES. INDICATE STRUCTURES THAT WILL BE RETAINED AND ANY STRUCTURES TO BE REMOVED.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR OUTBUILDINGS. REQUIRED SEPARATION BETWEEN BUILDINGS IS: a) 6'-0" MINIMUM; ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NOT NEED TO BE FIRE RATED. b) 8'-0": 25% OPENINGS ALLOWED (WINDOWS OR DOORS) c) 10'-0": NO ADDITIONAL FIRE REQUIREMENTS
<input type="checkbox"/> UTILITY DISCONNECT SHUTOFFS	ALL UTILITY DISCONNECT SHUTOFFS MUST BE LOCATED ON THE BUILDING EXTERIOR
REQUIRED INFORMATION - ATASCADERO	
<input type="checkbox"/> LOCATION AND SETBACK OF EXISTING SEPTIC TANK AND LEACH FIELDS	
<input type="checkbox"/> VEHICLE AND PEDESTRIAN ACCESS	Including length, width, and slope of driveway
<input type="checkbox"/> PARKING SPACES, TRAFFIC FLOW DIRECTION	
<input type="checkbox"/> PLANTED AREAS AND OUTDOOR USE AREAS	
<input type="checkbox"/> LOCATION OF ALL EXISTING TREES	List type, trunk size, canopy diameter, and status (to be removed, saved, tree protection, or other).
<input type="checkbox"/> NAME, LOCATION, AND WIDTH OF ALL WATERCOURSES, BLUE-LINE CREEKS, ETC	
<input type="checkbox"/> LOCATION AND USE OF NEAREST STRUCTURES ON ADJACENT PROPERTIES	
<input type="checkbox"/> LOCATION TO NEAREST FIRE HYDRANT	

SITE PLAN LEGEND

Use these symbols to draw and annotate your site plan

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE TO POINT TO DRAWING AS NEEDED

FIRE RATING NOTES

WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA. CBC TABLE 721.1(2), ITEM #15-1.12¹

CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

OWNER PROVIDED
SITE PLAN -
ATASCADERO

GO.1

SCALE: AS NOTED

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANT'S SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
- PER CRC, R327.1.1 (1), REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- PER CRC, R327.1.1 (4), SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

WUI NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

VEGETATION MANAGEMENT COMPLIANCE. R3371.5
PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902.
NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDIED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

OFF RIDGE AND RIDGE VENTS. R337.6.2.1
VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:
1. VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
2. THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
3. THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.1 / CRC R337.7.3
WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PERFORMACE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC 337.7.4. R337.7.6
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

VENTS. CBC 706A / CRC R337.6
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **cbc 706A2.1**.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8
WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9
WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A
GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

LIGHTING NOTES

- ALL LIGHTING SHALL BE HIGH EFFICACY (I.E., PIN-BASED CFL; PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-A.
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JA8-2016" OR "JA8-2016-E" ("JA8-2016-E" LUMINARIES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINARIES), CEC150.0(K)G
- ALL JA8 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS), CEC 150.0(K)2K
A. CEILING RECESSED DOWNLIGHT LUMINARIES
B. LED LUMINARIES WITH INTEGRAL SOURCES
C. PIN-BASED LED LAMPS (I.E. MR-16, AR-111, ETC.)
D. GU-24 BASED LED LIGHT SOURCES
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. CEC 150.0(K)8.
- EXHAUST FANS (EXCLUDING KITCHEN EXHAUST HOOD) SHALL BE SWITCHED SEPARATE FROM LIGHTING (OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE FAN IS RUNNING).
- PROVIDE SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING FROM OTHER LIGHTING SYSTEMS CEC150.0(K)2L.
- ALL RECESSED DOWNLIGHT LUMINARIES IN CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
A. BE LISTED, AS DEFINED ON SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT(IC) BY UNDERWRITERS LABORATORY OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
B. HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. ANY EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
C. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OUR CAULK; AND
D. FOR LUMINARIES WITH HARDWired BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
E. SHALL NOT CONTAIN SCREW-BASED SOCKETS; AND
F. SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- IN BATHROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
A. PHOTOCONTROL AND MOTION SENSOR
B. PHOTOCONTROL AND AUTO TIME SWITCH CONTROL
C. ASTRONOMICAL TIME SWITCH CONTROL
D. ENERGY MANAGEMENT CONTROL SYSTEMS
- ALL LIGHT FIXTURES LOCATED IN TUB OR SHOWER ENCLOSURE SHALL BE LABELLED "SUITABLE FOR WET LOCATIONS" CEC 410.10A
- ALL EXTERIOR LIGHTING TO COMPLY WITH THE DARK SKY REGULATION; FIXTURES MUST HAVE A FULLY SHIELDED TOP DIRECTING THE LIGHT DOWNWARD AND A COLOR TEMPERATURE OF 3000K OR LESS.

ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE CIRCUIT FOR GARBAGE DISPOSAL.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER W/ BATTERY BACKUP.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- ALL NEW, MODIFIED, REPLACED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTION (AFCI) PROTECTION. SEE CEC 210.12[A] GANG SWITCHES AND ALIGN OUTLETS TO SWITCH VERTICALLY.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2022 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE FAMILY RESIDENTIAL (150.0(s)).
- PER CEC 230.67, ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. WHERE SERVICE EQUIPMENT IS REPLACED, ALL OF THE REQUIREMENTS OF THIS SECTION SHALL APPLY.
- PER CEC 314.27 (C), OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB).
- PER 445.18 (D), EMERGENCY SHUTDOWN IN ONE- AND TWO-FAMILY DWELLING UNITS TO BE PROVIDED: FOR OTHER THAN CORD-AND-PLUG-CONNECTED PORTABLE GENERATORS, AN EMERGENCY SHUTDOWN DEVICE SHALL BE LOCATED OUTSIDE THE DWELLING UNIT AT A READILY ACCESSIBLE LOCATION.
- PER SECTION 150.0(T)(V)(U), ELECTRIC READY: BRANCH CIRCUITS MUST BE INSTALLED TO THE LOCATION OF GAS FURNACES, COOKTOPS, AND CLOTHES DRYERS (ALREADY TYPICAL TRADE PRACTICE). A BRANCH CIRCUIT TO THE LOCATION OF GAS WATER HEATERS IS A CURRENT REQUIREMENT. SECTION 150.0(S) ENERGY STORAGE SYSTEMS READY: ESS (ENERGY STORAGE SYSTEM) READY INTERCONNECTION EQUIPMENT OR A SEPARATE PANELBOARD WITH A MINIMUM OF 4 BRANCH CIRCUITS WITH AT LEAST ONE CIRCUIT SUPPLYING THE REFRIGERATOR, LIGHTING CIRCUIT NEAR THE PRIMARY EGRESS AND A SLEEPING ROOM RECEPTACLE OUTLET.
- PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.

ABBREVIATIONS

IN	INCH/INCHES
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
KIT	KITCHEN
LB	LAG BOLT
LBS	POUNDS
LF	LINEAR FOOT
LL	LIVE LOAD
LS	LAG SCREW
MAX	MAXIMUM
MB	MACHINE BOLT
MECH	MECHANICAL
MFD	MANUFACTURED
MFR	MANUFACTURER
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NA	NOT APPLICABLE
NTS	NOT TO SCALE
O/	OVER
OC	ON CENTER
OH	OVERHEAD/OVERHANG
OPNG	OPENING
PL	PLATE
PLF	POUNDS PER LINEAL FOOT
PLYVD	PLYWOOD
PTD	PAINTED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PVMT	PAVEMENT
RA	RETURN AIR
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REQD	REQUIRED
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
SCHED	SCHEDULE
SD	STORM DRAIN
SEC	SECTION
SED	SEE ELECTRICAL DRAWINGS
SF	SQUARE FOOT
SPEC	SPECIFICATION
SPD	SEE PLUMBING DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
SS	SOLID SURFACE
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYS	SYSTEM
T	TEMPERED
TOC	TOP OF CURB
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
ENT	VENTILATION/VENTILATOR
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WDW	WINDOW
W/O	WITHOUT
WP	WATERPROOF
WT	WEIGHT



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CENTRAL COAST PRE-DESIGNED ADU

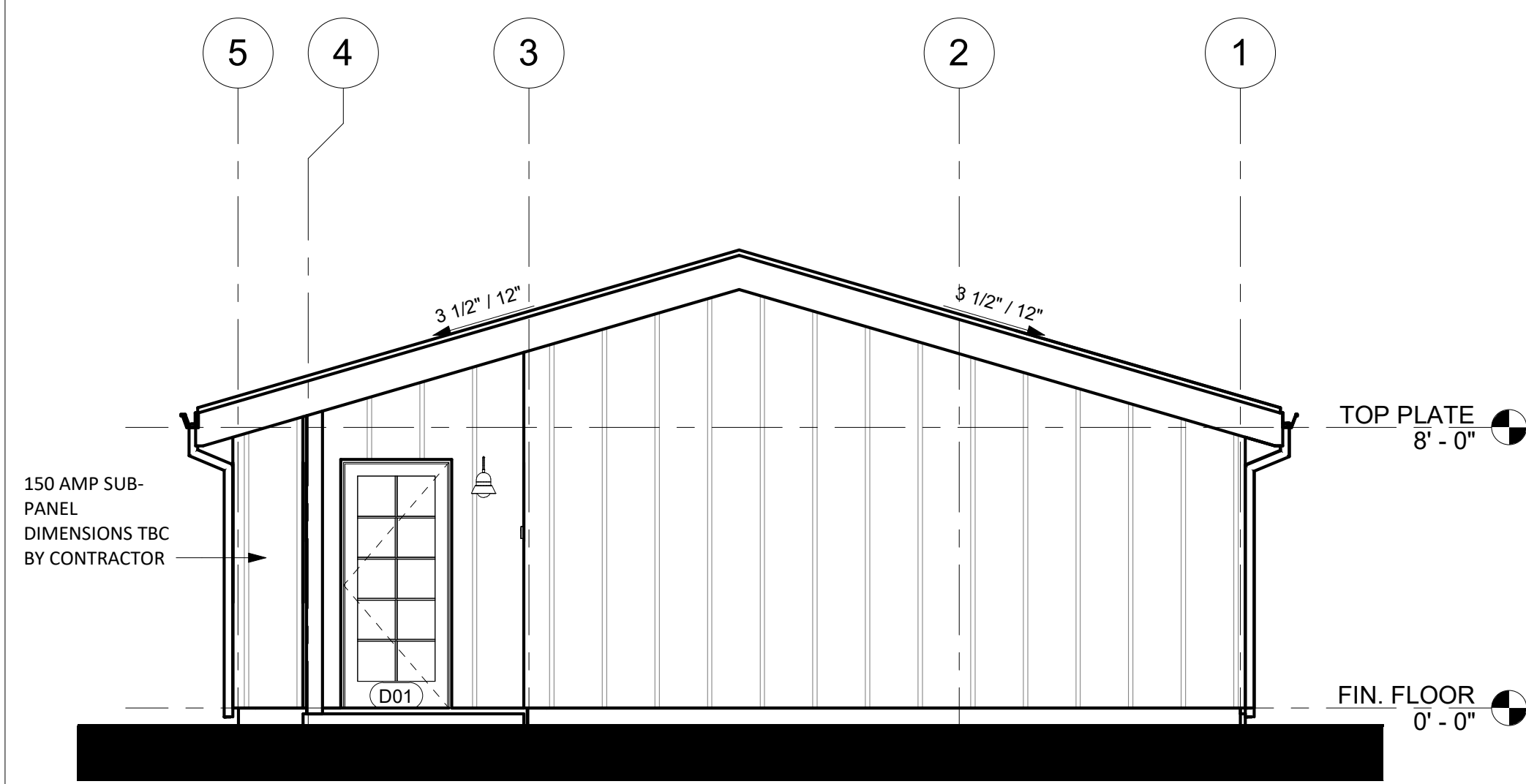
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: 03.03.2023

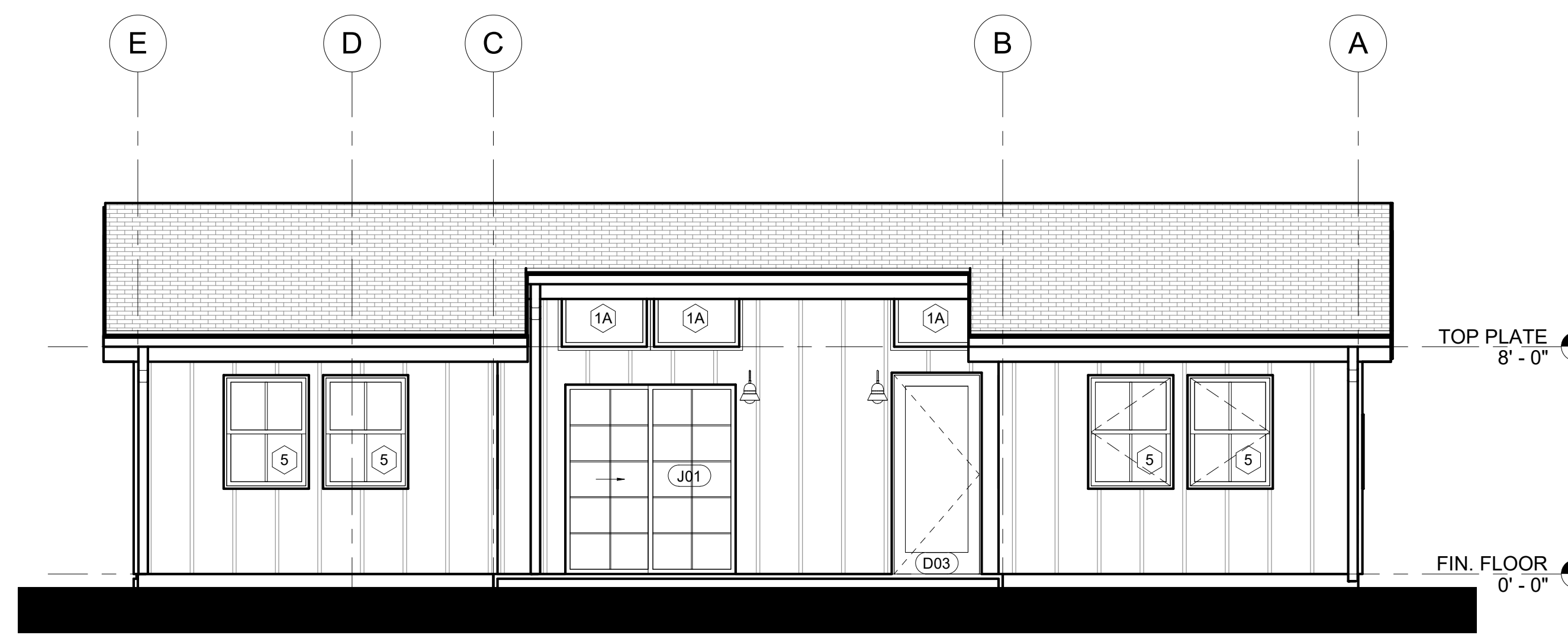
GENERAL NOTES

G1.0

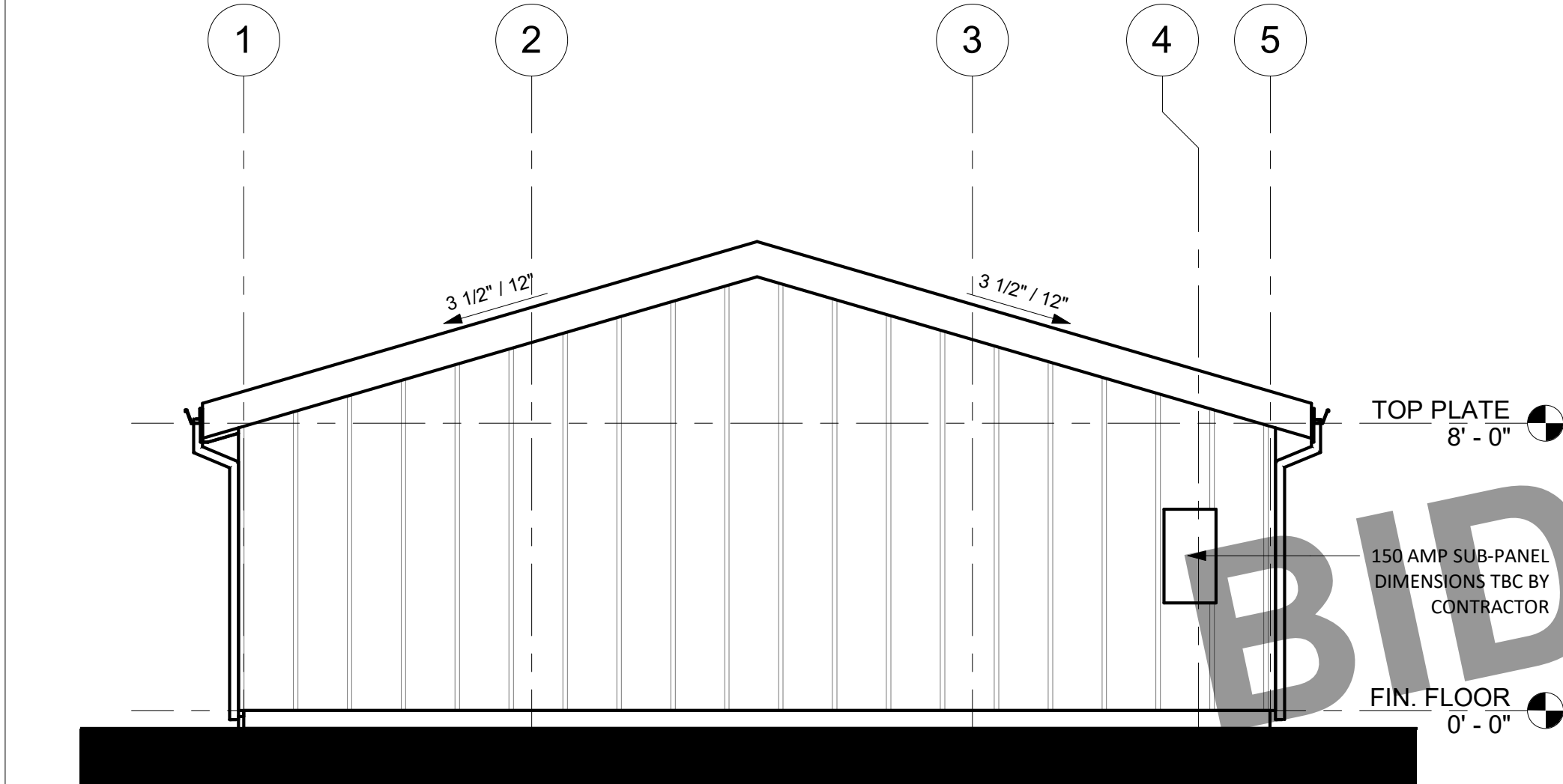
SCALE: AS NOTED



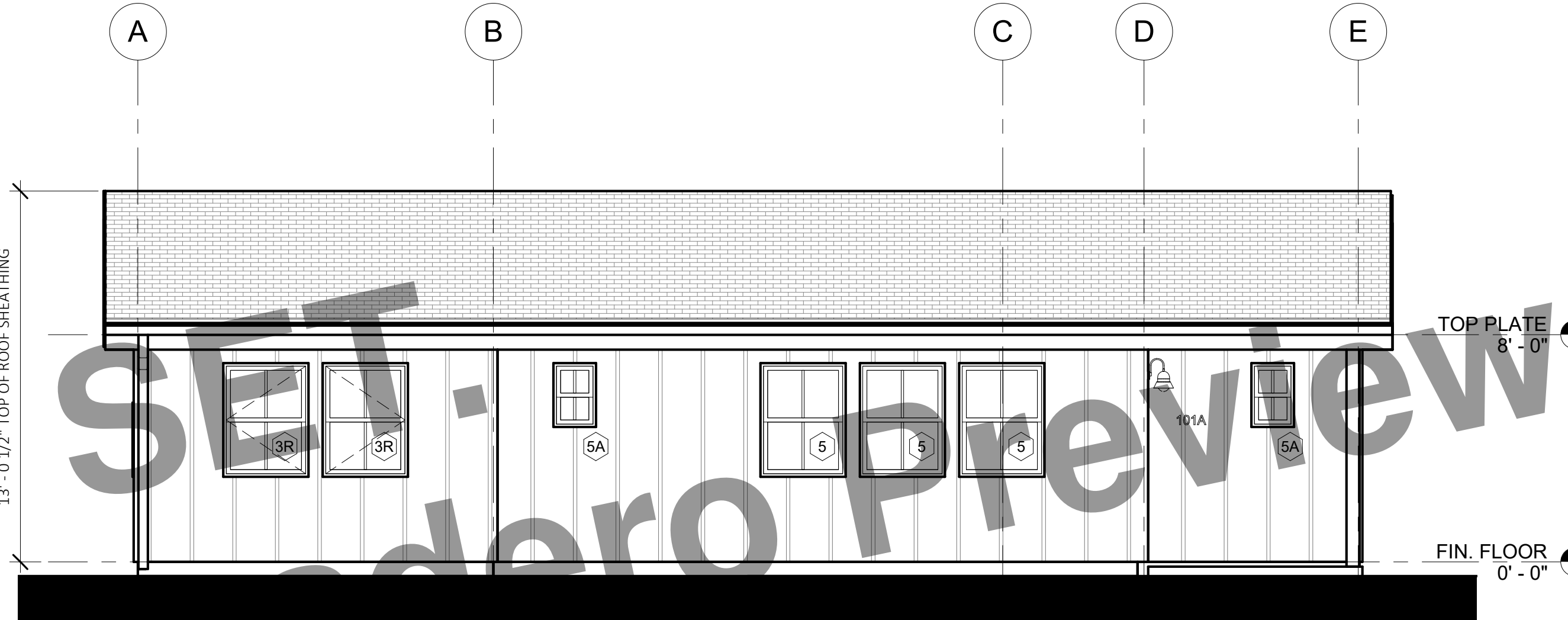
6 RIGHT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



3 REAR ELEVATION - COASTAL RANCH
1/4" = 1'-0"



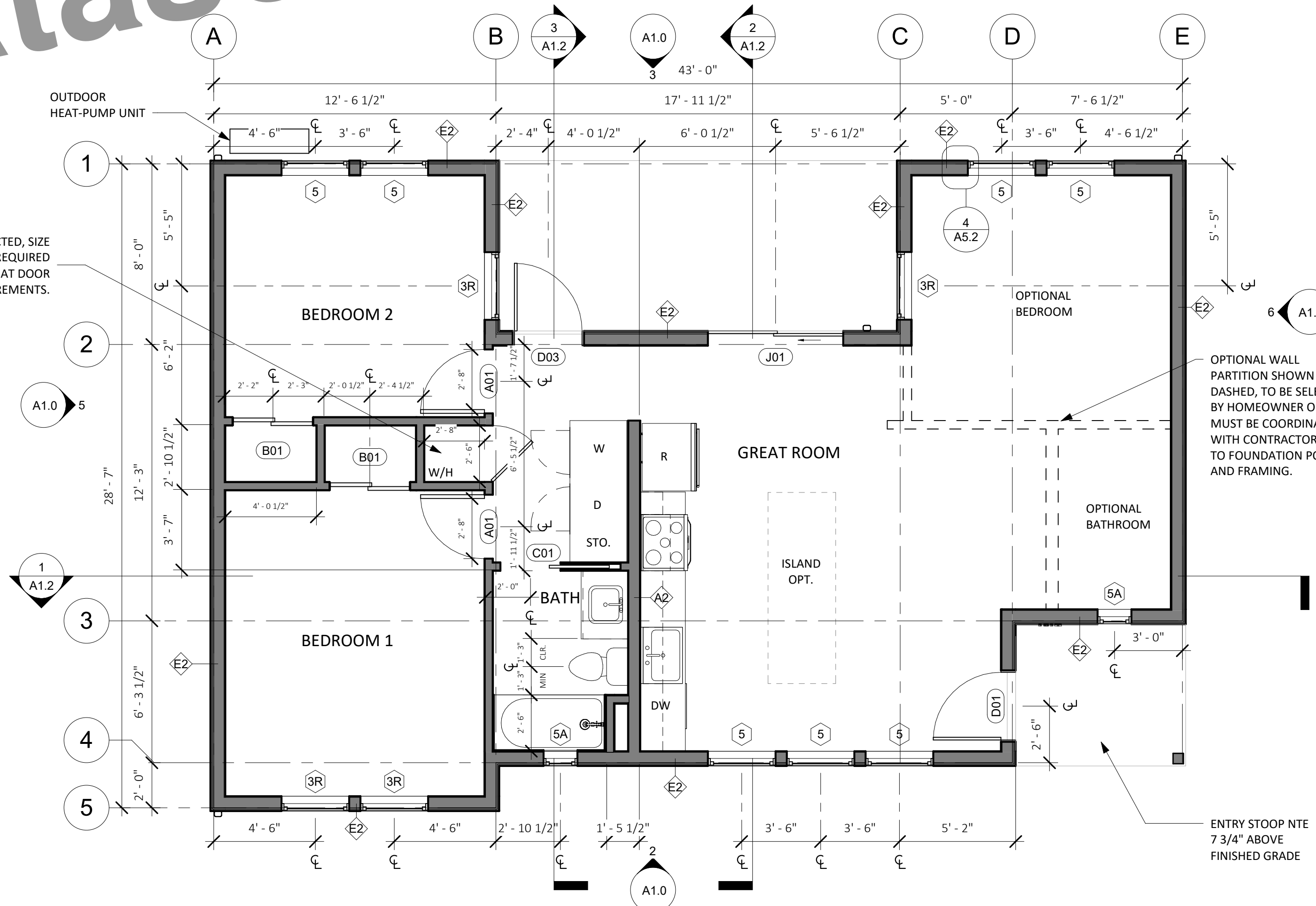
5 LEFT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



2 FRONT ELEVATION - COASTAL RANCH
1/4" = 1'-0"



4 FRONT VIEW - TWO BEDROOM PLUS - COASTAL RANCH
NO SCALE



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

RANCH - FLOORPLAN & ELEVATIONS

A1.0



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ROOF PLAN NOTES

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3. WOOD SHINGLES SHALL NOT BE USED.
4. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
5. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
6. GANG VENTS WHENEVER POSSIBLE.
7. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
8. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

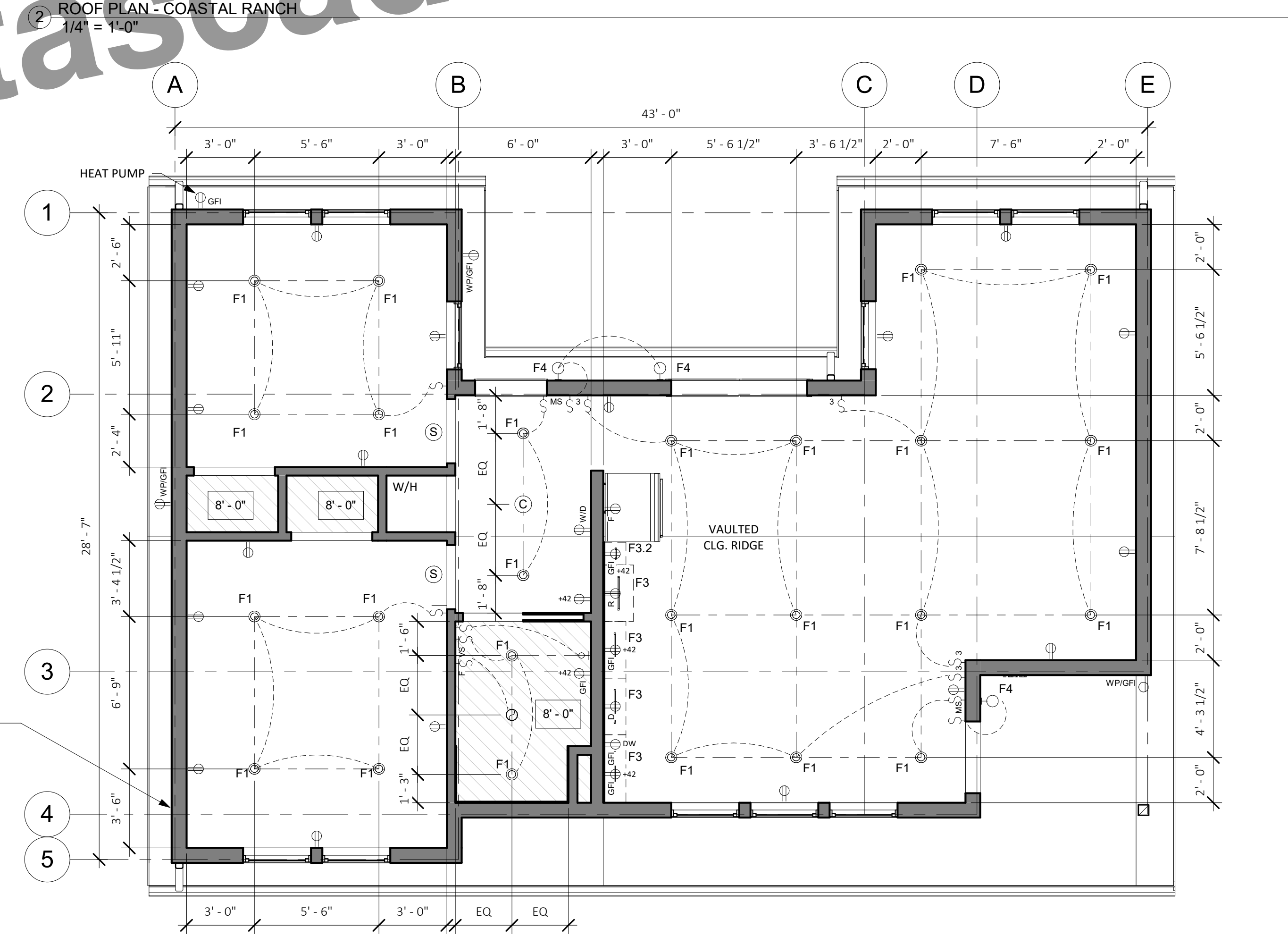
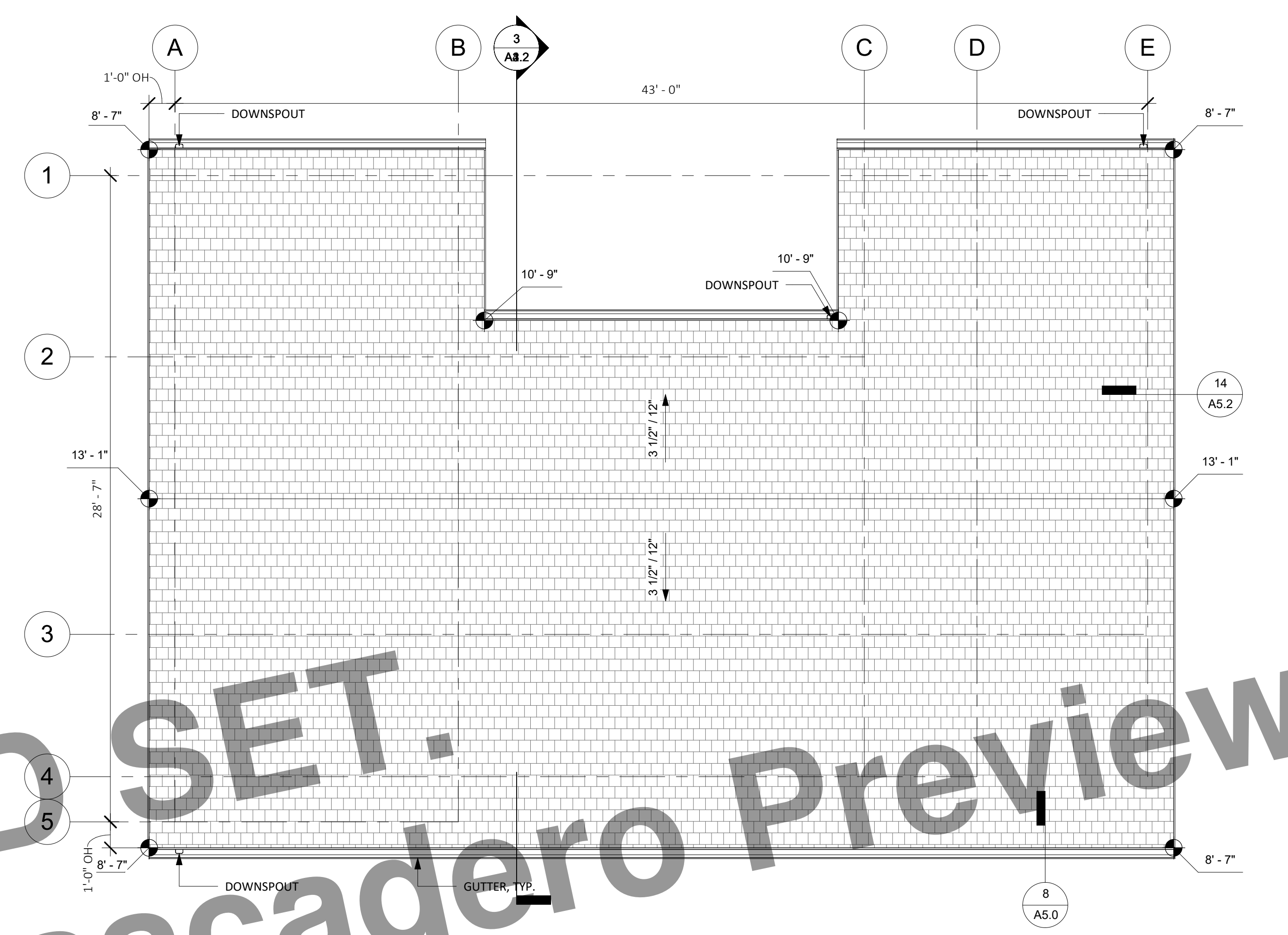
- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
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REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
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- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

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3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.



- MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

BID SET.
City of Atascadero Preview

**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

RANCH - ROOF PLAN & RCP

A1.1

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A15	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
-------------	------------------------------



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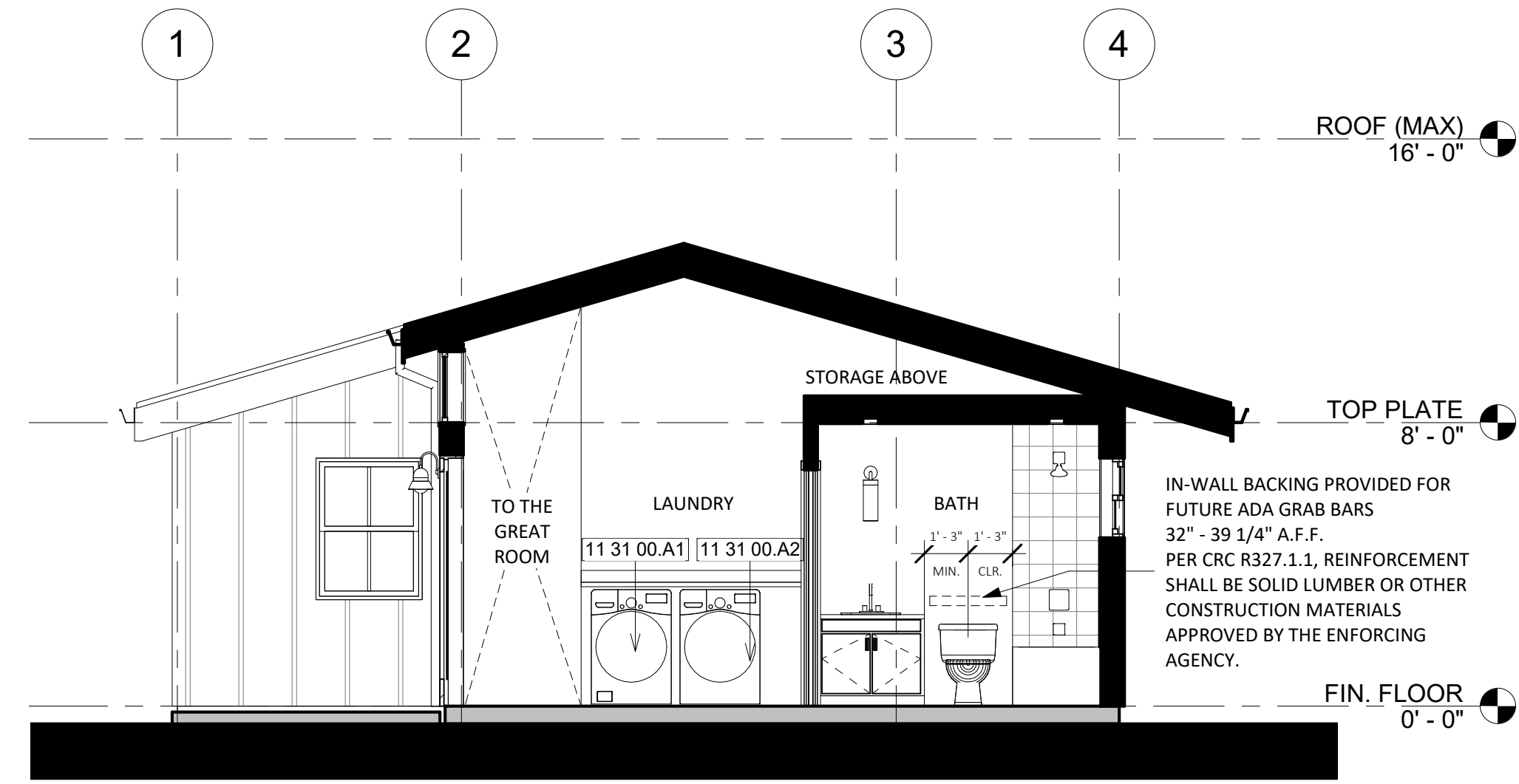
CENTRAL COAST PRE-DESIGNED ADU TWO BEDROOM + OPTIONS 998 GSF

PRINT DATE: XX.XX.XXXX

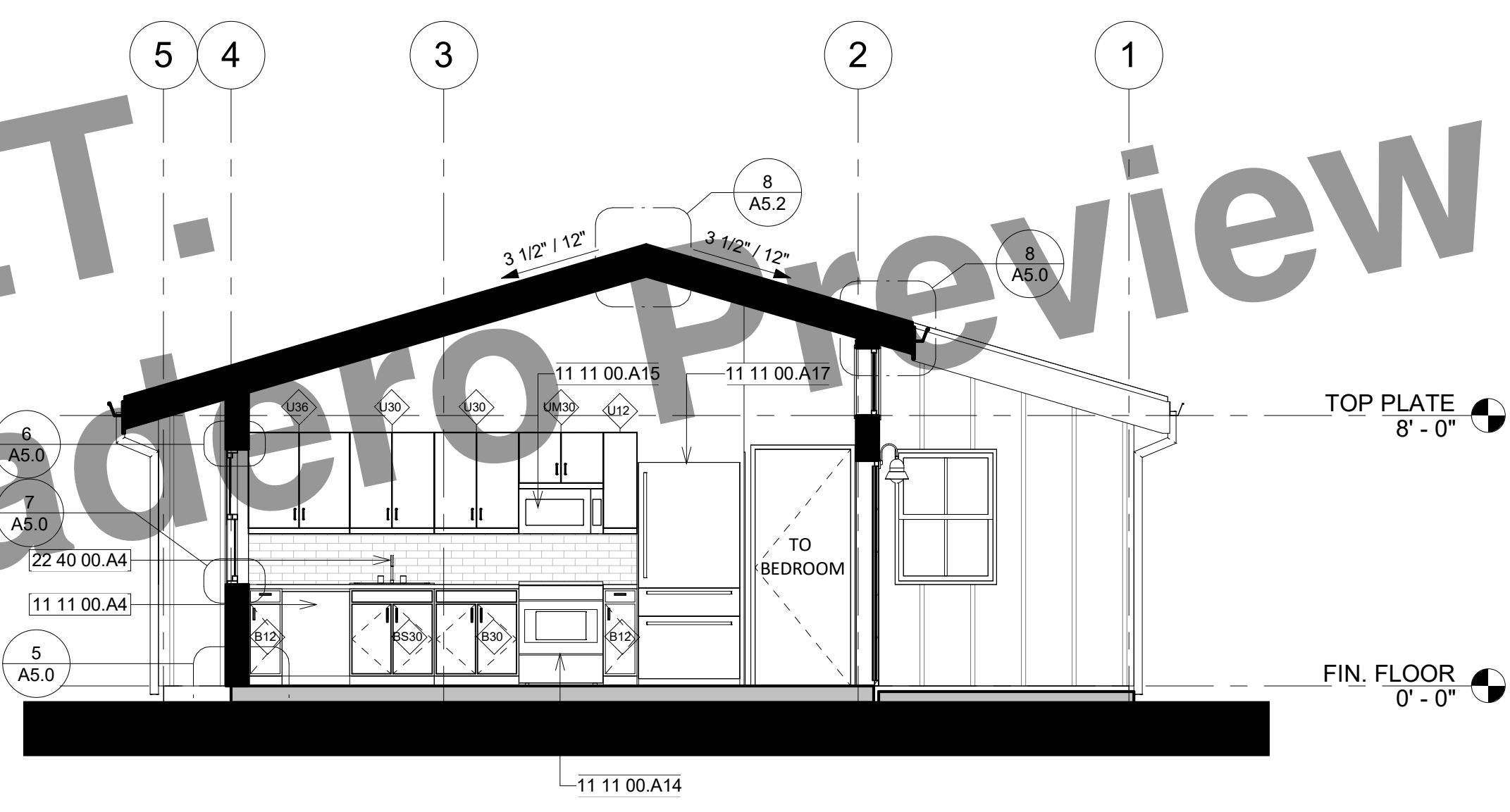
RANCH - SECTIONS

A1.2

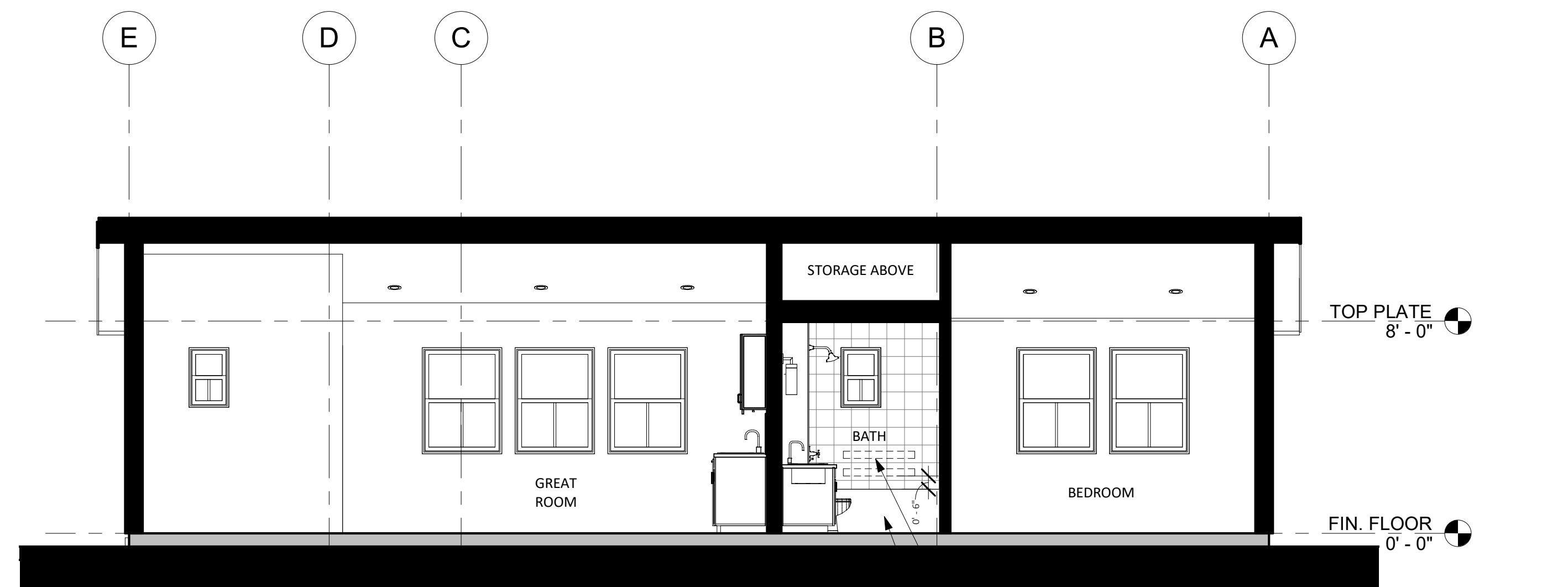
SCALE: AS NOTED



3 SECTION C - COASTAL RANCH
1/4" = 1'-0"



2 SECTION B - COASTAL RANCH
1/4" = 1'-0"



1 SECTION A - COASTAL RANCH
1/4" = 1'-0"

BID SET.
City of Atascadero Preview



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FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

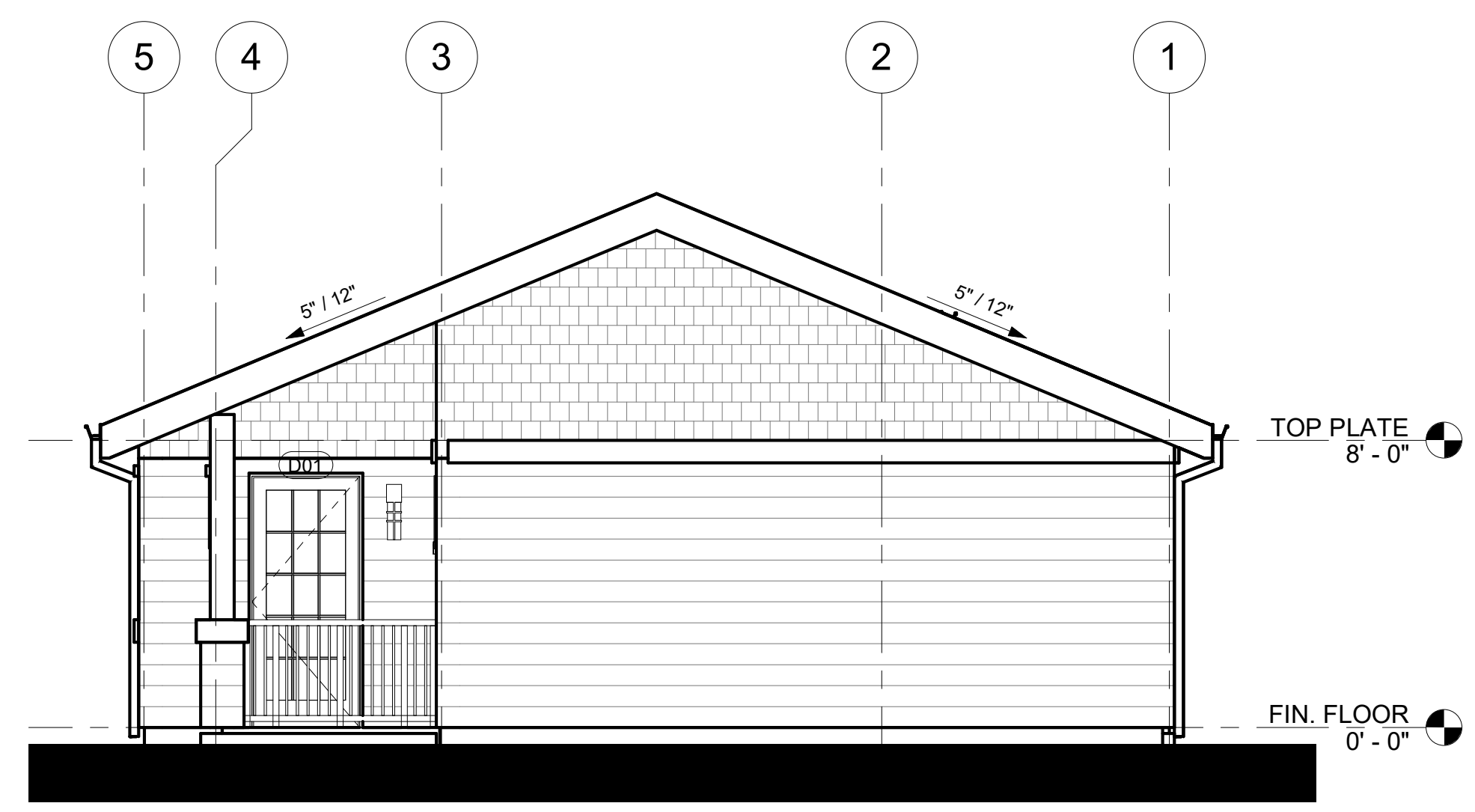
- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

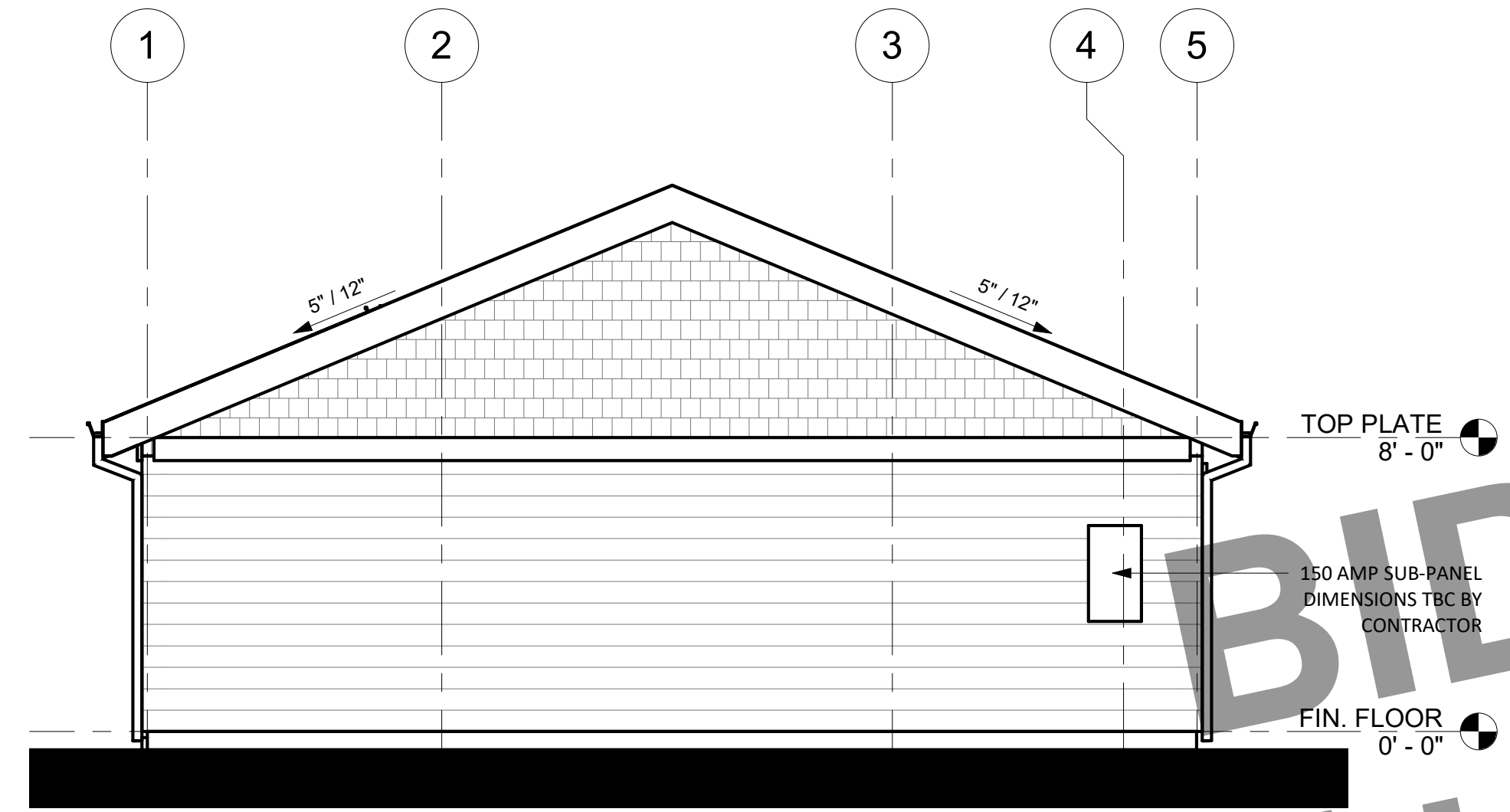
1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



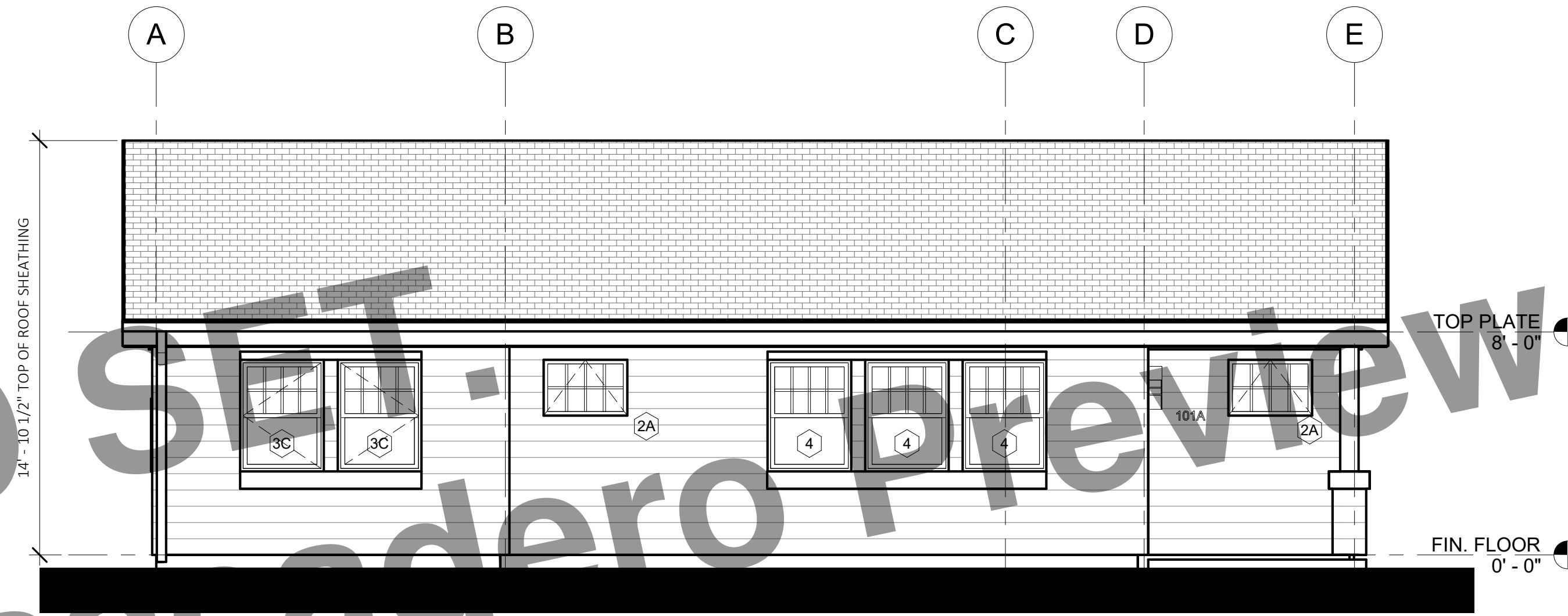
6 RIGHT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



3 REAR ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



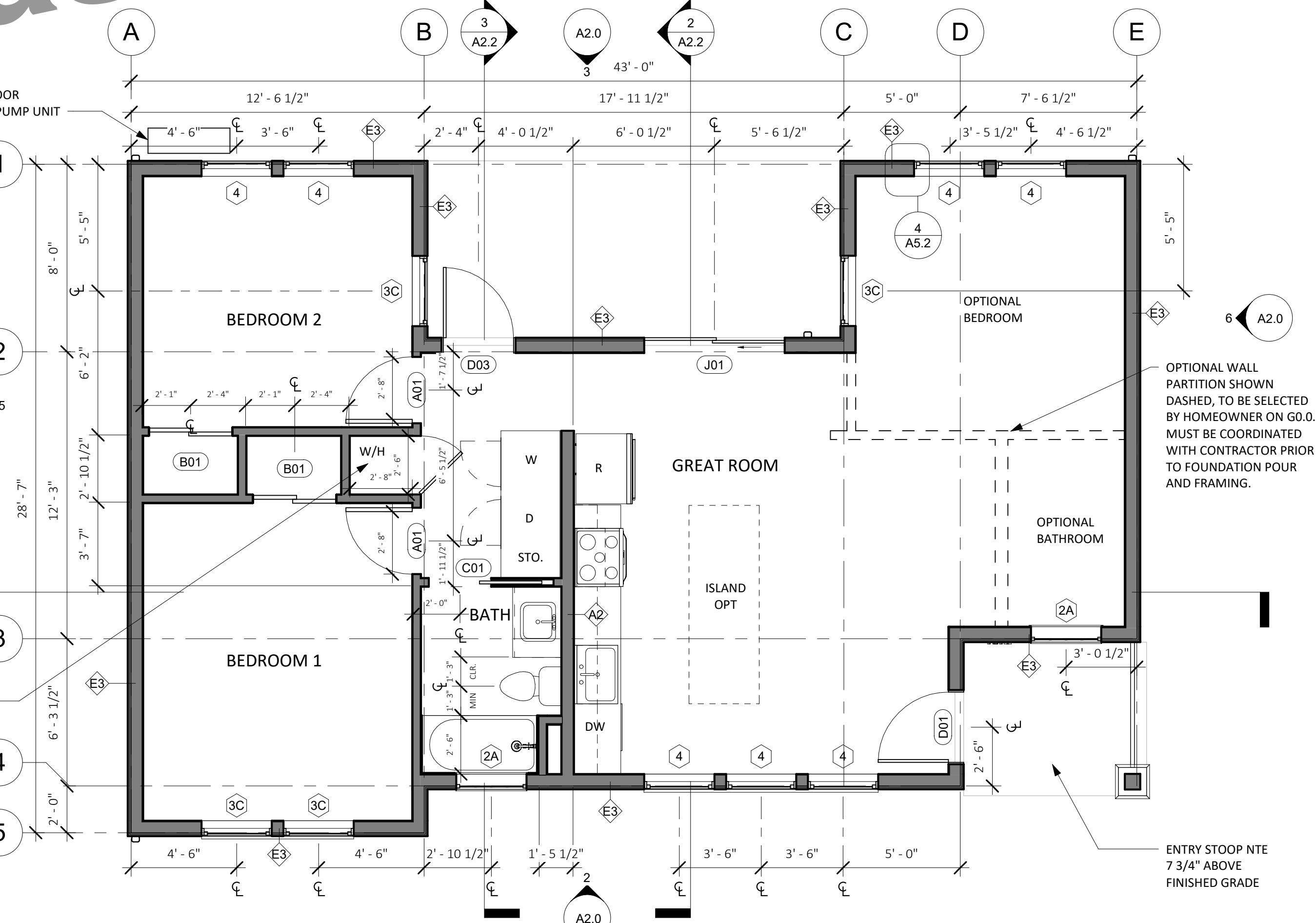
5 LEFT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



2 FRONT ELEVATION - BACKYARD CRAFTSMAN
1/4" = 1'-0"



4 FRONT VIEW - TWO BEDROOM PLUS - BACKYARD CRAFTSMAN
NO SCALE



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

BID SET - Atascadero Preview

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CRAFTSMAN -
FLOORPLANS &
ELEVATIONS

A2.0



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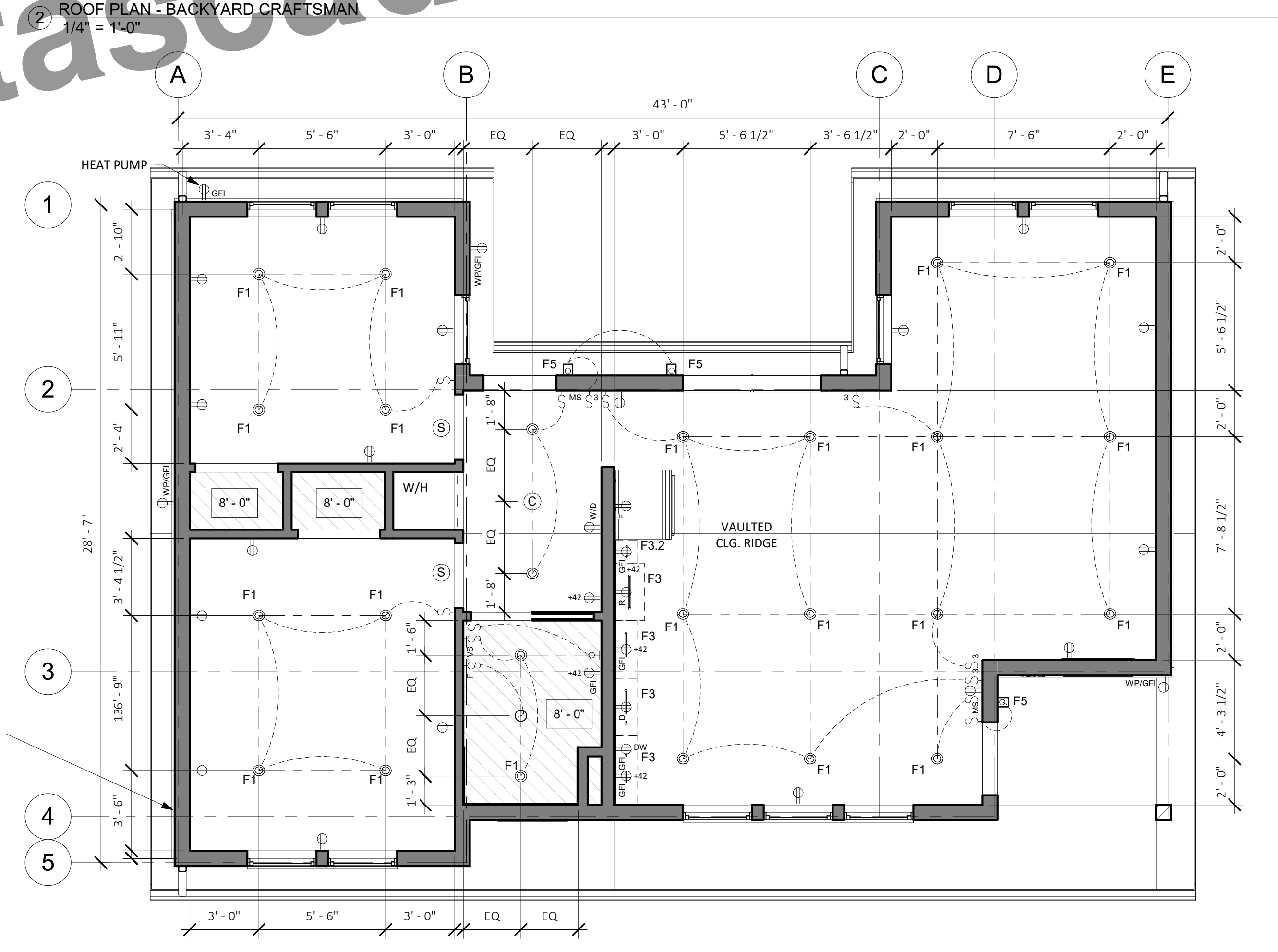
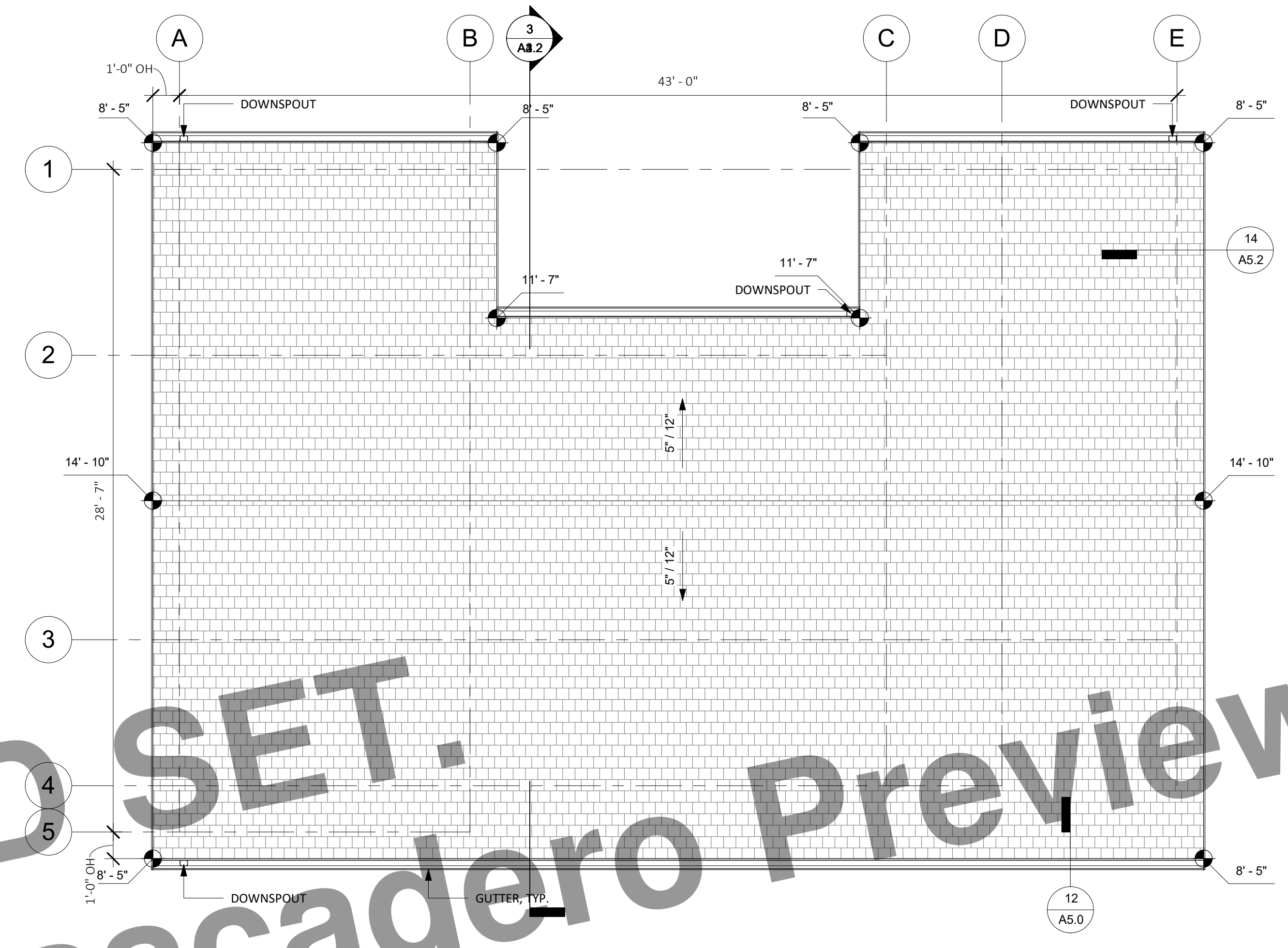
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PRINT DATE: XX.XX.XXXX

**CRAFTSMAN - ROOF
PLAN & RCP**

A2.1

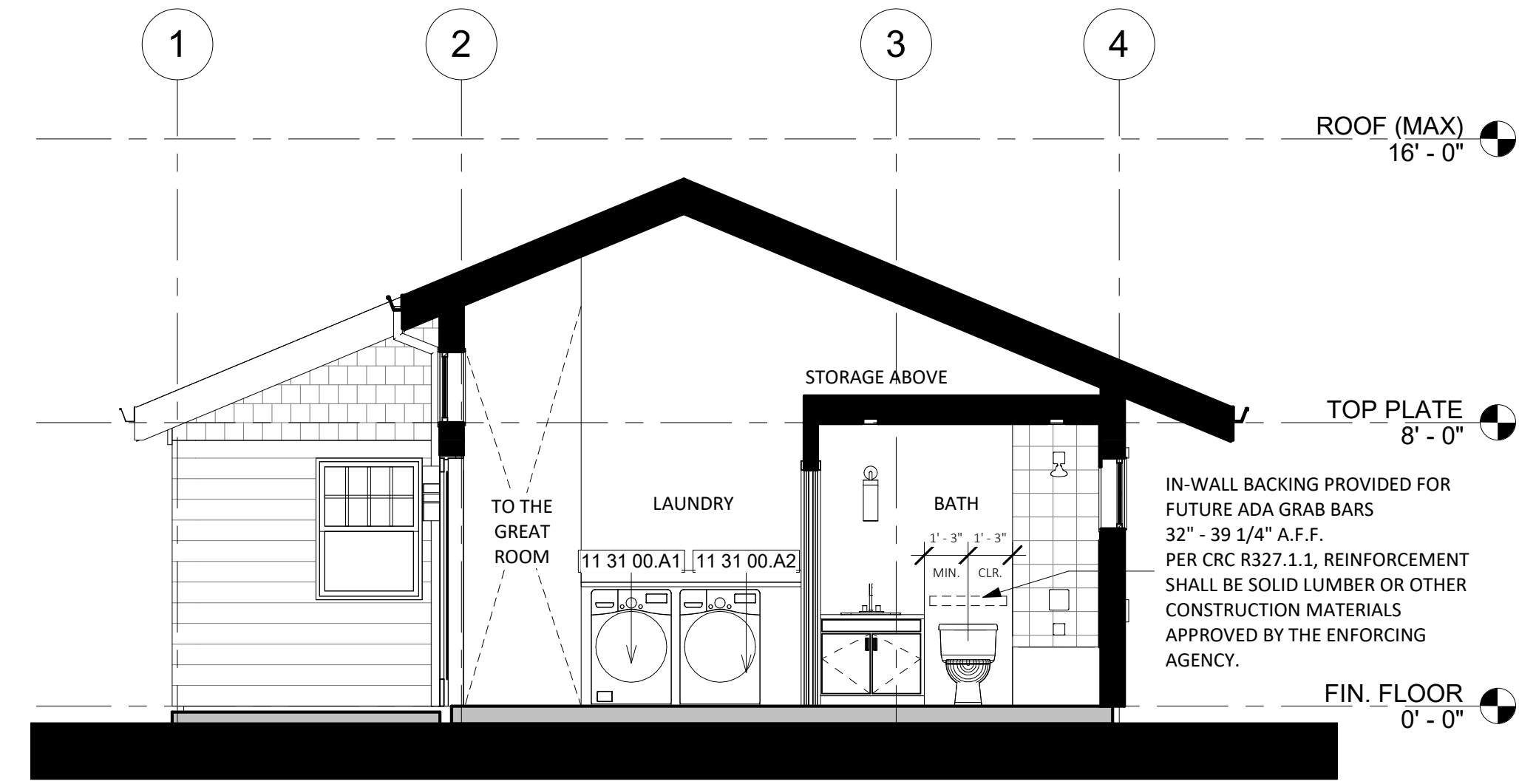
SCALE: AS NOTED



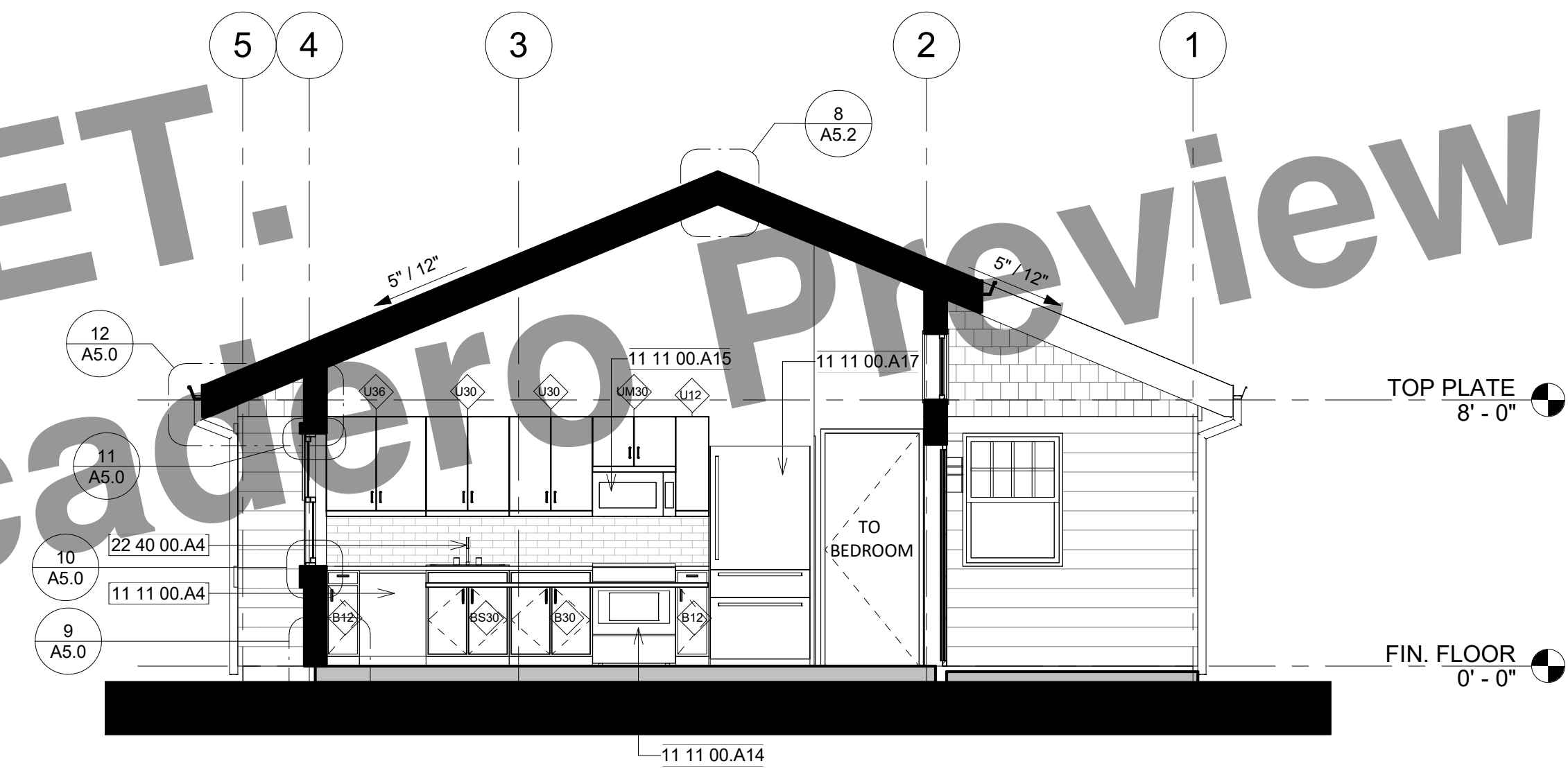
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① RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

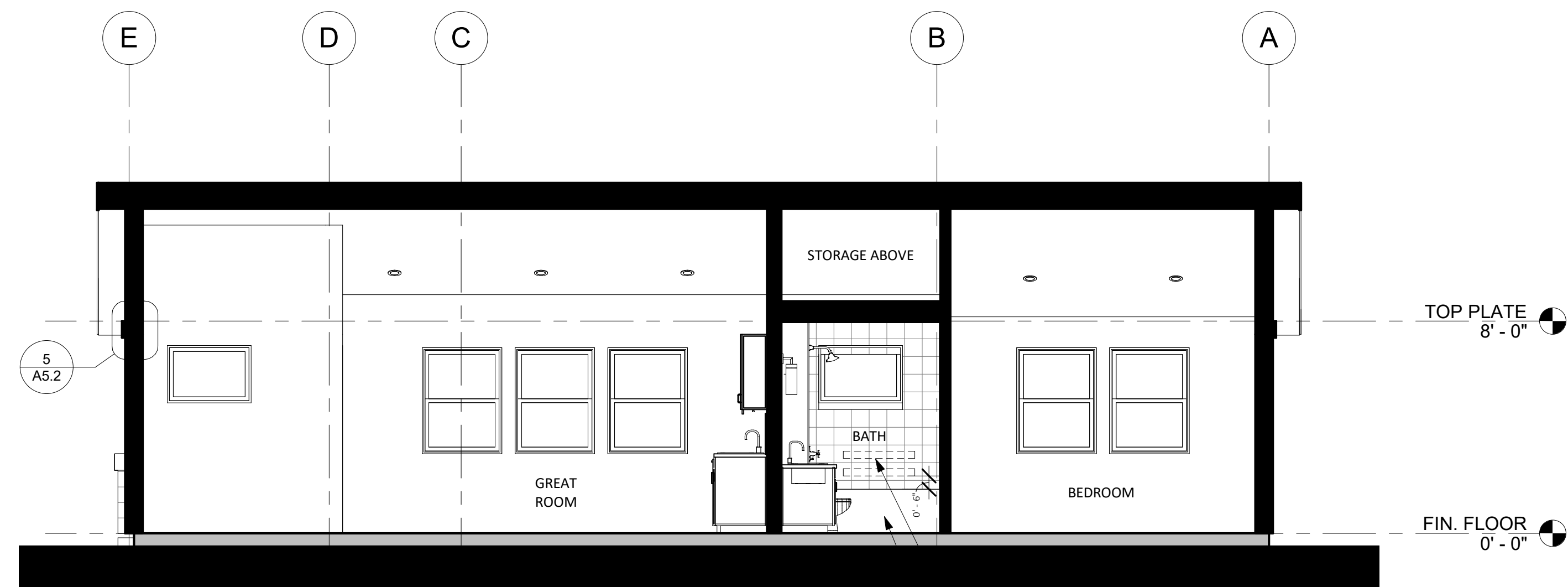
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City of Atascadero Preview



③ SECTION C - BACKYARD CRAFTSMAN
1/4" = 1'-0"



② SECTION 2 - BACKYARD CRAFTSMAN
1/4" = 1'-0"



① SECTION 1 - BACKYARD CRAFTSMAN
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11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER
22 40 00.A4	30" KITCHEN SINK WITH FAUCET



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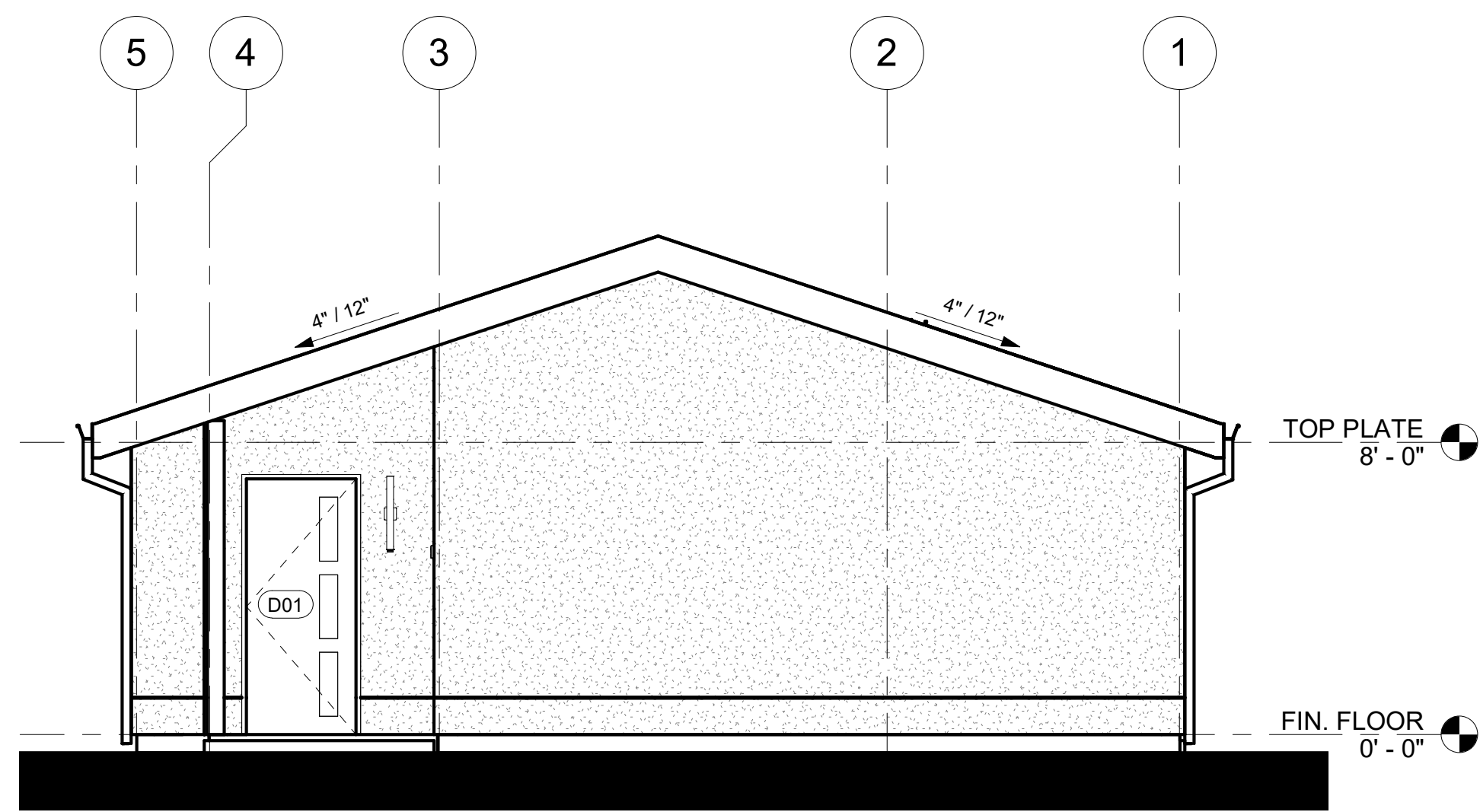
**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

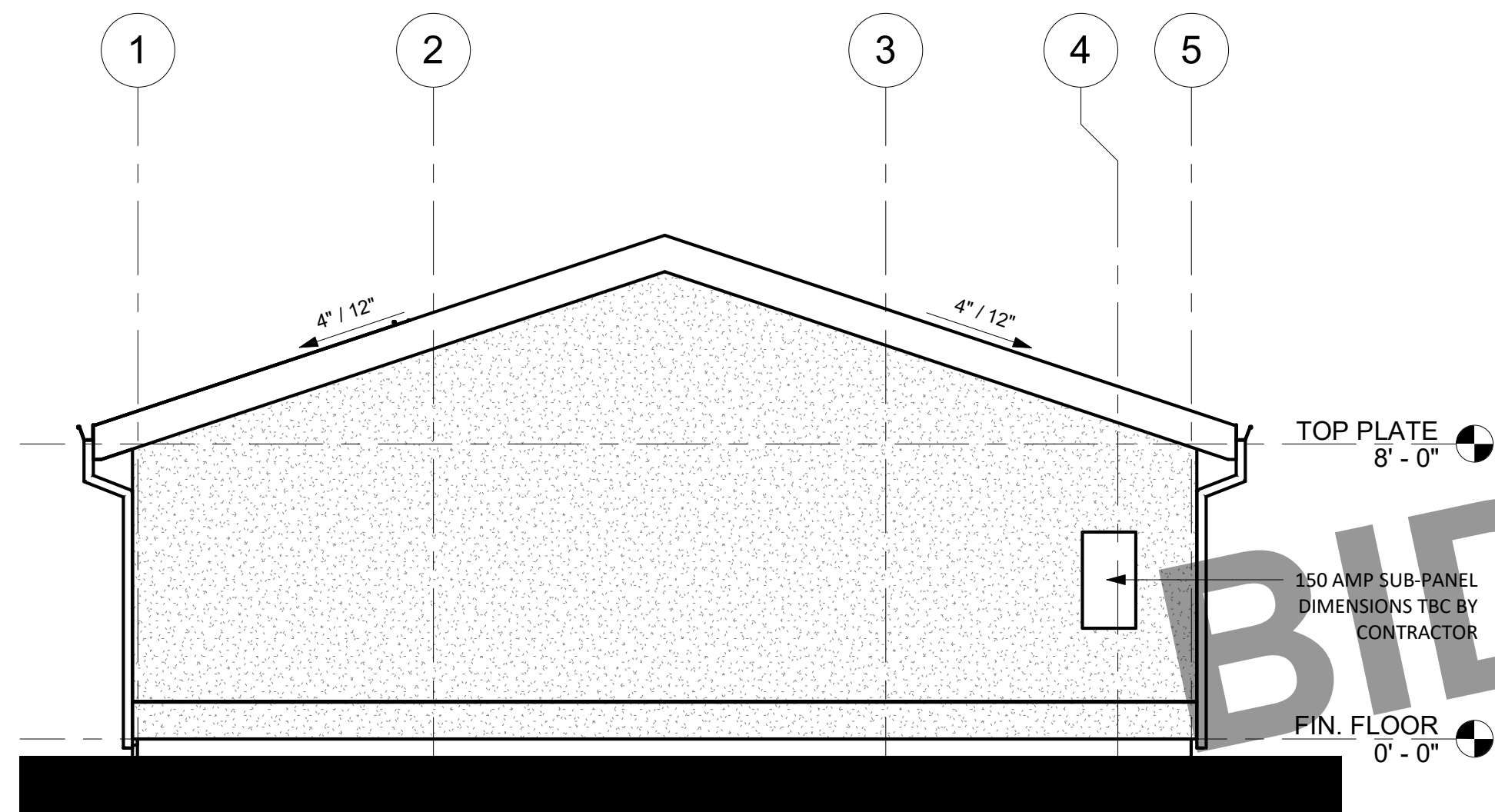
**CRAFTSMAN -
SECTIONS**

A2.2

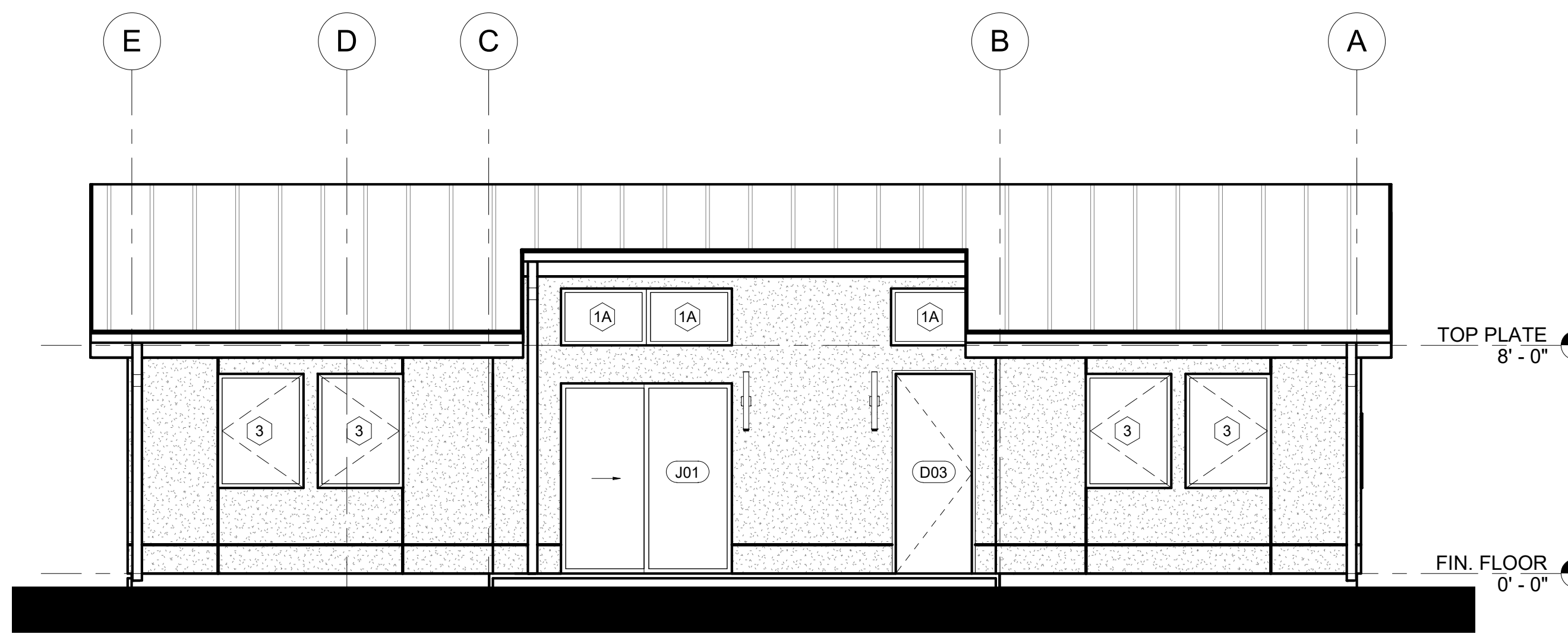
SCALE: AS NOTED



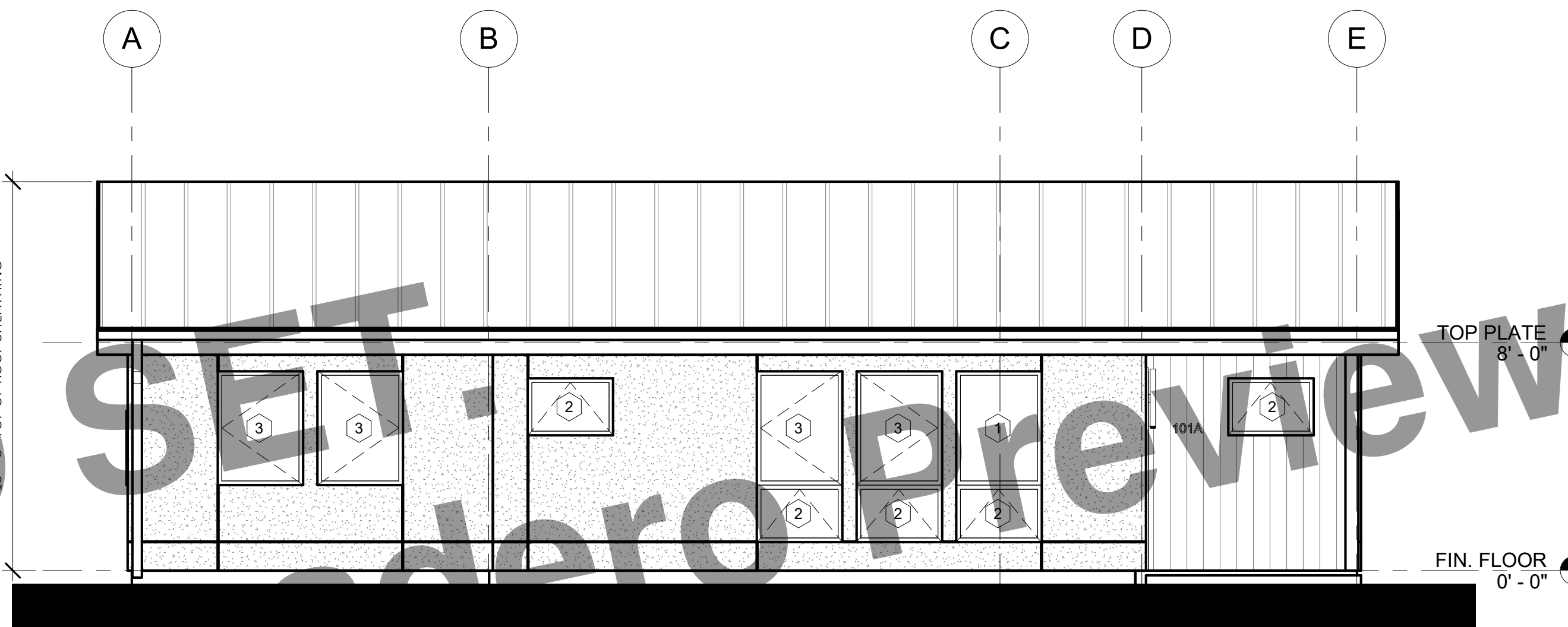
6 RIGHT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



5 LEFT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



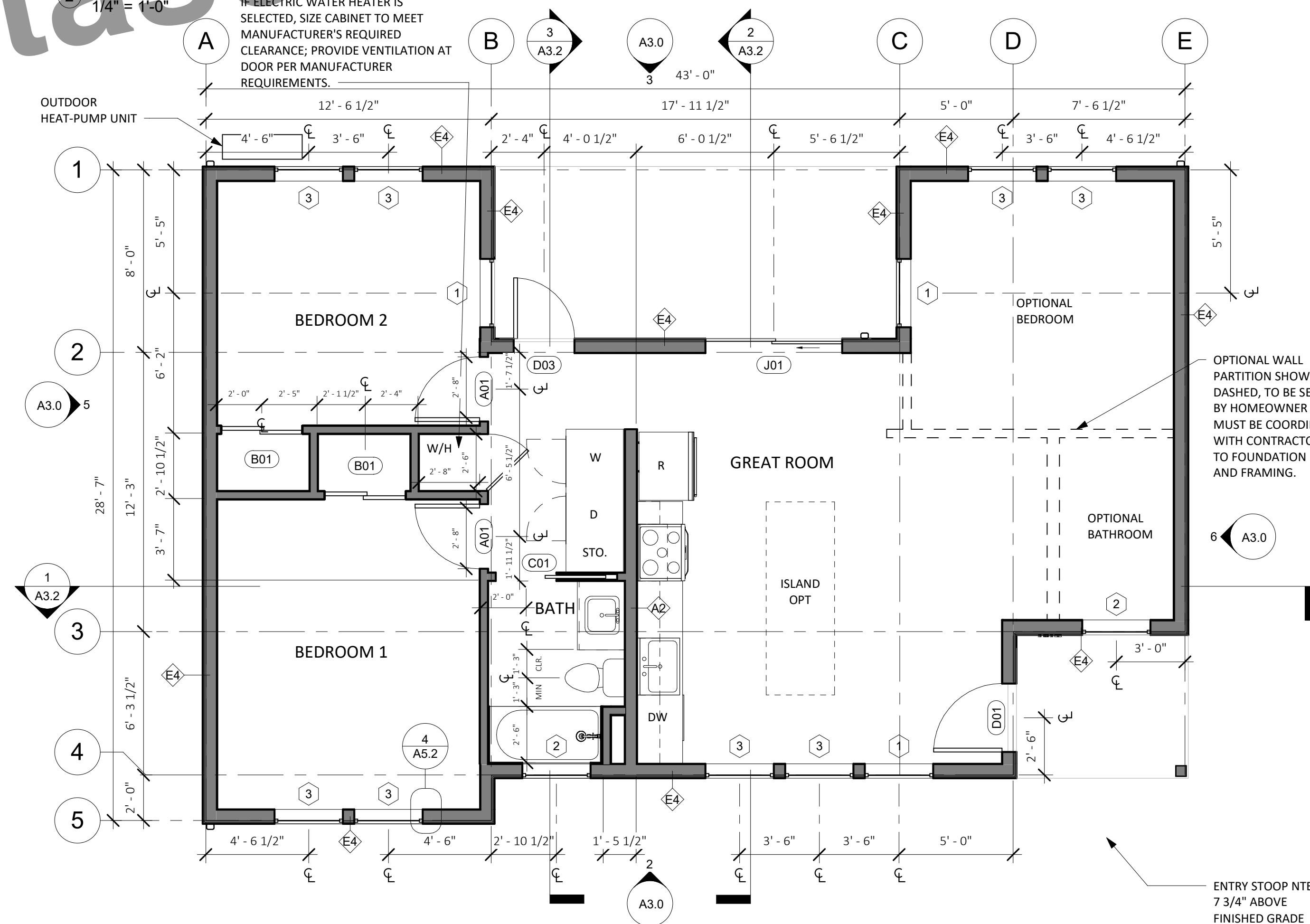
3 REAR ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



2 FRONT ELEVATION - CALIFORNIA MODERN
1/4" = 1'-0"



4 FRONT VIEW - TWO BEDROOM PLUS - CALIFORNIA MODERN
NO SCALE



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

FLOOR PLAN NOTES

1. Floor Plan dimensions are to face of scheduled partition or gridline, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. All INTERIOR walls are Type A1 unless otherwise noted.
4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
8. Provide structural backing in walls to facilitate future installation of grab bars at toilet and shower.
9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

ELEVATION NOTES

1. Elevation dimensions are to gridline or centerline of windows, unless otherwise noted.
2. Gridlines are to edge of concrete, centerline of footing, or centerline of structural elements, unless otherwise noted.
3. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
4. Materials indicated are shown generically. Actual materials are as selected by the Owner.



workbench

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**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

MODERN -
FLOORPLANS &
ELEVATIONS
A3.0
SCALE: AS NOTED



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ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
3. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
7. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

- CEILING-MOUNTED EXHAUST UNIT
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE
- GFCI RECEPTACLE
- 220 VOLT RECEPTACLE OUTLET
- DEDICATED OUTLET
- RECESSED LED DOWN LIGHT
- WALL MOUNT LIGHT
- LED STRIP LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- MOTION-SENSOR SWITCH
- VACANCY SWITCH
- FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

- GYP. BD. CLG., PTD.
- 8'-0" FRAMED CEILING HEIGHT A.F.F.
- CEILING MOUNTED SMOKE DETECTOR, HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL.

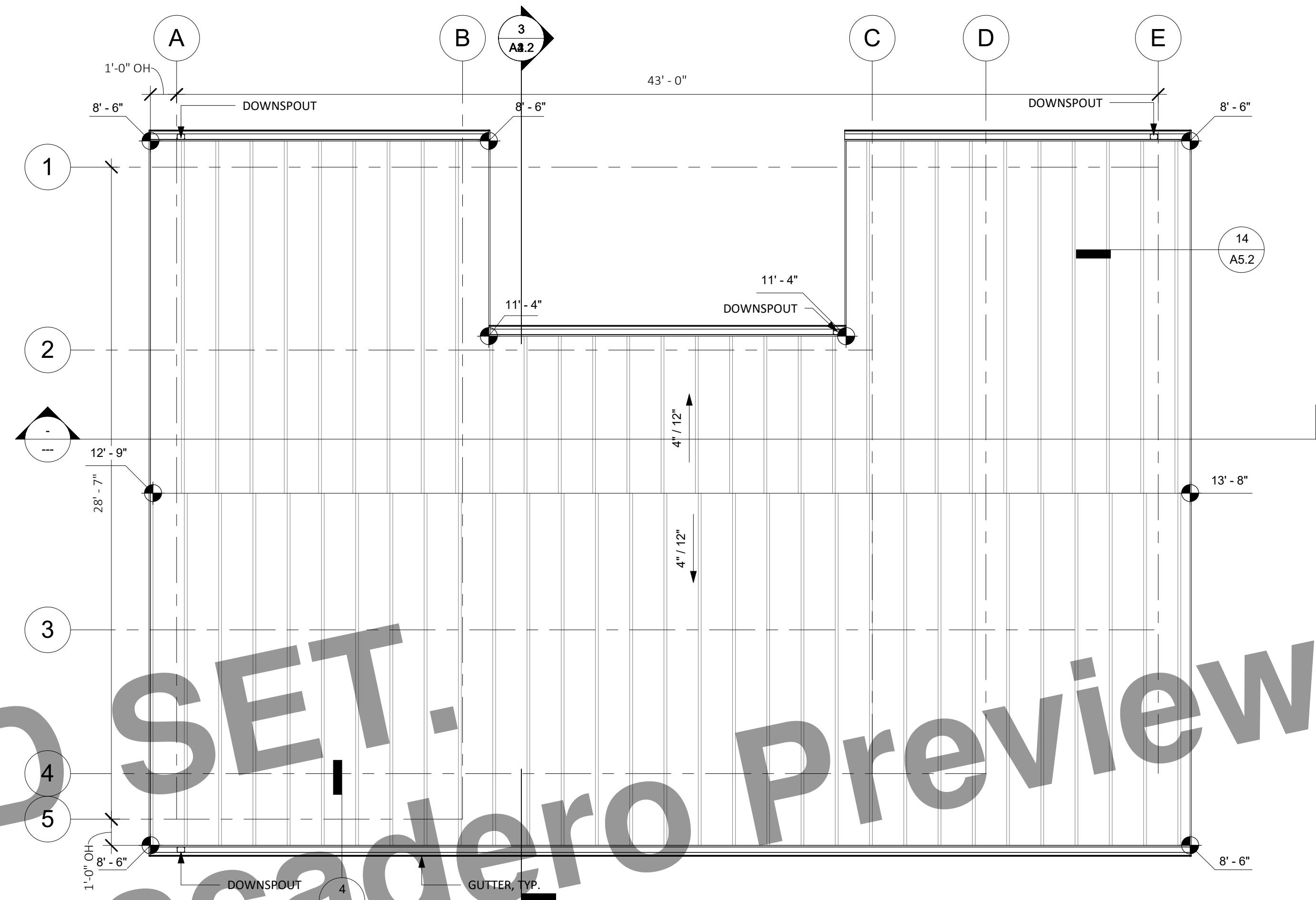
**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

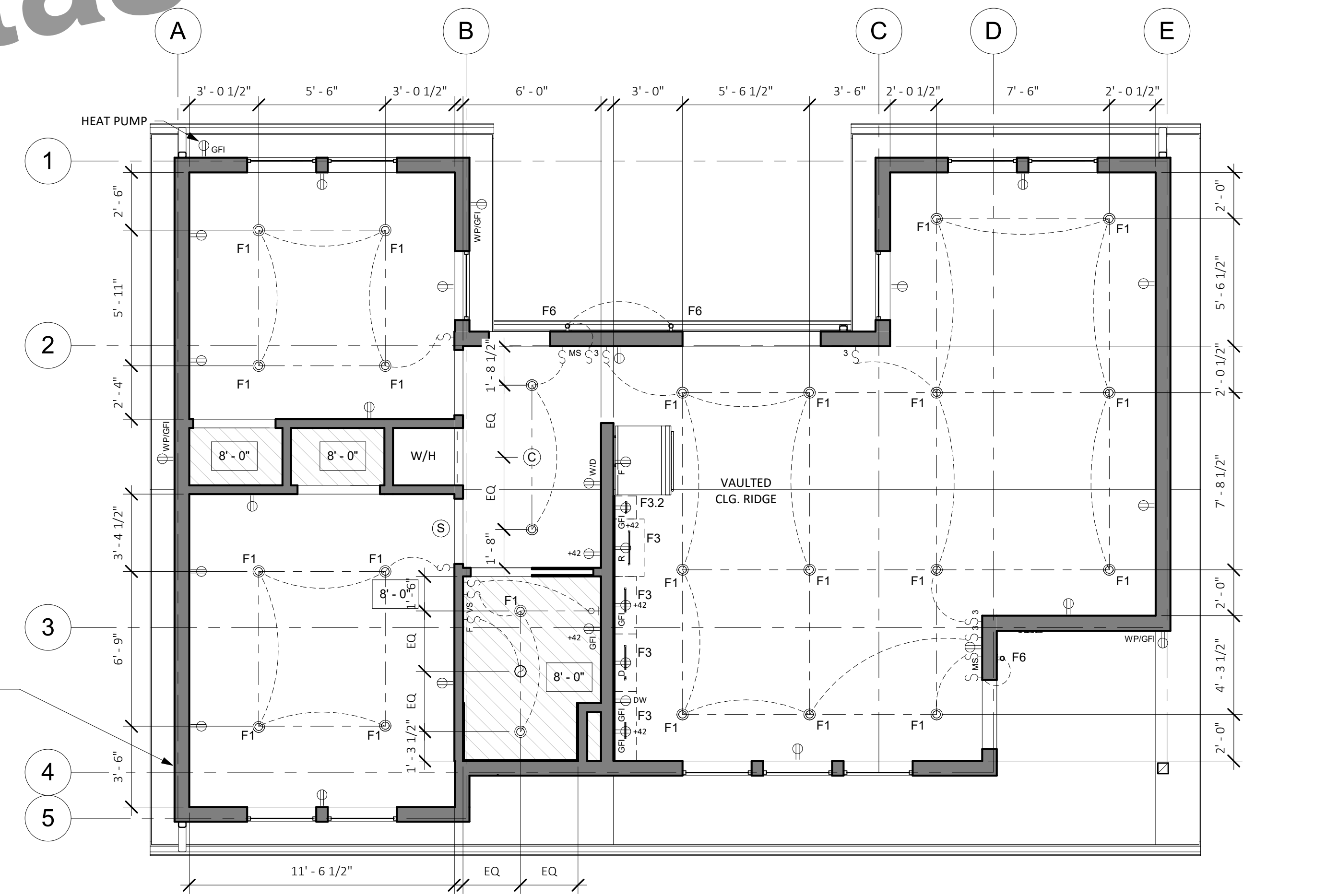
MODERN - ROOF
PLAN & RCP

A3.1

SCALE: AS NOTED

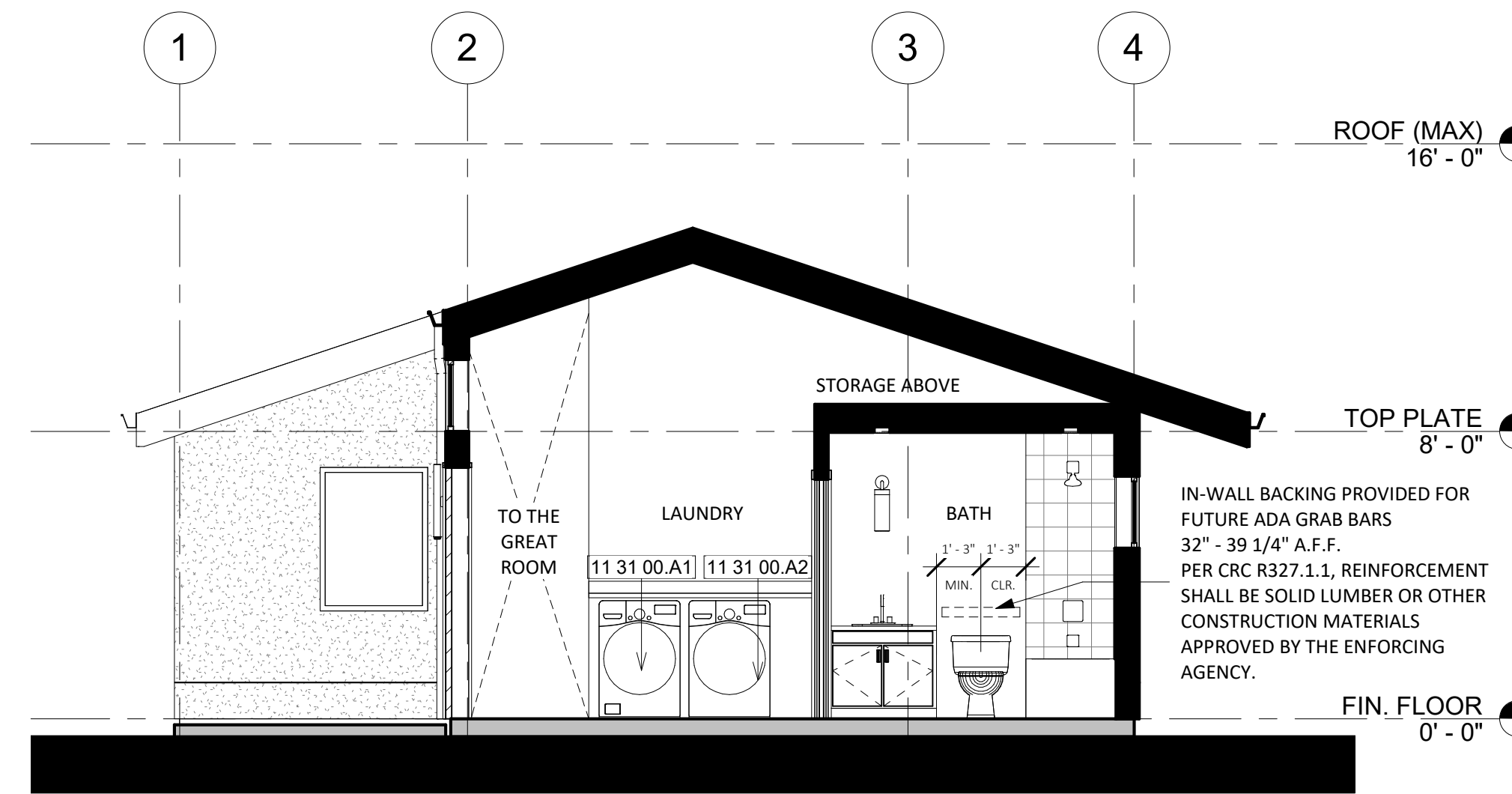


2 ROOF PLAN - CALIFORNIA MODERN
1/4" = 1'-0"

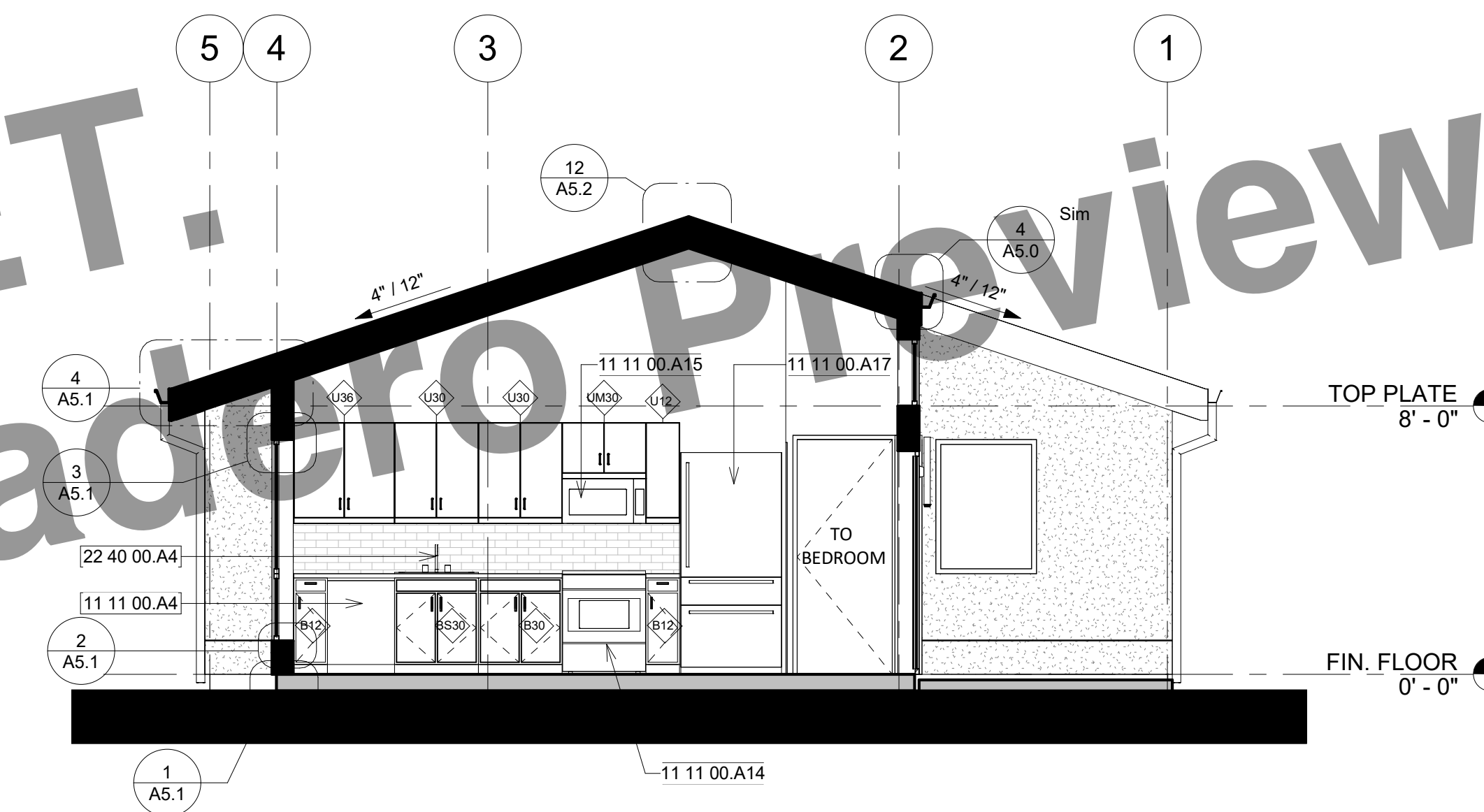


1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

- MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.



③ SECTION C - CALIFORNIA MODERN
1/4" = 1'-0"



② SECTION B - CALIFORNIA MODERN
1/4" = 1'-0"



① SECTION A - CALIFORNIA MODERN
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER

22 40 00.A4	30" KITCHEN SINK WITH FAUCET
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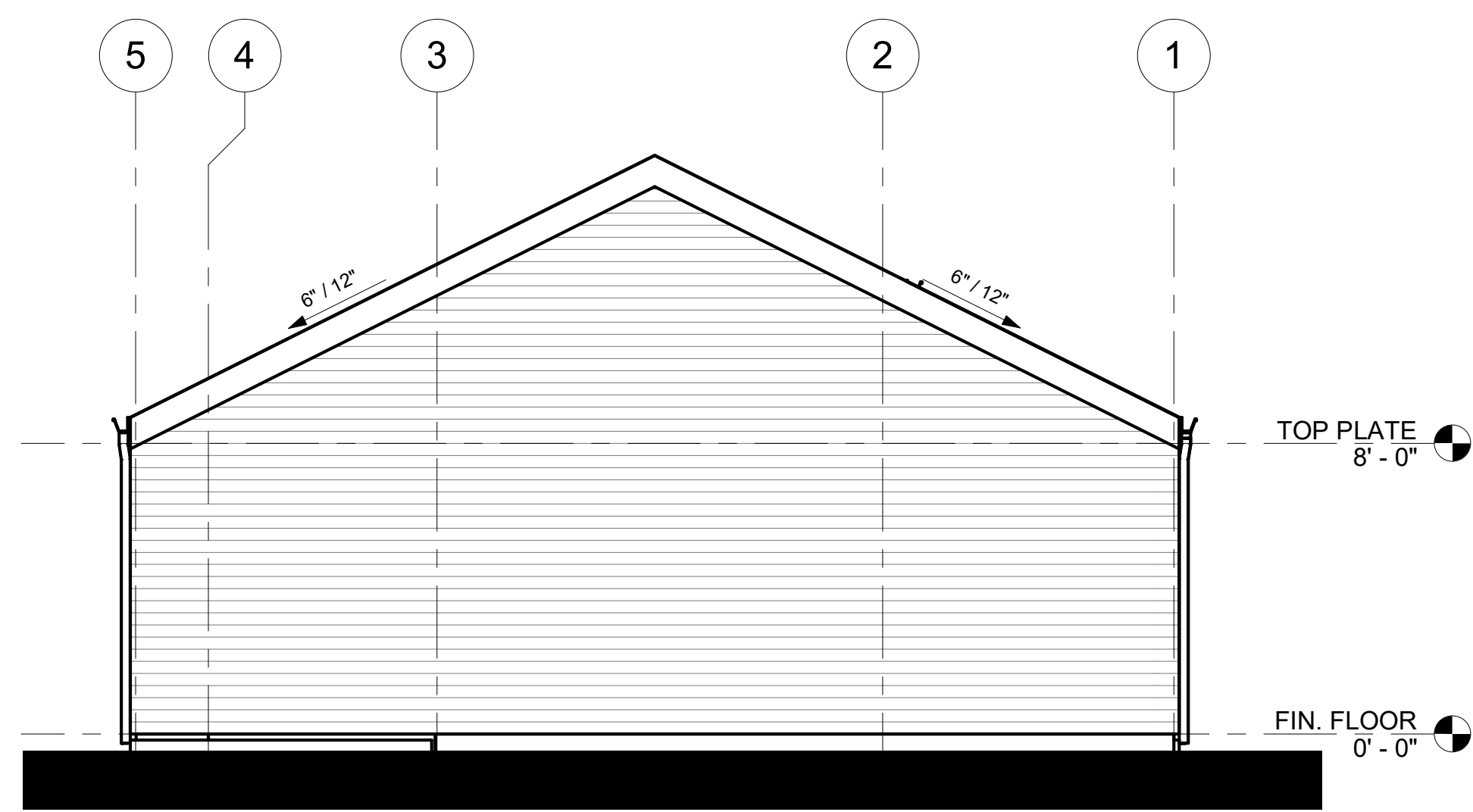
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PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

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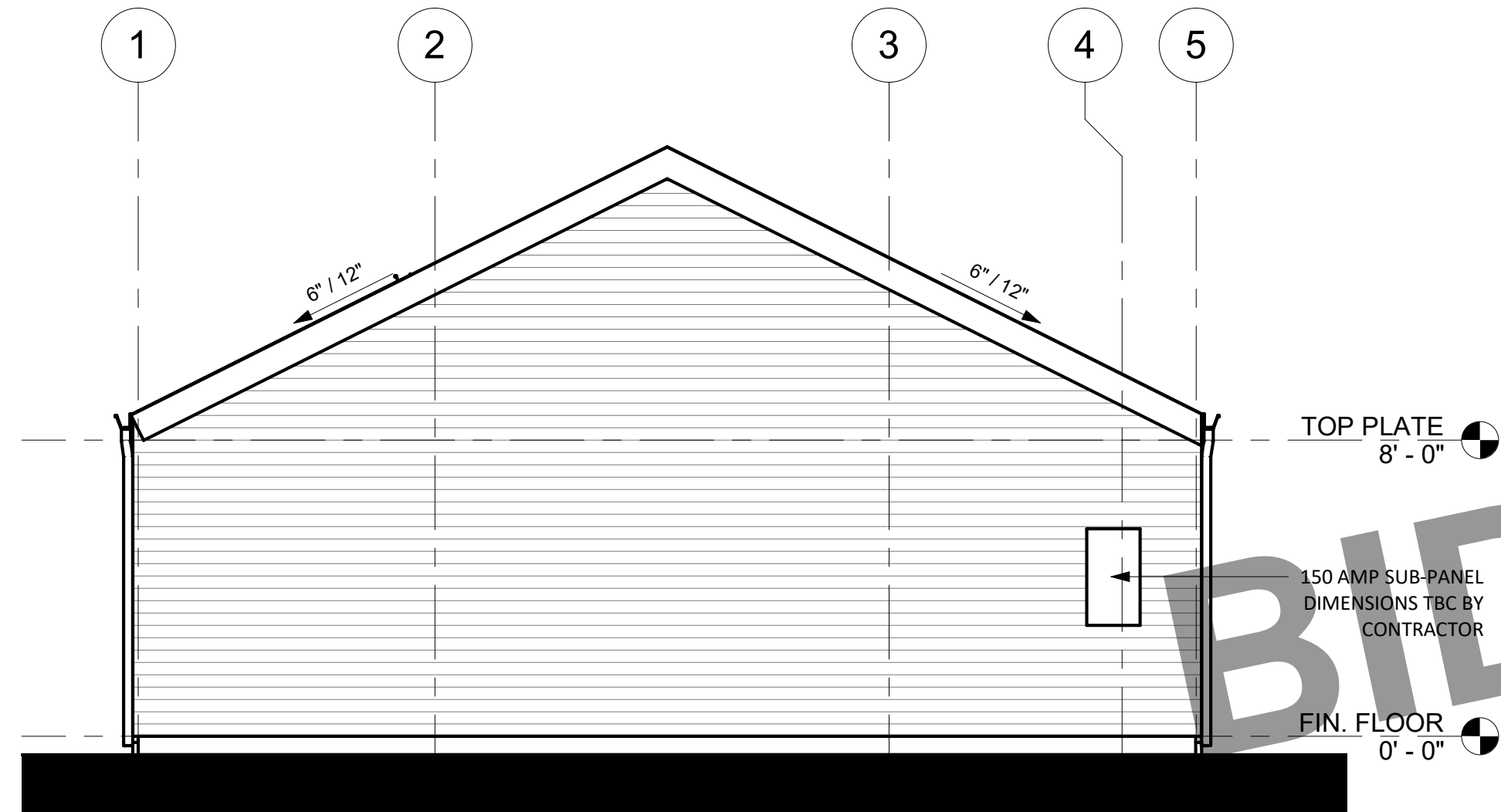
MODERN - SECTIONS

A3.2

SCALE: AS NOTED



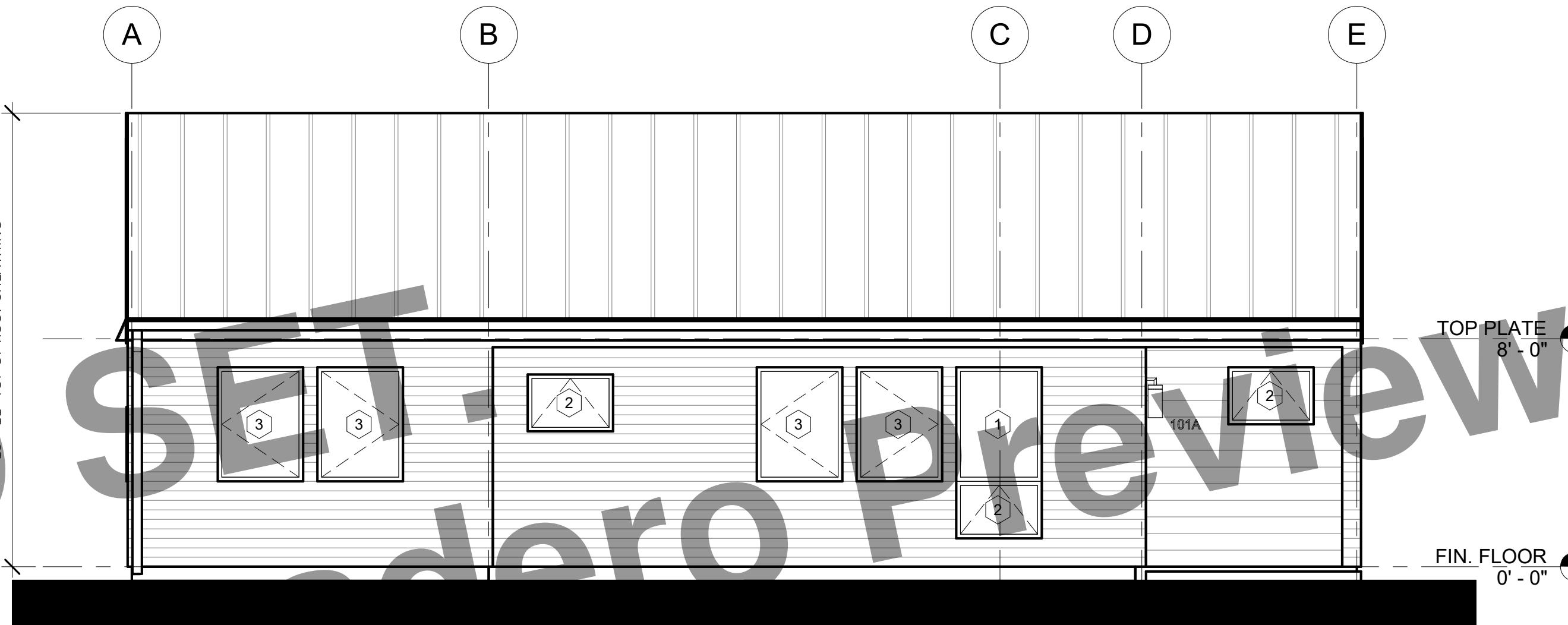
6 RIGHT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



5 LEFT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



3 REAR ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"

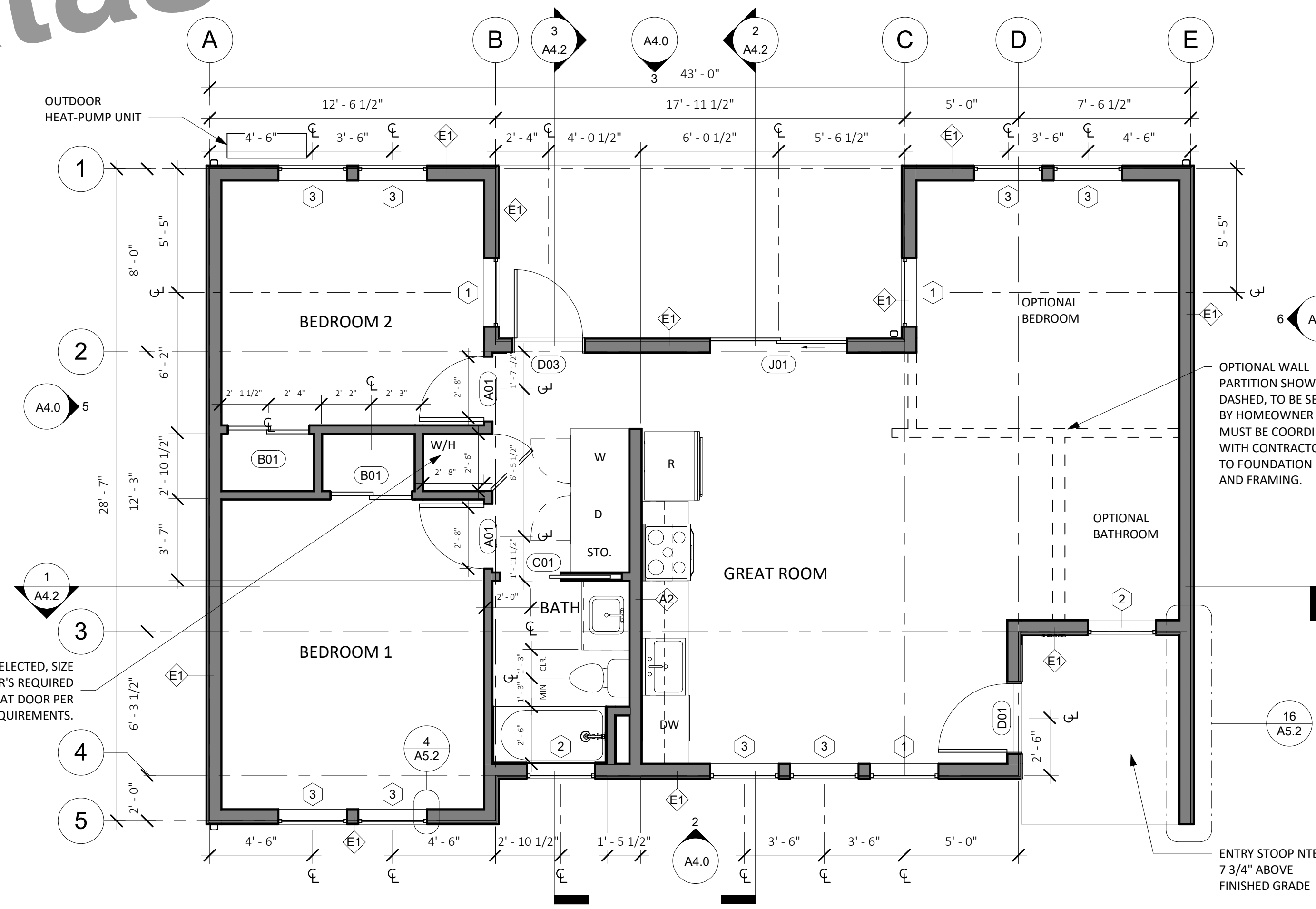


2 FRONT ELEVATION - BEACH BUNGALOW
1/4" = 1'-0"



IF ELECTRIC WATER HEATER IS SELECTED, SIZE CABINET TO MEET MANUFACTURER'S REQUIRED CLEARANCE; PROVIDE VENTILATION AT DOOR PER MANUFACTURER REQUIREMENTS.

4 FRONT VIEW - TWO BEDROOM PLUS - BEACH BUNGALOW
NO SCALE



1 FLOOR PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

FLOORPLAN LEGEND

- (N) PARTITION
- CONCRETE SLAB (ARCHITECTURAL)
- (N) OUTLET AT 18", U.O.N
- (N) LIGHT SWITCH

GRAPHIC LEGEND

- BUILDING SECTION NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- DOOR OR GATE NUMBER
- WALL TAG
- WINDOW TAG
- ELEVATION MARKER
- REVISION NUMBER
- KEYNOTE NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

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4. See Sheet A5.0 & A5.1 for EXTERIOR wall types and details.
5. See elevations for transom window types and locations.
6. Provide hanger rod and shelf at wardrobe closet.
7. Where thresholds are required, provide accessible thresholds with maximum 1/2" elevation change.
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9. Contractor to verify layout, rough framing and finish dims with owner's final interior doors and finish selections.

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4. Materials indicated are shown generically. Actual materials are as selected by the Owner.

PRINT DATE: XX.XX.XXXX

CENTRAL COAST
PRE-DESIGNED ADU
 TWO BEDROOM + OPTIONS
 998 GSF

BUNGALOW - FLOORPLANS & ELEVATIONS

A4.0

SCALE: AS NOTED

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2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL. WOOD SHINGLES SHALL NOT BE USED.
3. ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRI IN THE GUTTER.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHINGS AT ROOF/WALL INTERSECTIONS, GUTTERS, AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. SEE DETAIL 7/AS.2 FOR ROOF PENETRATION DETAIL.
7. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.

ELECTRICAL LEGEND

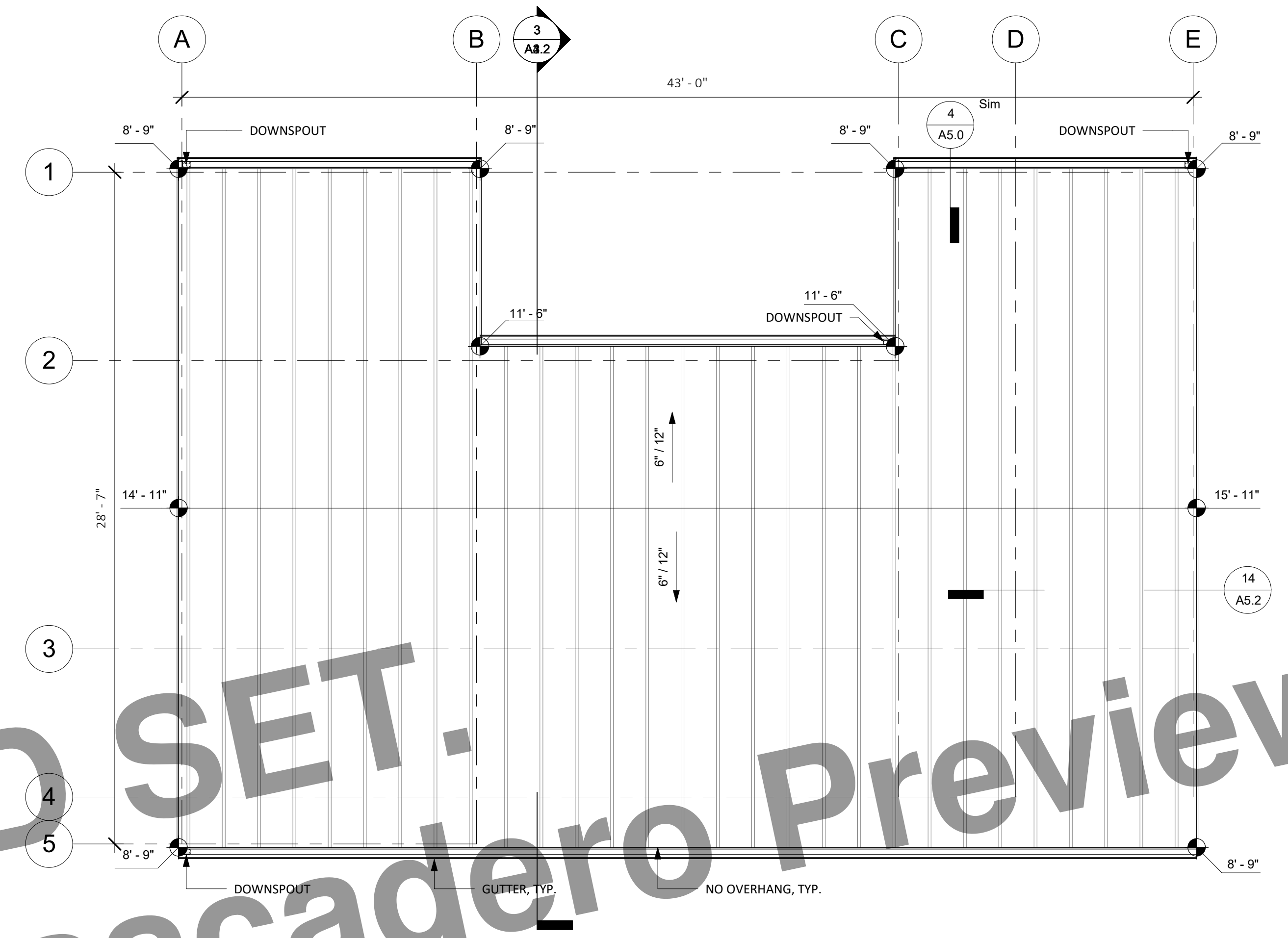
- ⊙ CEILING-MOUNTED EXHAUST UNIT
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ GFCI RECEPTACLE
- ⊕ 220 VOLT RECEPTACLE OUTLET
- ⊕ DEDICATED OUTLET
- ⊙ RECESSED LED DOWN LIGHT
- ⊕ WALL MOUNT LIGHT
- LED STRIP LIGHT
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ MS MOTION-SENSOR SWITCH
- ⊕ VS VACANCY SWITCH
- ⊕ FAN SWITCH/HUMIDITY SENSOR
- SWITCH LEG
- ⊕ WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS

REFLECTED CEILING PLAN LEGEND

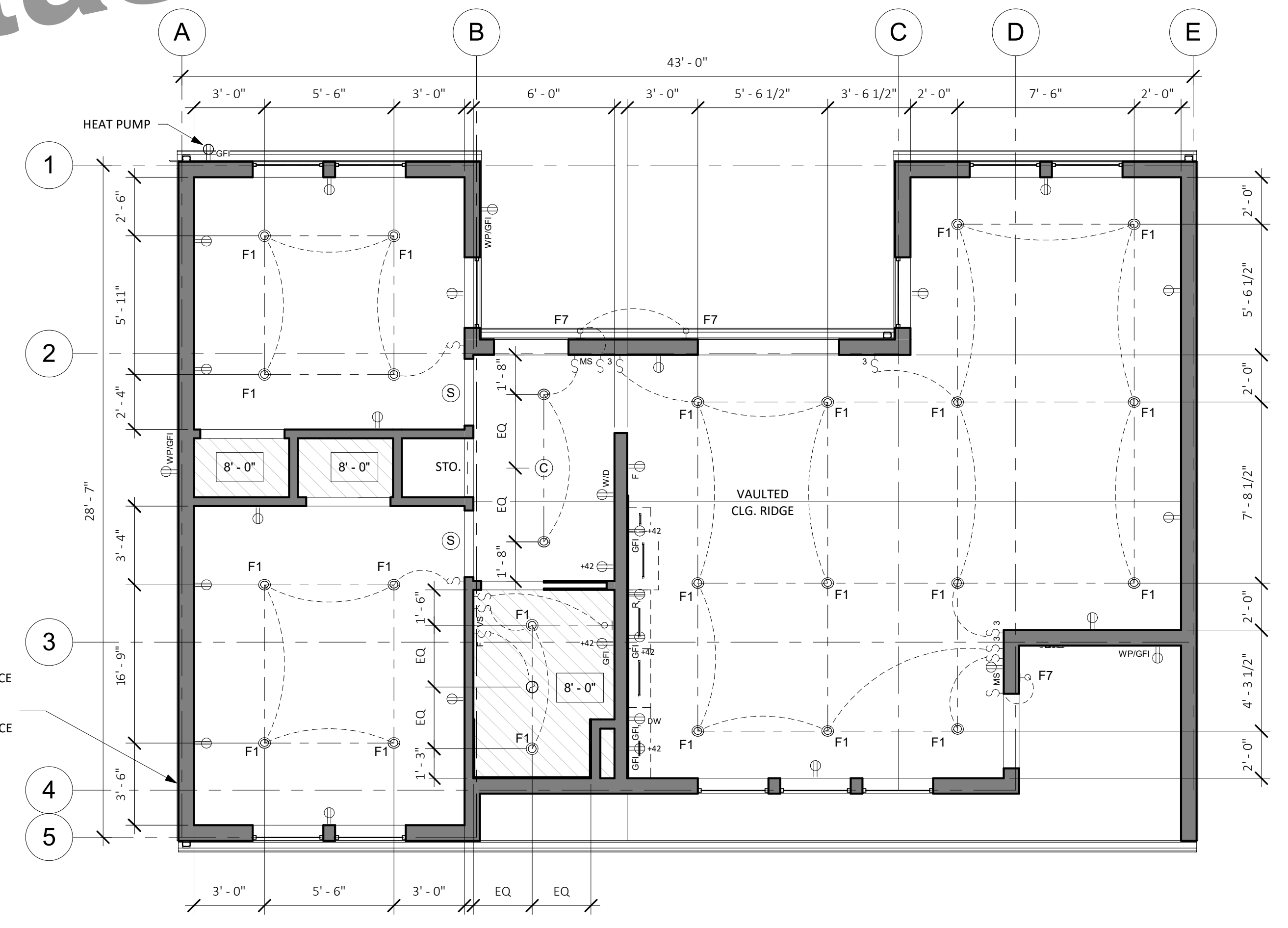
- GYP. BD. CLG., PTD.
- ▨ 8'-0" FRAMED CEILING HEIGHT A.F.F.
- ⊕ CEILING MOUNTED SMOKE DETECTOR. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. ALL SMOKE DETECTORS SHALL COMPLY WITH 2016 C.R.C. SECTION R314 AND SHALL BE 120V STATE FIRE MARSHAL APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING.
- ⊕ CARBON MONOXIDE DETECTOR COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE CEILING MOUNTED. HARDWIRED WITH BATTERY BACKUP. OWNER TO APPROVE SELECTION PRIOR TO PURCHASE. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH 2019 C.R.C. SECTION 315.2, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTINGS AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL.

REFLECTED CEILING PLAN NOTES

1. LIGHT FIXTURE DIMENSIONS ARE TO CENTERLINE OF FIXTURE, AND F.O. FINISH AT WALL.
2. PROVIDED TOTALS OF LIGHT FIXTURES ARE FOR REFERENCE ONLY. ACTUAL TOTALS TO BE VERIFIED BY CONTRACTOR.
3. SEPARATE SWITCH IN BATHROOM TO CONTROL IAQ FAN. LEAVE ON UNLESS OUTDOOR AIR QUALITY IS VERY POOR.
4. ALL RECEPTACLES LOCATED WITHIN BATHROOMS ARE REQUIRED TO BE GFCI PROTECTED.
5. PER CALIFORNIA ELECTRICAL CODE, ARTICLE 406.9(C), RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 900 MM (3 FT) HORIZONTALLY AND 2.5 M (8 FT) VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD.
6. PER CRC, R327.1.2, ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS, SHALL BE LOCATED NO MORE THAN 48 INCHES (1219.2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.
7. PER CEC ARTICLE 210.8, ALL EXTERIOR OUTLETS ARE GFCI'S FOR PROTECTION FOR PERSONNEL



2 ROOF PLAN - BEACH BUNGALOW
1/4" = 1'-0"



1 RCP & ELECTRICAL PLAN - TWO BEDROOM PLUS
1/4" = 1'-0"

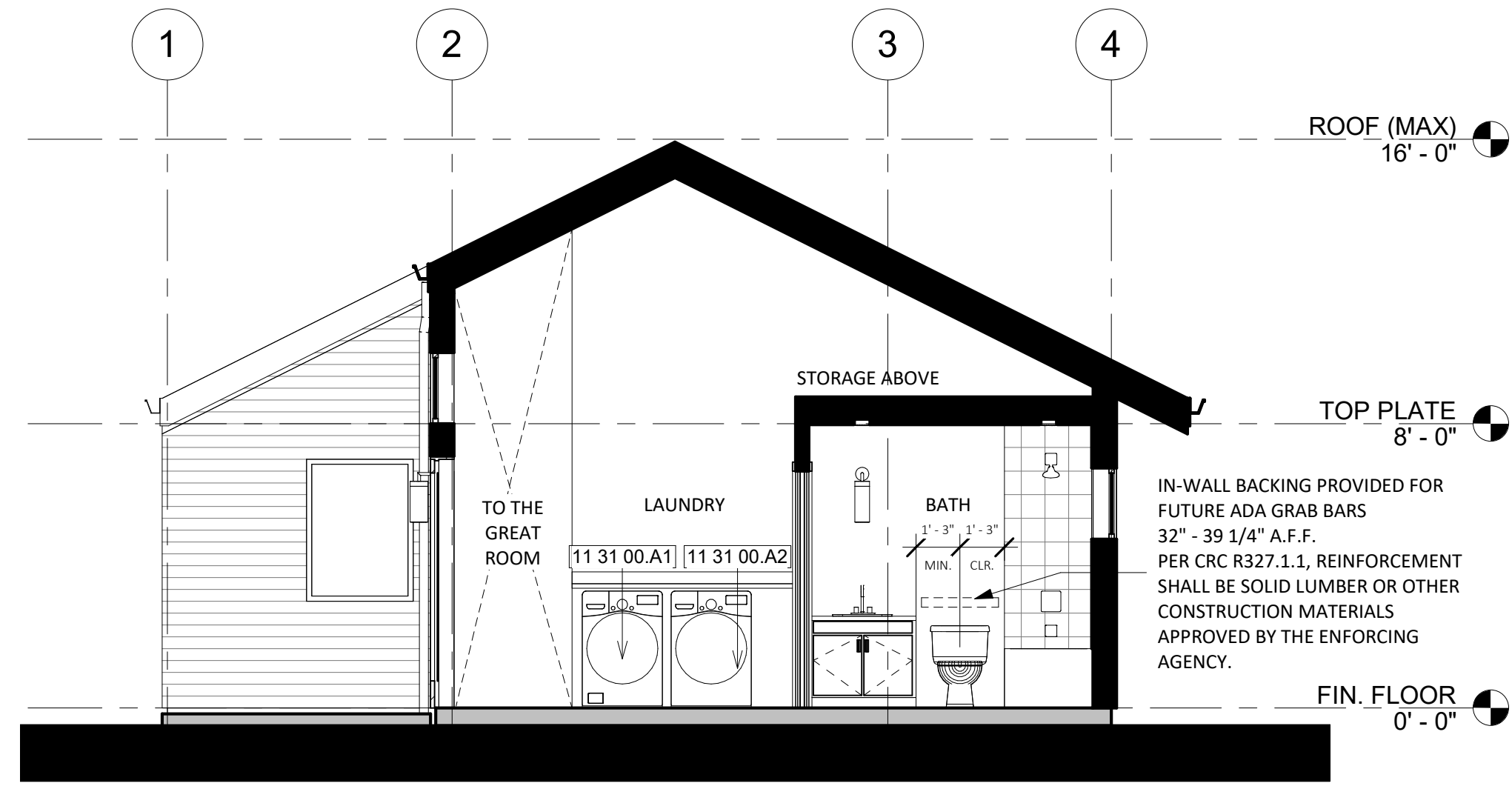
- MIN 100 AMP SUBPANEL
1. COORDINATE SITE ELECTRICAL SERVICE AND PANEL SPLIT WITH GENERAL CONTRACTOR.
 2. VERIFY MINIMUM ELECTRICAL SERVICE REQUIREMENTS FOR ADU PRIOR TO CONSTRUCTION.

BID SET.
City of Atascadero Preview

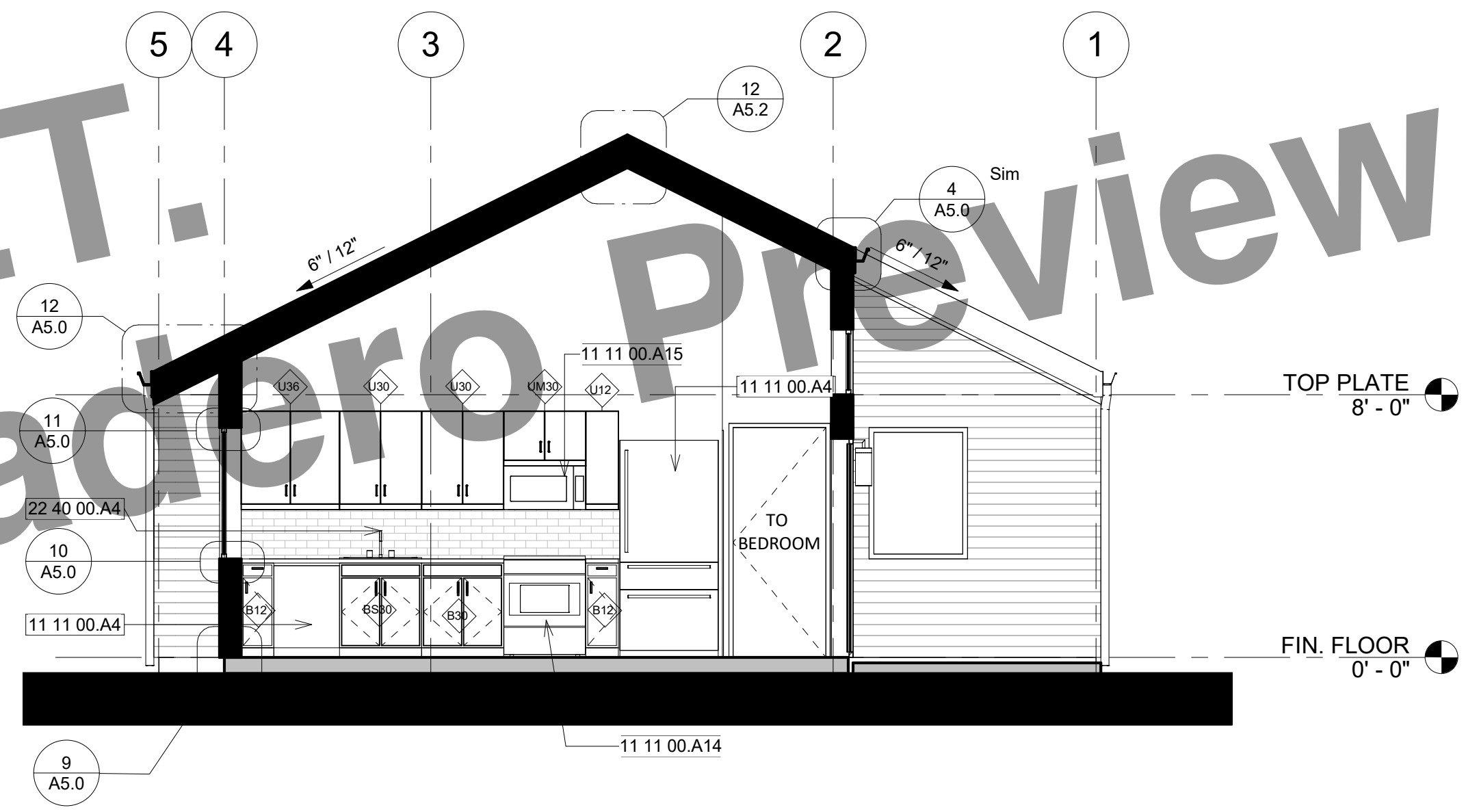
**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

BUNGALOW - ROOF
PLAN & RCP

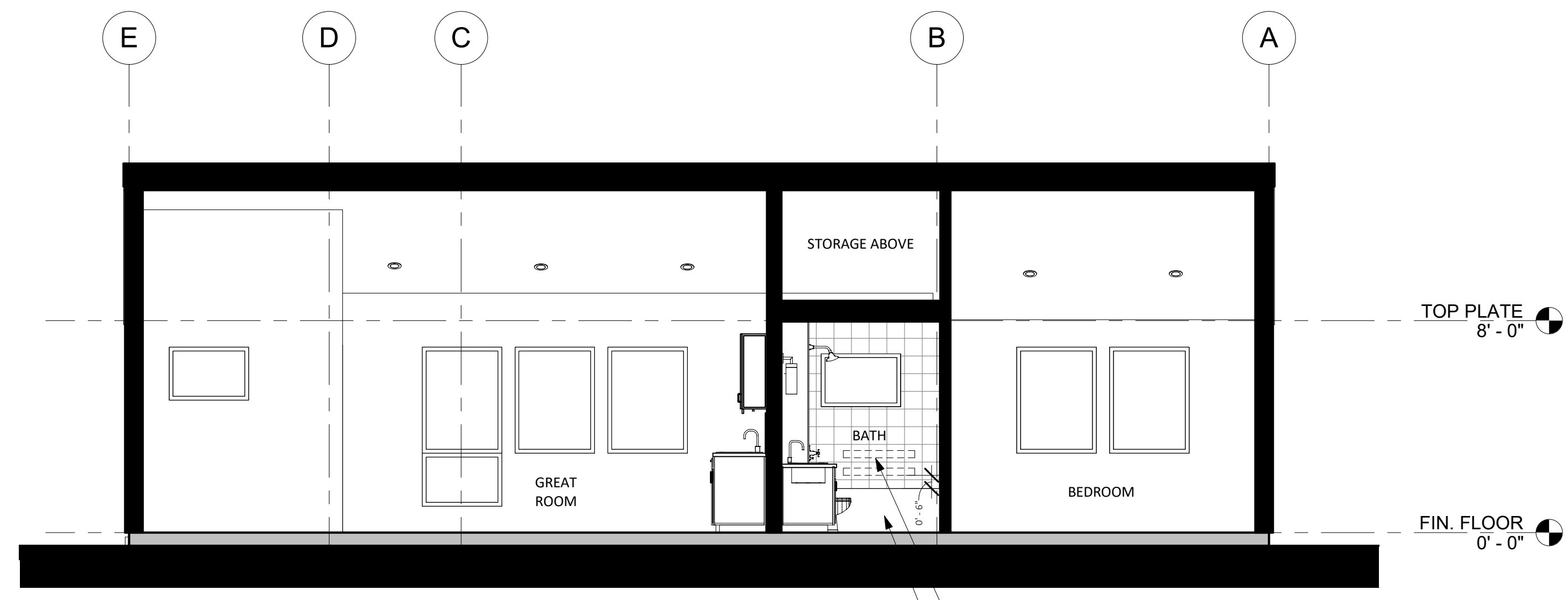
A4.1



3 SECTION C - COASTAL BUNGALOW
1/4" = 1'-0"



2 SECTION B - BEACH BUNGALOW
1/4" = 1'-0"



1 SECTION A - BEACH BUNGALOW
1/4" = 1'-0"

KITCHEN LEGEND

TAG	DESCRIPTION
CABINET WIDTH	
B12	12" BASE CABINET
B30	30" BASE CABINET
B530	30" BASE CABINET - SINK
U12	12" UPPER CABINET
U30	30" UPPER CABINET
U36	36" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE
APPLIANCES	
11 11 00.A4	24" DISHWASHER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A17	36" REFRIGERATOR
11 31 00.A2	FRONT LOAD DRYER
11 31 00.A1	FRONT LOAD WASHER
22 40 00.A4	30" KITCHEN SINK WITH FAUCET
PLUMBING	



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PRINT DATE: XX.XX.XXXX

**BUNGALOW -
SECTIONS**

A4.2

SCALE: AS NOTED



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EXTERIOR WALL
ASSEMBLY DETAILS

A5.0

SCALE: AS NOTED

DETAIL GENERAL NOTES

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5].
3. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 GAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING SHALL BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6
THE EXPOSED ROOF DECK UNDER UNEXPOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8
WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9
WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

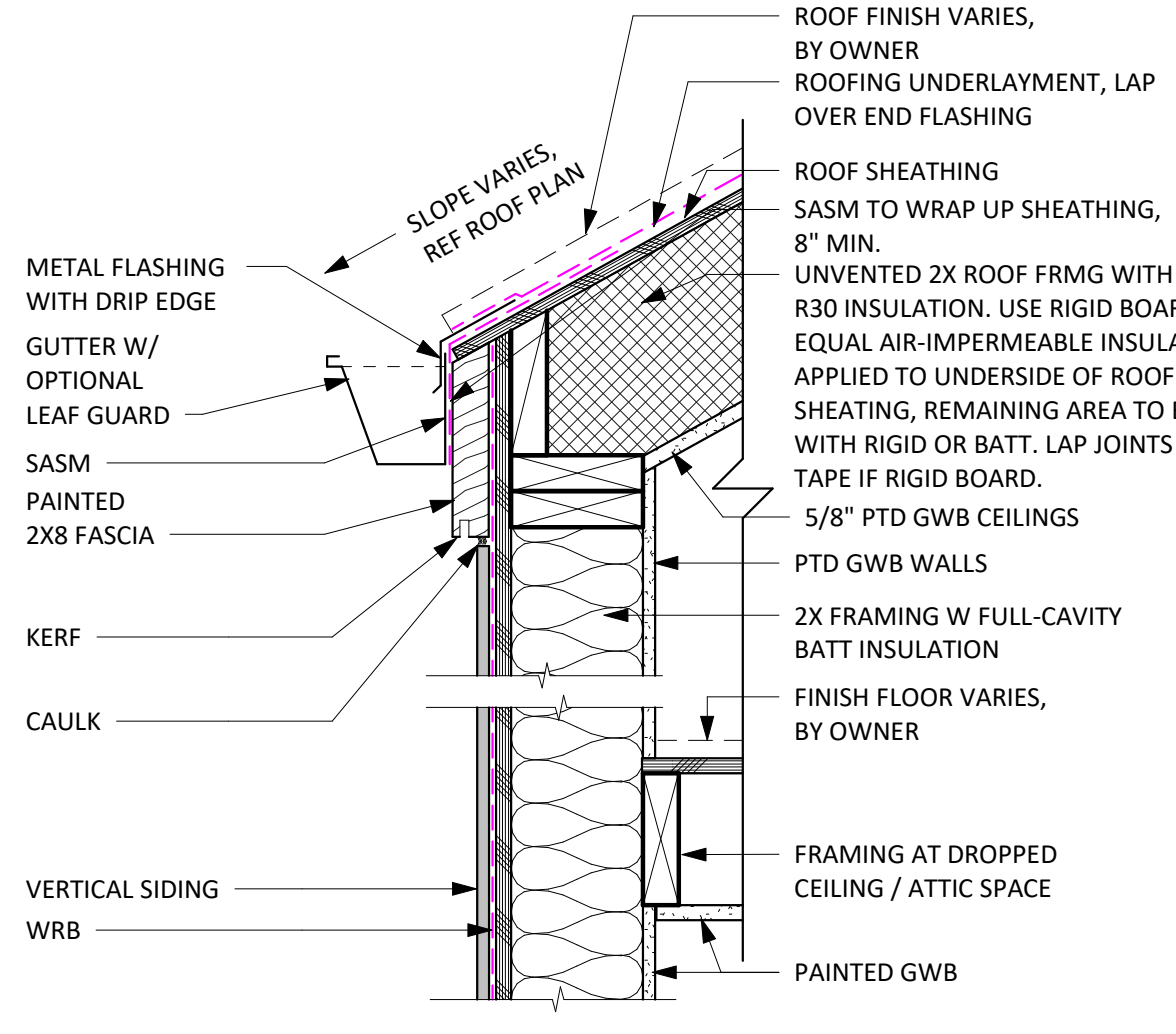
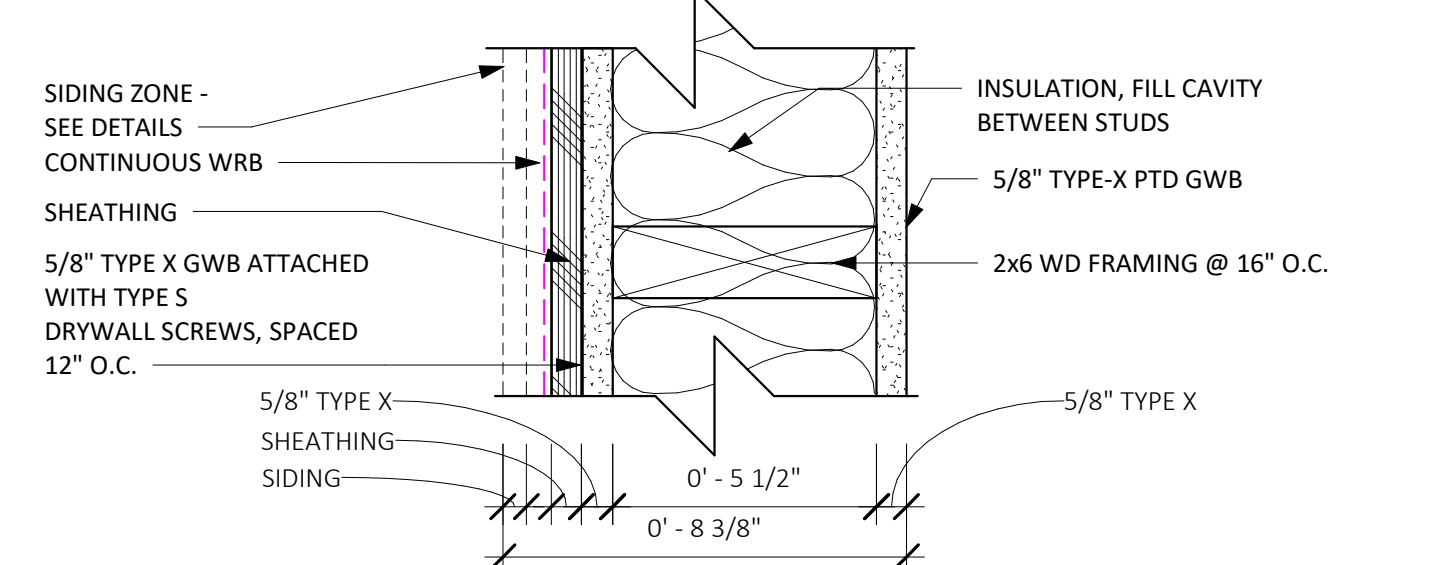
PERFORMANCE NOTES

- ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
 2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
 3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
 4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

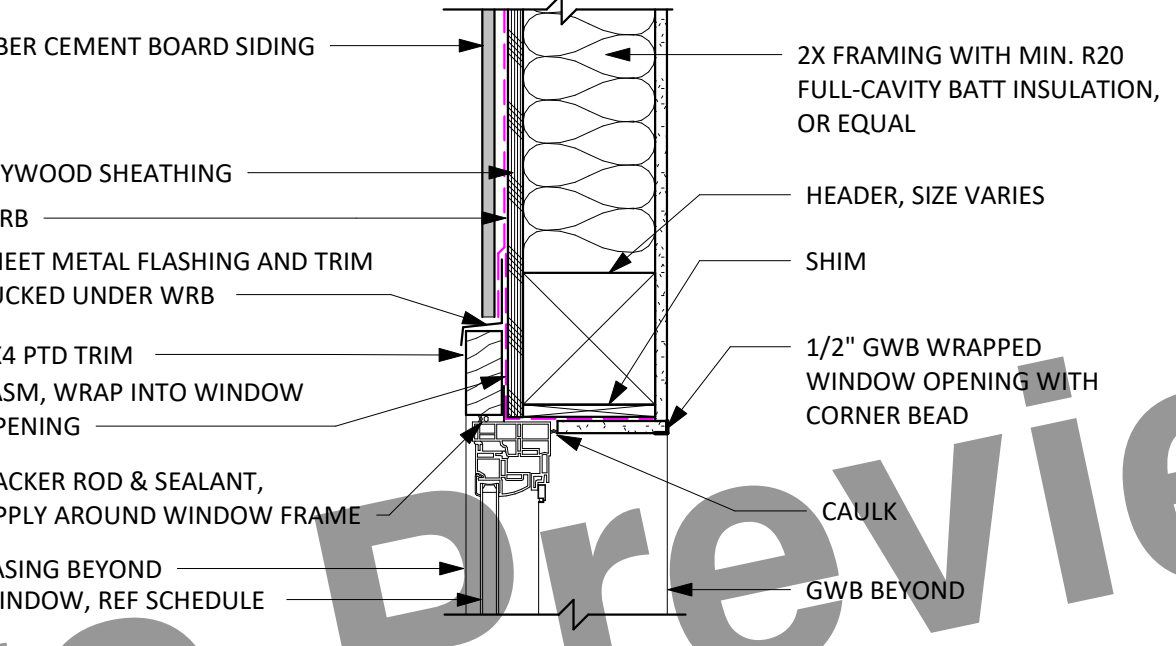
FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

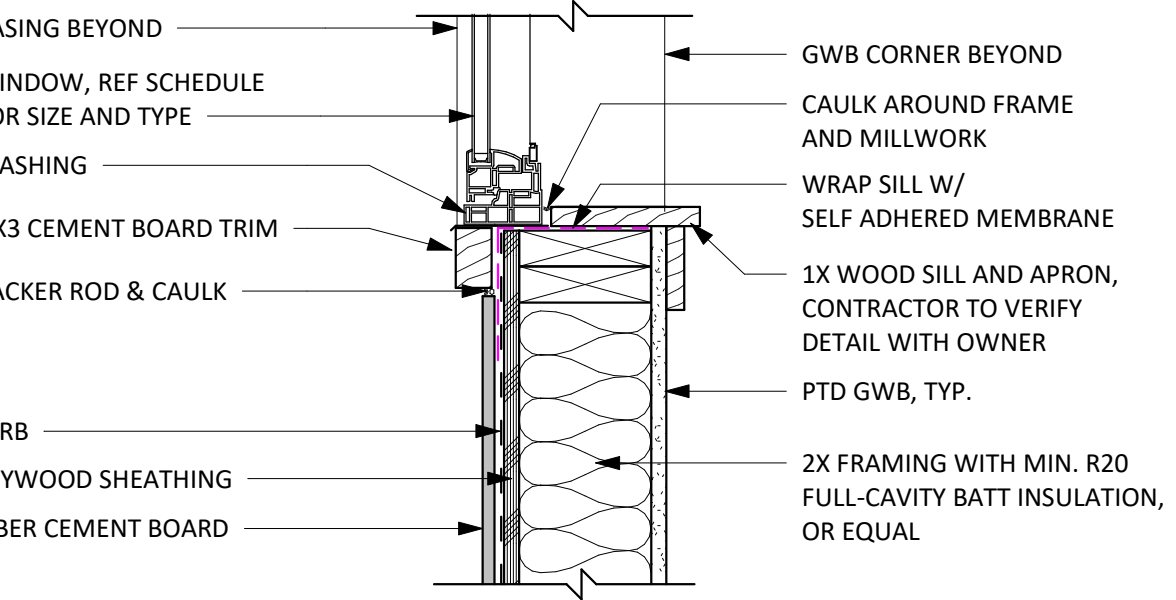
**WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12***



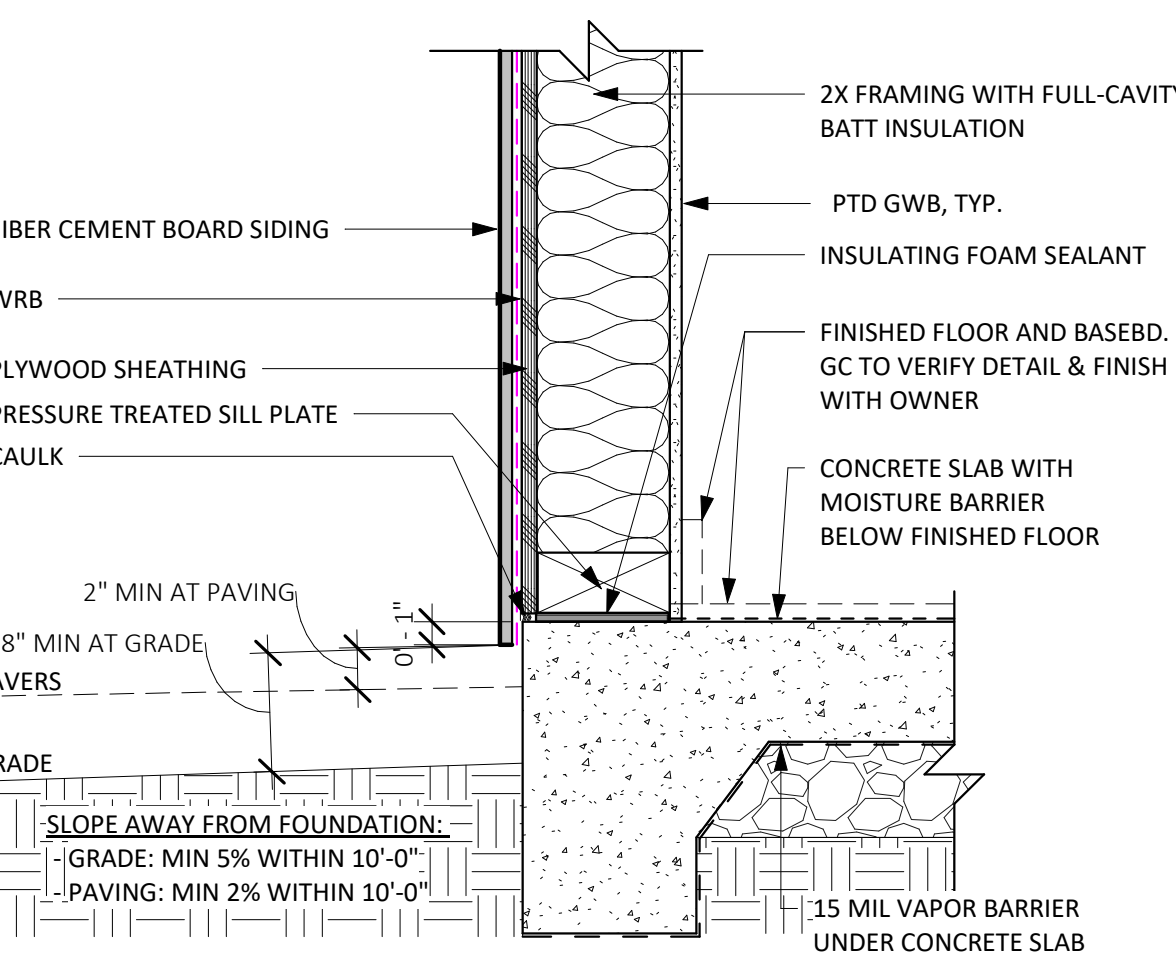
4 EAVE WITH ZERO OVERHANG
1 1/2" = 1'-0"



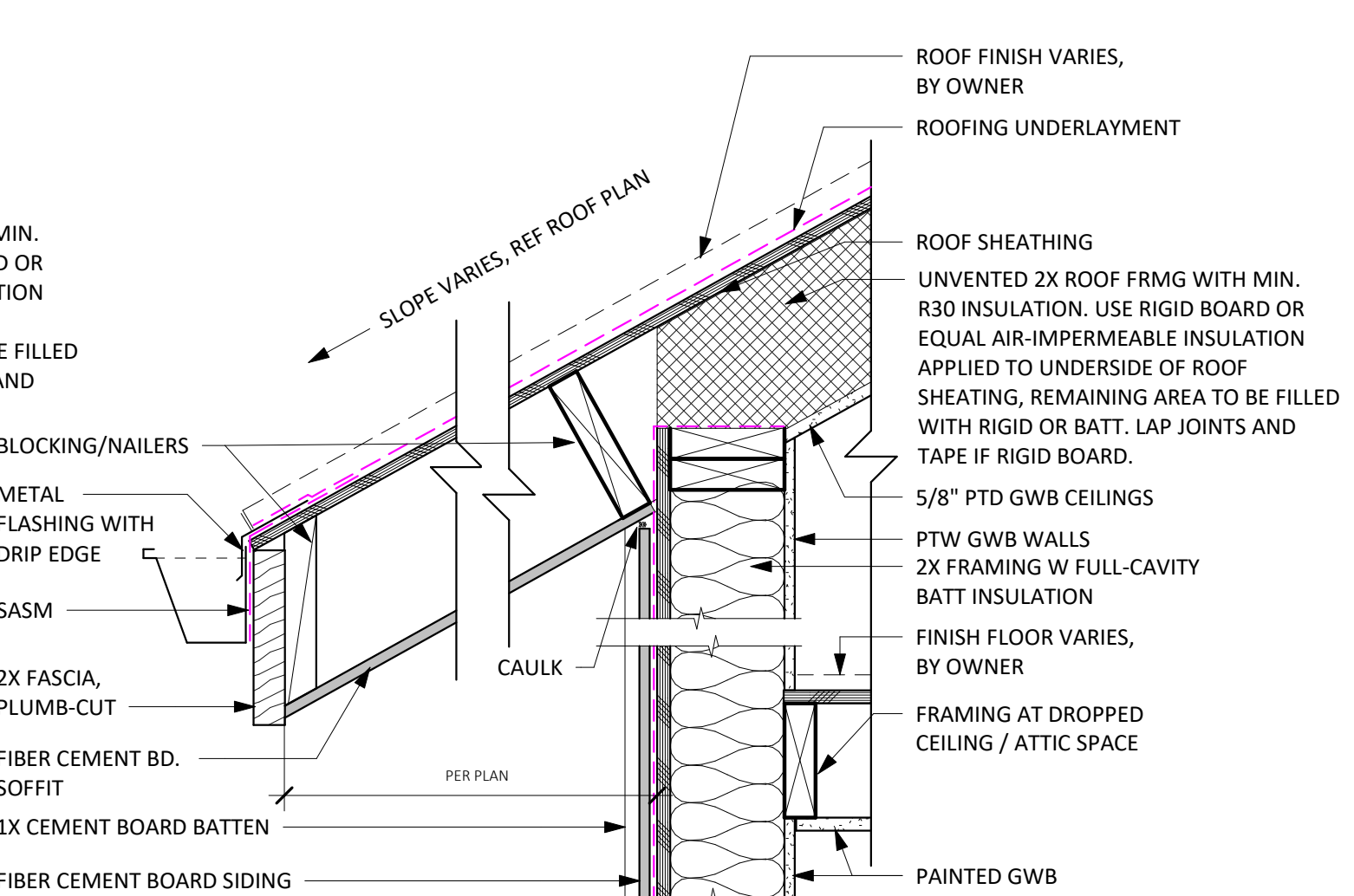
3 WINDOW HEAD AT VERTICAL SIDING
1 1/2" = 1'-0"



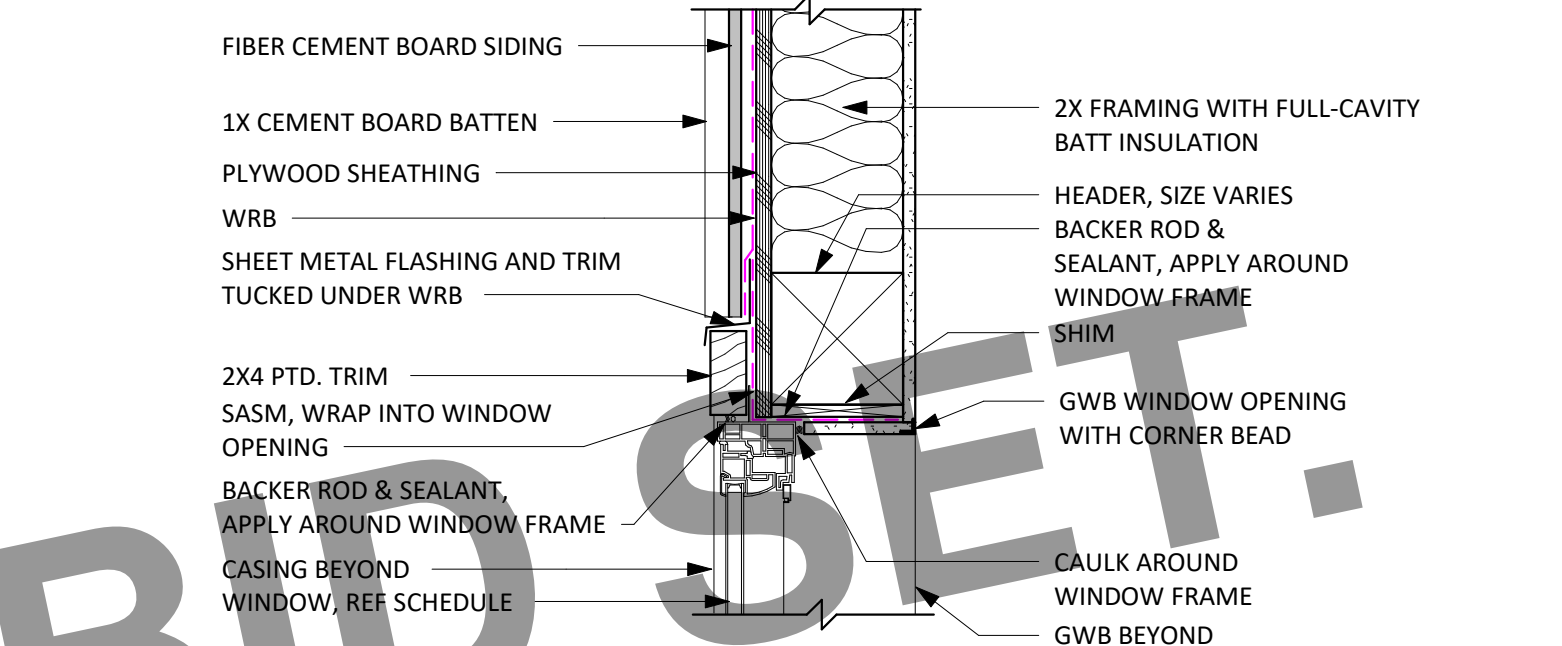
2 WINDOW SILL AT VERTICAL SIDING
1 1/2" = 1'-0"



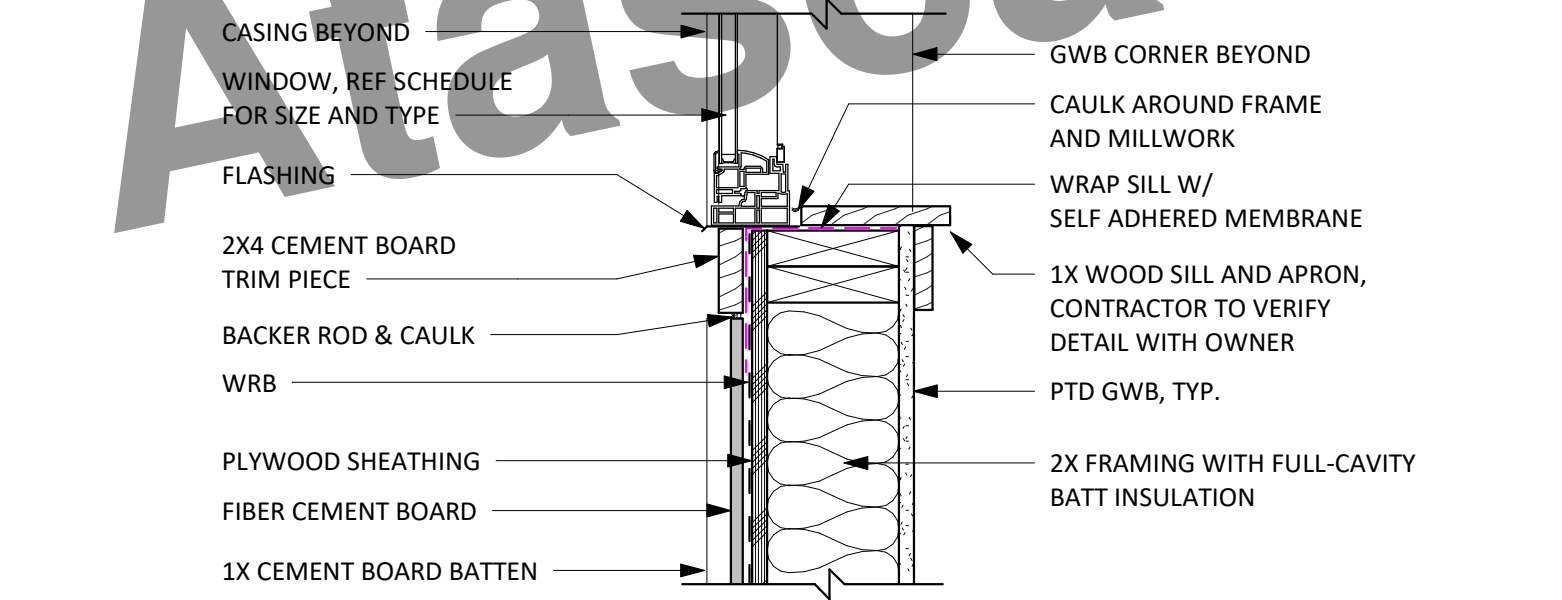
1 SLAB EDGE AT VERTICAL SIDING
1 1/2" = 1'-0"



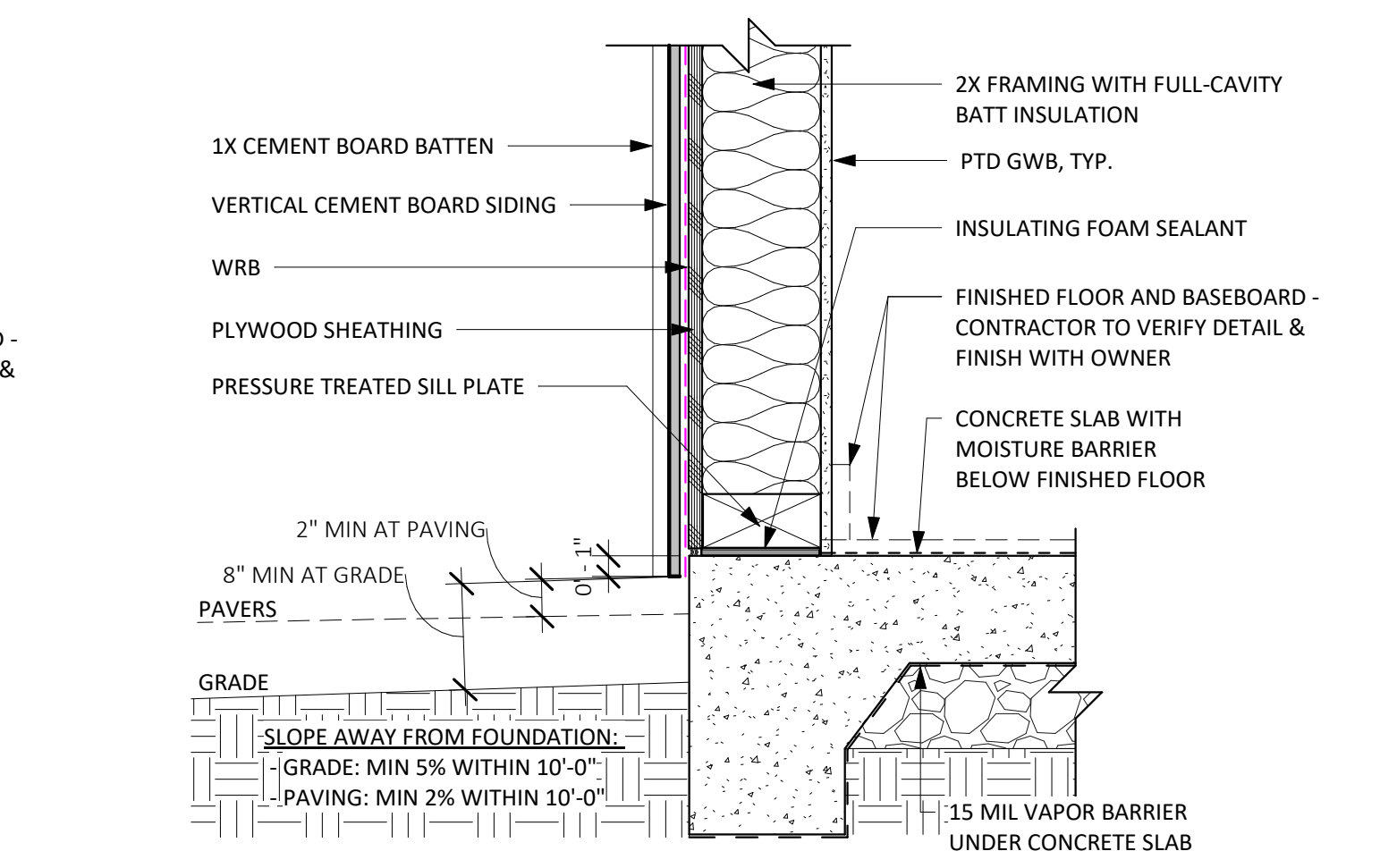
8 RAKE / EAVE AT BOARD & BATTEN
1 1/2" = 1'-0"



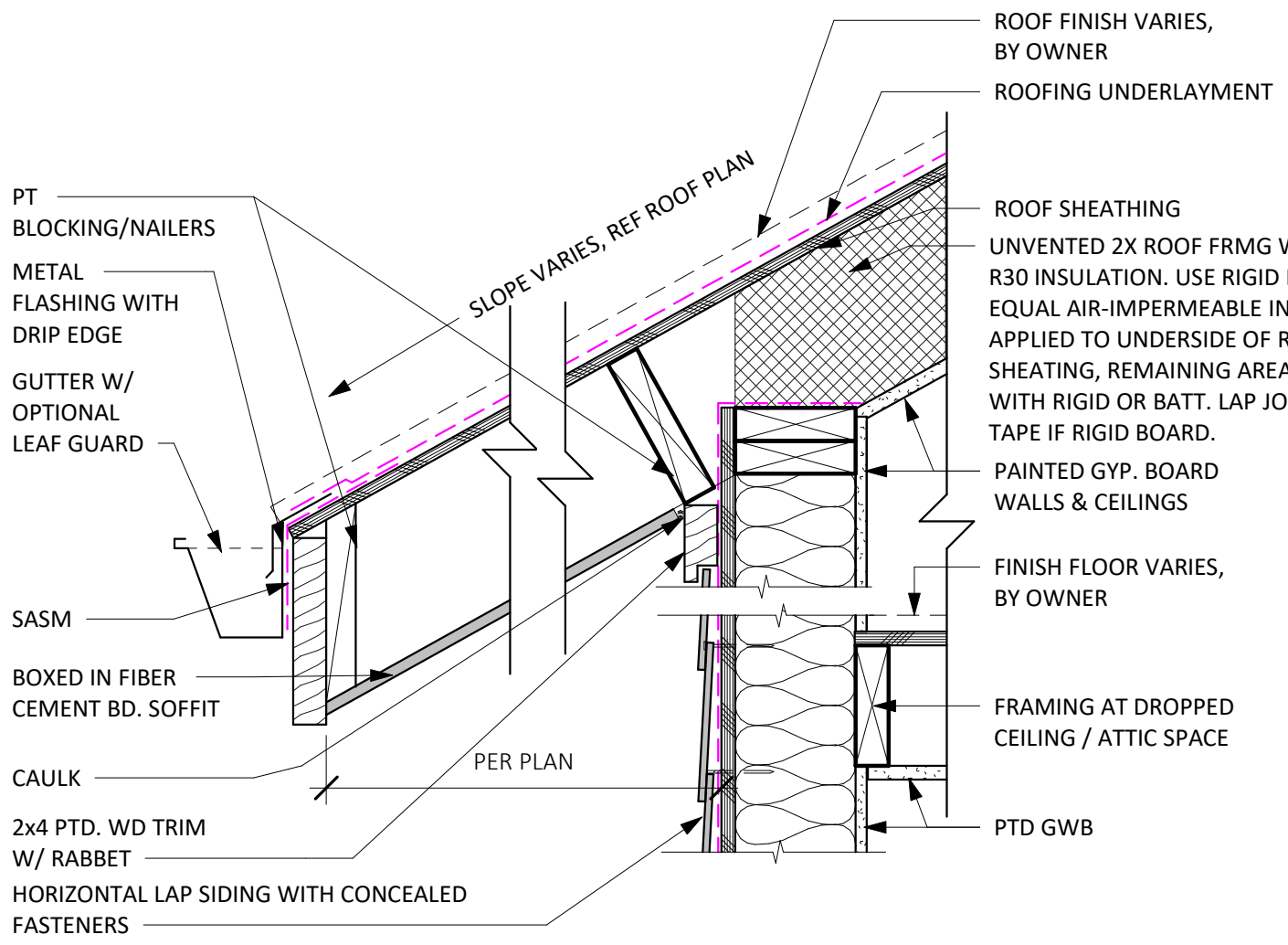
7 WINDOW HEAD AT BOARD & BATTEN
1 1/2" = 1'-0"



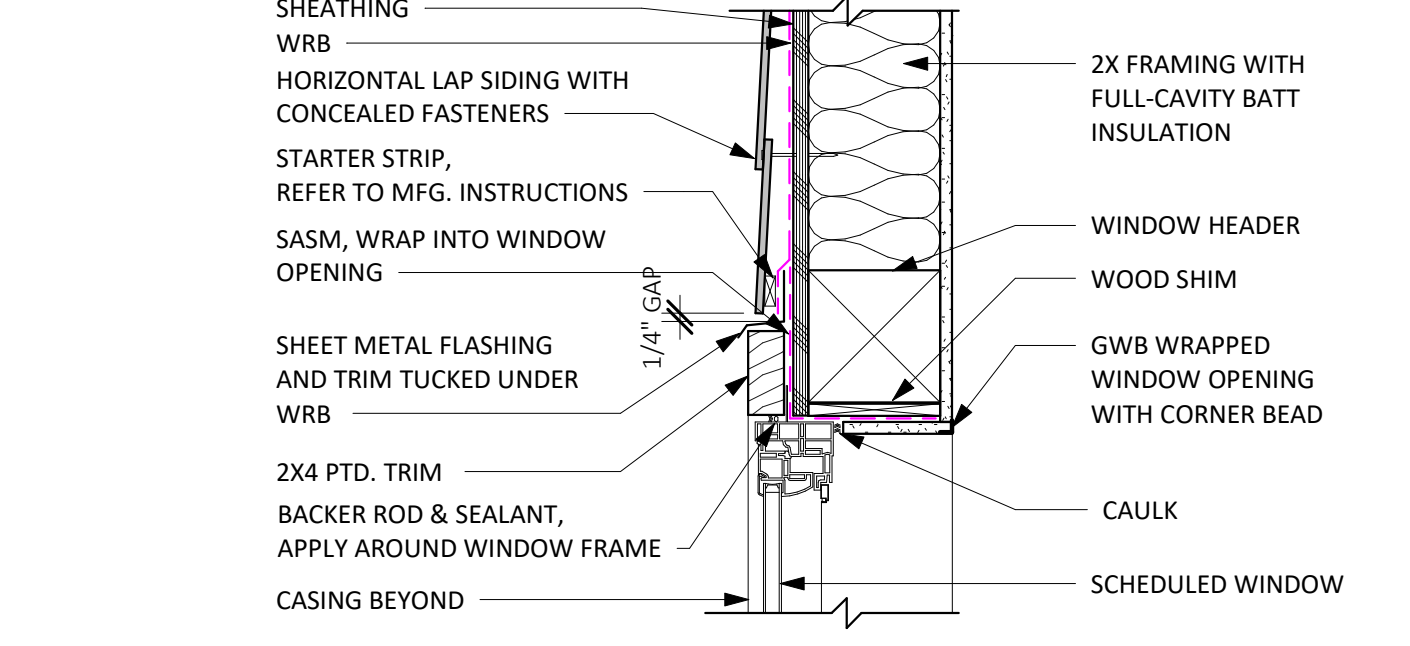
6 WINDOW SILL AT BOARD & BATTEN
1 1/2" = 1'-0"



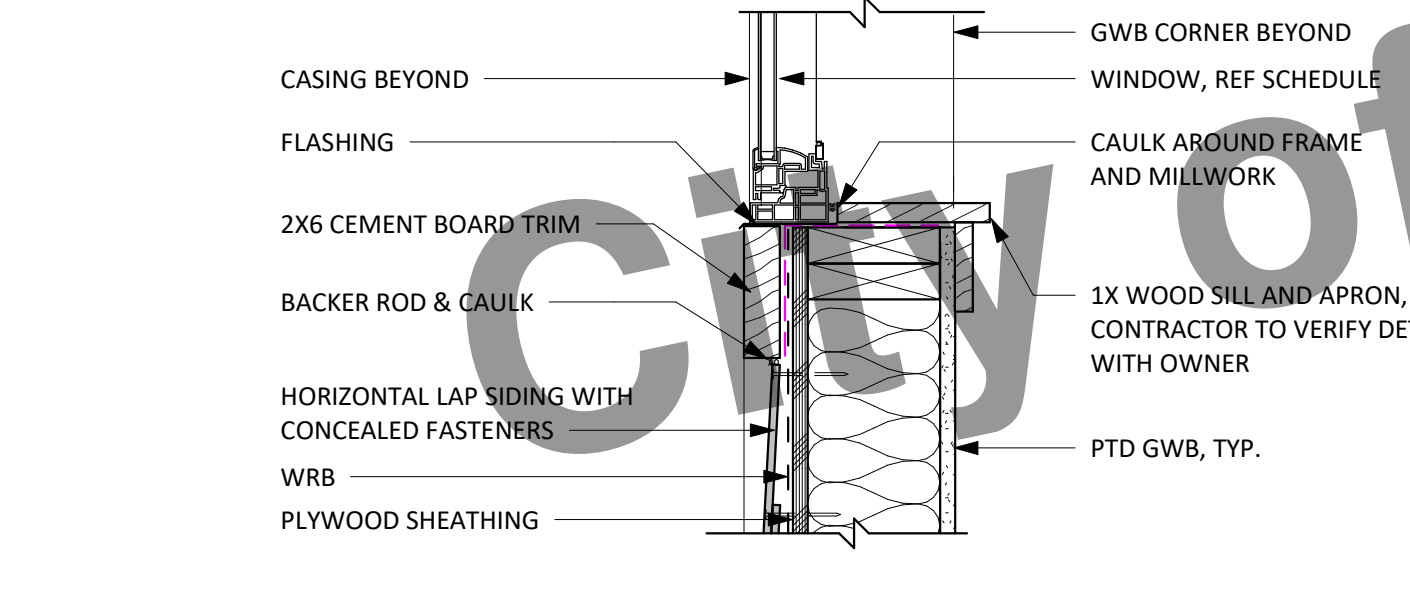
5 SLAB EDGE AT BOARD & BATTEN
1 1/2" = 1'-0"



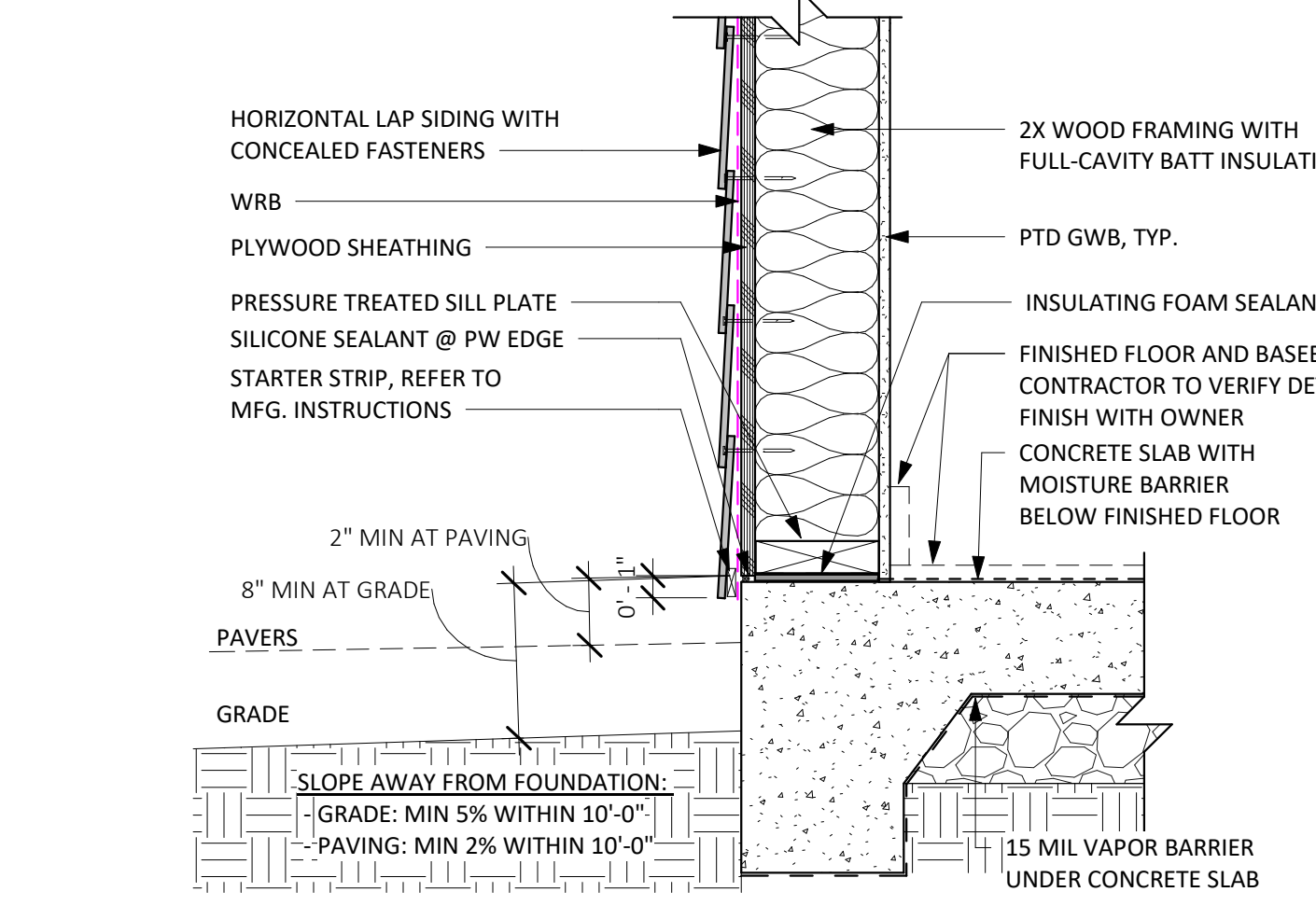
12 EAVE AT LAP SIDING
1 1/2" = 1'-0"



11 WINDOW HEAD AT LAP SIDING
1 1/2" = 1'-0"



10 WINDOW SILL AT LAP SIDING
1 1/2" = 1'-0"



9 SLAB EDGE AT LAP SIDING
1 1/2" = 1'-0"

E3 FIBER CEMENT HORIZONTAL LAP SIDING

E2 BOARD & BATTEN SIDING

E1 FIBER CEMENT VERTICAL SIDING



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CENTRAL COAST PRE-DESIGNED ADU

TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

EXTERIOR WALL ASSEMBLY DETAILS

A5.1

SCALE: AS NOTED

DETAIL GENERAL NOTES

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
3. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
4. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY - AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 GAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 706A / CRC R337.6
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8
WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9
WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

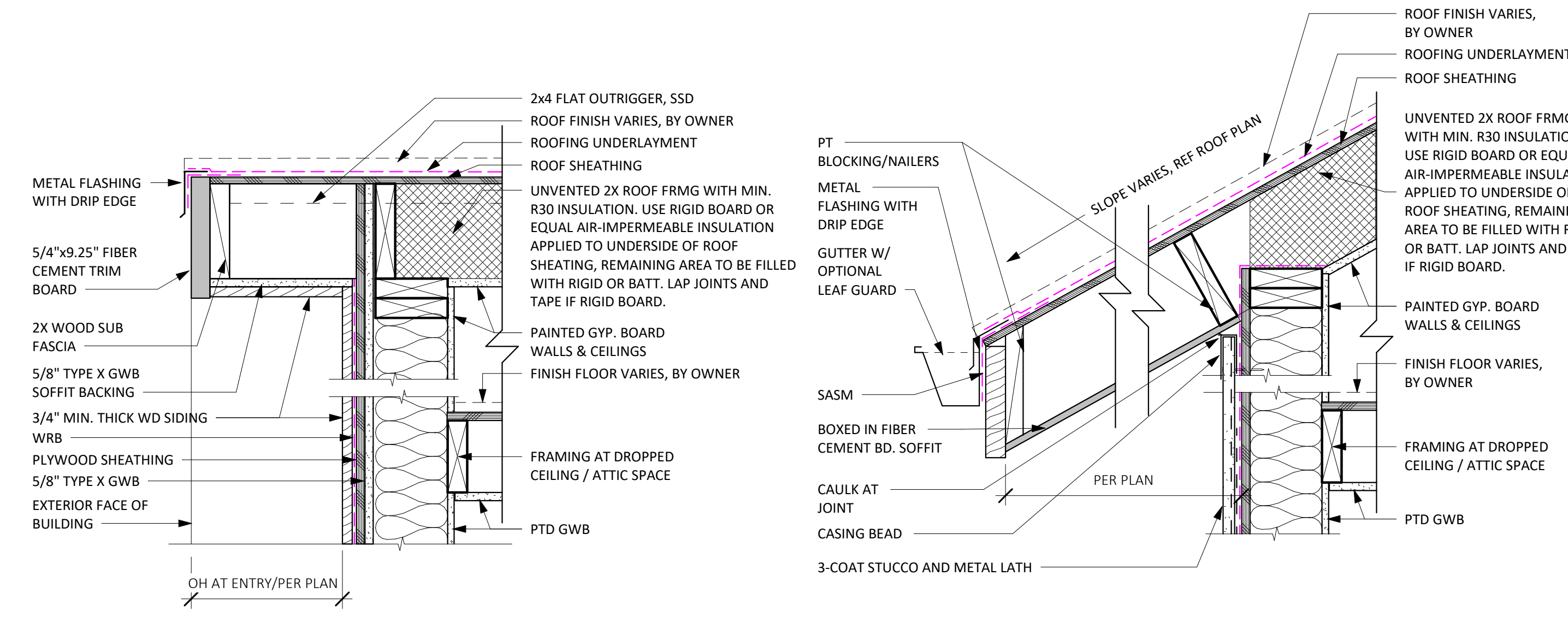
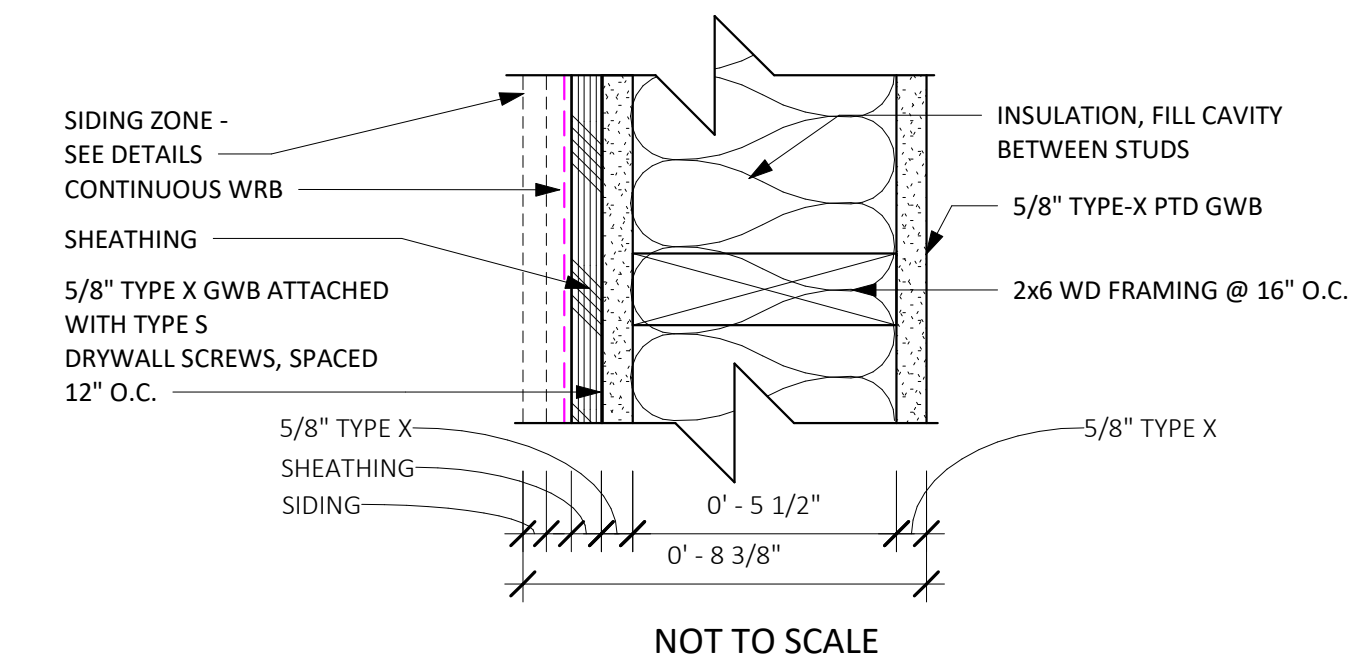
PERFORMANCE NOTES

- ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
 2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION OR EXFILTRATION.
 3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
 4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 - PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

FIRE RATING NOTES

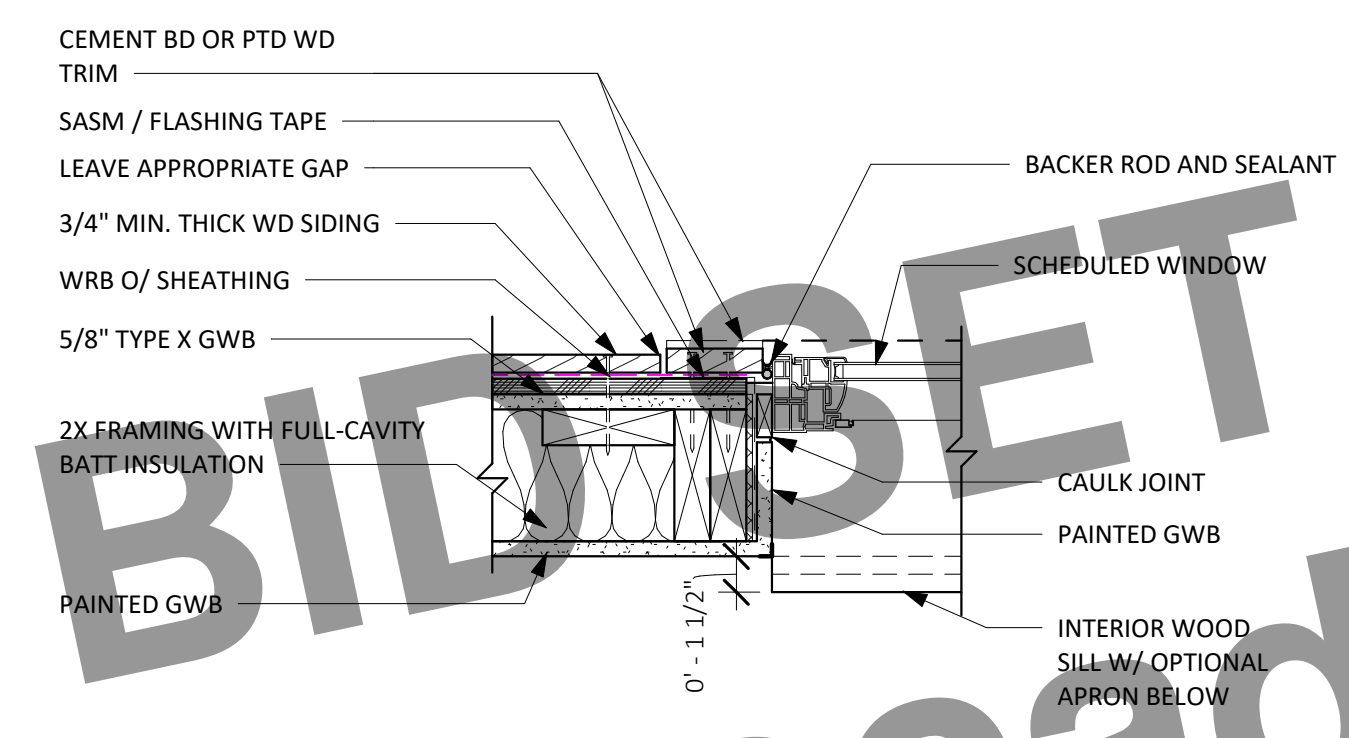
1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:
1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12*

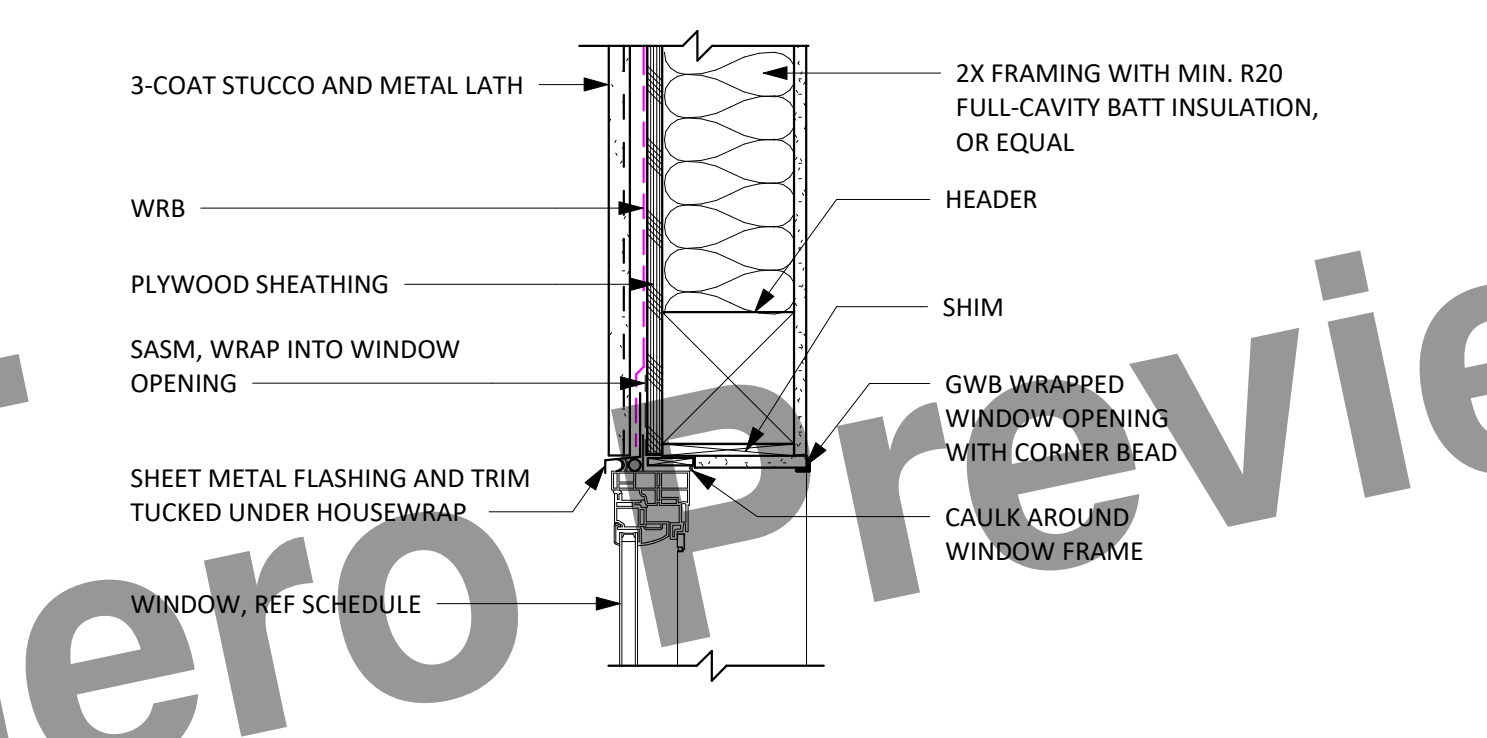


8 EAVE WITH WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"

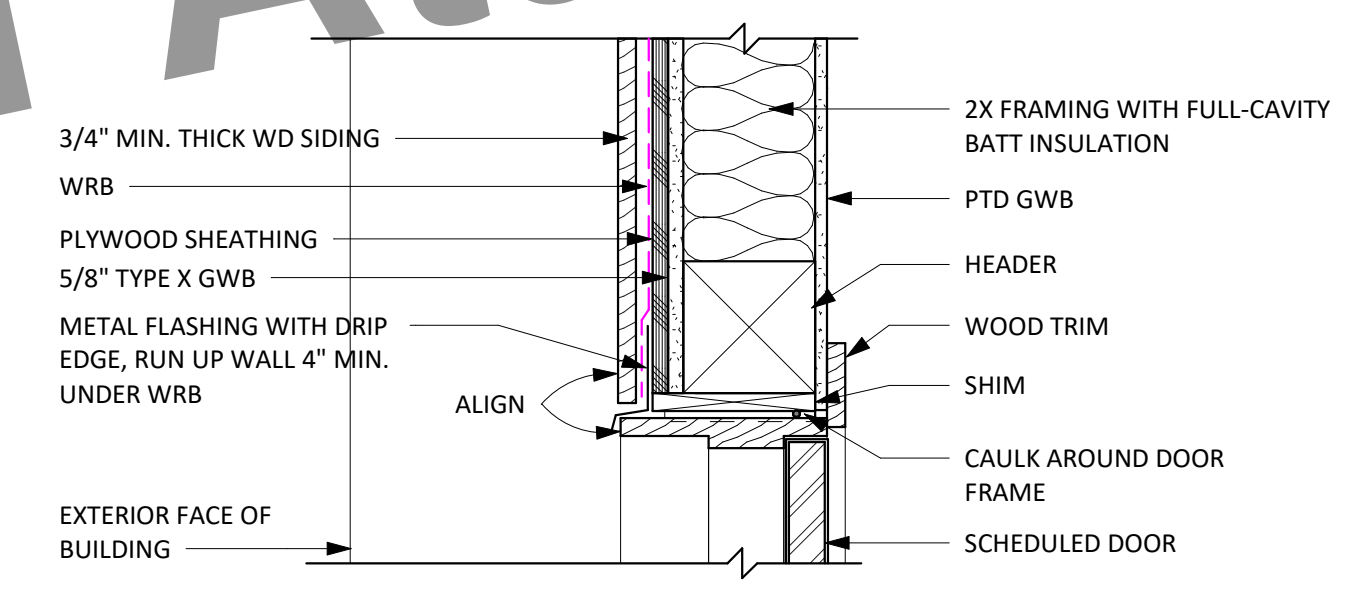
4 EAVE AT STUCCO SIDING
1 1/2" = 1'-0"



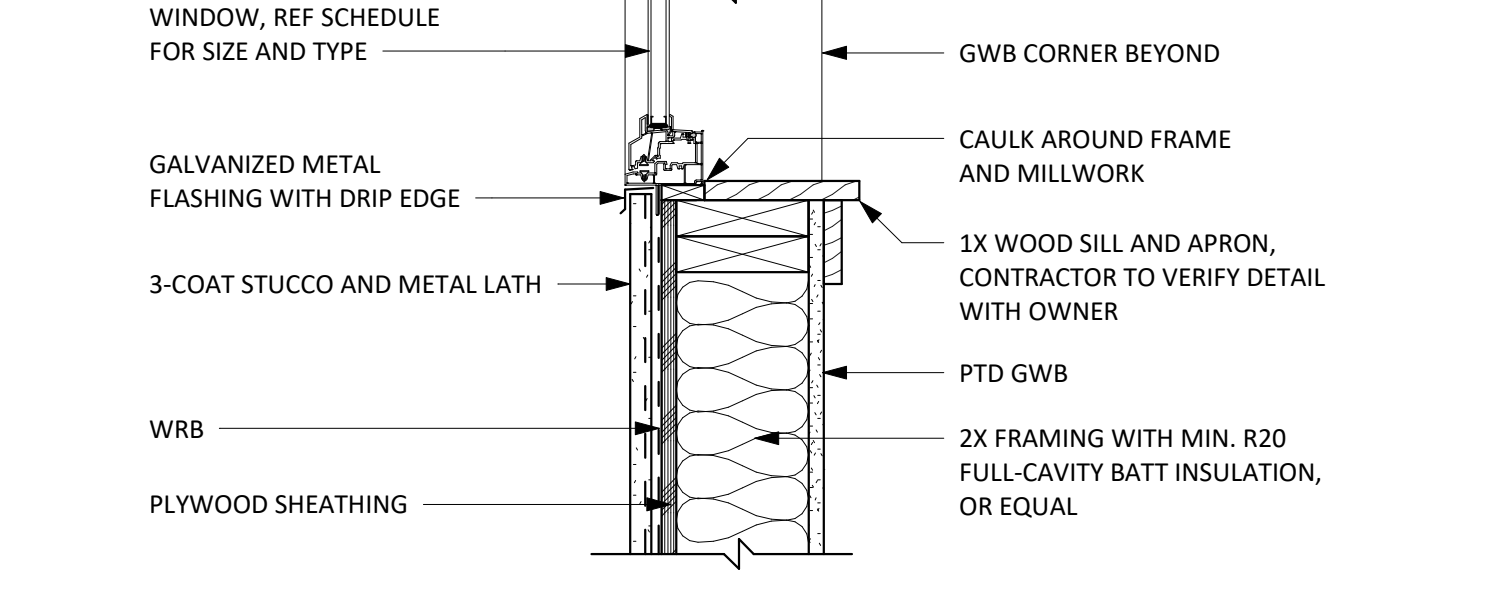
7 WINDOW JAMB AT WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



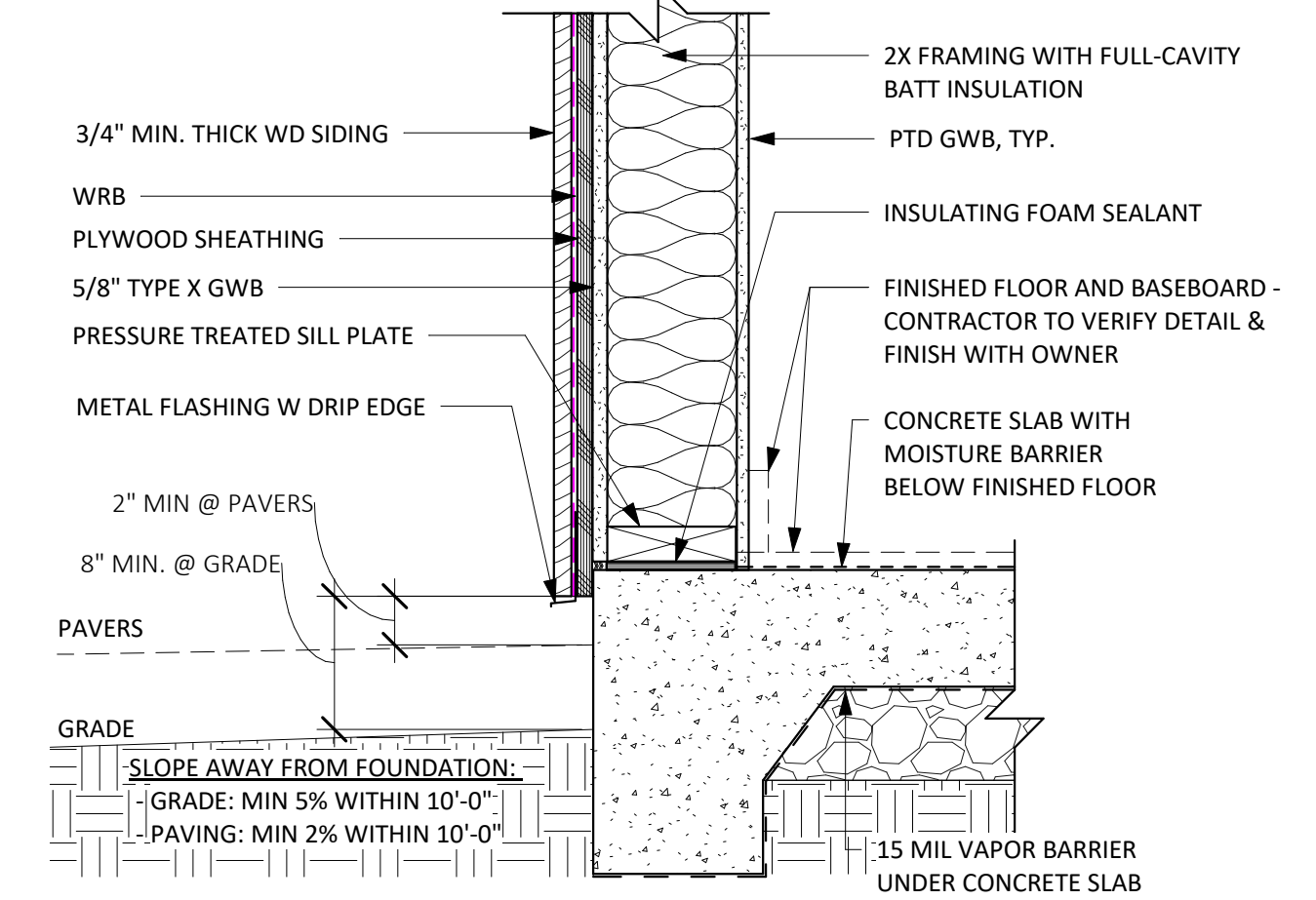
3 WINDOW HEAD AT STUCCO SIDING
1 1/2" = 1'-0"



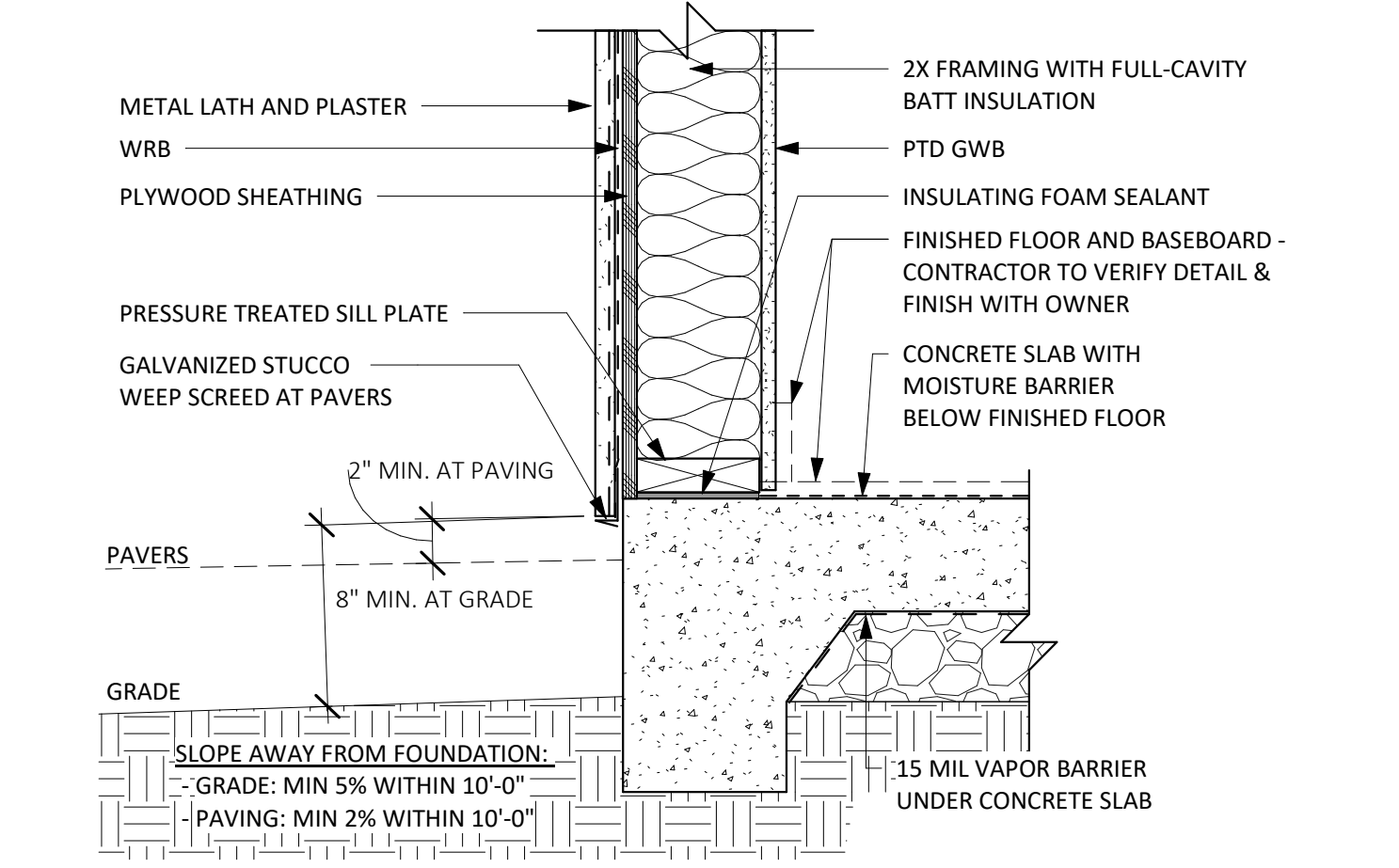
6 DOOR HEAD AT WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



2 WINDOW SILL AT STUCCO SIDING
1 1/2" = 1'-0"



5 SLAB EDGE WITH WOOD SIDING-WUI COMPLIANT
1 1/2" = 1'-0"



1 SLAB EDGE AT STUCCO SIDING
1 1/2" = 1'-0"

WOOD SIDING WITHIN WUI ZONE

E4 STUCCO SIDING

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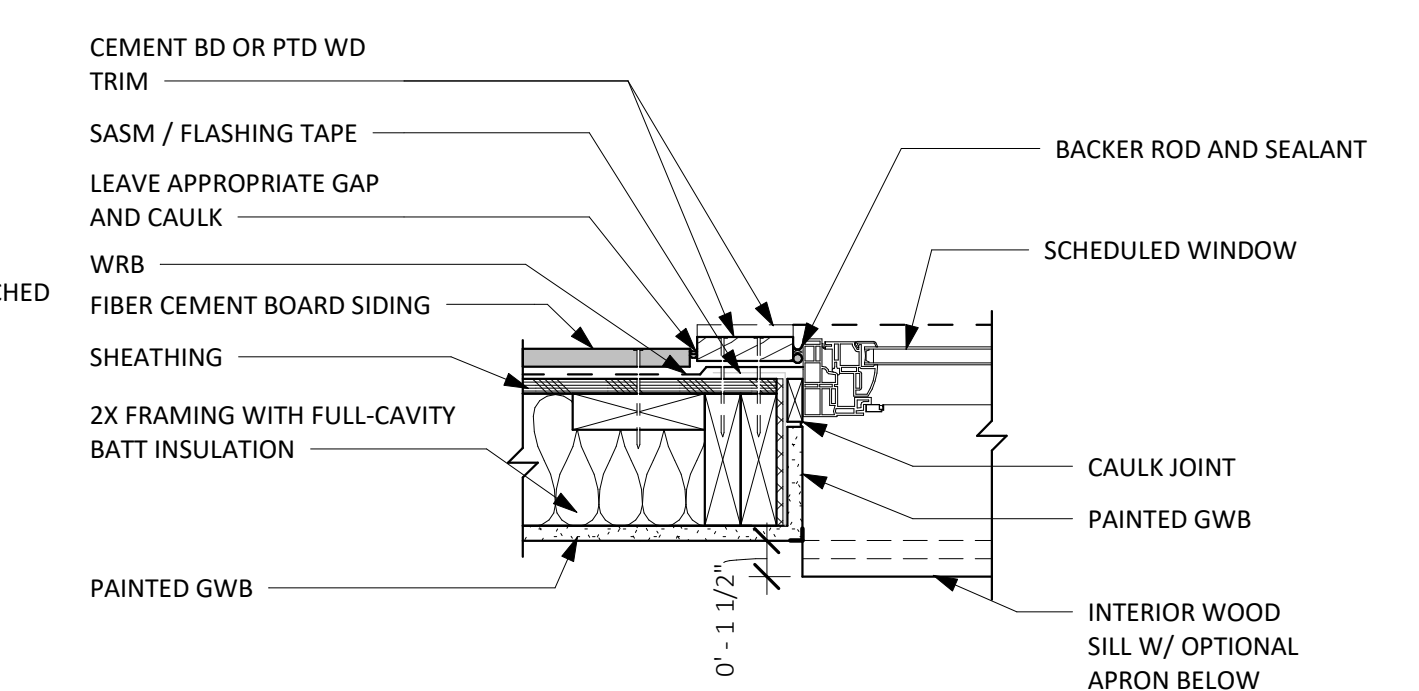
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**CENTRAL COAST
PRE-DESIGNED ADU
TWO BEDROOM + OPTIONS
998 GSF**

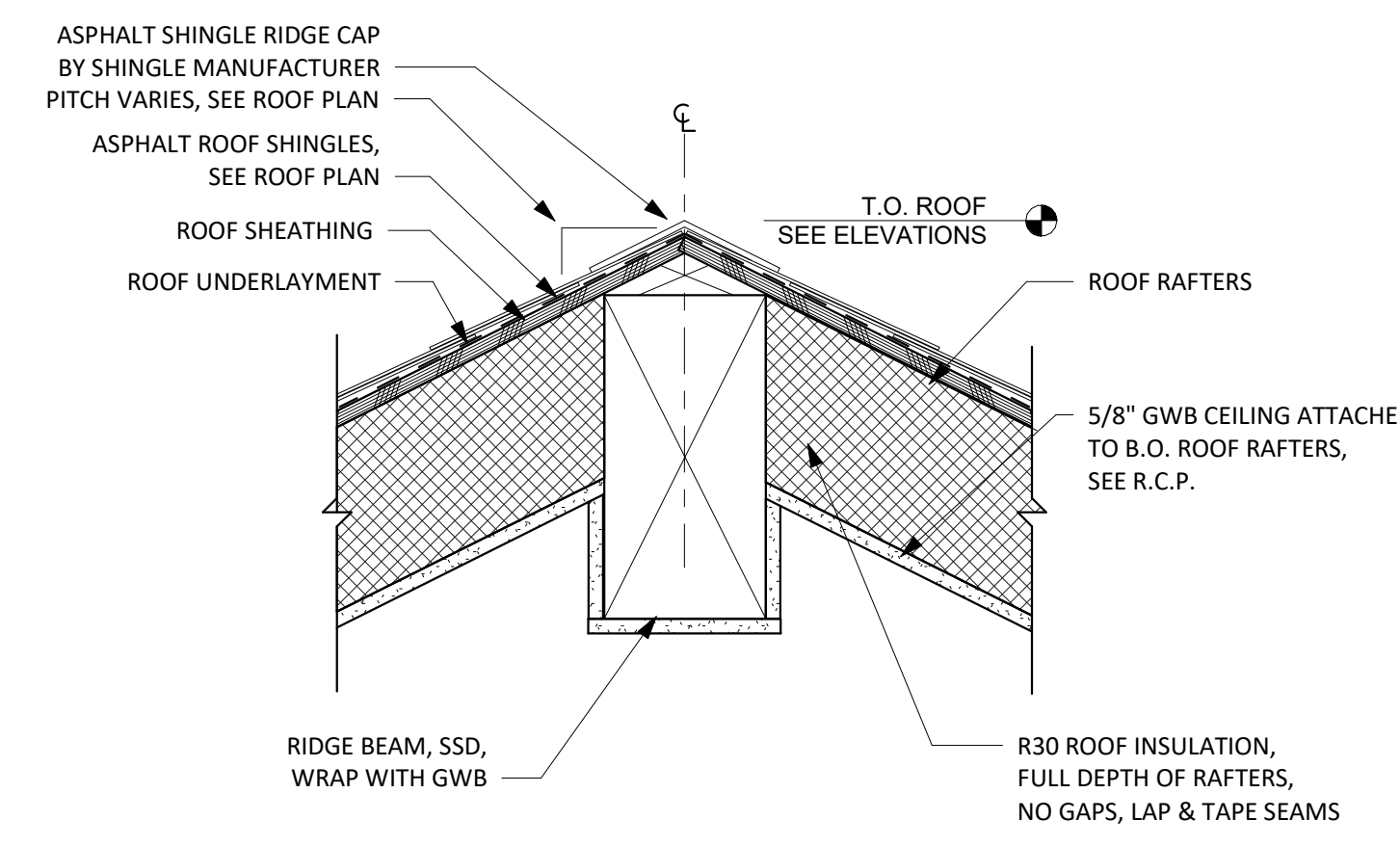
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EXTERIOR DETAILS

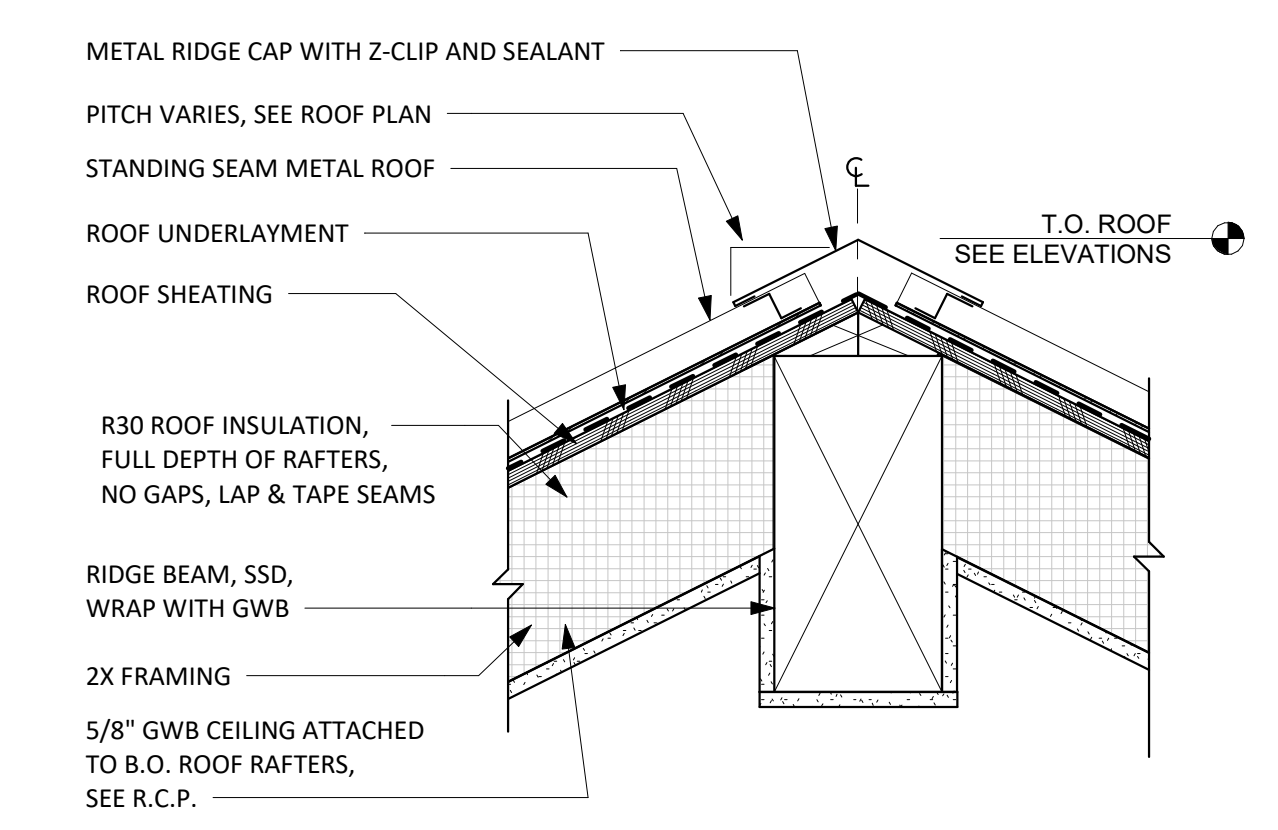
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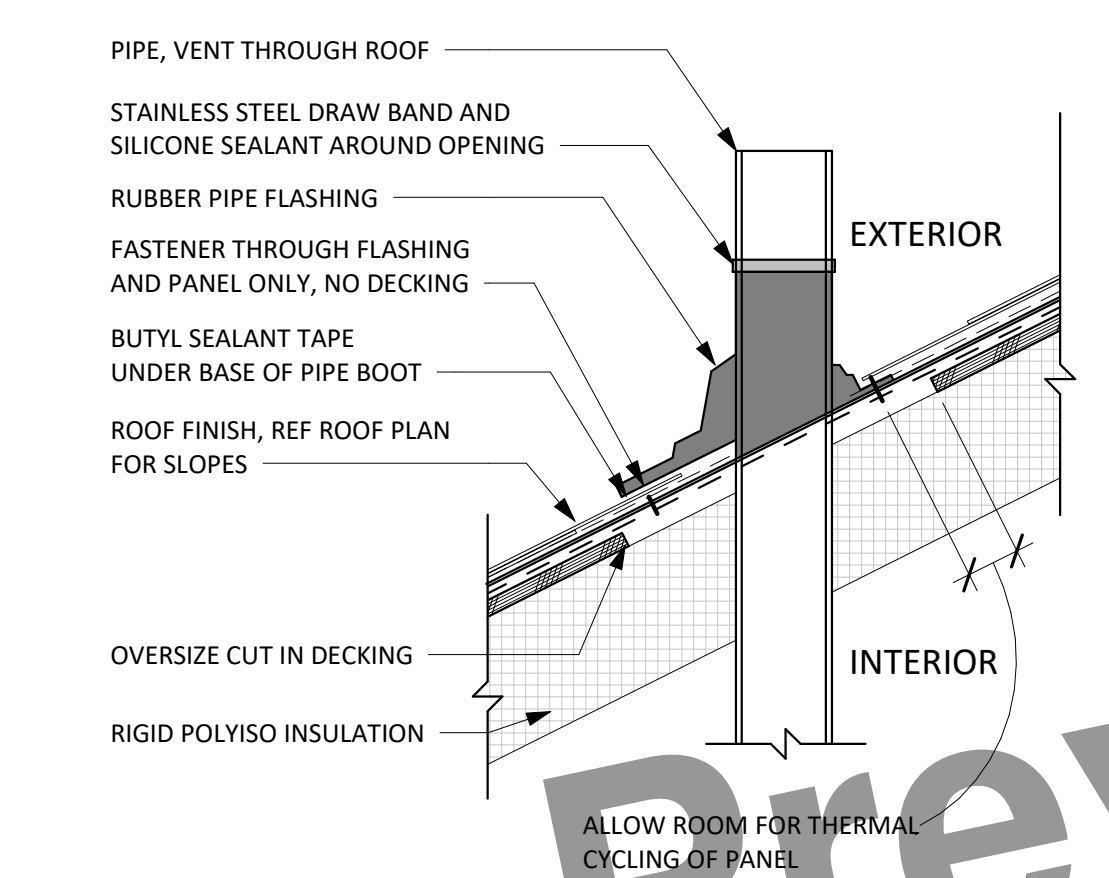
4 BASIC WINDOW JAMB
1 1/2" = 1'-0"



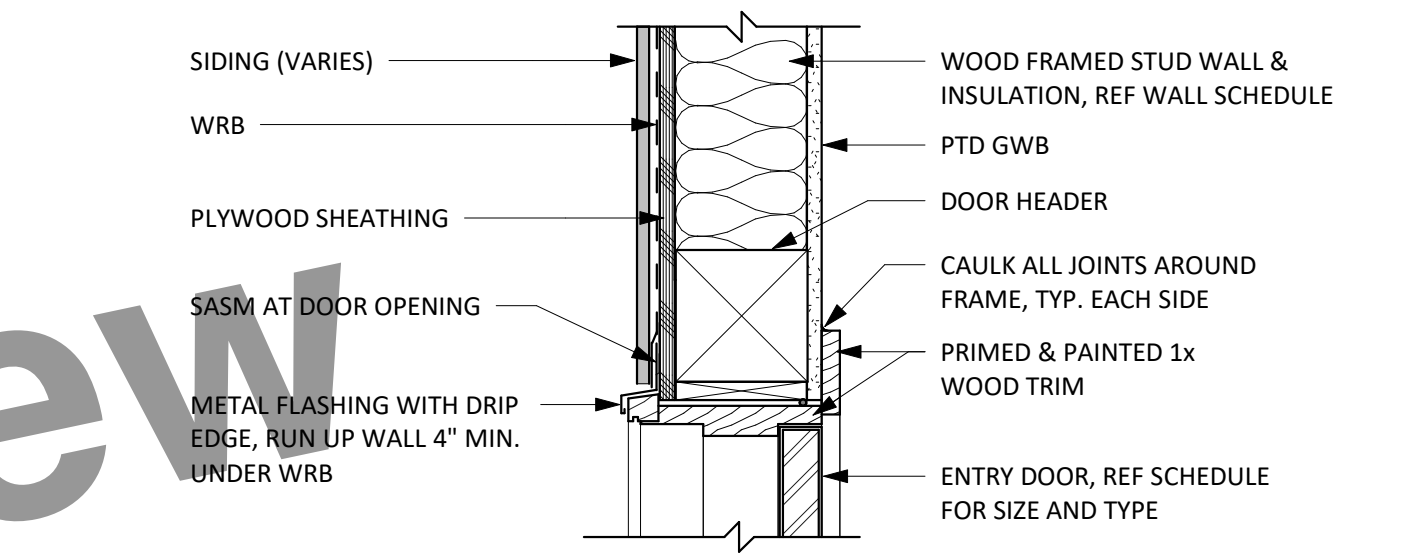
8 BASIC UNVENTED RIDGE AT ASPHALT SHINGLE
1 1/2" = 1'-0"



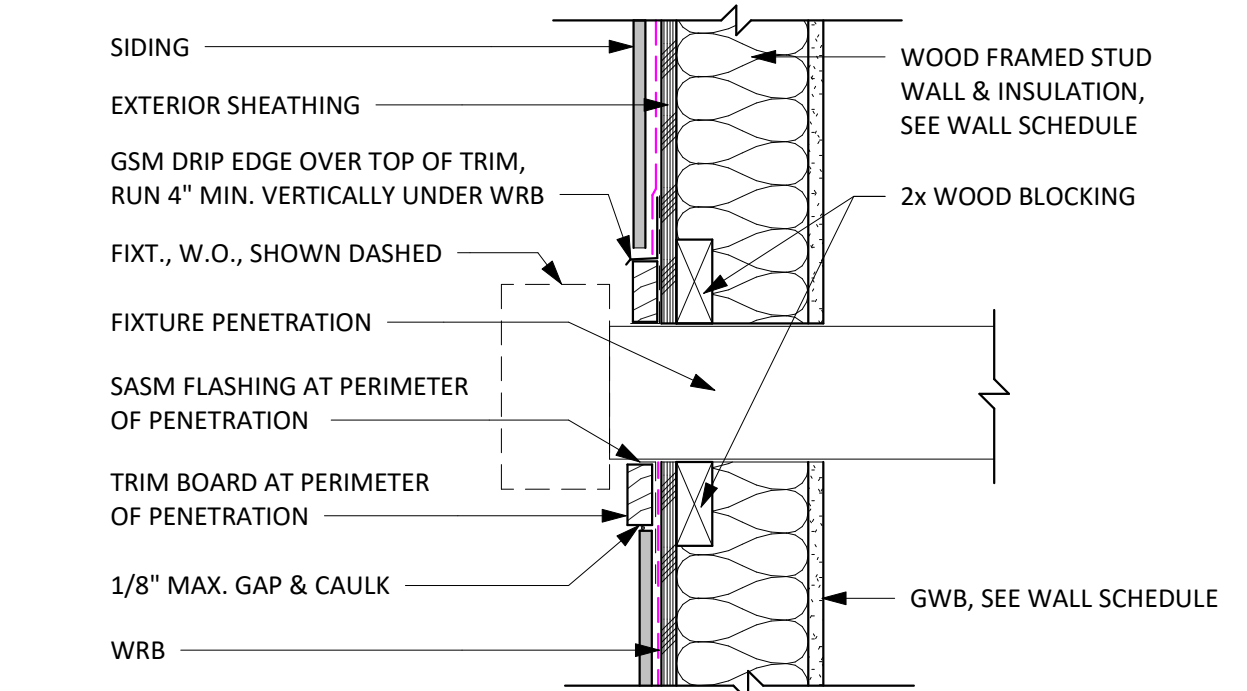
12 STANDING SEAM UNVENTED RIDGE
1 1/2" = 1'-0"



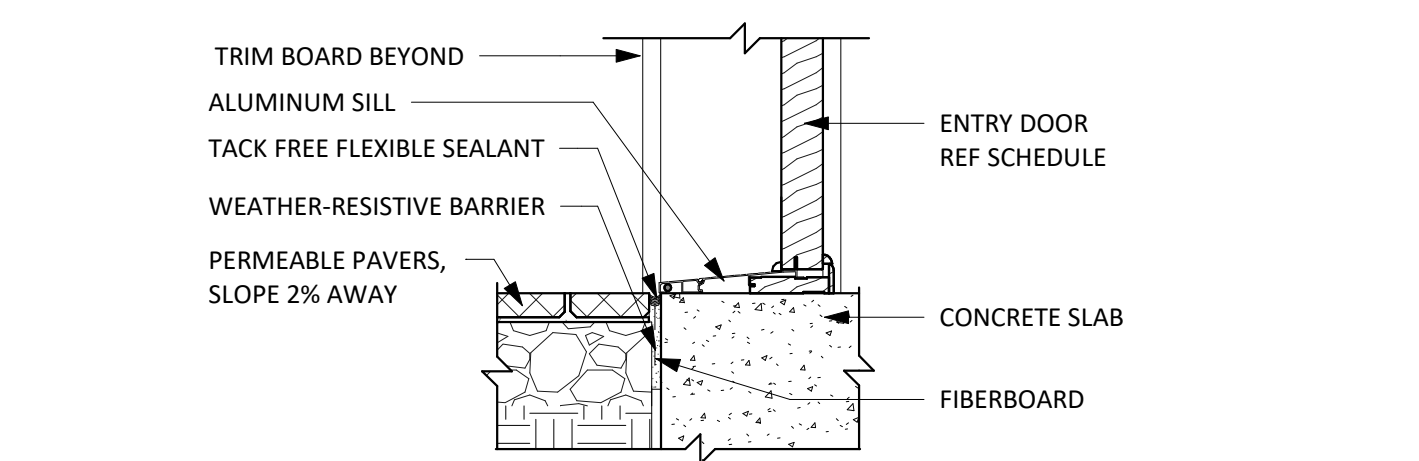
7 ROOF PENETRATION DETAIL
1 1/2" = 1'-0"



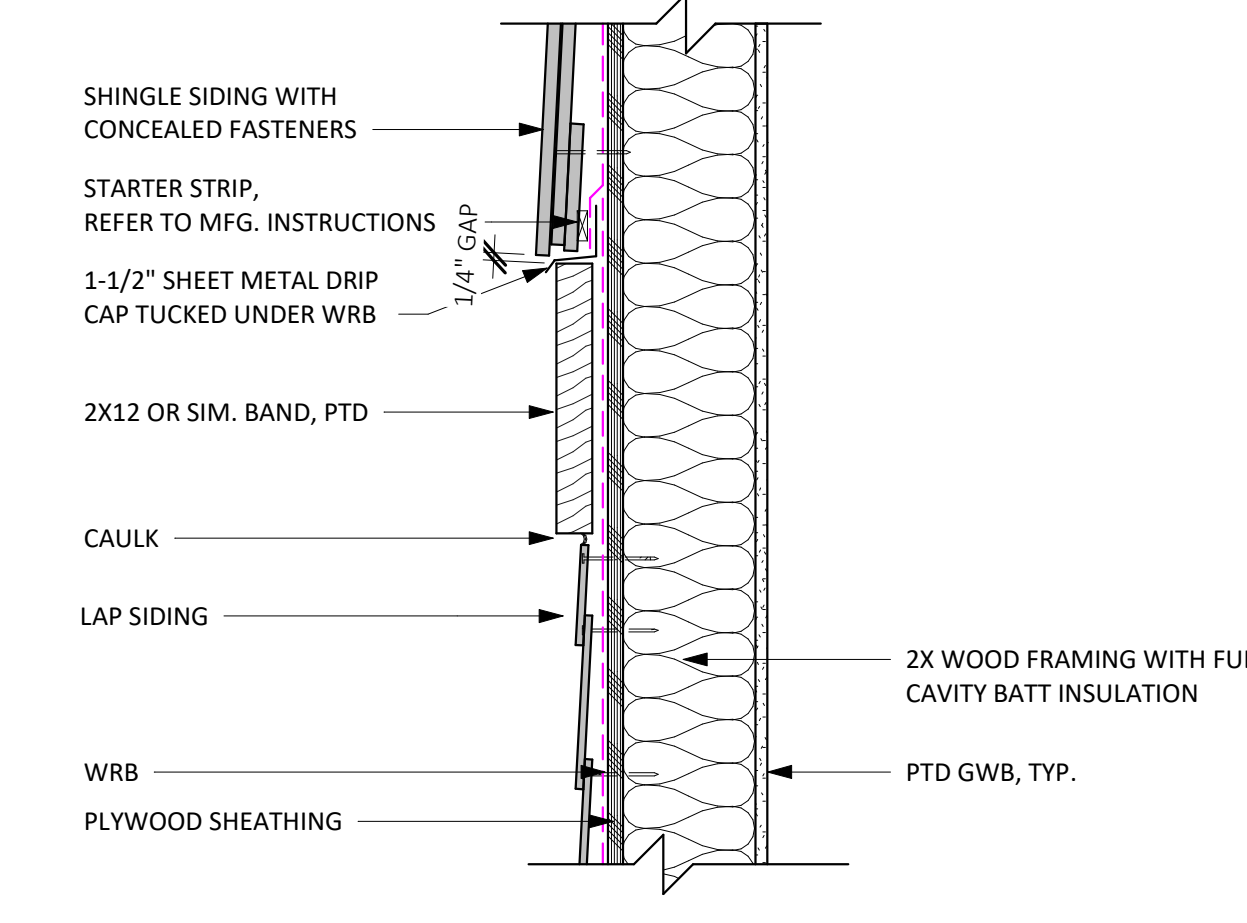
3 SWING DOOR HEAD / JAMB
1 1/2" = 1'-0"



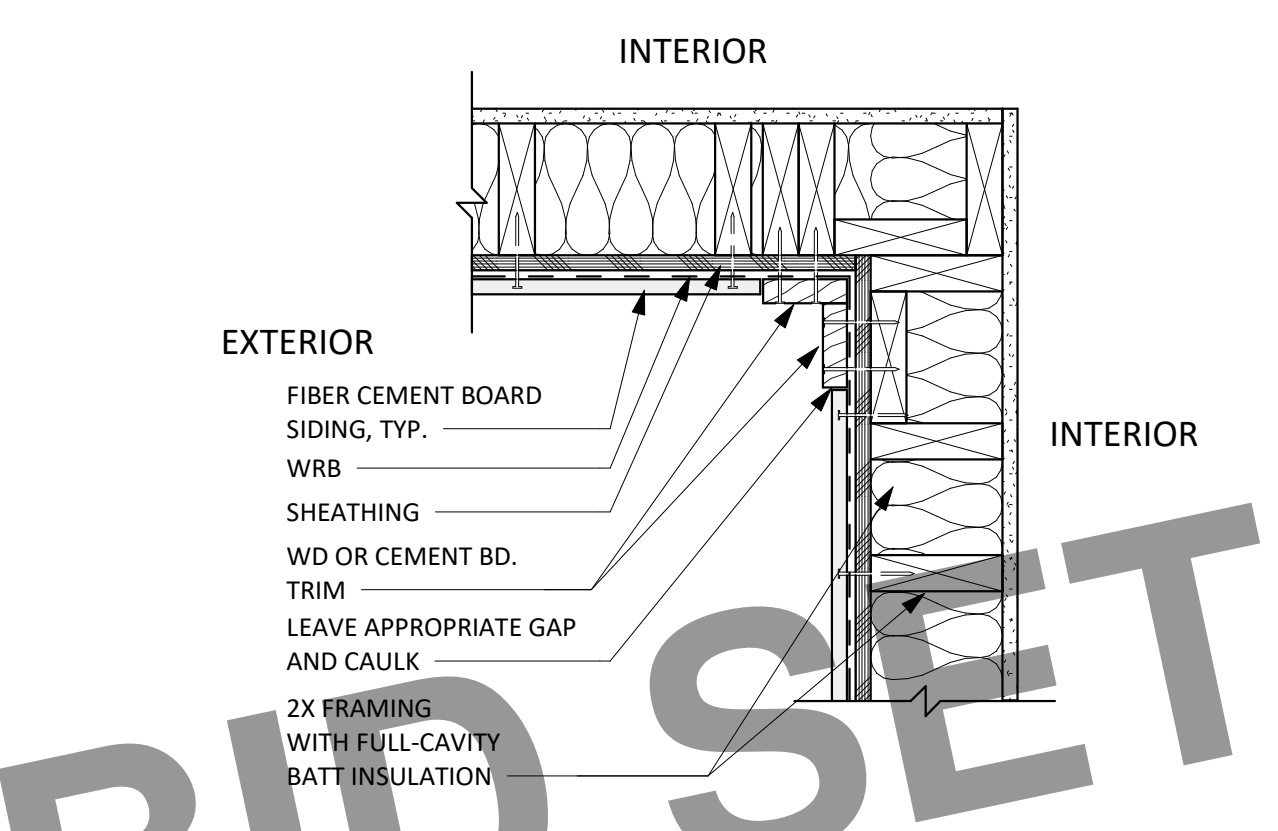
6 WALL PENETRATION DETAIL
1 1/2" = 1'-0"



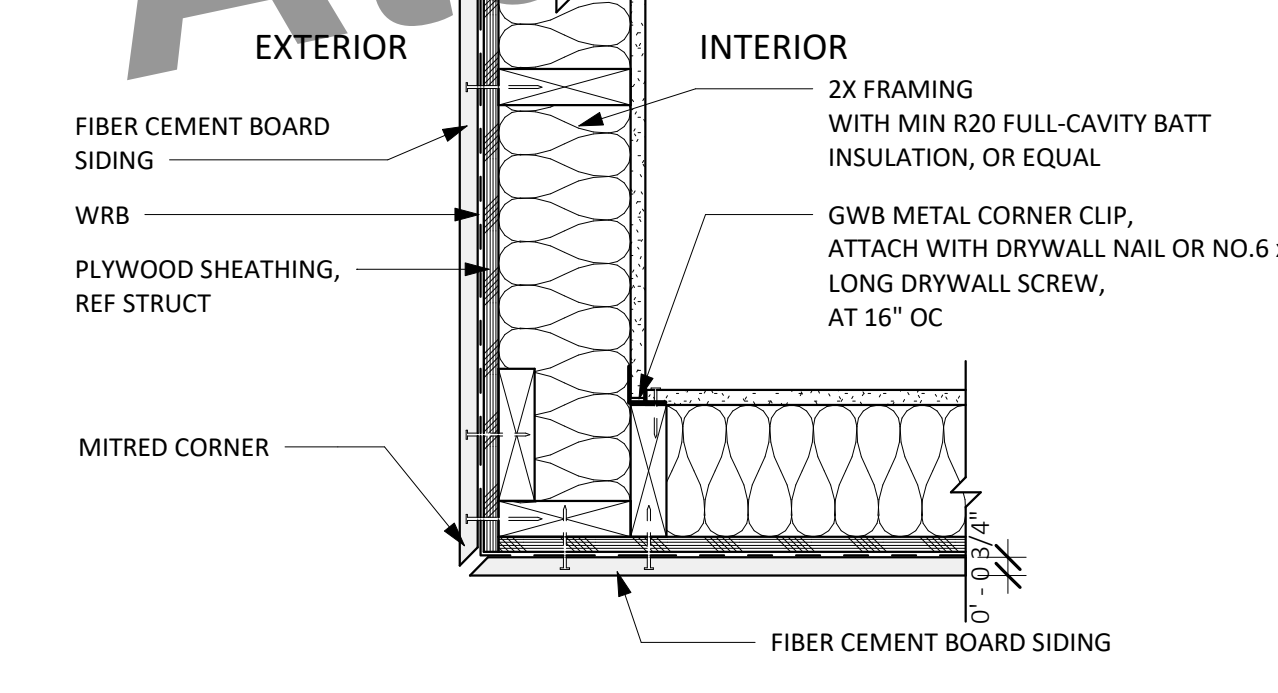
2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)
1 1/2" = 1'-0"



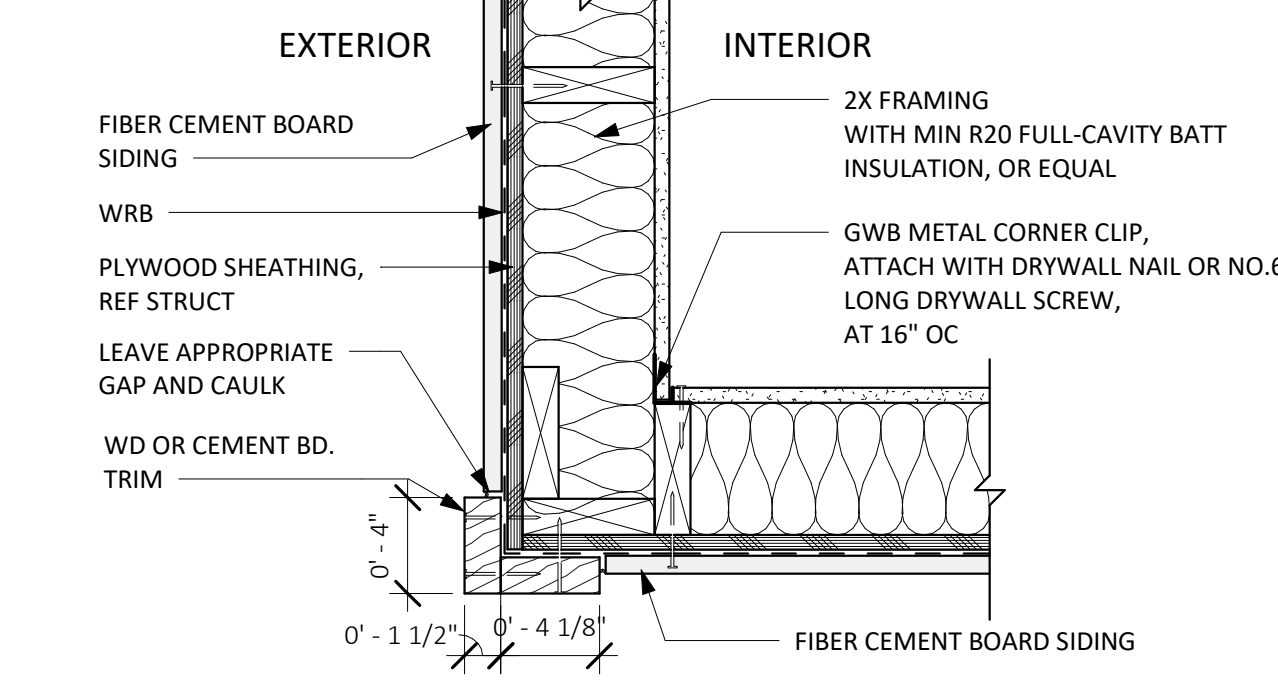
5 BELLY BAND @ CRAFTSMAN
1 1/2" = 1'-0"



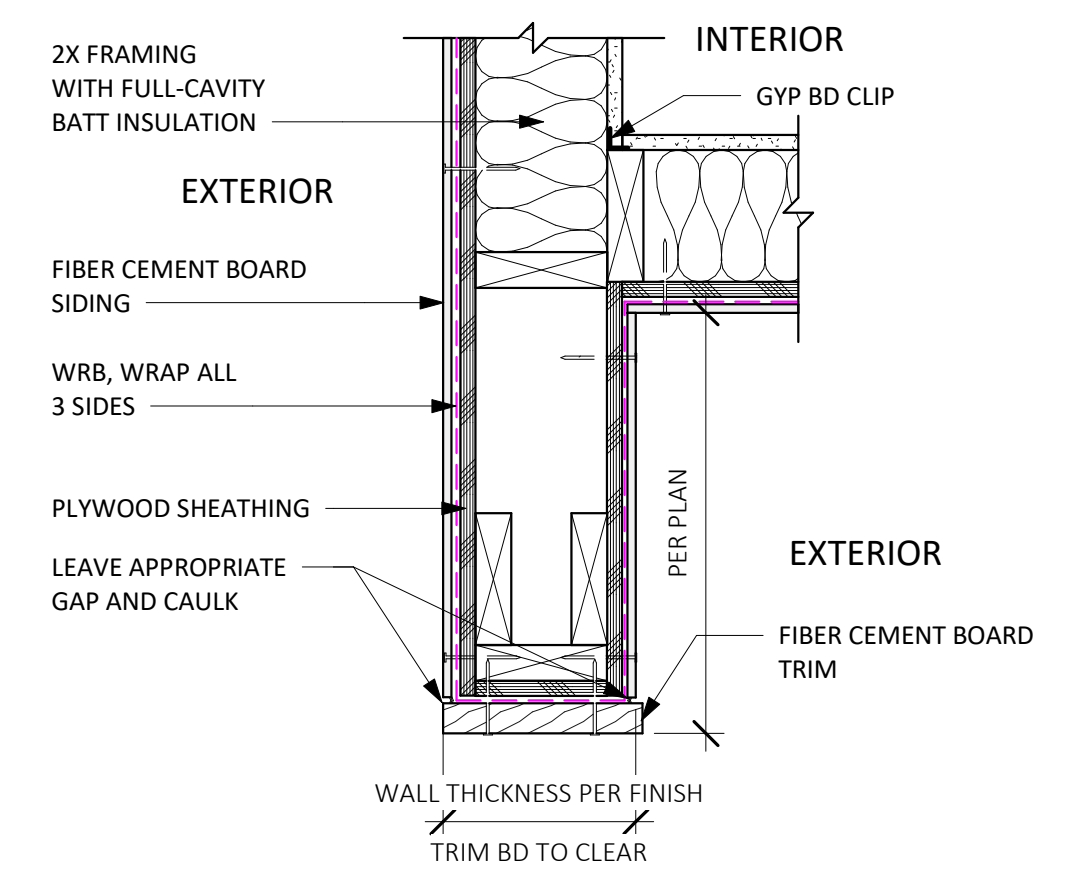
11 CEMENT BD TYP. INSIDE CORNER
1 1/2" = 1'-0"



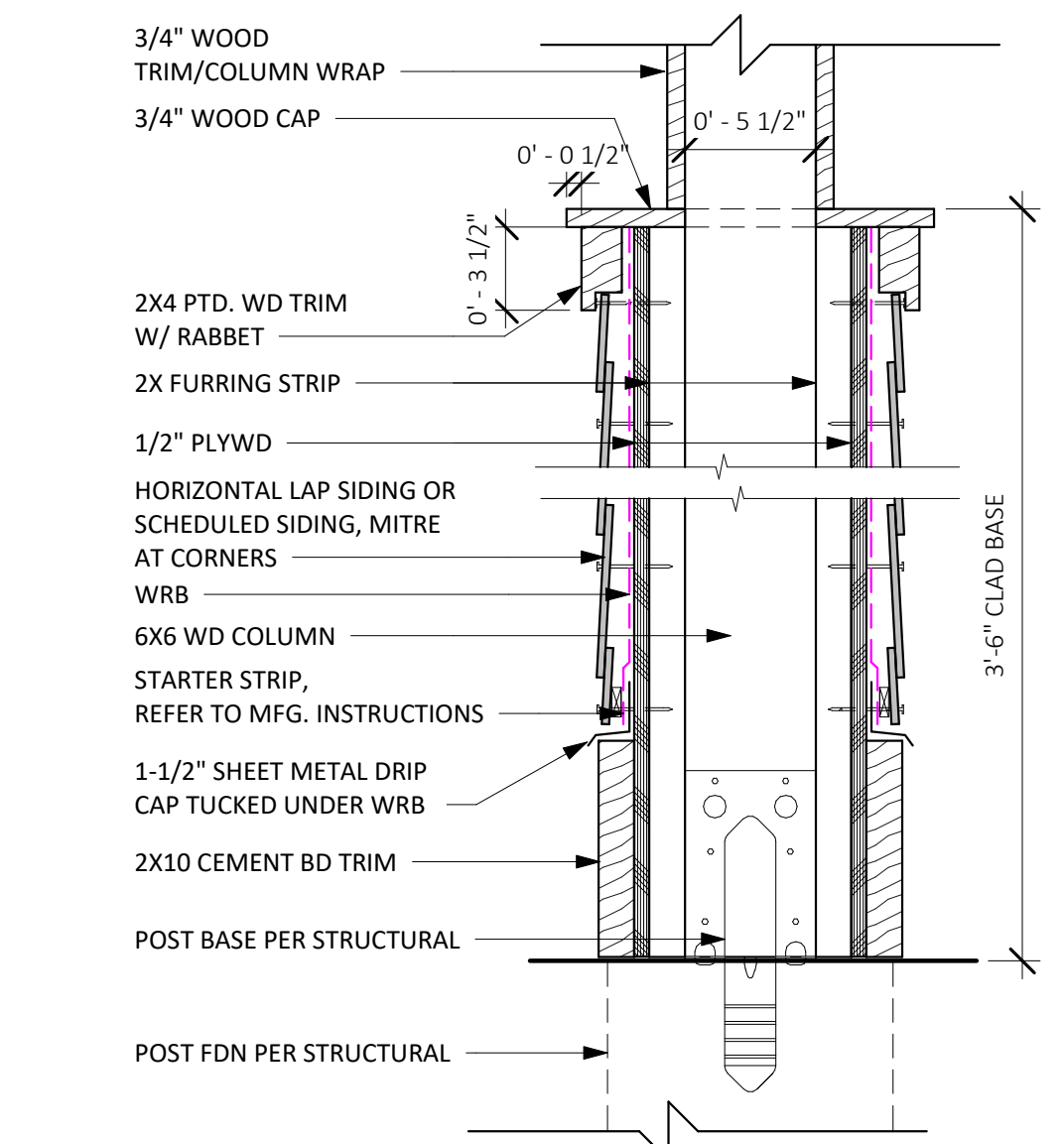
10 CEMENT BD OUTSIDE CORNER TRIM MITRE
1 1/2" = 1'-0"



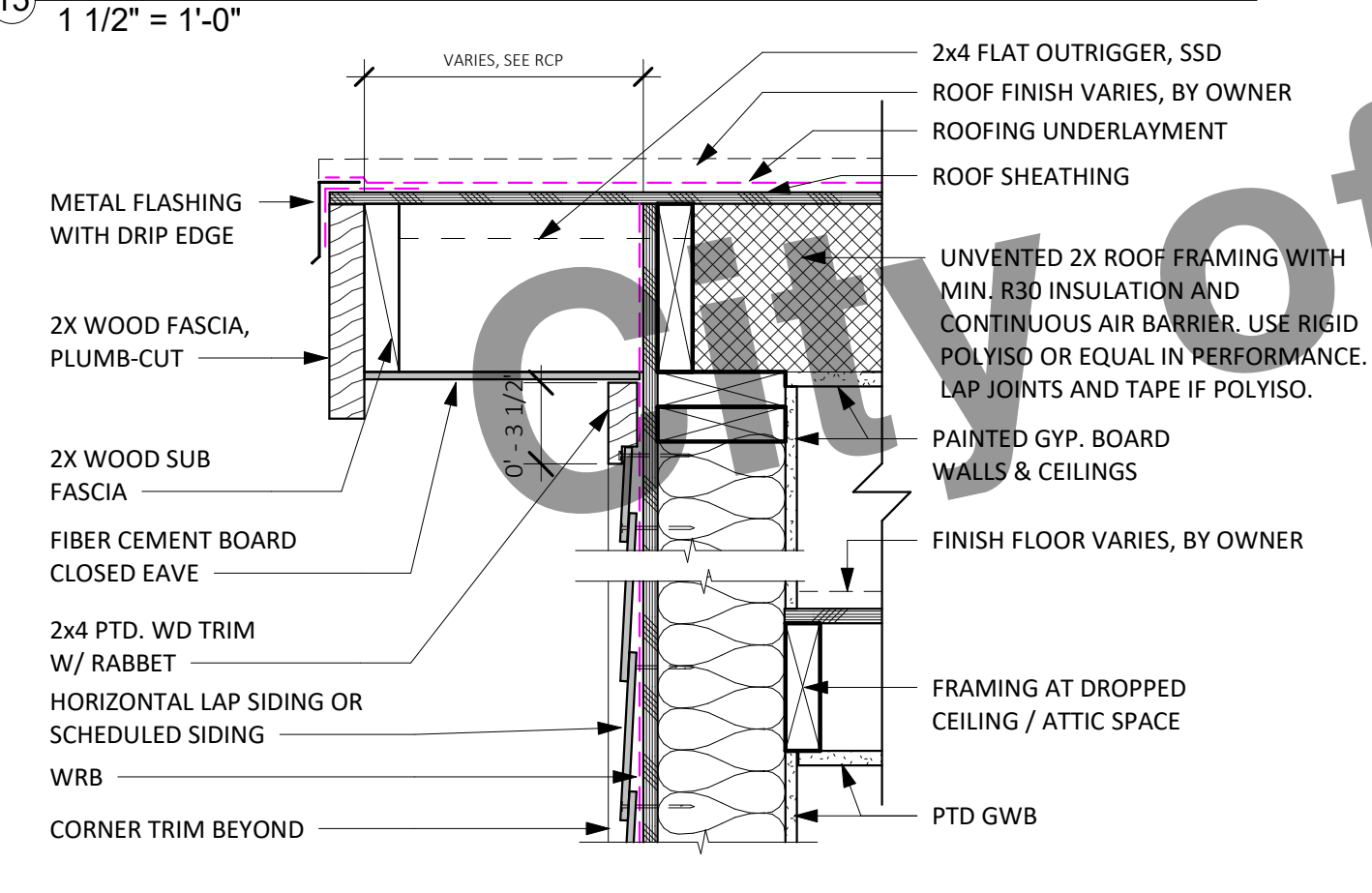
9 CEMENT BD TYP. OUTSIDE CORNER TRIM
1 1/2" = 1'-0"



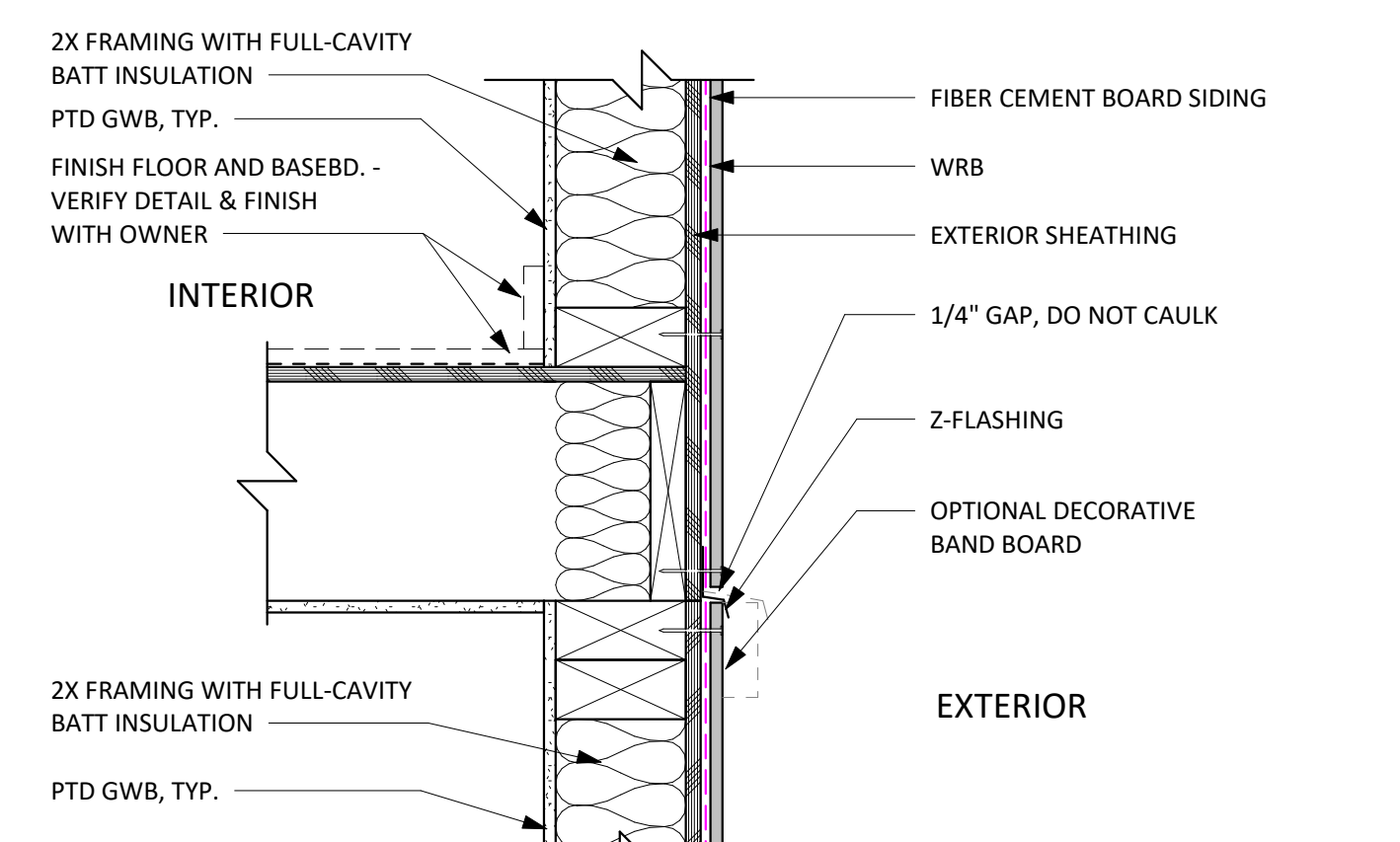
16 CEMENT BD WING WALL
1 1/2" = 1'-0"



15 WRAPPED COLUMN SECTION
1 1/2" = 1'-0"



14 BASIC RAKE (CLOSED)
1 1/2" = 1'-0"



13 SIDING JOINT AT FLOOR
1 1/2" = 1'-0"



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM

**BROCKETT
/ARCHITECT**

104 S. MAIN ST UNIT B
TEMPLETON, CA 93465
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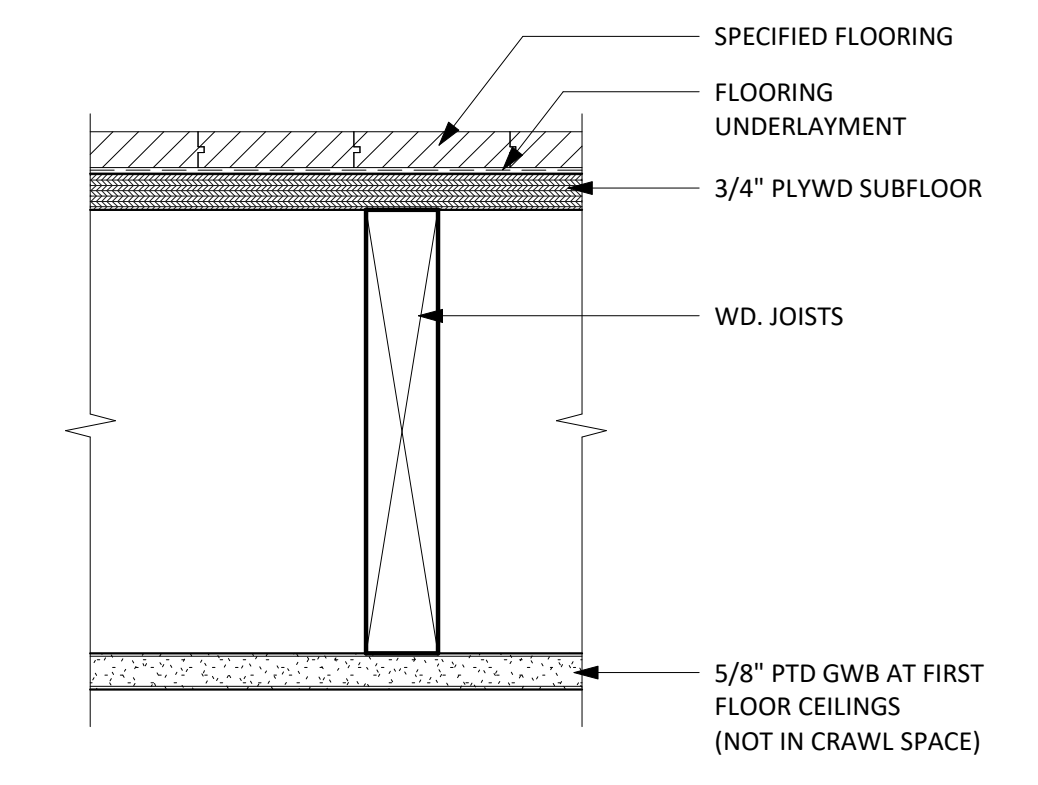
**CENTRAL COAST
PRE-DESIGNED ADU**
TWO BEDROOM + OPTIONS
998 GSF

PRINT DATE: XX.XX.XXXX

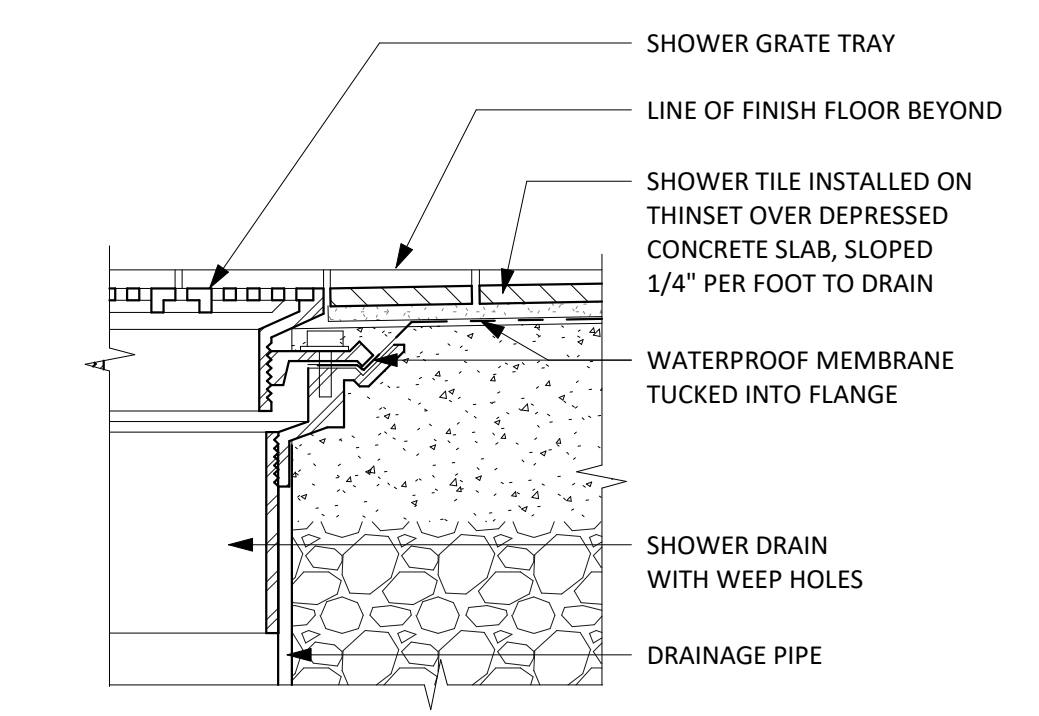
**INTERIOR DETAILS &
WALL PARTITIONS**

A5.3

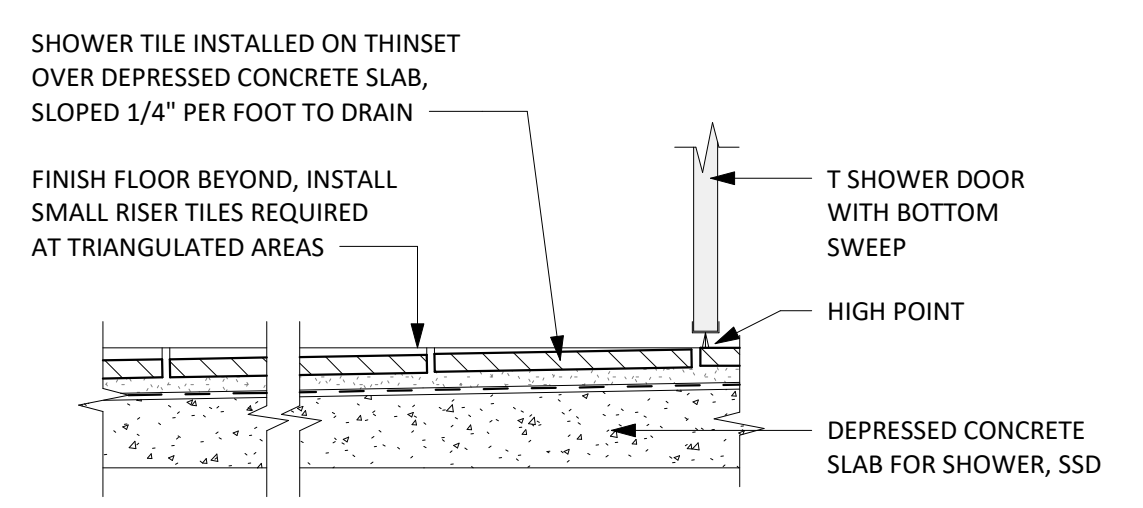
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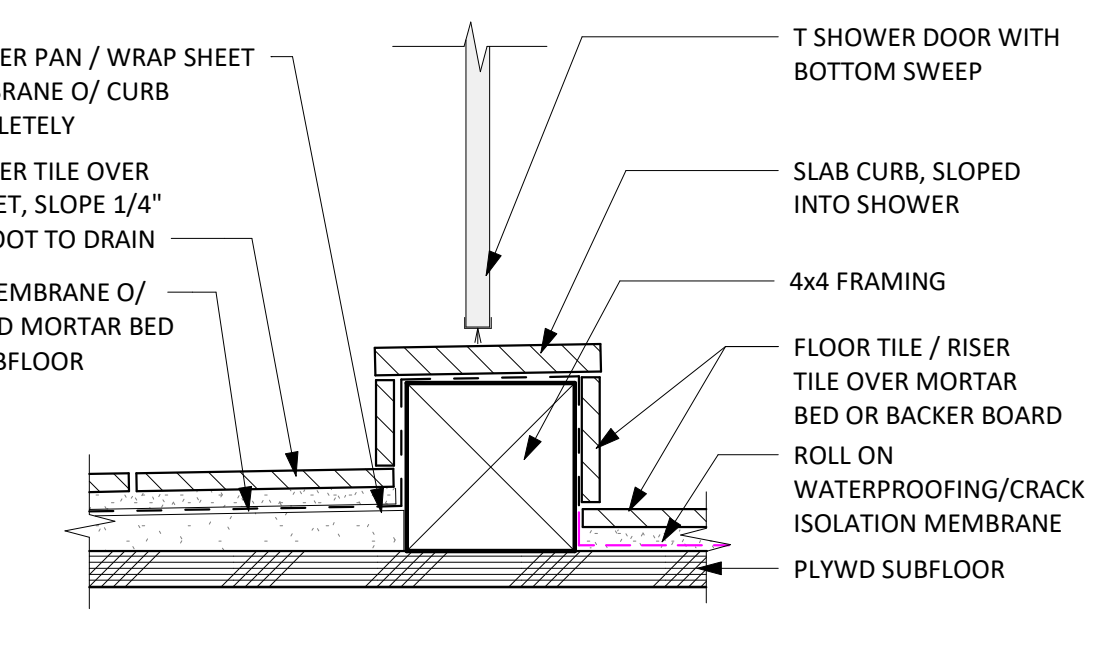
5 TYP. STORAGE LOFT FLOOR ASSEMBLY
3" = 1'-0"



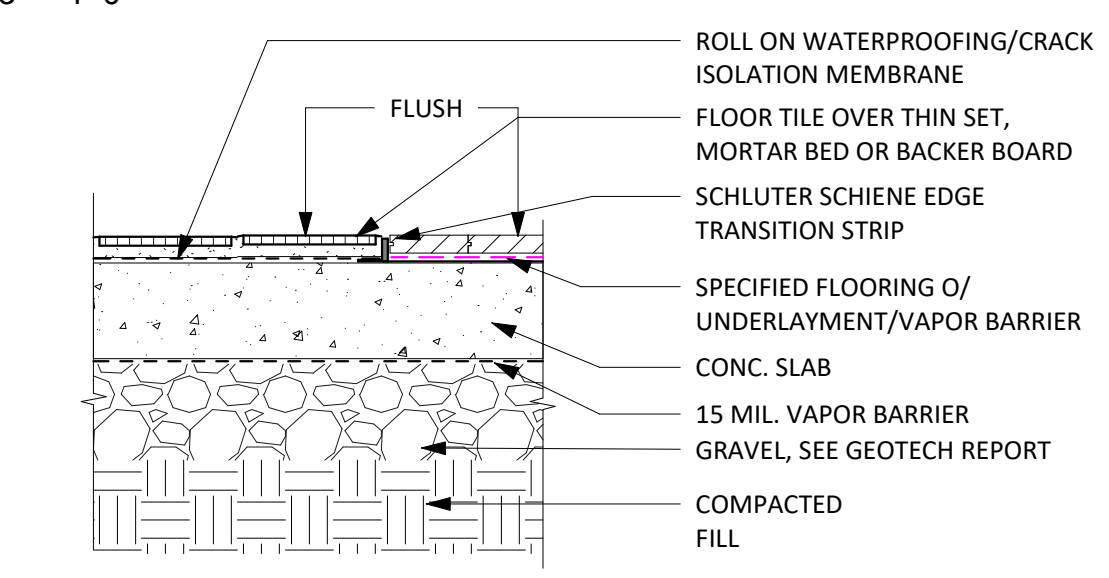
42 SHOWER DRAIN AT CONCRETE
3" = 1'-0"



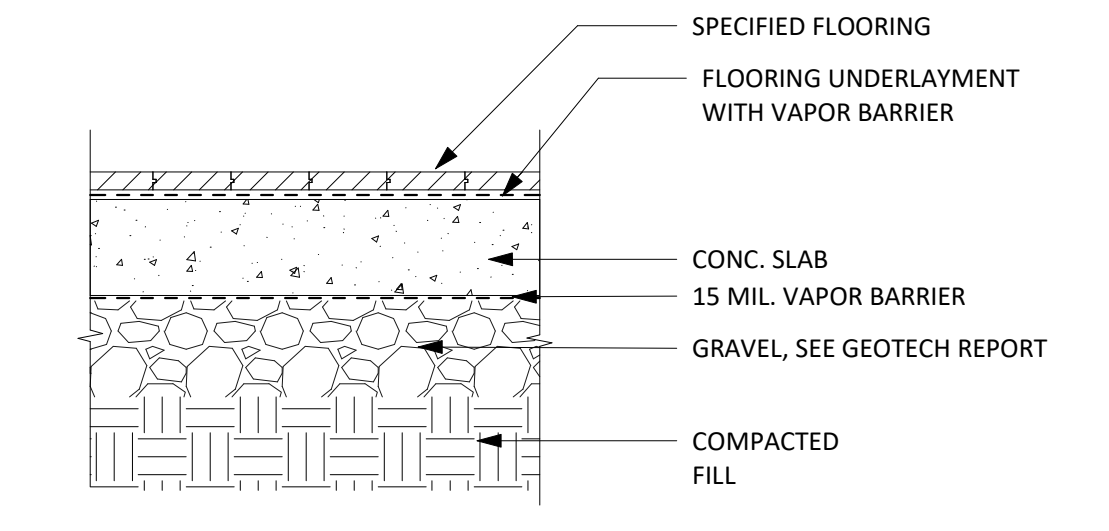
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)
3" = 1'-0"



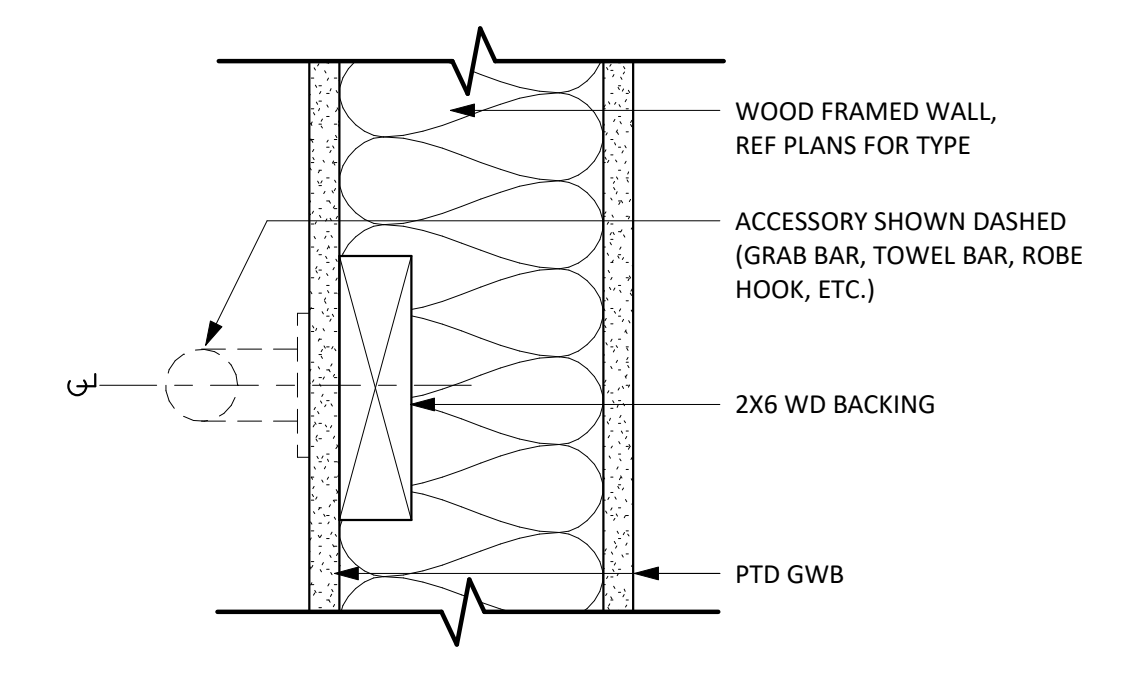
3 TYP. SHOWER CURB
3" = 1'-0"



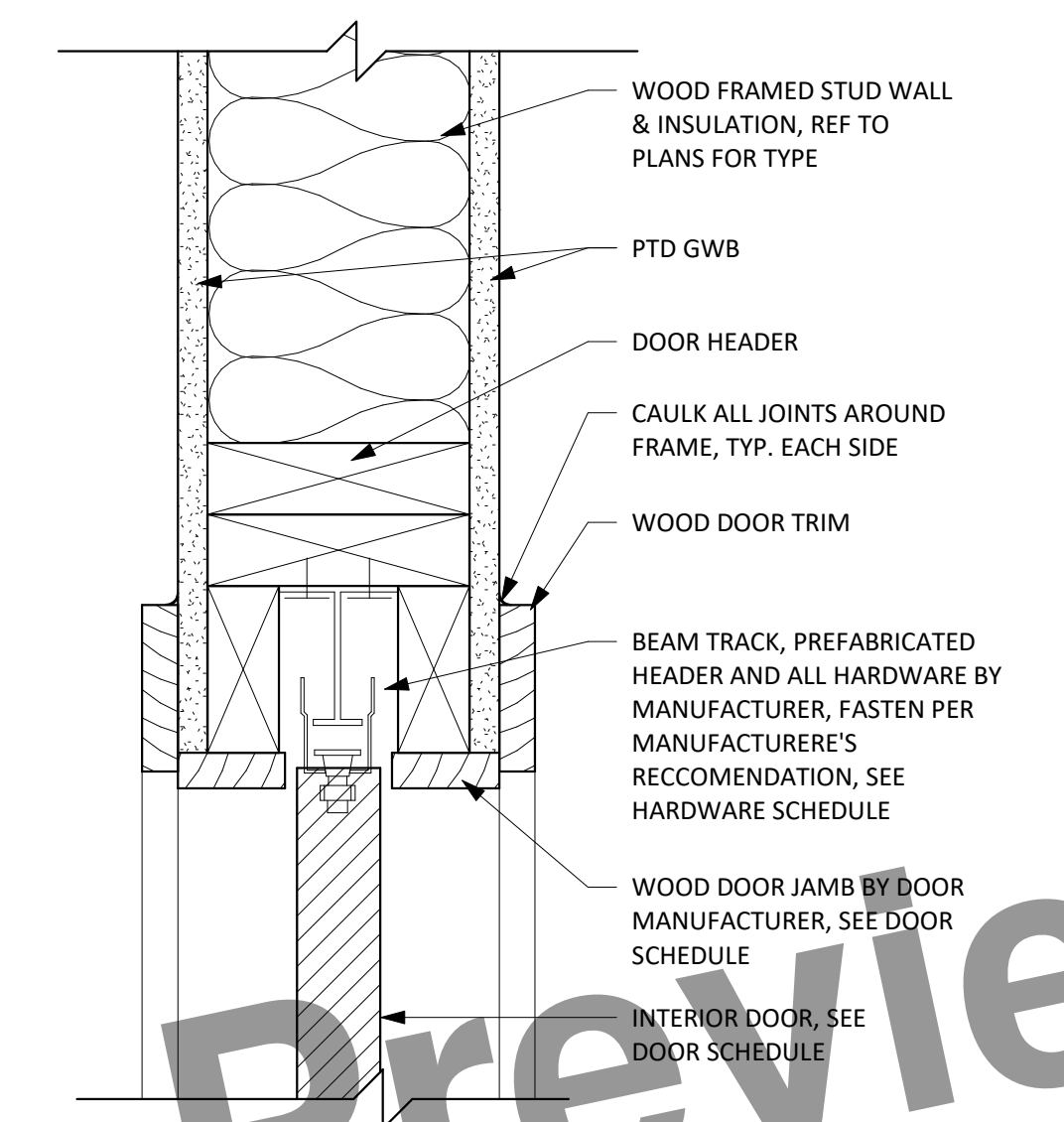
2 BASIC TILE TO WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



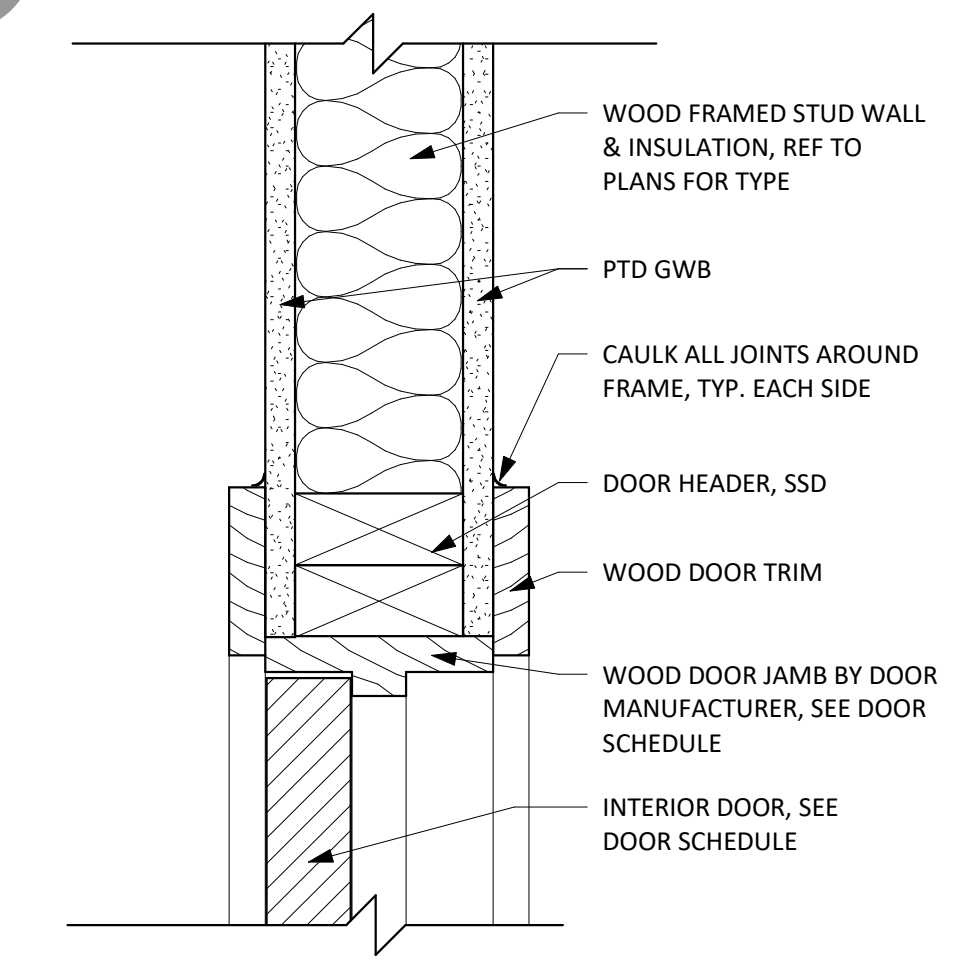
1 BASIC WOOD FLOOR AT SLAB
1 1/2" = 1'-0"



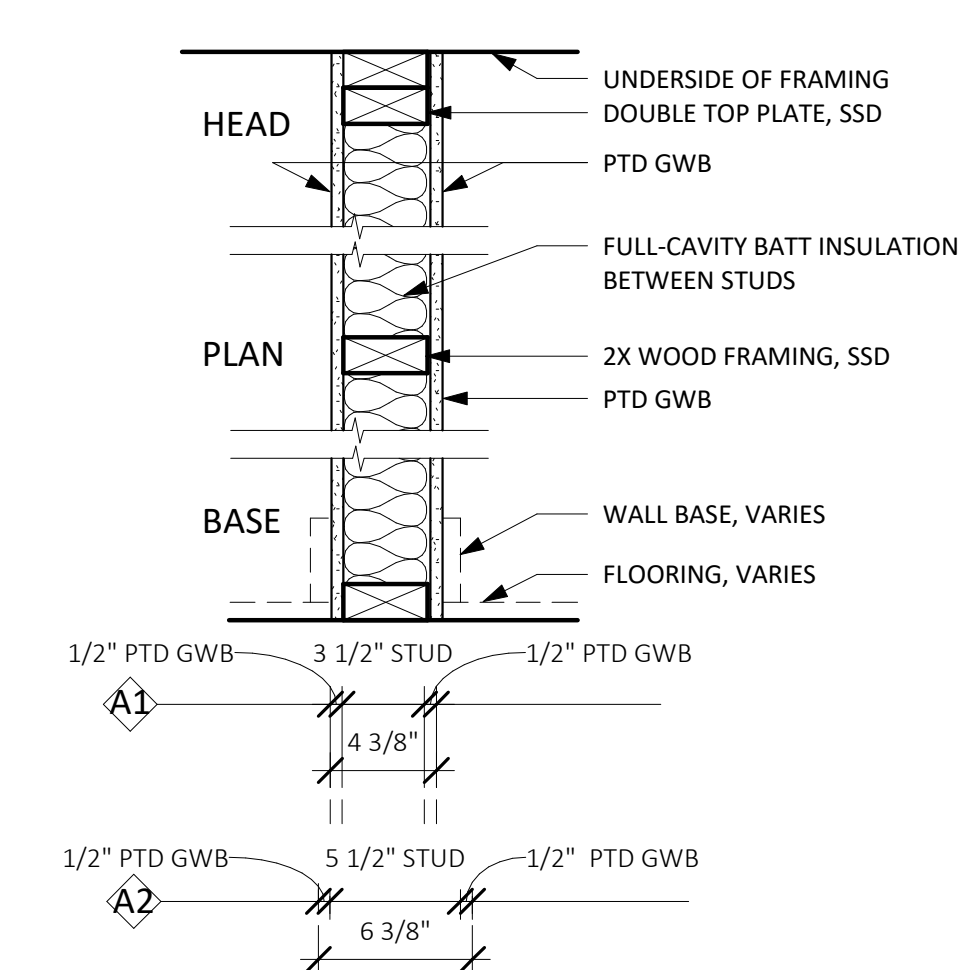
9 BLOCKING DETAIL
3" = 1'-0"



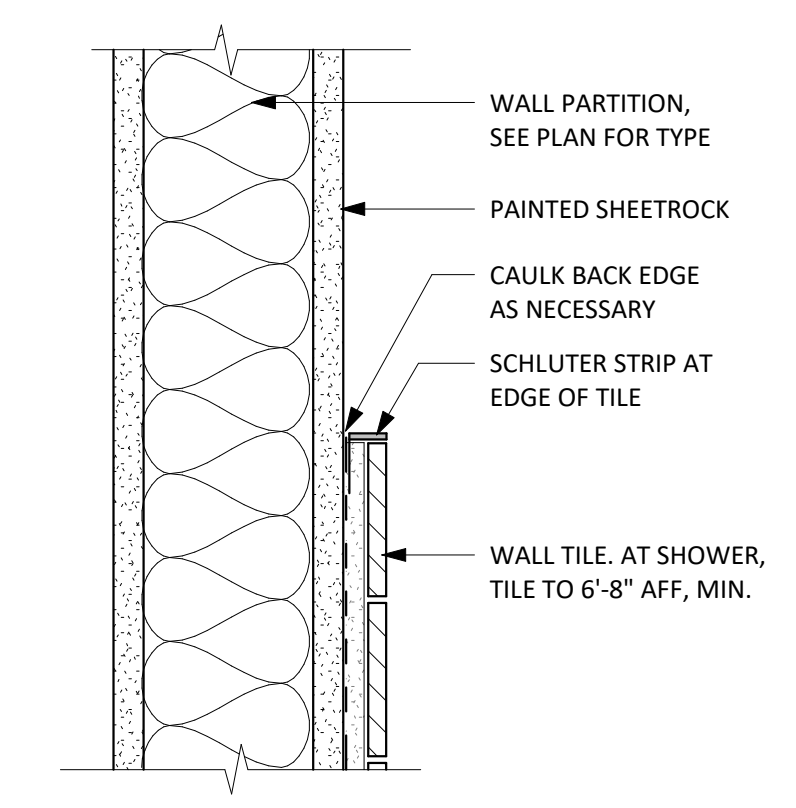
8 INTERIOR WOOD POCKET DOOR HEAD
3" = 1'-0"



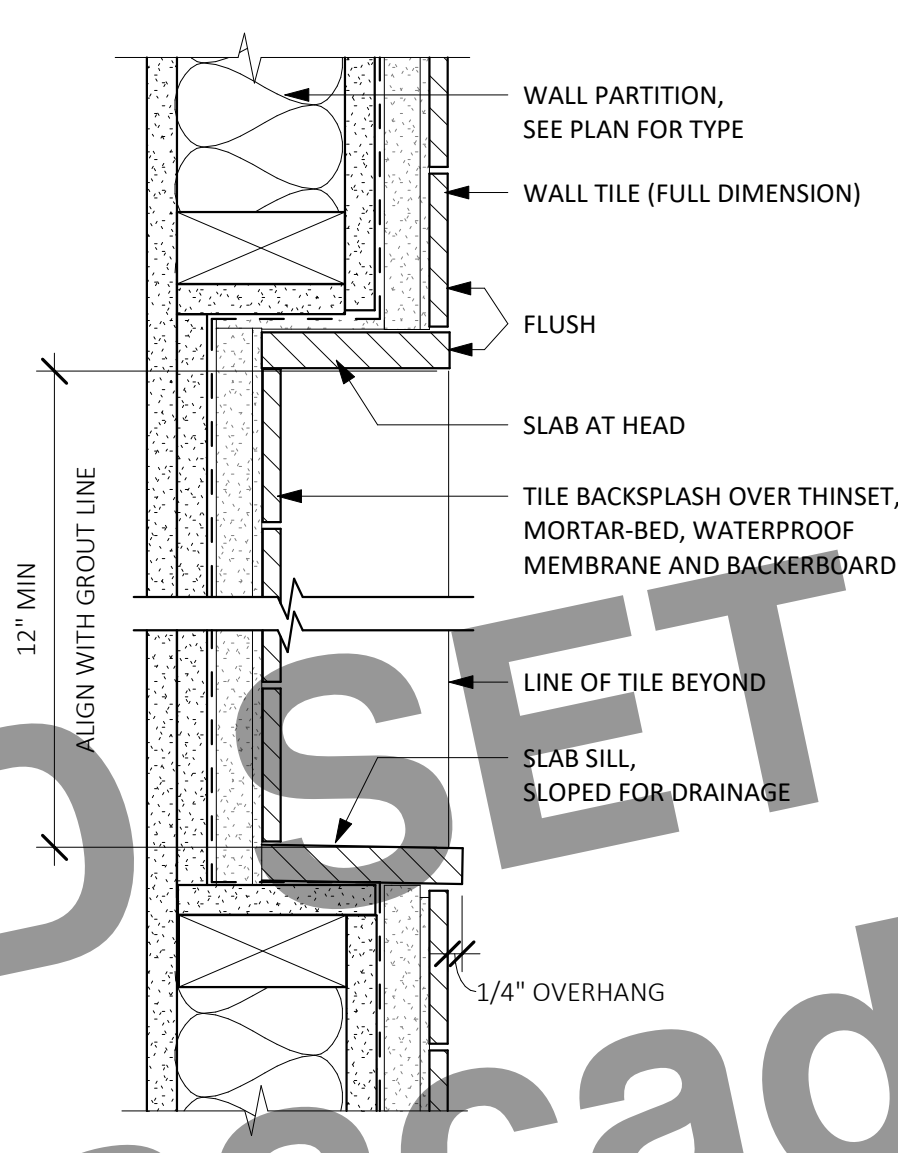
7 INTERIOR WOOD DOOR HEAD/JAMB
3" = 1'-0"



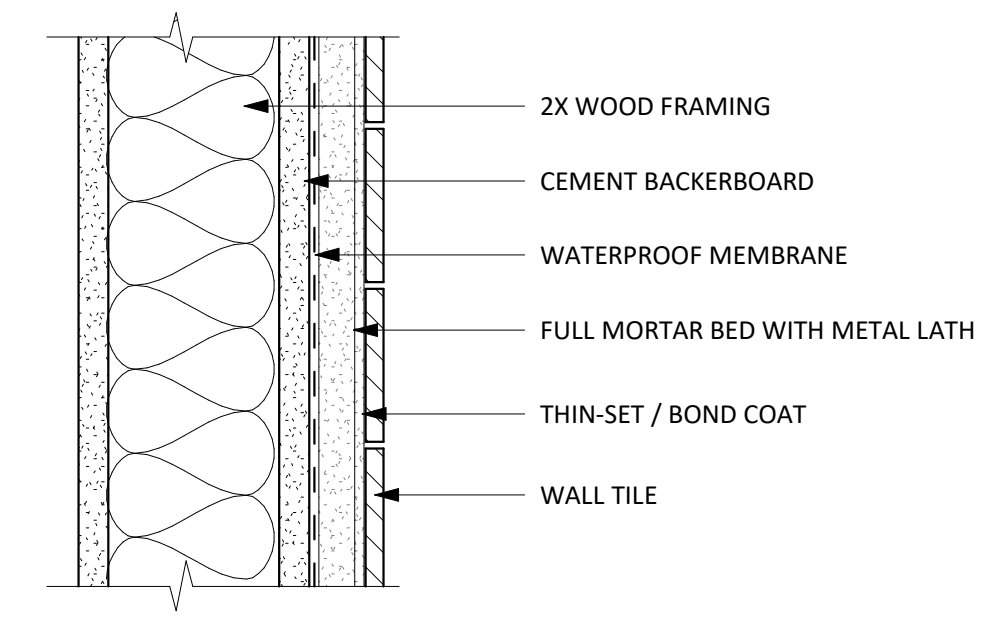
6 TYP. INTERIOR WALL PARTITION
1 1/2" = 1'-0"



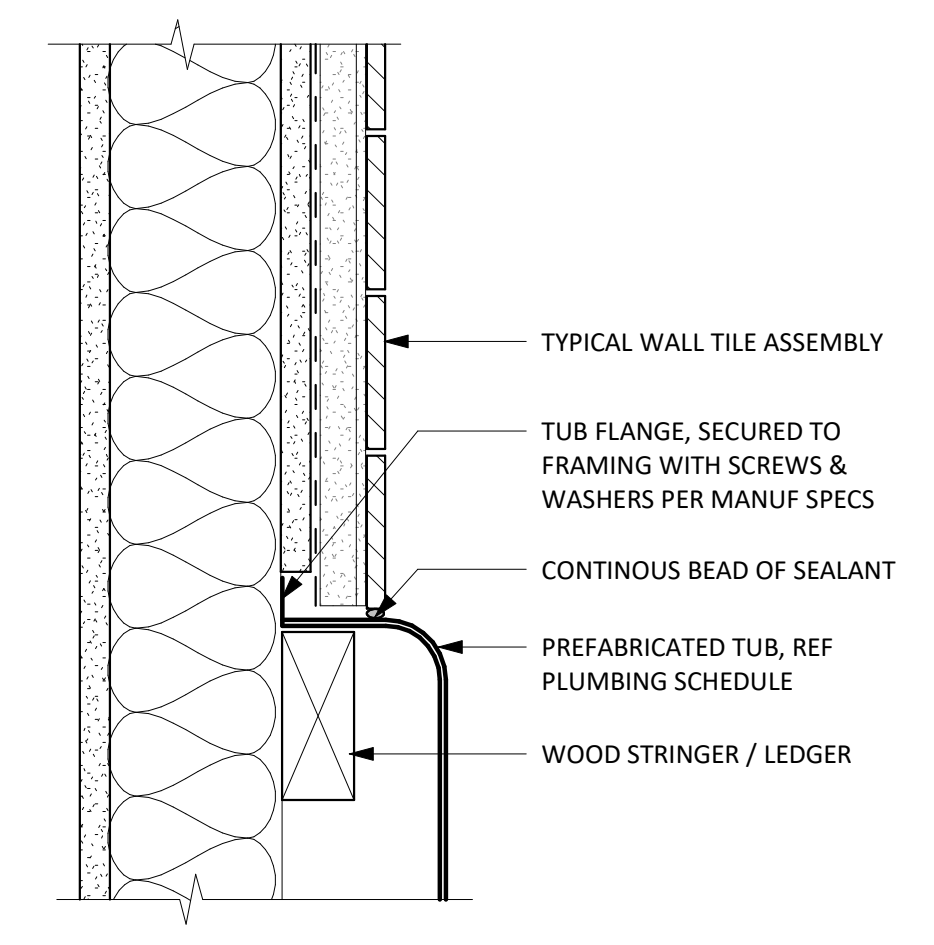
13 TILE / GYPSUM TRANSITION
3" = 1'-0"



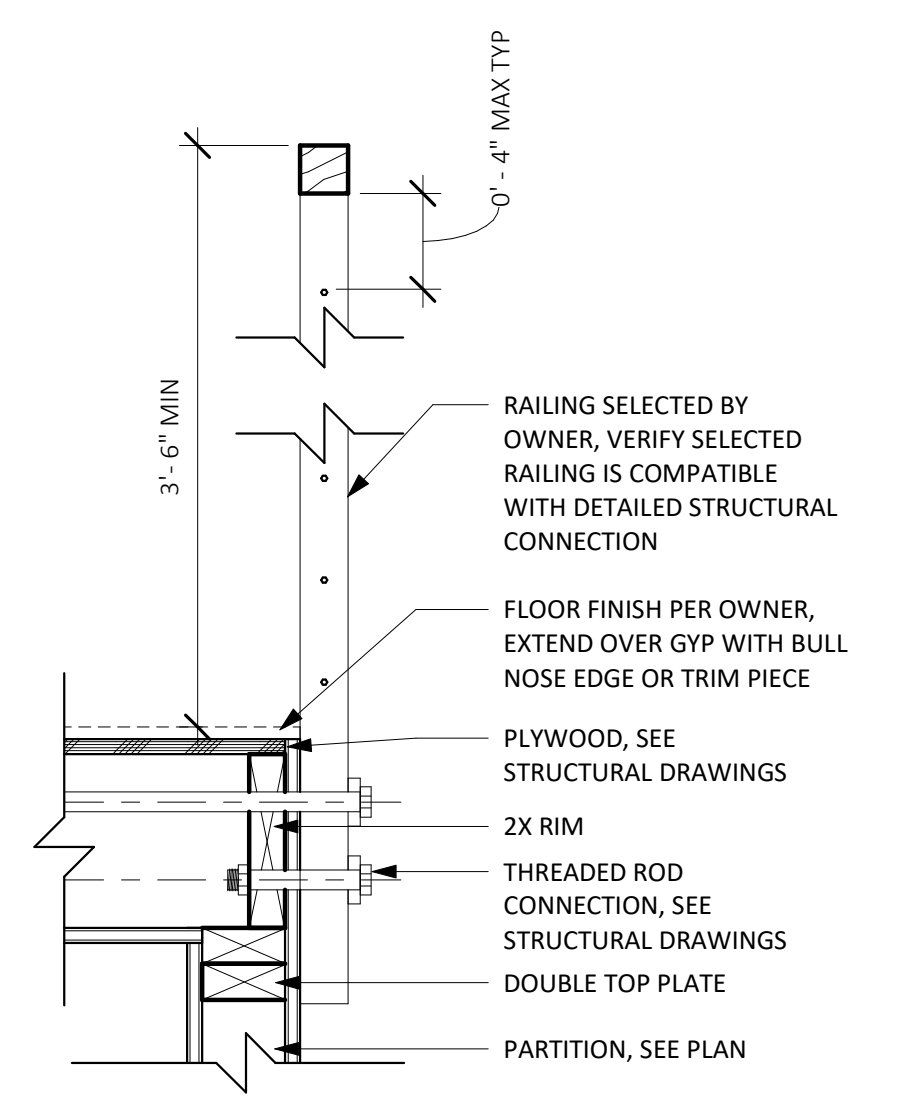
12 TILE NICHE
3" = 1'-0"



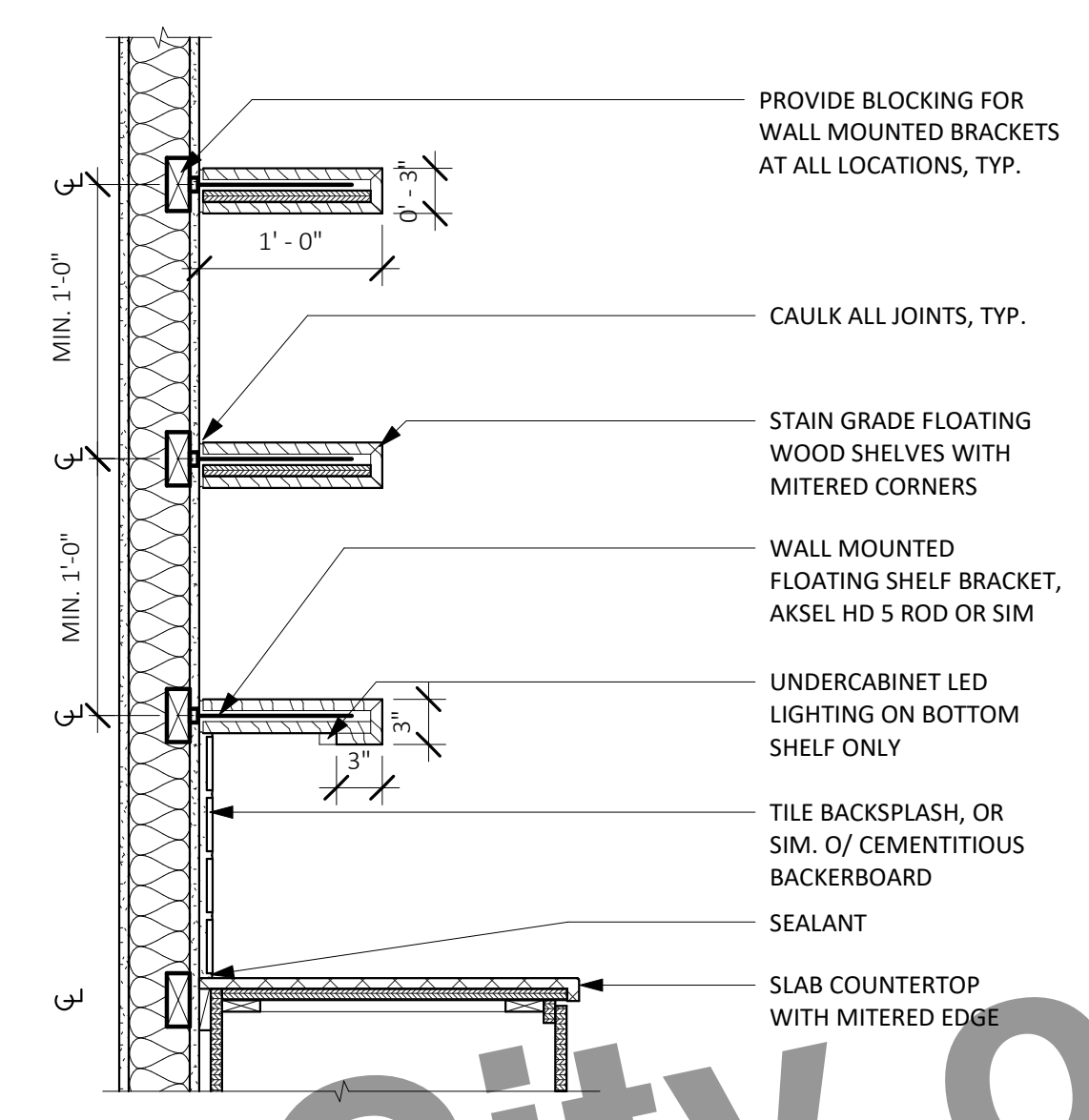
11 TYP. WALL TILE ASSEMBLY
3" = 1'-0"



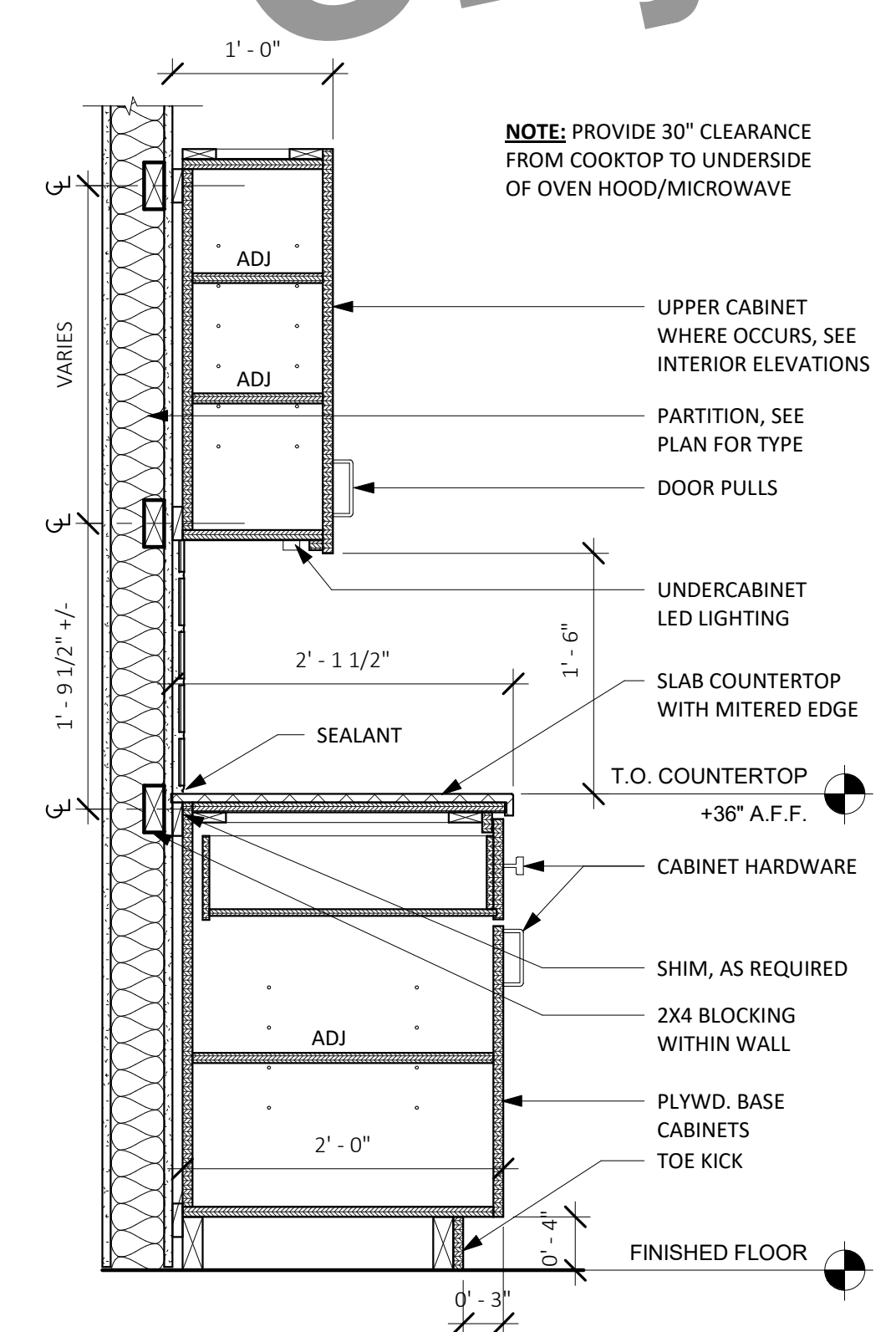
10 TILE AT TUB DECK
3" = 1'-0"



16 TYPICAL RAILING DETAIL AT HABITABLE LOFT
1 1/2" = 1'-0"



15 FLOATING WOOD SHELVES (OPTIONAL)
1" = 1'-0"



14 TYPICAL BASE CABINET WITH UPPER CABINET
1" = 1'-0"

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City of Atascadero Preview

WINDOW SCHEDULES

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE (REF. SHEET GO.0/PROJECT CHECKLIST)

WINDOW SCHEDULE - TWO BEDROOM PLUS - COASTAL RANCH							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1A	FIXED (CLERESTORY)	3	3'-0"	2'-0"	10'-0"	8'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3R	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5	SINGLE HUNG	7	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
5A	SINGLE HUNG	2	1'-6"	2'-3"	7'-0"	4'-9"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - TWO BEDROOM PLUS - BACKYARD CRAFTSMAN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1A	FIXED (CLERESTORY)	3	3'-0"	2'-0"	10'-0"	8'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2A	AWNING	2	3'-0"	2'-0"	7'-0"	5'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3C	CASEMENT	4	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
4	SINGLE HUNG	7	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

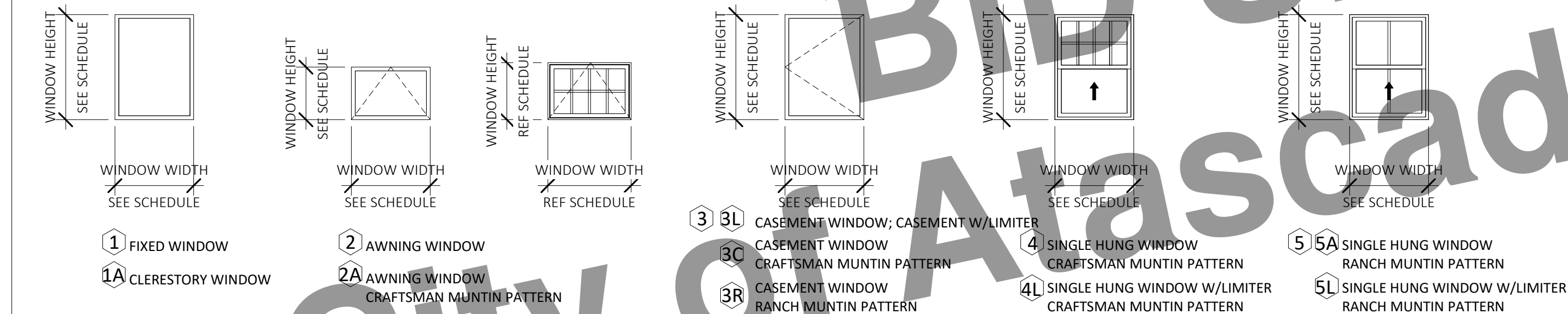
WINDOW SCHEDULE - TWO BEDROOM PLUS - CALIFORNIA MODERN							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
1A	FIXED (CLERESTORY)	3	3'-0"	2'-0"	10'-0"	8'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	5	3'-0"	2'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	8	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW SCHEDULE - TWO BEDROOM PLUS - BEACH BUNGALOW							
WINDOW TYPE	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	3	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
1A	FIXED (CLERESTORY)	3	3'-0"	2'-0"	10'-0"	8'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
2	AWNING	4	3'-0"	2'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI
3	CASEMENT	8	3'-0"	4'-0"	7'-0"	3'-0"	PROVIDE TEMPERED EXTERIOR PANE OF GLAZING IN WUI

WINDOW MATERIAL LEGEND

FRAME MATERIAL				FRAME FINISH	
WD	WOOD	VIN	VINYL	PTD	PAINTED
WC	WOOD-CLAD	COMP	COMPOSITE	ST	STAINED
FIBR	FIBERGLASS	E	EXISTING	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM			INT	INTEGRAL COLOR

WINDOW TYPES



GLAZING TYPES

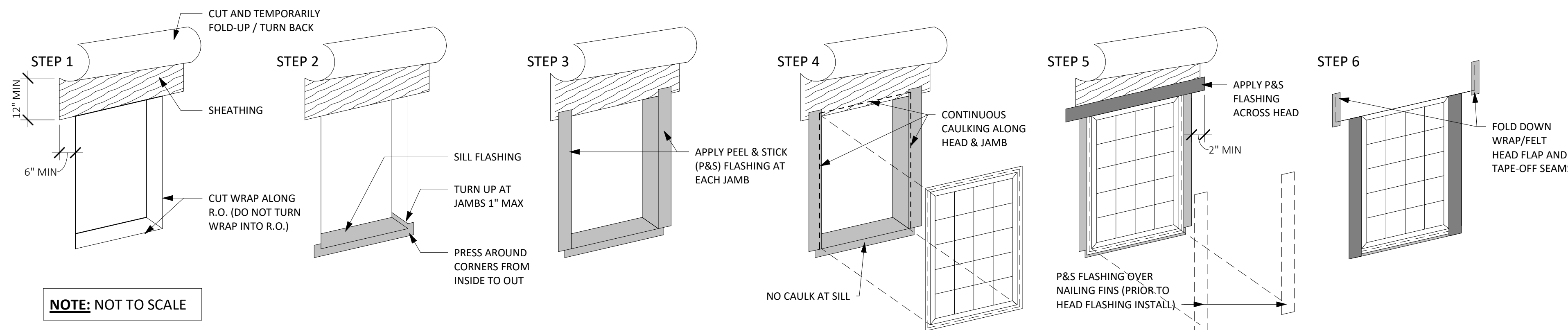
REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

GL-1	1" OVERALL DUAL-GLAZED, LOW-E IGU
GL-2	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED
GL-3	1" OVERALL DUAL-GLAZED, LOW-E IGU, TEMPERED, TRANSLUCENT

TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
 - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

WINDOW FLASHING SEQUENCE



APPLIANCE SCHEDULE - TWO BEDROOM PLUS

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
11 11 00.A4	24" DISHWASHER			
11 11 00.A14	30" ELECTRIC RANGE			
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT			
11 11 00.A17	36" REFRIGERATOR			
11 31 00.A2	FRONT LOAD DRYER			
11 31 00.A1	FRONT LOAD WASHER			

LIGHTING FIXTURE SCHEDULE - TWO BEDROOM PLUS

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			25
F2	WALL SCONCE			1
F3	UNDERCABINET LED LIGHT			4
F3.2	UNDERCABINET LED LIGHT			1
F4	EXTERIOR WALL SCONCE			3

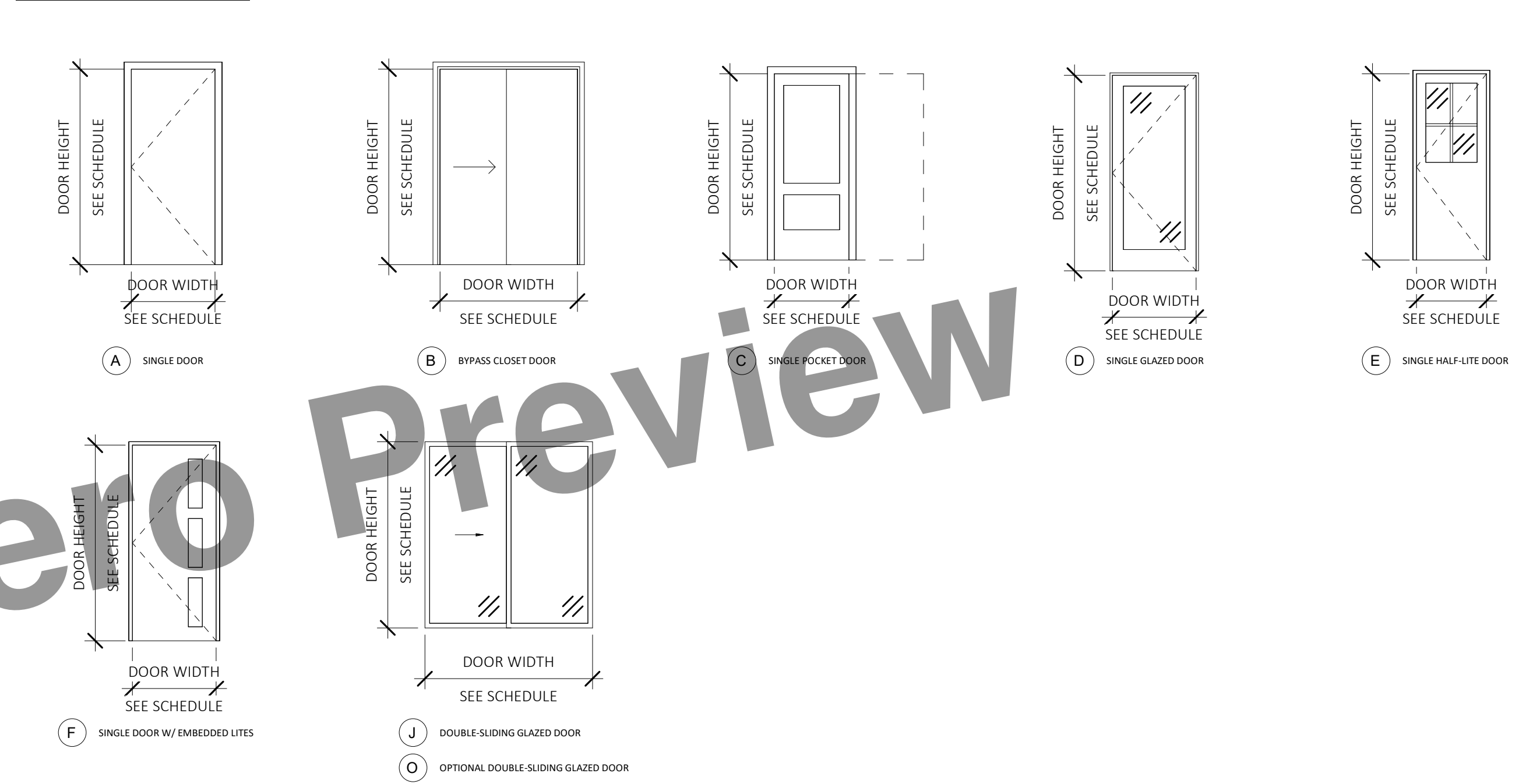
PLUMBING FIXTURE SCHEDULE - TWO BEDROOM PLUS

KEYNOTE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
22 40 00.A4	30" KITCHEN SINK/FAUCET			
	SHOWER OR SHOWER/TUB COMBO			
22 40 00.B7	SHOWER OR TUB/SHOWER COMBO CONTROLS, FAUCET, HEAD, DRAIN TOILET			
	VANITY WITH SINK/FAUCET			

DOOR SCHEDULE

DOOR SCHEDULE - TWO BEDROOM PLUS																
MARK	DOOR TYPE	DESCRIPTION	LOCATION	DIMENSIONS			MATERIALS				DETAILS			HARDWARE GROUP	NOTES	
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB			SILL
A01	L		BEDROOM 1	2'-10"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	7/AS.3	PER MFR	PER MFR	4	
A01	L		BEDROOM 2	2'-10"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	7/AS.3	PER MFR	PER MFR	4	
D03	D	EXTERIOR BACK PATIO SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"						3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	
D01	A-D-E-F*	EXTERIOR FRONT ENTRY SWING DOOR	GREAT ROOM	3'-0"	7'-0"	0'-1 3/8"						3/AS.2 OR 6/AS.1(WUI)	3/AS.2	1/AS.2 OR 2/AS.2	1	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.0. REF. EXT. ELEVATIONS.
J01	J	EXTERIOR GLAZED SLIDING PATIO DOOR	GREAT ROOM	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2	TEMP	COMP	INT			PER MFR	*DOOR TYPE DETERMINED BY HOMEOWNER BASED ON CHOSEN ARCHITECTURAL STYLE, SHEET GO.0. REF. EXT. ELEVATIONS.
B01	B	INTERIOR BYPASS CLOSET DOOR	BEDROOM 2	3'-6"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
B01	B	INTERIOR BYPASS CLOSET DOOR	BEDROOM 1	3'-6"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	PER MFR	PER MFR	PER MFR	2	
C01	C	INTERIOR POCKET DOOR	BATH	2'-8"	6'-8"	0'-1 1/2"	SC	PTD	N/A	WD	PTD	8/AS.3	PER MFR	PER MFR	3	

DOOR TYPES



DOOR MATERIAL LEGEND

DOOR MATERIAL		DOOR FINISH		GLAZING TYPE		FRAME MATERIAL		FRAME FINISH	
HC	HOLLOW CORE WOOD	PTD	PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC FACTORS, N.T.E.		WD	WOOD	PTD	PAINTED
SC	SOLID CORE WOOD	ST	STAINED			HM	HOLLOW METAL	ST	STAINED
HM	HOLLOW METAL	ANNO	ANNODIZED ALUM			ALUM	ALUMINUM	ANNO	ANNODIZED ALUM
ALUM	ALUMINUM					E	EXISTING		
E	EXISTING								

DOOR HARDWARE SCHEDULE

OWNER TO COORDINATE MANUF. SPECIFICATIONS AND INSTALLATION TO MEET PROJECT PERFORMANCE REQUIREMENTS

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	BATHROOM POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BYPASS DOOR	HINGES: LOCK: HANDLE: THRESHOLD:

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR (THE PRE-DESIGNED ADU PLANS FOR THE CITIES OF ARROYO GRANDE, ATASCADERO, GROVER BEACH AND MORRO BAY CALIFORNIA). THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH, BROCKETT ARCHITECTURE, AND/OR THE JURISDICTIONS LISTED ABOVE SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR CITIES STATED ABOVE. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF CAPITOLA HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED BEYOND THIS DECLARATION.

PLYWOOD SHEAR WALL SCHEDULE									
MARK	MATERIAL	NAILING OF PANEL EDGES, COLLECTORS AND TIES (EN)	FIELD NAILING (FN)	TOP PLATE CONNECTION	MINIMUM FND PLATE THICKNESS	BOTTOM PLATE CONNECTION	ANCHOR BOLTS		ALLOWABLE SHEAR (k/ft)
							SIZE	SPACING (O.C.)	
1	1/2" CDX	10d @ 6"	10d @ 12"	A35 at 18"	2x	16d @ 6"	5/8"	48"	260
2	1/2" CDX	10d @ 4"	10d @ 12"	A35 at 12"	2x	16d @ 4"	5/8"	42"	380
3	1/2" CDX	10d @ 3"	10d @ 12"	A35 at 10"	2x	16d @ 3"	5/8"	30"	490

NOTES:

- NAIL SIZE NOTED IN TABLE IS FOR COMMON OR GALVANIZED BOX NAILS. IF BOX OR SINKER NAILS ARE USED, THEN THE NEXT LARGER SHEAR MARK THAN THAT WHICH IS SHOWN ON PLANS, SHALL BE USED.
- WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING, OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
- A35 FRAMING CLIPS SHALL BE BY SIMPSON STRONG-TIE CO., INC.
- STAGGER VERTICAL JOINTS WHERE PLYWOOD IS APPLIED TO BOTH SIDES OF THE WALL.
- ALL FASTENERS (BOLTS, NAILS, WASHERS, FRAMING CLIPS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED ZINC COATED OR STAINLESS STEEL.
- ALL PANEL EDGES SHALL BE BACKED WITH 2x NOMINAL OR WIDER FRAMING.
- ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER EMBEDDED AT LEAST 7" INCHES INTO CONCRETE WITH 3x3x1/4" STEEL PLATE WASHERS. UNO, THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING
- OSB OF THE SAME THICKNESS MAY BE SUBSTITUTED FOR CDX PLYWOOD SCHEDULED ABOVE.
- PLYWOOD MAY BE INSTALLED OVER 5/8" GYPSUM WALL BOARD WHERE 1-HR FIRE RATING IS REQUIRED. SEE ARCHITECTURAL DWGS FOR FIRE RATING NOTES

ABBREVIATIONS

AB	Anchor Bolt	(E)	Existing	PLY	Plywood
ABV	Above	EA	Each	PSF	Pounds per Square Foot
ACI	American Concrete Institute	EN	Edge Nailing	PSI	Pounds per Square Inch
ALT	Alternate	ENGR	Engineer	PTDF	Preservative Treated
APA	American Plywood Association	EXT	Exterior	RDWD	Redwood
ARCH	Architect	FLR	Floor	REINF	Reinforcement
BD	Board	FND	Foundation	REQD	Required
BLK(G)	Block(ing)	FOC	Face of Concrete	RF	Roof
BLW	Below	FRMG	Framing	RM	Room
BM	Beam	FT	Foot or Feet	RTW	Retaining Wall
BN	Boundary Nailing	FTG	Footing	SAD	See Architectural Drawings
BP	Base Plate	GALV	Galvanized	SB	Solid Blocking
BRG	Bearing	GL	Glued Laminated	SF	Square Foot
BTWN	Between	GYP	Gypsum	SIM	Similar
CBC	CA Building Code	HD	Holddown	SPEC	Specifications
CL	Center Line	HDR	Header	SQ	Square
CLG	Ceiling	HORIZ	Horizontal	SS	Stainless Steel
CLR	Clear, Clearance	HT	Height	STD	Standard
COL	Column	INT	Interior	STL	Steel
CONC	Concrete	JST(S)	Joist(s)	SKYLT	Skylight
CONN	Connection	MB	Machine Bolt	T&B	Top and Bottom
CONT	Continuous	MI	Malleable Iron	T&G	Tongue and Groove
CNTR	Center	MIN	Minimum	TOC	Top of Concrete
CRC	CA Residential Code	(N)	New	TOW	Top of Wall
DBL	Double	OC	On Center	TR	Threaded Rod
DF	Douglas Fir	OH	Opposite Hand	TYP	Typical
DIA	Diameter	OPNG	Opening	UNO	Unless Noted Otherwise
DTL	Detail	PAF	Powder Actuated	VIF	Verify In Field
DWG	Drawing	PL	Plate or Property Line	Ø	Diameter

STRUCTURAL NOTES AND SPECIFICATIONS

A. DESIGN CRITERIA

- CODE = 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA BUILDING CODE (CBC)
- FLOOR LIVE LOAD = 40 PSF
- ROOF LIVE LOAD = 20 PSF
- WIND DESIGN DATA:
V₁₀ = 91 MPH (V₃₀ = 71 MPH), EXPOSURE D
- SEISMIC DESIGN DATA:
SITE CLASS = D (DEFAULT)
S_s = 1.096, S₁ = 0.403
SEISMIC DESIGN CATEGORY = D
SEISMIC FORCE RESISTING SYSTEM:
LIGHT FRAMED WOOD SHEAR WALLS, R = 6.5

B. GENERAL

- ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND/OR 2022 CALIFORNIA BUILDING CODE (CBC).
- THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS, THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

C. EARTHWORK

- FOOTINGS SHALL BE PLACED ON FIRM NATIVE SOIL OR COMPACTED ENGINEERED FILL. FOR UNITS UNDER 500 SQUARE FEET (STUDIOS) FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOR UNITS 500 SQUARE FEET OR GREATER (1 BEDROOM AND TWO BEDROOM UNITS), FOOTINGS SHALL BE EMBEDDED AT LEAST 27" INCHES BELOW THE LOWER OF FINISH OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER CBC TABLE 1806.2 AND CRC TABLE R401.4.1 FOR AN ALLOWABLE VERTICAL FOUNDATION PRESSURE OF 1500 PSF.
- CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE INCLUDED FOUNDATION DESIGN IS BASED ON CBC PRESUMPTIVE LOAD BEARING VALUES. SOME SITES MAY REQUIRE A GEOTECHNICAL INVESTIGATION REPORT. AN ALTERNATIVE FOUNDATION DESIGN MAY BE REQUIRED TO CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. THE ALTERNATIVE FOUNDATION DESIGN SHALL BE PREPARED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND SHALL BE APPROVED BY THE CITY. IN THIS CASE, THE ALTERNATIVE FOUNDATION DESIGN SUPERSEDES THE FOUNDATION PLAN AND DETAILS SHOWN ON THESE DRAWINGS.

D. CONCRETE

- POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI (DESIGN BASED ON 2500 PSI). ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER.
- CONCRETE MIX DESIGN MAY SUBSTITUTE A MAXIMUM OF 25% OF THE REQUIRED CEMENT CONTENT WITH RECYCLED FLY ASH.
- ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
- ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND INSPECTED BY ENGINEER PRIOR TO PLACING CONCRETE.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

E. REINFORCEMENT

- USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES POURED AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
- ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
- ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

F. WOOD FRAMING

- ALL CONSTRUCTION SHALL CONFORM TO THE "GENERAL CONSTRUCTION REQUIREMENTS", THE "CONVENTIONAL CONSTRUCTION PROVISIONS", AND ANY OTHER APPLICABLE SECTION OF CHAPTER 23 OF THE CBC UNLESS NOTED OTHERWISE IN THE PLANS OR THESE SPECIFICATIONS.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. HOLES IN WOOD SILLS OR PLATES OF SHEAR OR BEARING WALLS SHALL BE PLACED IN THE CENTER OF THE PIECE. HOLES IN EXCESS OF 1 INCH DIAMETER ARE NOT PERMITTED IN ANY MEMBER OF A SHEAR WALL, NOR IN ANY TWO-BY-FOUR DOUBLE TOP PLATES. TWO-BY-SIX DOUBLE TOP PLATES MAY HAVE UP TO TWO-INCH DIAMETER HOLES UNLESS NOTED OTHERWISE. HOLES LARGER THAN NOTED ABOVE MAY BE BORED IN SILLS PROVIDING THE SILL IS CONSIDERED CUT IN TWO AND ANCHOR BOLTS PLACED ACCORDINGLY.
- DRILLING AND NOTCHING OF STUDS. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALL OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60% SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE STUDS BORED.

F. WOOD FRAMING (CONTINUED)

- DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING, OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE NOT LESS THAN 0.054-INCH THICK AND 1-1/2-INCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN 8 10D NAILS HAVING A MINIMUM LENGTH OF 1-1/2 INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND MINIMUM 6 INCHES PAST THE OPENING.
- ALL WOOD FRAMING SHALL BE OF DOUGLAS FIR AND SHALL BE OF THE GRADE SPECIFIED IN THESE SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE PLANS, AND SHALL BE MANUFACTURED AND GRADED PER WWPA GRADING RULES, LATEST EDITION.

SILLS.....PTDF NO. 2 OR BETTER
JOISTS, RAFTERS, BEAMS, HEADERS.....UP TO 4x - DF NO. 2
8x - DF NO. 1
STUDS AND BLOCKING.....DF STANDARD, NO. 2 OR BETTER
POSTS AND DOUBLE TOP PLATES.....DF NO. 1
GLULAM BEAMS.....DF 24F-V4

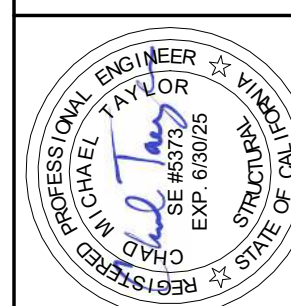
- ALL PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING, EXTERIOR EXPOSURE, CONFORMING TO THE LATEST EDITION OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD. ALL PLYS SHALL BE GROUP 1 OR 2 SPECIES. SPACE PANEL ENDS AND EDGES 1/8" MINIMUM. WHERE WET OR HUMID CONDITIONS PREVAIL, DOUBLE THIS SPACING. MINIMUM SIZE OF PLYWOOD PANELS SHALL BE 2' x 4'.
- FOR SHEAR WALL NAILING, ANCHOR BOLTS, AND SHEAR TRANSFER DEVICES, SEE SHEAR WALL SCHEDULE AND DETAILS.
- STUD WALLS SUPPORTING BEAMS SHALL HAVE POSTS WITH A MINIMUM WIDTH EQUAL TO THE WIDTH OF THE BEAM LOCATED BELOW THE BEAM, UNLESS NOTED OTHERWISE.
- ALL METAL FRAMING DEVICES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL, AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ONLY SIMPSON "N" TYPE FASTENERS SHALL BE USED. ALL SUCH FASTENERS SHALL BE OF THE LARGEST SIZE AND QUANTITY SPECIFIED IN THE MANUFACTURER'S PUBLISHED SCHEDULES, U.N.O.
- BOLT HOLES SHALL BE 1/16 INCH LARGER THAN THE NOMINAL SIZE OF THE BOLT. CUT FLAT WASHERS SHALL BE PROVIDED AT ALL HEADS AND NUTS WHICH WOULD OTHERWISE BEAR DIRECTLY ON WOOD. ALL BOLTS SHALL BE TIGHTENED TO A SNUG CONDITION AND RETIGHTENED UPON JOB COMPLETION OR IMMEDIATELY BEFORE CONSTRUCTING WORK WHICH WILL MAKE THEM INACCESSIBLE.
- USE COMMON TYPE NAILS U.N.O. WHERE NOT SPECIFIED OTHERWISE, THE NAILING REQUIREMENTS OF CBC TABLE 2304.9.1 OR CRC TABLE R602.3(1) SHALL APPLY.
- ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED OR NATURAL DURABLE WOOD ACCORDING TO CRC R317.1.
- ALL FASTENERS (NAILS, BOLTS, CONNECTORS, ETC.) EXPOSED TO WEATHER OR IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED ZINC COATED, Z-MAX, OR STAINLESS STEEL. SEE THE RECOMMENDATIONS IN THE CORROSION INFORMATION SECTION OF THE SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG TO DETERMINE WHICH TYPE OF COATING IS APPROPRIATE FOR THE CONNECTOR APPLICATION, BASED ON THE TYPE OF PRESERVATIVE USED TO TREAT THE WOOD AND THE ENVIRONMENT. WHEN STAINLESS STEEL CONNECTORS ARE USED STAINLESS STEEL FASTENERS SHOULD BE USED. WHEN HOT-DIPPED GALVANIZED OR Z-MAX CONNECTORS ARE USED, FASTENERS SHALL BE GALVANIZED PER ASTM A153.
- WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE MINIMUM NOMINAL 2 INCHES THICK AND HAVE WIDTH AT LEAST EQUAL TO WIDTH OF STUDS.
- TOP PLATE LAP SPLICES SHALL BE FACE-NAILED WITH A MINIMUM OF (8) 16D NAILS ON EACH SIDE OF SPLICE. MINIMUM LAP SHALL BE 4 FEET LONG NAILED WITH (2) 16D AT 16 INCHES CENTER-TO-CENTER. NAILS AND CUTS IN PLATES SHALL OCCUR OVER STUDS.
- STUDS SHALL HAVE FULL BEARING ON NOMINAL 2-INCH THICK OR LARGER SILL PLATE WITH WIDTH AT LEAST EQUAL TO STUD WIDTH.
- WALL PLATES OR SILLS SHALL BE ANCHORED TO FOOTINGS WITH 5/8" DIA STEEL ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED NOT MORE THAN 4'-0" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS (4 1/2") FROM THE END OF THE PIECE. ANCHOR BOLTS SHALL BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS AND NUTS. ANCHOR BOLT SPACING ON SHEAR SCHEDULE SHALL TAKE PRECEDENCE.

REVISION SCHEDULE

REV	DATE	BY
1	7-14-23	CT

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CENTRAL COAST STOCK ADU



STRUCTURAL NOTES

DATE: 11-18-2022

JOB NO: 21091

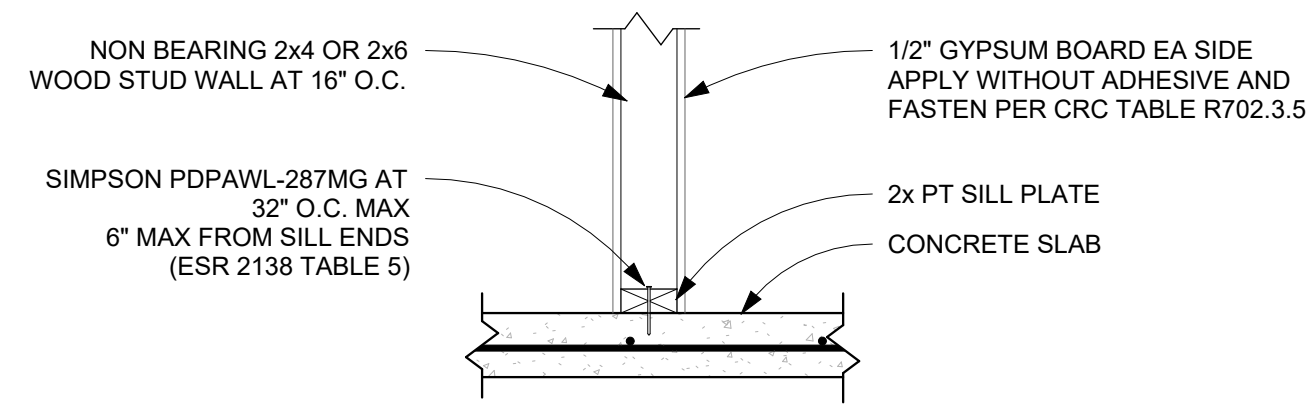
SHEET

REV	DATE	BY
1	7-14-23	CT

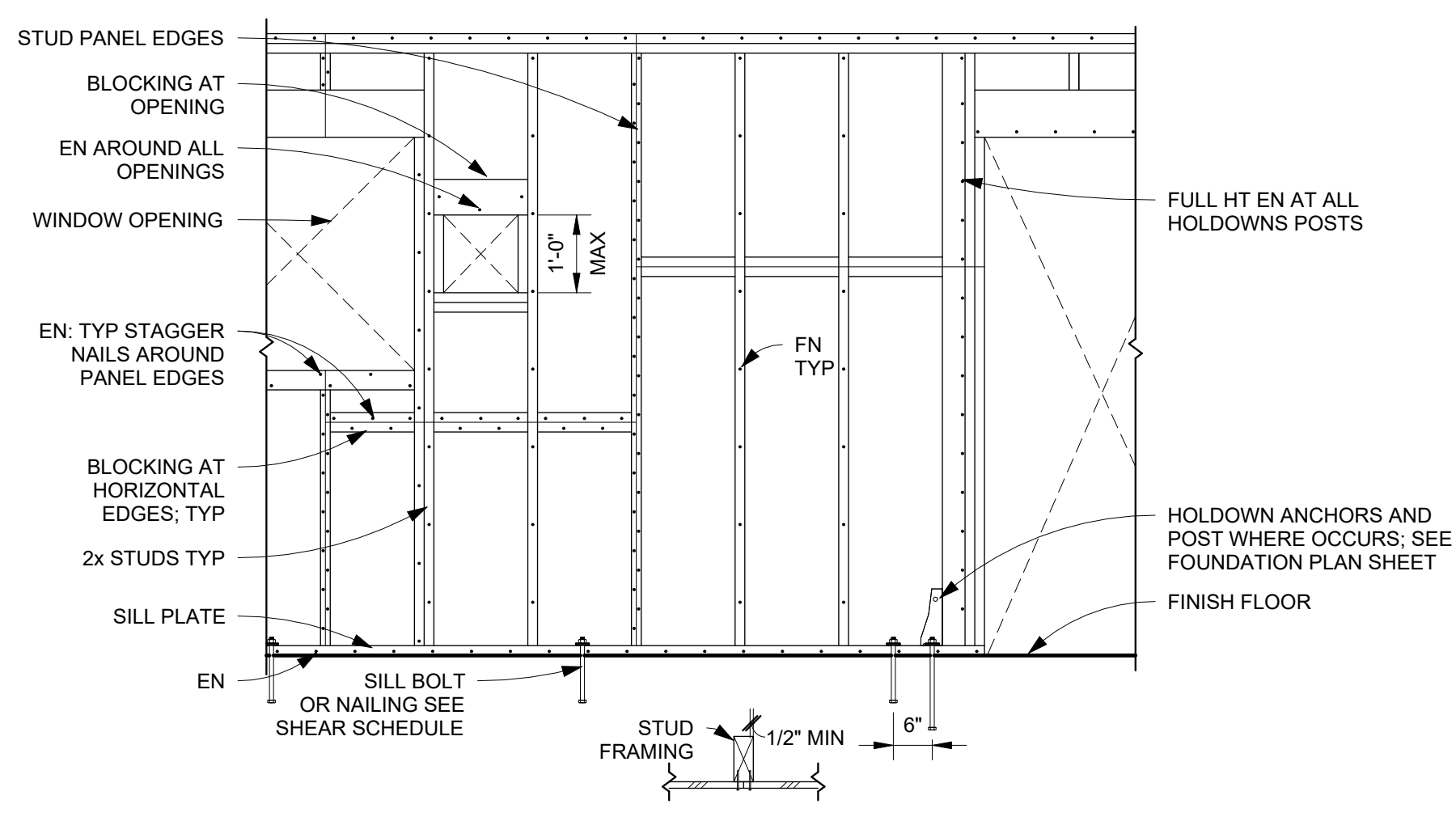
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 email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU
 PROJECT NO. 21091
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

TYPICAL DETAILS
 DATE: 11-18-2022
 JOB NO: 21091
 SHEET: S0.1

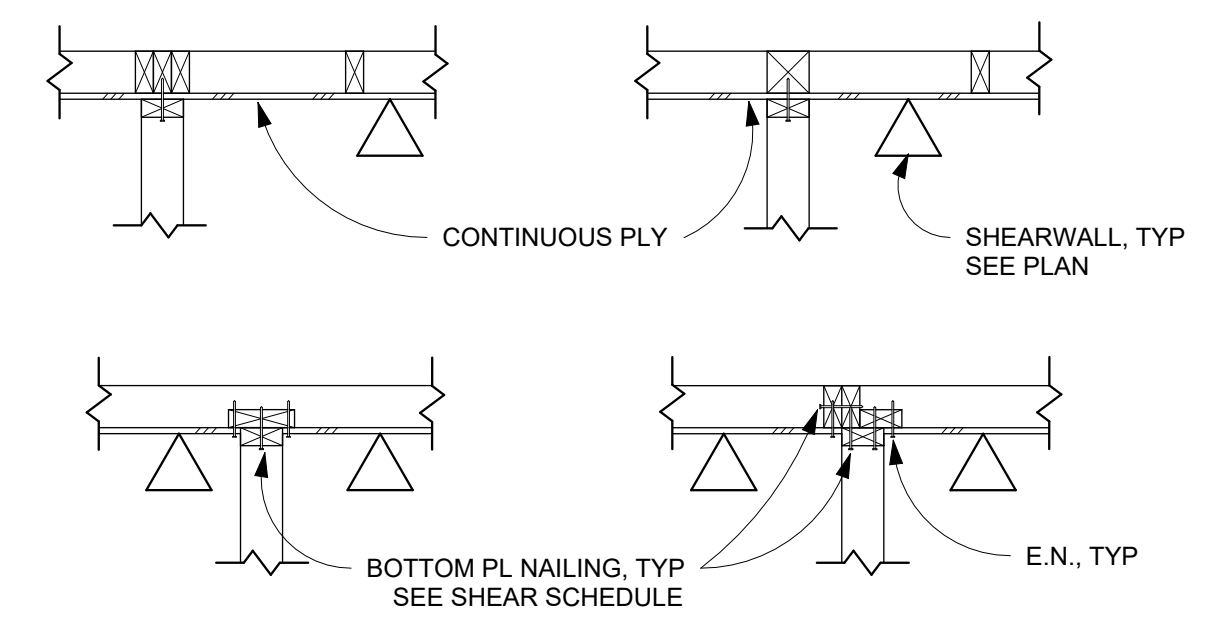


NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT CONCRETE SLAB
 8
 S0.1 1" = 1'-0"

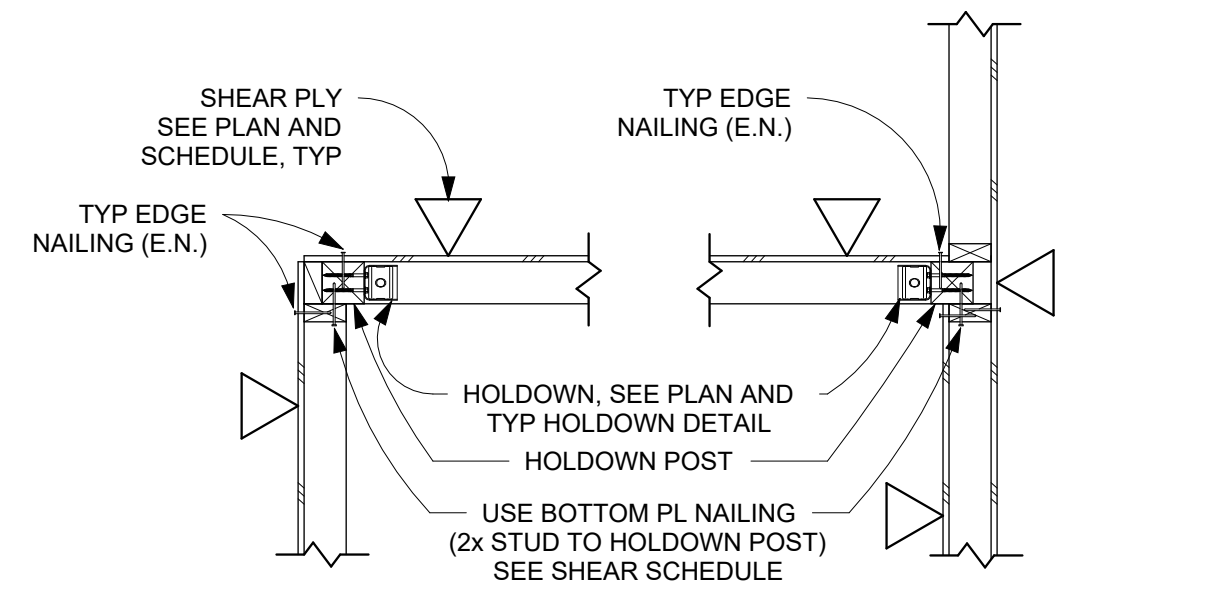


- NOTES:
- INDIVIDUAL PLYWOOD PIECES SHALL NOT BE LESS THAN 2'-0" IN LEAST DIMENSION NOR LESS THAN 8 SQ. FT.
 - (2) SILL BOLTS MINIMUM PER PANEL W/ 4" MIN. AND 8" MAX. FROM EACH END. HOLD DOWN ANCHOR BOLT DOES NOT COUNT AS A SILL BOLT.
 - WHERE NAILS ARE SPACED LESS THAN 4 INCHES ON CENTER, FRAMING MEMBER AND/OR BLOCKING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER AND STAGGERED NAILING. OR USE DOUBLE FRAMING MEMBERS THAT ARE AT LEAST 2" IN NOMINAL THICKNESS.
 - SEE TYP. STUD WALL FRAMING DETAIL FOR INFORMATION NOT SHOWN.
 - SEE PLAN FOR SHEARWALL SCHEDULE.
 - THIS DETAIL REPRESENTS TYP. SHEARWALL CONSTRUCTION. ACTUAL PROJECT CONDITIONS MAY VARY.

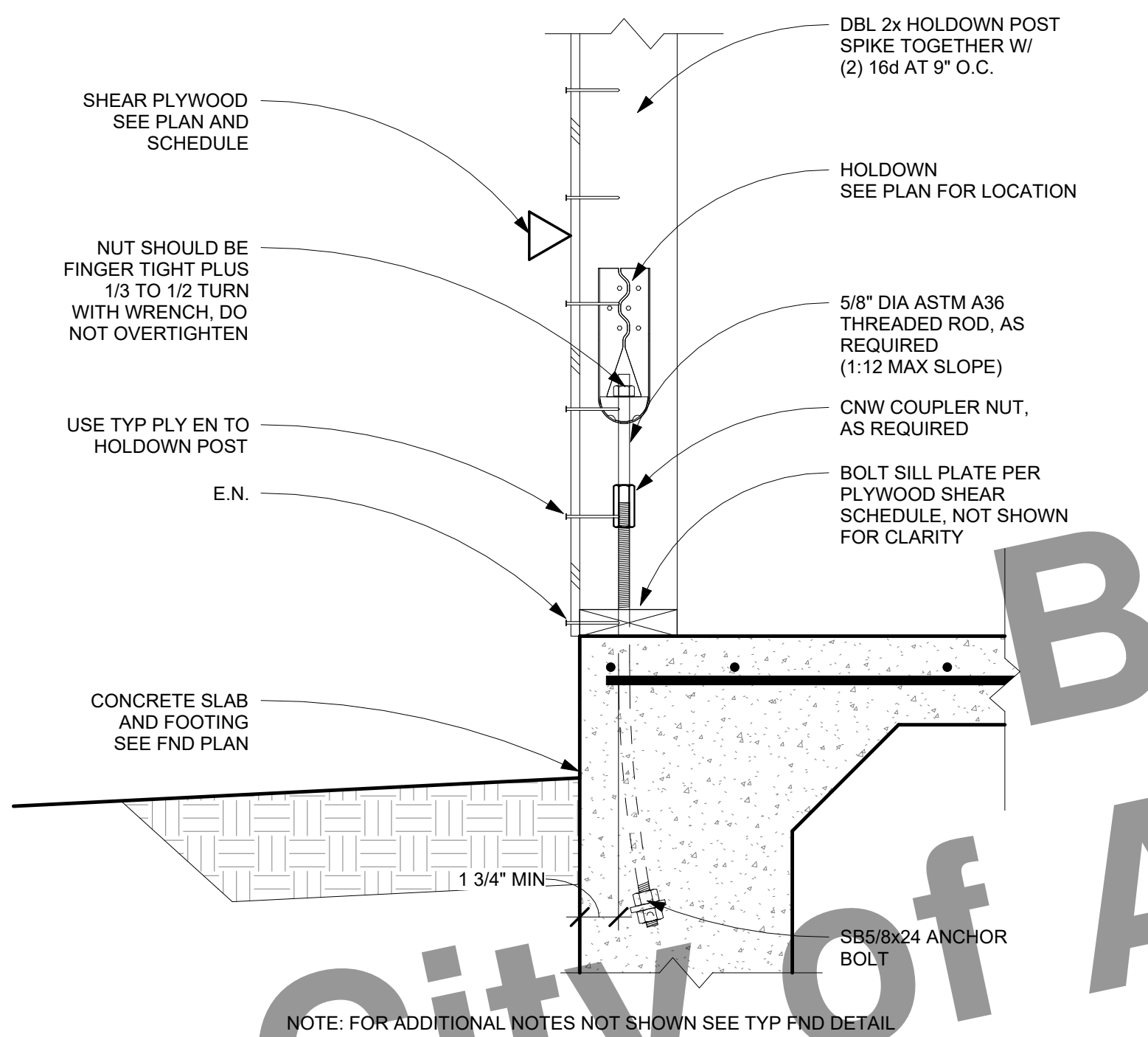
TYP SHEAR WALL FRAMING
 5
 S0.1 1/2" = 1'-0"



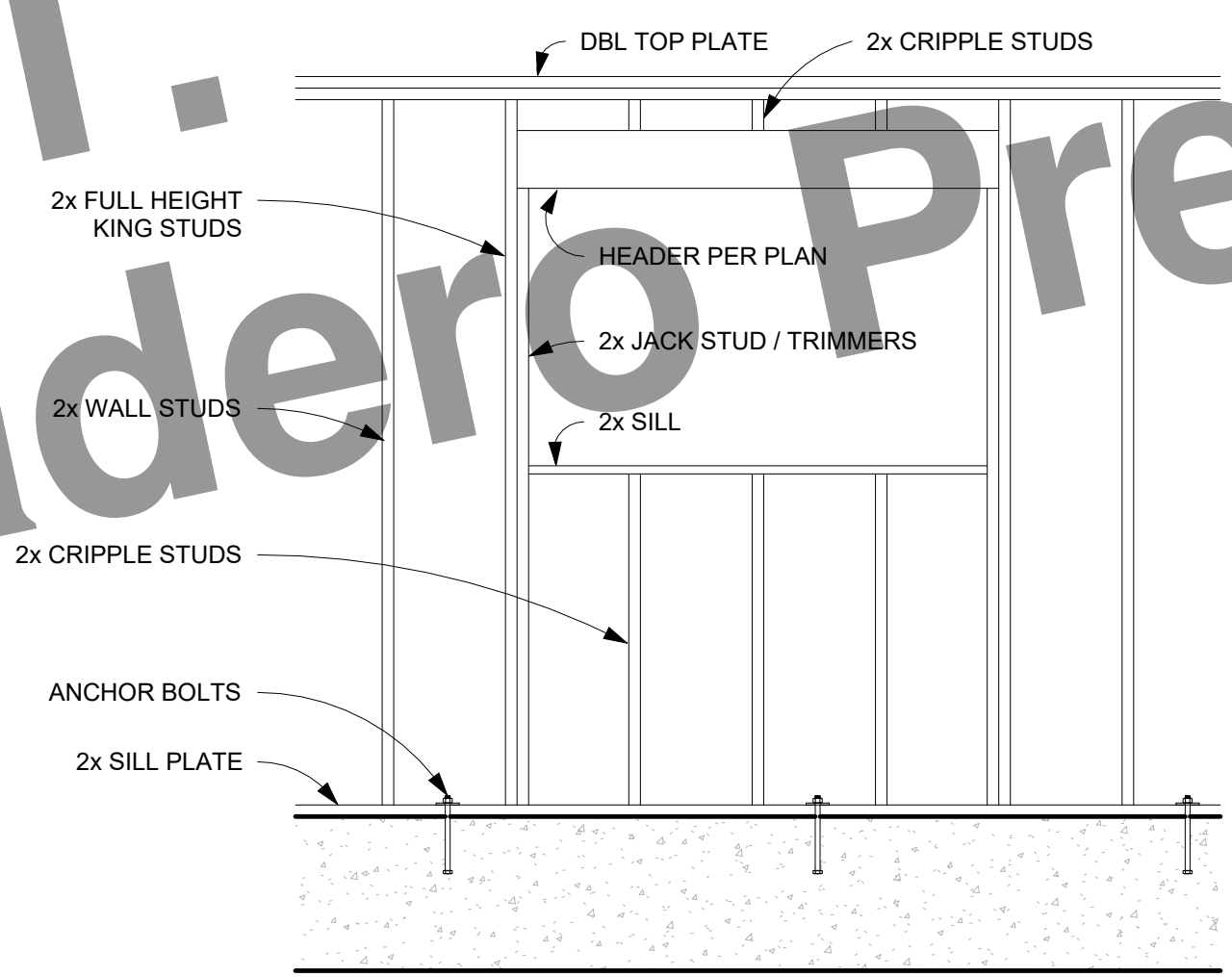
CONT SHEAR WALL PLAN DETAIL
 1
 S0.1 3/4" = 1'-0"



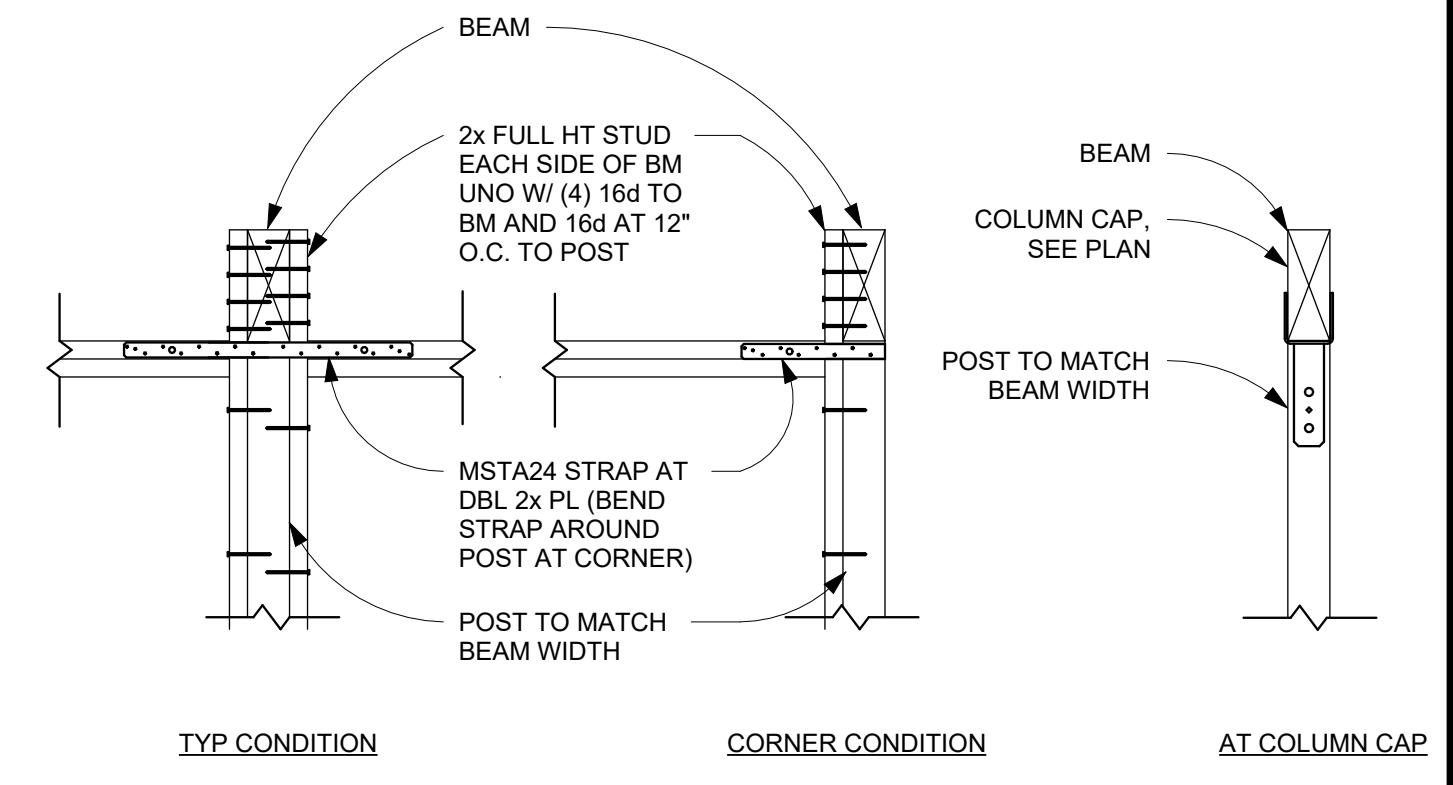
INTERSECTING SHEAR WALL AND HOLD DOWN POST DETAIL
 2
 S0.1 3/4" = 1'-0"



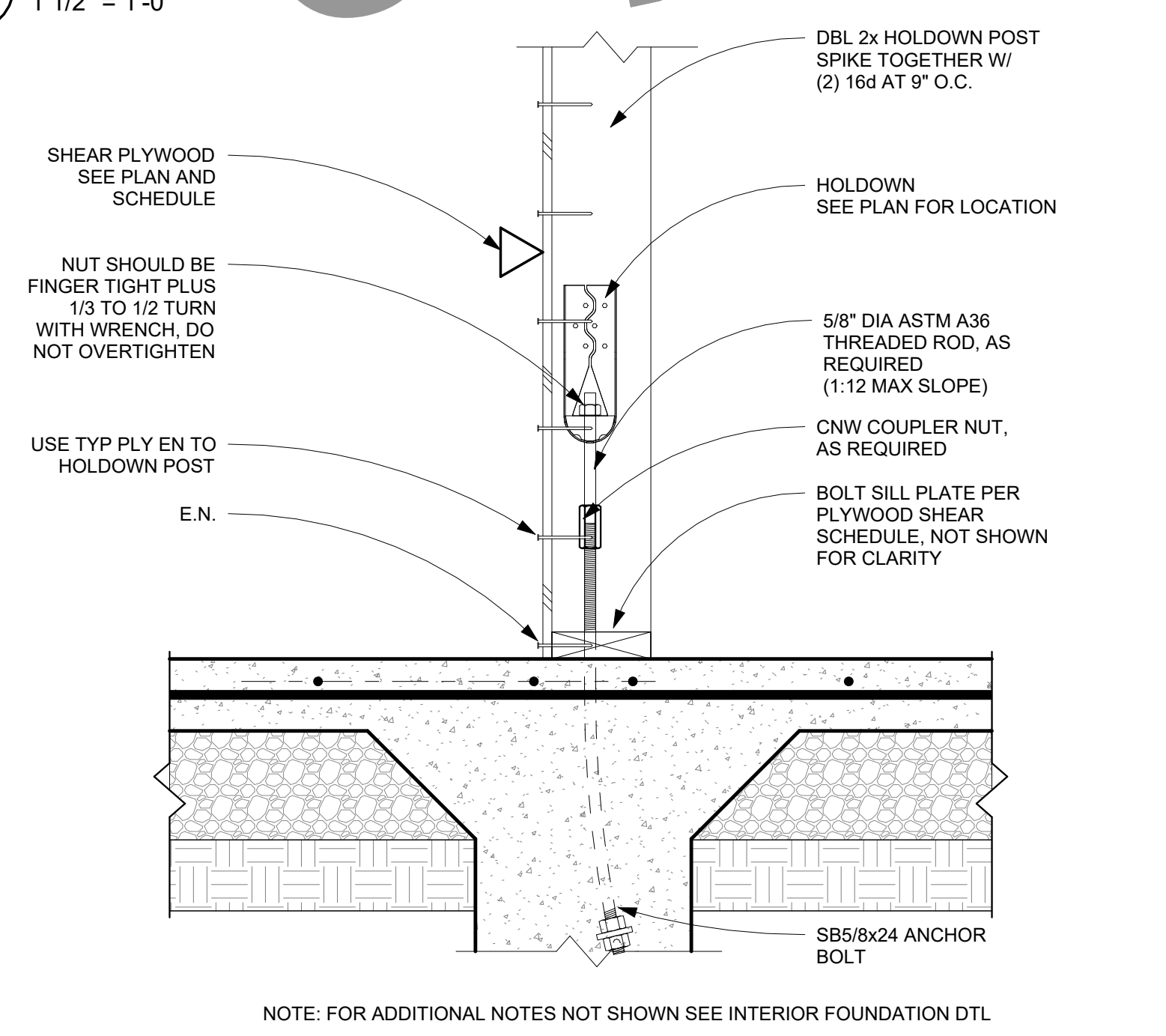
TYP HOLD DOWN AT PERIM FTG
 9
 S0.1 1 1/2" = 1'-0"



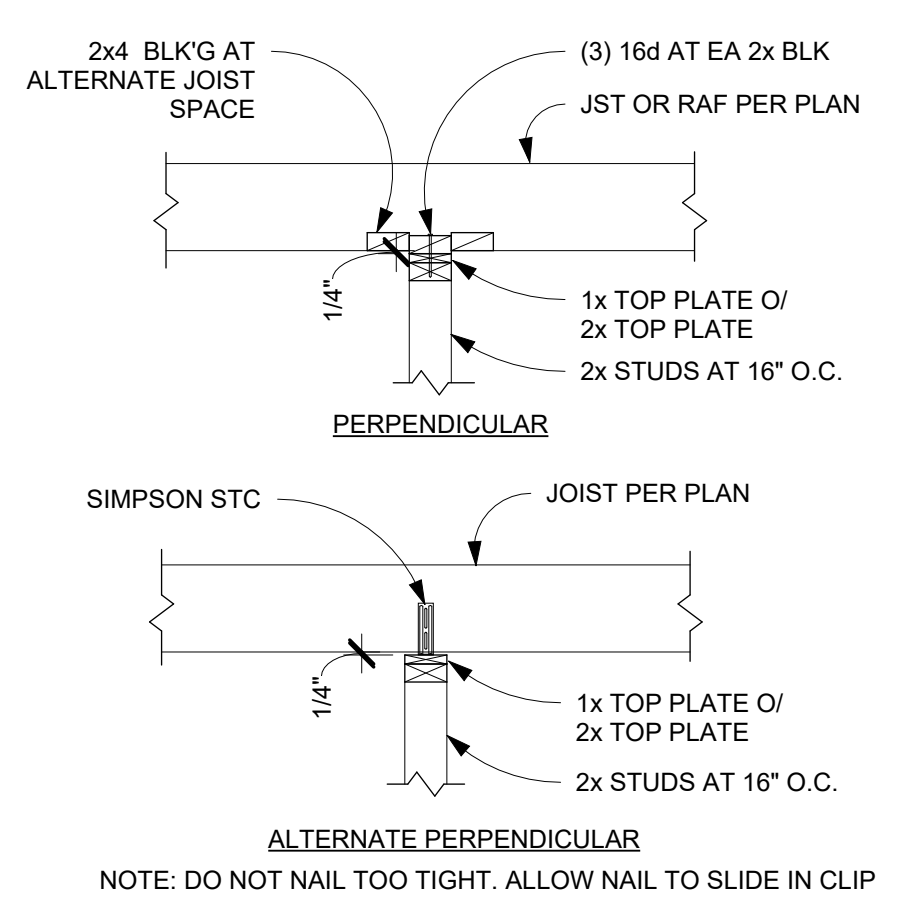
TYP WALL FRAMING
 6
 S0.1 1/2" = 1'-0"



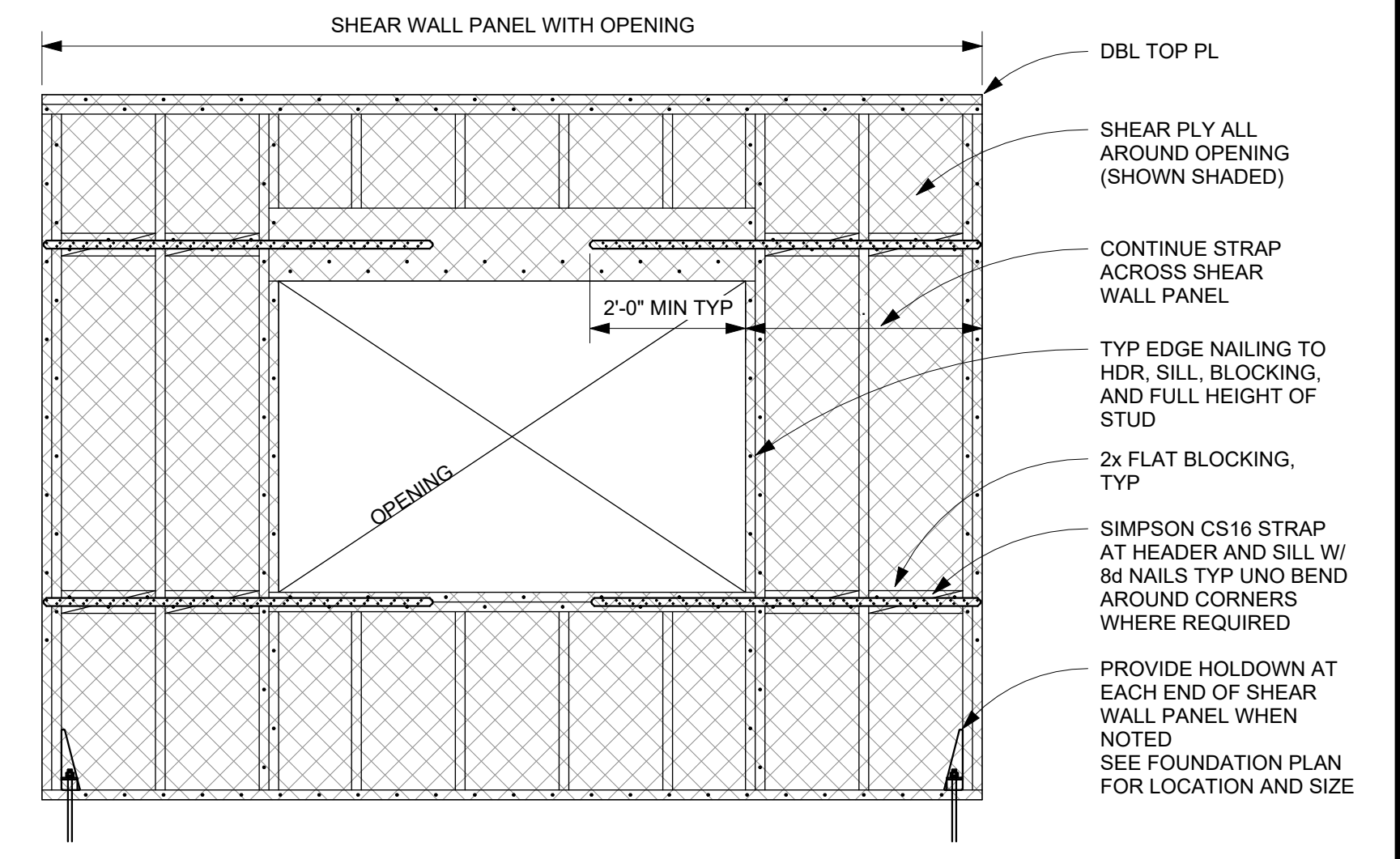
TYPICAL POST TO BEAM CONN
 3
 S0.1 3/4" = 1'-0"



TYP HOLD DOWN AT INTERIOR FOOTING
 10
 S0.1 1 1/2" = 1'-0"

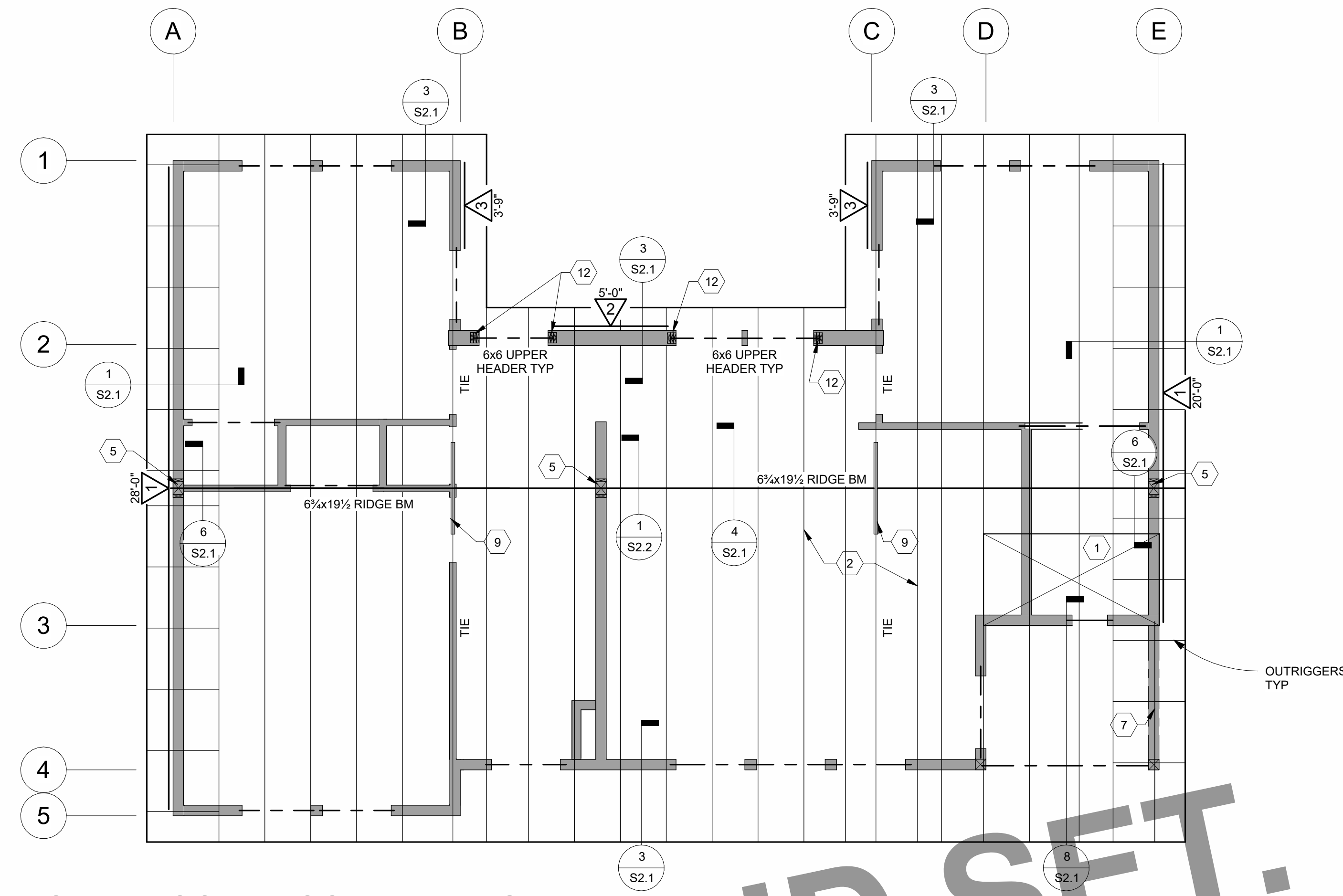


NON BEARING AND NON BRACED/SHEAR INTERIOR WALLS AT TOP
 7
 S0.1 3/4" = 1'-0"



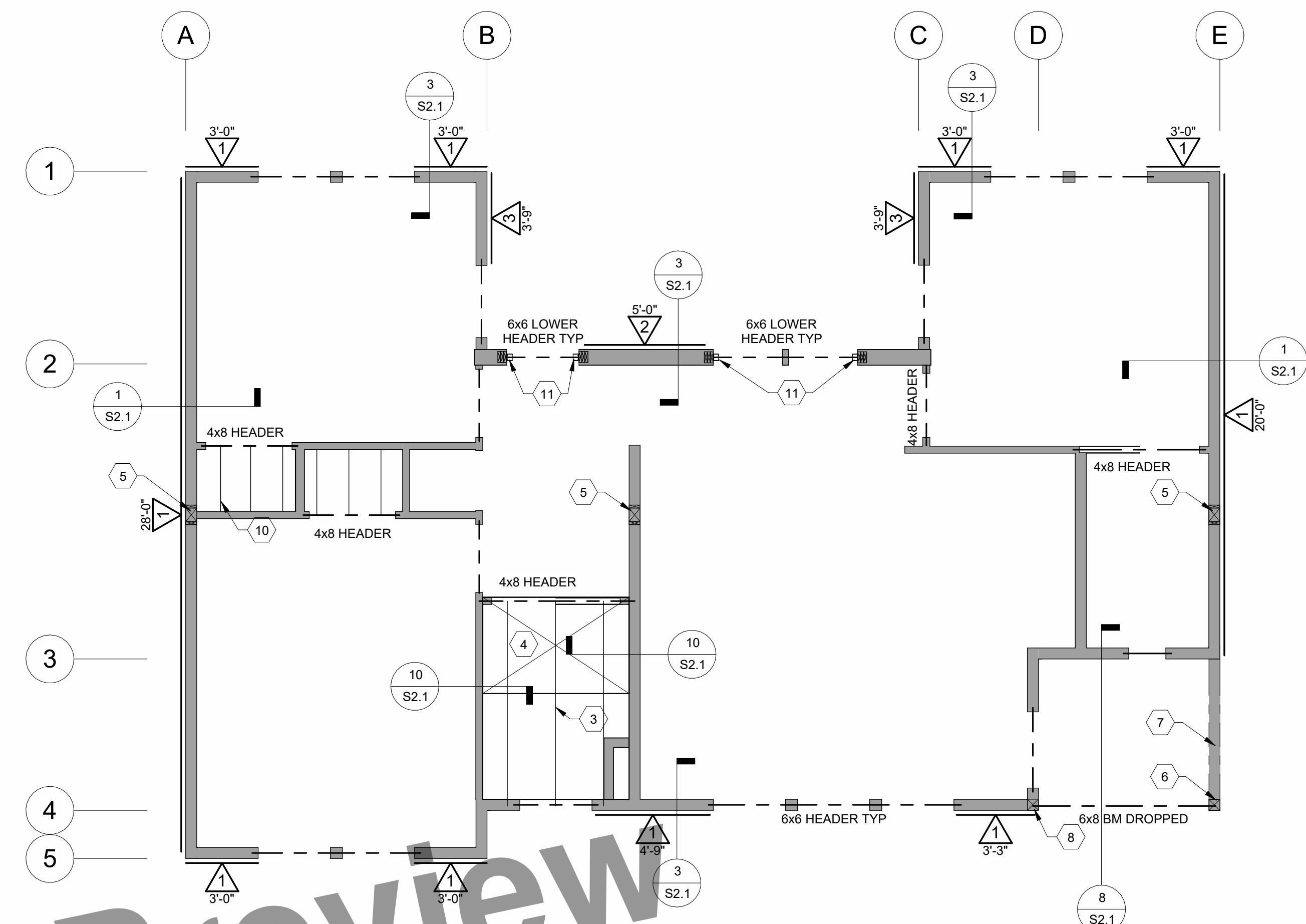
STRAP AROUND OPENING
 4
 S0.1 1/2" = 1'-0"

- NOTES:
- PLACE STRAPS OVER PLYWOOD
 - HOLD DOWN AT END OF SHEARWALL PANEL MAY NOT BE REQUIRED. SEE FRAMING PLAN



TWO BEDROOM - ROOF FRAMING PLAN

1/4" = 1'-0"



TWO BEDROOM - CEILING FRAMING PLAN

1/4" = 1'-0"

LEGEND

- 1 KEYNOTE TAG
SEE KEYNOTE TABLES
- A HOLDOWN TAG
SEE HOLDOWN SCHEDULE
- 1'-0" SHEARWALL TAG
- 1'-0" PERFORATED SHEARWALL
TAG SEE DETAIL 4 / S0.1
- HOLDOWN POST
- WALL ABOVE
- WALL BELOW

ROOF AND CEILING/LOFT FRAMING NOTES

1. SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
2. ROOF PLYWOOD SHALL BE 15/32" APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 24/16 FASTEN WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.) PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
3. ALL "TIE" RAFTERS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
4. SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
5. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE .
6. CEILING/LOFT PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.

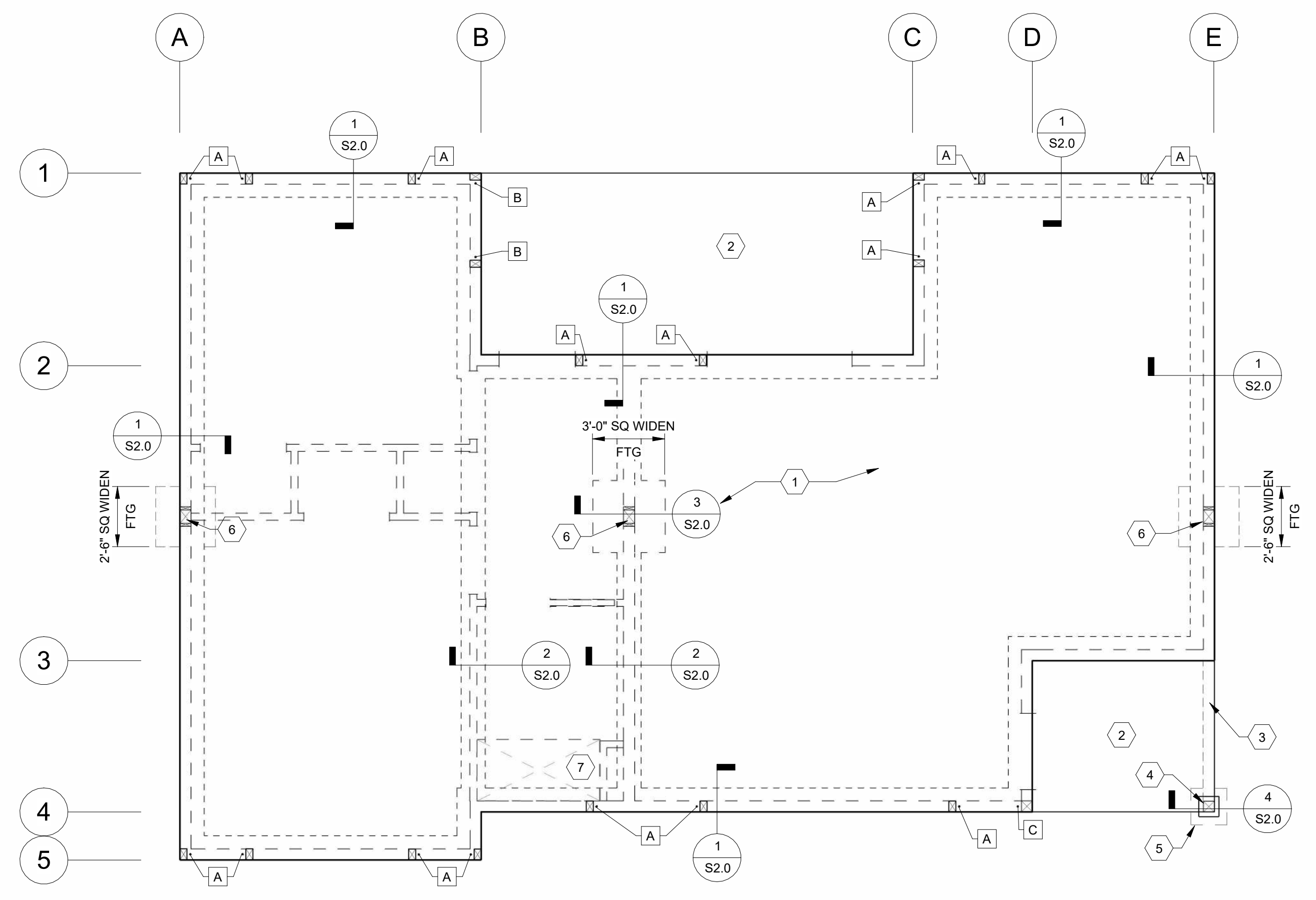
FOUNDATION PLAN NOTES

1. SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEETS S0.1.
2. DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
3. HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
4. INDICATES HOLDOWN AND POST. SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
5. CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

TWO BEDROOM ROOF & CEILING FRAMING PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD. SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	2x10 RAFTERS AT 24" O.C.
3	2x8 CEILING JOIST AT 16" O.C.
4	CEILING PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	6x8 RIPPED RIDGE POST
6	6x6 POST WITH EPC6Z OR ECC66 POST CAP
7	WALL WHERE OCCURS AT BEACH BUNGALOW DESIGN
8	BEAM POCKET 6x6 POST SEE DETAIL 3/S0.1 OK TO NOTCH TOP OF 6x BEAM UNDER DBL TOP PLATE
9	MST449 STRAP RAF OVER RIDGE TIE RAF TO TIE RAF
10	2x6 CEILING JOIST AT 16" O.C. BETWEEN FULL HEIGHT STUDS
11	HUC66 HANGER
12	2x TRIMMER WITH DBL 2x KING STUD

TWO BEDROOM FOUNDATION PLAN KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL PATIO CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	SEE DETAIL 5/S2.0 WALL AT BEACH BUNGALOW
4	6x6 POST WITH PBS66 OR CBS66
5	ISOLATED PEDESTAL AND FOOTING
6	POST ABOVE
7	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD

HOLDOWN SCHEDULE				
MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU2	6x6 FULL HEIGHT POST	SB5/8x24	9/S0.1
D	HDU5	DBL 2x6	SB5/8x24	9/S0.1
E	HDU2	6x8 RIPPED	SB5/8x24	9/S0.1
F	HDU5	6x8 RIPPED	SB5/8x24	10/S0.1



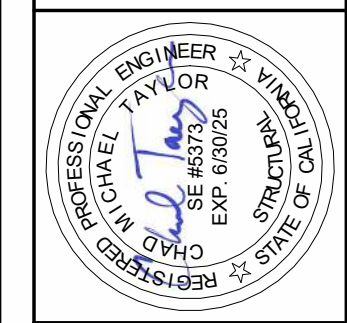
TWO BEDROOM - FOUNDATION PLAN

1/4" = 1'-0"

REV	DATE	BY
1	7-14-23	CT

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CENTRAL COAST STOCK ADU



**TWO BEDROOM
ROOF/CEILING FRAMING
AND FOUNDATION PLAN**

DATE: 11-18-2022

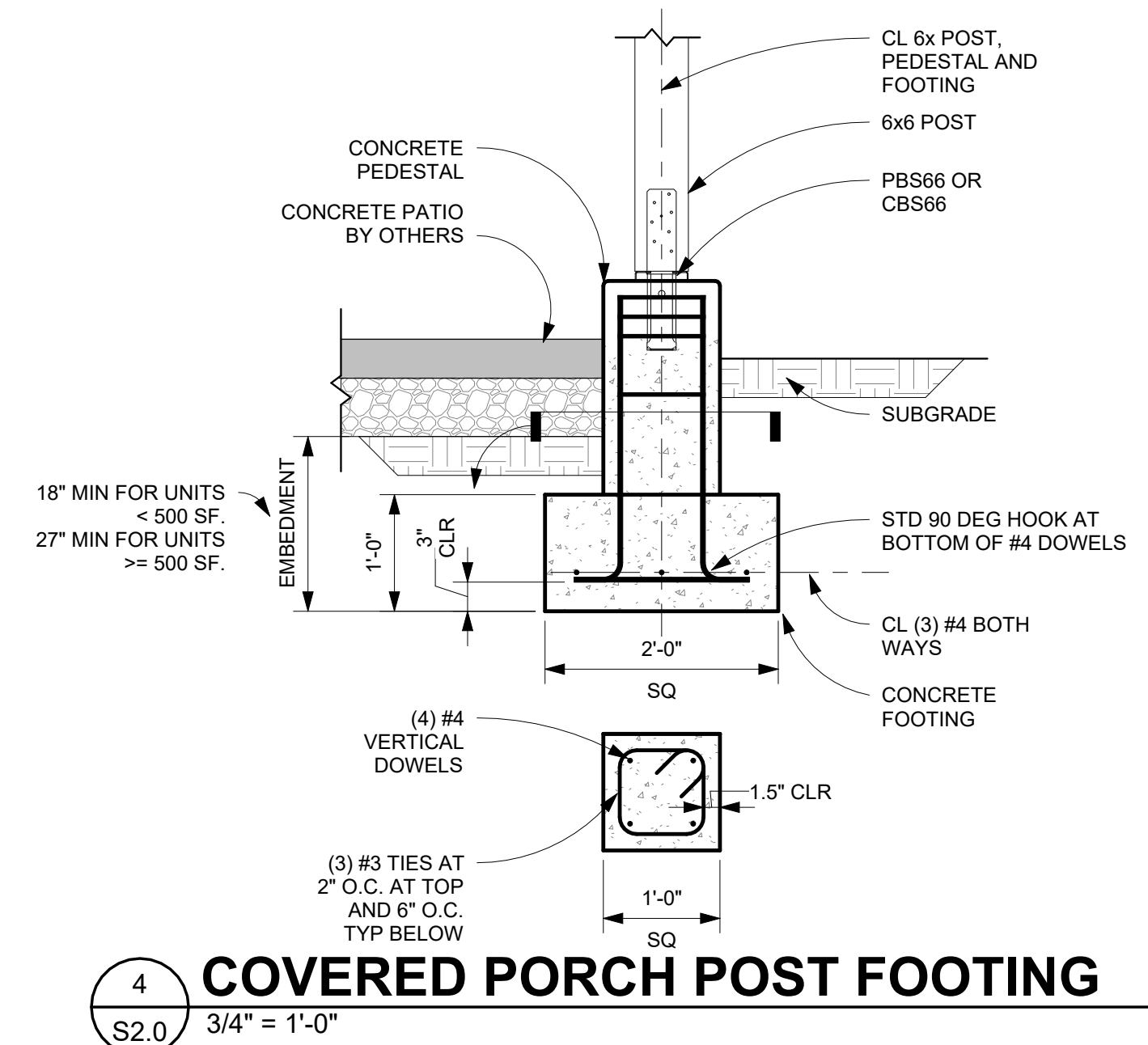
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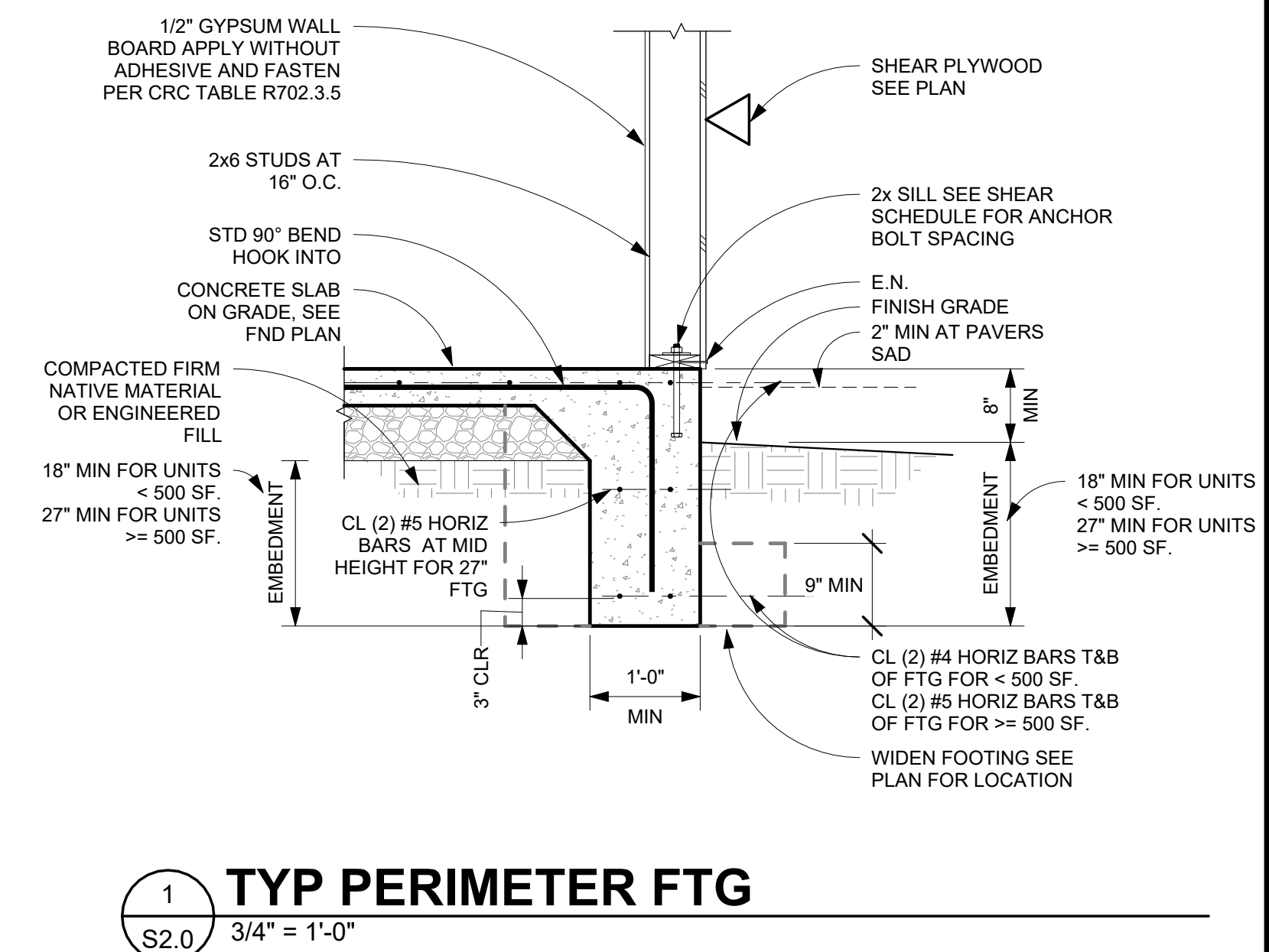
S1.0

City of Atascadero

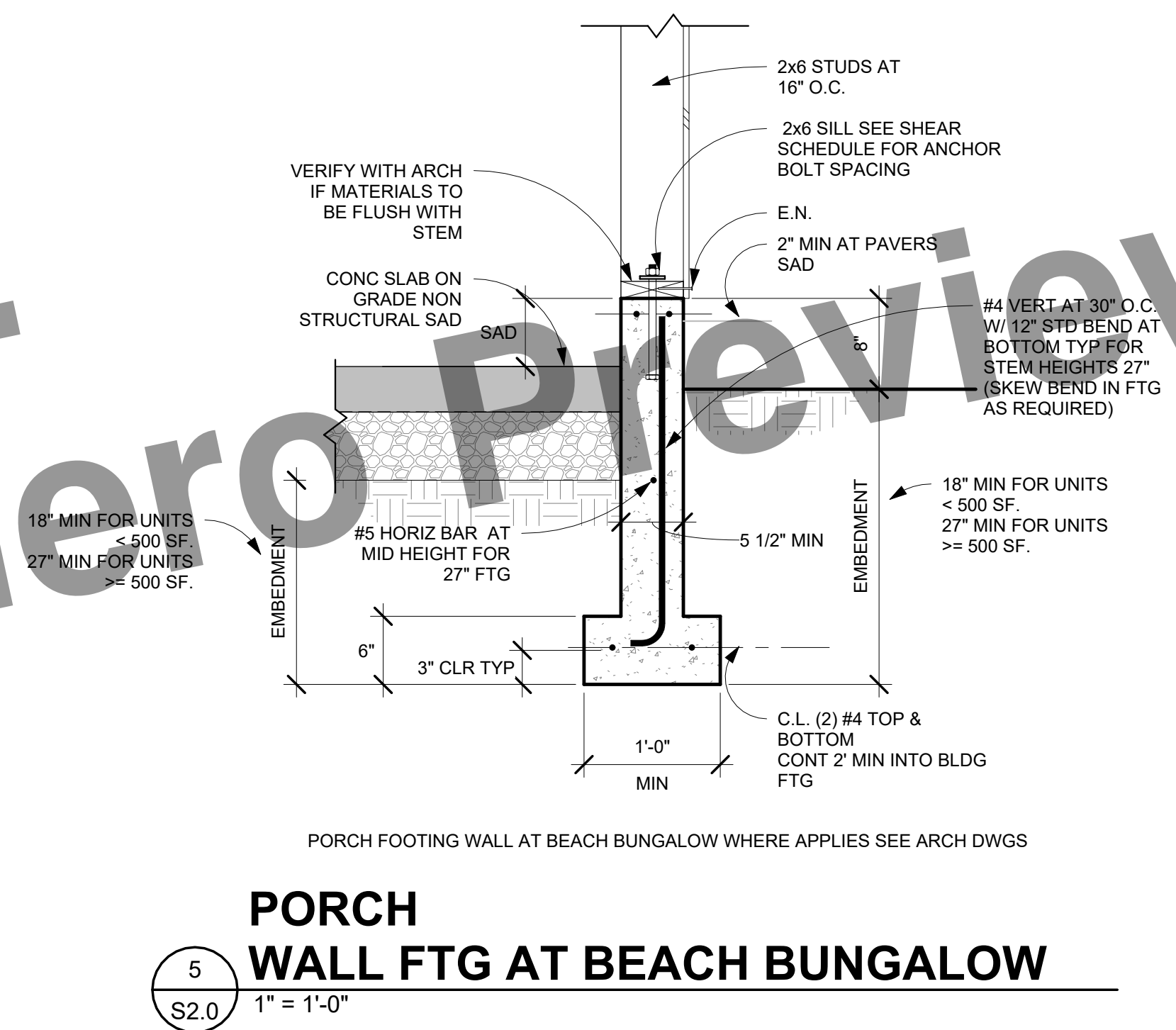
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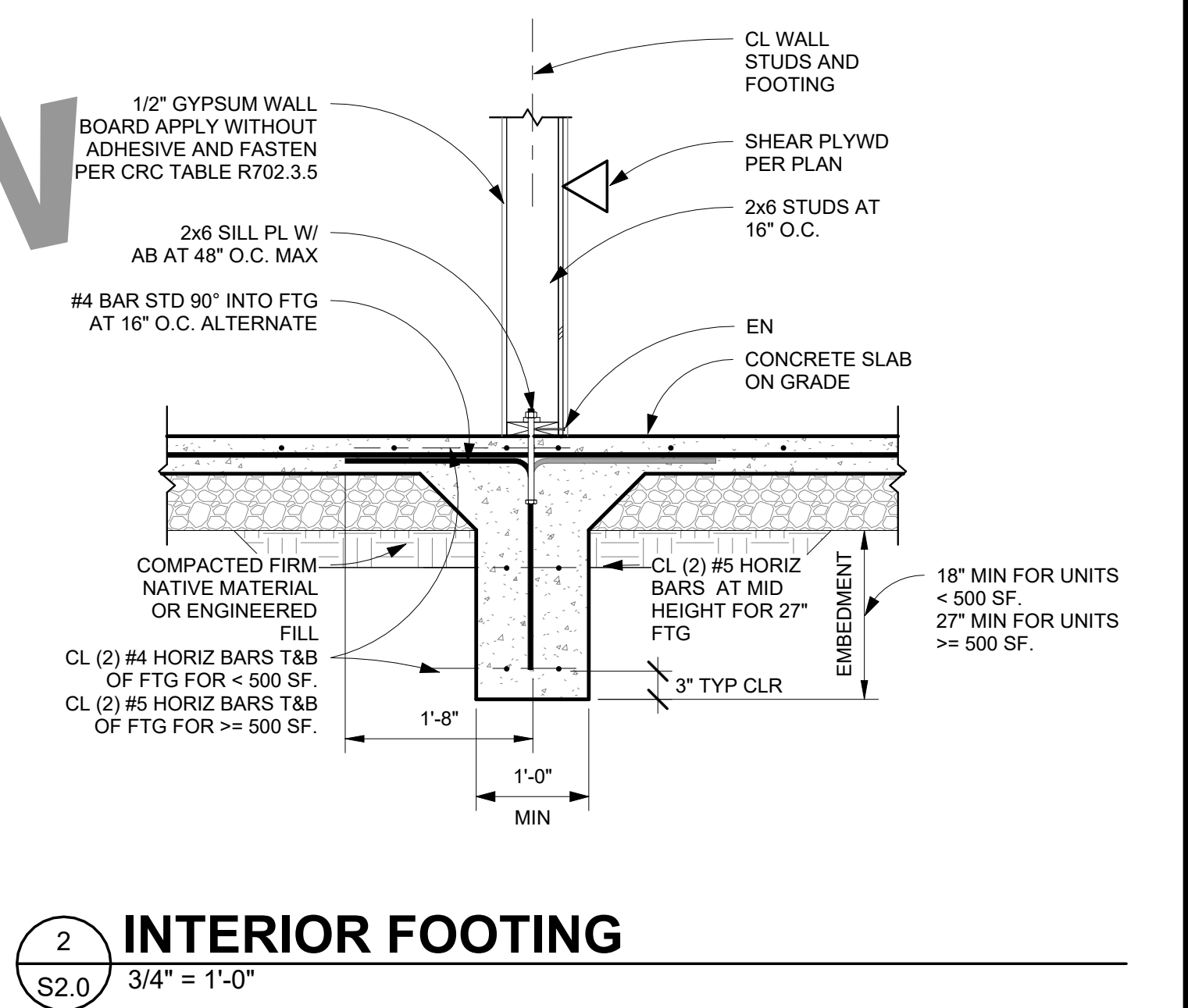
4 COVERED PORCH POST FOOTING
 S2.0 3/4" = 1'-0"



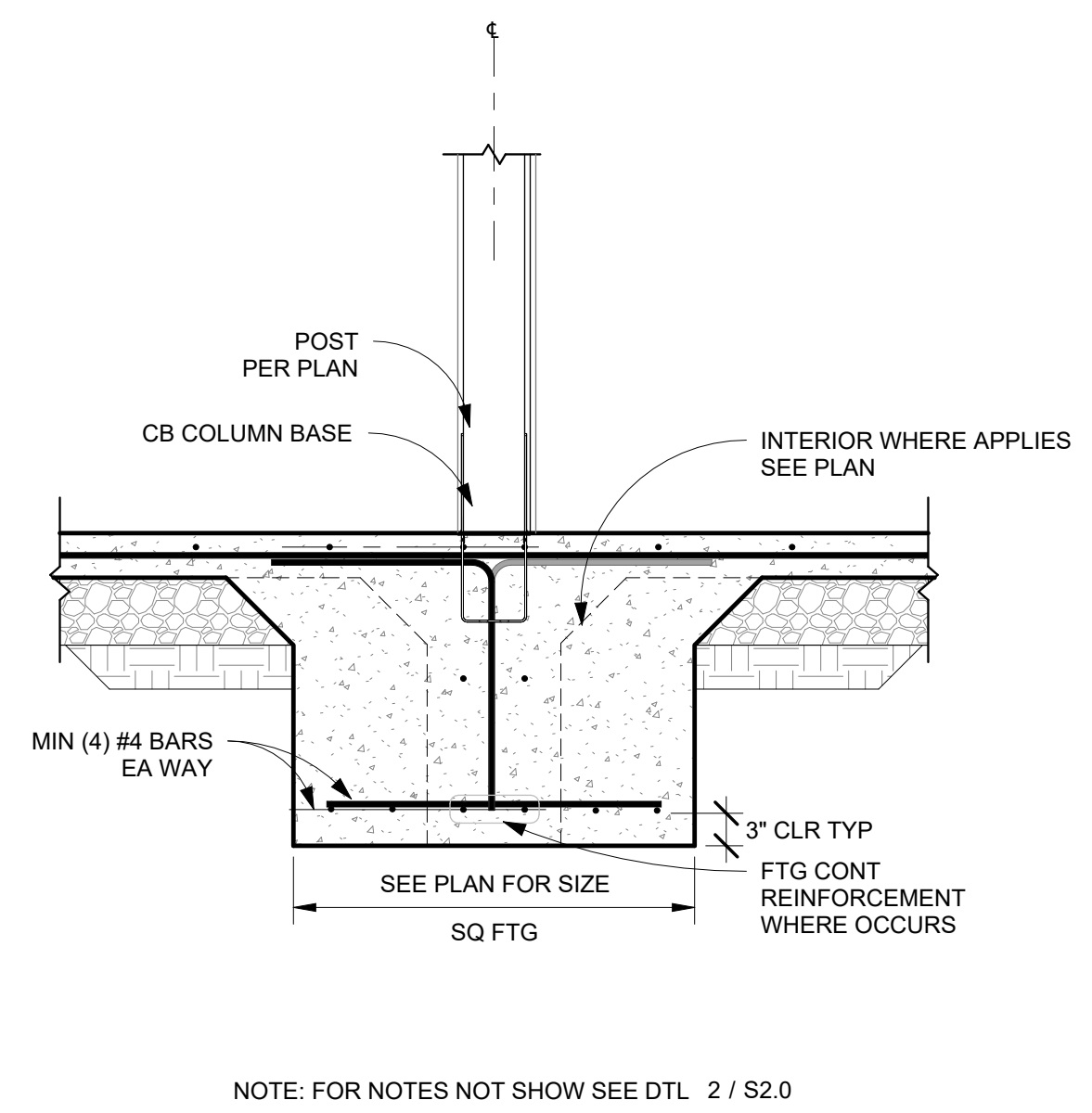
1 TYP PERIMETER FTG
 S2.0 3/4" = 1'-0"



5 PORCH WALL FTG AT BEACH BUNGALOW
 S2.0 1" = 1'-0"



2 INTERIOR FOOTING
 S2.0 3/4" = 1'-0"



3 INTERIOR PAD FOOTING
 S2.0 3/4" = 1'-0"

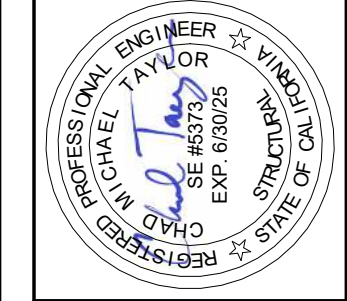
NOTE: FOR NOTES NOT SHOW SEE DTL 2 / S2.0

REV	DATE	BY
1	7-14-23	CT

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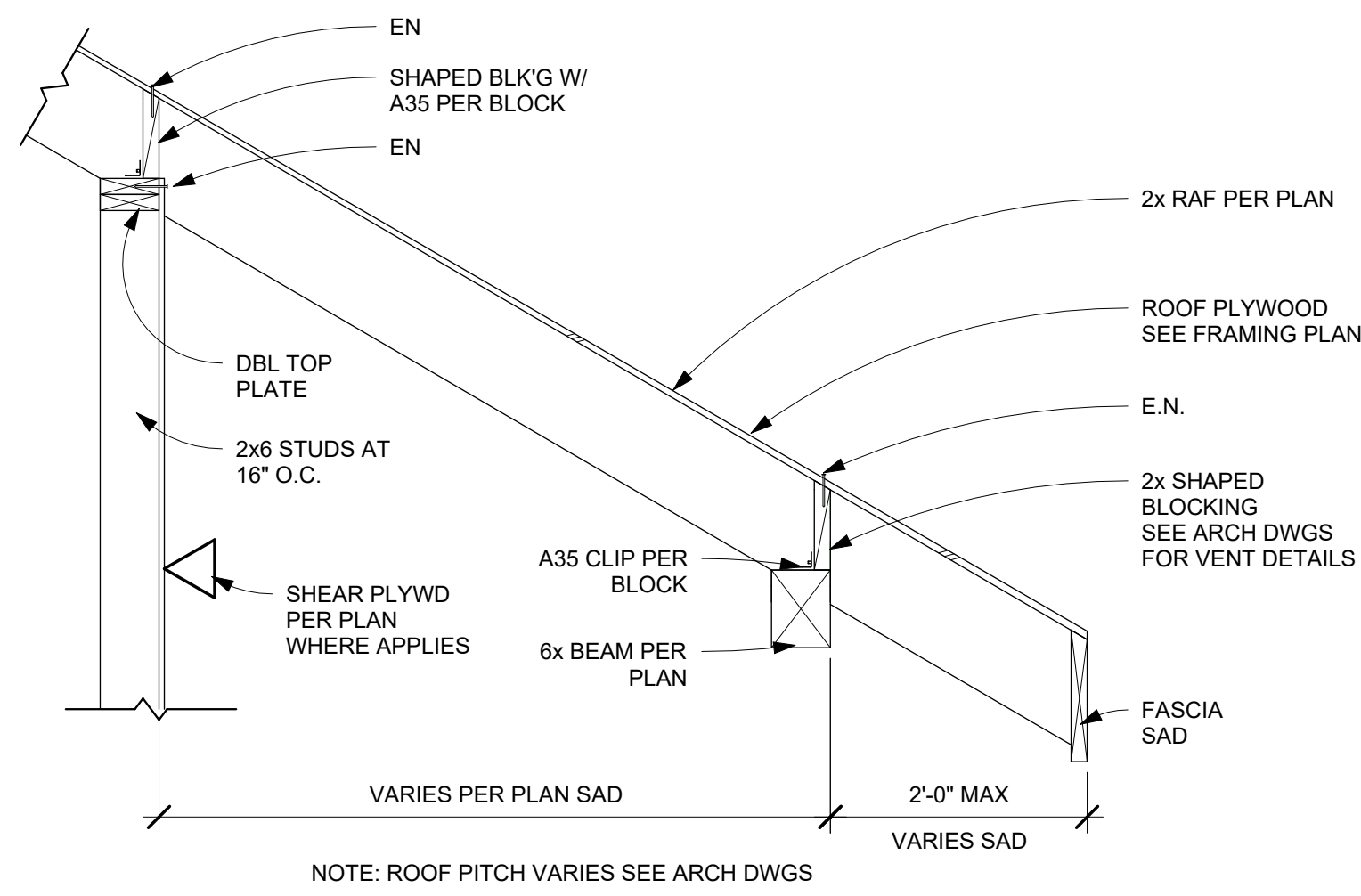
CENTRAL COAST STOCK ADU

BY USING THESE SPECIFICATIONS AND DRAWINGS, THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE FOLLOWING CONDITIONS:
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO THE START OF WORK.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO THE START OF WORK.
 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO THE START OF WORK.
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 6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO THE START OF WORK.
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 10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO THE START OF WORK.

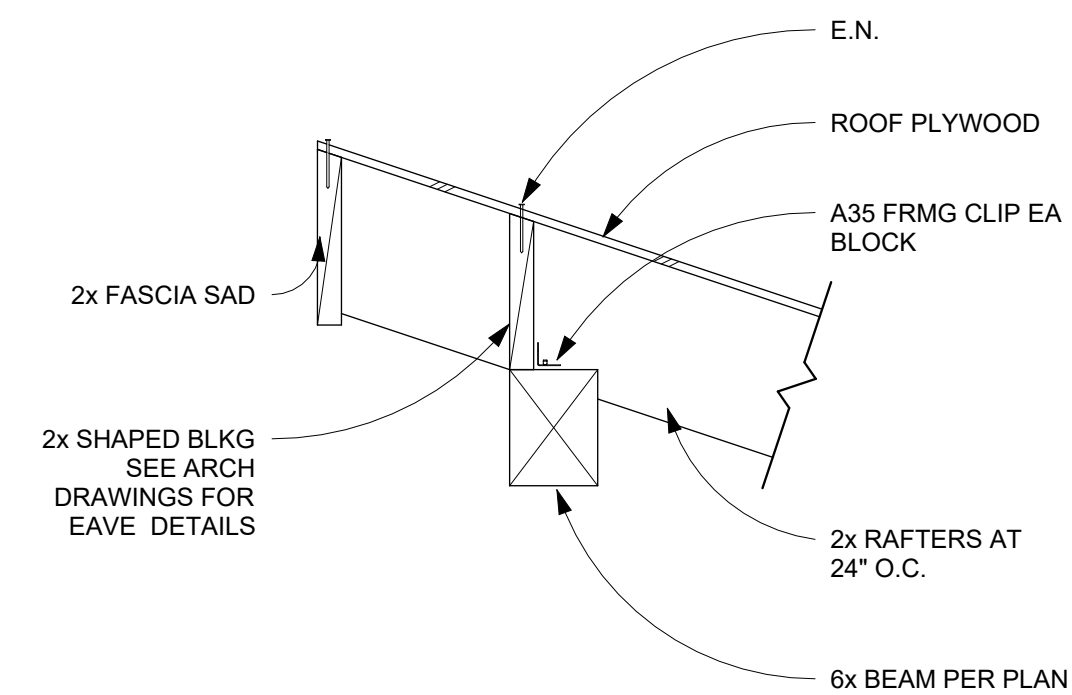
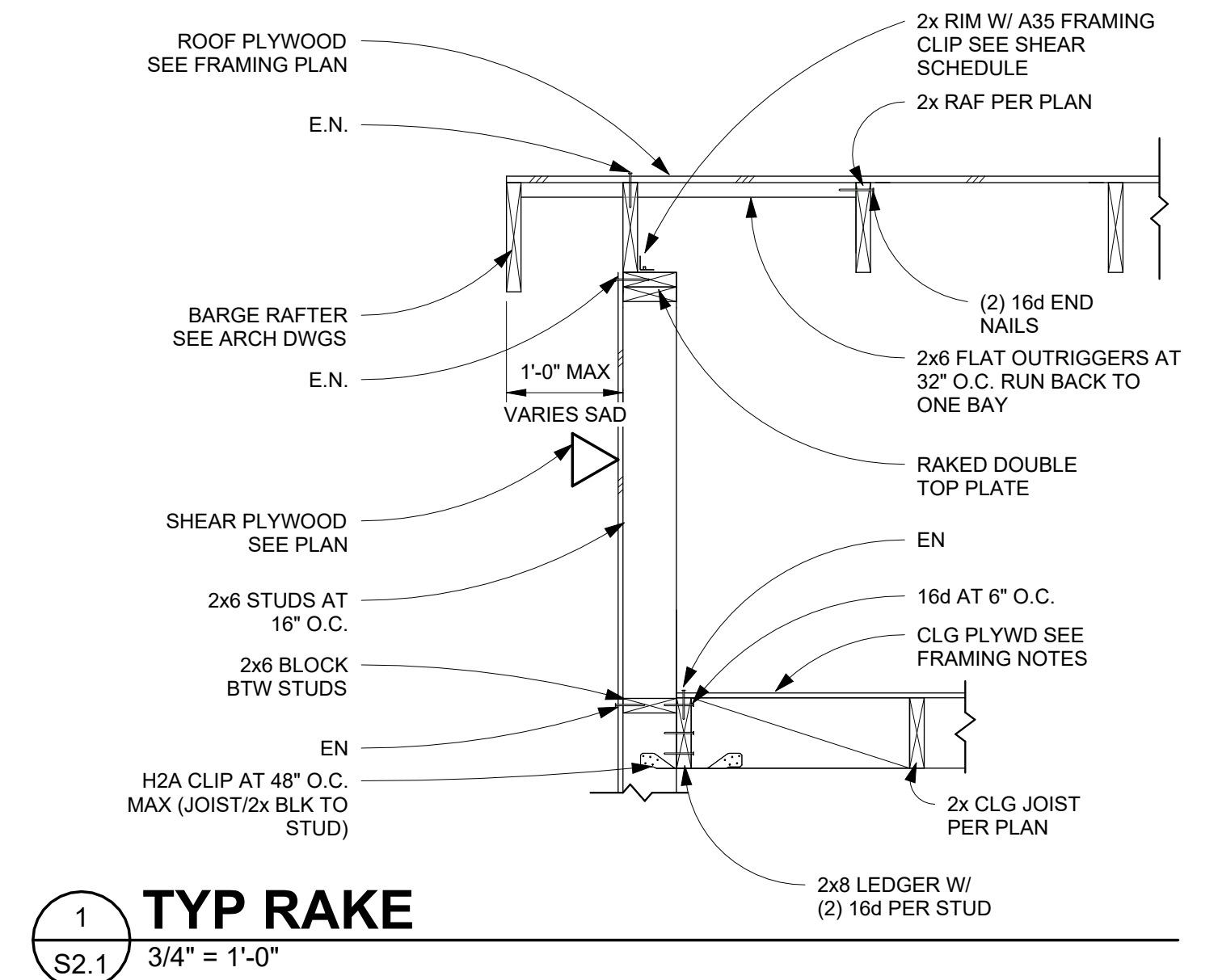
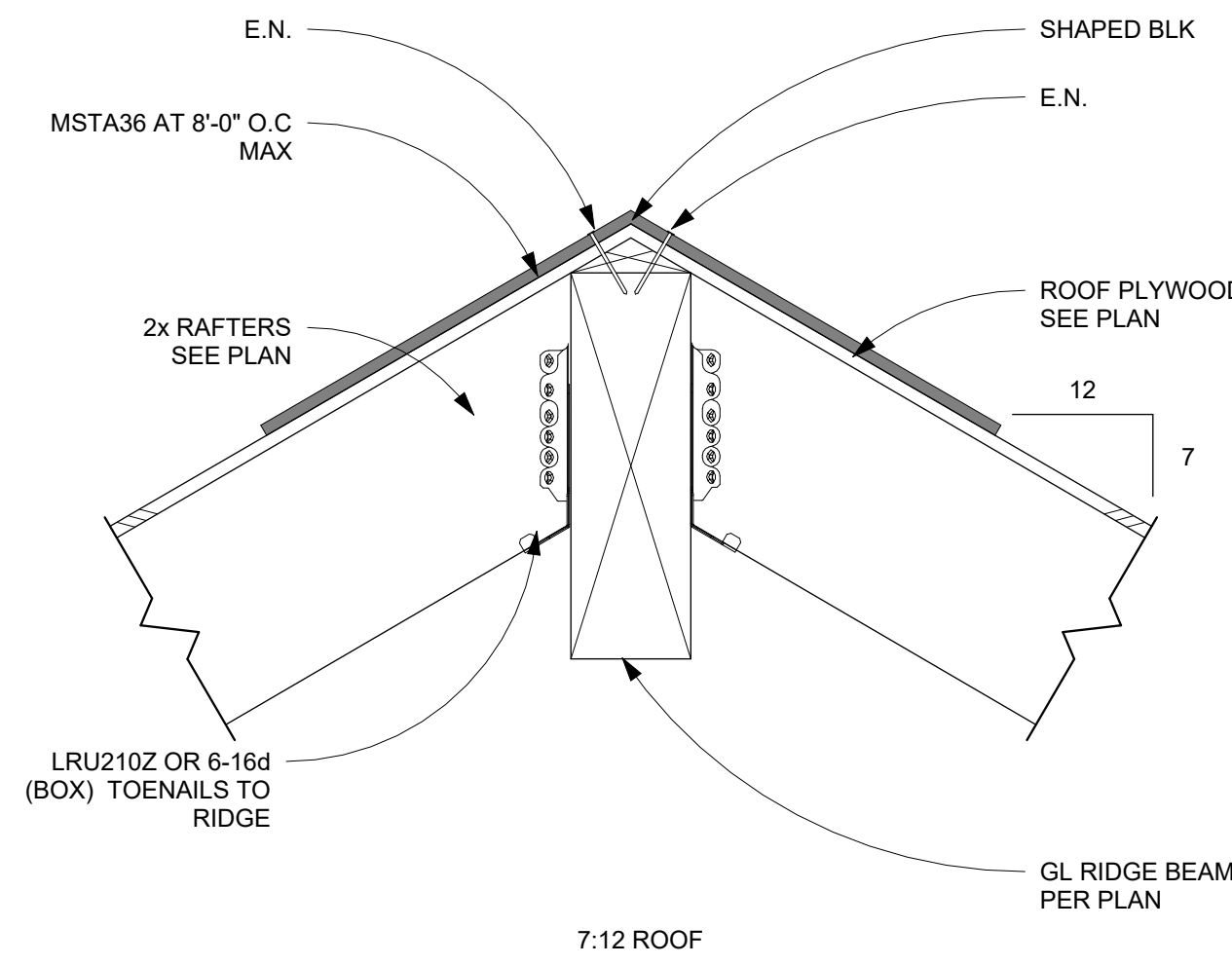
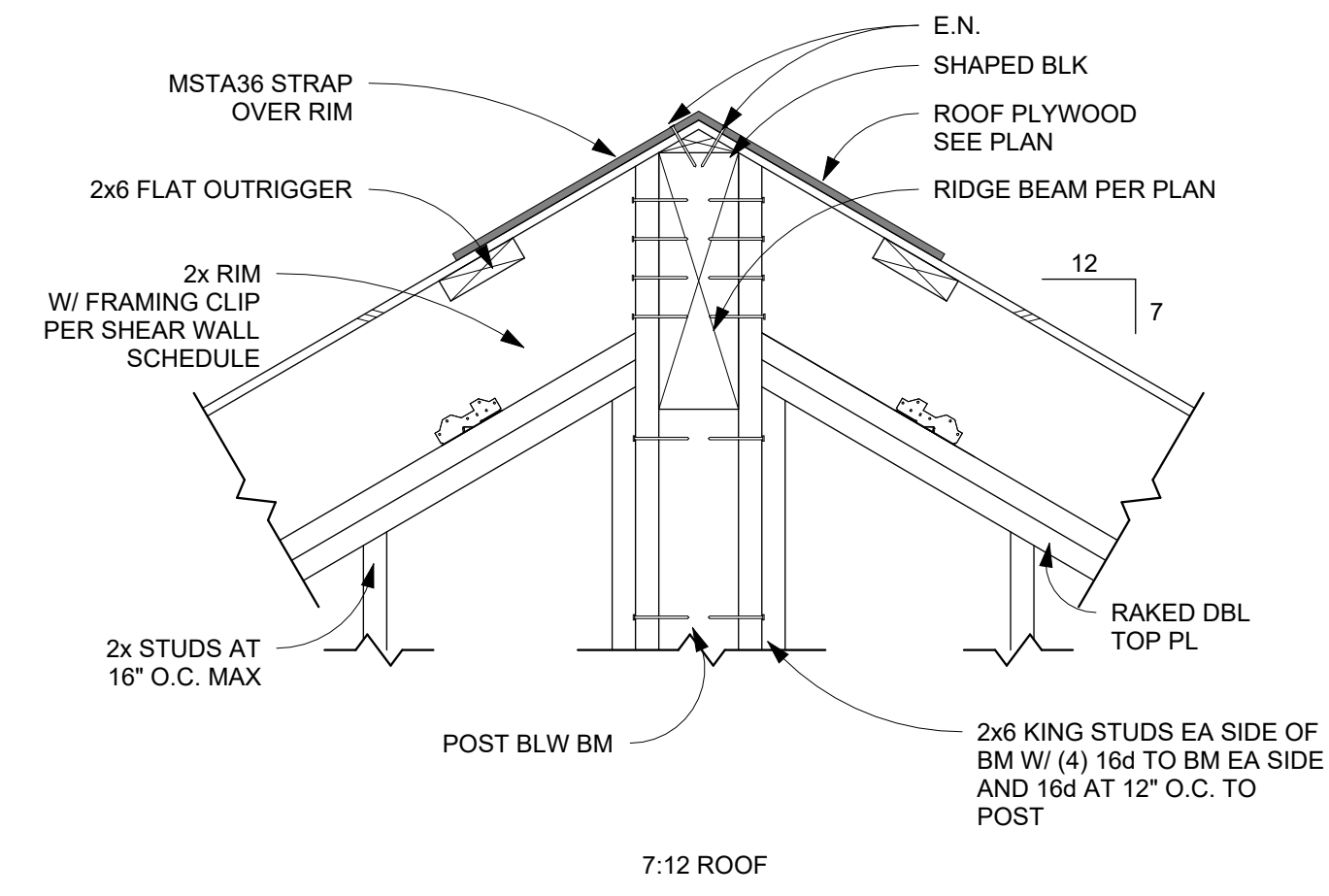


FOUNDATION DETAILS

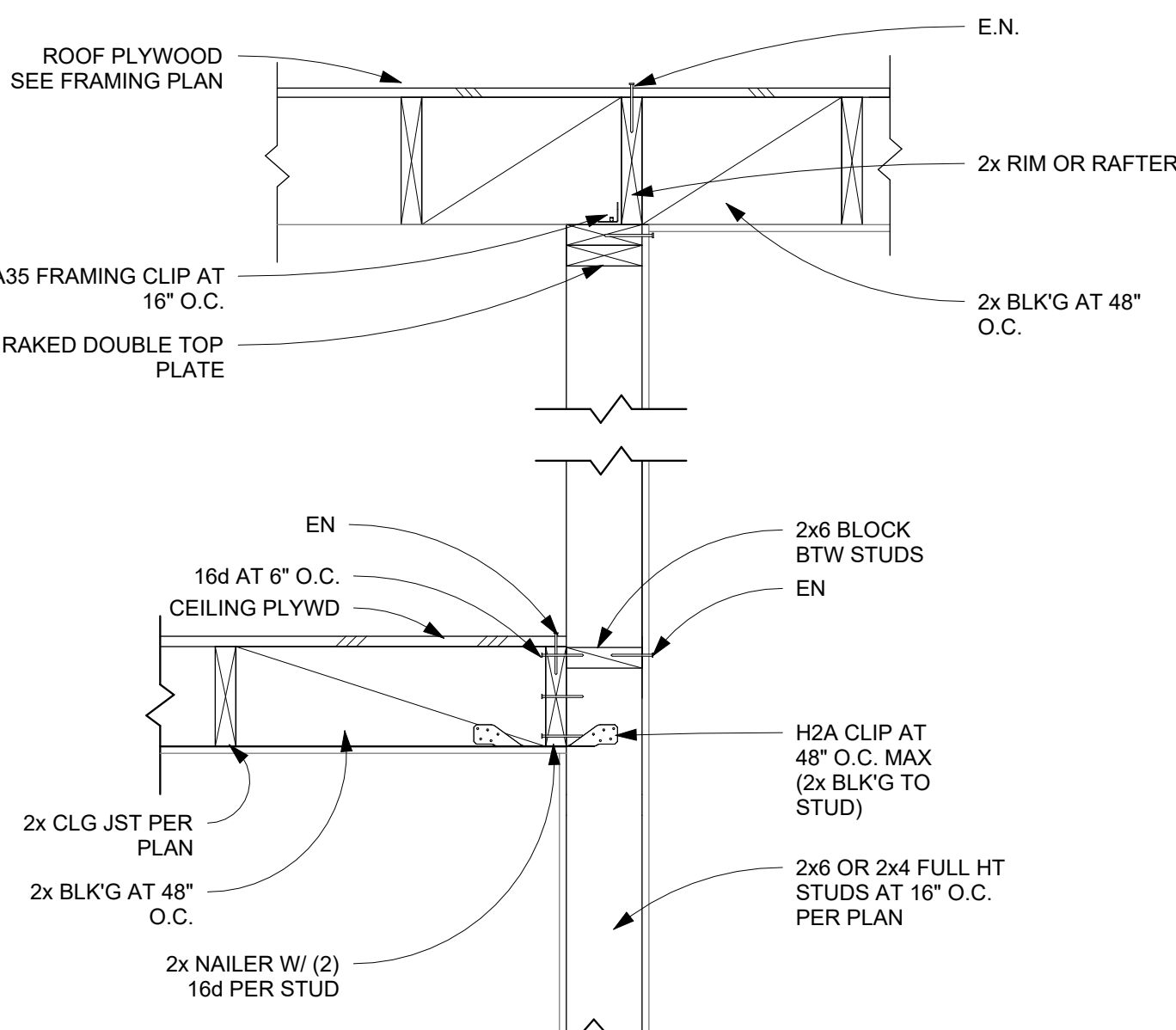
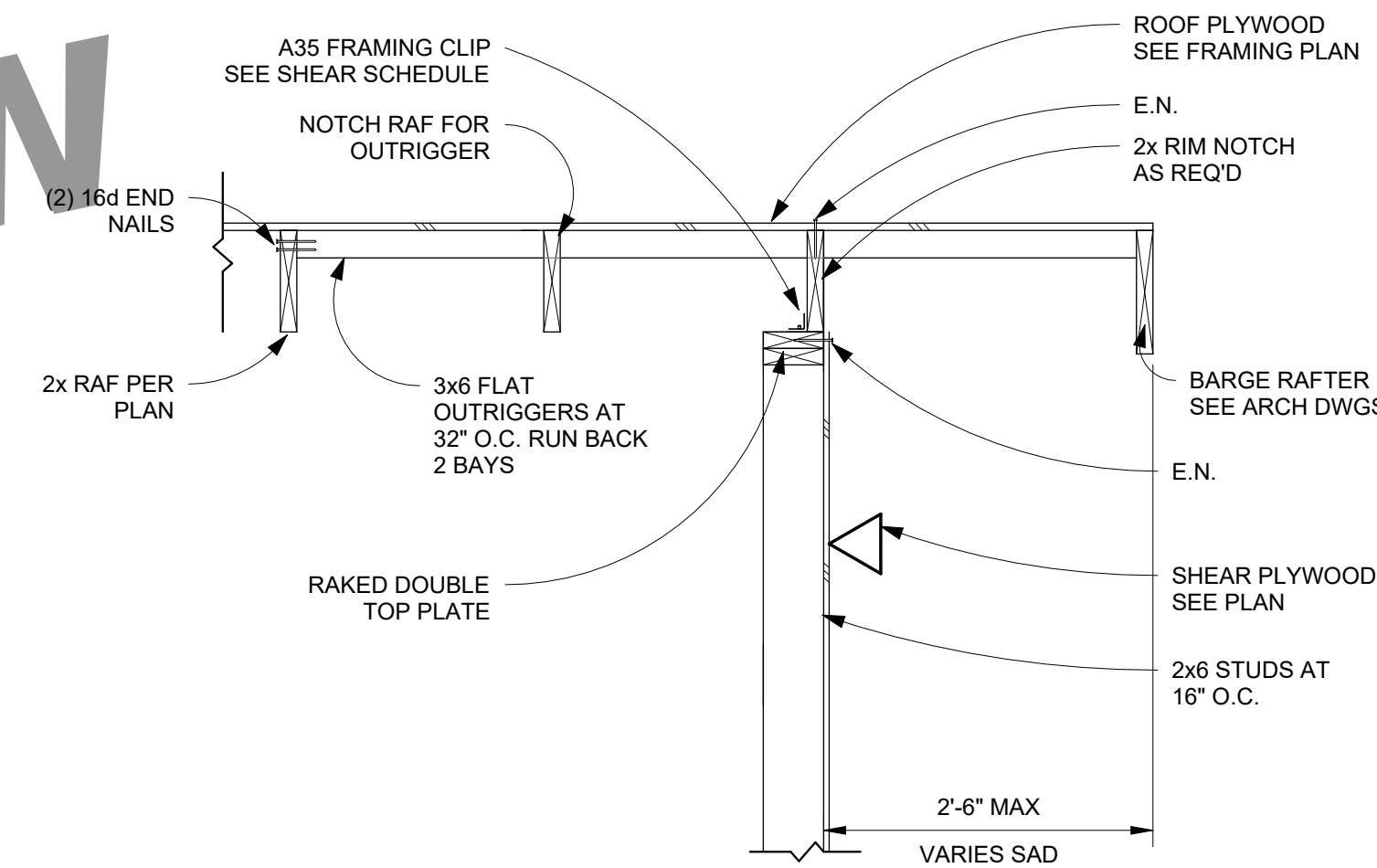
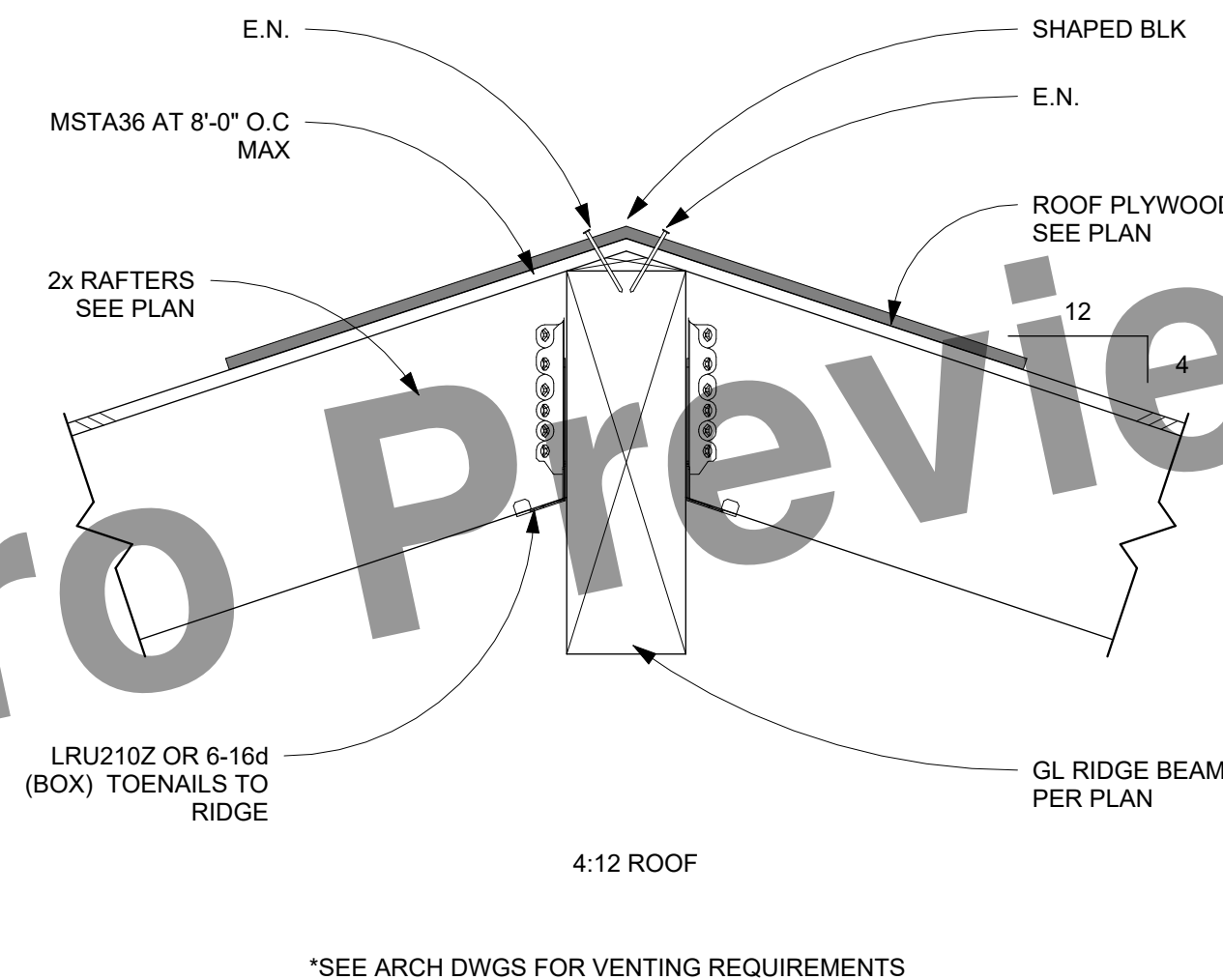
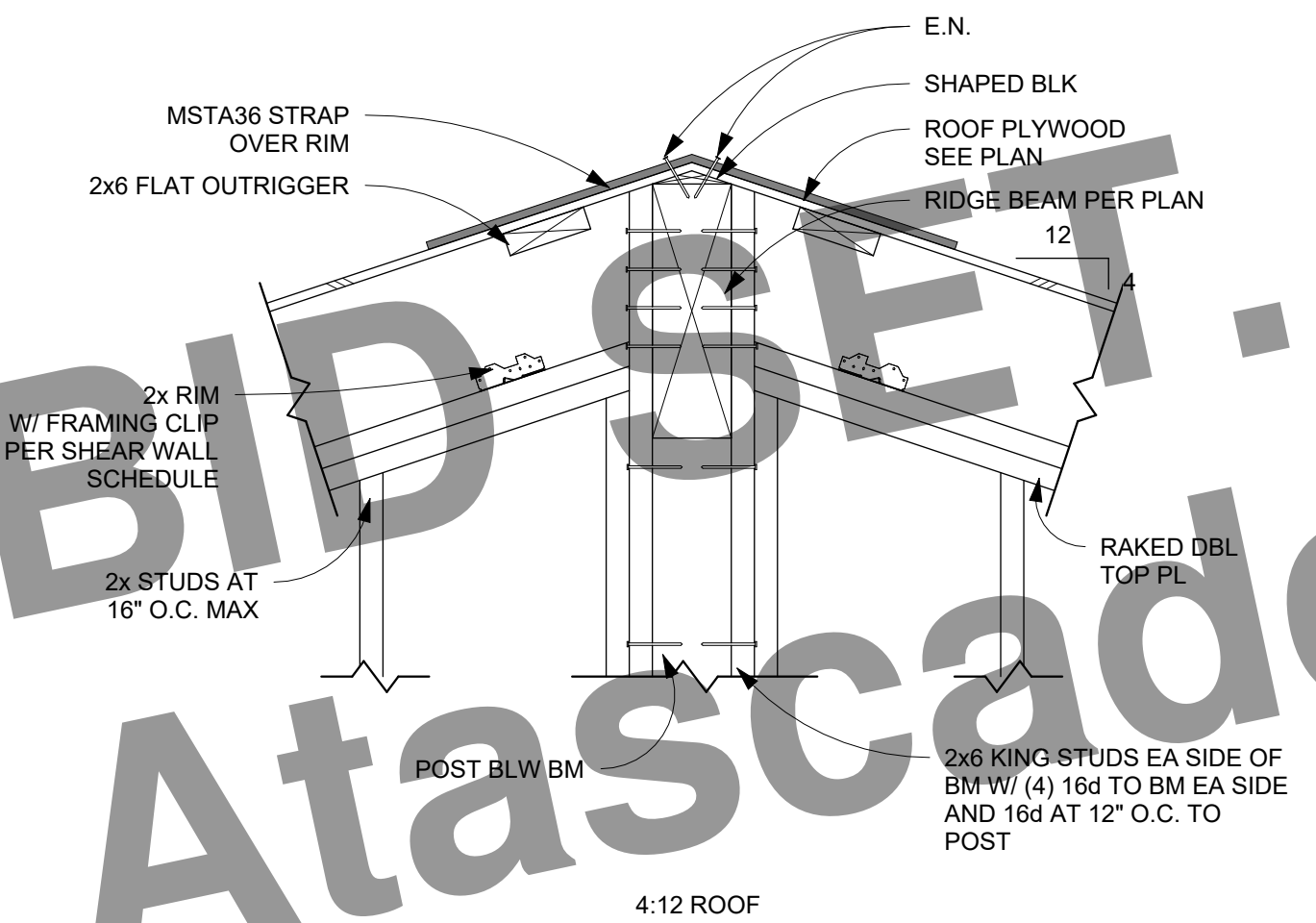
DATE: 11-18-2022
 JOB NO: 21091
 SHEET
S2.0



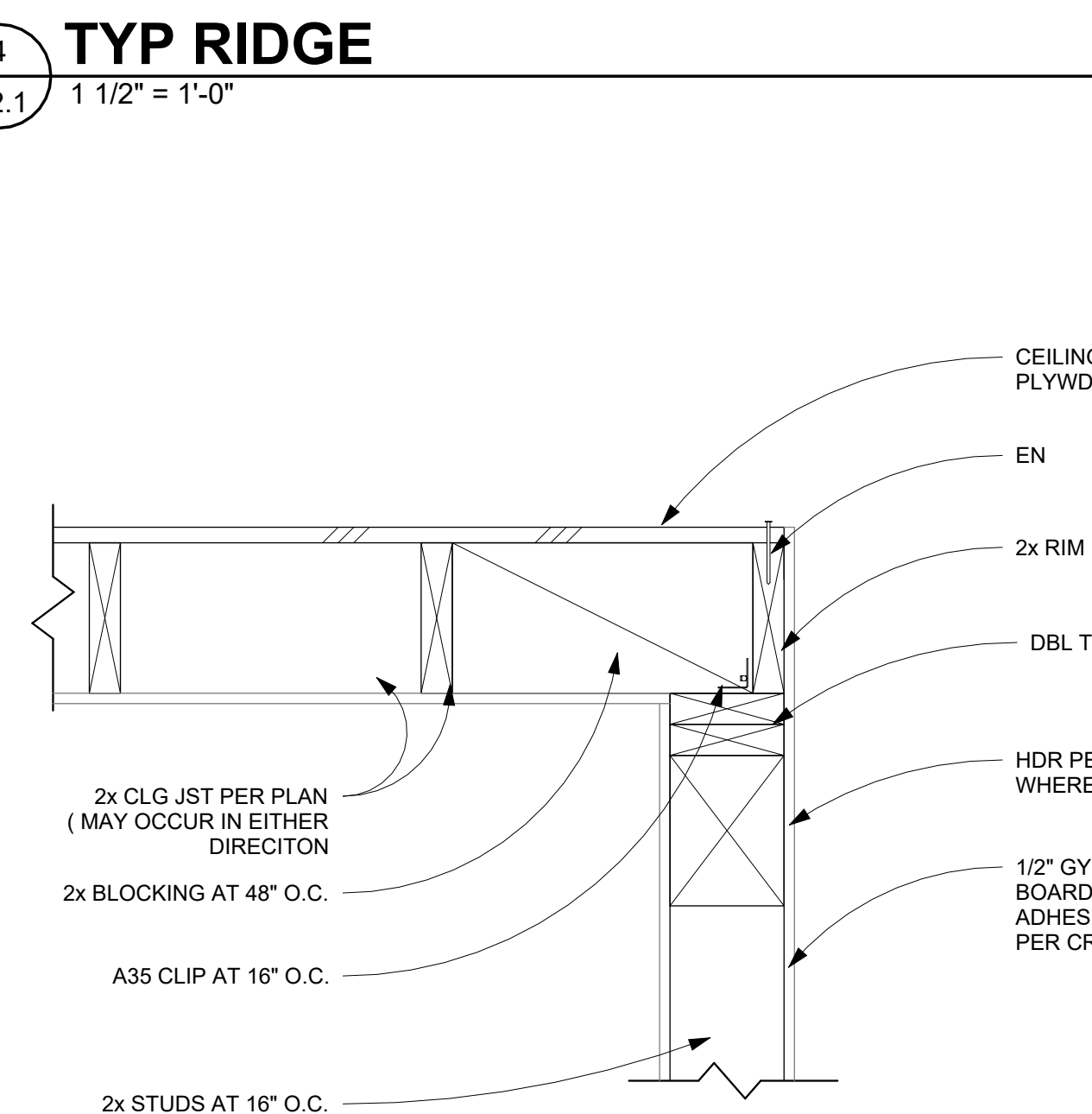
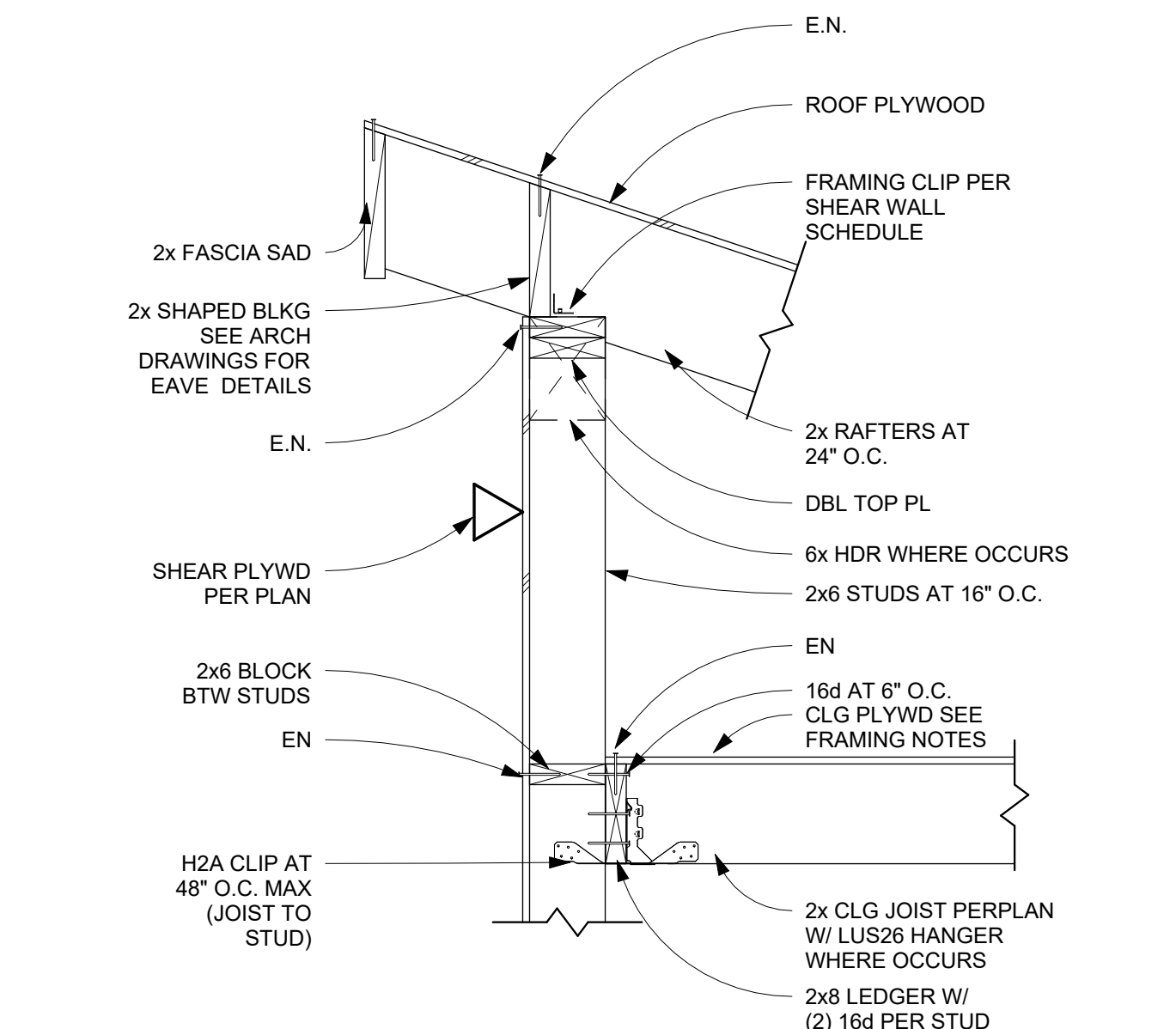
8 EAVE AT PORCH
S2.1 3/4" = 1'-0"



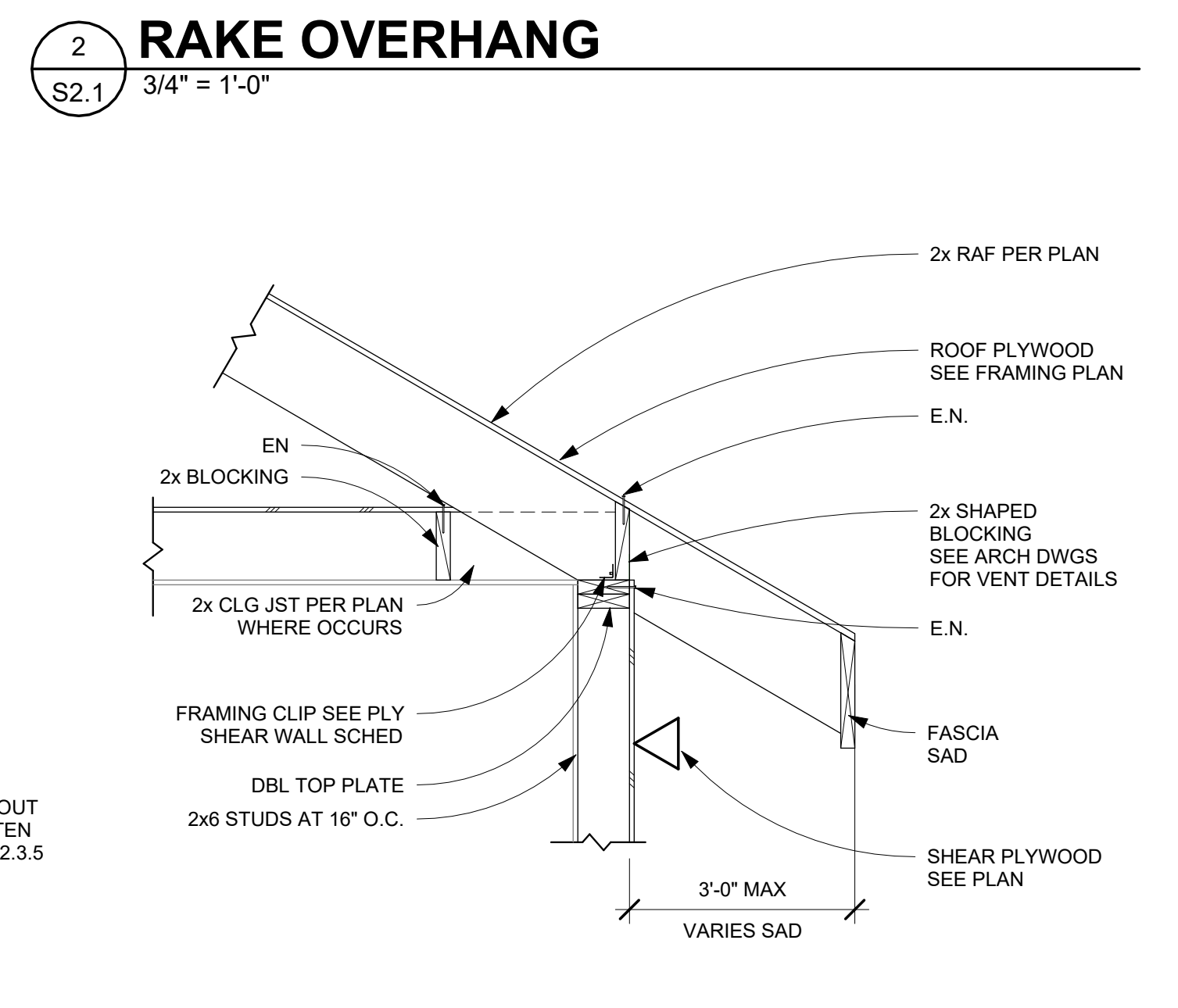
9 MONOSLOPE PEAK AT PORCH
S2.1 1" = 1'-0"



10 INTERIOR BEARING WALL @ CLG/ROOF
S2.1 1" = 1'-0"



5 CEILING EDGE CONNECTION
S2.1 1 1/2" = 1'-0"



3 TYP EAVE
S2.1 3/4" = 1'-0"

City of Atascadero

BID SET. Preview

REV	DATE	BY
1	7-14-23	CT

STRUCTURAL
ENGINEERING
CM Taylor
C.M. Taylor Structural Engineering, Inc. 4246 Capitola Rd. Suite 204, Capitola, CA 95010
Phone: 831-854-2484
email: contact@cmtyaylor.com

CENTRAL COAST STOCK ADU

THESE DRAWINGS ARE PREPARED BY THE ENGINEER AND/OR ARCHITECT IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:
1. THE ENGINEER AND/OR ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT AND/OR OTHER PROFESSIONALS.
2. THE ENGINEER AND/OR ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT AND/OR OTHER PROFESSIONALS.
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ROOF FRAMING DETAILS

DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.1

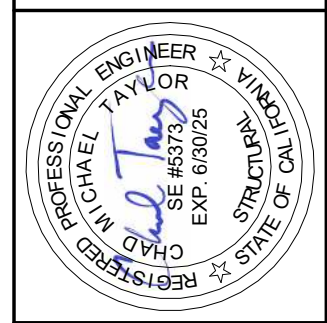
REV	DATE	BY
1	7-14-23	CT

STRUCTURAL
ENGINEERING

CM Taylor

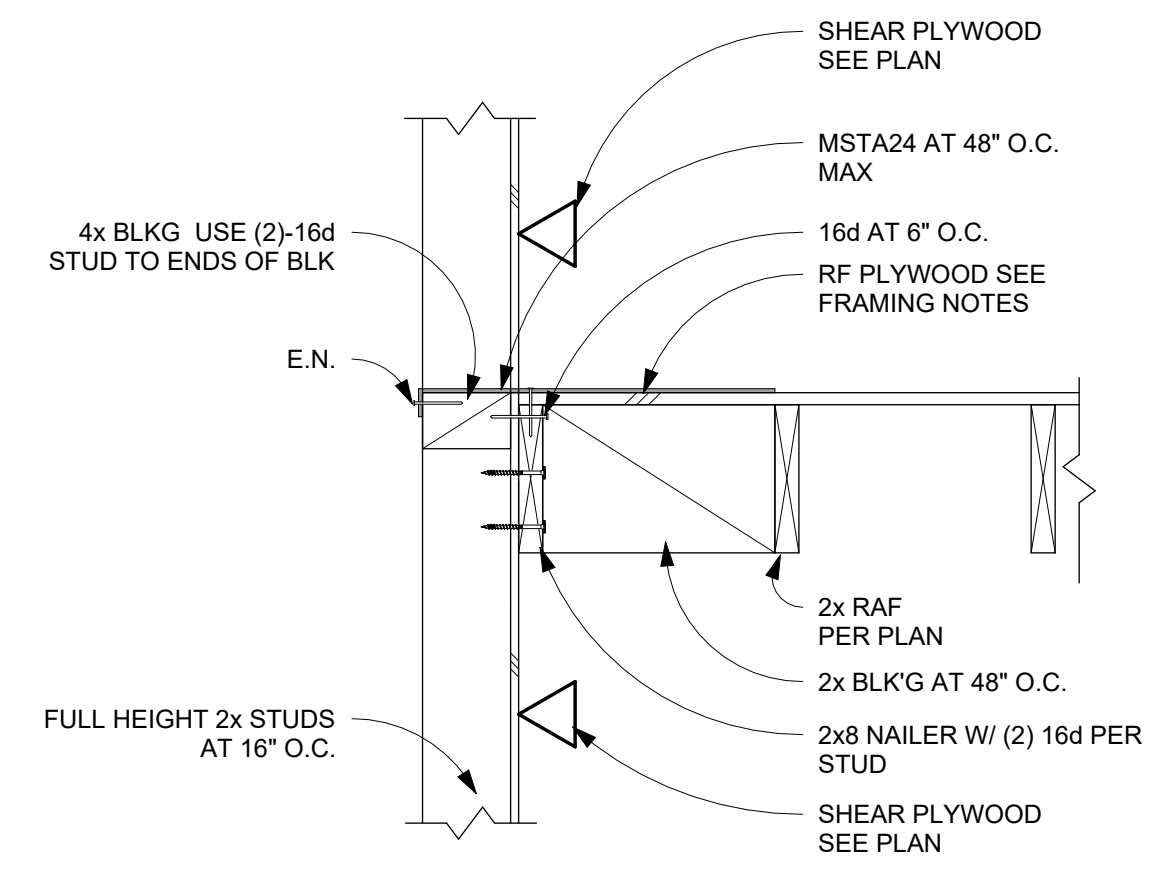
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CENTRAL COAST STOCK ADU

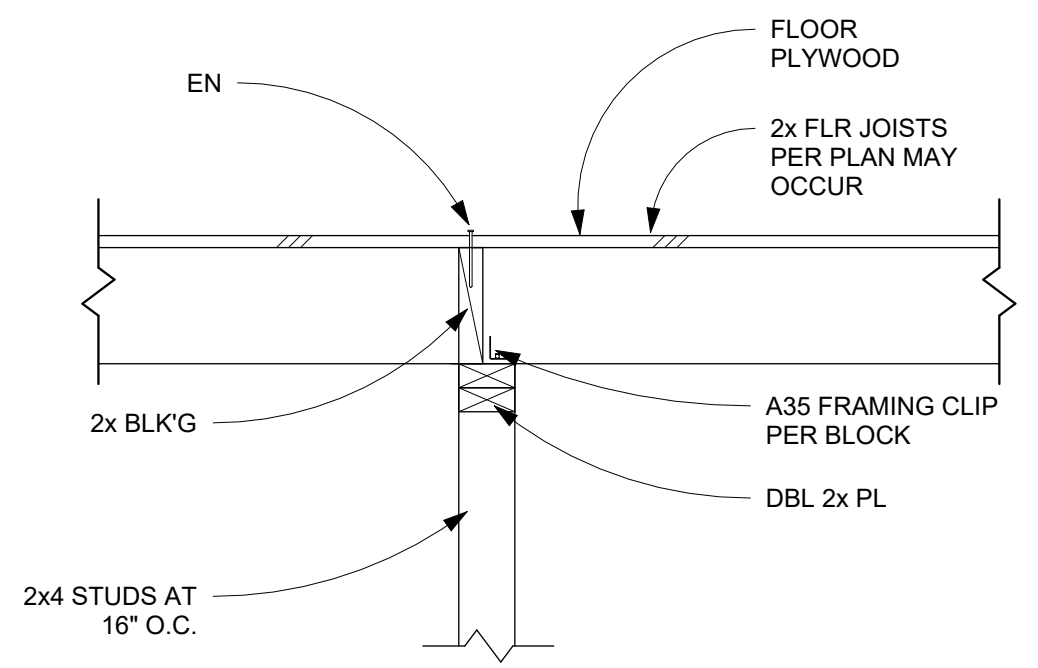


ROOF FRAMING DETAILS
(CONTINUED)

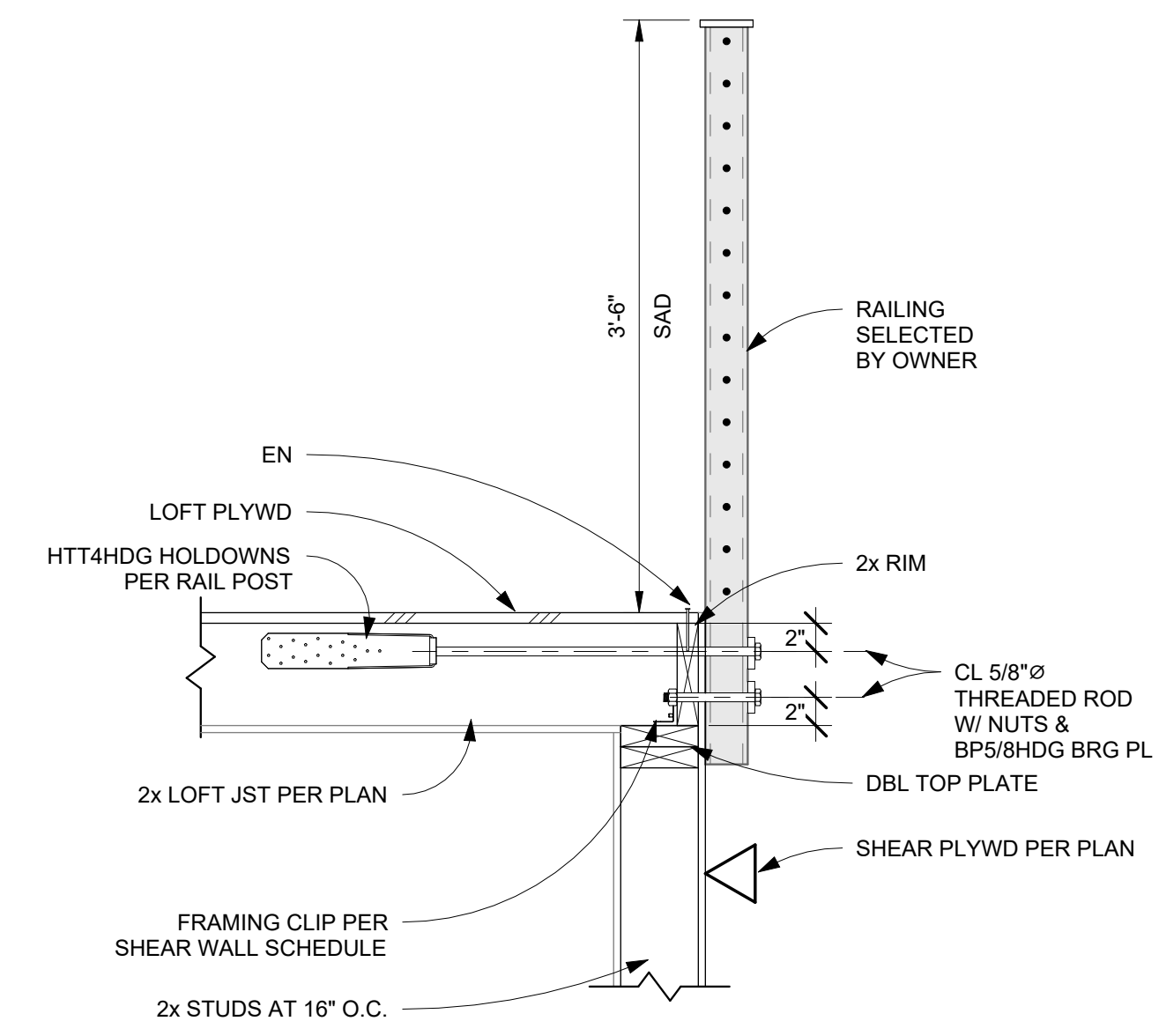
DATE: 11-18-2022
JOB NO: 21091
SHEET
S2.2



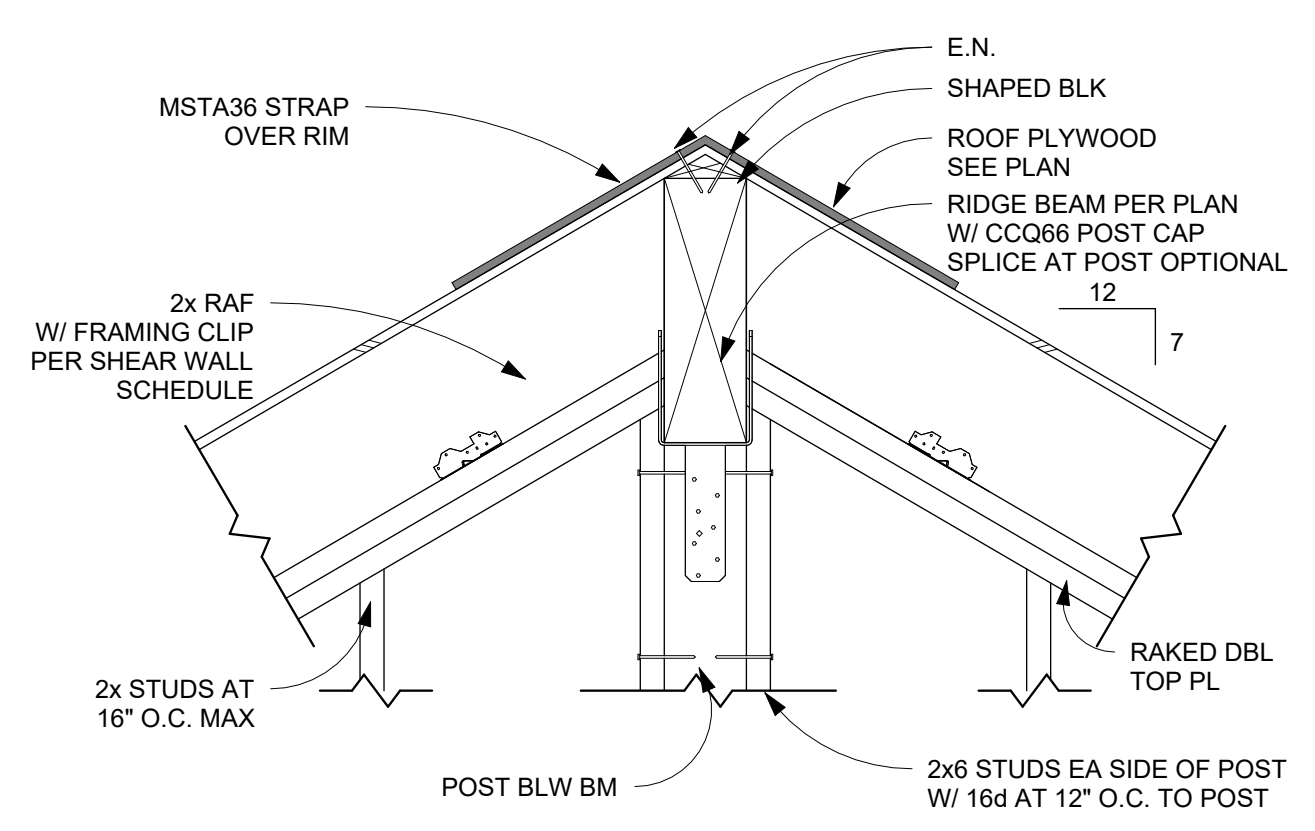
9 LOWER ROOF TO FULL HEIGHT WALL
S2.2 1" = 1'-0"



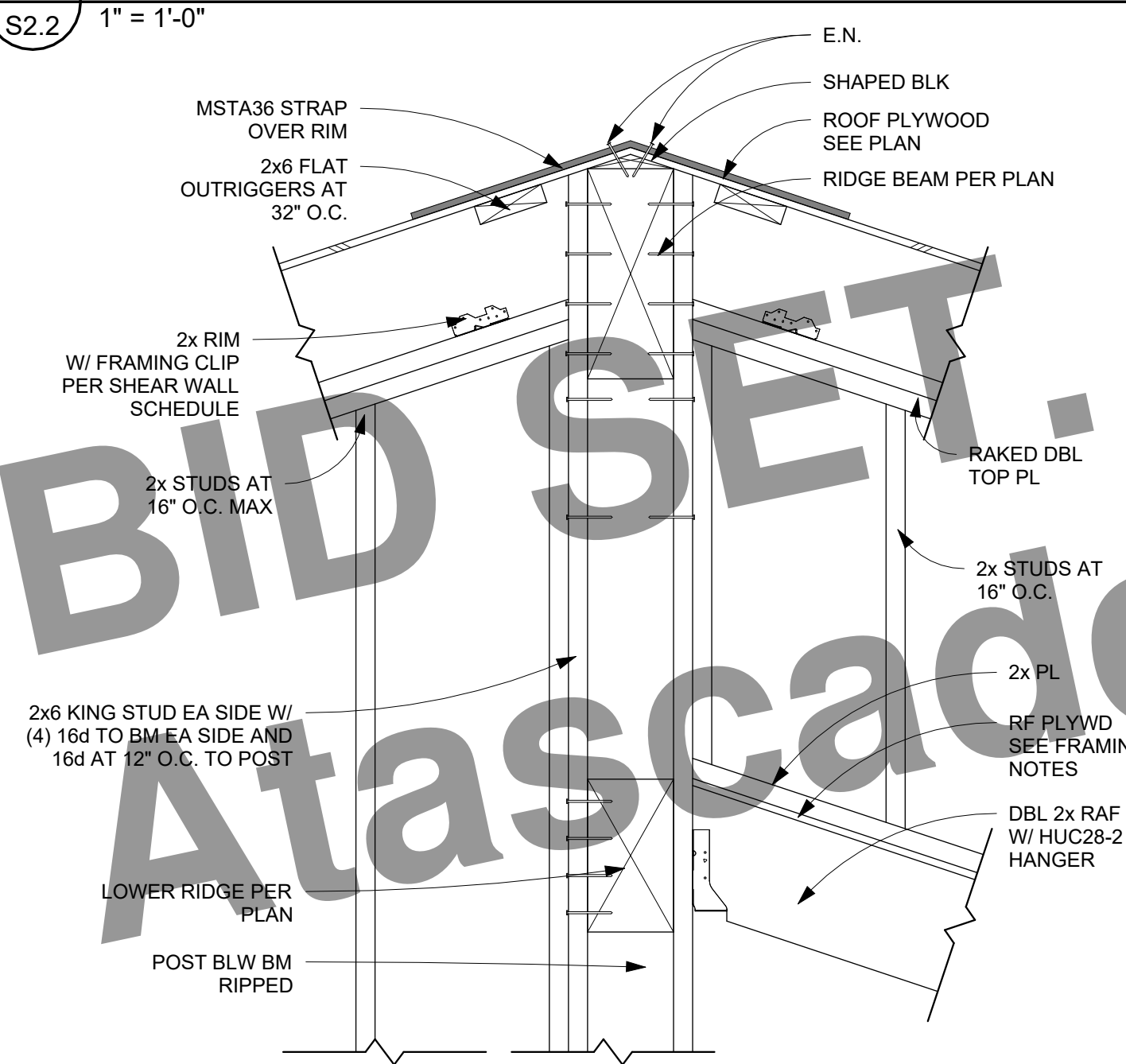
6 FLOOR TO INTERIOR WALL CONN
S2.2 1" = 1'-0"



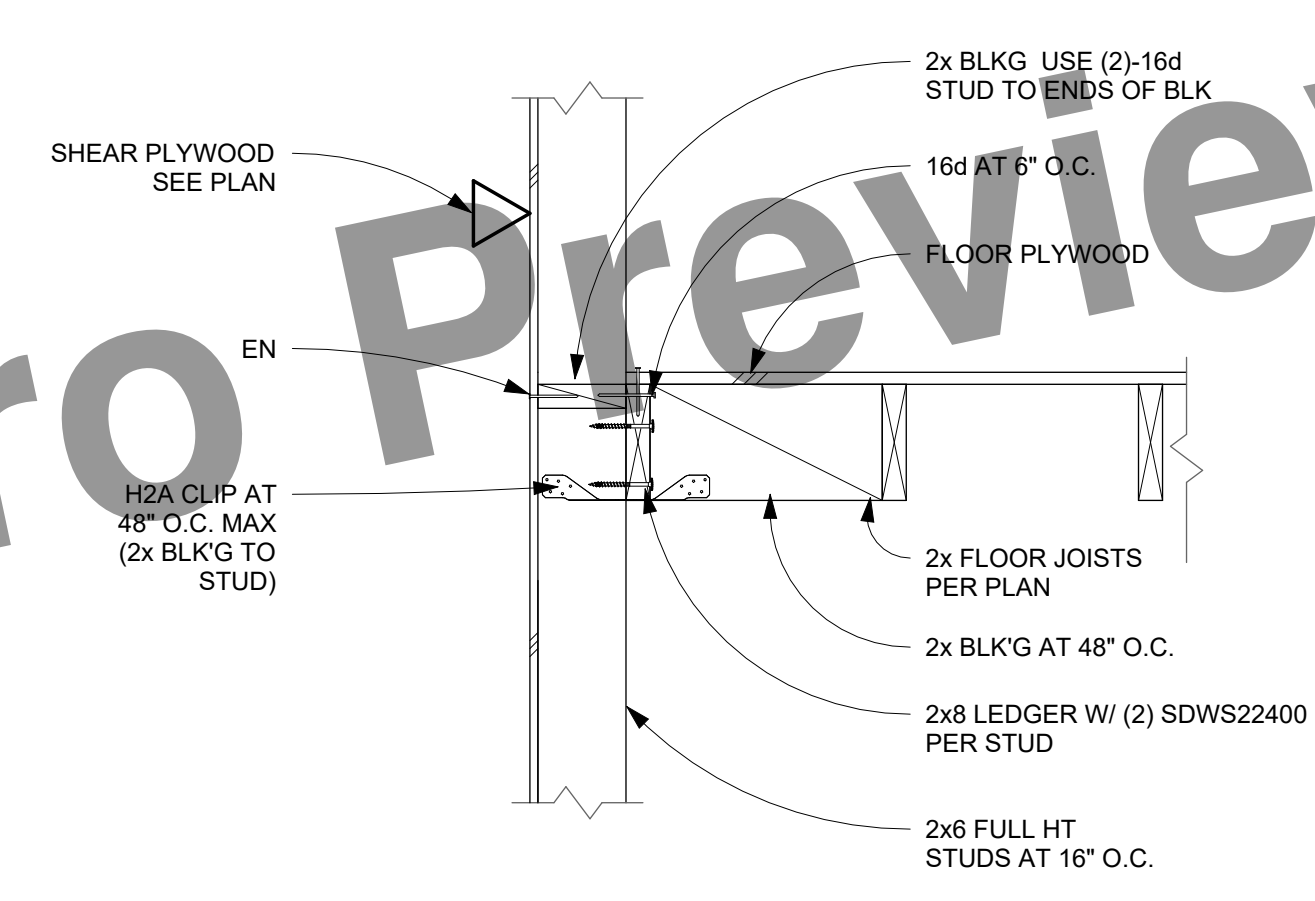
3 LOFT EDGE CONNECTION II
S2.2 1" = 1'-0"



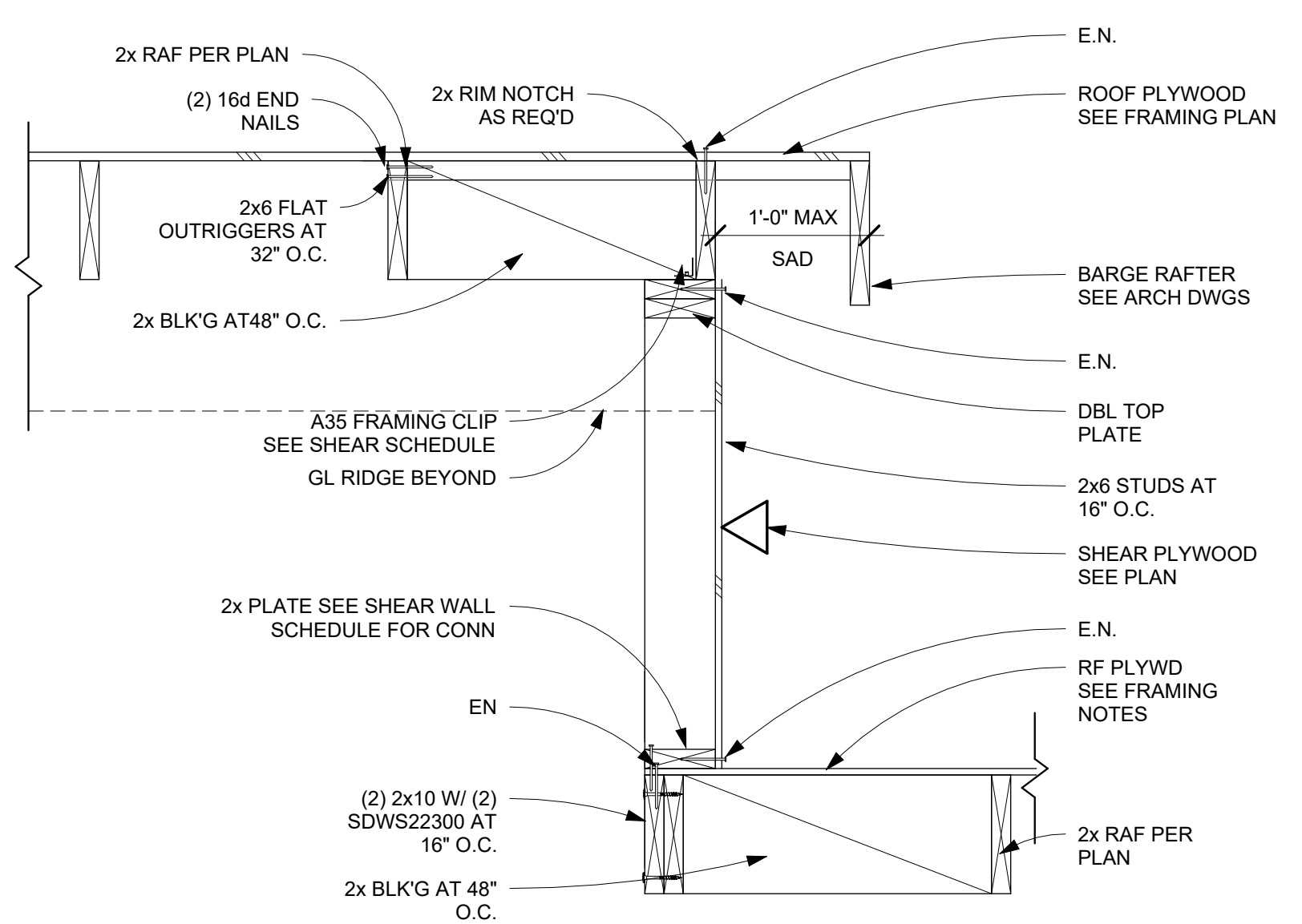
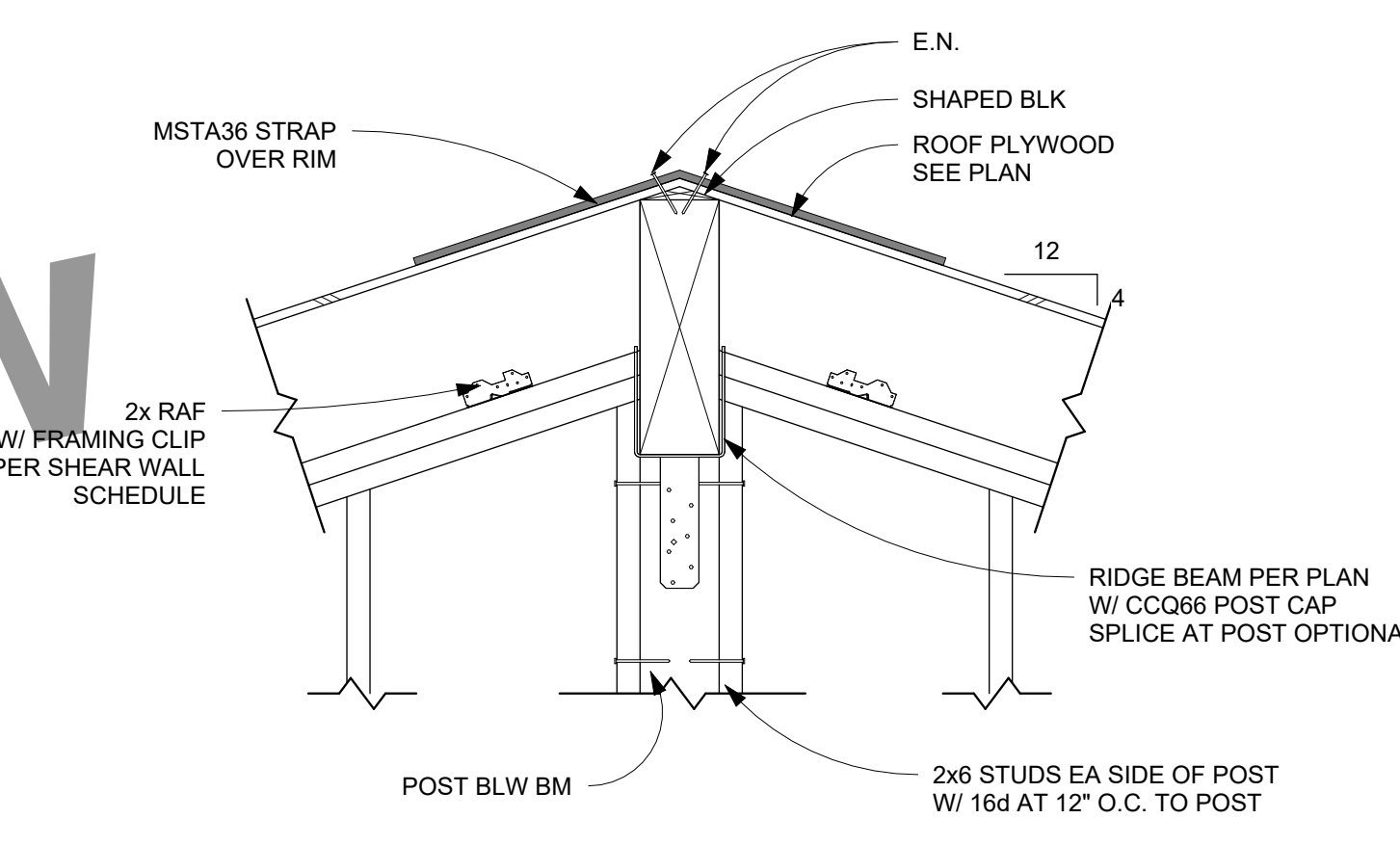
1 RIDGE SPLICE AT INT WALL
S2.2 1" = 1'-0"



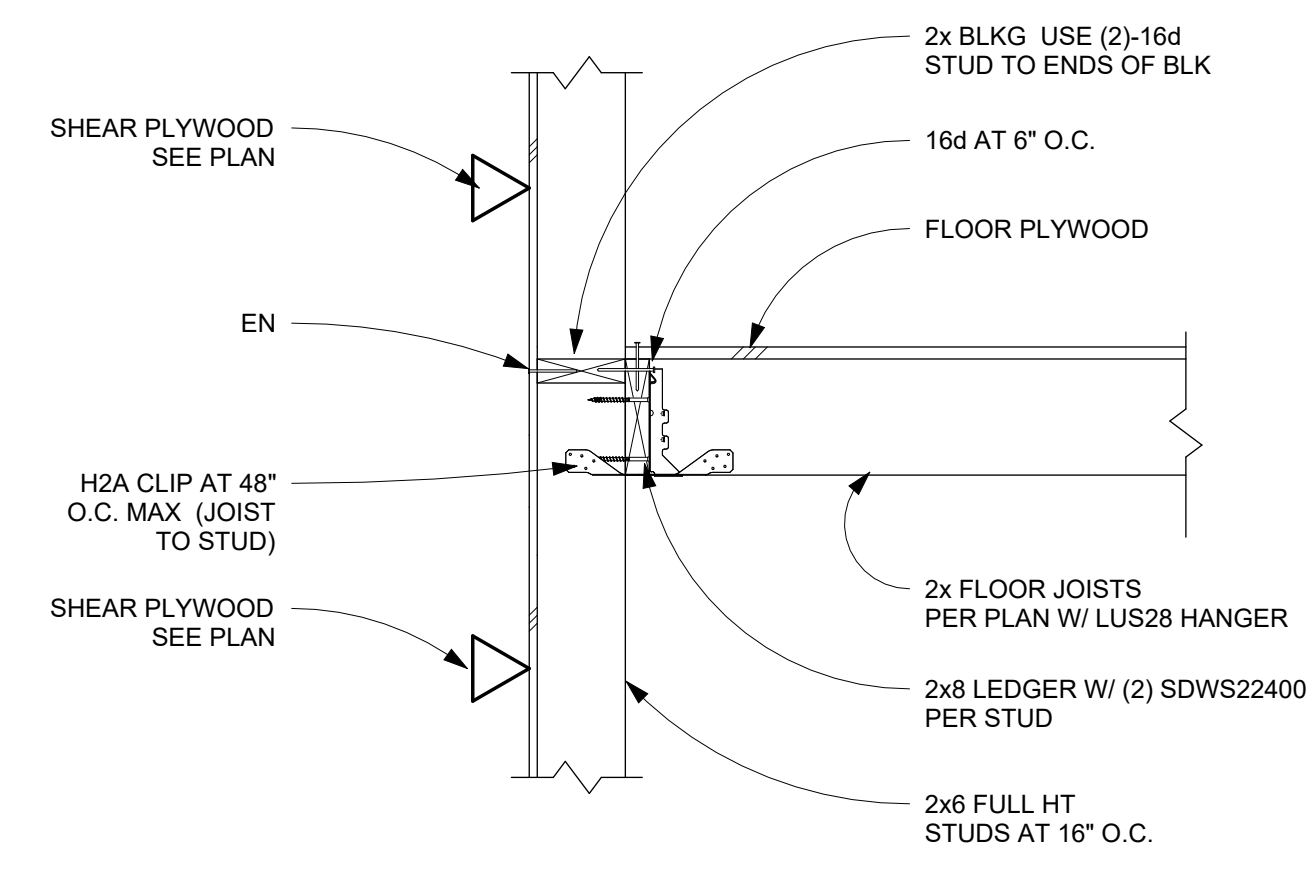
7 DOUBLE RIDGE TO WALL
S2.2 1" = 1'-0"



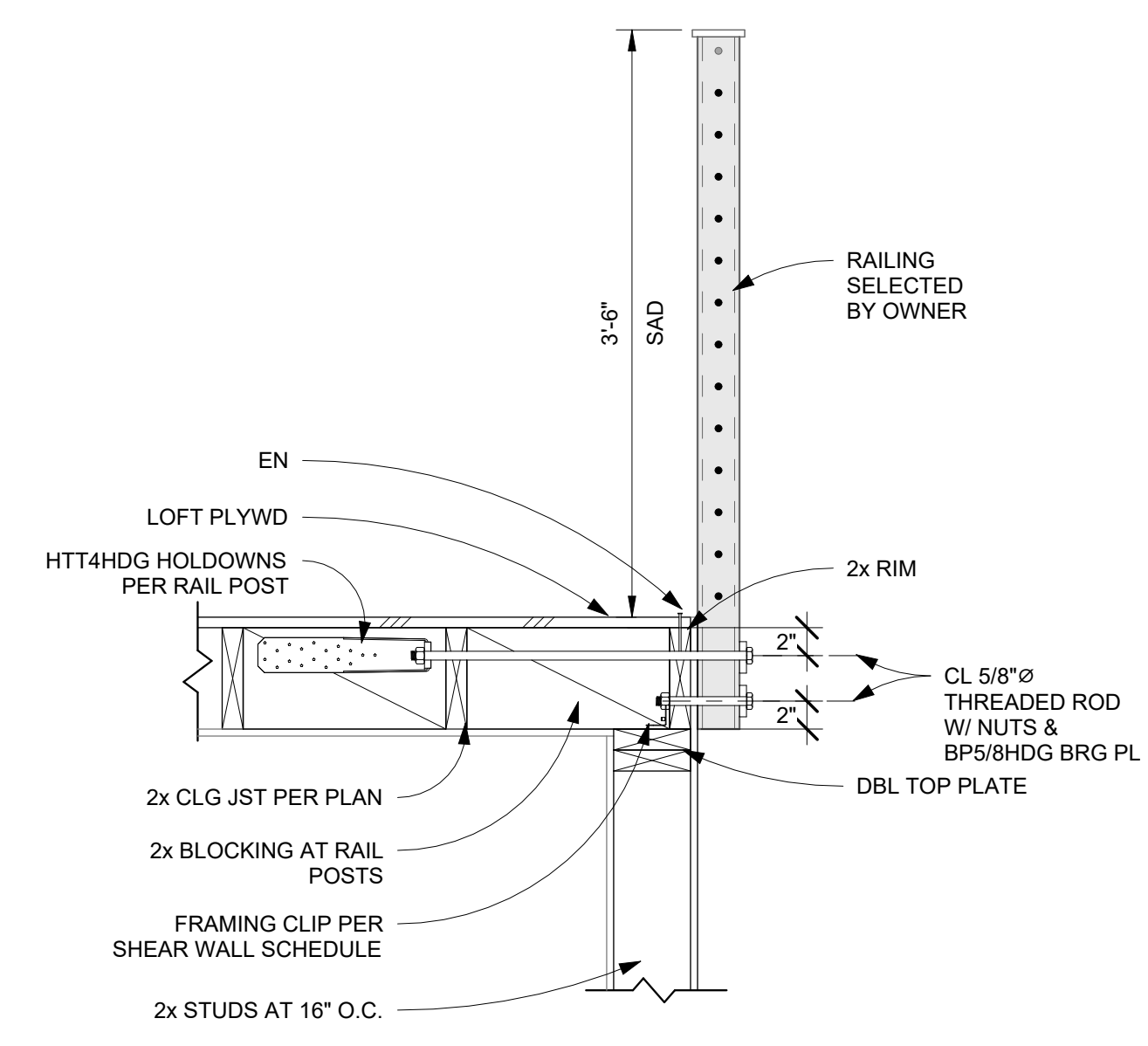
4 LOFT/FLOOR TO WALL CONN
S2.2 1" = 1'-0"



8 RAKE OVERLAP ROOF
S2.2 1" = 1'-0"



5 LOFT/FLOOR TO WALL CONN II
S2.2 1" = 1'-0"



2 LOFT EDGE CONNECTION
S2.2 1" = 1'-0"

BID SET.

City of Atascadero Preview

SYMBOLS & ABBREVIATIONS (MECHANICAL)

	BT	BYPASS TIMER	EC	ELECTRICAL CONTRACTOR
	CL	CENTER LINE	EDB	ENTERING DRY BULB
	CD	CONDENSATE DRAIN	EOD	EXTENT OF DEMOLITION
	DIA	DIAMETER	ETR	EXISTING TO REMAIN
	EWB	ENTERING WET BULB	EWT	ENTERING WATER TEMPERATURE
	F	DEGREES FAHRENHEIT	FC	FLEXIBLE CONNECTION
	FD	FIRE DAMPER	FLA	FULL LOAD AMPS
	FSD	FIRE SMOKE DAMPER	FT.HD.	FEET HEAD
	FTR	FLUE THRU ROOF	GC	GENERAL CONTRACTOR
	GPM	GALLONS PER MINUTE	HP	HORSE POWER
	KW	KILOWATTS	LBS	POUNDS
	LWT	LEAVING WATER TEMPERATURE	MC	MECHANICAL CONTRACTOR
	MBH	1,000 BTU/HR	(N)	NEW
	MC	MECHANICAL CONTRACTOR	NC	NOT IN CONTRACT
	NTS	NOT TO SCALE	OBD	OPPOSED BLADE DAMPER
	OSA	OUTSIDE AIR	OSA	OUTSIDE AIR
	PC	PLUMBING CONTRACTOR	PENE	PENETRATION
	PD	PRESSURE DROP	PH	PHASE
	POC	POINT OF CONNECTION	P/N	PART NUMBER
	PRV	PRESSURE REDUCING VALVE	PSI	POUNDS PER SQUARE INCH
	PSI	POUNDS PER SQUARE INCH	P/T	PRESSURE / TEMPERATURE
	RA	RETURN AIR	RA	RETURN AIR
	RAD	RETURN AIR DUCT	(RL)	RELOCATE
	RPM	REVOLUTIONS PER MINUTE	SA	SUPPLY AIR
	SA	SUPPLY AIR	SAD	SUPPLY AIR DUCT
	SD	SUPPLY DIFFUSER	SD	SUPPLY DIFFUSER
	SP	STATIC PRESSURE	SS	STAINLESS STEEL
	STD	STANDARD	STD	STANDARD
	TV	TURNING VANES	TYP	TYPICAL
	UCD	UNDERCUT DOOR	UON	UNLESS OTHERWISE NOTED
	V	VOLT	VD	VOLUME DAMPER
	VIF	VERIFY IN FIELD	W	WITH
	WC	WATER COLUMN	WT	WEIGHT
	W	WITH	W/O	WITH OUT
	WSP	WET STANDPIPE (EXISTING)		
	WSP	WET STANDPIPE (NEW)		
	WHA	WATERHAMMER ARRESTOR (WHA)		
	TP	TRAP PRIMER (TP)		

GENERAL MECHANICAL NOTES

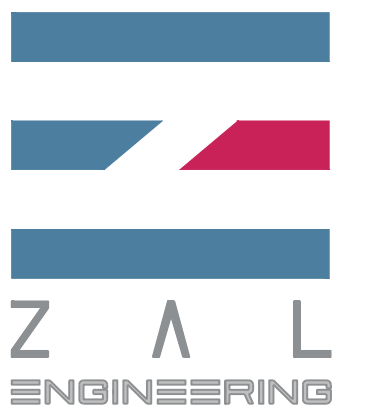
- ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
- LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
- LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
- DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
- MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
- ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
- REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BUILD ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2019 EDITION OF THE TITLE 24 CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24 CCR, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
- ATTACHMENTS OF EQUIPMENT WEIGHING LESS THAN 400 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE OR TEMPORARY OR MOVABLE EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY VIBRATION ISOLATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED ON THE PLANS (SEE TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE ANCHORAGE SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. THE INSPECTOR OF RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
- DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED FLAT BLACK.
- INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARD PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 118 CEC.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123, 124 CEC, AND TABLE E 503.7.1 (9)(10)(11) OF MECHANICAL CODE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, AND 120-129 CEC.

SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK	AP	ACCESS PANEL
	BALL VALVE	BV	BALL VALVE
	CAP	CA	COMPRESSED AIR PIPING
	CHECK VALVE	CB	CATCH BASIN
	CLEANOUT	CD	CONDENSATE
	DOMESTIC COLD WATER (EXISTING)	CFH	CUBIC FEET PER HOUR
	DOMESTIC COLD WATER (NEW)	CI	CAST IRON
	DOMESTIC HOT WATER (EXISTING)	CP	CHROME PLATED
	DOMESTIC HOT WATER (NEW)	DCW	DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (EXISTING)	DHW	DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN (NEW)	DHW/R	DOMESTIC HOT WATER RETURN
	DIRECTION OF FLOW	DCV	DETECTOR CHECK VALVE
	DRY STANDPIPE	DN	DOWN
	FIRE SPRINKLER PIPING	DS	DOWN SPOUT
	FLANGED UNION	DSP	DRY STAND PIPE
	FLOOR DRAIN	(E)	EXISTING
	FLOOR SINK	EC	ELECTRICAL CONTRACTOR
	FORCE MAIN	EL	ELEVATION
	GAS PIPING (EXISTING)	(F)	FIRE SPRINKLER PIPING
	GAS PIPING (NEW)	FC	FLEX CONNECTOR
	GAS COCK	FCO	FLOOR CLEANOUT
	GATE VALVE	FD	FLOOR DRAIN
	GLOBE VALVE	FL	FIRE LINE
	HOSE BIBB (3/4" MIN.)	FM	FORCE MAIN
	PETES PLUG	FS	FLOOR SINK
	PIPE (ABOVE THE CEILING)	FSC	FIRE SPRINKLER CONTRACTOR
	PIPE HANGER	GC	GENERAL CONTRACTOR
	PIPE TURNING UP (RISE)	GCO	GROUND CLEANOUT
	PIPE TURNING DOWN (DROP)	GPM	GALLONS PER MINUTE
	PIPE TEE DOWN	HB	HOSE BIBB
	PRESSURE REDUCING VALVE	HWS	HOT WATER SUPPLY
	T & P RELIEF VALVE	IE	INVERT ELEVATION
	POINT OF CONNECTION TO EXISTING	LAV	LAVATORY
	RAIN WATER LEADER (EXISTING)	MC	MECHANICAL CONTRACTOR
	RAIN WATER LEADER	NPW	NON POTABLE WATER
	REDUCER	(N)	NEW
	ROOF DRAIN	OFD	OVERFLOW DRAIN
	STORM DRAIN (EXISTING)	PC	PLUMBING CONTRACTOR
	STORM DRAIN (NEW)	PIC	POST INDICATION VALVE
	STRAINER	POC	POINT OF CONNECTION
	SUB-SOIL PIPING	POD	POINT OF DEMOLITION
	UNION	PP	PETES PLUG
	VENT PIPING (EXISTING)	PRV	PRESSURE REDUCING VALVE
	VENT PIPING (NEW)	PVC	POLYVINYL CHLORIDE PIPE
	WASTE PIPING (EXISTING)	RD	ROOF DRAIN
	(N) WASTE PIPING (NEW)	RPB/PF	BACKFLOW PREVENTOR REDUCED PRESSURE
	WASTE PIPING - UNDERGROUND (NEW)	RWL	RAIN WATER LEADER
	WET STANDPIPE (EXISTING)	SD	STORM DRAIN
	WET STANDPIPE (NEW)	SOV	SHUTOFF VALVE
	WATERHAMMER ARRESTOR (WHA)	SS	SANITARY SEWER
	TRAP PRIMER (TP)	TP	TRAP PRIMER
		V	VENT
		VB	VALVE BOX
		VIF	VERIFY IN FIELD
		VTR	VENT THRU ROOF
		W	WASTE
		WC	WATER CLOSET
		WCO	WALL CLEANOUT
		WH	WATER HEATER
		WHA	WATER HAMMER ARRESTOR
		WM	WATER METER

GENERAL PLUMBING NOTES

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- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
- PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
- COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
- MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
- PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
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- FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
- ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
- ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 95040
TELEPHONE (831) 641-7799
JOB NO. 22002.00



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

GENERAL NOTES
MECHANICAL & PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

MPO. 1

SHEET OF

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BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

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OUTDOOR UNIT												
CODE	MFR.	MODEL	EFFICIENCY SEER	REFR	V/PH	MCA	MOCP	WT. (LBS)	HT. W/O LEVELING	CRTS.	EQUIP. SERVED	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA2	20	R410A	208/1	17.2	20	126	27-1/5/16	TSTAT.	IU-1	
OU-2	MITSUBISHI	MXZ-3C24NA2	20	R410A	208/1	22.1	25	135	31-1/32	TSTAT.	IU-1,2	
OU-3	MITSUBISHI	MXZ-4C36NAH2	19.1	R410A	208/1	42	45	278	52-1/16	TSTAT.	IU-1,2	

INDOOR UNIT SCHEDULE																				
CODE	MFR.	MODEL	SUPPLY FAN			ELECTRICAL				COOLING COIL				HEATING COIL			HT W/O LEVELING	WEIGHT (LBS)	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOCP	EAT °F DB	°F WB	LAT	CAPACITY (MBH)	SENS	EAT °F DB	LAT	CAP				
IU-1	MITSUBISHI	MSZ-GLO9NA	240	--	30W	208/1	I	15	78	69	55	9.0	7.4	68	105	10.9	11-5/8	22	MULTIPLE	
IU-2	MITSUBISHI	MSZ-GLO6NA	240	--	30W	208/1	I	15	78	69	55	6.0	4.9	68	105	7.2	11-5/8	22	MULTIPLE	I

NOTES: 1. PROVIDE CONDENSATE PUMP. RUN CD # DISCHARGE IN APPROVED LOCATION.

EXHAUST FAN SCHEDULE													
CODE	MFR.	MODEL	CFM	ESP (in)	RPM	BHP	MOTOR HP	V/PH	HT. W/O ISOLATORS	WEIGHT (LBS)	AREAS SERVED	SONES	COMMENTS
EF-1	PANASONIC	FV-051VFC1	80	0.25	1142	9.4W	10W	115/1	7	9.5	BATHROOMS	0.8	I

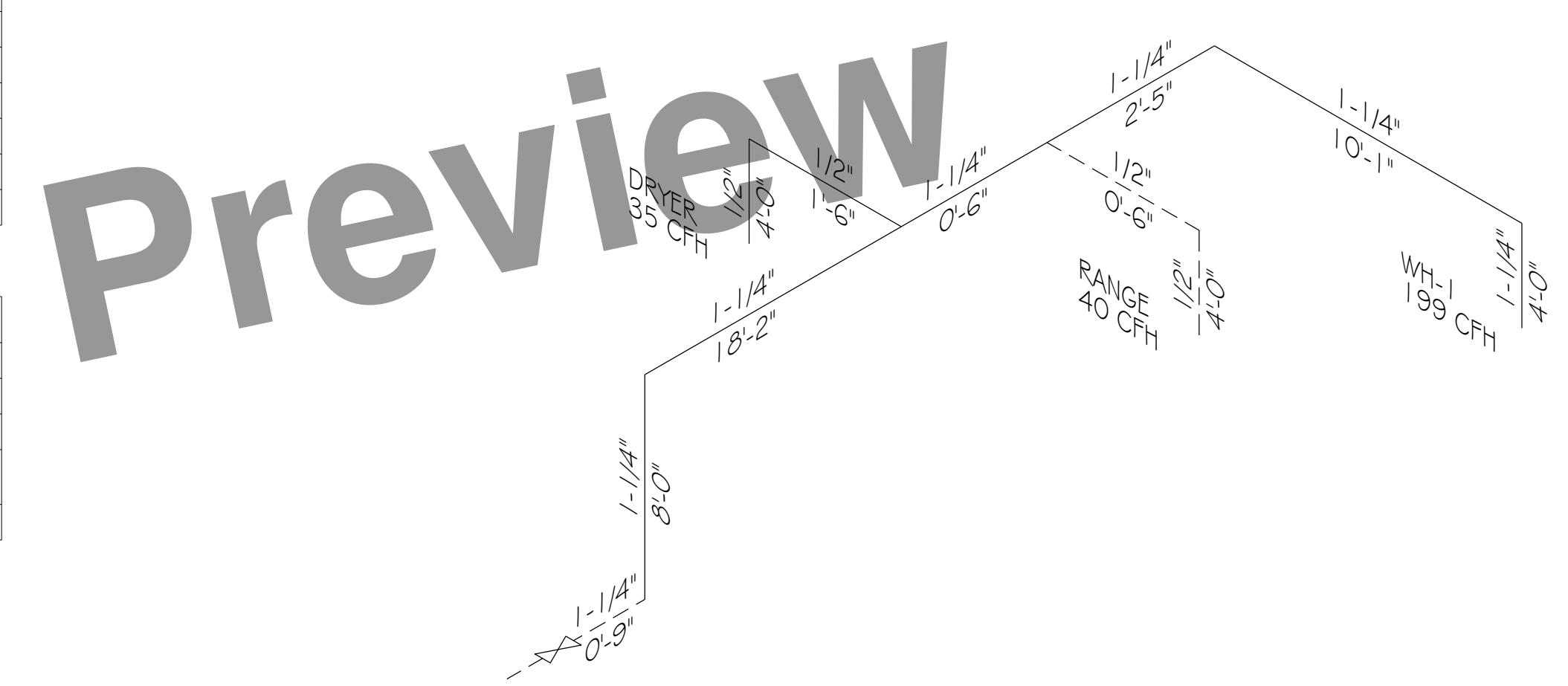
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS	
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
L-1	LAVATORY	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.2 GPM	
BT-1	BATHTUB	--	--	--	•	2	1 1/2	1/2	1/2	BATHROOMS	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	--	--	--	•	3	2	1/2	--	BATHROOMS	1.28 GPF	
SK-1	KITCHEN SINK	--	--	--	•	2	1 1/2	1/2	1/2	KITCHENS	1.8 GPM	
CWB-1	WASHER	--	--	--	•	2	1 1/2	1/2	1/2	CLOSETS	W/ WHA	
HB-1	HOSE BIB	--	--	--	•				1/2	EXTERIOR WALLS		

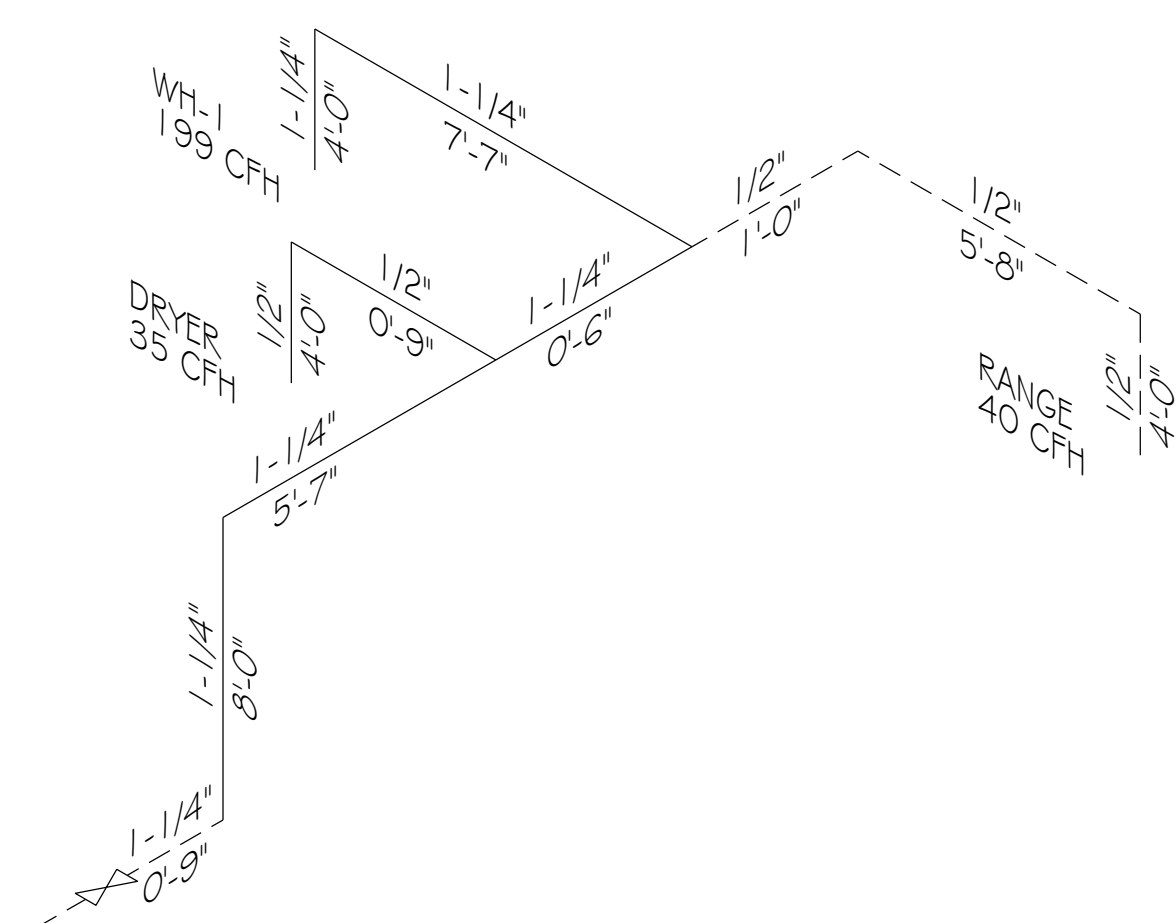
WATER HEATER SCHEDULE														
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY INPUT	TANK CAPACITY	GPH @ FRISE	ELECTRICAL			WEIGHT (LBS)	HEIGHT (IN)	PART NO.	MFG	REMARKS
							H.P.	VOLT	PH					
WH-1	EXT. CLOSET	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	EU199	RINNAI	DEF: 0.93
EW-1	MULTIPLE	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	68	XE40T (0HS45) UO	RHEEM	DUCT HEAT REJECTION TO OUTSIDE

BID SET

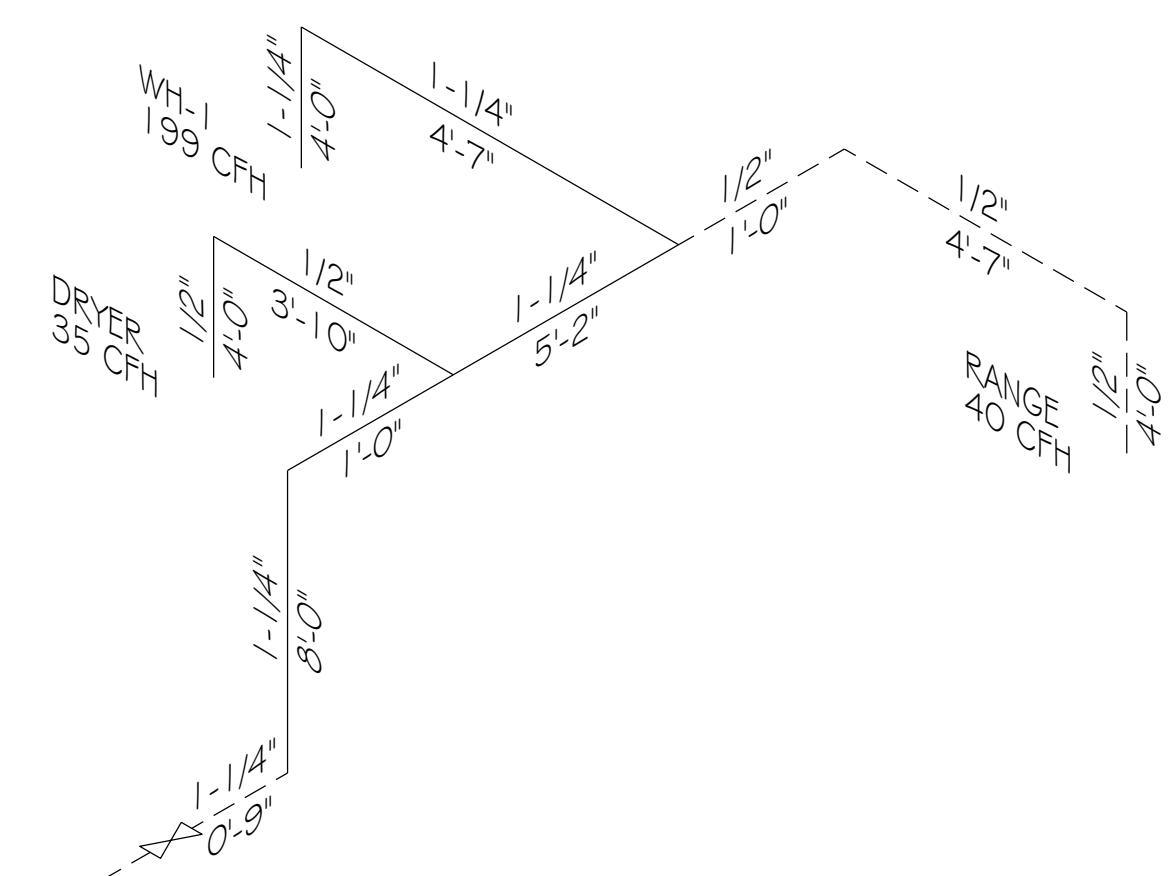
City of Atascadero



3 GAS ISOMETRIC DIAGRAM - ONE & TWO BEDROOMS
MPO.2 NO SCALE

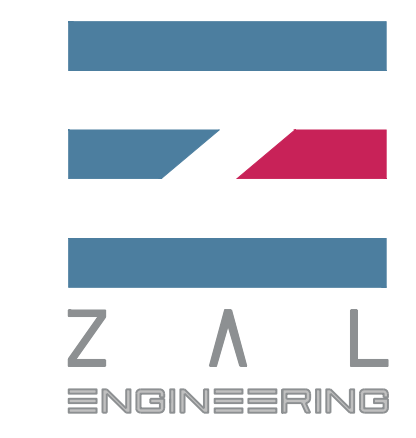


2 GAS ISOMETRIC DIAGRAM - STUDIO
MPO.2 NO SCALE



1 GAS ISOMETRIC DIAGRAM - EFFICIENCY
MPO.2 NO SCALE

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99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

SCHEDULES
& GAS
DIAGRAMS
MECHANICAL
& PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

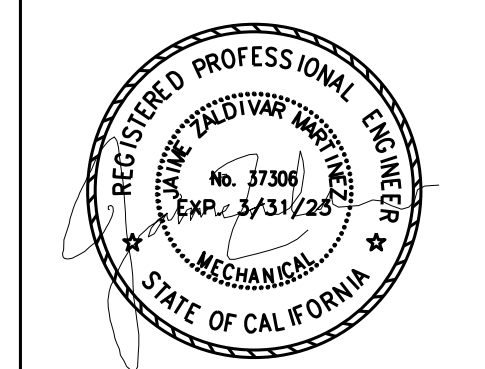
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**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
MECHANICAL
& PLUMBING
PLANS - E**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

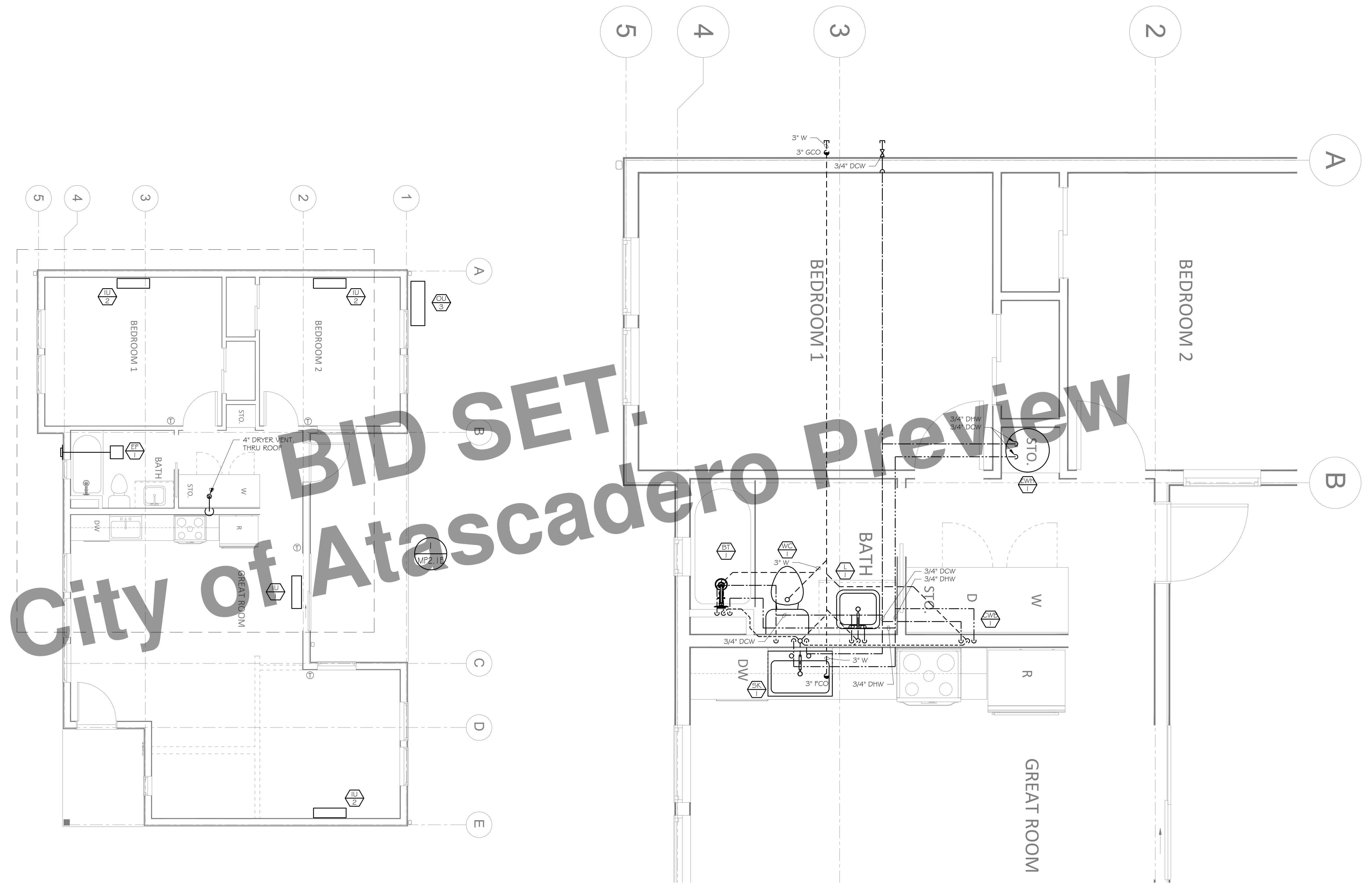
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CHECKED BY:

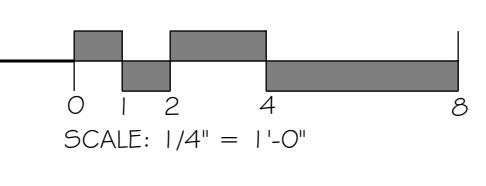
SHEET NUMBER

MP2.1E

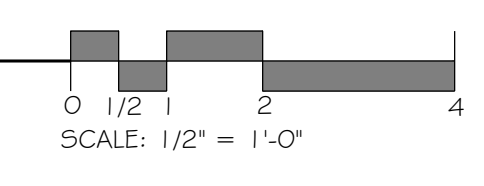
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2 FLOOR PLAN - TWO BED - NEW MECHANICAL
MP2.1E SCALE: 1/4" = 1'-0"

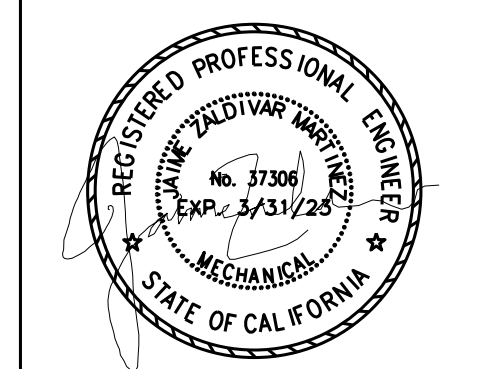


1 ENLARGED FLOOR PLAN - TWO BED - NEW PLUMBING
MP2.1E SCALE: 1/2" = 1'-0"





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MONTEREY, CA 95940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
MECHANICAL
& PLUMBING
PLANS - H**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

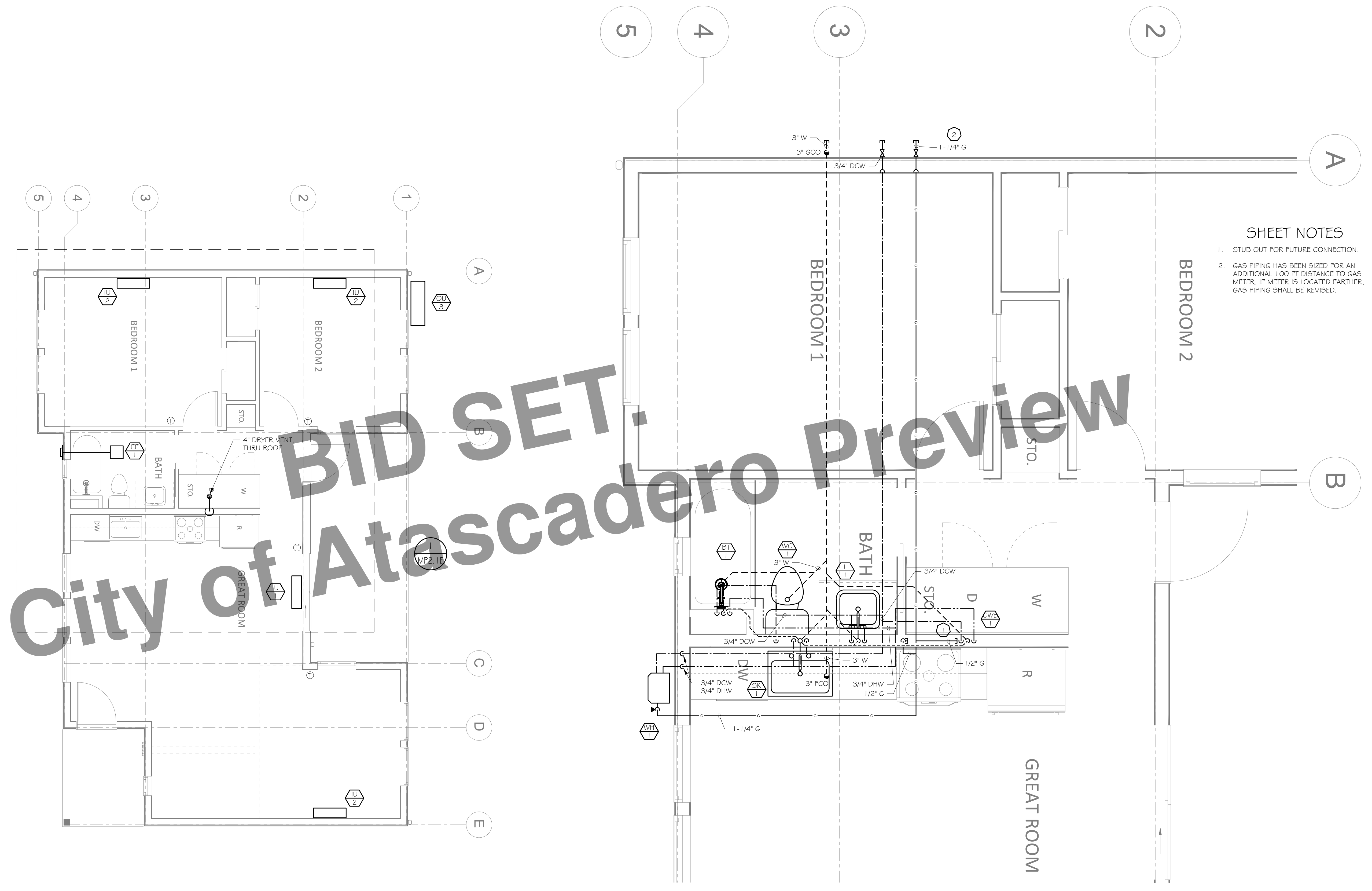
DRAWN BY:

CHECKED BY:

SHEET NUMBER

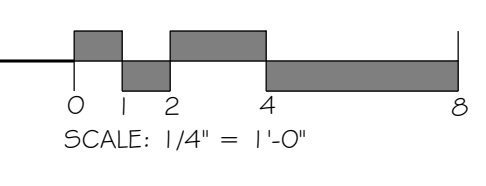
MP2.1H

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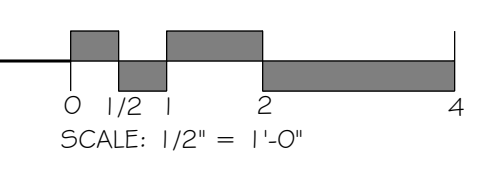


SHEET NOTES
1. STUB OUT FOR FUTURE CONNECTION.
2. GAS PIPING HAS BEEN SIZED FOR AN ADDITIONAL 100 FT DISTANCE TO GAS METER. IF METER IS LOCATED FARTHER, GAS PIPING SHALL BE REVISED.

2 FLOOR PLAN - TWO BED - NEW MECHANICAL
SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - TWO BED - NEW PLUMBING
SCALE: 1/2" = 1'-0"



BID SET.
City of Atascadero Preview

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-G41-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
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TELEPHONE (831) 641-7739
JOB NO. 22002.00



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

TWO BED PLUS
T24 FORMS
ELECTRIC

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.17B

SHEET OF

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU TB
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2023-08-25T17:11:47-05:00
Input File Name: 6_TB_E_C24.rbd22x
CF1R-PRF-01-E (Page 9 of 15)

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 6	Window	Back Wall	Back	180	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 2	Left	90	1.5	3	1	4.5	0.28	NFRC	0.5	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 3	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 9	Window	Lateral 1 Wall 3	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 10	Window	Front Wall 4	Left	90	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 11	Window	Lateral 2 Wall 4	Front	0	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 12	Window	Lateral 2 Wall 4	Front	0	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Door	Front Wall	21	0.5
Door 2	Lateral 2 Wall 3	21	0.5

OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang				Right Fin								
	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

Registration Number: 223-P010107157A-000-000-000000-0000
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Registration Date/Time: 2023-08-25 17:19:50
Report Version: 2022.0.000
Schema Version: rev 20220901
HERS Provider: CalCERTS, Inc.
Report Generated: 2023-08-25 15:12:40

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
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CF1R-PRF-01-E (Page 8 of 15)

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	Two Bed	R-38 Roof No Attic	0	Front	332.14	0	3	0.1	0.85	No
Roof 2	Two Bed	R-38 Roof No Attic	0	Front	125.05	0	3	0.1	0.85	No
Roof 3	Two Bed	R-38 Roof No Attic	0	Front	59.49	0	3	0.1	0.85	No
Roof 4	Two Bed	R-38 Roof No Attic	0	Front	45.68	0	3	0.1	0.85	No
Roof 5	Two Bed	R-38 Roof No Attic	0	Front	169.39	0	3	0.1	0.85	No
Roof 6	Two Bed	R-38 Roof No Attic	0	Front	136.9	0	3	0.1	0.85	No

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Back	180	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall	Back	180	1.5	3	1	4.5	0.28	NFRC	0.5	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall	Right	270	6	7	1	42	0.28	NFRC	0.5	NFRC	Bug Screen
Window 4	Window	Lateral 2 Wall 2	Right	270	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen
Window 5	Window	Lateral 2 Wall 2	Right	270	3	4	1	12	0.28	NFRC	0.5	NFRC	Bug Screen

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CF1R-PRF-01-E (Page 7 of 15)

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Two Bed	Conditioned	OU-11	868.65	8	DHW Sys 1	New

OPAQUE SURFACES

01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)
Front Wall	Two Bed	R-21 Wall	0	Front	114.33	21	90
Lateral 1 Wall	Two Bed	R-21 Wall	180	Back	188.33	40.5	90
Lateral 2 Wall	Two Bed	R-21 Wall	270	Right	95.33	42	90
Front Wall 2	Two Bed	R-21 Wall	0	Front	87	0	90
Lateral 2 Wall 2	Two Bed	R-21 Wall	270	Right	92	24	90
Back Wall	Two Bed	R-21 Wall	180	Back	56.36	12	90
Lateral 3 Wall 3	Two Bed	R-21 Wall	270	Right	52.33	21	90
Lateral 3 Wall 2	Two Bed	R-21 Wall	90	Left	40.42	4.5	90
Front Wall 3	Two Bed	R-21 Wall	0	Front	10.75	0	90
Lateral 1 Wall 3	Two Bed	R-21 Wall	90	Left	92	24	90
Back Wall 2	Two Bed	R-21 Wall	180	Back	109.67	0	90
Front Wall 4	Two Bed	R-21 Wall	90	Left	55.16	12	90
Lateral 2 Wall 4	Two Bed	R-21 Wall	0	Front	92	24	90
Back Wall 3	Two Bed	R-21 Wall	180	Back	107.67	0	90

Registration Number: 223-P010107157A-000-000-000000-0000
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CF1R-PRF-01-E (Page 6 of 15)

01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.09	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	2:12	96	98

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.30303 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- IAQ Ventilation System: fault indicator display
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed.

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Bs and CF3Rs are required to be completed in the HERS Registry

- Quality insulation installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump range heating capacity

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU TB	868.66	1	2	1	0	1

Registration Number: 223-P010107157A-000-000-000000-0000
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CF1R-PRF-01-E (Page 5 of 15)

01	02	03	04	05	06	07	08	09	10	11	12
Name	Standard Design (kBtu/ft²-yr)	Proposed Design (kBtu/ft²-yr)	Compliance Margin (kBtu/ft²-yr)	Margin Percentage							
North Facing											
Gross EUH	24.1	19.88	4.44	18.42							
Net EUH	11.08	6.64	4.44	40.07							
East Facing											
Gross EUH	24.1	19.88	4.44	18.34							
Net EUH	11.08	6.66	4.42	39.89							
South Facing											
Gross EUH	24.1	19.88	4.42	18.34							
Net EUH	11.05	6.66	4.42	39.89							
West Facing											
Gross EUH	24.1	19.35	4.75	19.71							
Net EUH	11.08	6.33	4.75	42.87							

Notes:
1. Gross EUH is Energy Use Total (not including PV) / Total Building Area.
2. Net EUH is Energy Use Total (including PV) / Total Building Area.

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CF1R-PRF-01-E (Page 4 of 15)

01	02	03	04	05	06	07	08	09	10	11	12
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kWh/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kWh/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)					
Space Heating	3.88	26.27	1.16	9.62	2.61	16.65					
Space Cooling	0.53	25.64	0.53	25.21	-0.02	0.43					
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84					
Water Heating	2.67	27.68	1.65	19.13	1.02	8.55					
Self Utilization/Flexibility Credit						0					
South Facing Efficiency Compliance Total	8.04	89.88	3.98	59.41	4.06	30.47					
Space Heating	3.88	26.27	1.01	7.67	2.87	18.6					
Space Cooling	0.53	25.64	0.5	24.07	0.03	1.57					
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84					
Water Heating	2.67	27.68	1.64	19.09	1.03	8.59					
Self Utilization/Flexibility Credit						0					
West Facing Efficiency Compliance Total	8.04	89.88	3.66	56.28	4.38	33.6					

Registration Number: 223-P010107157A-000-000-000000-0000
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CF1R-PRF-01-E (Page 3 of 15)

01	02	03	04	05	06	07	08	09	10	11	12
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kWh/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kWh/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)					
Space Heating	3.88	26.27	1.16	8.9	2.72	17.37					
Space Cooling	0.53	25.64	0.64	29.57	-0.11	-0.93					
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84					
Water Heating	2.67	27.68	1.64	19.12	1.03	8.56					
Self Utilization/Flexibility Credit						0					
North Facing Efficiency Compliance Total	8.04	89.88	3.95	63.04	4.09	26.84					
Space Heating	3.88	26.27	1.34	10.36	2.54	15.93					
Space Cooling	0.53	25.64	0.59	26.01	0	-0.37					
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84					
Water Heating	2.67	27.68	1.65	19.17	1.02	8.51					
Self Utilization/Flexibility Credit						0					
East Facing Efficiency Compliance Total	8.04	89.88	4.03	60.97	4.01	28.91					

Registration Number: 223-P010107157A-000-000-000000-0000
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Registration Date/Time: 2023-08-25 17:19:50
Report Version: 2022.0.000
Schema Version: rev 20220901
HERS Provider: CalCERTS, Inc.
Report Generated: 2023-08-25 15:12:40

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Central Coast ADU TB
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01	02	03	04	05	06	07	08	09	10	11	12
Energy Design Ratings											
Standard Design	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)					
	32.6	34.1	31.7								
Proposed Design											
North Facing	24.5	23.9	25.5	8.1	10.2	6.2					
East Facing	24.7	23.1	25	7.9	11.1	6.7					
South Facing	24.6	22.5	24.6	8	11.6	7.1					
West Facing	24	21.3	23.9	8.6	12.8	7.8					
RESULT: PASS											
¹ Efficiency EDR includes improvements like a better building envelope and more efficient equipment. ² Total EDR includes efficiency and demand response measures such as plug-in-hybrid (PHEV) system and batteries. ³ Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.											
* Standard Design PV Capacity: 2.09 kWdc * Proposed PV Capacity Scaling: North (2.09 kWdc) East (2.09 kWdc) South (2.09 kWdc) West (2.09 kWdc)											

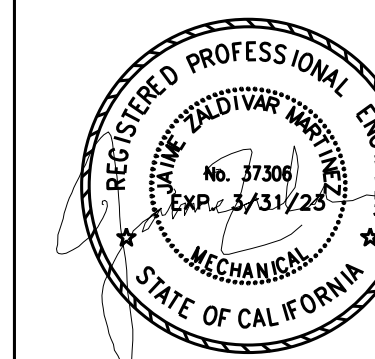
Registration Number: 223-P010

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
909 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



**CENTRAL COAST ADU
PRE-DESIGNED ADU**
CENTRAL COAST, CALIFORNIA

**TWO BED PLUS
T24 FORMS
ELECTRIC**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

T24.18B

SHEET OF

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
1. I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:19:50
Company: ZAL Engineering
Address: 909 Pacific St, Ste 375G, Monterey, CA 93940
Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1.4, and Parts of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
Responsible Designer Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:19:50
Company: ZAL Engineering
Address: 909 Pacific St, Ste 375G, Monterey, CA 93940
Phone: 831-641-7739

Digitaly signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document and in no way implies Registration Provider Responsibility for the accuracy of the information.

Registration Number: 223-P010107157A-000-0000000-0000
Report Version: 2022.0.000
Schema Version: rev 20220901
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WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemXE40T1DH2JU	Two Bed	Two Bed	Two Bed

RECIRCULATION LOOPS

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

WATER HEATING - COMPACT DISTRIBUTION

01	02	03	04	05	06	07
Dwelling Unit Type	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compaction Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

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INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQFanType 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

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WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1-1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPLIT CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER2 / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-HeatPump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-HeatPump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

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SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade 4	Two Bed	45.68	0.1	none	0	80%	No
Slab-on-Grade 5	Two Bed	169.39	0.1	none	0	80%	No
Slab-on-Grade 6	Two Bed	136.9	0.1	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	8 / None	0.041	Inside Finish: Gypsum Board Sheathing / Insulation: R-8 Sheathing Cavity / Frame: R-21 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt: Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

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OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Window	Overhang				Left Fin				Right Fin					
	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up	
Window2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 6	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 7	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 8	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 9	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 10	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 11	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0
Window 12	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0	0

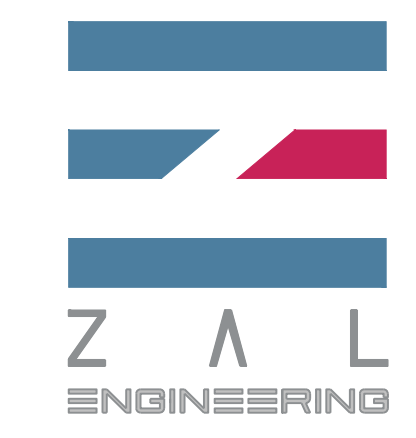
SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Two Bed	332.14	49.5	none	0	80%	No
Slab-on-Grade 2	Two Bed	125.06	0.1	none	0	80%	No
Slab-on-Grade 3	Two Bed	59.49	0.1	none	0	80%	No

Registration Number: 223-P010107157A-000-0000000-0000
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Jaime Zaldivar, P.E.
contact@zalengineering.com
831-G41-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
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TELEPHONE (831) 641-7739
JOB NO. 22002.00



CENTRAL COAST
PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

TWO BED PLUS
T24 FORMS
HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

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01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 6	Window	Back Wall		135	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 7	Window	Lateral 1 Wall 2		45	1.5	3	1	4.5	0.28	NFRC	0.4	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 3		45	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 9	Window	Lateral 1 Wall 3		45	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 10	Window	Front Wall 4		45	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 11	Window	Lateral 2 Wall 4		315	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 12	Window	Lateral 2 Wall 4		315	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen

01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door	Front Wall	21	0.5
Door 2	Lateral 2 Wall 3	21	0.5

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Depth	Dist Up	Overhang		Flap Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
			Left Extent	Right Extent									
Window	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 3	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

Registration Number: 223-P010107163A-000-000-0000000-0000
Registration Date/Time: 2023-08-25 17:28:18
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
HERS Provider: CalCERTS, Inc.
Report Generated: 2023-08-25 16:24:41

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01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.1	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	2:12	96	98

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.30303 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- IAQ Ventilation System: fault indicator display
- Cool roof
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Bs and CF3Rs are required to be completed in the HERS Registry

- Quality insulation installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump rated heating capacity

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Central Coast ADU TB	868.66	1	2	1	0	1

Registration Number: 223-P010107163A-000-000-0000000-0000
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Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.74	12.96	0.59	4.38	1.15	8.58
Space Cooling	0.49	24.83	0.56	24.24	-0.07	0.59
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84
Water Heating	9.6	40.11	8.64	36.68	0.96	3.43
Self Utilization/Flexibility Credit						
North Facing Efficiency Compliance Total	12.79	88.19	10.31	70.75	2.49	17.44
Space Heating	1.74	12.96	0.59	4.38	1.15	8.58
Space Cooling	0.49	24.83	0.56	24.24	-0.07	0.59
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84
Water Heating	9.6	40.11	8.64	36.68	0.96	3.43
Self Utilization/Flexibility Credit						
East Facing Efficiency Compliance Total	12.79	88.19	10.31	70.75	2.49	17.44

Registration Number: 223-P010107163A-000-000-0000000-0000
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01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	Two Bed	R-38 Roof No Attic	315	n/a	332.14	0	3	0.65	0.85	Yes
Roof 2	Two Bed	R-38 Roof No Attic	315	n/a	125.06	0	3	0.65	0.85	Yes
Roof 3	Two Bed	R-38 Roof No Attic	315	n/a	59.49	0	3	0.65	0.85	Yes
Roof 4	Two Bed	R-38 Roof No Attic	315	n/a	45.68	0	3	0.65	0.85	Yes
Roof 5	Two Bed	R-38 Roof No Attic	315	n/a	169.39	0	3	0.65	0.85	Yes
Roof 6	Two Bed	R-38 Roof No Attic	315	n/a	136.9	0	3	0.65	0.85	Yes

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Lateral 1 Wall		135	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall		135	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall		135	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 2	Window	Lateral 1 Wall		135	1.5	3	1	4.5	0.28	NFRC	0.4	NFRC	Bug Screen
Window OP	Window	Lateral 2 Wall		225	6	7	1	42	0.28	NFRC	0.4	NFRC	Bug Screen
Window 4	Window	Lateral 2 Wall 2		225	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen
Window 5	Window	Lateral 2 Wall 2		225	3	4	1	12	0.28	NFRC	0.4	NFRC	Bug Screen

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Energy Use Intensity	Standard Design (kBtu/ft ² -yr)	Proposed Design (kBtu/ft ² -yr)	Compliance Margin (kBtu/ft ² -yr)	Margin Percentage
North Facing				
Gross EU ¹	28.98	26.39	2.59	8.94
Net EU ²	15.94	13.35	2.59	16.25
East Facing				
Gross EU ¹	28.98	26.5	2.48	8.56
Net EU ²	15.94	13.46	2.48	15.56
South Facing				
Gross EU ¹	28.98	26.53	2.45	8.45
Net EU ²	15.94	13.49	2.45	15.37
West Facing				
Gross EU ¹	28.98	26.42	2.56	8.83
Net EU ²	15.94	13.38	2.56	16.06

¹ Gross EU is Energy Use Total (not including PV) / Total Building Area.
² Net EU is Energy Use Total (including PV) / Total Building Area.

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Energy Design Ratings	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
Standard Design	46.6	49.4	41.5			
Proposed Design						
North Facing	41.2	39.5	36.2	5.4	9.8	5.3
East Facing	41.7	41	37	4.9	8.4	4.5
South Facing	41.7	39.8	36.3	4.9	9.6	5.2
West Facing	41.3	38.8	35.8	5.3	10.6	5.7

RESULT: PASS

¹Efficiency EDR includes improvements like a better building envelope and more efficient equipment.
²Total EDR includes efficiency and demand response measures such as plug-in-hybrid (PHEV) system and batteries.
³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.

- Standard Design PV Capacity: 2.10 kWdc
- Proposed PV Capacity Sizing: North (2.10 kWdc) East (2.10 kWdc) South (2.10 kWdc) West (2.10 kWdc)

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01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
Two Bed	Conditioned	OU-11	868.66	8	DHW Sys 1	New

01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)
Front Wall	Two Bed	R-21 Wall	315	n/a	114.33	21	90
Lateral 1 Wall	Two Bed	R-21 Wall	135	n/a	188.33	40.5	90
Lateral 2 Wall	Two Bed	R-21 Wall	225	n/a	95.33	42	90
Front Wall 2	Two Bed	R-21 Wall	315	n/a	87	0	90
Lateral 2 Wall 2	Two Bed	R-21 Wall	225	n/a	92	24	90
Back Wall	Two Bed	R-21 Wall	135	n/a	56.36	12	90
Lateral 3 Wall 3	Two Bed	R-21 Wall	225	n/a	52.33	21	90
Lateral 3 Wall 2	Two Bed	R-21 Wall	45	n/a	40.42	4.5	90
Front Wall 3	Two Bed	R-21 Wall	315	n/a	10.75	0	90
Lateral 1 Wall 3	Two Bed	R-21 Wall	45	n/a	92	24	90
Back Wall 2	Two Bed	R-21 Wall	135	n/a	109.67	0	90
Front Wall 4	Two Bed	R-21 Wall	45	n/a	55.16	12	90
Lateral 2 Wall 4	Two Bed	R-21 Wall	315	n/a	92	24	90
Back Wall 3	Two Bed	R-21 Wall	135	n/a	107.67	0	90

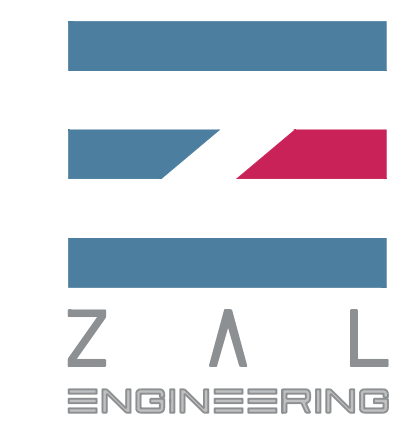
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Energy Use Summary	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kWh/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kWh/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Energy Use						
Space Heating	1.74	12.96	0.59	6.51	0.85	6.45
Space Cooling	0.49	24.83	0.48	22.42	0	2.41
IAQ Ventilation	0.96	10.29	0.51	5.45	0.45	4.84
Water Heating	9.6	40.11	8.64	36.68	0.96	3.43
Self Utilization/Flexibility Credit						
South Facing Efficiency Compliance Total	12.79	88.19	10.53	71.06	2.26	17.13
Space Heating	1.74	12.96	0.71	6.15	1.03	7.81
Space Cooling	0.49	24.83	0.5	22.08	-0.01	2.75
IAQ Ventilation	0.96	10.29				

Homeowners should contact ZAL to run Energy Compliance Documents for each project so that it has a unique registration number for each address. Contact Jaime Zaldivar, P.E. for your individual registration number and Energy Code Documents.

Jaime Zaldivar, P.E.
contact@zalengineering.com
831-641-7739
ZAL (zalengineering.com)



ZAL ENGINEERING
MECHANICAL CONSULTANTS
99 PACIFIC ST. STE. 375G
MONTEREY, CA 93940
TELEPHONE (831) 641-7739
JOB NO. 22002.00



CENTRAL COAST ADU PRE-DESIGNED ADU
CENTRAL COAST, CALIFORNIA

TWO BED PLUS T24 FORMS HYBRID

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:
DRAWN BY:
CHECKED BY:
SHEET NUMBER
T24.20B

SHEET OF
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:28:18
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
Phone: 831-641-7739

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1.5, and Parts of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jaime Zaldivar
Signature Date: 2023-08-25 17:28:18
Address: 99 Pacific St, Ste 375G, Monterey, CA 93940
Phone: 831-641-7739

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INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQ/HRV 1-1	66	0.30303	Balanced	Yes	83	No	Yes	

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WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1-1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required

SPLIT CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
OU-11	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	11.8	14200	9400	EERSEER	24.6	15.4	Not Zonal	Single Speed	Heat Pump System 1-Hers-Htump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-Hers-Htump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

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WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (H)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating (Int/Ext)	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.93	Btu/Hr	200000	0	n/a	n/a	

RECIRCULATION LOOPS

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

WATER HEATING - COMPACT DISTRIBUTION

01	02	03	04	05	06	07
Dwelling Unit Type	Water Heating System Name	Master Bath distance of furthest fixture to Water Heater (ft)	Kitchen distance of furthest fixture to Water Heater (ft)	Furthest Third furthest fixture to Water Heater (ft)	Compacness Factor	HERS Verification
Dwelling	DHW Sys 1	n/a	n/a	n/a	0.7	n/a

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SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade 4	Two Bed	45.68	0.1	none	0	80%	No
Slab-on-Grade 5	Two Bed	169.39	0.1	none	0	80%	No
Slab-on-Grade 6	Two Bed	136.9	0.1	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O.C.	R-30	6 / None	0.038	Inside Finish: Gypsum Board Sheathing / Insulation: R-6 Sheathing Cavity / Frame: R-30 / 2x6 Exterior Finish: 3 Coat Stucco
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-38	None / None	0.029	Roofing: Light Roof (Asphalt: Shingle) Roof Deck: Wood Siding/Sheathing/Decking Radiant Barrier Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

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OVERHANGS AND FINIS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang				Left Fin				Right Fin				
	Depth	Dist Up	Left Extent	Right Extent	Flap HL	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window 2	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 4	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 5	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 6	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 7	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 8	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 9	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 10	2.5	0.8	5	5	-0.75	0	0	0	0	0	0	0	0
Window 11	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0
Window 12	2.5	0.8	5	5	0.75	0	0	0	0	0	0	0	0

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	Two Bed	332.14	0.1	none	0	80%	No
Slab-on-Grade 2	Two Bed	125.06	0.1	none	0	80%	No
Slab-on-Grade 3	Two Bed	59.49	0.1	none	0	80%	No

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